

AGENDA

*Village of Hoffman Estates
First Meeting of the Month
Village Board of Trustees*

*1900 Hassell Road
Hoffman Estates, IL 60169
847-882-9100*

Board Room

April 1, 2013

(Immediately Following Public Works & Utilities Committee)

1. **CALL TO ORDER/ROLL CALL**
2. **PLEDGE OF ALLEGIANCE TO THE FLAG**
3. **RECOGNITION OF AUDIENCE**
4. **APPROVAL OF MINUTES** – March 18, 2013.
5. **CONSENT AGENDA/OMNIBUS VOTE (Roll Call Vote)**
(All items under the Consent Agenda are considered to be routine in nature and will be enacted by one motion. There will be no separate discussion of these items unless a Trustee so requests. In that event, the discussion will be the first item of business after approval of the Consent Agenda.)
 - A. **Approval of Agenda**
 - B. **Approval of the schedule of bills for April 1, 2013 - \$1,597,057.17.**
 - C. **Request Board approval of the Canadian National Noise Mitigation Program.**
6. **REPORTS**
 - A. **President's Report**
 - ... Swearings-In
 - Police Officer Michael J. Kaye
 - Police Officer Joseph B. Kimnach
 - ... Proclamation(s)
 - Days of Remembrance
 - Sexual Assault Awareness & Prevention Month
 - Child Abuse Prevention Month
 - National Code Enforcement Officer Month
 - Jazz Appreciation Month
 - B. **Trustee Comments**
 - C. **Village Manager's Report**
 - D. **Village Clerk's Report**
 - E. **Committee Reports**
 - 1) **General Administration & Personnel**
 - 2) **Transportation & Road Improvement**
 - 3) **Planning, Building & Zoning**

7. PLANNING & ZONING COMMISSION REPORT

A. Request by Hoffman Village, LLC c/o Highland Management Associates, Inc. (Owner) for a Site Plan Amendment and a Master Sign Plan Amendment in accordance with Section 9-3-8-M-12 of the Zoning Code for the property at 1405 – 1481 Palatine Road based on the “Charles Plaza Shopping Center Master Sign Plan” (amended March 20, 2013).

Voting: 10 Ayes, 1 Absent

Motion carried.

B. Request by Barrington & Hassell, LLC (Owner) for a Master Sign Plan Amendment in accordance with Section 9-3-8-M-12 of the Zoning Code for the property at 2081 – 2095 N. Barrington Road based on the “Ricky Rocket’s Convenience Store and Adjacent Retail Center” (amended March 20, 2013).

Voting: 10 Ayes, 1 Absent

Motion carried.

C. Request by the Village of Hoffman Estates for Text Amendments to Chapter 9 of the Village Municipal Code (Zoning Code) to amend Section 9-3-9 regarding Antennas and Wireless Telecommunications, and to amend Chapter 10 of the Village Municipal Code (Subdivision) to add Section 10-5-3-Q.

Voting: 10 Ayes, 1 Absent

Motion carried.

8. ADDITIONAL BUSINESS *(All other new business; those items not recommended unanimously by the Committee)*

A. Request Board authorization for Village consultant Energy Choices to obtain proposals for an electricity supplier for the Sears Centre Arena and authorize the Village Manager to enter into a contract with a third party supplier for the Sears Centre Arena.

B. Request Board authorization to:

1) waive formal bidding; and

2) award contract for an ongoing Microsoft Enterprise Licensing Agreement, Exchange Online, and Software Assurance through CDWG per Illinois State Contract CMS2595580 in an amount not to exceed \$88,566.98.

C. Request Board authorization to award contract for 2013 contracted Ash tree removal program to Central Forestree, LLC, Hoffman Estates, IL (low bid) in an amount not to exceed \$200,000.

D. Request Board authorization to award contract for 2013 contracted parkway tree trimming program to Homer Tree Care, Inc., Lockport, IL (low bid) in an amount not to exceed \$116,000.

8. **ADDITIONAL BUSINESS – Continued**

- E. Request Board authorization to:
 - 1) waive formal bidding; and
 - 2) award contract to purchase a replacement heavy-duty dump truck through State of Illinois Joint Purchase Contract pricing from Prairie International, Springfield, IL (low State Contract bid) in an amount not to exceed \$155,405.
- F. Request Board approval of an ordinance amending Section 8-3-22, Number of Licenses, of Article 3, Alcoholic Liquors, of the Hoffman Estates Municipal Code (Increase in number of Class “A” and Class “LC” licenses – Blackhawk Restaurant Group LLC Series d/b/a Penny’s Place).
- G. Request Board approval of a Resolution providing an Antenna Siting Policy.

9. **ADJOURNMENT**

MEETING: **HOFFMAN ESTATES VILLAGE BOARD**
DATE: **MARCH 18, 2013**
PLACE: **COUNCIL CHAMBERS**
 MUNICIPAL BUILDING COMPLEX
 1900 HASSELL ROAD
 HOFFMAN ESTATES, ILLINOIS

1. CALL TO ORDER:

Village President William McLeod called the meeting to order at 9:06 p.m. The Village Clerk called the roll. Trustees present: Karen Mills, Ray Kincaid, Jackie Green, Anna Newell, Gary Pilafas, Gary Stanton.

A quorum was present.

ADMINISTRATIVE PERSONNEL PRESENT:

J. Norris, Village Manager
D. O'Malley, Deputy Village Manager
A. Janura, Corporation Counsel
M. Koplín, Asst. Village Manager-Development Services
B. Gorvett, Fire Chief
M. Hish, Police Chief
R. Musiala, Finance Director
A. Garner, H&HS Director
P. Seger, HRM Director
K. Gomoll, Asst. PW Director
B. Anderson, CATV Coordinator
M. Hankey, Transportation & Engineering Director
J. Weesner, Sr. Traffic Engineer
Y. Ahmed, Levy Food Services

2. PLEDGE OF ALLEGIANCE TO THE FLAG:

The Pledge was led by Trustee Mills.

3. RECOGNITION OF AUDIENCE:

Dr. Robert Steinberg, 4158 Portage Lane, talked about something he read that stated that the Village budget was bloated. He looked at the budget and noticed an item regarding insurance for Trustees. He questioned why only Trustee Kincaid was receiving it and what are the requirements are for a Trustee to become eligible for it.

Mr. Norris replied that any employee, after being employed for four years, is eligible for insurance.

Dr. Steinberg asked if employees had to work 20 hours to be eligible, if Trustees were considered employees and if this was a State or Village policy.

Mr. Norris replied they are an elected official but after 4 years, like an employee, eligible for the insurance and that it was a Village policy that dated back to before he started, 15 years ago.

4. APPROVAL OF MINUTES:

Motion by Trustee Mills, seconded by Trustee Newell, to approve Item 4.

Approval of Minutes

Minutes from March 4, 2013.

Roll Call:

Aye: Mills, Kincaid, Green, Newell, Stanton

Nay:

Mayor McLeod voted aye.

Trustee Pilafas abstained.

Motion carried.

5. CONSENT AGENDA/OMNIBUS VOTE:

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 5.A.

5.A. Approval of Agenda

Roll Call:

Aye: Mills, Kincaid, Green, Newell, Pilafas, Stanton

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 5.B.

5.B. Approval of the schedule of bills for March 18, 2013: \$475,320.23.

Roll Call:

Aye: Mills, Kincaid, Green, Newell, Pilafas, Stanton

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 5.C.

5.C. Request Board approval of Ordinance No.4360-2013 amending Chapter 10, Subdivision Code, of the Hoffman Estates Municipal Code.

Roll Call:

Aye: Mills, Kincaid, Green, Newell, Pilafas, Stanton

Nay:

Mayor McLeod voted aye.

Motion carried.

6. REPORTS:

6.A. President's Report

- 1) Proclamations

Trustee Pilafas read the following proclamation:

Motion by Trustee Stanton, seconded by Trustee Pilafas, to concur with the proclamation proclaiming 8:30 p.m. to 9:30 p.m. on Saturday, March 23, 2013 as Earth Hour 2013. Voice vote taken. All ayes. Motion carried.

Mr. Norris accepted the proclamation.

Mayor McLeod stated that a team from Hoffman Estates High School won the 2013 Rube Goldberg Award, that \$50,000 was raised for an anti-bullying program that was held before the BIG 10 tournament, he gave a re-cap on the BIG 10 events, he read a letter from Chief Hish regarding the "Can't Buy 'Em Here" program in which none of the businesses that were visited sold cigarettes to underage buyers. He stated that he welcomed the BIG 10 volunteers, he volunteered at the BIG 10 Tournament, attended the BIG 10 V.I.P. receptions at both the Sears Centre Arena and at Pinstripes, attended the Court of Honor for Eagle Scout Debish, the ribbon cutting for Regus, a Celtic Fest meeting, a NWMC meeting where Rebecca Darr from WINGS spoke, the Taste of Devonshire Open House, announced that his new granddaughter was born on Friday, attended a 102nd birthday party for Margaret "Bunny" Pershaus, the St. Alexius Women's and Children's Hospital ribbon cutting, the Commission for Disabled Citizens St. Patrick's Day dance, the Schaumburg Township PTA auction, the St. Alexius Hospital ribbon cutting for the workers who built the hospital, the Pinewood Derby, had a meeting with the Indian business leaders of the northwest suburbs, the Mayor's Update Breakfast, served seniors at the 48th Anniversary Older American Act "No Seniors Go Hungry" at the Barn and interviewed Joelle Brescia.

Motion by Trustee Pilafas, seconded by Trustee Stanton, to accept the appointment of Joelle Brescia to the Commission for Disabled Citizens. Voice vote taken. All ayes. Motion carried.

6.B. Trustee Comments

Trustee Stanton stated that he welcomed the BIG 10 volunteers, the Regus ribbon cutting, the Pinewood Derby and the Mayor's Update Breakfast.

Trustee Kincaid stated that he welcomed the BIG 10 volunteers, attended the BIG 10 V.I.P. receptions, Bunny's 102nd birthday party, the ribbon cuttings for Regus and St. Alexius Hospital, the Pinewood Derby and the Schaumburg PTA Fundraiser.

Trustee Mills congratulated and thanked the BIG 10 volunteers, stated that she volunteered for the BIG 10 Tournament, attended the ribbon cutting for Regus, the Pinewood Derby, the ribbon cuttings for Ross Dress for Less and the Women's and Children's Hospital and congratulated St. Alexius on their Women's and Children's Hospital.

Trustee Green stated that she has not been able to travel with us lately because she has been sick, she said that she will be telling her doctor that she is better and will be back traveling with us again soon.

Trustee Newell congratulated the Mayor and his wife on their new granddaughter, stated that she attended the BIG 10 reception and thanked the volunteers, attended the court of Honor for Eagle Scout Debish, congratulated Michelle Pilafas and the Commission for Disabled Citizens on their St. Patrick's Day dance, attended the ribbon cutting for St. Alexius and the Pinewood Derby.

Trustee Pilafas congratulated the Mayor and his wife on the birth of their granddaughter, congratulated Chief Gorravett on receiving a grant for \$164,964, congratulated Bunny on turning 102, stated that he attended the BIG 10 events and thanked the volunteers, he congratulated the Mayor on raising the money to fund the Anti-Bullying Campaign, he commented on how this March is the busiest March that they have had at the Sears Centre Arena, stated that he attended a Hoffman Estates Opportunity Center meeting, a Sustainability Commission meeting, the Mayor's Update Breakfast and added that the addition of Joelle Brescia to the Commission for Disabled Citizens will be great.

6.C. Village Manager's Report

Mr. Norris thanked and congratulated Emily Kerous, Ben Gibbs and the Sears Centre Arena staff on their work with the BIG 10 Tournament.

6.D. Village Clerk's Report

The Village Clerk stated that it is business license renewal time in her office and reminded everyone that Early Voting starts Monday, March 25th and runs through Saturday, April 6th, the hours are Monday-Saturday, 9-5.

6.E. Treasurer's Report

Motion by Trustee Pilafas, seconded by Trustee Green, to approve Item 6.E.

Mrs. Musiala stated that during the month of February 2013 cash disbursements and transfers-out exceeded cash receipts and transfers-in for the operating funds by \$1,314,260. After including these receipts and disbursements, the balance of cash and investments for the operating funds is \$22.2 million. For all of the Village funds, cash disbursements and transfers-out exceeded cash receipts and transfers-in by \$10,722,225, primarily due to the EDA note payment. The total for cash and investments for all funds decreased to \$151.4 million.

Roll Call:

Aye: Mills, Kincaid, Green, Newell, Pilafas, Stanton

Nay:

Mayor McLeod voted aye.

Motion carried.

6.F. Committee Reports

Finance

Trustee Newell stated that they would be meeting to request authorization to waive formal bidding and award contract for an ongoing Microsoft Enterprise Licensing Agreement, Exchange Online, and Software Assurance through CDWG per Illinois State Contract CMS2595580 in an amount not to exceed \$88,566.98; request authorization to request permission to advertise for bids and select electricity supplier based on the recommendation of Energy Choices with authorization to allow the Village Manager to enter into a contract with a third party supplier for the Sears Centre Arena; request acceptance of Finance Department, Information Systems Department and Sears Centre Arena Monthly Reports.

Public Health & Safety

Trustee Green stated that they would be meeting to request acceptance of the Police Department, Health & Human Services, Emergency Management Coordinator and Fire Department Monthly Reports.

Public Works & Utilities

Trustee Newell stated that they would be meeting to request authorization to award the contract for the 2013 Contracted Ash Tree Removal Program to Central Forestry, LLC, Hoffman Estates, IL (low bid), in an amount not to exceed \$200,000; request authorization to award contract for the 2013 Contracted Parkway Tree Trimming Program to Homer Tree Care, Inc., Lockport, IL (low bid), in an amount not to exceed \$116,000; request authorization to waive formal bidding and purchase a replacement heavy-duty dump truck through State of Illinois Joint Purchase Contract pricing from Prairie International, Springfield, IL (low State Contract bid), in an amount not to exceed \$155,405; request acceptance of the Department of

Public Works and Department of Development Services for the Transportation and Engineering Division
Monthly Reports.

7. ADDITIONAL BUSINESS:

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 7.A.

7.A. Request Board approval of Resolution No. 1540-2013 directing the publishing of the 2013 Zoning Map.

Roll Call:

Aye: Mills, Green, Newell, Pilafas, Stanton

Nay: Kincaid

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 7.B.

7.B. Request Board approval for an IDOT resolution to appropriate Motor Fuel Tax Funds for the 2013 Hassell Road reconstruction project and related work in an amount not to exceed \$932,000.

Roll Call:

Aye: Mills, Kincaid, Green, Newell, Pilafas, Stanton

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Pilafas, seconded by Trustee Stanton, to approve Item 7.C.

7.C. Request Board authorization for the Village to participate in joint purchase with the State of Illinois, State Bid Table A Option #1, for 2013-2014 procurement of road salt, in an amount not to exceed 5,800 tons.

Roll Call:

Aye: Mills, Kincaid, Green, Newell, Pilafas, Stanton

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Green, seconded by Trustee Pilafas, to approve Item 7.D.

7.D. Request Board approval of a Business Solicitation Plan from the 4th of July Commission for the 2013 Northwest Fourth Fest.

Roll Call:

Aye: Mills, Green, Newell, Pilafas, Stanton

Nay: Kincaid

Mayor McLeod voted aye.

Motion carried.

8. ADJOURNMENT:

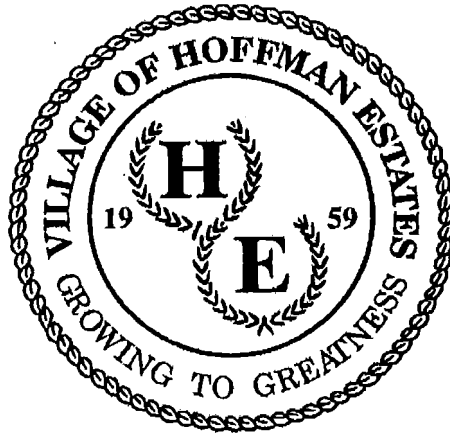
Motion by Trustee Pilafas, seconded by Trustee Newell, to adjourn the meeting. Voice vote taken. All ayes. Motion carried. Time: 9:37 p.m.

Bev Romanoff
Village Clerk

Date Approved

The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.

**CONSENT AGENDA/
OMNIBUS VOTE**



BILL LIST SUMMARY

BILL LIST AS OF 04/01/2013	\$ 327,323.99
MANUAL CHECK REGISTER	\$ 98,049.21
PAYROLL 03/22/2013	<u>\$ 1,171,683.97</u>
TOTAL	\$ 1,597,057.17

VILLAGE OF HOFFMAN ESTATES

April 1, 2013

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
01 0301	13	OFFICE DEPOT	OFFICE SUPPLIES	\$47.64
01 0302	13	ACME TRUCK BRAKE & SUPPLY CO.	VEHICLE REPAIR PARTS	\$48.96
01 0302	13	BRETT EQUIPMENT CORP.	VARIOUS SUPPLIES	\$258.71
01 0302	13	CARQUEST AUTO PARTS	RTN REPAIR PARTS	(\$14.10)
01 0302	13	CARQUEST AUTO PARTS	RTN VEHICLE PARTS	(\$149.50)
01 0302	13	CARQUEST AUTO PARTS	VEHICLE REPAIR	(\$11.19)
01 0302	13	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	\$220.12
01 0302	13	CASSIDY TIRE	CONTINENTAL HSR1 11R22.5	\$795.42
01 0302	13	CASSIDY TIRE	DELIVERY	\$2.00
01 0302	13	CATCHING FLUIDPOWER INC	REPAIR PARTS	\$154.00
01 0302	13	CATCHING FLUIDPOWER INC	VARIOUS SUPPLIES	\$456.56
01 0302	13	CHICAGO INTERNATIONAL TRUCKS, LLC	VEHICLE REPAIR PARTS	\$216.34
01 0302	13	DULTMEIER SALES	REPAIR PARTS	\$55.28
01 0302	13	MONROE TRUCK EQUIPMENT	VARIOUS SUPPLIES	\$520.26
01 0302	13	MORTON GROVE AUTOMOTIVE WEST	STOCK SUPPLY PARTS	\$225.00
01 0302	13	O'REILLY AUTO PARTS	AUTO REPAIR PARTS	\$123.87
01 0302	13	O'REILLY AUTO PARTS	VEHICLE REPAIR PARTS	\$36.99
01 0302	13	POMP'S TIRE	VEHICLE TIRES	\$747.43
01 0302	13	SPRING HILL FORD	VEHICLE REPAIR PARTS	\$397.59
01 0302	13	WEST SIDE TRACTOR SALES	STOCK SUPPLY PARTS	\$72.77
01 0303	13	CHICAGO OFFICE TECHNOLOGY GROUP	COPIER SERVICES	\$422.29
01 1214	13	NCPERS-IL IMRF	DED:2030 IMRF LIFE	\$896.00
01 1218	13	INT'L BROTHERHOOD TEAMSTERS LCL 700	DED:2034 PW-DUES	\$3,167.00
01 1218	13	METROPOLITAN ALLIANCE OF POLICE	DED:2033 MAP 96	\$2,475.00
01 1218	13	METROPOLITAN ALLIANCE OF POLICE	DED:2038 MAP 97	\$297.00
01 1222	13	AFLAC	DED:1027 AFLAC-INS	\$3,986.32
01 1223	13	AFLAC	DED:2027 AFL-AF TAX	\$761.60
01 1226	13	PRE PAID LEGAL SERVICE INC	DED:2035 LEGAL	\$1,794.90
01 1239	13	JOHN HANCOCK LIFE INSURANCE CO.	DED:2040 LTC INS	\$263.66
01 1497	13	OFFICE DEPOT	OFFICE SUPPLIES	\$23.74
TOTAL GENERAL ASSETS & LIABILITIES				\$18,291.66
0100011 3202	13	LANDSCAPE CONCEPTS MGMT. INC.	RFD BUS LIC.	\$50.00
0100013 3405	13	ANDRES MEDICAL BILLING, LTD.	JANUARY CHARGES	\$5,523.94
0100014 3502	13	APOLLO MANAGEMENT	TICKET OVERPAYMENT	\$20.00
TOTAL GENERAL REVENUE ACCOUNTS				\$6,596.94
01101324 4567	13	ARNSTEIN & LEHR LLP	PROF SERVICES	\$1,895.80
01101324 4567	13	ARNSTEIN & LEHR LLP	PROF SERVICES FEB2013	\$12,000.00
01101324 4567	13	KLEIN, THORPE, & JENKINS LTD	PROF SERVICES	\$20.50
TOTAL LEGAL				\$13,916.30
01101423 4402	13	OFFICE DEPOT	OFFICE SUPPLIES	\$188.94
01101423 4403	13	DEDICATED GRAPHICS, INC	COUNTER RECEIPTS	\$330.57
01101424 4542	13	TREASURY MANAGEMENT SERVICES	MGMT SERVICES	\$77.00
TOTAL FINANCE				\$596.51
01101523 4403	13	B & L BLUEPRINT, INC	PRINTING SERVICES	\$15.00

VILLAGE OF HOFFMAN ESTATES

April 1, 2013

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
TOTAL VILLAGE CLERK				\$15.00
01101624 4507	13	DISCOVERY BENEFITS	FSA MONTHLY	\$592.90
01101624 4579	13	ALEXIAN BROTHERS CORPORATE HEALTH	EMP SCREENING	\$48.00
01101624 4580	13	EMPLOYMENT SCREENING ALLIANCE GROUP	EMP SCREENING	\$86.00
TOTAL HUMAN RESOURCES				\$726.90
01106223 4402	13	OFFICE DEPOT	OFFICE SUPPLIES	\$18.38
TOTAL CABLE TELEVISION				\$18.38
GENERAL GOVERNMENT				\$15,273.09
01201223 4417	13	MENARDS - HNVN PARK	INMATE MEALS	\$196.65
01201223 4422	13	RICHARD WHITE	REFUND OF TOW FEE	\$500.00
01201223 4422	13	VICTOR E. PUSCAS JR	VEHICLE SEIZURE PRESIDE	\$331.00
TOTAL ADMINISTRATIVE				\$1,027.65
01202123 4414	13	SUBURBAN ACCENTS INC	RECORDED DECALS	\$20.00
01202123 4414	13	ULTRA STROBE COMMUNICATIONS	ARM REST RECOVER	\$65.85
TOTAL PATROL & RESPONSE				\$85.85
01202223 4403	13	THE FINER LINE	NAME PLATES	\$23.68
TOTAL TRAFFIC CONTROL				\$28,688
01202423 4403	13	CREATIVE PRODUCT SOURCING INC DARE	ENGLISH KIR ELEMENTARY WO	\$1,290.00
01202423 4403	13	CREATIVE PRODUCT SOURCING INC DARE	SHIPPING	\$141.06
01202423 4414	13	CREATIVE PRODUCT SOURCING INC DARE	BIG DAREN 18" DS11	\$270.00
01202423 4414	13	CREATIVE PRODUCT SOURCING INC DARE	DARE BIG BRACELETS DS22	\$200.00
01202423 4414	13	CREATIVE PRODUCT SOURCING INC DARE	DARE FUNDRAISING BOX	\$8.00
01202423 4414	13	CREATIVE PRODUCT SOURCING INC DARE	DAREN ERASERS PP20	\$66.00
01202423 4414	13	CREATIVE PRODUCT SOURCING INC DARE	DAREN, RUBBERIZED KEY CHA	\$37.50
01202423 4414	13	CREATIVE PRODUCT SOURCING INC DARE	DOG TAGS BLACK DS05	\$37.50
01202423 4414	13	CREATIVE PRODUCT SOURCING INC DARE	FOOTBALL - OS07	\$123.25
01202423 4414	13	CREATIVE PRODUCT SOURCING INC DARE	FOOTBALL ROCKET OS12	\$100.00
01202423 4414	13	CREATIVE PRODUCT SOURCING INC DARE	FRISBEE OS05	\$36.25
01202423 4414	13	CREATIVE PRODUCT SOURCING INC DARE	HACKEY SACK OS09	\$26.00
01202423 4414	13	CREATIVE PRODUCT SOURCING INC DARE	MEDIUM DARREN 10" DS12	\$180.00
01202423 4414	13	CREATIVE PRODUCT SOURCING INC DARE	MOOD PENCILS PP13	\$149.76
01202423 4414	13	CREATIVE PRODUCT SOURCING INC DARE	PLAYGROUND BALL OS08	\$92.00
01202423 4414	13	CREATIVE PRODUCT SOURCING INC DARE	REGULATION BASKETBALL OS0	\$200.00
01202423 4414	13	CREATIVE PRODUCT SOURCING INC DARE	SHIPPING	\$89.24
01202423 4414	13	CREATIVE PRODUCT SOURCING INC	SMALL DARREN W/CAP 6"	\$180.00

VILLAGE OF HOFFMAN ESTATES

April 1, 2013

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
01202423 4414	13	DARE CREATIVE PRODUCT SOURCING INC DARE	DS1 SOCCER BALL OS11	\$144.50
01202423 4414	13	CREATIVE PRODUCT SOURCING INC DARE	SOFTLY STUFFED FOOTBALL O	\$60.00
TOTAL COMMUNITY RELATIONS				\$8,481.06
01207122 4304	13	FIREGROUND SUPPLY, INC	OFFICE SUPPLIES	\$2,297.15
01207122 4304	13	FIREGROUND SUPPLY, INC	UNIFORMS	\$797.00
01207125 4637	13	CHICAGO UNIFORM CO.	UNIFORMS	\$759.93
01207125 4637	13	SHERWIN INDUSTRIES, INC	TRAFFIC CONES	\$435.00
01207125 4637	13	STACEY SPRANDEL	LOGOS	\$50.00
POLICE				\$8,907.32
01301222 4303	13	IESMA	MEMBERSHIP DUES	\$65.00
01301223 4402	13	OFFICE DEPOT	OFFICE SUPPLIES	\$245.40
TOTAL ADMINISTRATIVE				\$310.40
01303122 4301.19	13	ILLINOIS FIRE CHIEFS' ASSOCIATION	TRAINING	\$900.00
01303122 4304	13	KALE UNIFORMS INC	UNIFORMS	\$1,555.01
01303122 4304	13	MUNICIPAL EMERGENCY SERVICES	SAFETY WEAR FIRE DEPT	\$8,641.20
01303122 4304	13	ON TIME INC	UNIFORMS	\$348.55
01303124 4510.11	13	AIR ONE EQUIPMENT INC	AIR QUALITY TEST	\$120.00
01303124 4510.12	13	CHICAGO COMMUNICATIONS,LLC	REPAIR PARTS	\$47.35
01303124 4542	13	LEAF	LANIER COPIER	\$482.94
01303124 4542.13	13	FOX VALLEY FIRE & SAFETY	SERVICE	\$50.00
01303124 4542.15	13	IMAGETREND, INC.	ANNUAL FEE	\$675.00
01303124 4579	13	ALEXIAN BROTHERS CORPORATE HEALTH	EMP PHYSICAL	\$273.00
01303124 4579	13	ALEXIAN BROTHERS CORPORATE HEALTH	EMP PHYSICALS	\$1,443.00
TOTAL SUPPRESSION				\$14,536.06
01303222 4301	13	PETER BEHNKE	REIMB - REGISTRATION	\$40.00
01303222 4301	13	TAYLOR MCINTYRE	REIM EMS CLASSES	\$40.00
01303223 4419	13	AIRGAS USA, LLC	MEDICAL SUPPLIES	\$151.68
01303224 4510	13	ERLA INC	MAINTENANCE SERVICE	\$1,123.26
01303224 4510	13	ERLA INC	PREVENTIVE MAINTENANCE	\$157.24
01303225 4602	13	CDS OFFICE TECHNOLOGIES	PANASONIC TOUGHBOOK 19 "F"	\$3,950.00
TOTAL EMERGENCY MEDICAL SERVICES				\$5,462.18
01303324 4507	13	FIRE SAFETY CONSULTANTS INC	PLAN REVIEW	\$1,098.81
01303324 4507	13	TYCO INTEGRATED SECURITY	INSTALLATION	\$125.00
01303324 4507	13	TYCO INTEGRATED SECURITY	PRO-RATED SERVICES	\$130.50
TOTAL PREVENTION				\$1,354.31
01303525 4602	13	MEIKEM SUPPLY INC	ER SERVICE CALL	\$243.75
TOTAL FIRE STATIONS				\$243.75
FIRE				\$21,906.69
01401223 4414	13	MASTER-BREW BEVERAGES, INC.	COFFEE	\$185.10
TOTAL ADMINISTRATIVE				\$185.10
01404123 4410	13	O'REILLY AUTO PARTS	VEHICLE REPAIR PARTS	\$99.99
01404123 4414	13	MENARDS - HNVR PARK	REPAIR PARTS	\$59.85
01404123 4414	13	MONROE TRUCK EQUIPMENT	REPAIR PARTS	\$710.54

VILLAGE OF HOFFMAN ESTATES

April 1, 2013

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
01404124 4507	13	PIRTANO CONSTRUCTION CO., INC.	LABOR/EQUIPMENT	\$280.00
TOTAL SNOW & ICE REMOVAL				\$0,150.00
01404223 4414	13	MENARDS - HNVK PARK	VARIOUS SUPPLIES	\$21.28
01404224 4521	13	HEALY ASPHALT CO., LLC.	SURFACE MATERIAL	\$366.08
01404224 4521	13	HEALY ASPHALT CO., LLC.	SURFACE MATERIALS	\$867.84
TOTAL PAVEMENT MAINTENANCE				\$1,255.20
01404322 4303	13	INTERNATIONAL SOCIETY ARBORICULTURE	RECERT - PLOCINSKI	\$100.00
01404324 4507	13	NELS JOHNSON TREE EXPERTS	STUMP REMOVAL	\$1,726.00
TOTAL FORESTRY				\$1,826.00
01404423 4414	13	NORTH AMERICAN CORP	TRUE NORTH BLEND ICE MELT	\$1,050.56
01404424 4503	13	NICOR GAS	GAS 1900 HASSELL RD	\$30.43
01404424 4503	13	NICOR GAS	GAS 411 W HIGGINS	\$6,674.06
01404424 4507	13	MCCLLOUD SERVICES	PEST CONTROL VILLAGE	\$90.00
01404424 4509	13	LECHNER AND SONS UNIFORM RENTAL	MONTHLY RENTAL SUPPLIES	\$37.82
01404424 4509	13	LECHNER AND SONS UNIFORM RENTAL	UNIFORMS	\$37.82
01404424 4510	13	AIRGAS USA, LLC	MEDICAL SUPPLIES	\$56.74
01404424 4510	13	GRAINGER INC	FUSES	\$34.96
01404424 4510	13	GRAINGER INC	FUSESS	\$118.16
01404424 4510	13	GRAINGER INC	VARIOUS SUPPLIES	\$14.76
01404424 4510	13	GRAYBAR ELECTRIC CO INC	LIGHTING SUPPLIES	\$387.90
01404424 4510	13	STATE OF ILLINOIS - BOILER SAFETY	BOILER INSPECTION	\$200.00
01404424 4510	13	STATE OF ILLINOIS - BOILER SAFETY	CERTIFICATION FEES	\$280.00
01404424 4516	13	TOTAL FACILITY MAINTENANCE, INC.	CONTRACT CLEANING	\$2,840.00
01404424 4517	13	TOTAL FACILITY MAINTENANCE, INC.	CLEANING - PW	\$1,050.00
01404424 4518	13	MCELROY PLUMBING INC	PLUMBING WORK STA 22	\$12,833.00
01404424 4520	13	TOTAL FACILITY MAINTENANCE, INC.	CLEANING - PW	\$1,300.00
TOTAL FACILITIES				\$27,086.20
01404522 4304	13	LECHNER AND SONS UNIFORM RENTAL	MONTHLY RENTAL SUPPLIES	\$35.74
01404522 4304	13	LECHNER AND SONS UNIFORM RENTAL	UNIFORMS	\$35.74
01404523 4408	13	K & K SALES & SERVICES, INC.	VARIOUS SUPPLIES	\$210.60
01404523 4411	13	PALATINE OIL CO., INC	FUEL	\$24,803.44
01404523 4414	13	CARQUEST AUTO PARTS	OFFICE SUPPLIES	\$83.28
01404523 4414	13	MASTER-BREW BEVERAGES, INC.	COFFEE	\$32.95
01404523 4414	13	MYERS TIRE SUPPLY CO.	REPAIR PARTS	\$205.40
01404523 4414	13	O'REILLY AUTO PARTS	AUTO REPAIR PARTS	\$57.90
01404524 4509	13	AIRGAS USA, LLC	MEDICAL SUPPLIES	\$144.21
01404524 4509	13	HERITAGE-CRYSTAL CLEAN	FUEL	\$311.32
01404524 4510	13	ACCURATE TANK TECHNOLOGIES	REPAIR PARTS	\$385.00
01404524 4510	13	AIRGAS USA, LLC	RENTAL	\$114.74
01404524 4510	13	K & K SALES & SERVICES, INC.	LIFT SAFETY INSPECTIONS	\$360.00
01404524 4510	13	K & K SALES & SERVICES, INC.	REPAIR PARTS	\$312.20
01404524 4513	13	BOB ROHRMAN'S SCHAUMBURG FORD	REPAIR PARTS	\$216.06
01404524 4513	13	CARQUEST AUTO PARTS	AUTO REPAIR PARTS	\$37.21
01404524 4513	13	FIRESTONE TRUCK & SERVICE CENTER	AUTO REPAIR PARTS	\$442.44
01404524 4513	13	GOLF ROSE CAR WASH	VEHICLE WASHES	\$351.00

VILLAGE OF HOFFMAN ESTATES

April 1, 2013

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
01404524 4513	13	O'REILLY AUTO PARTS	VEHICLE REPAIR PARTS	\$20.71
01404524 4513	13	SECRETARY OF STATE	LICENSE PLATE RENEW	\$101.00
01404524 4513	13	SPRING HILL FORD	VEHICLE REPAIR PARTS	\$13.00
01404524 4514	13	GOLF ROSE CAR WASH	VEHICLE WASHES	\$39.00
01404524 4533	13	GOLF ROSE CAR WASH	VEHICLE WASHES	\$6.50
01404524 4534	13	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	\$55.20
01404524 4535	13	GOLF ROSE CAR WASH	VEHICLE WASHES	\$6.50
01404524 4535	13	O'REILLY AUTO PARTS	AUTO REPAIR PARTS	\$69.71
01404524 4536	13	INTERSTATE BATTERY SYSTEMS		\$101.95
TOTAL FLEET SERVICES				\$28,562.80
01404623 4408	13	GRAINGER INC	VOLTAGE DETECTOR	\$32.54
TOTAL F.A.S.T.				\$32.54
01404724 4522	13	WELCH BROS INC	REPAIR PARTS	\$232.17
01404724 4522	13	WELCH BROS INC	VARIOUS SUPPLIES	\$67.00
TOTAL STORM SEWERS				\$299.17
01404823 4414	13	MCMASTER CARR SUPPLY CO	REPAIR PARTS	\$36.57
01404823 4414	13	MENARDS - HNVK PARK	VARIOUS SUPPLIES	\$17.83
01404824 4502	13	COMMONWEALTH EDISON	PW ELECTRIC	\$374.28
01404824 4502	13	CONSTELLATION NEW ENERGY INC	ELECTRIC	\$25.05
01404824 4523	13	ACTIVE ELECTRICAL SUPPLY CO. INC	HPS 150W #71A8176-001D	\$1,200.04
01404824 4523	13	ACTIVE ELECTRICAL SUPPLY CO. INC	HPS 400W #71A8473-001D	\$1,242.00
01404824 4523	13	ACTIVE ELECTRICAL SUPPLY CO. INC	MH 150W #71A5493-001D	\$298.75
01404824 4523	13	ACTIVE ELECTRICAL SUPPLY CO. INC	MH 250W #71A5771-001D	\$495.00
01404824 4523	13	ACTIVE ELECTRICAL SUPPLY CO. INC	MH 400W #71A6071-001D	\$473.60
01404824 4544	13	SHERWIN INDUSTRIES, INC	BARRICADES AS DESCRIBED	\$2,345.30
01404824 4544	13	SHERWIN INDUSTRIES, INC	SHIPPING	\$250.00
01404824 4544	13	TRAFFIC CONTROL & PROTECTION	BARRICADES AS DESCRIBED	\$410.50
TOTAL TRAFFIC CONTROL				\$7,168.92
PUBLIC WORKS				\$67,506.32
01505024 4546	13	PADDOCK PUBLICATIONS	HEARING NOTICES	\$66.75
01505024 4546	13	PADDOCK PUBLICATIONS	PUBLIC HEARING NOTICE	\$27.75
TOTAL PLANNING				\$94.50
01505123 4403	13	B & L BLUEPRINT, INC	PRINTING SERVICES	\$15.60
01505124 4507	13	THOMPSON ELEVATOR INSPECTION INC	ELEV INSPECTION	\$38.00
TOTAL CODE ENFORCEMENT				\$53.60
01505224 4510	13	KARA COMPANY INC	OUTDOOR CALABRATION	\$40.00
01505224 4545	13	MARTY SALERNO	SAFETY BOOTS	\$100.00
TOTAL TRANSPORTATION AND ENGINEERING				\$140.00
DEVELOPMENT SERVICES				\$288.10
01556523 4413	13	VALERIE WILSON	REIM FOR SNACKS	\$48.59
HEALTH & HUMAN SERVICES				\$48.59
01605324 4561	13	SCS PRODUCTIONS INC.	STAGE, LIGHTING, AND SOUN	\$2,500.00
01605324 4562	13	AMERI TEMP EQUIPMENT SERVICES	RENTAL OF ELECTRICAL SERV	\$3,450.00
TOTAL FOURTH OF JULY				\$5,950.00
01605724 4507	13	C.O.P.S. TESTING SERVICE, INC	POLYGRAPH TESTING	\$3,640.00

VILLAGE OF HOFFMAN ESTATES

April 1, 2013

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
TOTAL FIRE & POLICE COMMISSION				\$34,640.00
01605824 4555	13	LANDS' END BUSINESS OUTFITTERS	UNIFORMS	\$504.20
01605824 4599	13	MICHELLE PILAFAS	REIM FOR ST PATS DANCE	\$57.16
01605824 5501	13	K & M PRINTING CO	CELTIC FEST CARDS	\$150.00
TOTAL MISCELLANEOUS B & C				\$711.36
BOARDS & COMMISSIONS				\$10,301.36
TOTAL GENERAL FUND				\$148,117.07
06300024 4515	13	GLOBAL EMERGENCY PRODUCTS	REPAIR PARTS	\$117.12
06300024 4515	13	LEACH ENTERPRISES INC	VEHICLE REPAIR PARTS	\$102.31
06300024 4515	13	MAPES AUTO UPHOLSTERY, INC	FIRE TRUCK REPAIRS	\$150.00
TOTAL FIRE				\$369.43
06400024 4588	13	INTERSTATE BATTERY SYSTEMS	REPAIR PARTS	\$847.60
06400025 4604	13	MCCLOUD SERVICES	PEST CONTROL BEACON	\$95.00
06400025 4604	13	RAY'S PLUMBING	SEWER RODDING	\$339.00
TOTAL PUBLIC WORKS				\$1,281.60
06750023 4414	13	B & L BLUEPRINT, INC	BLUEPRINT SCANNING	\$26.40
06750024 4542	13	ARNSTEIN & LEHR LLP	PROF SERVICES	\$975.00
06750024 4542	13	ARNSTEIN & LEHR LLP	PROF SERVICES FEB2013	\$6,000.00
TOTAL ADMINISTRATION				\$7,001.40
TOTAL EDA ADMINISTRATION FUND				\$8,652.43
08200824 4539	13	CARQUEST AUTO PARTS	AUTO REPAIR PARTS	\$2.38
08200825 4602	13	ULTRA STROBE COMMUNICATIONS	REINSTALL OF CAMERA	\$450.00
08200825 4602	13	ULTRA STROBE COMMUNICATIONS	REINSTALLATION OF CAMERA	\$450.00
08200825 4602	13	ULTRA STROBE COMMUNICATIONS	REMOVAL OF CAMERA	\$1,350.00
08200825 4602	13	ULTRA STROBE COMMUNICATIONS	REMOVAL REINSTALL	\$450.00
08200825 4602	13	ULTRA STROBE COMMUNICATIONS	REMOVAL REINSTALLATION	\$450.00
TOTAL FEDERAL ASSET SEIZURE				\$3,152.38
TOTAL ASSET SEIZURE FUND				\$3,152.38
40400013 3425	13	FRANK TYPMI	REFUND, OVERPMT WATER	\$184.20
40400013 3425	13	PROSPECTIVE REALTY	OVER PYMT WATER	\$11.72
40400013 3425	13	ROUNDY'S SUPERMARKET INC	REFUND OVERBILL WATER	\$90,631.54
40400013 3425	13	SCHLIDA YOUNG	REFUND OVERPMT WATER	\$285.18
TOTAL WATER REFUND				\$91,112.64
40406723 4414	13	MASTER-BREW BEVERAGES, INC.	COFFEE	\$185.10
40406723 4414	13	MENARDS - HNVR PARK	VARIOUS SUPPLIES	\$330.17
40406723 4420	13	WATER RESOURCES INC	METERS PROREAD	\$3,760.00
40406724 4501	13	NEXTEL COMMUNICATIONS	WIRELESS SERVICES	\$97.98
40406724 4502	13	CONSTELLATION NEW ENERGY INC	ELEC 1790 CHIPPENDALE	\$756.76
40406724 4502	13	CONSTELLATION NEW ENERGY INC	ELEC 4140 CRIMSON	\$662.98
40406724 4502	13	CONSTELLATION NEW ENERGY INC	ELECTRIC	\$6,010.58
40406724 4507	13	SUBURBAN LABORATORIES, INC.	VOLATILE ORGANICS	\$2,020.65

VILLAGE OF HOFFMAN ESTATES

April 1, 2013

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
40406724 4507	13	TODD HINDENBURG	CDL REIM RENEWAL	\$30.00
40406724 4509	13	ALEXANDER CHEMICAL CORP	RENTAL	\$160.00
40406724 4510	13	M & M RADIO LAB	SERVICE & REPAIR	\$224.72
40406724 4510	13	MAPES AUTO UPHOLSTERY, INC	VARIOUS REPAIRS	\$100.00
40406724 4510	13	MENARDS - HNVR PARK	REPAIR PARTS	\$29.99
40406724 4510	13	MENARDS - HNVR PARK	VARIOUS SUPPLIES	\$94.22
40406724 4531	13	HACH CO	REPAIR PARTS	\$138.84
40406724 4585	13	ACME TRUCK BRAKE & SUPPLY CO.	RTN VEHICLE REPAIR	(\$28.78)
40406724 4585	13	ACME TRUCK BRAKE & SUPPLY CO.	VEHICLE REPAIR PARTS	\$218.13
40406724 4585	13	CHICAGO INTERNATIONAL TRUCKS, LLC	RTN VEHICLE REPAIR PARTS	(\$52.97)
40406724 4585	13	CHICAGO INTERNATIONAL TRUCKS, LLC	VEHICLE REPAIR PARTS	\$9.24
40406725 4602	13	TRAFFIC CONTROL & PROTECTION	BARRICADES AS DESCRIBED	\$410.50
TOTAL WATER DIVISION				\$15,168.11
40406823 4408	13	MENARDS - HNVR PARK	VARIOUS SUPPLIES	\$44.84
40406824 4502	13	CONSTELLATION NEW ENERGY INC	ELEC 1200 KINGS DALE	\$156.57
40406824 4502	13	CONSTELLATION NEW ENERGY INC	ELEC 1629 CROWFOOT	\$135.05
40406824 4502	13	CONSTELLATION NEW ENERGY INC	ELEC 1790 CHIPPENDALE	\$1,135.14
40406824 4502	13	CONSTELLATION NEW ENERGY INC	ELEC 6100 SHOE FACTORY	\$451.36
40406824 4502	13	CONSTELLATION NEW ENERGY INC	ELECTRIC	\$2,755.16
40406824 4530	13	HD SUPPLY WATERWORKS LTD	VARIOUS SUPPLIES	\$659.66
40406824 4530	13	WELCH BROS INC	CREDIT	(\$95.00)
TOTAL SEWER DIVISION				\$5,202.78
TOTAL WATERWORKS AND SEWERAGE FUND				\$111,513.53
46700024 4552	13	MCELROY PLUMBING INC	PLUMBING WORK STA 22	\$1,150.00
TOTAL RISK RETENTION				\$1,150.00
TOTAL INSURANCE FUND				\$1,150.00
47001223 4402	13	OFFICE DEPOT	OFFICE SUPPLIES	\$57.50
TOTAL ADMINISTRATIVE				\$57.50
47008524 4507	13	DLS INTERNET SERVICES	INTERNET SERVICES	\$359.63
47008524 4510	13	THE SIDWELL CO.	WEB ACCESS YEAR FEE	\$989.45
TOTAL OPERATIONS				\$1,349.08
47008625 4602	13	CDS OFFICE TECHNOLOGIES	CF-31SALAX1M	\$40,975.00
47008625 4602	13	CDS OFFICE TECHNOLOGIES	CF-SVCLTEXT1Y	\$2,200.00
47008625 4602	13	CDS OFFICE TECHNOLOGIES	CF-VDM311U MULTI-DRIVE	\$309.00
47008625 4619	13	SUNGARD PUBLIC SECTOR	MAINTENANCE	\$9,848.00
TOTAL CAPITAL ASSETS				\$53,332.00
TOTAL INFORMATION SYSTEMS FUND				\$54,738.58
BILL LIST TOTAL				\$27,626.99

SUNGARD PUBLIC SECTOR
 DATE: 03/28/2013
 TIME: 13:07:07

VILLAGE OF HOFFMAN ESTATES
 CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 1
 ACCTPA21

SELECTION CRITERIA: transact.t_c='20' and transact.trans_date between '20130315 00:00:00. 0' and '20130328 00:00:00. 0'
 ACCOUNTING PERIOD: 3/13

FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	BUDGET UNIT	DESCRIPTION	SALES TAX	AMOUNT
0102	83162 V	12/04/12	5755 SCHROEDER ASPHALT SERVIC	36000025	ST. REVIT CAPITAL IMPR	0.00	-2,720.00
0102	83162 V	12/04/12	5755 SCHROEDER ASPHALT SERVIC	36000025	ST. REVIT CAPITAL IMPR	0.00	-55,312.99
TOTAL CHECK						0.00	-58,032.99
0102	84426 V	03/19/13	7572 HERITAGE-CRYSTAL CLEAN	01404524	USED ANTIFREEZE	0.00	-195.50
0102	84426 V	03/19/13	7572 HERITAGE-CRYSTAL CLEAN	01404524	USED ANTIFREEZE	0.00	-195.50
TOTAL CHECK						0.00	-391.00
0102	84442 V	03/19/13	13958 ARJA K KASPER	01303122	MACKIE REGISTRATION	0.00	-265.00
0102	84442 V	03/19/13	13958 ARJA K KASPER	46000021	VSP MARCH 2013	0.00	-1,572.90
TOTAL CHECK						0.00	-1,837.90
0102	84484 V	03/19/13	4904 RENTAL MAX OF ROSELLE	01605824	CHARCOAL BAG	0.00	-135.53
0102	84496 V	03/19/13	1495 SPRING HILL FORD	01	AUTO REPAIR PARTS	0.00	-331.74
0102	84496 V	03/19/13	1495 SPRING HILL FORD	01404524	AUTO REPAIR PARTS	0.00	-51.26
0102	84496 V	03/19/13	1495 SPRING HILL FORD	01404524	AUTO REPAIR PARTS	0.00	-43.61
0102	84496 V	03/19/13	1495 SPRING HILL FORD	01404524	AUTO REPAIR PARTS	0.00	-340.00
TOTAL CHECK						0.00	-766.61
0102	84500 V	03/19/13	5076 STEINER ELECTRIC CO.	01404424	VENTURE LIGHTING LOT	0.00	-94.72
0102	84500 V	03/19/13	5076 STEINER ELECTRIC CO.	01404424	VARIOUS SUPPLIES	0.00	-94.72
TOTAL CHECK						0.00	-189.44
0102	84501 V	03/19/13	15302 STEVE BRANDT	01605824	ENTERTAINMENT ST PAT'S	0.00	-150.00
0102	84523	03/15/13	2226 PETTY CASH	01201222	PETTY CASH	0.00	20.00
0102	84523	03/15/13	2226 PETTY CASH	01201223	PETTY CASH	0.00	5.07
0102	84523	03/15/13	2226 PETTY CASH	01201223	PETTY CASH	0.00	56.51
0102	84523	03/15/13	2226 PETTY CASH	01201223	PETTY CASH	0.00	28.89
0102	84523	03/15/13	2226 PETTY CASH	01202123	PETTY CASH	0.00	62.68
0102	84523	03/15/13	2226 PETTY CASH	01202125	PETTY CASH	0.00	22.02
0102	84523	03/15/13	2226 PETTY CASH	01202322	PETTY CASH	0.00	27.00
0102	84523	03/15/13	2226 PETTY CASH	01202323	PETTY CASH	0.00	9.28
0102	84523	03/15/13	2226 PETTY CASH	01202423	PETTY CASH	0.00	12.97
0102	84523	03/15/13	2226 PETTY CASH	01202423	PETTY CASH	0.00	34.27
0102	84523	03/15/13	2226 PETTY CASH	01605723	PETTY CASH	0.00	3.24
TOTAL CHECK						0.00	281.93
0102	84524	03/15/13	15302 STEVE BRANDT	01605824	ENTERTAIN ST PAT'S DA	0.00	150.00
0102	84525	03/15/13	12997 GROOT INDUSTRIES, INC.	09	DELINQUENT GROOT	0.00	251.84
0102	84526	03/15/13	14290 GARY STANTON	01101122	LEGISLATIVE DAYS	0.00	73.00
0102	84527	03/15/13	2439 WILLIAM MCLEOD	01101122	LEGISLATIVE DAYS	0.00	73.00
0102	84528	03/15/13	2648 JAMES NORRIS	01101222	PER DIEM SPRINGFIELD	0.00	286.16
0102	84529	03/18/13	9888 PURCHASE ADVANTAGE CARD	01101123	VARIOUS SUPPLIES	0.00	45.91
0102	84529	03/18/13	9888 PURCHASE ADVANTAGE CARD	01605723	VARIOUS SUPPLIES	0.00	52.25
0102	84529	03/18/13	9888 PURCHASE ADVANTAGE CARD	01404123	VARIOUS SUPPLIES	0.00	37.00

SUNGARD PUBLIC SECTOR
 DATE: 03/28/2013
 TIME: 13:07:07

VILLAGE OF HOFFMAN ESTATES
 CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 2
 ACCTPA21

SELECTION CRITERIA: transact.t_c='20' and transact.trans_date between '20130315 00:00:00. 0' and '20130328 00:00:00. 0'
 ACCOUNTING PERIOD: 3/13

FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	BUDGET UNIT	DESCRIPTION	SALES TAX	AMOUNT
0102	84529	03/18/13	9888 PURCHASE ADVANTAGE CARD	01202423	VARIOUS SUPPLIES	0.00	48.48
0102	84529	03/18/13	9888 PURCHASE ADVANTAGE CARD	01201223	VARIOUS SUPPLIES	0.00	21.99
0102	84529	03/18/13	9888 PURCHASE ADVANTAGE CARD	01201223	VARIOUS SUPPLIES	0.00	155.95
TOTAL CHECK						0.00	361.58
0102	84530	03/18/13	14550 CALL ONE	01404424	LANDLINES	0.00	378.47
0102	84530	03/18/13	14550 CALL ONE	01303324	LANDLINES	0.00	31.49
0102	84530	03/18/13	14550 CALL ONE	40406724	LANDLINES	0.00	23.26
0102	84530	03/18/13	14550 CALL ONE	01201224	LANDLINES	0.00	30.28
0102	84530	03/18/13	14550 CALL ONE	01556524	LANDLINES	0.00	23.26
0102	84530	03/18/13	14550 CALL ONE	01404424	LANDLINES	0.00	1,206.63
0102	84530	03/18/13	14550 CALL ONE	40406724	LANDLINES	0.00	2,467.05
0102	84530	03/18/13	14550 CALL ONE	40406824	LANDLINES	0.00	1,926.68
TOTAL CHECK						0.00	6,087.12
0102	84537	03/19/13	13958 ARJA K KASPER	46000021	VSP MONTHLY MARCH	0.00	1,572.90
0102	84538	03/19/13	13598 INFECTION CONTROL EMERGI	01303122	REG MACKIE	0.00	265.00
0102	84539	03/19/13	1494 SPRING ALIGN	01404524	VEHICLE REPAIR PARTS	0.00	340.00
0102	84540	03/19/13	1495 SPRING HILL FORD	01	VEHICLE REPAIRS	0.00	331.74
0102	84540	03/19/13	1495 SPRING HILL FORD	01404524	VEHICLE REPAIRS	0.00	51.26
0102	84540	03/19/13	1495 SPRING HILL FORD	01404524	VEHICLE REPAIRS	0.00	43.61
TOTAL CHECK						0.00	426.61
0102	84541	03/19/13	5076 STEINER ELECTRIC CO.	01404424	VEHICLE REPAIRS	0.00	94.72
0102	84542	03/19/13	7572 HERITAGE-CRYSTAL CLEAN	01404524	ANTI FREEZE	0.00	195.50
0102	84543	03/20/13	15325 ADP DEALER SERVICES, INC	01505924	SALES TAX INCENTIVE	0.00	120,000.00
0102	84544	03/20/13	2754 HOFFMAN ESTATES PARK DIS	01	DONATION IN LIEU LAND	0.00	4,787.20
0102	84545	03/20/13	5092 TOWNSHIP H.S.DISTRICT 21	01	PAYOUT LAND CONTRIB	0.00	1,877.75
0102	84546	03/20/13	5092 TOWNSHIP H.S.DISTRICT 21	01	DONATION SCH CONSTR	0.00	549.96
0102	84547	03/20/13	1952 SCHOOL DISTRICT #15	01	PAUOUT LAND CONTRIB	0.00	4,274.65
0102	84548	03/20/13	1952 SCHOOL DISTRICT #15	01	CASH DONATIONS CONST	0.00	1,403.02
0102	84555	03/21/13	4065 THE HOME DEPOT #1904	01303523	VARIOUS SUPPLIES	0.00	175.63
0102	84555	03/21/13	4065 THE HOME DEPOT #1904	01303122	VARIOUS SUPPLIES	0.00	15.91
0102	84555	03/21/13	4065 THE HOME DEPOT #1904	01303023	VARIOUS SUPPLIES	0.00	47.22
0102	84555	03/21/13	4065 THE HOME DEPOT #1904	01404323	VARIOUS SUPPLIES	0.00	350.30
0102	84555	03/21/13	4065 THE HOME DEPOT #1904	01404623	VARIOUS SUPPLIES	0.00	34.40
0102	84555	03/21/13	4065 THE HOME DEPOT #1904	40406724	VARIOUS SUPPLIES	0.00	13.96
0102	84555	03/21/13	4065 THE HOME DEPOT #1904	01303223	VARIOUS SUPPLIES	0.00	13.96
0102	84555	03/21/13	4065 THE HOME DEPOT #1904	01303123	VARIOUS SUPPLIES	0.00	185.64
0102	84555	03/21/13	4065 THE HOME DEPOT #1904	40406723	VARIOUS SUPPLIES	0.00	172.60
0102	84555	03/21/13	4065 THE HOME DEPOT #1904	40406823	VARIOUS SUPPLIES	0.00	102.49

SUNGARD PUBLIC SECTOR
 DATE: 03/28/2013
 TIME: 13:07:07

VILLAGE OF HOFFMAN ESTATES
 CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 3
 ACCTPA21

SELECTION CRITERIA: transact.t_c='20' and transact.trans_date between '20130315 00:00:00. 0' and '20130328 00:00:00. 0'
 ACCOUNTING PERIOD: 3/13

FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	BUDGET UNIT	DESCRIPTION	SALES TAX	AMOUNT
0102	84555	03/21/13	4065 THE HOME DEPOT #1904	40406724	VARIOUS SUPPLIES	0.00	140.74
TOTAL CHECK						0.00	1,252.85
0102	84556	03/21/13	14665 MELISSA MARSCIN	01605824	REIM SISTER CITI EXCH	0.00	209.00
0102	84557	03/21/13	1231 LILLIAN MOSIER	01605824	REIM SISTER CITI FREN	0.00	37.46
0102	84558	03/25/13	14755 ILLINOIS DIRECTOR OF EMP	46700021	QTRLY FEES	0.00	4.54
0102	84559	03/25/13	11261 WEX BANK	01404523	MONTHLY FUEL CARD	0.00	6.00
0102	84560	03/25/13	1156 AT & T	01404424	LANDLINES	0.00	43.92
0102	84560	03/25/13	1156 AT & T	40406724	LANDLINES	0.00	18.81
0102	84560	03/25/13	1156 AT & T	01303324	LANDLINES	0.00	309.75
TOTAL CHECK						0.00	372.48
0102	84561	03/26/13	2226 PETTY CASH	01605824	SISTER CITI REIM	0.00	1,367.50
0102	84562	03/27/13	4496 VERIZON WIRELESS	01505024	WIRELESS SERVICES	0.00	60.23
0102	84562	03/27/13	4496 VERIZON WIRELESS	01505124	WIRELESS SERVICES	0.00	426.89
0102	84562	03/27/13	4496 VERIZON WIRELESS	01505224	WIRELESS SERVICES	0.00	279.47
0102	84562	03/27/13	4496 VERIZON WIRELESS	01505924	WIRELESS SERVICES	0.00	164.47
0102	84562	03/27/13	4496 VERIZON WIRELESS	01556524	WIRELESS SERVICES	0.00	120.46
0102	84562	03/27/13	4496 VERIZON WIRELESS	06750024	WIRELESS SERVICES	0.00	65.07
0102	84562	03/27/13	4496 VERIZON WIRELESS	40406724	WIRELESS SERVICES	0.00	909.95
0102	84562	03/27/13	4496 VERIZON WIRELESS	47008524	WIRELESS SERVICES	0.00	81.37
0102	84562	03/27/13	4496 VERIZON WIRELESS	47001224	WIRELESS SERVICES	0.00	756.37
0102	84562	03/27/13	4496 VERIZON WIRELESS	47001224	WIRELESS SERVICES	0.00	-199.99
0102	84562	03/27/13	4496 VERIZON WIRELESS	01101124	WIRELESS SERVICES	0.00	587.56
0102	84562	03/27/13	4496 VERIZON WIRELESS	01101224	WIRELESS SERVICES	0.00	277.19
0102	84562	03/27/13	4496 VERIZON WIRELESS	07000024	WIRELESS SERVICES	0.00	2,198.81
0102	84562	03/27/13	4496 VERIZON WIRELESS	01101324	WIRELESS SERVICES	0.00	61.57
0102	84562	03/27/13	4496 VERIZON WIRELESS	01101424	WIRELESS SERVICES	0.00	120.46
0102	84562	03/27/13	4496 VERIZON WIRELESS	01101524	WIRELESS SERVICES	0.00	60.23
0102	84562	03/27/13	4496 VERIZON WIRELESS	01101624	WIRELESS SERVICES	0.00	120.46
0102	84562	03/27/13	4496 VERIZON WIRELESS	01102524	WIRELESS SERVICES	0.00	60.23
0102	84562	03/27/13	4496 VERIZON WIRELESS	01106224	WIRELESS SERVICES	0.00	60.23
0102	84562	03/27/13	4496 VERIZON WIRELESS	01207124	WIRELESS SERVICES	0.00	60.23
0102	84562	03/27/13	4496 VERIZON WIRELESS	01201224	WIRELESS SERVICES	0.00	904.76
0102	84562	03/27/13	4496 VERIZON WIRELESS	01301224	WIRELESS SERVICES	0.00	215.36
0102	84562	03/27/13	4496 VERIZON WIRELESS	01303124	WIRELESS SERVICES	0.00	191.39
0102	84562	03/27/13	4496 VERIZON WIRELESS	01303124	WIRELESS SERVICES	0.00	34.67
0102	84562	03/27/13	4496 VERIZON WIRELESS	01303124	WIRELESS SERVICES	0.00	60.23
0102	84562	03/27/13	4496 VERIZON WIRELESS	01303224	WIRELESS SERVICES	0.00	381.34
0102	84562	03/27/13	4496 VERIZON WIRELESS	01303324	WIRELESS SERVICES	0.00	60.23
0102	84562	03/27/13	4496 VERIZON WIRELESS	01401224	WIRELESS SERVICES	0.00	118.26
0102	84562	03/27/13	4496 VERIZON WIRELESS	01404124	WIRELESS SERVICES	0.00	189.80
0102	84562	03/27/13	4496 VERIZON WIRELESS	01404224	WIRELESS SERVICES	0.00	34.67
0102	84562	03/27/13	4496 VERIZON WIRELESS	01404324	WIRELESS SERVICES	0.00	69.33
0102	84562	03/27/13	4496 VERIZON WIRELESS	01404424	WIRELESS SERVICES	0.00	198.90
0102	84562	03/27/13	4496 VERIZON WIRELESS	01404524	WIRELESS SERVICES	0.00	60.23
0102	84562	03/27/13	4496 VERIZON WIRELESS	01404824	WIRELESS SERVICES	0.00	34.67

SUNGARD PUBLIC SECTOR
DATE: 03/28/2013
TIME: 13:07:07

VILLAGE OF HOFFMAN ESTATES
CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 4
ACCTPA21

SELECTION CRITERIA: transact.t_c='20' and transact.trans_date between '20130315 00:00:00. 0' and '20130328 00:00:00. 0'
ACCOUNTING PERIOD: 3/13

FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	-----VENDOR-----	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
0102	84562	03/27/13	4496 VERIZON WIRELESS	01501224	WIRELESS SERVICES	0.00	60.23
TOTAL CHECK						0.00	8,885.33
0102	84563	03/27/13	8351 JOHN FITZGERALD	01	C-PAL	0.00	2,000.00
0102	84564	03/28/13	12166 AARP HEALTH CARE OPTIONS	01	INSURANCE PYMT	0.00	193.58
0102	84565	03/28/13	11803 GLENBARD TOWNSHIP HS	01	INS JAN-MARCH	0.00	1,872.00
TOTAL CASH ACCOUNT						0.00	98,049.21
TOTAL FUND						0.00	98,049.21
TOTAL REPORT						0.00	98,049.21

AGENDA
GENERAL ADMINISTRATION & PERSONNEL COMMITTEE
VILLAGE OF HOFFMAN ESTATES
APRIL 8, 2013

DRAFT

7:00 p.m. – Board Room

Members: Ray Kincaid, Chairman
Gary Stanton, Vice Chairman
Karen Mills, Trustee
Jacquelyn Green, Trustee
Anna Newell, Trustee
Gary Pilafas, Trustee
Mayor William McLeod

- I. Roll Call**
- II. Approval of Minutes – March 18, 2013**

NEW BUSINESS

- 1. Discussion regarding Legislative Update.
- 2. Request acceptance of Cable TV Monthly Report.
- 3. Request acceptance of Human Resources Management Monthly Report.

- III. President's Report**
- IV. Other**
- V. Items in Review**
- VI. Adjournment**

AGENDA
TRANSPORTATION AND ROAD IMPROVEMENT COMMITTEE
Village of Hoffman Estates
April 8, 2013

DRAFT

Immediately Following General Administration & Personnel

Members:	Gary Stanton, Chairperson	Jacquelyn Green, Trustee
	Karen Mills, Vice Chairperson	Anna Newell, Trustee
	Ray Kincaid, Trustee	Gary Pilafas, Trustee
		William McLeod, Mayor

I. Roll Call

II. Approval of Minutes – March 18, 2013

NEW BUSINESS

1. Request approval of Intergovernmental Agreement with Cook County for the Canadian National Noise Mitigation Program.
2. Presentation of the Barrington Road Full Interchange project.
3. Request acceptance of Transportation Division Monthly Report.

III. President's Report

IV. Other

V. Items in Review

VI. Adjournment

AGENDA
PLANNING, BUILDING AND ZONING COMMITTEE
Village of Hoffman Estates
April 8, 2013

DRAFT

Immediately Following the Transportation & Road Improvement Committee

Members:	Karen Mills, Chairperson	Gary Pilafas, Trustee
	Ray Kincaid, Vice Chairperson	Jacquelyn Green, Trustee
	Gary Stanton, Trustee	Anna Newell, Trustee
		William McLeod, Mayor

I. Roll Call

II. Approval of Minutes - March 18, 2013

NEW BUSINESS

1. Request acceptance of Department of Development Services monthly report for Planning Division.
2. Request acceptance of Department of Development Services monthly report for Code Enforcement Division.
3. Request acceptance of Department of Development Services monthly report for Economic Development and Tourism.

III. President's Report

IV. Other

V. Items in Review

VI. Adjournment



VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION
FINDING OF FACT

PROJECT NO.: 2013007P

VILLAGE BOARD MEETING DATE: April 1, 2013

PETITIONER(S): CHARLES PLAZA (Formerly Rose Plaza) – Master Sign Amendment

PROJECT ADDRESS: 1405-1481 PALATINE ROAD ZONING DISTRICT: R-9, SUBZONE F-2 BUSINESS

Does the Planning and Zoning Commission find that this request meets the Standards for a Master Sign Plan (Section 9-3-8-M-12)? YES NO

Recommendation: **APPROVAL**

Vote: 10 Ayes 1 Absent

PZC MEETING DATE: MARCH 20, 2013

STAFF ASSIGNED: JOSH EDWARDS

Request by Hoffman Village, LLC c/o Highland Management Associates, Inc. (Owner) for a Site Plan Amendment and a Master Sign Plan Amendment in accordance with Section 9-3-8-M-12 of the Zoning Code for the property at 1405 – 1481 Palatine Road based on the “Charles Plaza Shopping Center Master Sign Plan” (amended March 20, 2013).

AUDIENCE COMMENTS

None.

FINDING

The Commission heard from the petitioners, Charles Margosian and Charles Margosian III, who recently purchased the shopping center. The petitioners described their plans to improve the shopping center, which includes replacing the ground sign on the property. The proposed sign is designed to accommodate reasonably-sized panels for all 20 tenant spaces of the shopping center. It includes brick, textured concrete block, and metal that would match the materials and colors of the shopping center buildings. The petitioners are requesting a Master Sign Plan amendment to accommodate a larger sign and for it to be closer to the property line than currently permitted. The Commission had no concerns about the proposed size and setback changes, and generally complimented the proposed sign.

The Commission determined that the Standards for a Master Sign Plan had been met and voted unanimously to recommend approval of the request.

PLANNING AND ZONING COMMISSIONERS

Chairperson Eva Combs Myrene Iozzo
Vice-Chairman Michael Gaeta Thomas Krettler
Donna Boomgarden Gaurav Patel
Steve Caramelli Steve Hehn
Lenard Henderson Steve Wehofer
Denise Wilson

ROLL CALL VOTE

10 Ayes
1 Absent (Boomgarden)

MOTION PASSED

Planning and Zoning Commission Finding of Fact
Charles Plaza – 1401-1481 Palatine Road – Master Sign Plan Amendment
Village Board Meeting Date: April 1, 2013

The following attachments are hereby incorporated as part of this Finding of Fact:

Staff Report
Charles Plaza Shopping Center Master Sign Plan dated March 20, 2013
Petitioner Application & Submittals
Legal Notice
Notification Map
Aerial Photo



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT NO.: 2013007P

PROJECT NAME: Charles Plaza (formerly Rose Plaza)
Master Sign Plan Amendment

PROJECT ADDRESS/LOCATION: 1405 – 1481 Palatine Road

PUBLIC HEARING
YES NO

REZONING MASTER SIGN PLAN AMENDMENT SPECIAL USE VARIATION
SITE PLAN AMENDMENT PRELIMINARY & FINAL PLAT

MEETING DATE: March 20, 2013

STAFF ASSIGNED: JOSH EDWARDS *JAE*

REQUESTED MOTION

Approval of a request by Hoffman Village, LLC c/o Highland Management Associates, Inc. (Owner) for a Site Plan Amendment and a Master Sign Plan Amendment in accordance with Section 9-3-8-M-12 of the Zoning Code for the property at 1405 – 1481 Palatine Road based on the “Charles Plaza Shopping Center Master Sign Plan” (amended March 20, 2013).

INCLUDES RECOMMENDED CONDITIONS
YES NO

ACRES: 6.1 (Approximate)	ZONING DISTRICT: R-9, Subzone F-2 Business	
ADJACENT	NORTH: Residences; Zoned R-9, Subzone D	SOUTH: Residences; Zoned R-9, Subzone D
PROPERTIES:	EAST: Residences; Zoned R-9, Subzone D	WEST: Grocery Store; Zoned R-9, Subzone F-2

BACKGROUND

In 2011, the Village approved a Master Sign Plan for the property, which includes two buildings: a building at the front of the property near to Palatine Road and an in-line retail building next to the Jewel grocery store. The Rose Plaza Master Sign Plan includes provisions for various signs typical of a retail center. The Jewel building and parking lot in front of the grocery store, west of the main entrance from Palatine Road, are a separate parcel with separate ownership, and are not part of this Master Sign Plan.

The property owner, Hoffman Village, LLC c/o Highland Management Associates, Inc., recently purchased the property. The owners are in the process of making some cosmetic improvements to the property. The owners, Charles Margosian and Charles Margosian III, also identified a new ground sign as an improvement that may help their existing tenants and fill tenant vacancies.

The shopping center has also been renamed from Rose Plaza to Charles Plaza.

PROPOSAL

The petitioner is proposing to replace the existing ground sign located along Palatine Road that identifies the tenants of the shopping center. The petitioner is requesting a Master Sign Plan Amendment to modify the maximum size and minimum setback allowances for the ground sign. The proposed sign would include space for reasonably sized panels for all the tenant spaces in the shopping center; the existing sign does not have space for all tenants without reducing the panel sizes. The proposed amendment would change the allowable maximum square footage of the sign from 160 square feet to 180 square feet. It would change the minimum required property line setback from 10 feet to 4 feet. The reduced setback is proposed to install the sign where it may be more visible from Palatine Road.

To improve visibility of the sign and prevent cars from parking directly next to the sign the petitioner is proposing to remove two parking spaces, one on either side of the sign. This will also help to protect the sign from damage. The petitioner has included a site plan showing the removal of the two spaces and construction of new curb. This change is considered a Site Plan Amendment and the proposed motion includes this.

The petitioner evaluated the property for other signage needs, such as directional signs between the two buildings, and determined that such signs will not be necessary.

The instances of "Rose Plaza" in the Master Sign Plan have been changed to "Charles Plaza."

MASTER SIGN PLAN STANDARDS

Section 9-3-8-M-12 of the Zoning Code requires that in instances where the Zoning Code cannot be strictly followed, that the owner may propose a Master Sign Plan to accommodate the signs on the property and to set standards and restrictions on the signs. The Village requires a Master Sign Plan in lieu of sign variations except where a Master Sign Plan is not feasible or warranted (for a very minor request where a variation is deemed acceptable to request). The Zoning Code lists the goals that a Master Sign Plan should achieve as follows:

- Result in architecture and graphics of a scale appropriate for the subject development and the surrounding area;
- Provide signage consistent with the site plan and architecture of the project;
- Avoid visual clutter;
- Allow visitors, employees, and consumers to readily identify the business entrances, while addressing the community's need for attractive, unobtrusive architecture and commercial graphics; and
- Result in a unified theme of signage for the project.

Petitioners are encouraged to take a comprehensive approach to each master sign plan proposal because the plan will provide guidelines for signs that are desired both today, and into the future. The Plan functions as a "mini-sign code" for the property. The creation of a Master Sign Plan involves merging and considering several perspectives, including:

- Current Code requirements.
- Prior variation history on the subject property, as well as similar properties.

- Existing signage on the property.
- Specific current signage requests by the property owner.
- Likely possible signage requests in the future (consider the type use of the property and its location).
- Unique characteristics of the subject property.

STAFF SUMMARY

The Master Sign Plan process has allowed property owners to have larger signs than would otherwise be permitted in the Zoning Code. As a trade-off for this, the Village has required that signs be of a higher quality design and to use elements and materials that complement the buildings in the area. This compromise has resulted in a higher quality of signs at our retail centers, which mutually benefits the property owner, retail tenants, and residents.

The new sign at Charles Plaza will help to enhance the property and to promote tenants that do not have a presence on the existing sign. The sign has a distinct base, middle, and top of the sign, which is similar to other new ground signs elsewhere in the Village. The use of different materials and segments of the sign helps to break up the sign mass appearance. The sign also uses colors and materials that will match those of the shopping center buildings. The size and height of the sign is reasonable for the neighborhood context of this shopping center.

The removal of two parking spaces will not substantially affect the parking supply of the property. There will still be an adequate supply of parking spaces for the property.

RECOMMENDED CONDITIONS

None.

Attachments:

Charles Plaza Shopping Center Master Sign Plan dated March 20, 2013
Petitioner Application & Submittals
Legal Notice
Notification Map
Aerial Photo

**CHARLES PLAZA SHOPPING CENTER
MASTER SIGN PLAN
AS AMENDED MARCH 20, 2013**

March 20, 2013

DRAFT

Introduction

The Master Sign Plan requirements have been developed based on the signage that is unique to Charles Plaza. This plan has been designed with signage for this development that maintains consistency with other similar developments, yet takes into account certain unique characteristics of this development. Sign requirements for all buildings and parcels are included in this Plan to promote cohesion among all signs.

A. Area Included in Master Sign Plan

This Master Sign Plan applies to the Charles Plaza Shopping Center property including the main building, the multi-tenant out-building, and the eastern parking lot. The in-line tenants and out-building include the addresses 1405 – 1425 Palatine Road. The Jewel anchor store and its parking lot (1433 – 1489 Palatine Road) in the western portion of this development are owned by Jewel and is a separate parcel, and is not a part of this plan. Similarly, the out-buildings Hoffman Estates Community Bank (1375 Palatine Road) and Kinder Care (1351 Palatine Road) are excluded from this plan.

B. General Provisions (applicable to all property governed by this plan)

1. Setbacks. The grounds sign setbacks shall comply with the standards set forth in the Zoning Code.
2. Driver Sight Visibility. No sign shall be placed in a manner that will obstruct driver or pedestrian sight lines and create an unsafe condition based on analysis by the Village Transportation Division.
3. Landscaping. Landscaping shall be provided at the base of all signs, unless determined to be unsafe or not feasible by the Village Department of Development Services.
4. Illumination. All signs permitted by this Master Sign Plan may be illuminated in accordance with Section 9-3-8-F of the Zoning Code unless otherwise indicated in the approved Master Sign Plan documents.
5. Sign Design. Colors and letter graphic styles on the signs shall be determined by the owners of the property.

**CHARLES PLAZA SHOPPING CENTER
MASTER SIGN PLAN
AS AMENDED MARCH 20, 2013**

March 20, 2013

6. Calculation of Sign Area. All signs shall meet the requirements of Section 9-3-8-D, except that the architectural base and support structure of a monument sign shall not be included in the total sign area if these areas do not contain text, logos or any other graphics.
7. Permits. Sign permits shall be required in accordance with Section 9-3-8-A of the Zoning Code.
8. Coordination with Village Sign Code. All regulations of the Zoning Code shall apply unless specifically stated otherwise in this master sign plan. In the event of a conflict between this Master Sign Plan and the Zoning Code, the Master Sign Plan regulations shall apply.
9. Wall Signs on Rear of Building. Wall signs shall not be permitted on the rear (south) elevation, except that units in the out-building that have a customer entrance door on the rear elevation may install a wall sign on the rear elevation above the customer entrance. The alteration of a unit to include a customer entrance shall require a separate site plan approval from the Village.
10. Prior Variations. All pre-existing sign variations on the Rose Plaza Shopping Center property applying to the area governed by this plan are hereby incorporated as part of this Master Sign Plan. Any new signage on the property shall conform to this Master Sign Plan.
 - a) Prior Variations. Variation Ordinances 4143-2009, 3458-2002, and 3268-2001 are hereby repealed through passage of the ordinance approving this MSP. The variations and special use for existing signs are hereby incorporated into this MSP. Signs shall be permitted as detailed in this MSP, and per item B.9 of this MSP (Coordination with Village Sign Code).
11. Master Sign Plan. This document, along with the attached exhibits represents the entire Master Sign Plan.

C. Ground or Monument Signs

One ground or monument sign may be permitted per public street frontage on the property to identify the tenants of the building.

1. The ground sign shall meet the size, height, and setback standards set forth in the Zoning Code except as outlined in this section.
 - a. The ground sign shall be a maximum 180 square feet per side.

**CHARLES PLAZA SHOPPING CENTER
MASTER SIGN PLAN
AS AMENDED MARCH 20, 2013**

March 20, 2013

- b. The ground sign shall be set back a minimum four (4) feet from any property line.
- c. The ground sign may be a non-residential subdivision ID sign identifying neighboring businesses as previously approved by special use and variation in 2001 and later amended in 2002. The sign may include panels for the adjacent commercial businesses or uses (Jewel and the two out-lots) as is described in the non-residential subdivision ID sign section of the Zoning Code.
- d. The design of a sign shall be limited to a ground or monument style of sign and shall not be allowed as a freestanding or pole style sign with exposed sign supports. The ground or monument sign must include an architectural base to enclose any support poles or structure.

D. Wall Signs

- 1. For tenants of the shopping center, the following shall apply:
 - a) Type. Wall signs shall be individually mounted, internally lighted channel letters or logos mounted directly to the building wall surface.
 - b) Number and Size. One primary wall sign shall be permitted per tenant on the front elevation. A tenant in a corner unit may be permitted an additional wall sign on the side elevation as outlined in Section 9-3-8-M-10-a of the Zoning Code. A wall sign may be permitted on the rear elevation of the out-building if a tenant has installed (with prior Village approval) a customer entrance door on the rear elevation. The sign on the rear elevation may be illuminated only during business hours in which the business is open, and not between 11 pm and 6 am, whichever is more restrictive. A wall sign is not permitted on the rear elevation of the main shopping center building. Each permitted wall sign shall not exceed 3 square feet per 1 linear foot of tenant frontage up to a maximum of 200 square feet.
 - c) Location. Wall signs shall be centered horizontally within the façade of the portion of the building leased by the tenant; or over an architectural entry feature of such front façade.

E. Miscellaneous Signs

- 1. Directional or Instructional Signs. Such signs shall meet the requirements of Section 9-3-8-B-8. All signs shall be of a consistent design and shall be separate from traffic control signs.

CHARLES PLAZA SHOPPING CENTER
MASTER SIGN PLAN
AS AMENDED MARCH 20, 2013

March 20, 2013

2. Window Signs. Window signs may be placed in the window of businesses per the standards set forth in the Zoning Code. The property owner may install window signs in vacant storefronts to cover the entire windows, which may include generic images or artwork, promotional, or leasing information that improves the building aesthetics for the period that the space is vacant, or promotes this property or its tenants, but may not include advertisements or information unrelated to this property or advertising off-site properties or products.

F. Temporary Signs

1. Leasing Sign. Leasing information may be incorporated into the ground sign and shall not be permitted as freestanding signs or on the building exterior.
2. Special Event Signs. Such signs shall meet the requirements of Section 9-3-8-K of the Zoning Code

G. Amendments

1. Changes. Changes to the text, colors, or graphic style of the signs shall not require a formal amendment to this plan, provided the size and all other requirements of this plan are met.
2. Interpretations. Signs that are not explicitly addressed in the provisions of this plan, but that meet the intent of the plan may be permitted through administrative approval.
3. New Signs. The addition of new signs or relocation of existing signs shall not require a formal amendment to this plan, provided the signs meet all requirements of this plan. Any amendment to add additional signs or make substantial changes to the approved signs in this plan shall be subject to review by the Zoning Board of Appeals and approval by the Village Board through the process outlined in the Zoning Code for variations.



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING GENERAL APPLICATION*

Special Use for _____ Rezoning from _____ to _____

Variation: Commercial Residential Sign

Plat (Subdivision & Others): Preliminary Final

Site Plan: Amendment Concept Preliminary Final

Master Sign Plan: Amendment

Other: _____

*** ADDENDUM MATERIALS ARE REQUIRED FOR SPECIFIC REQUESTS**

Posting of Notification Sign(s) may be required.

Specific requirements will be provided when your request is scheduled.

FOR VILLAGE USE ONLY

Hearing Fee 750.00 Check No. 1083 Date Paid 2/25/13

Project Number: 2013007P

Staff Assigned: J. EDWARDS

Meeting Date: 3/20/13

Public Hearing: Yes No

Sign Posting Required: Yes No

Date Sign Posted N/A

PLEASE PRINT OR TYPE

Date: 2/21/13

Project Name: Charles Plaza (f.k.a. Rose Plaza) Monument Sign

Project Description: Requesting Replacement of Monument Sign

Project Address/Location: 1405-1481 Palatine Road, Hoffman Estates, IL

Property Index No. 02-19-119-057-0000

Acres: 6.13

Zoning District: R9-F2

I. Owner of Record

Hoffman Village LLC c/o Highland Management Associates, Inc.

Name		Company
1 E. 22nd Street, STE 201		Lombard
Street Address		City
IL	60148	(630) 691-1122, EXT. 2
State	Zip Code	Telephone Number
(630) 691-8572		cmargosian@highlandmanagement.biz
Fax Number	E-Mail Address	

II. Applicant (Contact Person/Project Manager)

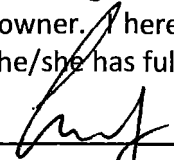
Charles Margosian Jr.		Highland Management Associates, Inc.
Name		Company
1 E. 22nd Street, STE 201		Lombard
Street Address		City
IL	60148	(630) 691-1122, ext. 2
State	Zip Code	Telephone Number
(630) 691-8572		cmargosian@highlandmanagement.biz
Fax Number	E-Mail Address	

Applicant's relationship to property: Owner / Management

III. Owner Consent for Authorized Representative

It is required that the property owner or his designated representative be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. **If the owner cannot be present at the meeting, the following statement must be signed by the owner:**

I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize Charles S. Margosian III / Highland Management to act on my behalf and advise that he/she has full authority to act as my/our representative.



Owner Signature

Charles S. Margosian III

Print Name

IV. Acknowledgement(s)

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

The Owner and Applicant, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature: 

Owner's Name (Please Print): Charles J. Margosian III / Manager Hoffman Village LLC

Applicant's Signature: _____
(If other than Owner)

Applicant's Name (Please Print): _____

Date: 2/21/13

All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.

Please contact the Planning Division (located in the Municipal Building) with any questions:

Email: planning@hoffmanestates.org
Address: 1900 Hassell Road
Hoffman Estates, IL 60169
Phone: (847) 781-2660
Fax: (847) 781-2679

Addendums Attached:

- Special Use Master Sign Plan
 Rezoning Other _____
 Variation
 Plat
 Site Plan

**APPLICATION FOR AMENDMENT OF MASTER SIGN PLAN
CHARLES PLAZA (F.K.A. ROSE PLAZA)
1405-1481 PALATINE ROAD, HOFFMAN ESTATES, IL
PIN # 02-19-119-057**

LEGAL DESCRIPTION:

PARCEL 1:

LOT 1 OF VILLAGE SQUARE SECOND RESUBDIVISION, BEING A RESUBDIVISION OF LOT 1 OF VILLAGE SQUARE RESUBDIVISION IN THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 19, TOWNSHIP 42 NORTH RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 2:

A NON-EXCLUSIVE EASEMENT THE BENEFIT OF PARCEL 1 AS CREATED BY DECLARATION OF RESTRICTIONS AND GRANT OF EASEMENTS DATED OCTOBER 28, 1999 AND RECORDED NOVEMBER 01, 1999 AS DOCUMENTS 09025394 MADE BY AND BETWEEN JETCO PROPERTIES, INC., A DELAWARE CORPORATION AND ELMWOOD PARK L.L.C. AN ILLINOIS LIABILITY COMPANY AND HOFFMAN PALATINE ROAD LLC, AN ILLINOIS LIMITED LIABILITY COMPANY FOR THE PURPOSE OF INGRESS AND EGRESS AND PARKING, UTILITY LINES, BUILDING ENCROACHMENTS, AND EMERGENCY EXITS OVER THE FOLLOWING DESCRIBED LAND:

LOT 1 IN ORBIT SUBDIVISION, A RESUBDIVISION OF PART OF HOWIE IN THE HILLS, UNIT 1 AND MERIDIAN'S COMMERCIAL ADDITION TO WESTBURY IN THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS

PARCEL 3:

RIGHTS TO THE USE OF DETENTION AREA ON LOT "C" WHICH RETENTION AREA IS IN THE NATURE OF AN EASEMENT AS SET FORTH IN DECLARATION EASEMENTS, COVENANTS AND CONDITIONS MADE BY AND BETWEEN JETCO PROPERTIES, INC., A DELAWARE CORPORATION AND ELMWOOD PARK L.L.C. AN ILLINOIS LIABILITY COMPANY AND HOFFMAN PALATINE ROAD LLC, AN ILLINOIS LIMITED LIABILITY COMPANY RECORDED OCTOBER 23, 2000 AS DOCUMENT 00828935

P.I.N. NO.: 02-19-119-057

COMMON ADDRESS: 1405-1481 Palatine Road, Hoffman Estates, IL 60192

EXPLANATION OF REQUEST:

Hoffman Village LLC, an affiliate of Highland Management Associates, Inc. ("Highland"), acquired the Charles Plaza shopping center at 1405 -1481 Palatine Road, Hoffman Estates, IL (the "Center") on November 30, 2012. As part of a capital improvement program which will include façade refinishing, new architectural lighting fixtures, improved hardscape features, deferred maintenance repairs and parking lot repairs, Highland is requesting permission to install a new, larger and more attractive monument sign.

Highland has worked with city staff to create a sign that is consistent with the design standards of the center, utilizing masonry block, brick and green metal accents for an attractive package. A rendering of the proposed sign is enclosed for review by the Board.

EXPLANATION OF REQUEST (CONT'D):

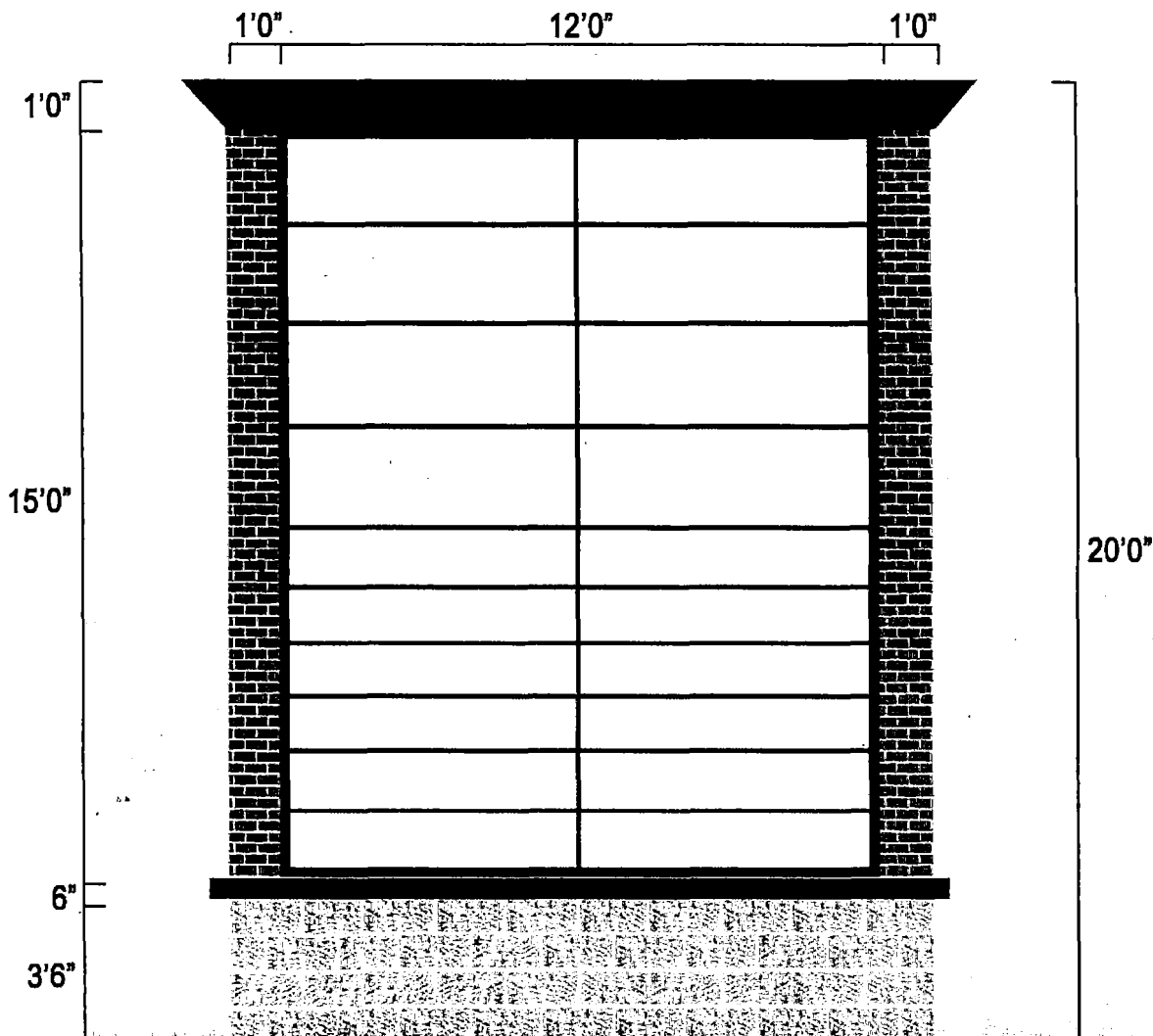
One of the chief complaints from potential new tenants is the lack of available panels on the existing monument sign. Together with the distance of many of the stores from the road and extensive, more mature landscaping, visibility of Tenants for potential customers is significantly hampered from Palatine Road. The visibility issue is further complicated by the location of the Center along a section of Palatine Road where traffic is traveling at higher speeds than often found in typical commercial and retail corridors, where traffic requires lower speed limits be observed.

Highland is requesting a modification to the Master Sign Plan to allow the new monument sign to contain 180 square feet of sign panels vs. the 150 square feet that is currently allowed in the Master Sign Plan. The increased signage will allow all tenants in the center to be fairly represented with a right-sized and visible monument sign panel. Highland is also requesting permission to reduce the setback on the sign from 10 feet to 5 feet from the lot line. The reduction in setback would allow Highland to position the sign closer to the road to mitigate the impact of the large mature trees on the visibility of the monument sign. The sign will be 20 feet in height (in compliance with existing master sign plan), with actual sign panels beginning three (3) feet off the ground and ending at 19 feet off the ground. The sign will have a green, ornamental cap to match the mansard roof on the shopping center.

Please feel free to visit www.highlandmanagement.biz for further information on the quality properties in Highland's portfolio. Highland owns and manages properties in Naperville (4), Elmhurst (2), Palatine, Crystal Lake, Wheaton(2), McHenry and Lombard. Questions can be directed to Charley Margosian Jr. at (630) 691-1122, ext. 2 or cmargosian@highlandmanagement.biz.



2404 SPRING RIDGE DR.
 SPRING GROVE, IL. 60081
 PHONE: 815-675-6750
 FAX: 815-675-6832



SIGN SPECIFICATIONS

TYPE: Double-Faced Internally Illuminated Sign Display

LIGHTING: HO Lamps

MOUNT: Direct To Brick

TRANSFORMERS: Ballast

PLEXIGLASS: 3/16" Acrylic

TRIM: 2" Around Sign

TOP FACE: Routed Alum.

**ALL MOUNTS ARE CONCEALED & NON-CORROSIVE
 ALL LETTERS ARE U.L. APPROVED**

Hoffman Village

Client

??

Location

??

Landlord

Cole

Designer

23359

Drawing

2-13-13

Date

X

Customer Approval

These plans are the exclusive property of Rainbow Signs Inc. and are the result of the original work of its employees. They are submitted to your company for the sole purpose of your consideration of whether to purchase these plans or to purchase from Rainbow Signs Inc. a sign manufactured according to these plans. Distribution or exhibition of these plans to anyone other than employees of your company, or use of these plans to construct a sign similar to the one embodied here in, is expressly forbidden. In the event that such exhibition occurs, Rainbow Signs Inc. expects to be reimbursed \$2,000 in compensation for time and effort entailed in creating these plans.

**NOTICE OF
PUBLIC HEARING**

Notice is hereby given that the Planning and Zoning Commission of the Village of Hoffman Estates will hold a public hearing at the request of Hoffman Village, LLC c/o Highland Management Association, Inc. (Owner) to consider a site plan amendment and a master plan amendment under the Zoning Code on the property located at 1405-1481 Palatine Road, commonly known as Charles Plaza (formerly known as Rose Plaza).

P.I.N.: 02-19-119-057
The hearing will be held on Wednesday, March 20, 2013 at 7:00 p.m. in the Hoffman Estates Municipal Building, 1900 Hassell Road, Hoffman Estates, IL.
Eva Combs, Chairperson
Planning and Zoning Commission
Published in Daily Herald
March 5, 2013 (4331959)

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **DAILY HERALD**. That said **DAILY HERALD** is a secular newspaper and has been circulated daily in the Village(s) of Algonquin, Antioch, Arlington Heights, Aurora, Barrington, Barrington Hills, Lake Barrington, North Barrington, South Barrington, Bartlett, Batavia, Buffalo Grove, Burlington, Campton Hills, Carpentersville, Cary, Deer Park, Des Plaines, South Elgin, East Dundee, Elburn, Elgin, Elk Grove Village, Fox Lake, Fox River Grove, Geneva, Gilberts, Grayslake, Green Oaks, Gurnee, Hainesville, Hampshire, Hanover Park, Hawthorn Woods, Hoffman Estates, Huntley, Inverness, Island Lake, Kildeer, Lake Villa, Lake in the Hills, Lake Zurich, Libertyville, Lincolnshire, Lindenhurst, Long Grove, Mt. Prospect, Mundelein, Palatine, Prospect Heights, Rolling Meadows, Round Lake, Round Lake Beach, Round Lake Heights, Round Lake park, Schaumburg, Sleepy Hollow, St. Charles, Streamwood, Tower Lakes, Vernon Hills, Volo, Wauconda, Wheeling, West Dundee, Wildwood, Sugar Grove, North Aurora

County(ies) of Cook, Kane, Lake, McHenry
and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the **DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 7150, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published March 5, 2013 in said **DAILY HERALD**.

IN WITNESS WHEREOF, the undersigned, the said **PADDOCK PUBLICATIONS, Inc.**, has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

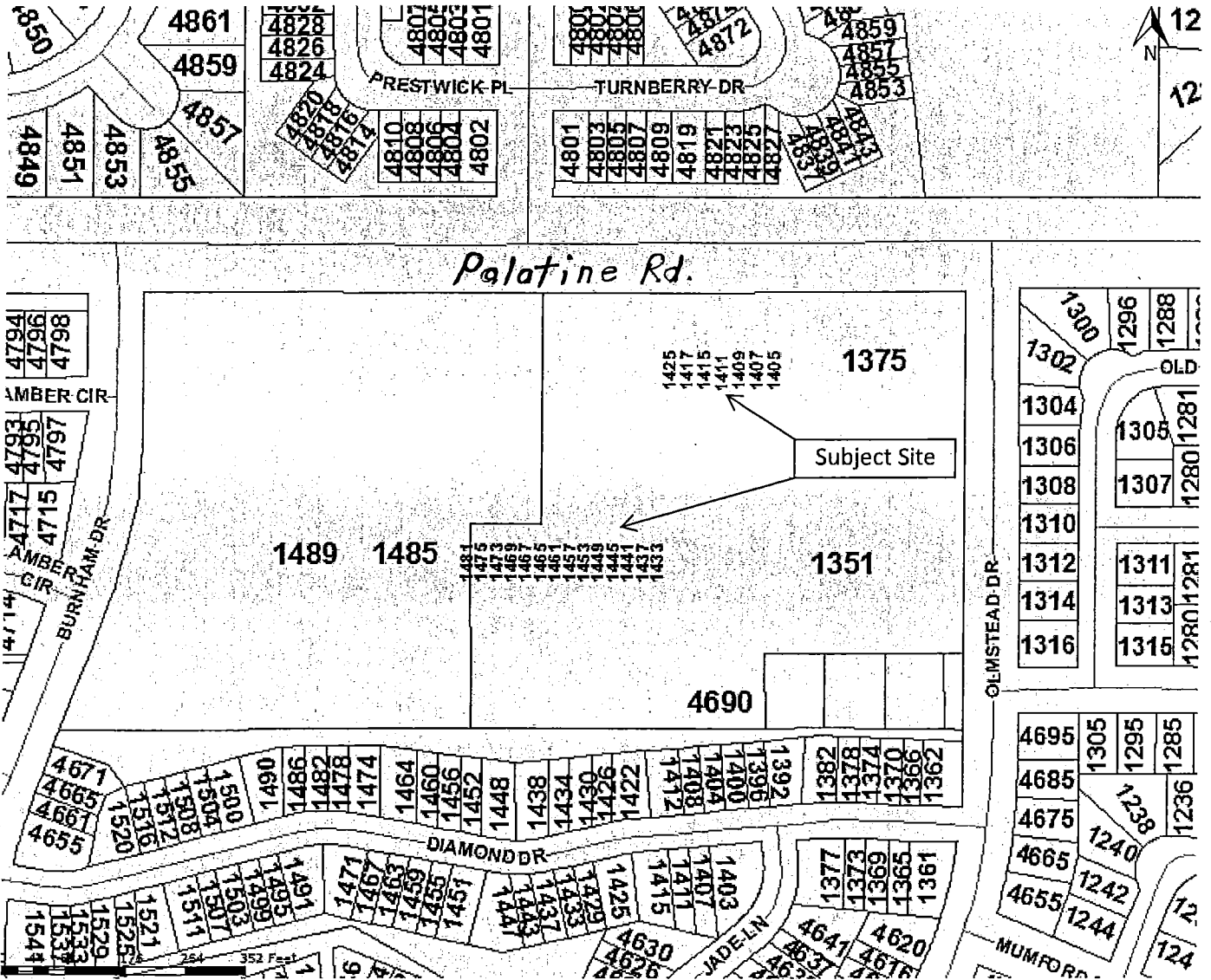
PADDOCK PUBLICATIONS, INC.
DAILY HERALD NEWSPAPERS

BY *Danla Baltz*
Authorized Agent

Control # 4331959

Charles Plaza: 1405-1481 Palatine Rd.

P.I.N. 02-19-119-050

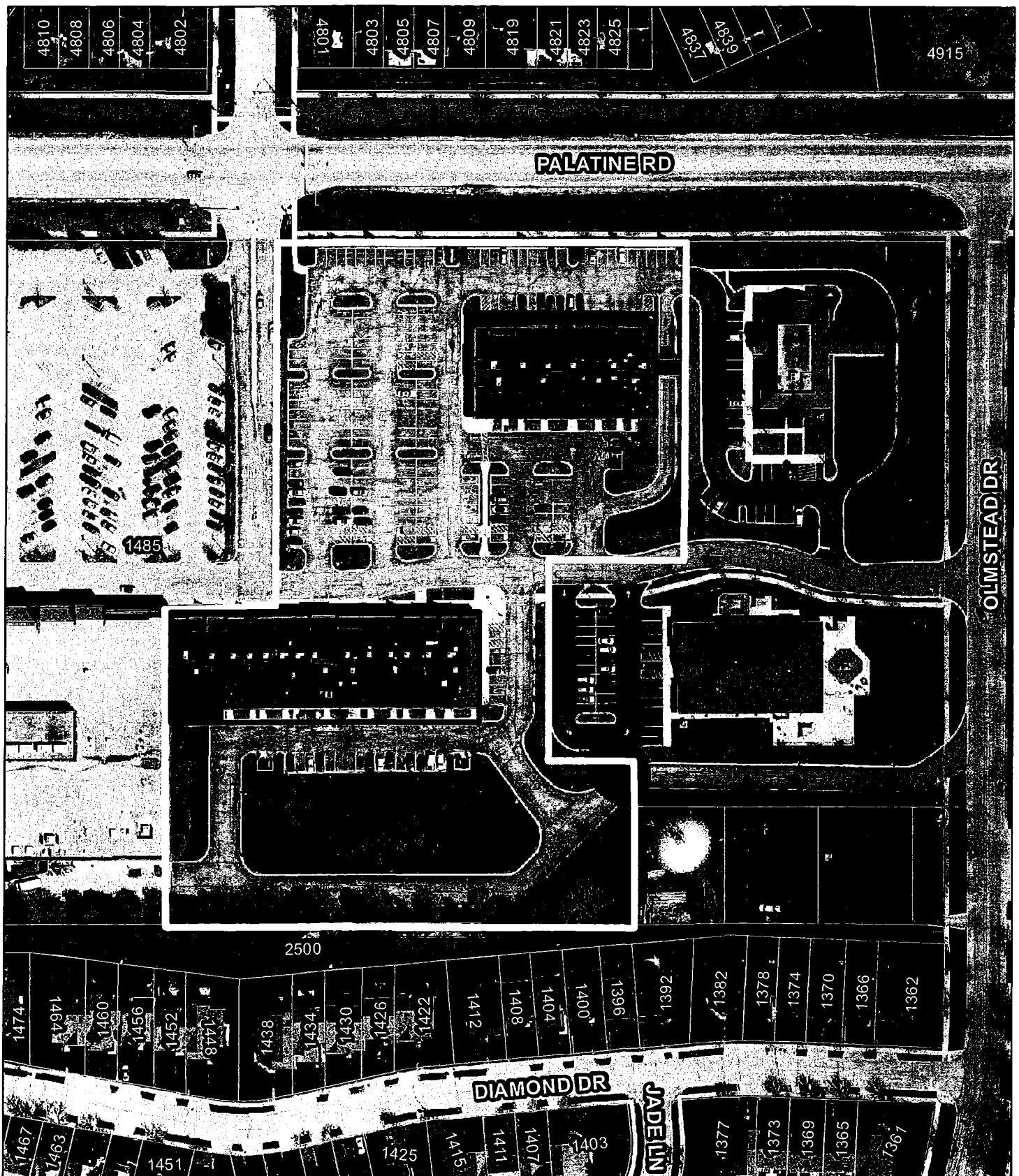


February 27, 2013
Village of Hoffman Estates
Planning Division





Charles Plaza: 1405-1481 Palatine Road



1 inch = 125 feet

Consultant:

Project Name & Location:

Highland Management Associates
Proposed New Ground Sign

Village Square Shopping Center
Center
Hoffman Estates, Illinois

Drawing Title:

Proposed Sign Plan & Details

Revisions:

Number	Revision Schedule Description	Date

Consultant:

COPYRIGHT: Merrifield Architects, Ltd. expressly reserves all intellectual property and other proprietary rights in these plans. These plans are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned or any third party without first obtaining the approval of the architect and consent of Merrifield Architects, Ltd.

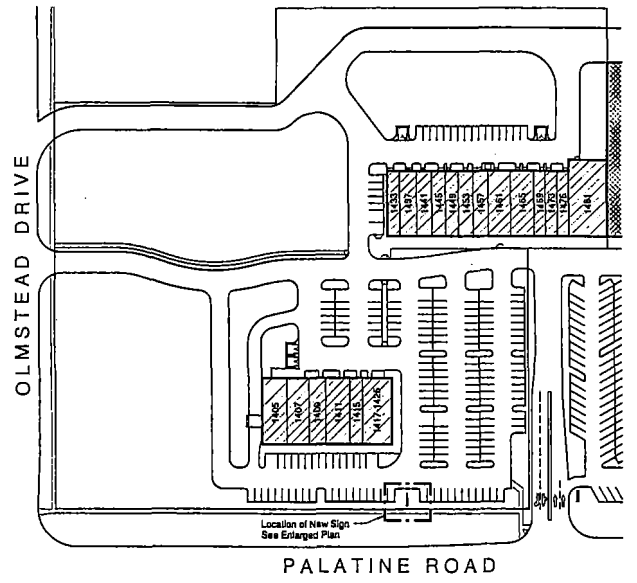
These drawings have been reproduced at a size different than originally drawn. Owner and Architect assume no responsibility for use of truncated scale.

Do Not Scale Drawings

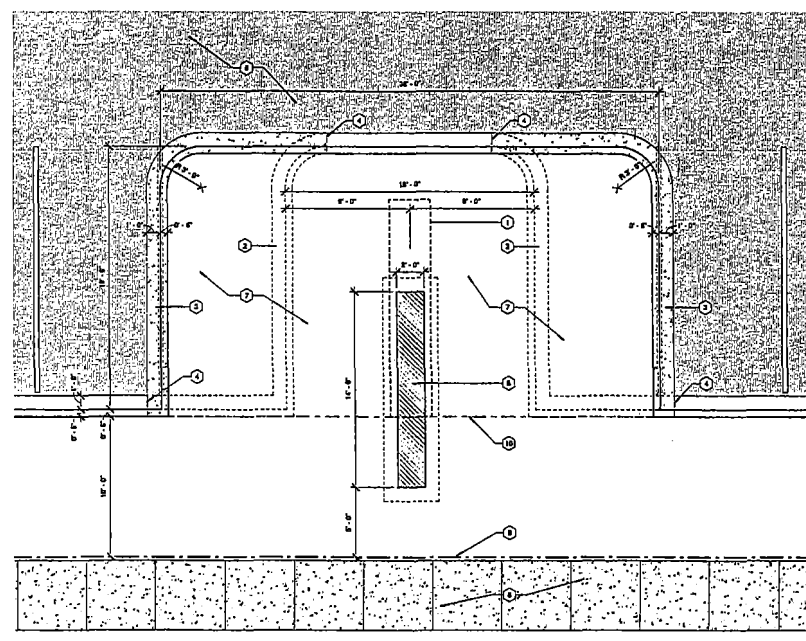
Project number	1315
Date	2/18/2013
Drawn by	RLM
Checked by	RLM

SP-1

Scale: As Indicated



1 Partial Site Plan
Not to Scale



2 Partial Site Plan at New Sign
1/4" = 1'-0"

Keyed Sign Plan Notes

- | | |
|---|--|
| <ul style="list-style-type: none"> 1 Existing Sign Construction to be removed. Prepare area to receive new Sign and associated foundations. Existing power lead to remain. (Modify as required for connection to new sign construction.) 2 Sawcut and remove portions of existing curbs and gutters. Remove indicated areas of existing asphalt pavement as required to enlarge the landscaped island. 3 Construct new sections of curb and gutter to match existing profile. Provide concrete reinforcement as required. 4 Provide asphaltic board joint where new concrete meets existing. Cut to match concrete profile. 5 Proposed New Sign construction. Center on existing landscaped island area. See Elevation drawing from Rainbow Signs, this Sheet. | <ul style="list-style-type: none"> 6 Existing asphalt pavement and striping to remain. Sawcut as areas to be removed and protect edges during construction to ensure clean, neat joints between asphalt and new concrete curbs. 7 Expand existing landscaped island as required for finished appearance. (By Owner's Landscape Contractor.) 8 Existing concrete sidewalk to remain. 9 Property Line. Verify location prior to commencing work. 10 Existing 10'-0" setback line. |
|---|--|

rainbow
SIGN SYSTEMS

2454 SPRING RIDGE DR.
SPRING GROVE, IL 60081
PHONE: 815-475-4832
FAX: 815-475-4832

Hoffman Village
Club

77
Location

77
Location

Cole
Manager

753329
Location

2-18-13
Date

Contractor Approval

SIGN SPECIFICATIONS

TYPE: Double-Faced Internally Illuminated Sign Display LIGHTING: NO Lamps

MOUNT: Direct To Brick TRANSFORMER: Ballast

GLASS: 3/16" ANYSILE

TRIM: 2" Around Sign

TOP FACE: ROUNDED ALUM.

ALL MOUNTS ARE CONCRETE & NON-CORROSIVE
ALL LETTERS ARE ULL APPROVED

PROJECT 1315-01-01



VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION
FINDING OF FACT

PROJECT NO.: 2013005P

VILLAGE BOARD MEETING DATE: April 1, 2013

PETITIONER(S): BARRINGTON & HASSELL LLC (Ricky Rocket's Convenience Store & Retail Center) –
Master Sign Amendment

PROJECT ADDRESS: 2081-2095 N. BARRINGTON ROAD ZONING DISTRICT: B-2, COMMUNITY BUSINESS
ROAD

Does the Planning and Zoning Commission find that this request meets the Standards
for a Master Sign Plan (Section 9-3-8-M-12)? YES NO

Recommendation: **APPROVAL**

Vote: 10 Ayes 1 Absent

PZC MEETING DATE: MARCH 20, 2013

STAFF ASSIGNED: JOSH EDWARDS

Request by Barrington & Hassell, LLC (Owner) for a Master Sign Plan Amendment in accordance with Section 9-3-8-M-12 of the Zoning Code for the property at 2081 – 2095 N. Barrington Road based on the "Ricky Rocket's Convenience Store and Adjacent Retail Center" (amended March 20, 2013).

AUDIENCE COMMENTS

None.

FINDING

The Commission heard from the petitioner, Eduard Garcia with W-T Engineering representing the property owner, regarding the Mobil canopy signs that were installed without permits and exceeding the maximum permitted 10 square feet. The requested Master Sign Plan amendment would allow each canopy sign to be up to 13.5 square feet, which would accommodate the existing signs. The other sections of the Master Sign Plan for the other various sign types would not be modified.

The Commission inquired about the timeframe of this development project, and the petitioner estimated that the project would be completed in a timely manner, after having encountered many delays up to this point.

The Commission had no concerns about the proposed amendment. The Commission determined that the Standards for a Master Sign Plan had been met and voted unanimously to recommend approval of the request.

PLANNING AND ZONING COMMISSIONERS

Chairperson Eva Combs	Myrene Iozzo
Vice-Chairman Michael Gaeta	Thomas Krettler
Donna Boomgarden	Gaurav Patel
Steve Caramelli	Steve Hehn
Lenard Henderson	Steve Wehofer
Denise Wilson	

ROLL CALL VOTE

10 Ayes
1 Absent (Boomgarden)

MOTION PASSED

Planning and Zoning Commission Finding of Fact
Barrington & Hassell LLC – 2081-2095 N. Barrington Road – Master Sign Plan Amendment
Village Board Meeting Date: April 1, 2013

The following attachments are hereby incorporated as part of this Finding of Fact:

Staff Report

Ricky Rocket's Convenience Store and Adjacent Retail Center Master Sign Plan dated March 20, 2013

Petitioner Application & Submittals

Legal Notice

Notification Map



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT NO.: 2013005P

PROJECT NAME: Ricky Rocket's Master Sign Plan
Amendment

PROJECT ADDRESS/LOCATION: 2081 – 2095 N. Barrington Road

PUBLIC HEARING
YES NO

REZONING MASTER SIGN PLAN AMENDMENT SPECIAL USE VARIATION
PRELIMINARY & FINAL SITE PLAN PRELIMINARY & FINAL PLAT

MEETING DATE: March 20, 2013

STAFF ASSIGNED: JOSH EDWARDS JAE

REQUESTED MOTION

Approval of a request by Barrington & Hassell, LLC (Owner) for a Master Sign Plan Amendment in accordance with Section 9-3-8-M-12 of the Zoning Code for the property at 2081 – 2095 N. Barrington Road based on the "Ricky Rocket's Convenience Store and Adjacent Retail Center" (amended March 20, 2013).

INCLUDES RECOMMENDED CONDITIONS
YES NO

ACRES: 1.5 (Approximate)

ZONING DISTRICT: B-2 Community Business District

ADJACENT

NORTH: Restaurant; Funeral Home; Zoned B-2

SOUTH: Retail; Zoned B-2

PROPERTIES:

EAST: Hotel; Zoned B-2

WEST: Restaurants; Zoned B-2

BACKGROUND

In 2010, the Village approved a Master Sign Plan for the property, which includes two buildings under construction; a gas station / convenience store and a retail building. The Plan includes provisions for various signs typical of a gas station and retail center such as ground signs, directional signs, wall signs, and gas station canopy signs.

The Plan allows one sign on each of the four sides of the gas station canopy, each of a maximum 10 square feet. The size allowance matches the regulation in the Zoning Code; however, the Zoning Code allows only one sign of a maximum 10 square feet (instead of four signs). Three signs were installed on the canopy (facing north, south, and west), each of 13.42 square feet, exceeding the square footage allowed.

PROPOSAL

The petitioner is requesting a Master Sign Plan Amendment to modify the size allowance for gas station canopy signs to allow the three installed canopy signs to remain. The proposed amendment would change the allowable maximum square footage of the canopy signs from 10 square feet to 13.5 square feet, each (see page 5 of the Master Sign Plan text).

A fourth canopy sign (facing east toward the convenience store) is not planned, though it would be permitted. The property owner does not anticipate issues with other signs to be installed as the construction and occupancy of the project proceeds.

MASTER SIGN PLAN STANDARDS

Section 9-3-8-M-12 of the Zoning Code requires that in instances where the Zoning Code cannot be strictly followed, that the owner may propose a Master Sign Plan to accommodate the signs on the property and to set standards and restrictions on the signs. The Village requires a Master Sign Plan in lieu of sign variations except where a Master Sign Plan is not feasible or warranted (for a very minor request where a variation is deemed acceptable to request). The Zoning Code lists the goals that a Master Sign Plan should achieve as follows:

- Result in architecture and graphics of a scale appropriate for the subject development and the surrounding area;
- Provide signage consistent with the site plan and architecture of the project;
- Avoid visual clutter;
- Allow visitors, employees, and consumers to readily identify the business entrances, while addressing the community's need for attractive, unobtrusive architecture and commercial graphics; and
- Result in a unified theme of signage for the project.

Petitioners are encouraged to take a comprehensive approach to each master sign plan proposal because the plan will provide guidelines for signs that are desired both today, and into the future. The Plan functions as a "mini-sign code" for the property. The creation of a Master Sign Plan involves merging and considering several perspectives, including:

- Current Code requirements.
- Prior variation history on the subject property, as well as similar properties.
- Existing signage on the property.
- Specific current signage requests by the property owner.
- Likely possible signage requests in the future (consider the type use of the property and its location).
- Unique characteristics of the subject property.

STAFF SUMMARY

The proposed amendment is a minor change that would not adversely affect the property or surrounding properties. The signs on the canopy are scaled appropriately to the canopy structure.

Meeting Date: March 20, 2013

RECOMMENDED CONDITIONS

None.

Attachments:

Ricky Rocket's Convenience Store and Adjacent Retail Center Master Sign Plan dated March 20, 2013

Petitioner Application & Submittals

Legal Notice

Notification Map



Ricky Rocket's Convenience Store and Adjacent Retail Center

Southeast Corner of Barrington Road and Hassell Road
(2081, 2085, 2091, and 2095 Barrington Road)

Master Sign Plan

As Amended March 20, 2013

Ricky Rocket's Convenience Store & Adjacent Retail Center

Master Sign Plan

March 20, 2013

Introduction

This Master Sign Plan applies to the two lots on the southeast corner of Barrington Road and Hassell Road. The development of the property will include a convenience store with a car wash and fuel pumps and also a second retail building. This property may include signage for the adjacent hotel property to the east, but this shall not be required.

The Master Sign Plan requirements have been developed based on the signage that is unique to the Ricky Rocket's property. The two lots contain approximately 1.5 acres with two future buildings and a total square footage of 11,073. This plan has been designed with signage for this development that maintains consistency with other similar developments, yet takes into account certain unique characteristics of this development. Sign requirements for all buildings are included in this Plan to promote cohesion among all signs.

A. Area Included in Master Sign Plan

This Master Sign Plan applies to 2081, 2085, 2091, and 2095 Barrington Road, and all future addresses assigned to the two buildings. See also the attached legal description of the property.

B. General Provisions (applicable to all lots governed by this plan)

1. Definition. For the purposes of this master sign plan, the following definition is hereby incorporated.
 - a. *Property* – "Property" shall mean both lots on the southeast corner of Barrington Road and Hassell Road and shall apply to both buildings that will be constructed on the lots. In the event the two lots are consolidated in the future, the definition of property shall also apply to the consolidated lot.
2. Driver Sight Visibility. No sign shall be placed in a manner that will obstruct driver or pedestrian sight lines and create an unsafe condition based on analysis by the Village Transportation Division.
3. Landscaping. Landscaping shall be provided at the base of all ground signs, unless determined to be unsafe or not feasible, by the Village Department of Development Services.
4. Illumination. All signs permitted by this Master Sign Plan may be illuminated in accordance with Section 9-3-8-F of the Zoning Code unless otherwise indicated in the approved Master Sign Plan documents.

Ricky Rocket's Convenience Store & Adjacent Retail Center

Master Sign Plan

March 20, 2013

5. Sign Design. Colors and letter graphic styles on the signs shall be determined by the owners of the property; however, signs that are of a similar type shall be of a consistent color and graphic style.
6. Calculation of Sign Area. Such signs shall meet the requirements of Section 9-3-8-D, except that the architectural base and support structure of a ground sign shall not be included in the total sign area if these areas do not contain text, logos or any other graphics.
7. Permits. Sign permits shall be required in accordance with Section 9-3-8-A of the Zoning Code.
8. Coordination with Village Sign Code. All regulations of the Zoning Code shall apply unless specifically stated otherwise in this master sign plan. In the event of a conflict between this Master Sign Plan and the Zoning Code, the Master Sign Plan regulations shall apply.
9. Wall Signs on Rear of Building. Wall signs shall not be permitted on the rear (west elevation) of either building on the property.
10. Prior Variations. Ordinance 4132-2009 requires that the existing "Comfort Inn" freestanding sign be removed from the property upon development of the property.
11. Master Sign Plan. This document and the attached exhibits represent the entire Master Sign Plan.

C. Ground Signs

The locations of all ground signs governed by this Master Sign Plan are depicted on the Master Signage Plan (sheets SI-1 and SI-2) attached hereto and made part hereof.

1. Ground Sign A.
 - a. Type. A monument sign that will identify the Ricky Rocket convenience store/gas station building (north building), including an LED screen to identify the gas prices. This sign will also include a 4' X 5' electronic message board. Sign messages shall not change more frequently than once every 10 seconds. The change shall be a full screen replacement without fading, motion or other action techniques. No movement, flashing, animation or scrolling messages shall be permitted. The brightness level of the electronic message board portion of the sign shall not exceed 3,250 NITs. From dusk to dawn the brightness level shall not exceed 812.5

Ricky Rocket's Convenience Store & Adjacent Retail Center

Master Sign Plan

March 20, 2013

NITs. In addition, a three dimensional Ricky Rocket character sign will be located at the top of the sign. This logo will be 6.5' wide by 3.5' tall.

- b. Number and size. One Ground Sign A shall be permitted on the property. The sign shall be a maximum of 25 feet in height. The maximum square footage of the sign copy shall not exceed 125 square feet per side.
- c. Location. Ground Sign A shall be located on the northwest corner of the property and shall be a minimum of 2 feet from any property line.
- d. Sign Design. The sign shall be designed with a brick and/or masonry base to match the building material used on the north building along with metal sides and an architecturally designed top, as shown on sheet SI-1.

2. Ground Sign B.

- a. Type. A monument sign that will identify the retail center building (south building) and may include off-site signage of up to 50% of the signage area for the benefit of the hotel parcel directly to the east of the subject property.
- b. Number and size. One Ground Sign B shall be permitted on the property. The sign shall be a maximum of 20 feet in height. The maximum square footage of the sign copy shall not exceed 125 square feet per side.
- c. Location. Ground Sign B shall be located to the south of the Barrington Road entrance to the property right in front of the south building. The sign shall be a minimum of 2 feet from the west property line.
- d. Sign Design. The sign shall be designed with a brick and/or masonry base to match the building material used on the south building along with metal or aluminum sides and an architecturally designed top, as shown on sheet SI-2.

D. Wall Signs

1. Multi-tenant retail spaces (applicable to both buildings). Tenant signs shall be in accordance with the following:
 - a. Type. Tenant wall signs shall be individually mounted, internally lighted channel letters or logos mounted directly to the building wall surface.
 - b. Number and Size. One wall sign shall be permitted for each exterior wall per tenant, except no signs shall be permitted on the rear (east side) of the

Ricky Rocket's Convenience Store & Adjacent Retail Center

Master Sign Plan

March 20, 2013

building. Each wall sign shall not exceed 3 square feet per 1 foot of lineal tenant storefront, or a maximum of 200 square feet per sign.

- c. Location. Each wall sign shall be centered horizontally within the front façade of the portion of the building leased by the tenant; or over an architectural entry feature of such front façade; provided, however, that if there are multiple tenant wall signs on the same façade, then they shall be located on the façade so that they are visually proportional in relation to each other and in relation to the architectural features of the building.
2. Retail Center Identification Sign. For the south retail center building, a Center ID wall sign shall be permitted. The sign shall be individually mounted, internally lighted channel letters mounted directly to the building wall surface and shall be a maximum of 25 square feet in size. The sign shall be centered horizontally within the architectural centerpiece of the front façade and shall be located above the individual tenant signage.
 3. Car Wash Wall signs.
 - a. Type. Car wash entrance/exit wall signs shall be individually mounted internally lighted channel letters mounted directly to the building wall surface.
 - b. Number and Size. One entrance/exit wall sign shall be permitted at the entrance and exit to the car wash. Each entrance/exit sign shall not exceed 25 square feet in size. In addition, a "Car Wash" sign of the same size and type shall be permitted on the west façade of the car wash portion of the building, as depicted on the west elevation of the north building on sheet SI-1.
 - c. Location. Each entrance/exit wall sign shall be located above the garage doors to the car wash.

E. Fuel Station Related Signs

1. Fuel Pump Canopy Signs. Fuel pump canopy signs shall be permitted on each side of the canopy for a maximum of four signs, one per side. The signs shall be a maximum of 13.5 square feet each and shall not extend above or below the canopy. Canopy signs may be illuminated.
2. Under Canopy Identification Signs. Under canopy identification signs shall be permitted as provided in the Zoning Code (Section 9-3-8-M-10-c-6).
3. Fuel Pump signs. Fuel pump signs shall be permitted as provided in the Zoning Code (Section 9-3-8-M-10-c-7).

Ricky Rocket's Convenience Store & Adjacent Retail Center

Master Sign Plan

March 20, 2013

F. Miscellaneous Signs

1. Three Dimensional Character Sign. The "Ricky Rocket" character shall be considered a sign. One – three dimensional character sign shall be located on the roof of the convenience store. The logo shall be 12' long by 7' high. The rocket itself will be red and yellow in color and the "Ricky" character will have blue clothing and a blue helmet.
2. Comfort Inn Freestanding Sign. The existing (as of the date of this Master Sign Plan) Comfort Inn freestanding sign located on the south portion of the property shall be removed when earthwork begins on the property.
3. Directional Signs. Directional signs shall be permitted on the property to direct drivers to different portions of the site. Such signs shall be a maximum of 5 square feet in size and 6 feet in height. Directional signs may contain the names of tenants on the property and may contain logos. All directional signs shall be of a consistent design and shall be separate from traffic control signs. The signs may be illuminated and shall be located a minimum of 25 feet from a public right of way and a minimum of 5 feet from any property line (except from the property line between the north and south lots that make up the subject property). Such signs shall be placed at a logical decision point on the property and may only contain tenant names/logos where they will assist drivers with directional information. The placement of directional signs shall be subject to review by the Village Department of Development Services through the review of the required sign permit.
4. Entrance/Exit Signs. Entrance/Exit signs shall be permitted at each entrance/exit to the property as provided in the Zoning Code (Section 9-3-8-L-2), except that such signs shall be setback a minimum of 5 feet from any property line.
5. Menu Board Signs. Menu board signs shall be permitted as provided in the Zoning Code (Section 9-3-8-M-10-e-1). Car wash menu board signs shall also be permitted as those for restaurants, except that such signs shall not exceed 20 square feet in size.

G. Temporary Signs

1. Coming Soon Signs. Two temporary "Coming Soon" signs shall be permitted on the property during the initial building construction. One "Coming Soon" sign shall be permitted per building and shall not exceed 32 square feet in size each. The signs may be freestanding or mounted to a building wall and shall be removed when a certificate of occupancy has been issued for the related building.

Ricky Rocket's Convenience Store & Adjacent Retail Center

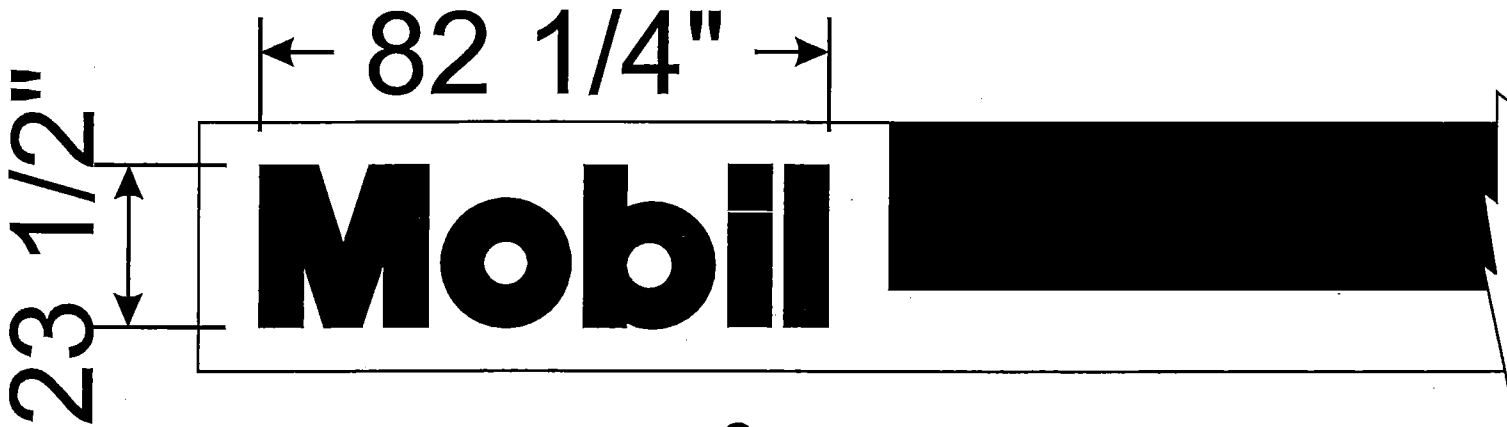
Master Sign Plan

March 20, 2013

2. Construction Signs. During construction of any portion of this development, temporary signs may be permitted as determined necessary by the Village Department of Development Services. These signs shall be used to identify altered traffic routes, closed drives or parking lots, relocated building entrances, etc. Such signs shall not be subject to the requirements of the Directional Signage Section of this plan.
3. Marketing Signs. Marketing signs shall be allowed as provided in the Zoning Code (Section 9-3-8-K-3). One marketing sign shall be permitted per building on the property until a certificate of occupancy has been granted for the first tenant in the building on that specific lot. Thereafter, all leasing and marketing information shall be incorporated into the permanent ground signs on the property and/or in the windows of individual vacant tenant spaces.
4. Special Event Signs. Special event signs shall be permitted as provided in the Zoning Code (Section 9-3-8-K).

H. Amendments

1. Changes. Changes to the text, colors, or graphic style of the signs shall not require a formal amendment to this plan, provided the size and all other requirements of this plan are met and all signs of each type have identical design and colors.
2. Interpretations. Signs that are not explicitly addressed in the provisions of this plan, but that meet the intent of the plan may be permitted through administrative approval.
3. New Signs. The addition of new signs or relocation of existing signs shall not require a formal amendment to this plan, provided the signs meet all requirements of this plan. Any amendment to add additional signs or make substantial changes to the approved signs in this plan shall be subject to review by the Zoning Board of Appeals and approval by the Village Board through the process outlined in the Zoning Code for variations.



13.42 Ft²



Digitally signed by Ben
Distin
DN: cn=Ben Distin,
o=Universal Sign & Display
LLC, ou,
email=bdistin@usd-
llc.com, c=US
Date: 2013.01.10 17:00:41
-06'00'

VILLAGE OF HOFFMAN ESTATES
ZONING BOARD OF APPEALS

APPLICATION FOR MASTER SIGN PLAN REVIEW

FOR VILLAGE USE ONLY

Hearing Fee \$ 750.00 Date Paid 2/8/13 Received By P. Moore
Hearing Date: 3/20/13 Time: 7:00p Legal Published 3/5/13
Receipt Number 297838 Check No. 713083 Zoning District B-2

APPLICANT (PLEASE PRINT OR TYPE)

Use additional sheets as necessary

1. Name of Property Owner(s) Barrington and Hassell, LLC

E-Mail Address rick@heidnerinc.com Fax 630-894-0485

Owner's Address 399 Wall St., Unit H Phone 630-894-0099

City Glendale Heights State IL Zip 60139

Subject Property's Address (if different): TBD, SEC Barrington & Hassell Rd.

2. Person applying if other than owner:

Name Christian Kalischefski Company Corporate Design + Development Group, LLC

E-Mail Address troytriphahn@cdg-llc.com Fax 224-293-6966

Address 2675 Pratum Ave. Phone 224-293-6960

City Hoffman Estates State IL Zip 60192

3. Property Index Number(s) (PIN) 07-06-101-004, 07-06-101-009

4. Name and Location of Subject Property

Ricky Rocket's and retail center, southeast corner of Barrington Rd. and Hassell Rd.

* If "owner" is an entity other than an individual(s), then an Economic Disclosure Statement must also be filed.

I. Owner of Record

BARRINGTON & HOSSOL, LLC.

Name

Company

399 WALL ST UNIT H

GLENDALE HEIGHTS

Street Address

City

ILLINOIS 60139

630-894-0099

State

Zip Code

Telephone Number

630-894-0485

RICK@HEIDNERINC.COM

Fax Number

E-Mail Address

II. Applicant (Contact Person/Project Manager)

CORPORATE DESIGN DEVELOPMENT GROUP LLC

Name

Company

2675 PRATON AVE

ROSEMONT ILLINOIS

Street Address

City

IL

60192

224-293-6900

State

Zip Code

Telephone Number

224 293 6900

edward.garcia@cdg-llc.com

Fax Number

E-Mail Address

Applicant's relationship to property: ARCHITECT

III. Owner Consent for Authorized Representative

It is required that the property owner or his designated representative be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. If the owner cannot be present at the meeting, the following statement must be signed by the owner:

I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize CDG to act on my behalf and advise that he/she has full authority to act as my/our representative.

[Handwritten signature]

RICK HEIDNER

Owner Signature

Print Name

IV. Acknowledgement(s)

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

The Owner and Applicant, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature: 

Owner's Name (Please Print): RICK HEIDNER

Applicant's Signature: 
(If other than Owner)

Applicant's Name (Please Print): EDUARD GARCIA - CD+DG

Date: 2/8/13

All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.

Please contact the Planning Division (located in the Municipal Building) with any questions:

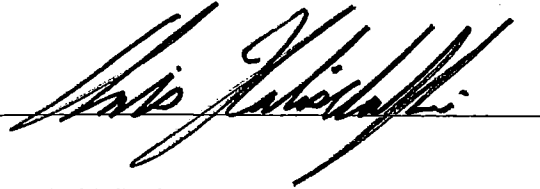
Email: planning@hoffmanestates.org
Address: 1900 Hassell Road
Hoffman Estates, IL 60169
Phone: (847) 781-2660
Fax: (847) 781-2679

Addendums Attached:

- Special Use Master Sign Plan
 Rezoning Other _____
 Variation
 Plat
 Site Plan

5. I, the undersigned, certify the information and submissions provided accurately represent the current conditions and proposed improvement(s) requiring a master sign plan.

Applicant's Signature



Name (Please Print) Chris Kalischefski

The application fee for a Master Sign Plan is \$500.00 plus \$250.00 per sign type. Checks should be made payable to the Village of Hoffman Estates.

Only complete application packets will be accepted.

Should you have questions regarding the master sign plan application process, please call the Planning Division at 847/781-2660.



**CORPORATE
DESIGN + DEVELOPMENT
GROUP, LLC**

2675 Pratum Avenue
Hoffman Estates, IL 60192
224.293.6960 Office
224.293.6966 Fax

STANDARDS FOR A MASTER SIGN PLAN

1. Result in architecture and graphics of a scale appropriate for the subject development and the surrounding area;

The proposed signs incorporate desirable architectural elements such as masonry bases and architectural features near the top of each sign to complement the design of the principal structure. Based on other existing signs in the area, the size and scale of these signs are appropriate and similar to other recently approved signs.

2. Provide signage consistent with the site plan and architecture of the project:

As mentioned in standard # 1, the sign elevations have been designed to be complementary to the architecture of the principal structures by incorporating elements such as masonry bases and features at the top of each sign the mimic the roofline of the buildings.

With respect to the site plan, the signs are proposed in locations as to provide maximum exposure to the main Barrington Road, without blocking any site lines. The proximity of the proposed signs to the right-of-way is similar to that of other signs in the immediate vicinity.

3. Avoid visual clutter

Only one ID sign is proposed per lot as allowed by Village code. In order to avoid visual clutter, the sign for the fuel station is located near the intersection of Barrington and Hassell Rds., the retail center sign is located south of the restricted Barrington Rd. access, over 200' away from the fuel station sign.

February 7th, 2013

Page 2 of 2

4. Allow visitors, employees, and consumers to readily identify the business entrances, while addressing the community's need for attractive, unobtrusive architecture and commercial graphics

Based upon the local speed limit, similar signs in the immediate vicinity, similar signs approved on similar uses and similar signs recently approved throughout the Village, the proposed signs are similar in size and quality and therefore readily identify the business entrances, and the community's need for attractive, unobtrusive architecture and commercial graphics.

5. Result in a unified theme of signage for the project.

This project is unified as a whole by using similar building materials and architectural features throughout the project. The signage for the project, utilizes similar materials and architectural features of the principal structure for which it serves, thereby creating a unified signage theme throughout the project.

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning and Zoning Commission of the Village of Hoffman Estates will hold a public hearing at the request of Barrington & Hassell, LLC (Owner) to consider a master sign plan amendment under the Zoning Code on the property located at 2081 - 2095 Barrington Road.

P.I.N.: 07-06-101-004,
07-06-101-009

The hearing will be held on Wednesday, March 20, 2013 at 7:00 p.m. in the Hoffman Estates Municipal Building, 1900 Hassell Road, Hoffman Estates, IL.

Eva Combs, Chairperson
Planning and Zoning Commission

Published in Daily Herald
March 5, 2013 (4331961)

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **DAILY HERALD**. That said **DAILY HERALD** is a secular newspaper and has been circulated daily in the Village(s) of Algonquin, Antioch, Arlington Heights, Aurora, Barrington, Barrington Hills, Lake Barrington, North Barrington, South Barrington, Bartlett, Batavia, Buffalo Grove, Burlington, Campton Hills, Carpentersville, Cary, Deer Park, Des Plaines, South Elgin, East Dundee, Elburn, Elgin, Elk Grove Village, Fox Lake, Fox River Grove, Geneva, Gilberts, Grayslake, Green Oaks, Gurnee, Hainesville, Hampshire, Hanover Park, Hawthorn Woods, Hoffman Estates, Huntley, Inverness, Island Lake, Kildeer, Lake Villa, Lake in the Hills, Lake Zurich, Libertyville, Lincolnshire, Lindenhurst, Long Grove, Mt. Prospect, Mundelein, Palatine, Prospect Heights, Rolling Meadows, Round Lake, Round Lake Beach, Round Lake Heights, Round Lake park, Schaumburg, Sleepy Hollow, St. Charles, Streamwood, Tower Lakes, Vernon Hills, Volo, Wauconda, Wheeling, West Dundee, Wildwood, Sugar Grove, North Aurora

County(ies) of Cook, Kane, Lake, McHenry and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the **DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 7150, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published March 5, 2013 in said **DAILY HERALD**.

IN WITNESS WHEREOF, the undersigned, the said **PADDOCK PUBLICATIONS, Inc.**, has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

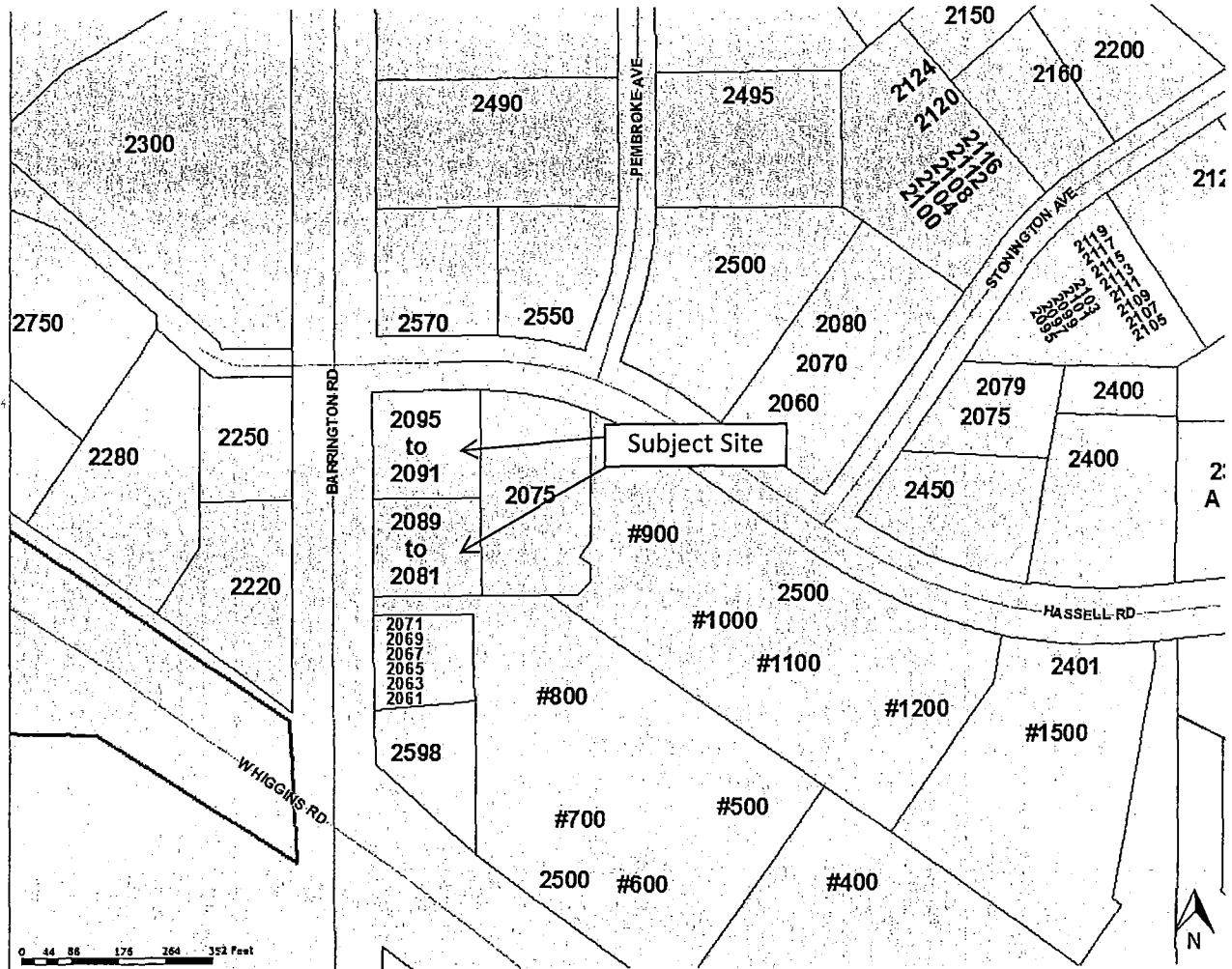
PADDOCK PUBLICATIONS, INC.
DAILY HERALD NEWSPAPERS

BY *Paula Baltz*
Authorized Agent

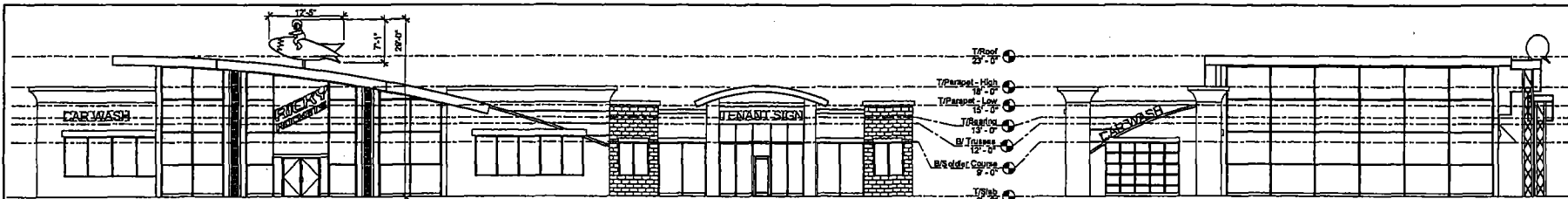
Control # 4331961

2081 – 2095 Barrington Road

P.I.N. 07-06-101-004 and
07-06-101-009

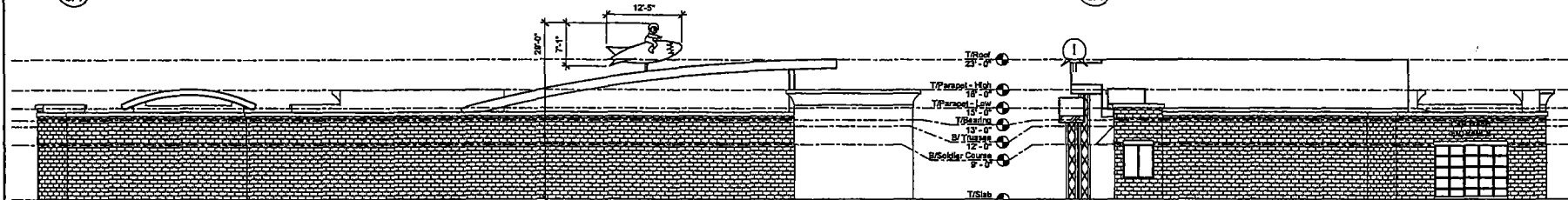


February 27, 2013
Village of Hoffman Estates
Planning Division



1 WEST ELEVATION
SI-1 SCALE 1/8" = 1'-0"

2 NORTH ELEVATION
SI-1 SCALE 1/8" = 1'-0"



3 EAST ELEVATION
SI-1 SCALE 1/8" = 1'-0"

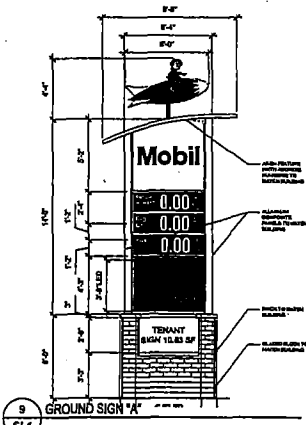
4 SOUTH ELEVATION
SI-1 SCALE 1/8" = 1'-0"



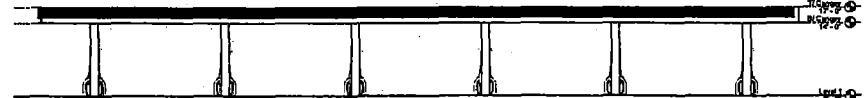
5 SOUTH CANOPY ELEVATION
SI-1 SCALE 1/8" = 1'-0"



6 NORTH CANOPY ELEVATION
SI-1 SCALE 1/8" = 1'-0"



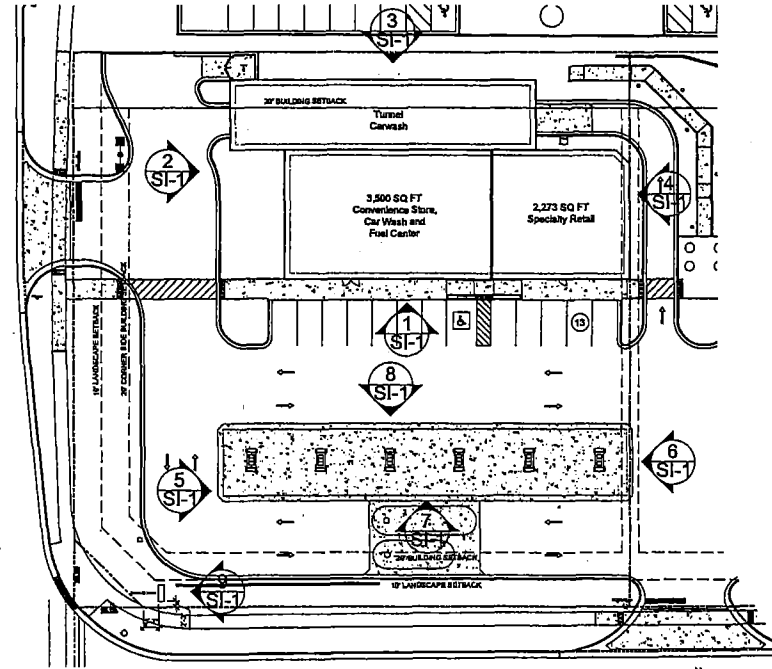
9 GROUND SIGN "A"
SI-1 SCALE 3/32" = 1'-0"



7 WEST CANOPY ELEVATION
SI-1 SCALE 3/32" = 1'-0"



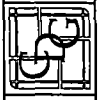
8 EAST CANOPY ELEVATION
SI-1 SCALE 3/32" = 1'-0"



10 SIGNAGE PLAN
SI-1 SCALE 1" = 30'-0"

DATE	10-17-08
SCALE	AS SHOWN
DRAWN	RT
CHECKED	DVT
DATE	08-11-08
SCALE	AS SHOWN
DRAWN	RT
CHECKED	DVT
DATE	08-11-08
SCALE	AS SHOWN
DRAWN	RT
CHECKED	DVT

CORPORATE DEVELOPMENT
HOFFMAN ESTATES, IL - SEC
GROUP, LLC



RICKY ROCKET'S
HOFFMAN ESTATES, IL - SEC
BARRINGTON RD. & HASSELL RD.

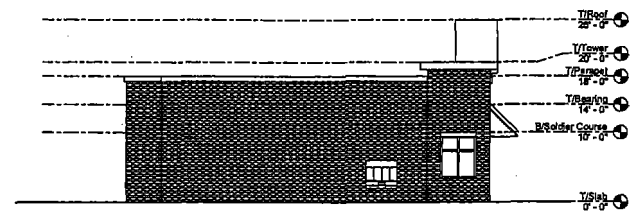


MASTER
SIGNAGE PLAN

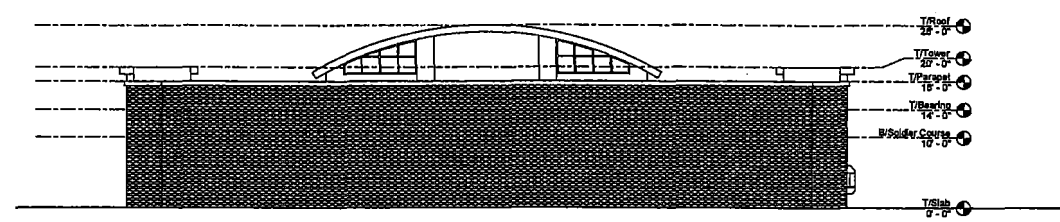
DATE	10-17-08
SCALE	AS SHOWN
DRAWN	RT
CHECKED	DVT
DATE	08-11-08
SCALE	AS SHOWN
DRAWN	RT
CHECKED	DVT
DATE	08-11-08
SCALE	AS SHOWN
DRAWN	RT
CHECKED	DVT

SI-1

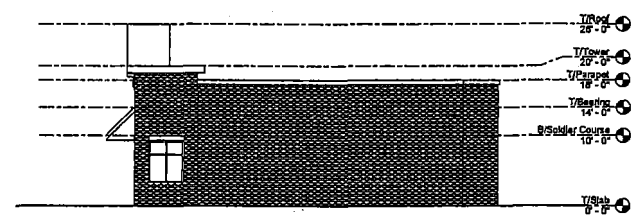
© COPYRIGHT 2008 CORPORATE DEVELOPMENT - HOFFMAN ESTATES, IL



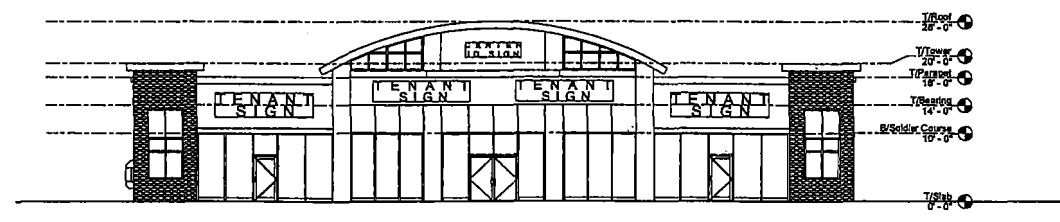
4 NORTH ELEVATION
SI-2 SCALE 1/8"=1'-0"



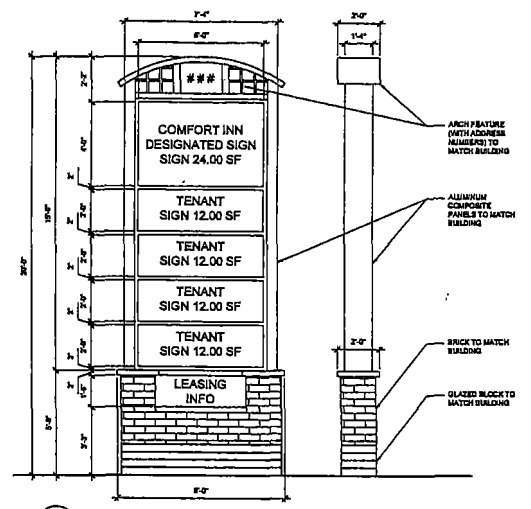
3 EAST ELEVATION
SI-2 SCALE 1/8"=1'-0"



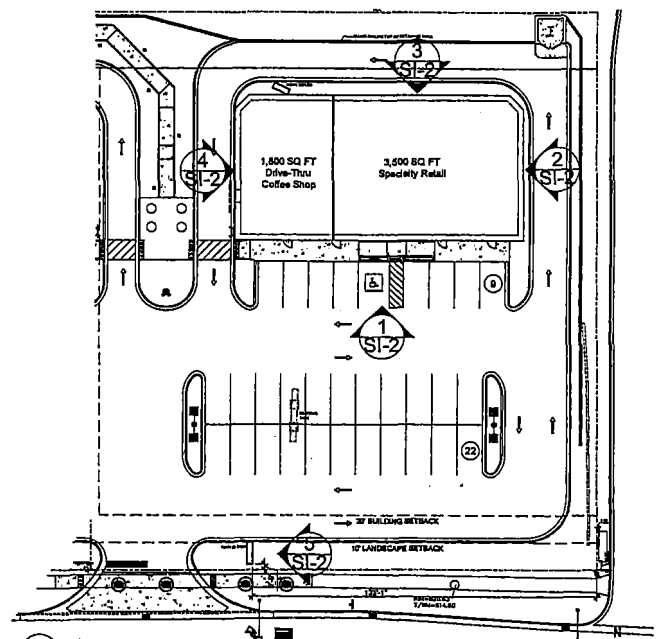
2 SOUTH ELEVATION
SI-2 SCALE 1/8"=1'-0"



1 WEST ELEVATION
SI-2 SCALE 1/8"=1'-0"



5 GROUND SIGN "B"
SI-2 SCALE 1/8"=1'-0"



6 SIGNAGE PLAN
SI-2 SCALE 1"=20'-0"

DATE	18-11-18	BY	DM
REVISION	NO. 1	DATE	18-11-18
1	ISSUE FOR PERMITS & CLIENT	DATE TO EXPIRE	NO-30-18
2	ISSUE TO EXPIRE	PER STATE COMMENTS	NO-10-18
3	PER STATE COMMENTS	NO-10-18	DM
4	PER STATE COMMENTS	NO-10-18	DM
5	PER STATE COMMENTS	NO-10-18	DM
6	PER STATE COMMENTS	NO-10-18	DM
7	PER STATE COMMENTS	NO-10-18	DM
8	PER STATE COMMENTS	NO-10-18	DM
9	PER STATE COMMENTS	NO-10-18	DM
10	PER STATE COMMENTS	NO-10-18	DM
11	PER STATE COMMENTS	NO-10-18	DM
12	PER STATE COMMENTS	NO-10-18	DM
13	PER STATE COMMENTS	NO-10-18	DM
14	PER STATE COMMENTS	NO-10-18	DM
15	PER STATE COMMENTS	NO-10-18	DM
16	PER STATE COMMENTS	NO-10-18	DM
17	PER STATE COMMENTS	NO-10-18	DM
18	PER STATE COMMENTS	NO-10-18	DM
19	PER STATE COMMENTS	NO-10-18	DM
20	PER STATE COMMENTS	NO-10-18	DM
21	PER STATE COMMENTS	NO-10-18	DM
22	PER STATE COMMENTS	NO-10-18	DM
23	PER STATE COMMENTS	NO-10-18	DM
24	PER STATE COMMENTS	NO-10-18	DM
25	PER STATE COMMENTS	NO-10-18	DM
26	PER STATE COMMENTS	NO-10-18	DM
27	PER STATE COMMENTS	NO-10-18	DM
28	PER STATE COMMENTS	NO-10-18	DM
29	PER STATE COMMENTS	NO-10-18	DM
30	PER STATE COMMENTS	NO-10-18	DM
31	PER STATE COMMENTS	NO-10-18	DM
32	PER STATE COMMENTS	NO-10-18	DM
33	PER STATE COMMENTS	NO-10-18	DM
34	PER STATE COMMENTS	NO-10-18	DM
35	PER STATE COMMENTS	NO-10-18	DM
36	PER STATE COMMENTS	NO-10-18	DM
37	PER STATE COMMENTS	NO-10-18	DM
38	PER STATE COMMENTS	NO-10-18	DM
39	PER STATE COMMENTS	NO-10-18	DM
40	PER STATE COMMENTS	NO-10-18	DM
41	PER STATE COMMENTS	NO-10-18	DM
42	PER STATE COMMENTS	NO-10-18	DM
43	PER STATE COMMENTS	NO-10-18	DM
44	PER STATE COMMENTS	NO-10-18	DM
45	PER STATE COMMENTS	NO-10-18	DM
46	PER STATE COMMENTS	NO-10-18	DM
47	PER STATE COMMENTS	NO-10-18	DM
48	PER STATE COMMENTS	NO-10-18	DM
49	PER STATE COMMENTS	NO-10-18	DM
50	PER STATE COMMENTS	NO-10-18	DM
51	PER STATE COMMENTS	NO-10-18	DM
52	PER STATE COMMENTS	NO-10-18	DM
53	PER STATE COMMENTS	NO-10-18	DM
54	PER STATE COMMENTS	NO-10-18	DM
55	PER STATE COMMENTS	NO-10-18	DM
56	PER STATE COMMENTS	NO-10-18	DM
57	PER STATE COMMENTS	NO-10-18	DM
58	PER STATE COMMENTS	NO-10-18	DM
59	PER STATE COMMENTS	NO-10-18	DM
60	PER STATE COMMENTS	NO-10-18	DM
61	PER STATE COMMENTS	NO-10-18	DM
62	PER STATE COMMENTS	NO-10-18	DM
63	PER STATE COMMENTS	NO-10-18	DM
64	PER STATE COMMENTS	NO-10-18	DM
65	PER STATE COMMENTS	NO-10-18	DM
66	PER STATE COMMENTS	NO-10-18	DM
67	PER STATE COMMENTS	NO-10-18	DM
68	PER STATE COMMENTS	NO-10-18	DM
69	PER STATE COMMENTS	NO-10-18	DM
70	PER STATE COMMENTS	NO-10-18	DM
71	PER STATE COMMENTS	NO-10-18	DM
72	PER STATE COMMENTS	NO-10-18	DM
73	PER STATE COMMENTS	NO-10-18	DM
74	PER STATE COMMENTS	NO-10-18	DM
75	PER STATE COMMENTS	NO-10-18	DM
76	PER STATE COMMENTS	NO-10-18	DM
77	PER STATE COMMENTS	NO-10-18	DM
78	PER STATE COMMENTS	NO-10-18	DM
79	PER STATE COMMENTS	NO-10-18	DM
80	PER STATE COMMENTS	NO-10-18	DM
81	PER STATE COMMENTS	NO-10-18	DM
82	PER STATE COMMENTS	NO-10-18	DM
83	PER STATE COMMENTS	NO-10-18	DM
84	PER STATE COMMENTS	NO-10-18	DM
85	PER STATE COMMENTS	NO-10-18	DM
86	PER STATE COMMENTS	NO-10-18	DM
87	PER STATE COMMENTS	NO-10-18	DM
88	PER STATE COMMENTS	NO-10-18	DM
89	PER STATE COMMENTS	NO-10-18	DM
90	PER STATE COMMENTS	NO-10-18	DM
91	PER STATE COMMENTS	NO-10-18	DM
92	PER STATE COMMENTS	NO-10-18	DM
93	PER STATE COMMENTS	NO-10-18	DM
94	PER STATE COMMENTS	NO-10-18	DM
95	PER STATE COMMENTS	NO-10-18	DM
96	PER STATE COMMENTS	NO-10-18	DM
97	PER STATE COMMENTS	NO-10-18	DM
98	PER STATE COMMENTS	NO-10-18	DM
99	PER STATE COMMENTS	NO-10-18	DM
100	PER STATE COMMENTS	NO-10-18	DM

CORPORATE DEVELOPMENT
GROUP, LLC
1000 W. WASHINGTON AVE.
SUITE 1000
CHICAGO, IL 60601
TEL: 312.463.1000
WWW.CORPORATEDEVELOPMENT.COM

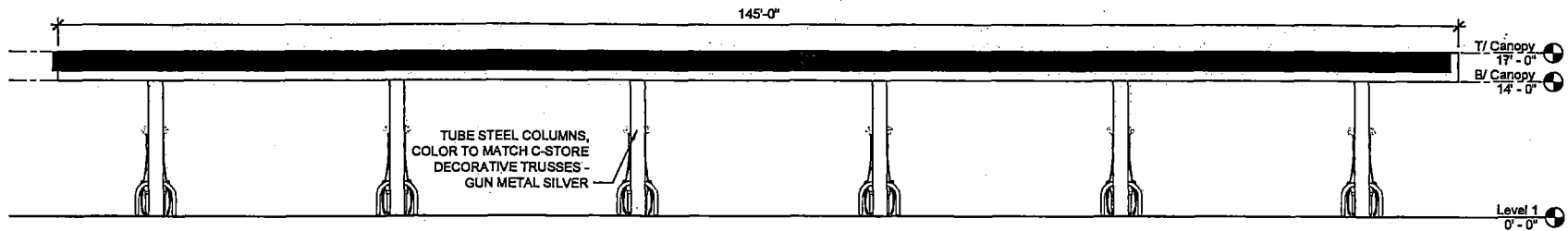
RICKY ROCKET'S
HOFFMAN ESTATES, IL - SEC
BARRINGTON RD. & HASSELL RD.

REDNER PROPERTIES, INC.
1000 W. WASHINGTON AVE.
SUITE 1000
CHICAGO, IL 60601
TEL: 312.463.1000
WWW.REDNERPROPERTIES.COM

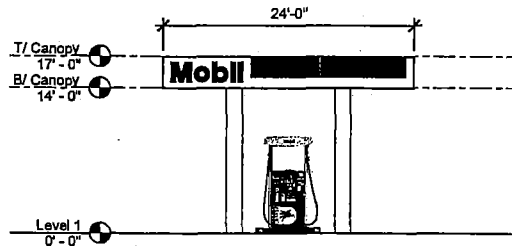
MASTER
SIGNAGE PLAN

DATE: 18-17-18
SCALE: AS SHOWN
PROJECT: RT
DRAWN: THT
CHECK: DDM
DATE: 18-17-18
SI-2

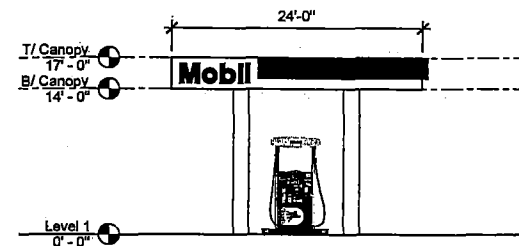
© COPYRIGHT 2018 CORPORATE DEVELOPMENT, LLC



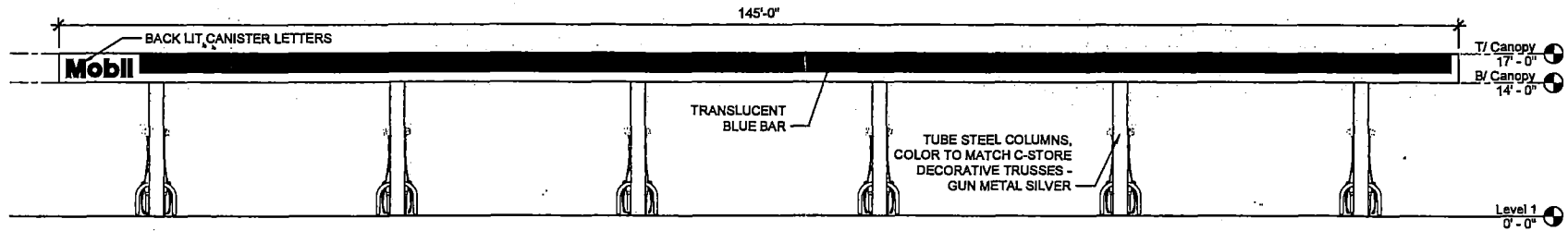
5 WEST CANOPY ELEVATION
A402 SCALE 3/16" = 1'-0"



6 NORTH CANOPY ELEVATION
A402 SCALE 3/16" = 1'-0"



8 SOUTH CANOPY ELEVATION
A402 SCALE 3/16" = 1'-0"



7 EAST CANOPY ELEVATION
A402 SCALE 3/16" = 1'-0"

NO.	REVISIONS	DATE	BY
1	REVISED PER VILLAGE & CLIENT	08-26-10	CH
2	DATE TO BE BANNED	08-13-10	RT
3	PER COMMENTS	08-26-10	RT
4	PER CLIENT COMMENTS	08-26-10	CH
5	PER MODEL CHANGE	08-27-10	CH

CORPORATE DESIGN + DEVELOPMENT GROUP, LLC <small>1000 W. WASHINGTON AVE. SUITE 1000 CHICAGO, ILLINOIS 60606 TEL: 312.281.1000 FAX: 312.281.1001 WWW: WWW.CDDGROUP.COM</small>	
RICKY ROCKET'S HOFFMAN ESTATES, IL - SEC BARRINGTON RD. & HASSELL RD.	
FREEDHILL PROPERTIES, INC. 	
EXTERIOR ELEVATIONS - FUEL CANOPY	

DATE	10-17-08
SCALE	AS SHOWN
DRAWN	RT
CHECKED	TXT
DATE	08/26/10
PROJECT	DANISH

A402



VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION
FINDING OF FACT

PROJECT NO.: 2011055T

VILLAGE BOARD MEETING DATE: April 1, 2013

PETITIONER(S): VILLAGE OF HOFFMAN ESTATES

TEXT AMENDMENT TO ZONING CODE & SUBDIVISION CODE REGARDING ANTENNAS

Recommendation: APPROVAL

Vote: 10 Ayes 1 Absent

PZC MEETING DATE(S): March 20, 2013

STAFF ASSIGNED: PETER GUGLIOTTA
JOSH EDWARDS

Request by the Village of Hoffman Estates for Text Amendments to Chapter 9 of the Village Municipal Code (Zoning Code) to amend Section 9-3-9 regarding Antennas and Wireless Telecommunications, and to amend Chapter 10 of the Village Municipal Code (Subdivision) to add Section 10-5-3-Q.

AUDIENCE COMMENTS

None.

FINDING

Staff presented the background on the regulation of antennas, the Federal limits on local regulations, the experiences of the past 15-20 years between the Village and the telecommunications industry, and other similar considerations. The Planning, Building & Zoning Committee recommended approval of a revised Antenna Siting Policy that outlines the preferred siting and design criteria for antenna installations. Staff has crafted the amended text for Section 9-3-9 of the Zoning Code based on that policy, which takes into account some of the FCC rules on local zoning authority. Certain locations of antenna installations would become permitted. Antennas on new structures and within 300 feet of a residential district would require a special use. The special use standards would be enhanced for antenna installations to require additional information from the petitioner.

The antennas on Village property, including the water towers, are reviewed first based on the Village as property owner through a lease negotiation, and secondly based on the Village as the legal authority to approve a building permit. These would not require special use review. The Village can deny an antenna request as the owner of the water tower, prior to the permit stage. The Village has legal protections in the lease agreements for such matters as property maintenance and removal of defunct antennas.

The Commission discussed the FCC authority over the health and environmental considerations of antennas, which are completely under the FCC authority and cannot form the basis of a local zoning decision.

The Commission discussed some scenarios of antenna requests, such as an antenna installation proposed in a single family neighborhood, which would require a special use. The petitioner would be required to pay for the necessary consultants to evaluate the request with respect to property values, cellular coverage, and similar concerns.

Planning and Zoning Commission Finding of Fact
Text Amendment to Zoning & Subdivision Codes Regarding Antennas
Village Board Meeting Date: April 1, 2013

The Subdivision Code would also be amended to codify the design requirements for antenna installations.

The Commission determined that the Standards for a Text Amendment had been met and voted unanimously to recommend approval of the request.

This Finding of Fact was written by Planning Division Staff.

PLANNING AND ZONING COMMISSIONERS

Chairperson Eva Combs	Myrene Iozzo
Vice-Chairman Michael Gaeta	Thomas Krettler
Donna Boomgarden	Gaurav Patel
Steve Caramelli	Steve Hehn
Lenard Henderson	Steve Wehofer
Denise Wilson	

ROLL CALL VOTE

10 Ayes
1 Absent (Boomgarden)

MOTION PASSED

The following attachments are hereby incorporated as part of this Finding of Fact:

Staff Report (Includes proposed text)



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT NO.: 2011055T

PETITIONER(S): VILLAGE OF HOFFMAN ESTATES

PROJECT NAME: TEXT AMENDMENTS – CHAPTER 9 & CHAPTER 10 – ANTENNAS

PUBLIC HEARING
YES NO

MEETING DATE: March 20, 2013

STAFF ASSIGNED: JOSH EDWARDS JAE

1. REQUESTED ACTION(S)

Request by the Village of Hoffman Estates for Text Amendments to Chapter 9 of the Village Municipal Code (Zoning Code) to amend Section 9-3-9 regarding Antennas and Wireless Telecommunications, and to amend Chapter 10 of the Village Municipal Code (Subdivision) to add Section 10-5-3-Q, based on the proposed text attached to this staff report.

2. BACKGROUND

Section 9-3-9 of the Zoning Code regulates antennas in the Village, which includes antenna installations for cellular phone / data networks as well as smaller installations such as satellite TV dishes and ham radio antennas. In several respects the existing Code has become outdated relative to current Federal laws governing antennas and to changes in the telecommunications industry. The Federal Communication Commission (FCC) regulates antennas and wireless telecommunications, and gives local governments the ability to regulate a limited range of considerations. This report includes background on the Village's evolving interactions with the telecommunications industry and the changes in Federal laws. These factors led to recent Planning, Building and Zoning Committee (PB&Z) meetings, which resulted in a the Committee approving a draft amended Antenna Siting Policy and directing the Planning and Zoning Commission to hold a hearing to discuss text amendments to coincide with the updated policy.

Since the late 1990s the Village has approved numerous cellular antenna installations for the major cellular phone carriers as well as other government entities for emergency or data communications. The installations are located at a variety of sites such as six of the seven Village water towers, several office buildings, St. Alexius Medical Center, and light poles at athletic fields. A map and table of the various antenna installations are included in the packet for reference.

After experiencing an influx of cellular communication antenna requests in the late 1990s, the Village adopted a formal Antenna Siting Policy to provide guidance for submittal of new requests. Since that time, communication technology has continued to evolve and the nature of antenna requests has also changed. Initial installations were aimed at establishing basic regional network coverage for each cellular company, whereas more recent requests have focused on specific areas of need such as pockets of low service quality, local areas with demand spikes, the addition of data service, etc.

The original installations in the Village were on existing tall structures, such as water towers and multi-story office buildings where there were minimal impacts on surrounding property owners. Some recent proposals have been in areas where there is no water tower or tall building to use as a viable option and as such a secondary tier of installations has occurred on other existing tall structures, such as athletic field light poles, which are often near 100 feet tall. As a last option, new freestanding antenna towers have been proposed.

Spurred by changes in the types of antenna proposals, in the Federal laws governing antennas, and experiences (good and bad) with numerous antenna approvals, in November 2011, the PB&Z Committee discussed the approval procedures and policy for cellular antenna requests. The Committee discussed the current Zoning Code regulations and the limited ability of the Village to deny a request.

Local and Federal Regulations

Section 9-3-9 of the Village Zoning Code requires special use review for all communication antennas over 45 feet high. Most requests also require a height variation to be over 60 feet high. However, Village regulatory authority is limited because cellular communication providers are licensed and regulated by the FCC. Essentially, the FCC rules are intended to ensure that all citizens have access to communications facilities and that fair competition be ensured between different providers. There is a presumption that cellular communication service is in the national public interest.

Under FCC rules, the Village does have some latitude to require design modifications and can place specific conditions on a request to mitigate negative impacts of antennas, including aesthetics. However, an outright denial of a request, with no alternative option for a cellular provider to serve a certain area would be contrary to FCC rules. Further, if the Village approves a certain type of installation for one carrier in a specific location, it cannot deny an identical installation at that same location for a second carrier since it would violate FCC rules regarding fair competition. If the Village does deny a request, the Village must have heard formal evidence in the public hearing process to support the specific reason for denial.

Formal Evidence and the Hearing Process

Formal evidence can be presented in a public hearing process by the petitioner, the public, or by the Village. The formal public hearing for a zoning case takes place during the specifically designated time period during a Planning and Zoning Commission meeting. Following are a few points related to formal evidence versus expressions of opinion that may come up during the public hearing process:

Antenna impacts on property values. To reference a concern about lower property values due to an antenna installation as a formal reason for denial, the Village must have heard testimony from a real estate professional, appraiser, or other recognized professional or have received a written report from such an expert. The evidence should include references to studies or other data that support the conclusion. The perception or opinion of an individual should not be considered formal evidence, although it is appropriate to listen to public input as part of the hearing process.

Health concerns. The FCC specifically prohibits municipalities from considering any perceived health effects from cellular antennas as part of the consideration for approval or denial. This is a technical area

that the FCC has jurisdiction over and there are regulations in place regarding the omission levels from antennas. Residents in a public hearing can express any opinions they choose, but this issue cannot be the basis for denial by the Village.

Coverage strength and location issues. Petitioners are required to provide evidence regarding their existing and proposed coverage levels as well as identifying the need they are trying to address with their proposed antennas. In order for the Village to dispute any of this evidence or to require different locations, lower heights, or alternative technology, the Village has the burden of providing formal evidence to support its position. Formal evidence requires testimony by the appropriate technical expert and/or submission of a written report prepared by such an expert. Opinions and comments made by Commission members, Board members, or the general public can be expressed during the hearing process, but these comments do not represent “formal evidence” and cannot be the basis of a denial.

Aesthetics. The FCC regulations protect the distribution of cellular communication service to the public, but they do not prohibit municipalities from regulating the appearance of the antennas or the towers/poles that may support antennas, even if the Village's condition is more costly for the petitioner. The Village is well within its rights to require antennas to be painted to match the structure they are mounted upon, a pole can be designed to appear as a flag pole, tree, or other object, and the Village can require all accessory equipment be placed within a building. It is acceptable for the Village to place aesthetic-based conditions on an approval as long as the petitioner can still provide the intended cellular service to the public.

Antenna Siting Policy

Between the November 2011 and March 2012 PB&Z Committee meetings staff completed a draft Antenna Siting Policy based on their input and a thorough review of the relevant zoning and design considerations. The final draft of the policy was approved at the March 2012 PB&Z Committee meeting, with the direction that it would be formally presented to the Village Board concurrently with text amendments to the Zoning Code (forwarded from this meeting).

As further background, the following is a description of the draft revised policy and the considerations that went into drafting it. The policy, in turn, has been the foundation of the proposed Zoning Code text amendments.

Sections included in the draft revised policy include, *Purpose, Preferred Sites, Design Guidelines, Approval Process, and Application Information.* An important detail to note is that use of the term “antenna” is different from use of terms like “tower” or “pole” and it is important that proper terms are referenced as the document is revised since it may make a difference in any FCC concern or any legal action regarding a Village Board action. The Village has greater latitude to regulate a tower, which is a structure versus an antenna, which regulates the cellular signal.

Village Owned Properties. Properties owned by the Village, such as water towers, are unique relative to the FCC regulations because the Village functions in two different capacities. The FCC rules apply to the Village's regulatory authority. When the Village is the property owner, it has a much broader ability to make decisions on whether to lease or not lease one of its resources or assets before the regulatory process comes into play.

All antenna requests must first have property owner consent before the regulatory process can begin. If the Village, acting as property owner, determines it is not appropriate to lease water tower space for a new antenna installation, the Village can deny the lease without the need to address the FCC provisions related to the regulatory process. This is similar to a private site where the cellular company cannot even submit an application request to the Village unless it has first received written consent from the subject property owner.

As part of a revised policy, the "Approval Process" section specifically addresses the unique aspects of antennas proposed on Village owned property and the necessary lease/structural review that must occur prior to beginning the regulatory review. The Village also requires an extensive structural and technical review process for any installation on Village property. The petitioner is required to pay the cost of third party technical consultants that perform these technical reviews.

Preferred Sites. The preferred priority for antenna installations would be on existing structures, such as water towers, multi-story buildings, or existing tall towers. Non-residential buildings or structures such as tall office buildings would also be preferred to residential buildings or structures. For antenna proposals that cannot utilize an existing structure, the petitioner would be required to consider alternative technology solutions that may include a series of lower "repeater" antennas on street lights or other existing structures rather than a single taller installation. Constructing new freestanding towers for antenna installations would be strongly discouraged. In the event a new tall tower is determined to be the only viable option to address the antenna needs, then preference would be given to locations as far from residential structures as possible.

Some degree of preference must also be given to sites that have already been approved for the installation of antennas because the FCC regulations require equal treatment between different carriers.

Permitted Use versus Special Use. Currently all new communication antenna requests require special use permit review (except when the antennas are accessory to a principal use). The revised policy includes standards that would allow certain antennas to be permitted with a building permit, and others to require special use permit review, depending on whether the antennas meet the preferred policy criteria or not.

Required Submittal Information. The bulk of information required for a special use or a building permit is detailed on the relevant Village application forms. However, when an antenna proposal does not meet the minimum criteria of the policy, the Village can require additional information specifically justifying why the request cannot meet the policy guidelines.

Consultant Review. For antennas that require a special use review, a technical consultant may be retained by the Village to evaluate all submittal information and to testify regarding potential alternative designs or locations that could achieve the needed goals of the cellular carrier, in order for the Village to meet the obligations imposed by the FCC. Since this type of review requires the Village to hire an outside consultant, the costs of this review would be paid by the petitioner.

FCC "Shot Clock" Rules. It is important to note that the current FCC rules require that the Village must take action on new antenna requests within 120 days of submittal, and must take action on colocations within 90 days of submittal. Further, the Village is required to provide any requests for additional information to the petitioner within 30 days of receipt. The rules only allow the "shot clock" to stop one time after the first

Village comments are provided. Once the petitioner makes a second submittal, the process must move toward completion prior to the 90 or 120 day deadlines. The FCC does allow the petitioner and Village to mutually waive the "shot clock" rules, if both parties agree.

Almost all antenna requests are submitted with incomplete, missing, and incorrect information. Typically it will take at least several months and several iterations back and forth for staff to work with the applicant before plans are determined to be complete and accurate enough to schedule the public hearing. The Village does not control the length of time or the level of completeness of the plan preparation process on the cellular provider's submittal. Rarely do the consultants respond with plan revisions or corrected information in a timely manner.

To counterbalance the lengthy time periods that cellular companies require to complete their applications properly, the Village administratively denies resubmitted applications based on a lack of completeness if outstanding issues are not resolved by the second submittal. The applicant can only proceed further if a written waiver to the "shot clock" rules is provided.

The FCC rules also limit the ability of the Village to deny or delay a modification to an existing antenna installation or antenna installations that are collocated.

3. PROPOSAL

The proposed Zoning Code text amendments are based on the various factors described above. The existing text of Section 9-3-9 would be replaced entirely with the proposed new text. The relevant portions of the revised draft policy have been evaluated by staff and where appropriate have been converted into Zoning Code language. Subjective or vague considerations in the policy have generally not been included in the Zoning Code, which necessarily must be objective and legally enforceable, but would be in the policy document. Other considerations such as the FCC "shot clock," completeness of an application, and the applicability of overriding Federal laws would be addressed administratively and are not necessary in the Zoning Code.

Despite the relative complexity of the issues involved with regulating antennas, the proposed Zoning Code language is straightforward. The proposed text would regulate all antennas in the Village, and outlines what types and locations of antennas would be permitted or would require a special use. Antenna installations that are located at one of the preferred sites would be permitted, all others would require a special use. This matches the preferences detailed in the Antenna Siting Policy.

Antennas such as satellite TV dishes and ham radio installations would be allowed and the text amendments are not substantially different from the existing Code, other than minor wording changes and reformatting.

All requests are subject to a staff level review and building permit review regardless of the zoning provisions.

Relevant Zoning Code definitions would also be amended to match the terms used in Section 9-3-9.

A proposed amendment to the Subdivision Code would include a new subsection 10-5-3-Q of the Additional Site Requirements that would address the physical design and screening considerations of

antenna installations and wireless telecommunication facilities. The new provisions require that the petitioners must camouflage, screen, or enclose the antennas and all associated equipment; both the elevated components and equipment on the ground.

4. TEXT AMENDMENT STANDARDS

Section 9-1-17 of the Zoning Code – Standards for a Text Amendment - states that the Planning and Zoning Commission shall not recommend the adoption of a proposed amendment unless it finds that the adoption of such amendment is in the public interest and is not solely for the interest of the petitioner.

Text amendments to the Zoning Code involve changes to the regulations that apply to all properties in the Village as a whole. The Zoning Code text amendments meet the Standards set forth in the Zoning Code, and were developed with consideration of the entire Village holistically.

5. STAFF SUMMARY

Staff recommends the approval of the revised text as written. The revised text would coincide with the draft revised Antenna Siting Policy that will be considered concurrently with the recommendation from this meeting. The new Zoning Code and Subdivision Code text would improve the effectiveness of the Village in regulating antennas and in complying with applicable Federal laws.

Attachments: Antenna Approvals Tables
Antenna Approvals Map
Draft Antenna Siting Policy
Legal Notice

The following shall be added to Section 9-2-1. Definitions:

Antenna, Colocation: The use of a wireless telecommunication facility by more than one wireless telecommunications provider.

Wireless Telecommunications Facility: A facility consisting of the antennas, equipment, and structures involved in receiving telecommunications or radio signals from a mobile radio communications source and transmitting those signals to a central switching computer which connects the mobile unit with the land-based telephone lines.

The existing Section 9-3-9 shall be deleted and replaced with the following:

Sec. 9-3-9. – Antennas and Wireless Telecommunications.

A. *Intent and Purpose.* The purpose of this section is to provide the requirements for the siting and installation of communications antennas, wireless telecommunication facilities, satellite dishes, and communication towers. These requirements are intended to protect and promote public safety, community welfare, and the aesthetic quality of the Village consistent with the goals and objectives of the Communication Antenna Siting Policy adopted by the Village, while providing for managed development of wireless telecommunications infrastructure consistent with the Federal Telecommunications Act of 1996 and subsequent amendments, and related requirements in State law.

1. *Wireless Telecommunication Facilities.* The siting and installation of antennas and wireless telecommunication facilities intended for public use including Cellular, Personal Communication Services (PCS), Distributed Antenna Systems (DAS), Microcells, Repeaters, and any other related wireless technology shall comply with the following.
 - i. Antennas and wireless telecommunication facilities shall be permitted at the following preferred locations.
 1. On Village-owned property, including existing municipal structures, such as water towers.
 2. On existing non-Residential buildings, where the antenna(s) can be placed upon or mounted to the existing structure at a functional height without the need for elevating the antennas more than 10 feet above the height of the existing structure.
 3. On existing light poles, flag poles or other structures not within 300 feet of a Residential District where the total height of the existing pole or structure allows the antenna to be installed at a functional height without the need for extending the height more than 10 feet above the height of the existing pole or structure.
 - ii. Antennas and wireless telecommunication facilities not in compliance with Section 9-3-9-A-1-i shall require a Special Use. Such facilities shall meet the Special Use Standards set forth in Section 9-1-18-l, as well as the following.

1. The applicant shall demonstrate in their Special Use application that preferred permitted locations under Section 9-3-9-A-1-I have been analyzed and that they are not practical for reasons other than cost.
 2. Sufficient technical evidence shall be provided to demonstrate that the proposed location is essential to providing service in the subject area.
 3. Antennas shall not be installed within 300 feet of any detached or attached one-family residential units unless the applicant can demonstrate that there are no other viable options for reasons other than cost.
 4. Preference shall be given to the collocation of antenna facilities upon any existing site or structure where a communication antenna is currently located. For situations where collocation is not available in a location that would achieve a functional height, a solution involving alternative technology shall be considered to minimize impacts on the adjacent properties. Technical evidence shall be submitted to demonstrate the viability of alternative technologies.
- iii. The base of any antenna and wireless telecommunication facilities shall meet the setback requirements of the principal structure.
 - iv. No part of any antenna or wireless telecommunication facilities shall extend beyond either:
 1. Any horizontal lot line of the lot on which it is located; or
 2. The vertical projections of the lot line of the lot on which it is located, under any condition, rotation or position thereof.
2. *Accessory Use Antennas and Communication Towers.* The siting and installation of antennas, satellite dishes, and communication towers as an accessory use shall be permitted up to a maximum height of 45 feet above grade, and such facilities greater in height than 45 feet above grade shall be permitted only as a special use.
 - i. Within any Residential District, the base of any antenna, satellite dish, or communication tower shall meet the setback requirements for accessory buildings within that district, and shall in no case be allowed in front yards, and an antenna shall not exceed one meter in diameter.
 - ii. Within any non-Residential district, the base of any antenna, satellite dish, or communication tower shall meet the setback requirements of the principal structure.
 - iii. No part of accessory use antennas, satellite dishes, communication towers, or related equipment shall extend beyond either:
 1. Any horizontal lot line of the lot on which it is located; or
 2. The vertical projections of the lot line of the lot on which it is located, under any condition, rotation or position thereof.
3. *Required Permits.* In addition to the requirement that, where applicable, a special use be first obtained, pursuant to the provisions of this Code, for the establishment of an antenna and wireless telecommunication facility on a lot within any zoning district or subzone, a

building permit shall be required for the construction, installation or erection of any antenna and wireless telecommunication facility.

The following shall be added to Section 10-5-3. Additional site requirements:

- Q. *Antenna Installations and Wireless Telecommunication Facilities.* Antenna panels, dishes, and visible elevated mounting hardware as part of an antenna installation or Wireless Telecommunication Facility shall be installed with a color to match the structure to which it is mounted or a neutral color to not contrast with the sky. Antennas and mounting hardware shall be installed with a low profile and the use of projecting brackets or other projecting hardware shall be limited to reduce the visibility of the installation. The Village may require stealth or camouflaged Wireless Telecommunication Facilities where the antennas are disguised inside a pole or some other structure.

All equipment related to an antenna installation shall be screened from view. Building or rooftop mounted equipment shall be screened with materials that match or complement the building architecture. Rooftop mounted equipment shall be centrally located from the edge of the building, to the greatest extent possible. Ground mounted equipment shall be enclosed within a solid enclosure or building, preferably constructed of masonry or materials similar to those found elsewhere on the same or adjacent properties. Complementary landscaping may be required by the Village.

**ADDITIONAL
BUSINESS**

VILLAGE OF HOFFMAN ESTATES

AN ORDINANCE AMENDING
SECTION 8-3-22, NUMBER OF LICENSES
OF ARTICLE 3, ALCOHOLIC LIQUORS,
OF THE HOFFMAN ESTATES MUNICIPAL CODE
(INCREASE IN NUMBER OF CLASS "A" AND CLASS "LC" LICENSES –
BLACKHAWK RESTAURANT GROUP LLC SERIES D/B/A PENNY'S PLACE)

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: That Section 8-3-22, NUMBER OF LICENSES, of the Hoffman Estates Municipal Code be and the same is hereby amended to read as follows:

The number of licenses issued to persons for the sale of alcoholic liquors by the Village of Hoffman Estates shall be limited to forty-eight (48) Class "A" licenses, two (2) Class "AA" licenses, fifteen (15) Class "B" licenses, unlimited Class "C" licenses, three (3) Class "D" licenses, two (2) Class "DD" license, one (1) Class "F" license, one (1) Class "G" license, unlimited Class "H" licenses, and fourteen (14) Class "LC" licenses.

Section 2: That any person, firm or corporation violating any of the provisions of this Ordinance shall be subject to a fine of not less than Ten Dollars (\$10.00) nor more than Five Hundred Dollars (\$500.00) for each offense, and a separate offense shall be deemed committed on each day during or on which a violation occurs or continues.

Section 3: That the Village Clerk is hereby authorized to publish this ordinance in pamphlet form.

Section 4: That this Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2013

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Raymond M. Kincaid	_____	_____	_____	_____
Trustee Jacquelyn Green	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2013

Village President

ATTEST:

Village Clerk

Published in pamphlet form this _____ day of _____, 2013.



VILLAGE MANAGER'S OFFICE

Memo

TO: President & Board of Trustees
FROM: James H. Norris, Village Manager
RE: REVISED ANTENNA SITING POLICY
DATE: March 26, 2013

Urgent

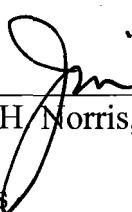
For Review

Please Reply

On March 19, 2012, the Planning, Building & Zoning Committee recommended approval of the attached revised Antenna Siting Policy. This recommendation was held off the Village Board agenda until such time as a corresponding Municipal Code amendment could be prepared and recommended by the Planning and Zoning Commission. It is important that both the new policy and code amendments be considered at the same meeting to avoid conflicts.

On March 20, 2013, the Planning and Zoning Commission recommended approval of code amendments to Chapters 9 and 10 regarding antennas, consistent with the attached policy. The April 1, 2013 Village Board agenda includes recommendations for both items.

A copy of the March 2012 PBZ Committee memo is also attached for reference.


James H. Norris, Village Manager

JHN/ds

Attachments

RESOLUTION NO. _____ - 2013

VILLAGE OF HOFFMAN ESTATES

A RESOLUTION PROVIDING AN
ANTENNA SITING POLICY

WHEREAS, it has been recognized by the Village that an Antenna Siting Policy is essential to ensure the Village maintains compliance with current Federal laws and rules.

NOW, THEREFORE, BE IT RESOLVED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: That the Village Antenna Siting Policy attached as Exhibit "A" be and is hereby adopted as the policy of the Village of Hoffman Estates.

Section 4: That this Resolution shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2013

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Raymond M. Kincaid	_____	_____	_____	_____
Trustee Jacquelyn Green	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2013

Village President

ATTEST:

Village Clerk

Village of Hoffman Estates ANTENNA SITING POLICY

VILLAGE OF HOFFMAN ESTATES COMMUNICATION ANTENNA SITING POLICY

PURPOSE

This policy pertains to the siting of communication antennas for public use including Cellular, Personal Communication Services (PCS), Distributed Antenna Systems (DAS), Microcells, Repeaters, and any other wireless technology. This policy is intended to:

1. Identify preferred locations for the installation of communication antennas in the Village;
2. Describe design guidelines for various types of antenna installations;
3. Specify the required approval process for communication antenna requests, and;
4. Identify information that should be submitted for consideration of antenna requests.
5. Ensure the Village is reimbursed for all extraordinary costs generated by antenna requests.

Village zoning, building and other Ordinances will dictate the technical construction and permitting requirements of the Village of Hoffman Estates.

PREFERRED INSTALLATIONS

Sites which are located in industrial or commercial areas are preferred versus residential areas. The following locations represent the Village's desired locations for the installation of communication antennas, in order of preference:

1. On existing municipal properties or structures, such as water towers;
2. On existing industrial, commercial, or office buildings, where the antenna(s) can be placed upon or mounted to the existing structure at a functional height without the need for elevating the antennas above the existing structure;
3. On existing multi-family buildings, where the antenna(s) can be placed upon or mounted to the existing structure at a functional height without the need for elevating the antennas above the existing structure;
4. On existing light poles, flag poles or other structures not proximate to residential units where the total height of the existing pole or structure allows the antenna to be installed at a functional height without the need for extending the height of the existing pole or structure;

Village of Hoffman Estates ANTENNA SITING POLICY

The following factors shall apply to all antenna installation proposals:

1. Colocation of antennas is preferred. Any existing site or structure on which a communication antenna is currently located shall be preferred as an antenna location over any new site or structure.
2. Placing antennas on new freestanding towers or poles is discouraged unless it can be documented that all other options have been analyzed and are not practical for reasons other than cost.
3. The installation of antennas in proximity to detached or attached one-family residential units is discouraged and alternative, low-impact solutions should be considered to address service goals in these areas.
4. For situations where an existing structure is not available in a location that would achieve the petitioner's desired functional height, a solution involving alternative technology should be evaluated to minimize potential impacts on the adjacent properties. This may include an outdoor Distributed Antenna System (DAS), micro-cell antennas, or other technology that can operate at lower heights consistent with the maximum heights permitted for buildings in the immediate area.

DESIGN GUIDELINES

The following design guidelines shall apply to the installation of all communication antennas:

1. All antennas shall be designed to be installed at the minimum functional height.
2. All antennas mounted on an existing structure should be buffered or screened from view to the extent possible, as determined by the Village. Antennas and mounting hardware shall be painted to match or complement the structure upon which they are mounted.
3. Any new freestanding pole or tower which the Village determines is justified shall be designed for the antennas to be placed in a concealed or "stealth" manner. The type of pole or tower, and the manner of concealment shall be determined by the Village as part of the approval process depending on the context of the site location and surrounding buildings and uses.
4. All accessory equipment related to an antenna installation shall be screened from view in accordance with current Subdivision Code site plan requirements. Ground mounted equipment shall be enclosed within a solid enclosure or building, preferably constructed of masonry or materials similar to those found elsewhere on the same or adjacent properties. Complementary landscaping may be required by the Village. Building or rooftop mounted equipment must be screened to the greatest extent feasible with materials that match or complement the building architecture. Rooftop mounted

Village of Hoffman Estates ANTENNA SITING POLICY

equipment shall be centrally located from the edge of the building, to the greatest extent possible.

5. All cables and wiring associated with an antenna installation shall be visually covered or located within the structure, pole or tower, or located underground in a manner which is not visible, to the greatest extent possible. The use of "ice bridges" or other exposed cable routing systems shall not be permitted.
6. The operation of any antennas shall not interfere with any Village communication system. As part of the application process, the petitioner shall demonstrate that the proposed antenna will not interfere with existing residential or commercial applications. If any interference is identified, the petitioner will investigate the cause and take actions to remedy the interference if their equipment is at fault.

APPROVAL PROCESS

The Zoning requirements of Village Municipal Code (primarily Section 9-3-9) shall determine whether a communication antenna request is a permitted use or a special use. Generally, for installations that meet the Village's preferred criteria, an administrative process will be followed versus the more formal special use process required for those installations that deviate from the preferred criteria.

1. A Village building permit is required for all communication antenna installations or modifications.
2. For Village owned properties, in order to be eligible to apply for any required special use permit or building permit, the petitioner must first satisfy all Village requirements necessary for lease or license approval, including approval of structural and technical analysis.
3. For non-Village owned properties, in order to be eligible to apply for any required special use permit or building permit the petitioner must first provide a written statement from the property owner consenting to the antenna installation.
4. The Village's site plan requirements found in Chapter 10 of the Municipal Code shall apply to all communication antenna installations.
5. Modifications to an existing antenna or associated equipment may be approved administratively unless they involve a significant expansion to the improvements, or if the height of the antennas is increased. All modifications shall be subject to a comprehensive review and may require technical expert analysis to determine whether an expansion is significant in any way. Modifications shall require consent of the property owner regardless of how minor the change may be.

Village of Hoffman Estates

ANTENNA SITING POLICY

APPLICATION INFORMATION

In order for the Village to meet its obligations under Federal law for expedited review timing, incomplete applications will not be accepted. If, after the Village has provided review comments noting omissions or deficiencies in a submittal, a resubmitted application still does not address all missing or insufficient information, the petitioner will be notified in writing that the application has been denied. Any petitioner who has had an application denied due to missing or insufficient information can resubmit revised plans and continue to seek approval only if a written statement is provided with the submittal waiving the requirements of the Federal Communications Commission "shot clock" rules. Alternatively, the application process can be restarted from the beginning.

In addition to information typically required for a special use permit review, each application for a communication antenna shall include a written statement of how the proposed antenna installation meets the policy guidelines established herein and such application shall be accompanied by all required fees and deposits.

If the proposed antenna installation does not meet all guidelines outlined by this policy, then a detailed written justification shall be provided as to why the policy cannot be met. The justification shall include:

1. What preferred location(s) are within the geographic service area;
2. What measures were taken to secure the preferred location(s);
3. A detailed explanation as to why preferred locations are not feasible;
4. Sufficient technical information to demonstrate that the proposed location is essential to providing service in the subject area;
5. Sufficient technical information and a detailed explanation to demonstrate why alternative technology cannot be used to achieve the desired service level.

EXTERNAL REVIEW AND COSTS

In addition to standard application fees adopted by the Village for building permit and zoning applications, the petitioner shall be responsible for all extraordinary costs and fees related to review of antenna proposals. The following shall apply:

1. For proposals on Village owned facilities, a detailed technical analysis must be performed to ensure the installation does not negatively impact or impede the Village's use of its property or facilities. All costs associated with this review shall be paid by the petitioner.
2. Inspections of antenna installations may require technical expertise and all costs associated with expert consultants or personnel shall be paid by the petitioner.

Village of Hoffman Estates ANTENNA SITING POLICY

3. For all requests requiring a formal zoning hearing, the FCC requires that the Village meet specific review timelines and that it ensure proper technical evidence is included as part of the public hearing process. The services of expert consultants will typically be necessary to provide such technical information, and the petitioner shall be required to pay for all costs of such consultants and any costs for extraordinary staff time that is needed to meet FCC timelines.
4. A court reporter shall be utilized to provide a transcript for all public hearings for communication antennas. The petitioner shall be responsible for the cost of providing a court reporter and any costs for copies of the transcript.

If the Village determines the use of a consultant is not necessary to perform a technical review or inspection in certain instances, the consultant requirement stated above may be waived by the Village Manager.

**COMMITTEE AGENDA ITEM
VILLAGE OF HOFFMAN ESTATES**

SUBJECT: Discussion regarding approval procedures and policy for cellular antenna requests

MEETING DATE: March 19, 2012

COMMITTEE: Planning, Building and Zoning

FROM: Peter Gugliotta

REQUEST: Discussion regarding approval procedures and policy for cellular antenna requests.

BACKGROUND: In November 2011, the Planning, Building and Zoning Committee directed staff to finalize the update of the Village's formal Antenna Siting Policy based on several points noted in the staff memo. A copy of the previous memo is attached for information.

DISCUSSION: Staff has prepared the new policy and reviewed it with Corporation Counsel to ensure it does not conflict with current FCC rules. Also considered was new Federal legislation approved in February 2012, which further restricts municipal regulation of wireless tower or base station modifications. The new law specifically addresses collocations, removal, or replacement of existing equipment.

Attached is a revised Antenna Siting Policy that addresses the points discussed at previous Village meetings. If the proposed policy is adopted, amendments to the Zoning Code will be needed for consistency. Generally, the new policy is intended to streamline the Village review process for antenna requests that are not in sensitive areas or involve collocations where the Village has already determined that antennas are appropriate on a given site. For installations in sensitive areas, such as a new tower in a residential neighborhood, the special use public hearing process would still be required.

Having an updated written policy will help guide petitioners and staff as new installations are proposed. The updated policy will also ensure the Village maintains compliance with current Federal laws and rules. Key items in the draft policy are highlighted below:

DISCUSSION: (Continued)

- ◆ All antennas on Village-owned facilities (typically water towers) would be considered as permitted uses under the Zoning Code. Since these requests are all subject to approval of a lease or license by the Village, the Board has full discretion to approve or deny any request, acting as owner of the subject property. Village consideration of a lease or license is not subject to FCC regulations that limit the Village's zoning authority over antennas.
- ◆ Antennas on private property will be permitted through an administrative process if they meet the criteria for "preferred sites" in the new policy (this will also need to be stated in the Zoning Code).
- ◆ New antenna requests on private property or public sites not owned by the Village that do not meet the preferred criteria will require a special use review, which involves a public hearing before the Planning and Zoning Commission.
- ◆ Modifications to existing antenna installations would be permitted administratively unless they involved a significant expansion to the facility or if they contradicted a condition of approval included with a special use approval. For example, if a change was proposed from 9 panel antennas to 7 panel antennas plus 2 microwave dishes on the same mounting brackets, and the revisions did not increase the installation height, then the change would likely be approved administratively even if the initial installation was subject to special use review. A comprehensive staff analysis would still be performed to ensure the revisions were truly minor in nature.
- ◆ To strengthen the design standards outlined in the policy, it is recommended that an amendment be considered to the Subdivision Code (Chapter 10) that will specifically address aesthetic goals for antenna installations. Currently, the Subdivision Code has very general statements about screening of utility equipment, but since antennas and their associated equipment present unique characteristics that warrant more detailed language.

In order to implement the new policy, it will be necessary for the Village Zoning Code to be amended. The code amendment would specifically define the parameters for when a special use would be required and when an installation would be permitted administratively. All requests are subject to a staff level review and building permit review regardless of the zoning provisions.

RECOMMENDATION:

Recommend approval of a revised Antenna Siting Policy to be adopted by the Village Board concurrent with necessary associated amendments to Chapters 9 and 10 of the Municipal Code, and direction for the Planning and Zoning Commission to hold hearings to consider such code amendments to be consistent with this revised policy.

If approval is recommended by the Planning, Building and Zoning Committee, this recommendation will be placed on a future Village Board agenda to coincide with the recommendation of the Planning and Zoning Commission.

Attachments

cc: Planning & Zoning Commission