

AGENDA

*Village of Hoffman Estates
First Meeting of the Month
Village Board of Trustees*

1900 Hassell Road
Hoffman Estates, IL 60169
847-882-9100

Board Room

September 12, 2011

(Immediately Following Special Public Works & Utilities Committee)

1. **CALL TO ORDER/ROLL CALL**
2. **PLEDGE OF ALLEGIANCE TO THE FLAG**
3. **RECOGNITION OF AUDIENCE**
4. **APPROVAL OF MINUTES – August 1 & Special Meeting of August 22, 2011**
5. **CONSENT AGENDA/OMNIBUS VOTE (Roll Call Vote)**
(All items under the Consent Agenda are considered to be routine in nature and will be enacted by one motion. There will be no separate discussion of these items unless a Trustee so requests. In that event, the discussion will be the first item of business after approval of the Consent Agenda).
 - A. Approval of Agenda
 - B. Approval of the schedule of bills for September 12, 2011 - \$3,628,164.04.
 - C. Request Board approval of an ordinance approving a Master Sign Plan in accordance with Section 9-3-8-M-12 of the Zoning Code for the property located at 3001-3101 N. Barrington Road, Hoffman Estates (Fountain Crossing).
 - D. Request Board approval of an ordinance authorizing the sale of personal property owned by the Village of Hoffman Estates (hockey glass boards and miscellaneous furniture at the Sears Centre Arena).
 - E. Request Board approval of an ordinance amending Article 3, Vehicle Immobilization, of Chapter 6, Traffic Code, of the Hoffman Estates Municipal Code.
 - F. Request Board approval of a resolution appointing an Executive Director to the Northwest Suburban Regional Training Authority (Jeff Jorian).
 - G. Request Board authorization to award a two-year contract to IT in Motion, Schaumburg, IL, for in-car camera maintenance agreement in an amount not to exceed \$3,300 per month.
 - H. Request Board approval of the Jones/Highland storm sewer improvements.
 - I. Request Board authorization to award contract for State of Illinois joint purchase of 2011-2012 winter road salt to North American Salt Company, Overland Park, KS, at a unit price of \$60.33 per ton in an amount at 120% not to exceed \$434,376.
 - J. Request Board approval of a time extension to the temporary moratorium on the enforcement of the regulations in Section 9-3-8-K-5 of the Zoning Code to allow certain temporary business signs to be displayed during depressed economic conditions.

5. **CONSENT AGENDA/OMNIBUS VOTE - Continued**

- K. Request Board approval of request by Pratibha Hairath d/b/a Great Clips to withdraw request to consider text amendments to the Zoning Code regarding temporary special event signs.
- L. Request Board approval of North West Housing Partnership as subrecipient to administer the Community Development Block Grant (CDBG) Single-Family Rehabilitation Project and to approve execution of the proposed Subrecipient Agreement.

6. **REPORTS**A. **President's Report**

- ... Proclamation(s)
 - Scot Neil Day (20 Years Service)
 - Target Hoffman Estates Store Day
 - Payroll Week
 - St. Hubert Catholic Parish Day
- ... Great Citizen Award(s)
 - Gary Granzin

B. **Trustee Comments**C. **Village Manager's Report**D. **Village Clerk's Report**E. **Treasurer's Report**7. **PLANNING AND ZONING COMMISSION REPORTS**

- A. Request by Mike and Ann Gregory for a fifteen foot (15') corner side yard setback variation from Section 9-3-3-C to allow a six foot (6') high solid fence to be zero feet (0') from the east side property line instead of the minimum required fifteen feet (15') on the property located at 618 Wainsford Drive.

Voting: 11 Ayes

Motion carried.

- B. Request by Alliance Fellowship Church, 665 Grand Canyon Street, for:

- 1) a site plan amendment to permit a second floor building addition and a parking lot expansion;
- 2) a special use amendment to permit the expansion of a Church in an R-3, One Family Residential District; and
- 3) a variation from Section 9-5-3-D-7 to allow the Church building to have a 0.42 floor area ratio, instead of the maximum permitted floor area ratio of 0.35;

with 4 conditions (see packets).

Voting: 3 Ayes, 8 Nays

Motion failed.

(Request by petitioner to remand item to Planning and Zoning Commission)

7. **PLANNING AND ZONING COMMISSION REPORTS – Continued**

C. Request by Kazimierz and Ewa Zuba for a four foot, four inch (4'4") side yard setback variation from Section 9-5-3-D-5 to allow an attached garage addition to be set back five feet, 8 inches (5'8") from the side lot line instead of the minimum required ten feet (10') on the property located at 1715 Ida Road, with 1 condition (see packets).

Voting: 9 Ayes, 1 Absent, 1 Vacancy

Motion carried.

D. Request by Kin Properties (Property Owner) and Dino Alex of Alexion Properties, LLC (Property Manager and Petitioner) for approval of a Master Sign Plan in accordance with Section 9-3-8-M-12 of the Zoning Code for the properties located at the southeast corner of Golf and Roselle Roads with addresses ranging from 5-35 East Golf Road and 1183-1187 N. Roselle Road based on the Master Sign Plan dated September 7, 2011.

Voting: 9 Ayes, 1 Absent, 1 Vacancy

Motion carried.

E. Request by OM&I Hoffman Three LLC for approval of a Site Plan Amendment and Plats of Vacation, Easement and Resubdivision of the Devonshire Woods Subdivision located at the southwest corner of Shoe Factory Road and Essex Drive, with 4 conditions (see packets).

Voting: 9 Ayes, 1 Absent, 1 Vacancy

Motion carried.

F. Request to accept text amendments to Section 9-3-2 (Off-Street Parking and Off-Street Loading Facilities) of the Zoning Code regarding pre-existing circular driveways.

Voting: 9 Ayes, 1 Absent, 1 Vacancy

Motion carried.

8. **ADDITIONAL BUSINESS** *(All other new business; those items not recommended unanimously by the Committee)*

A. Request Board approval of an ordinance amending Article 4, Traffic Administrative Adjudication, of Chapter 6, Traffic Code, of the Hoffman Estates Municipal Code.

B. Request Board authorization to award contract to Prime Construction, Inc. (low bid), Hampshire, IL, for the 2011 Drainage Improvement Project in an amount not to exceed \$28,375.

C. Request Board authorization to:

- 1) waive formal bidding; and
- 2) award contract for one (1) 2011 Ford Crown Victoria police package vehicle for the Police Department to Landmark Ford, Springfield, IL, (state bid) in an amount not to exceed \$22,606.

D. Request Board approval of an amendment to the Authorized Village Towing Service Agreement.

8. **ADDITIONAL BUSINESS – Continued**

- E. Request Board approval of the Memorandum of Agreement to the Collective Bargaining Labor Agreement between the Village of Hoffman Estates and the International Brotherhood of Teamsters, Chauffeurs, Warehousemen and Helpers of America, Local 700, for the period January 2012 through December 2013.
- F. Request Board authorization to:
 - 1) rescind award of contract to North Suburban Asphalt for inability to perform the 2011 Crack Sealing and Seal Coating project; and
 - 2) award contract to the next lowest available bidder, Behm Pavement Maintenance, Inc., Denler, Inc., Crystal Lake, IL, in an amount not to exceed \$238,465.73.
- G. Request Board approval of request by Oxford Bank & Trust and OM&I Hoffman Three LLC of a Settlement and Release Agreement for the Devonshire Woods Estates subdivision.

9. **ADJOURNMENT**

MEETING: HOFFMAN ESTATES VILLAGE BOARD
DATE: AUGUST 1, 2011
PLACE: COUNCIL CHAMBERS
MUNICIPAL BUILDING COMPLEX
1900 HASSELL ROAD
HOFFMAN ESTATES, ILLINOIS

1. CALL TO ORDER:

Village President William McLeod called the meeting to order at 8:00 p.m. The Village Clerk called the roll. Trustees present: Gary Stanton, Karen Mills, Jackie Green, Anna Newell, Gary Pilafas. Trustee Kincaid was absent.

A quorum was present.

ADMINISTRATIVE PERSONNEL PRESENT:

D. O'Malley, Deputy Village Manager
A. Janura, Corporation Counsel
R. Gorvett, Fire Chief
M. Hish, Police Chief
M. DuCharme, Finance Director
J. Nebel, PW Director
A. Garner, H&HS Director
D. Schultz, Community Relations Coordinator
S. Kuechler, General Government Intern
P. Gugliotta, Planning Director
N. Collins, Emergency Management Coordinator

2. PLEDGE OF ALLEGIANCE TO THE FLAG:

The Pledge was led by Trustee Stanton.

3. RECOGNITION OF AUDIENCE:

No one wished to be recognized.

4. APPROVAL OF MINUTES:

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 4. Voice vote taken. All ayes.
Motion carried.

Approval of Minutes
Minutes from July 11, 2011.

Motion by Trustee Pilafas, seconded by Trustee Mills, to approve Item 4. Voice vote taken. All ayes.
Motion carried.

Approval of Minutes
Minutes from July 25, 2011.

5. CONSENT AGENDA/OMNIBUS VOTE:

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 5.A.

5.A. Approval of Agenda

Roll Call:

Aye: Stanton, Mills, Green, Newell, Pilafas

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 5.B.

5.B. Approval of the schedule of bills for August 1, 2011: \$3,259,233.50.

Roll Call:

Aye: Stanton, Mills, Green, Newell, Pilafas

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 5.C.

5.C. Request Board approval of Ordinance No. 4256-2011 granting a variation to premises at 1317 Essex Drive, Hoffman Estates.

Roll Call:

Aye: Stanton, Mills, Green, Newell, Pilafas

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 5.D.

5.D. Request Board approval of Ordinance No. 4257-2011 approving a master sign plan in accordance with Section 9-3-8-M-12 of the Zoning Code for the property at 1485 Palatine Road, Hoffman Estates.

Roll Call:

Aye: Stanton, Mills, Green, Newell, Pilafas

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 5.E.

5.E. Request Board approval of Ordinance No. 4258-2011 granting temporary special use to Zeigler Chrysler Dodge Jeep of Schaumburg, 125 W. Higgins Road, Hoffman Estates.

Roll Call:

Aye: Stanton, Mills, Green, Newell, Pilafas

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 5.F.

5.F. Request Board approval of Ordinance No. 4259-2011 authorizing the sale of personal property owned by the Village of Hoffman Estates.

Roll Call:

Aye: Stanton, Mills, Green, Newell, Pilafas

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 5.G.

5.G. Request Board approval of Resolution No.1489-2011 to rescind the Purchase and Sale Agreement for the sale of the former police station at 1200 Gannon Drive, Hoffman Estates, to Hall Racing, LLC.

Roll Call:

Aye: Stanton, Mills, Green, Newell, Pilafas

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 5.H.

5.H. Request Board approval of Resolution 1490-2011 to rescind the Cost Recovery Agreement between Hall Enterprises, Inc. and the Village of Hoffman Estates.

Roll Call:

Aye: Stanton, Mills, Green, Newell, Pilafas

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 5.I.

5.I. Request Board approval of request by Hoffman Estates Park District for approval of a Plat of Easement for watermain on the property at the Bridges of Poplar Creek Country Club, 1400 Poplar Creek Drive, Hoffman Estates.

Roll Call:

Aye: Stanton, Mills, Green, Newell, Pilafas

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 5.J.

5.J. Request Board approval of request by Kin Properties and Alexion Properties for approval of a Plat of Easement for cross access, shared parking, maintenance and public utilities for the two parcels at 5 and 35 E. Golf Road, Hoffman Estates.

Roll Call:

Aye: Stanton, Mills, Green, Newell, Pilafas

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 5.K.

5.K. Request Board approval of request by Valli Produce for a site plan amendment to allow the installation of an electrical tap box to connect a portable generator during emergency conditions at Valli Produce, 850 Roselle Road, Hoffman Estates.

Roll Call:

Aye: Stanton, Mills, Green, Newell, Pilafas

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 5.L.

5.L. Request Board approval of the Community Development Block Grant (CDBG) Consolidated Plan 2011-2015, including the Annual Action Plan 2011, for Program Year 1 of the Consolidated Plan 2011-2015.

Roll Call:

Aye: Stanton, Mills, Green, Newell, Pilafas

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 5.M.

5.M. Request Board approval to eliminate the Immediate Authorization to Apply for Permits requirement as part of the zoning application process.

Roll Call:

Aye: Stanton, Mills, Green, Newell, Pilafas

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 5.N.

5.N. Request Board approval of request by Sister Cities Commission for allocation of revenue generated by the French Evening to support additional culinary exchanges.

Roll Call:

Aye: Stanton, Mills, Green, Newell, Pilafas

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 5.O.

5.O. Request Board authorization to award contract for crack sealing and sealcoating project to North Suburban Asphalt Maintenance, Park Ridge, IL, in an amount not to exceed \$203,228.

Roll Call:

Aye: Stanton, Mills, Green, Newell, Pilafas

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 5.P.

5.P. Request Board acceptance of the Comprehensive Annual Financial Report for the year ended December 31, 2010.

Roll Call:

Aye: Stanton, Mills, Green, Newell, Pilafas

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 5.Q.

5.Q. Request Board approval to suspend the Village's General Fund Reserve Policy for fiscal year 2010 in order to build up General Fund reserves to the 25% level that was in place prior to 2010.

Roll Call:

Aye: Stanton, Mills, Green, Newell, Pilafas

Nay:

Mayor McLeod voted aye.

Motion carried.

6. REPORTS:

6.A. President's Report

1) Proclamations

Trustee Mills read the following proclamation:

Motion by Trustee Pilafas, seconded by Trustee Stanton, to concur with the proclamation proclaiming Thursday, August 25, 2011 as Richard Wellhausen Day. Voice vote taken. All ayes. Motion carried.

Lt. Wellhausen introduced his family and was congratulated by the Board.

Trustee Pilafas read the following proclamation:

Motion by Trustee Stanton, seconded by Trustee Pilafas, to concur with the proclamation proclaiming Sunday, August 14, 2011 as Michael Buckel Day. Voice vote taken. All ayes. Motion carried.

Chief Gorvett accepted the proclamation for Lt. Buckel.

Trustee Green read the following proclamation:

Motion by Trustee Mills, seconded by Trustee Newell, to concur with the proclamation proclaiming Sunday, August 14, 2011 as Donald Richter Day. Voice vote taken. All ayes. Motion carried.

Lt. Richter introduced his family and was congratulated by the Board.

Trustee Newell read the following proclamation:

Motion by Trustee Pilafas, seconded by Trustee Green, to concur with the proclamation proclaiming Sunday, August 14, 2011 as Raymond Ritter Day. Voice vote taken. All ayes. Motion carried.

Firefighter Ritter introduced his family and was congratulated by the Board.

Trustee Pilafas read the following proclamation:

Motion by Trustee Mills, seconded by Trustee Newell, to concur with the proclamation proclaiming Sunday, August 14, 2011 as Russell Slagle Day. Voice vote taken. All ayes. Motion carried.

Chief Gorvett accepted the proclamation for Captain Slagle.

Trustee Stanton read the following proclamation:

Motion by Trustee Green, seconded by Trustee Mills, to concur with the proclamation proclaiming Sunday, August 14, 2011 as Richard Trentacoste Day. Voice vote taken. All ayes. Motion carried.

Chief Gorvett accepted the proclamation for Firefighter Trentacoste.

Trustee Green read the following proclamation:

Motion by Trustee Pilafas, seconded by Trustee Mills, to concur with the proclamation proclaiming Sunday, August 14, 2011 as Jeffery Wilcox Day. Voice vote taken. All ayes. Motion carried.

Chief Gorvett accepted the proclamation for Firefighter Wilcox.

Trustee Pilafas read the following proclamation:

Motion by Trustee Stanton, seconded by Trustee Mills, to concur with the proclamation proclaiming Saturday, September 3, 2011 as Beatrice Falco Day. Voice vote taken. All ayes. Motion carried.

Mrs. Falco introduced her family and was congratulated by the Board.

Trustee Newell read the following proclamation:

Motion by Trustee Pilafas, seconded by Trustee Mills, to concur with the proclamation proclaiming Tuesday, August 16, 2011 as James Johnson Day. Voice vote taken. All ayes. Motion carried.

Chief Hish accepted the proclamation for Officer Johnson.

Trustee Mills read the following proclamation:

Motion by Trustee Pilafas, seconded by Trustee Mills, to concur with the proclamation proclaiming Sunday, September 4, 2011 as Marquelle Cnota Day. Voice vote taken. All ayes. Motion carried.

Director Gugliotta accepted the proclamation for Mrs. Cnota.

Trustee Newell read the following proclamation:

Motion by Trustee Green, seconded by Trustee Pilafas, to concur with the proclamation proclaiming Sunday, August 28, 2011 as Mary DeMaria Day. Voice vote taken. All ayes. Motion carried.

Chief Hish accepted the proclamation for Ms. DeMaria.

Trustee Stanton read the following proclamation:

Motion by Trustee Pilafas, seconded by Trustee Mills, to concur with the proclamation proclaiming Saturday, August 6, 2011 as Elizabeth Dianovsky Day. Voice vote taken. All ayes. Motion carried.

Chief Hish accepted the proclamation for Ms. Dianovsky.

Trustee Green read the following proclamation:

Motion by Trustee Pilafas, seconded by Trustee Stanton, to concur with the proclamation proclaiming Saturday, August 20, 2011 as Thomas Lapak Day. Voice vote taken. All ayes. Motion carried.

Chief Hish accepted the proclamation for Officer Lapak.

Trustee Mills read the following proclamation:

Motion by Trustee Green, seconded by Trustee Pilafas, to concur with the proclamation proclaiming August 18th-20th, 2011 as Teen Appreciation Week. Voice vote taken. All ayes. Motion carried.

Dr. Garner accepted the proclamation.

2) Great Citizen Award(s)

Amanda Greco Holmes

The Holmes family was given the Great Citizen Award in recognition of their ability to reduce waste.

Cindy Flatt

Mrs. Flatt was given the Great Citizen Award in recognition of her hours of dedication to the Summit View Church food pantry.

Mayor McLeod stated that he attended the grand opening of the Shree Swaminarayan Temple in Streamwood, the Streamwood parade, block parties and the reception for the Slaughter Football dance team. Mayor McLeod informed everyone that starting September 12, 2011 both the Board and committee meetings will begin at 7:00 pm, that we will not hold a meeting on September 5, 2011 because of the Labor Day holiday and that there will be a Special Public Works & Utilities meeting on Monday, August 29, 2011 at 7:00 pm to discuss the recent power outages with ComEd.

6.B. Trustee Comments

Trustee Stanton stated that he attended many block parties, Fitness for America, the Streamwood parade and acknowledged the many power outages that our residents had with the recent storms.

Trustee Mills thanked the Board members who attended the Barrington Square Improvements open house and reminded everyone that tomorrow night is National Night Out with Barrington Square's event starting at 6:30 pm.

Trustee Pilafas reported how he has been spending his summer, coaching baseball, vacation with the family and attending the summer concerts at Village Green.

Trustee Newell congratulated the Slaughter dance team and stated that she was enjoying the sights and sounds of summer.

Trustee Green stated that she has been asked to work on St. Hubert's 50th Anniversary Festival.

6.C. Village Manager's Report

Mr. O'Malley introduced Nichole Collins, our new Emergency Management Coordinator, to everyone.

6.D. Village Clerk's Report

The Village stated that 34 passports were processed in the month of July.

6.E. Treasurer's Report

Motion by Trustee Pilafas, seconded by Trustee Green, to approve Item 6.E.

Mr. DuCharme stated that cash disbursements and transfers-out exceeded cash receipts and transfers-in for the operating funds by \$463,327. After including these receipts and disbursements, the balance of cash and investments for the operating funds is \$25.4 million. For all of the Village funds, cash disbursements and transfers-out exceeded cash receipts and transfers-in by \$2,015,091, primarily due to 2009 Bond Expenditures and the surplus distribution for the Barrington Higgins TIF. Overall, the total for cash receipts and investments for all funds decreased to \$154.6 million.

Roll Call:

Aye: Stanton, Mills, Green, Newell, Pilafas

Nay:

Mayor McLeod voted aye.

Motion carried.

6.F. Committee Reports

Transportation & Road Improvement

Trustee Stanton stated that they would be meeting to request authorization to award contract with _____ of _____ for installation of a traffic signal on Higgins Road at Prairie Stone Parkway in an amount not to exceed _____; request acceptance of Transportation Division Monthly Report.

Planning, Building & Zoning

Trustee Mills stated that they would be meeting to discuss request by Pratibha Jairath d/b/a Great Clips to consider text amendments to the Zoning Code (Chapter 9) regarding temporary special event signs; request approval of North West Housing Partnership as subrecipient to administer the Community Development Block Grant (CDBG) Single-Family Rehabilitation Project and to approve execution of the proposed Subrecipient Agreement; request acceptance of the Department of Development Services Monthly Reports for Planning Division, Code Enforcement Division and Economic Development and Tourism.

General Administration & Personnel

Trustee Stanton stated that they would be meeting to request acceptance of Cable TV and Human Resources Management Monthly Reports.

Public Works & Utilities

Trustee Newell stated that they would be meeting to request authorization to award contract for Atate of Illinois joint purchase of 2011-2012 winter road salt (final vendor and pricing information has not yet been provided by the State); request authorization to award a contract for the Phase II improvements for the Barrington Square street light project as part of the CDBG program request acceptance of the Department of Public Works and Development Services for the Transportation and Engineering Division Monthly Reports.

Finance

Trustee Pilafas stated that they would be meeting to request approval of an ordinance declaring as surplus and authorizing the sale of hockey glass boards and miscellaneous furniture at the Sears Centre Arena; request acceptance of the Finance Department, Information Systems Department and Sears Centre Monthly Reports.

Public Health & Safety

Trustee Green stated that they would be meeting to request authorization to enter into a contract with _____ for in-car camera maintenance agreement in an amount not to exceed _____; discuss vehicle immobilization ordinance; discuss Administration Adjudication ordinance: request acceptance of the Police Department, Health & Human Services, Emergency Management Coordinator and Fire Department Monthly Reports.

7. PLANNING AND ZONING COMMISSION (Chairman Thoren)

Motion by Trustee Mills, seconded by Trustee Pilafas, to concur with the Planning and Zoning Commission and approve Item 7.A.

7.A. Request by Fountain Crossing II, LLC (Property Owner) and BROE Real Estate Services of Illinois, LLC (Petitioner) for approval of a Master Sign Plan in accordance with Section 9-3-8-M-12 of the Zoning Code for the Fountain Crossings Shopping Center property at 3001 – 3101 N. Barrington Road based on the Master Sign Plan dated July 20, 2011.

Roll Call:

Aye: Stanton, Mills, Green, Newell, Pilafas

Nay:

Mayor McLeod voted aye.

Motion carried.

8. ADDITIONAL BUSINESS:

There was no Additional Business.

3. RECOGNITION OF THE AUDIENCE:

Joe Lichtengerg, 705 Randi Lane, spoke about the parking issues that he sees on both Randi and Jody Lanes and asked that the Village look into it, he has made the same request in the past. After staff reviews the parking, this item will be put on a Transportation & Road Improvement agenda.

9. ADJOURNMENT:

Motion by Trustee Pilafas, seconded by Trustee Green, to adjourn the meeting. Time 9:01 p.m. Voice vote taken. All ayes. Motion carried.

Bev Romanoff
Village Clerk

Date Approved

The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.

MEETING: SPECIAL HOFFMAN ESTATES VILLAGE BOARD
DATE: AUGUST 22, 2011
PLACE: COUNCIL CHAMBERS
MUNICIPAL BUILDING COMPLEX
1900 HASSELL ROAD
HOFFMAN ESTATES, ILLINOIS

1. CALL TO ORDER:

Village President William McLeod called the meeting to order at 7:40 p.m. The Village Clerk called the roll. Trustees present: Karen Mills, Ray Kincaid, Jackie Green, Anna Newell, Gary Pilafas, Gary Stanton,
A quorum was present.

ADMINISTRATIVE PERSONNEL PRESENT:

J. Norris, Village Manager
D. O'Malley, Deputy Village Manager
A. Janura, Corporation Counsel
M. Koplín, Development Services Director
B. Gorvett, Fire Chief
M. Hish, Police Chief
J. Nebel, PW Director
P. Seger, HRM Director
M. DuCharme, Finance Director
G. Eaken, IS Director
B. Anderson, CATV Coordinator
N. Collins, Emergency Management Director
B. Gibbs, SCA
M. Hankey, Transportation & Engineering Director
G. Salavitch, Engineering Director
P. Gugliotta, Planning Director
M. Saavedra-Kulousek, Asst. Director H&HS
D. Plass, Code Enforcement Director

PLEDGE OF ALLEGIANCE TO THE FLAG:

The Pledge of Allegiance was led by Trustee Mills.

RECOGNITION OF AUDIENCE:

No one wished to be recognized.

2. REPORTS:

A. President's Report

Mayor McLeod reminded everyone that we will be having our September 11th Remembrance program on September 11th at 1:00 p.m. He stated that the Hoffman Estates Jaycees celebrated their 10th Anniversary

and will be planting a tree on the grounds of Village Hall in commemoration of it. He stated that he attended a District 54 Foundation meeting, the Barrington Square Association National Night Out, a Tartan Day Commission meeting, Party in the Park, had Patrick Haugh as Mayor for the Day, attended a surprise party for Glen Howard, a Federation Indian American Dinner, the Indian Independence Day parade, a Diversity Task Force meeting, the Iftar Breaking of the Fast Ceremony, block parties, the Chamber Business After Hours at the Marriott, the Jaycees 10th Anniversary Reception, the recycling event at the Susan Kenley Rupnow Center, the Commission for Disabled Citizens' Summer Social, the Beth Tikvah picnic, a Chamber Board meeting, the playground dedication at MacArthur School and the Community Pride Reception.

Motion by Trustee Mills, seconded by Trustee Kincaid, to accept with regrets the resignation of Gordon Thoren from the Planning and Zoning Commission. Voice vote taken. All ayes. Motion carried.

Motion by Trustee Mills, seconded by Trustee Stanton, to accept with regrets the resignation of Sylvia Lam from both the Commission for Disabled Citizens and the Commission for Senior Citizens. Voice vote taken. All ayes. Motion carried.

Motion by Trustee Newell, seconded by Trustee Mills, to accept the appointment of Michelle Pilafas as Chair of the Commission for Disabled Citizens. Voice vote taken. All ayes. Motion carried.

3. PLANNING AND ZONING COMMISSION:

A. Planning and Zoning Commission (Vice Chair Combs)

Motion by Trustee Mills, seconded by Trustee Green, to concur with the Planning and Zoning Commission and approve the petitioners' request.

3.A. Request by Kerric and Heather Tratt for a variation from Section 9-3-6-B-2 for approval of a 12 foot 3 inch high gazebo to be constructed on a raised deck at an overall maximum height of 20 feet 8 inches above average grade, instead of the maximum permitted 15 feet high at 1222 Caribou Lane. The following condition shall apply:

1. Any exterior lights shall not create glare or a nuisance onto neighboring properties, as per Village Code.

Roll Call:

Aye: Mills, Kincaid, Green, Newell, Pilafas, Stanton,

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Stanton, to accept the appointment of Eva Combs as Chair of the Planning and Zoning Commission. Voice vote taken. All ayes. Motion carried.

4. ADDITIONAL BUSINESS:

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Additional Business Items A. through K. by omnibus vote.

Roll Call:

Aye: Mills, Kincaid, Green, Newell, Pilafas, Stanton,

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 4.A.

4.A. Approval of the schedule of bills for August 22, 2011 - \$3,716,440.62.

Roll Call:

Aye: Mills, Kincaid, Green, Newell, Pilafas, Stanton,

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 4.B.

4.B. Request Board approval of Ordinance No. 4260-2011 granting a variation to premises at 1222 Caribou Lane, Hoffman Estates.

Roll Call:

Aye: Mills, Kincaid, Green, Newell, Pilafas, Stanton,

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 4.C.

4.C. Request Board approval of Ordinance No. 4261-2011 amending Section 8-3-22, Number of Licenses, of Article 3, Alcoholic Liquors, of the Hoffman Estates Municipal Code (increase in number of Class "A" licenses – Chipotle).

Roll Call:

Aye: Mills, Kincaid, Green, Newell, Pilafas, Stanton,

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 4.D.

4.D. Request Board approval of Resolution No. 1491-2011 requesting Gulf Insurance Company to draw upon the bond guarantee to fund the Shoe Factory Road Project Improvements pursuant to Annexation and Development Agreements dated March 19, 1999, as amended May 2, 2005.

Roll Call:

Aye: Mills, Kincaid, Green, Newell, Pilafas, Stanton,

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 4.E.

4.E. Request Board approval of Resolution No. 1492-2011 requesting Union National Bank to draw upon Union National Bank Letter of Credit No. 27865-098 (Parcel 16-Neri).

Roll Call:

Aye: Mills, Kincaid, Green, Newell, Pilafas, Stanton,

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 4.F.

4.F. Request Board approval of application by Barrington Lakes Apartments, 2200 Hassell Road, for fireworks display on September 10, 2011, subject to meeting Village Code and National Fire Prevention Association requirements.

Roll Call:

Aye: Mills, Kincaid, Green, Newell, Pilafas, Stanton,

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 4.G.

4.G. Request Board authorization to award a contract for the Phase II improvements for the Barrington Square street light project as part of the CDBG program to H&H Electric Company, Franklin Park, IL, in an amount not to exceed \$106,362.90.

Roll Call:

Aye: Mills, Kincaid, Green, Newell, Pilafas, Stanton,

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 4.H.

4.H. Request Board authorization to:

- 1) waive formal bidding; and
- 2) award contract for installation of fire sprinkler system for water tower (T-7) at 5795 Beacon Pointe Drive to Central States Automatic Sprinklers, Blue Island, IL, in an amount not to exceed \$24,165.

Roll Call:

Aye: Mills, Kincaid, Green, Newell, Pilafas, Stanton,

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 4.I.

4.I. Request Board authorization to award contract for installation of a traffic signal on Higgins Road at Prairie Stone Parkway to Thorne Electric, Wheaton, IL (low bid) in an amount not to exceed \$442,197.82.

Roll Call:

Aye: Mills, Kincaid, Green, Newell, Pilafas, Stanton,

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 4.J.

4.J. Request Board authorization for Harbour Construction to complete path construction and culvert extension on Shoe Factory Road as part of the Canadian National contract for changes at the railroad crossing in an amount not to exceed \$169,614.

Roll Call:

Aye: Mills, Kincaid, Green, Newell, Pilafas, Stanton,

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 4.K.

4.K. Request Board approval to reschedule the September 26 Village Board Committee meetings to October 3, 2011 at 7 p.m.

Roll Call:

Aye: Mills, Kincaid, Green, Newell, Pilafas, Stanton,

Nay:

Mayor McLeod voted aye.

Motion carried.

5. ADJOURNMENT:

Motion by Trustee Mills, seconded by Trustee Pilafas, to adjourn the meeting into Executive Session to discuss Land Acquisition (5 ILCS 120/2-(c)-(6)) & Collective Bargaining (5 ILCS 120/2-(c)-(2)). Time: 7:49 pm

Roll Call:

Aye: Mills, Kincaid, Green, Newell, Pilafas, Stanton,

Nay:

Mayor McLeod voted aye.

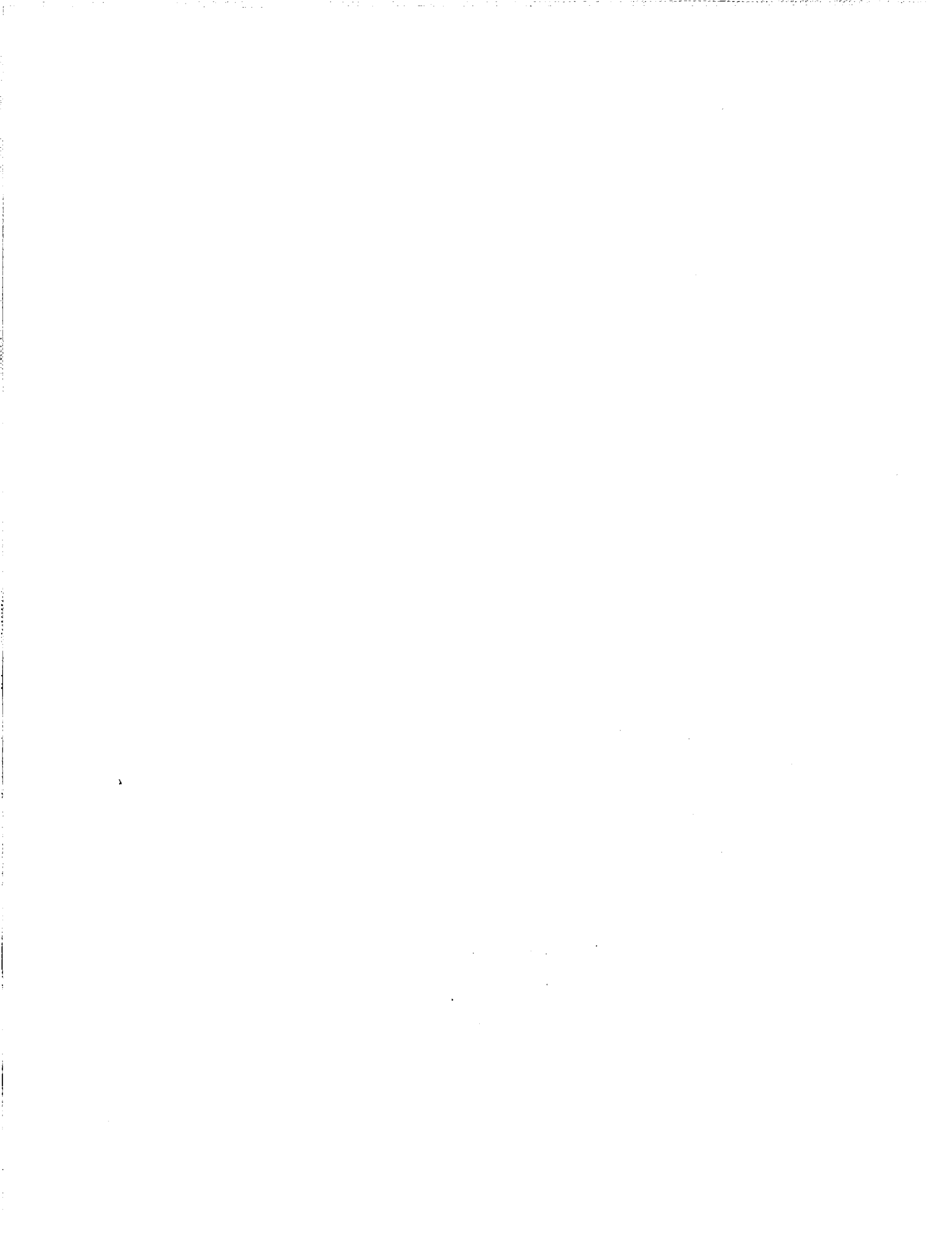
Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to adjourn the meeting. Voice vote taken. All ayes.
Motion carried. Time: 8:12 pm

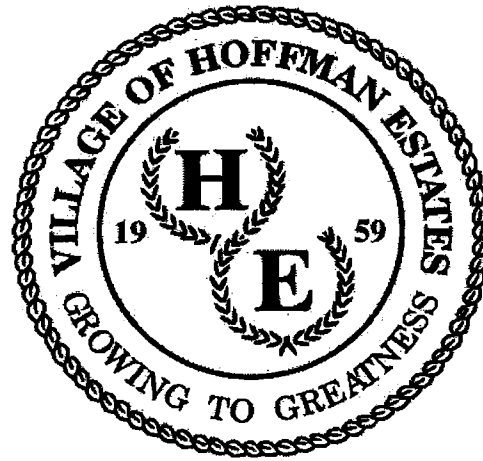
Bev Romanoff
Village Clerk

Date Approved

The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.



**CONSENT AGENDA/
OMNIBUS VOTE**



BILL LIST SUMMARY

BILL LIST AS OF 09/12/2011	\$	1,383,832.11
MANUAL CHECK REGISTER	\$	36,482.39
PAYROLL AS OF 08/26/2011	\$	1,108,179.15
PAYROLL AS OF 09/09/2011	\$	<u>1,099,670.39</u>
TOTAL	\$	3,628,164.04

VILLAGE OF HOFFMAN ESTATES

9/13/2011

ACCOU NT		VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
01	0301	OFFICE DEPOT	OFFICE SUPPLIES	2.00
01	0301	OFFICE DEPOT	BATTERIES	16.01
01	0302	BRETT EQUIPMENT CORP.	STOCK REPAIR PARTS	76.65
01	0302	BRETT EQUIPMENT CORP.	STOCK REPAIR PARTS	83.06
01	0302	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	60.02
01	0302	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	23.88
01	0302	CARQUEST AUTO PARTS	RTN VEHICLE PARTS	-0.14
01	0302	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	6.49
01	0302	CHICAGO INTERNATIONAL TRUCKS, LLC	VEHICLE REPAIR PARTS	42.56
01	0302	CHICAGO INTERNATIONAL TRUCKS, LLC	VEHICLE REPAIR PARTS	706.82
01	0302	GLOBAL EMERGENCY PRODUCTS	REPAIR PARTS	488.69
01	0302	GLOBAL EMERGENCY PRODUCTS	REPAIR PARTS	330.06
01	0302	LEACH ENTERPRISES INC	VEHICLE REPAIR PARTS	211.92
01	0302	LEACH ENTERPRISES INC	STOCK REPAIR PARTS	71.93
01	0302	LEACH ENTERPRISES INC	VEHICLE REPAIR PARTS	122.64
01	0302	LEACH ENTERPRISES INC	VEHICLE REPAIR PARTS	7.87
01	0302	LEACH ENTERPRISES INC	STOCK REPAIR PARTS	10.19
01	0302	LEACH ENTERPRISES INC	STOCK REPAIR PARTS	26.43
01	0302	LEACH ENTERPRISES INC	STOCK REPAIR PARTS	13.13
01	0302	LEROY'S LAWN EQUIPMENT INC	REPAIRS	31.92
01	0302	O'REILLY AUTO PARTS	VEHICLE REPAIR PARTS	128.93
01	0302	SPRING HILL FORD	VEHICLE REPAIR PARTS	102.92
01	0302	STANDARD EQUIPMENT CO	REPAIR PARTS	29.23
01	0302	WEST SIDE TRACTOR SALES	REPAIR PARTS	27.47
01	0302	WHOLESALE DIRECT INC	VARIOUS SUPPLIES	22.94
01	0303	CHICAGO OFFICE TECHNOLOGY GROUP	COPIER SERVICES	216.32
01	0303	CHICAGO OFFICE TECHNOLOGY GROUP	COPIES	243.61
01	1214	IMRF VOLUNTARY LIFE PLAN	DED:2030 IMRF LIFE	424.00
01	1214	IMRF VOLUNTARY LIFE PLAN	DED:2030 IMRF LIFE	432.00
01	1218	INT'L BROTHERHOOD TEAMSTERS LCL 714	DED:2034 PW-DUES	3,047.00
01	1218	METROPOLITAN ALLIANCE OF POLICE	DED:2038 MAP 97	403.00
01	1218	METROPOLITAN ALLIANCE OF POLICE	DED:2033 MAP 96	2,263.00
01	1222	AFLAC	DED:1027 AFLAC-INS	3,958.77
01	1222	AFLAC	DED:1027 AFLAC-INS	3,958.77
01	1223	AFLAC	DED:2027 AFL-AF TAX	791.44
01	1223	AFLAC	DED:2027 AFL-AF TAX	791.44
01	1226	PRE PAID LEGAL SERVICE INC	DED:2035 LEGAL	996.55
01	1226	PRE PAID LEGAL SERVICE INC	DED:2035 LEGAL	996.55
01	1233	AMERICAN CANCER SOCIETY	DED:2037 AM CANCER	102.50
01	1233	AMERICAN CANCER SOCIETY	DED:2037 AM CANCER	102.50
01	1233	AMERICAN RED CROSS	DED:2998 RED CROSS	44.00
01	1233	AMERICAN RED CROSS	DED:2998 RED CROSS	44.00
01	1233	CHILDREN'S ADVOCACY CENTER	DED:2993 ADVOCACY C	10.00
01	1233	CHILDREN'S ADVOCACY CENTER	DED:2993 ADVOCACY C	10.00
01	1233	NORTHWEST CHAPLAINCY	DED:2997 NCCS	6.00
01	1233	NORTHWEST CHAPLAINCY	DED:2997 NCCS	6.00
01	1233	NORTHWEST SUBURBAN UNITED WAY	DED:2999 UNITED WAY	6.00
01	1233	NORTHWEST SUBURBAN UNITED WAY	DED:2999 UNITED WAY	6.00
01	1233	PARADISE CHRISTIAN YOUTH CAMP	DED:2994 UNITED WAY	10.00

VILLAGE OF HOFFMAN ESTATES

9/13/2011

ACCOUNT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
01 1233	PARADISE CHRISTIAN YOUTH CAMP	DED:2994 UNITED WAY	10.00
01 1233	SPECIAL OLYMPICS OF ILLINOIS	DED:2995 SP OLYMPIC	13.00
01 1233	SPECIAL OLYMPICS OF ILLINOIS	DED:2995 SP OLYMPIC	13.00
01 1239	JOHN HANCOCK LIFE INSURANCE CO.	DED:2040 LTC INS	131.83
01 1239	JOHN HANCOCK LIFE INSURANCE CO.	DED:2040 LTC INS	131.83
01 1432	SEH/SHORT ELLIOT HENDRICKSON INC	PROVIDE ENGINEERING & INS	271.38
01 1445	EARTH PAINTS COLLECTIONS SYSTEMS	PAINT RECYCLED	635.00
01 1445	PLUM GROVE PRINTERS INC	BUSINESS CARDS	-5.79
01 1458	KUSTOM SIGNALS INC	RADAR SERVICES	170.73
01 1458	KUSTOM SIGNALS INC	REPAIR PARTS	93.00
01 1458	LASER TECHNOLOGY INC.	CPU BOARD REPAIRS	188.50
01 1497	OFFICE DEPOT	COFFEE SUPPLIES	43.74
01 1499	SCHOOL DISTRICT U-46	RFD ESCROW SEARS CENTRE	591,203.62
TOTAL GENERAL-ASSETS & LIABILITIES			\$614,412.91
01000011 3202	RENESAS ELECTRONICS AMERICA INC	BUSINESS LIC RFD	10.00
01000013 3405	ALICE HEJHAL C/O KATHY BOULTER	PARAMEDIC REFUND	875.00
01000013 3405	ANDRES MEDICAL BILLING, LTD.	AUGUST PARAMEDIC BILLING	4,699.96
01000013 3405	ANDRES MEDICAL BILLING, LTD.	PARAMEDIC BILLING JUN11	4,893.62
01000013 3405	CAROL IRWIN	PARAMEDIC REFUND	89.36
01000013 3405	SALLIE CHAPMAN	PARAMEDIC REFUND	77.58
01000013 3453	DEBRA FILARSKI	ENERGY REBATE	50.00
TOTAL GENERAL-REVENUE ACCOUNTS			\$10,695.52
01101123 4414	ABSOLUTE VENDING SERVICE	WATER COOLER RENTALS	32.00
01101123 4414	THE FINER LINE	FLYING DISKS	241.96
01101123 4414	THE FINER LINE	TOTE BAGS	548.19
01101123 4414	THE FINER LINE	PENS	356.19
01101124 4507	ALFRED G RONAN LTD	SEPT 11 PROFESSIONAL SER	5,000.00
TOTAL LEGISLATIVE			\$6,178.34
01101224 4507	PADDOCK PUBLICATIONS,INC.	AUCTION ADS	189.28
TOTAL ADMINISTRATIVE			\$189.28
01101323 4404	MUNICIPAL CODE CORP.	IMAGES TABULAR MATTER	10,578.26
01101324 4567	ARNSTEIN & LEHR LLP	PROFESSIONAL SERVICES	154.80
01101324 4567	FRANCZEK RADELET & ROSE	PROFESSIONAL SERVICES	1,681.50
TOTAL LEGAL			\$12,414.56
01101423 4401	FEDERAL EXPRESS CORP	SHIPPING	54.78
01101423 4401	FEDERAL EXPRESS CORP	SHIPPING	27.28
01101423 4401	UPS SHIPPING CHARGES	SHIPPING	19.21
01101423 4401	UPS SHIPPING CHARGES	SHIPPING FEES	123.90
01101423 4402	OFFICE DEPOT	OFFICE SUPPLIES	470.24
01101423 4402	OFFICE DEPOT	OFFICE SUPPLIES	9.74
01101423 4402	OFFICE DEPOT	OFFICE SUPPLIES	7.75
01101423 4402	OFFICE DEPOT	AUDIO TAPES	4.38
01101423 4403	OFFICE DEPOT	BINDERS	332.20
01101423 4414	ABSOLUTE VENDING SERVICE	WATER COOLER RENTALS	6.00
01101423 4414	OCE IMAGISTICS INC	COPIER SUPPLIES	72.00
01101424 4510	OCE IMAGISTICS INC	MAINTENANCE COPIER	126.35
01101424 4542	TREASURY MANAGEMENT SERVICES	TREASURY MGMT	50.00

VILLAGE OF HOFFMAN ESTATES

9/13/2011

ACCOUNT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
TOTAL FINANCE			\$1,303.83
01101523 4403	B & L BLUEPRINT, INC	COPIES	15.00
01101523 4414	ABSOLUTE VENDING SERVICE	WATER COOLER RENTALS	6.00
01101524 4546	PADDOCK PUBLICATIONS,INC.	BID NOTICES	75.00
01101524 4548	ARC ILLINOIS	PRINTING SERVICES	33.69
TOTAL VILLAGE CLERK			\$129.69
01102523 4403	HAGG PRESS INC	CITIZENS SEPT 2011	2,702.70
01102524 4507	VISION INTERNET PROVIDERS INC	WEB HOSTING FEE	200.00
TOTAL COMMUNICATIONS			\$2,902.70
01106224 4510	ROSCOR	REPAIR SERVICES	262.50
TOTAL CABLE TELEVISION			\$262.50
GENERAL GOVERNMENT			\$23,380.90
01201223 4402	OFFICE DEPOT	OFFICE SUPPLIES	77.22
01201223 4402	OFFICE DEPOT	OFFICE SUPPLIES	17.72
01201223 4402	OFFICE DEPOT	OFFICE SUPPLIES	5.91
01201223 4404	PADDOCK PUBLICATIONS	SUBSCRIPTION POLICE	29.80
01201223 4417	WHYTE GATE INC	PREMIUM LAUNDRY	37.15
01201223 4421	SIGNMAX	REPAIRS TO BOX SIGN	200.00
01201223 4421	THE FINER LINE	VARIOUS SUPPLIES	85.00
01201223 4422	CAMIC JOHNSON LTD	HEARING OFFICER	730.00
01201224 4507	CHERYL AXLEY	HEARING OFFICER	400.00
01201224 4507	IN TIME SOLUTIONS	SOFTWARE SUPPORT	436.00
TOTAL ADMINISTRATIVE			\$2,018.80
01202122 4301	NORTHERN MICHIGAN K-9 INC.	K9 RECERTIFICATION	50.00
01202122 4304	UNIFORM DEN INC.	GH ARMOR MODEL # UG2F06 N	6,697.15
01202122 4304	UNIFORM DEN INC.	FREIGHT CHARGES PER VEST	37.30
01202124 4510	CHICAGO COMMUNICATIONS,LLC	RADIO MAINTENANCE	422.10
01202124 4510	CHICAGO COMMUNICATIONS,LLC	RADIO MAINTENANCE	51.00
01202124 4542	FLEET SAFETY SUPPLY	REPAIR PARTS	57.38
01202124 4542	IT IN MOTION INC.	DVR REPAIRS	540.00
01202124 4542	SUBURBAN ACCENTS INC	VEHICLE DECALS	475.00
01202124 4542	SUBURBAN ACCENTS INC	VEHICLE DECALS	75.00
01202124 4542	ULTRA STROBE COMMUNICATIONS	REMOVAL & REINSTALL EQUIP	1,803.00
01202125 4602	FOX LABS	3 OZ. 2% MEDIUM CONE FOG	1,356.00
01202125 4602	FOX LABS	2 OZ MEDIUM CONE COP TOP	250.00
01202125 4602	FOX LABS	SHIPPING	22.85
TOTAL PATROL & RESPONSE			\$11,836.78
01202323 4414	OFFICE DEPOT	OFFICE SUPPLIES	132.36
01202324 4509	WAREHOUSE DIRECT	COPIER SERVICES	980.00
TOTAL INVESTIGATIONS			\$1,112.36
01202423 4403	PLUM GROVE PRINTERS INC	BUSINESS CARDS	35.54
01202423 4414	NATIONAL IMPRINT CORP	2067-PIN 2067 SILVER LUST	390.00
01202423 4414	NATIONAL IMPRINT CORP	SHIPPING	12.55
01202423 4414	OFFICE DEPOT	OFFICE SUPPLIES	13.71
TOTAL COMMUNITY RELATIONS			\$451.80

VILLAGE OF HOFFMAN ESTATES

9/13/2011

ACCOUNT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
01202824 4509	U.S. BANCORP EQUIPMENT FINANCE	SOFTWARE SERVICES	1,841.00
TOTAL RECORDS			\$1,841.00
POLICE			\$17,260.74
01301223 4402	OFFICE DEPOT	OFFICE SUPPLIES	24.11
TOTAL ADMINISTRATIVE			\$24.11
01303024 4542	WAREHOUSE DIRECT	COPIER SERVICES	196.00
TOTAL PUBLIC EDUCATION			\$196.00
01303122 4304	TODAYS UNIFORMS	UNIFORMS	407.82
01303122 4304.16	MUNICIPAL EMERGENCY SERVICES	SAFETY BOOTS	957.22
01303123 4408.12	MOTOROLA	PMNN4093 IMPRESS BATTERY	86.25
01303123 4408.12	MOTOROLA	HNN9028 IMPRESS BATTERIES	605.30
01303123 4408.12	MOTOROLA	NTN9857 IMPRESS BATTERIES	807.30
01303123 4408.12	RADIO TECH	LEATHER RADIO CASES FOR P	370.00
01303123 4408.13	CHRIS LENCZEWSKI	TOOL REIM	37.53
01303123 4408.13	ISG INFRASYS	REPAIR BATTERIES	342.00
01303123 4408.13	LOWE'S HOME CENTERS INC	VARIOUS TOOLS	62.10
01303124 4542	WAREHOUSE DIRECT	COPIER SERVICES	588.00
01303124 4579	ALEXIAN BROTHERS HEALTH SYSTEM	EMPLOYEE PHYSICAL	39.00
01303125 4602.12	RADIO TECH	LEATHER RADIO STRAPS	280.00
TOTAL SUPPRESSION			\$4,582.52
01303223 4419	EMERGENCY MEDICAL PRODUCTS	REPAIR PARTS	52.17
01303224 4510	ERLA INC	MEDICAL SERVICES	180.00
01303224 4542	WAREHOUSE DIRECT	COPIER SERVICES	196.00
TOTAL EMERGENCY MEDICAL SERVICES			\$428.17
01303324 4507	CHGO METRO.FIRE PREVENTION CO	RADIO MAINTENANCE AUG11	1,347.00
01303324 4507	FIRE SAFETY CONSULTANTS INC	SPRINKLER SYSTEM DRAWINGS	220.00
TOTAL PREVENTION			\$1,567.00
01303524 4510	DIRECT FITNESS SOLUTIONS	REPAIR & PARTS	295.00
01303524 4510	DIRECT FITNESS SOLUTIONS	REPAIR & PARTS	251.01
01303524 4510	DIRECT FITNESS SOLUTIONS	REPAIR & PARTS	158.39
01303524 4510	DIRECT FITNESS SOLUTIONS	REPAIR & PARTS	115.00
01303524 4510	DIRECT FITNESS SOLUTIONS	REPAIR & PARTS	434.48
TOTAL FIRE STATIONS			\$1,253.88
FIRE			\$8,051.68
01401223 4402	OFFICE DEPOT	OFFICE SUPPLIES	101.57
01401223 4402	OFFICE DEPOT	OFFICE SUPPLIES	6.54
01401224 4509	CHICAGO OFFICE TECHNOLOGY GROUP	COPIER SERVICES	57.50
TOTAL ADMINISTRATIVE			\$165.61
01404123 4414	JCK CONTRACTORS, INC	TOPSOIL	95.00
01404124 4507	MURRAY & TRETTEL INC/ WEATHER COMMA	WEATHER FORECASTING	203.61
01404124 4507	TELVENT DTN INC.	WEATHER INFO	207.00
TOTAL SNOW & ICE REMOVAL			\$505.61
01404223 4408	GRAINGER INC	SAFETY WEAR	264.36
01404223 4408	GRAINGER INC	RTN SUPPLIES	-63.57

VILLAGE OF HOFFMAN ESTATES

9/13/2011

ACCOUNT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
01404223 4408	GRAINGER INC	VARIOUS SUPPLIES	17.77
01404223 4414	GRAINGER INC	SPORTS DRINK POWDER	31.86
01404224 4510	M S FOSTER & ASSOC INC	ROAD MAINT	540.00
01404224 4521	HEALY ASPHALT CO., LLC.	ST. REPAIR MATERIALS	164.84
01404224 4521	HEALY ASPHALT CO., LLC.	ST. REPAIR MATERIALS	101.92
01404225 4628	HIGHWAY TECHNOLOGIES INC	36" X 36" BLACK ON ORANGE	72.00
01404225 4628	HIGHWAY TECHNOLOGIES INC	36" X 36" BLACK ON ORANGE	160.00
01404225 4628	HIGHWAY TECHNOLOGIES INC	36" X 36" BLACK ON ORANGE	105.00
01404225 4628	HIGHWAY TECHNOLOGIES INC	#22000 TRAFFIX STEP AND D	363.00
01404225 4628	HIGHWAY TECHNOLOGIES INC	DELIVERY	30.00
TOTAL PAVEMENT MAINTENANCE			\$1,787.18
01404322 4301	ILLINOIS ARBORIST ASSOC	ANNUAL CONF FOR 4	960.00
01404323 4414	GRAINGER INC	VARIOUS SUPPLIES	126.18
01404324 4507	ALANIZ GROUP, INC	LAWN MAINTENANCE JULY11	2,224.40
01404324 4510	ARLINGTON POWER EQUIPMENT	REPAIR PARTS	89.66
01404324 4510	JOE'S GARAGE	SHARPEN CHAIN SAWS	80.00
01404324 4510	MR O EDGE SERVICE	12 MOWER BLADES	96.00
TOTAL FORESTRY			\$3,576.24
01404424 4501	AT & T	R07-1076	667.42
01404424 4501	AT & T	R07-1297	428.01
01404424 4501	AT & T	359-8445	22.44
01404424 4501	AT & T	963-1260	23.64
01404424 4501	SENTINEL TECHNOLOGIES	RENEWAL OF ANNUAL MAINTEN	3,158.82
01404424 4501	SENTINEL TECHNOLOGIES	CISCO PHONE SYSTEM SUPPOR	7,413.58
01404424 4509	LECHNER AND SONS UNIFORM RENTAL	SAFETY SUPPLIES	36.04
01404424 4509	LECHNER AND SONS UNIFORM RENTAL	SAFETY WEAR	36.04
01404424 4509	LECHNER AND SONS UNIFORM RENTAL	UNIFORMS	36.04
01404424 4510	ADVANTAGE MECHANICAL INC.	COMPRESSOR REPAIRS	499.00
01404424 4510	GRAYBAR ELECTRIC CO INC	REPAIR PARTS	163.14
01404424 4510	TRI-COUNTY PREFERRED	DOOR REPAIRS	1,575.00
01404424 4516	CLASSIC LANDSCAPE LTD.	VILLAGE HALL (1900 HASSEL	1,200.00
01404424 4517	CLASSIC LANDSCAPE LTD.	POLICE DEPARTMENT (1200 G	980.00
01404424 4518	FOX VALLEY APPLIANCE SERVICE	DISHWASHER REPAIRS	95.00
TOTAL FACILITIES			\$16,334.17
01404522 4301	CFA	FOUR HOURS OF ON SITE TRA	1,000.00
01404522 4304	LECHNER AND SONS UNIFORM RENTAL	SAFETY WEAR	34.03
01404522 4304	LECHNER AND SONS UNIFORM RENTAL	UNIFORMS	34.03
01404522 4304	LECHNER AND SONS UNIFORM RENTAL	SAFETY SUPPLIES	34.03
01404523 4402	OFFICE DEPOT	VARIOUS SUPPLIES	10.68
01404523 4411	PARENT PETROLEUM	SHAMROCK ELC 50/50 ANTI-F	-20.00
01404523 4411	PARENT PETROLEUM	SHAMROCK ELC 50/50 ANTI-F	757.90
01404523 4411	PARENT PETROLEUM	DOMINION-3 10W30 SN-GF MO	-20.00
01404523 4411	PARENT PETROLEUM	DOMINION-3 10W30 SN-GF MO	450.70
01404523 4411	WORLD FUEL SERVICE/ TEXOR	FUEL	22,973.15
01404523 4414	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	28.33
01404524 4510	CHICAGO COMMUNICATIONS,LLC	MAINTENANCE	654.95
01404524 4513	BOB ROHRMAN'S SCHAUMBURG FORD	VEHICLE REPAIR PARTS	16.69
01404524 4513	LEE AUTO SCHAUMBURG	VEHICLE REPAIR PARTS	13.57

VILLAGE OF HOFFMAN ESTATES

9/13/2011

ACCOUNT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
01404524 4513	LEE AUTO SCHAUMBURG	VEHICLE REPAIR PARTS	1.99
01404524 4513	SPRING HILL FORD	VEHICLE REPAIR PARTS	224.09
01404524 4514	ALEXANDER EQUIPMENT	VEHICLE REPAIRS	101.70
01404524 4514	ALLSTAR AUTO GLASS INC	WINDSHIELD REPAIRS	69.95
01404524 4514	CHICAGO INTERNATIONAL TRUCKS, LLC	VEHICLE REPAIR PARTS	51.94
01404524 4514	FIRESTONE TRUCK & SERVICE CENTER	VEHICLE TIRES	427.36
01404524 4514	FOSTER COACH SALES INC	VEHICLE REPAIR PARTS	89.48
01404524 4514	GLOBAL EMERGENCY PRODUCTS	VEHICLE REPAIR PARTS	183.96
01404524 4514	INTERSTATE BATTERY SYSTEMS	VEHICLE BATTERIES	293.85
01404524 4514	O'REILLY AUTO PARTS	RTN REPAIR PARTS	-24.89
01404524 4534	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	11.82
01404524 4534	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	18.44
01404524 4534	INTERSTATE BATTERY SYSTEMS	VEHICLE BATTERIES	96.95
01404524 4534	LEROY'S LAWN EQUIPMENT INC	REPAIR PARTS	226.05
01404524 4534	MAPES AUTO UPHOLSTERY, INC	VEHICLE SEAT CUSHION	150.00
01404524 4534	O'REILLY AUTO PARTS	REPAIR PARTS	158.49
01404524 4534	O'REILLY AUTO PARTS	ALTERNATOR RETURNED	-35.00
01404524 4534	POMP'S TIRE	FIRESTONE 664 11R22.5 REA	2,032.00
01404524 4534	POMP'S TIRE	I1 USER FEE	25.00
01404524 4534	R A ADAMS ENTERPRISES INC	REPAIR PARTS	300.00
01404524 4534	SASE COMPANY, INC.	CONCRETE GRINDER SERVICES	139.77
01404524 4534	SPRING ALIGN	REAR SPRINGS REPLACED	1,183.96
01404524 4535	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	86.03
01404524 4535	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	41.88
01404524 4535	FIRESTONE TRUCK & SERVICE CENTER	VEHICLE ALIGNMENT	55.00
01404524 4535	O'REILLY AUTO PARTS	REPAIR PARTS	44.06
01404525 4602	MCMASTER CARR SUPPLY CO	VARIOUS SUPPLIES	151.71
TOTAL FLEET SERVICES			\$32,073.65
01404624 4509	WASTE MANAGEMENT	PORTABLE TOILET RENTAL	127.66
01404624 4510	MENARDS - HNVR PARK	VARIOUS SUPPLIES	56.80
TOTAL F.A.S.T.			\$184.46
01404724 4522	MENARDS - HNVR PARK	VARIOUS SUPPLIES	12.36
01404724 4522	MEYER MATERIAL CO	ST. REPAIR MATERIALS	393.63
01404724 4522	MEYER MATERIAL CO	ST. REPAIR MATERIALS	393.63
01404724 4522	MEYER MATERIAL CO	ST. REPAIR MATERIALS	448.75
01404724 4522	MEYER MATERIAL CO	REPAIR MATERIALS	569.25
01404724 4522	MEYER MATERIAL CO	ST. REPAIR MATERIALS	569.25
01404724 4522	NEENAH FOUNDRY CO	VARIOUS SUPPLIES	300.00
01404724 4522	NEENAH FOUNDRY CO	VARIOUS SUPPLIES	276.00
01404724 4522	WELCH BROS INC	VARIOUS PARTS	90.00
01404724 4522	WELCH BROS INC	CONCRETE	348.47
TOTAL STORM SEWERS			\$3,401.34
01404823 4408	GRAINGER INC	VARIOUS SUPPLIES	59.76
01404823 4414	3M CORPORATION TRAFFIC CONTROL DIV.	TRAFFICE ROLL GOODS	200.64
01404823 4414	3M CORPORATION TRAFFIC CONTROL DIV.	TRAFFIC ROLL GOODS	162.00
01404823 4414	MENARDS - HNVR PARK	VARIOUS SUPPLIES	46.77
01404823 4414	OFFICE DEPOT	VARIOUS SUPPLIES	10.68
01404824 4502	EXELON ENERGY COMPANY	ELECTRIC 5510 PRAIRIE	99.85

VILLAGE OF HOFFMAN ESTATES

9/13/2011

ACCOUNT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
01404824 4510	TRAFFIC CONTROL CORPORATION	OPTICOM UNIT #711 S #4420	95.00
01404824 4542	Q.T. SIGN INC	ELECTRONIC SIGH REPAIR	294.00
01404824 4544	3M CORPORATION TRAFFIC CONTROL DIV.	TRAFFIC ROLL GOODS	1,102.50
TOTAL TRAFFIC CONTROL			\$2,071.20
PUBLIC WORKS			\$60,099.46
01505023 4414	ABSOLUTE VENDING SERVICE	WATER COOLER RENTALS	6.00
01505024 4546	PADDOCK PUBLICATIONS,INC.	HEARING NOTICES	237.75
TOTAL PLANNING			\$243.75
01505123 4414	ABSOLUTE VENDING SERVICE	WATER COOLER RENTALS	8.00
01505124 4507	GILIO LANDSCAPE CONTRACTORS	MOWING FOR CODE	250.00
01505124 4507	GILIO LANDSCAPE CONTRACTORS	MOWING FOR CODE	280.00
01505124 4507	GILIO LANDSCAPE CONTRACTORS	MOWING FOR CODE	345.00
01505124 4507	GILIO LANDSCAPE CONTRACTORS	MOWING FOR CODE	60.00
01505124 4507	GILIO LANDSCAPE CONTRACTORS	MOWING FOR CODE	85.00
01505124 4507	GILIO LANDSCAPE CONTRACTORS	MOWING FOR CODE	310.00
01505124 4507	THOMPSON ELEVATOR INSPECTION INC	ELEVATOR INSPECTION	189.00
01505124 4507	THOMPSON ELEVATOR INSPECTION INC	ELEVATOR INSPECTIONS 2	38.00
TOTAL CODE ENFORCEMENT			\$1,565.00
01505223 4414	ABSOLUTE VENDING SERVICE	WATER COOLER RENTALS	6.00
01505224 4542	303 TAXI/FLASH CAB	TRANSPORATION COUPONS	50.00
01505224 4542	AMERICAN CHARGE SERVICE	TRANSPORTATION 50	250.00
01505224 4542	AMERICAN CHARGE SERVICE	TRANSPORTATION 53	265.00
01505224 4542	PACE SUBURBAN BUS SERVICE	ROUTE 554 BUS SERVICES	1,779.68
TOTAL TRANSPORTATION AND ENGINEERING			\$2,350.68
01505922 4301	GARY SKOOG	UEDA REIM	200.00
01505923 4404	SHOPPING CENTER BUSINESS MAGAZINE	SUBSCRIPTION	79.00
01505924 4546	BUSINESS XPANSION JOURNAL	HALF PAGE ADVERTISEMENT	1,000.00
01505924 4546	THE FINER LINE	TOTE BAGS	548.20
01505924 4590	CABELA'S INC LEGAL DEPT	SALES TAX INCENTIVE	81,923.34
01505924 4590	VHE SWC TRUST	SALES TAX INCENTIVE	69,310.16
TOTAL ECONOMIC DEVELOPMENT			\$153,060.70
DEVELOPMENT SERVICES			\$157,220.13
01556523 4402	OFFICE DEPOT	OFFICE SUPPLIES	68.46
01556523 4403	PLUM GROVE PRINTERS INC	BUSINESS CARDS	41.33
01556523 4403	SAFEGUARD BUSINESS SYSTEMS	1,000 - CLIENT RECEIPTS-	300.80
01556523 4403	SAFEGUARD BUSINESS SYSTEMS	SHIPPING.& HANDLING	22.18
01556523 4413	MOORE MEDICAL CORP.	BOXES/10 CHOLESTECH LDX C	475.00
01556523 4413	SANOFI PASTEUR	FLU SHOTS	2,405.02
01556523 4413	SANOFI PASTEUR	FLU SHOTS	2,186.38
01556523 4413	SANOFI PASTEUR	FLU SHOTS	437.28
HEALTH & HUMAN SERVICES			\$5,936.45
01605324 4561	SEARS CENTRE	BMI LICENSE FEE VOH POR	159.00
TOTAL FOURTH OF JULY			\$159.00
01605824 4575	JOHN WAGNER	BAND PLATZKONZERT	1,100.00
01605824 4575	MICHELLE PILAFAS	REIM FOR FLOAT SUPPLIES	46.00

VILLAGE OF HOFFMAN ESTATES

9/13/2011

ACCOUNT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
01605824 4575	RICHARD GERSTEN (THE TENORS 3)	SINGERS FOR PLATZKONZERT	500.00
01605824 4575	S.V. EDELWEISS	DANCERS FOR PLATZKONZERT	150.00
01605824 4575	THE FINER LINE	PLATZKONZERT SUPPLIES	53.59
01605824 4595	DUE NORTH CONSULTING	PROMOTIONS	400.00
01605824 4597	IMPRESSIONS IN STONE	UNILOCK BRICKS	30.00
TOTAL MISCELLANEOUS B & C			\$2,279.59
BOARDS & COMMISSIONS			\$2,438.59
TOTAL GENERAL FUND			\$899,496.38
03400024 4512	TRAFFIC CONTROL CORPORATION	OPTICOM UNIT #711 S #4420	95.00
TOTAL MFT FUND			\$95.00
04000024 4542	NORTH WEST HOUSING PARTNERSHIP	CDBG REHAB 1435 VISTA	24,986.00
TOTAL COMMUNITY DEVELOPMENT BLOCK GRANT FUND			\$24,986.00
06300024 4515	CHICAGO INTERNATIONAL TRUCKS, LLC	VEHICLE REPAIR PARTS	35.29
06300024 4515	FOSTER COACH SALES INC	VEHICLE PARTS	36.89
06300024 4515	INTERSTATE BATTERY SYSTEMS	RTN VEHICLE BATTERIES	-79.05
TOTAL FIRE			(\$6.87)
06400024 4513	AL PIEMONTE DUNDEE CHEVROLET INC	VEHICLE REPAIRS	61.81
06400024 4513	AL PIEMONTE DUNDEE CHEVROLET INC	VEHICLE REPAIRS	81.89
06400024 4513	O'REILLY AUTO PARTS	VEHICLE REPAIR PARTS	215.21
06400024 4513	O'REILLY AUTO PARTS	VEHICLE REPAIR PARTS	1.99
06400025 4604	CLASSIC LANDSCAPE LTD.	FIRE STATION # 4 (2601 PR	1,180.00
TOTAL PUBLIC WORKS			\$1,540.90
06750023 4402	OFFICE DEPOT	OFFICE SUPPLIES	130.11
06750023 4402	OFFICE DEPOT	OFFICE SUPPLIES	40.11
06750024 4510	OCE IMAGISTICS INC	MAINTENANCE COPIER	30.00
06750024 4532	MEADE ELECTRIC CO., INC.	TRAFFIC SIGNAL MAINT	175.00
06750024 4542	ARNSTEIN & LEHR LLP	PROFESSIONAL SERVICES	296.40
TOTAL ADMINISTRATION			\$671.62
TOTAL EDA ADMINISTRATION FUND			\$2,205.65
08200924 4507	AL PIEMONTE DUNDEE CHEVROLET INC	VEHICLE KEYS	274.54
TOTAL STATE ASSET SEIZURE			\$274.54
TOTAL ASSET SEIZURE FUND			\$274.54
09 1491	GROOT INDUSTRIES, INC.	DELINQUENT REFUSE BILLS	4,188.53
TOTAL MUNICIPAL WASTE SYSTEM FUND			\$4,188.53

VILLAGE OF HOFFMAN ESTATES

9/13/2011

ACCOUNT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
25 1445	CIVILTECH ENGINEERING, INC.	PROFESSIONAL SER JAN-MAR	6,152.90
TOTAL WESTERN CORRIDOR FUND			\$6,152.90
26000024 4507	ARC ILLINOIS	SIGNS	458.00
26000024 4507	HEY AND ASSOCIATES	HASSEL RD CULVERTS DESIGN	10,207.75
TOTAL TRAFFIC IMPROVEMENT FUND			\$10,665.75
27000025 4621	V3 CONSULTANTS	TRAFFIC SIGNAL MAINT.	3,637.60
TOTAL EDA SERIES 1991 PROJECT FUND			\$3,637.60
33000025 4653	ABBAY PAVING CO, INC	NEW POLICE STATION	2,318.00
33000025 4653	ASI	NEW POLICE STATION	15,195.65
33000025 4653	MTI CONSTRUCTION SERVICES LLC	NEW POLICE STATION	22,745.25
33000025 4653	SHERWIN IND	SAFETY YELLOW PAINT	758.00
33000025 4653	WDSI INC	NEW POLICE STATION	3,920.00
33000025 4653	WESTERN DUPAGE LANDSCAPING	NEW POLICE STATION	810.48
TOTAL 2009 CAPITAL PROJECT FUND			\$45,747.38
36000025 4606	APPLIED GEOSCIENCE INC.	ST REVIT SERVICES	7,820.00
36000025 4606	SCHROEDER ASPHALT SERVICES INC	STREET REVIT PROGRAM	119,824.60
36000025 4606	SCHROEDER ASPHALT SERVICES INC	STREET REVIT PROGRAM	2,834.38
TOTAL CAPITAL IMPROVEMENTS FUND			\$130,478.98
40400013 3425	AMERICAN PROPERTY MGMT.	RFD OVER PYMT WATER	14.78
40400013 3425	ANDERSON LOCK	STANDARD KEY	6.80
40400013 3425	KURT BUDKE	RFD OVER PYMT	148.96
40400013 3425	PIERCE & ASSOCIATES, P.C.	RFD OVER PYMT	72.07
40400013 3425	THERESE MINTJAL	OVER PYMT WATER 4530CAP	63.32
TOTAL WATER REFUND			\$305.93
40406723 4402	OFFICE DEPOT	OFFICE SUPPLIES	101.57
40406723 4402	OFFICE DEPOT	VARIOUS SUPPLIES	9.16
40406723 4402	OFFICE DEPOT	OFFICE SUPPLIES	6.54
40406723 4408	LOWE'S HOME CENTERS INC	VARIOUS TOOLS	378.03
40406723 4408	MENARDS - HNVR PARK	VARIOUS SUPPLIES	82.59
40406723 4414	MENARDS - HNVR PARK	BATTERIES	58.49
40406723 4414	USA BLUE BOOK	REPAIR PARTS	75.90
40406723 4414	USA BLUE BOOK	VARIOUS SUPPLIES	153.67
40406723 4414	ZIEBELL WATER SERVICE	HYDRANT PARTS	112.00
40406723 4420	WATER RESOURCES INC	METER REPAIRS & PARTS AS	46.73
40406724 4501	AT & T	R07-1297	183.43
40406724 4501	AT & T	R07-1076	286.46
40406724 4501	AT & T	359-8445	9.61
40406724 4501	AT & T	963-1260	10.13

VILLAGE OF HOFFMAN ESTATES

9/13/2011

ACCOUNT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
40406724 4501	SENTINEL TECHNOLOGIES	CISCO PHONE SYSTEM SUPPOR	3,158.82
40406724 4501	SENTINEL TECHNOLOGIES	RENEWAL OF ANNUAL MAINTEN	1,353.78
40406724 4502	EXELON ENERGY COMPANY	ELECTRIC 2002 PARKVIEW	112.76
40406724 4502	EXELON ENERGY COMPANY	ELECTRIC 2150 STONINGTON	71.25
40406724 4502	EXELON ENERGY COMPANY	ELECTRIC 2550 BEVERLY	464.56
40406724 4502	INTEGRYS ENERGY SERVICES INC	ELECTRIC 1775 ABBEYWOOD	1,373.04
40406724 4502	INTEGRYS ENERGY SERVICES INC	ELECTRIC 2150 STONINGTON	1,972.44
40406724 4502	MIDAMERICAN ENERGY COMPANY	ELECTRIC SS HIGGINS	403.54
40406724 4502	MIDAMERICAN ENERGY COMPANY	ELECTRIC S HIGGINS RD	252.16
40406724 4502	MIDAMERICAN ENERGY COMPANY	ELECTRIC 3990 HUNTINGTON	49.36
40406724 4503	NICOR GAS	GAS 4690 OLMSTEAD	25.00
40406724 4507	MCHENRY ANALYTICAL WATER LABORATORY	ANNUAL DRINKING WATER TES	569.50
40406724 4509	CHICAGO OFFICE TECHNOLOGY GROUP	COPIER SERVICES	57.50
40406724 4510	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	12.17
40406724 4510	CARQUEST AUTO PARTS	VEHCILE REPAIR PARTS	10.18
40406724 4510	FIRESTONE TRUCK & SERVICE CENTER	VEHICLE TIRES	114.00
40406724 4510	MENARDS - HNVR PARK	VARIOUS SUPPLIES	1.37
40406724 4524	AUTOMATIC CONTROL SERVICES	JAWA SERVICES	621.75
40406724 4524	GRAINGER INC	WELL TRANSFER SWITCHES	90.11
40406724 4526	INTERSTATE BATTERY SYSTEMS	VEHICLE BATTERIES	140.95
40406724 4528	USA BLUE BOOK	VARIOUS SUPPLIES	156.87
40406724 4528	USA BLUE BOOK	VARIOUS SUPPLIES	170.88
40406724 4528	ZIEBELL WATER SERVICE	HYDRANT PARTS	873.28
40406724 4529	BEVERLY MATERIALS, L.L.C.	ST. REPAIR MATERIALS	197.72
40406724 4529	PALUMBO MANAGEMENT LLC	CLAY MATERIALS	135.00
40406724 4529	TNT LANDSCAPE CONSTRUCTION	WATER & SEWER DIG-UP SITE	1,276.00
40406724 4529	UNDERGROUND PIPE & VALVE CO	REPAIR PARTS	338.00
40406724 4529	UNDERGROUND PIPE & VALVE CO	REPAIR PARTS	414.00
40406724 4585	FIRESTONE TRUCK & SERVICE CENTER	VEHICLE TIRES	413.18
40406724 4585	SPRING HILL FORD	VEHICLE REPAIR PARTS	58.48
40406724 4585	ULTRA STROBE COMMUNICATIONS	VARIOUS SUPPLIES	32.75
40406724 4585	WHOLESALE DIRECT INC	VARIOUS SUPPLIES	77.17

TOTAL WATER DIVISION

\$16,511.88

40406823 4408	LEE AUTO SCHAUMBURG	VEHICLE SUPPLIES	6.49
40406823 4408	MENARDS - HNVR PARK	VARIOUS SUPPLIES	140.38
40406824 4502	MIDAMERICAN ENERGY COMPANY	ELECTRIC 1775 HUNTINGTON	233.53
40406824 4502	MIDAMERICAN ENERGY COMPANY	ELECTRIC 2090 CENTRAL	174.97
40406824 4510	EJ EQUIPMENT	SANITARY SEWER REAPIR	518.09
40406824 4510	EJ EQUIPMENT	SANITARY CAMERA REPAIRS	692.72
40406824 4510	STANDARD EQUIPMENT CO	REPAIR PARTS	92.44
40406824 4524	MENARDS - HNVR PARK	VARIOUS SUPPLIES	81.09
40406824 4524	MENARDS - HNVR PARK	VARIOUS SUPPLIES	35.41
40406824 4525	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	58.98
40406824 4525	HD SUPPLY WATERWORKS LTD	4" AFC SERIES 2100 SWING	666.14
40406824 4525	MENARDS - HNVR PARK	VARIOUS SUPPLIES	55.72
40406824 4530	BEVERLY MATERIALS, L.L.C.	ST. REPAIR MATERIALS	197.72
40406824 4530	HEALY ASPHALT CO., LLC.	ST. REPAIR MATERIALS	212.16
40406824 4530	HEALY ASPHALT CO., LLC.	ST. REPAIR MATERIALS	212.16
40406824 4530	HEALY ASPHALT CO., LLC.	ST. REPAIR MATERIALS	163.80

VILLAGE OF HOFFMAN ESTATES

9/13/2011

ACCOUNT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
40406824 4530	HEALY ASPHALT CO., LLC.	ST. REPAIR MATERIALS	260.00
40406824 4530	PALUMBO MANAGEMENT LLC	ST. REPAIR MATERIALS	140.00
40406824 4530	PALUMBO MANAGEMENT LLC	CLAY	130.00
40406824 4530	TNT LANDSCAPE CONSTRUCTION	WATER & SEWER DIG-UP SITE	1,276.00
40406825 4602	R-NOW	8" SEWER DEBRIS BASKET	250.00
40406825 4602	R-NOW	SHIPPING	13.87
40406825 4602	SAFETY SUPPLY ILLINOIS	CALIBRATIONS	280.00
40406825 4602	USA BLUE BOOK	NITE SIGN	250.00
40406825 4608	BOLDER CONTRACTORS	COMPLETE THE ABOVE CONSTR	148,500.00
40406825 4608	SCHROEDER ASPHALT SERVICES INC	STREET REVIT PROGRAM	67,878.79
TOTAL SEWER DIVISION			\$222,520.46
TOTAL WATERWORKS AND SEWERAGE FUND			\$239,338.27
46700021 4206	CAMBRIDGE INTEGRATED SERV.GROUP INC	EMPLOY. COMP ADMIN FEE	301.50
TOTAL RISK RETENTION			\$301.50
TOTAL INSURANCE FUND			\$301.50
47001223 4402	OFFICE DEPOT	OFFICE SUPPLIES	21.99
47001223 4402	OFFICE DEPOT	OFFICE SUPPLIES	11.34
47001223 4406	DOCUMENT IMAGING	PRINTER SUPPLIES	4,125.00
TOTAL ADMINISTRATIVE			\$4,158.33
47008524 4507	DLS INTERNET SERVICES	INTERNET ACCESS	400.00
47008524 4510	NUMARA SOFTWARE INC	SUPPORT SUPPLIES	608.77
47008525 4619	ECONET.COM, INC.	MONTHLY SERVICES	2,094.00
TOTAL OPERATIONS			\$3,102.77
47008625 4602	HEWLETT PACKARD/KATHERINE TOOKE	PROLIANT DL 380 G7 SERVER	6,114.27
47008625 4602	HEWLETT PACKARD/KATHERINE TOOKE	UH911E 4YR 6 HR TO REPAIR	2,138.26
47008625 4619	SUNGARD PUBLIC SECTOR	TRAINING	520.00
TOTAL CAPITAL ASSETS			\$8,772.53
TOTAL INFORMATION SYSTEMS FUND			\$16,033.63
62000024 4507	ARC ILLINOIS	SIGNS	230.00
TOTAL ROSELLE ROAD TIF FUND			\$230.00
BILL LIST TOTAL			\$1,383,832.11

SUNGARD PUBLIC SECTOR
DATE: 09/08/2011
TIME: 12:46:27

VILLAGE OF HOFFMAN ESTATES
CHECK REGISTER - BY FUND

PAGE NUMBER: 1
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SELECTION CRITERIA: transact.t_c='20' and transact.trans_date between '20110817 00:00:00. 0' and '20110908 00:00:00. 0'
ACCOUNTING PERIOD: 9/11

FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	BUDGET UNIT	ACCNT	DESCRIPTION	SALES TAX	AMOUNT
0102	71375 V	08/23/11	14324 AUTOMATED MAIL SERV	01101423	4401	POSTAGE SERVICES	0.00	-752.78
0102	71555	08/18/11	10062 KATHRYN CAWLEY	01	1450	C-PAL	0.00	2,000.00
0102	71556	08/18/11	14328 CAROL MURRAY	01	1450	C-PAL	0.00	812.37
0102	71557	08/22/11	1652 THOMAS TYRRELL	01	1450	C-PAL	0.00	1,999.57
0102	71558	08/22/11	4046 INDESTRUCTO RENTAL	01605824	4575	TENT DEP FOR 9/17/2	0.00	100.00
0102	71559	08/22/11	4046 INDESTRUCTO RENTAL	01605824	4575	FINAL PYMT TENT 9/1	0.00	631.00
0102	71560	08/22/11	12943 PRIDE WINDOWS & SID	01	1445	VILLAGE REHAB PROGR	0.00	3,958.00
0102	71562	08/22/11	12814 ILLINOIS LIQUOR CON	01605824	4575	LIQUOR LICENSE FEE	0.00	25.00
0102	71563	08/23/11	13013 WEST PAYMENT CENTER	01101324	4547	INFORMATION SERVICE	0.00	675.53
0102	71567	08/23/11	14324 AUTOMATED MAIL SERV	01101423	4401	POSTAGE SERVICES	0.00	752.78
0102	71568	08/23/11	1827 THOMPSON ELEVATOR I	01505124	4507	ELEVATOR INSPECT	0.00	75.00
0102	71569	08/23/11	13981 DISCOVERY BENEFITS	01101624	4507	FSA MONTHLY MAY 201	0.00	524.30
0102	71583	08/24/11	4496 VERIZON WIRELESS	01303224	4501	WIRELESS SERVICE	0.00	383.01
0102	71583	08/24/11	4496 VERIZON WIRELESS	01303324	4501	WIRELESS SERVICE	0.00	25.83
0102	71583	08/24/11	4496 VERIZON WIRELESS	01401224	4501	WIRELESS SERVICE	0.00	149.02
0102	71583	08/24/11	4496 VERIZON WIRELESS	01404124	4501	WIRELESS SERVICE	0.00	143.57
0102	71583	08/24/11	4496 VERIZON WIRELESS	01404224	4501	WIRELESS SERVICE	0.00	34.82
0102	71583	08/24/11	4496 VERIZON WIRELESS	01404324	4501	WIRELESS SERVICE	0.00	78.20
0102	71583	08/24/11	4496 VERIZON WIRELESS	01404424	4501	WIRELESS SERVICE	0.00	199.77
0102	71583	08/24/11	4496 VERIZON WIRELESS	01404524	4501	WIRELESS SERVICE	0.00	36.96
0102	71583	08/24/11	4496 VERIZON WIRELESS	01404824	4501	WIRELESS SERVICE	0.00	34.82
0102	71583	08/24/11	4496 VERIZON WIRELESS	01501224	4501	WIRELESS SERVICE	0.00	60.49
0102	71583	08/24/11	4496 VERIZON WIRELESS	01505024	4501	WIRELESS SERVICE	0.00	60.49
0102	71583	08/24/11	4496 VERIZON WIRELESS	01505124	4501	WIRELESS SERVICE	0.00	367.00
0102	71583	08/24/11	4496 VERIZON WIRELESS	01505224	4501	WIRELESS SERVICE	0.00	280.69
0102	71583	08/24/11	4496 VERIZON WIRELESS	01505924	4501	WIRELESS SERVICE	0.00	131.75
0102	71583	08/24/11	4496 VERIZON WIRELESS	01556524	4501	WIRELESS SERVICE	0.00	120.99
0102	71583 V	08/24/11	4496 VERIZON WIRELESS	01404824	4501	WIRELESS SERVICE	0.00	-34.82
0102	71583 V	08/24/11	4496 VERIZON WIRELESS	01501224	4501	WIRELESS SERVICE	0.00	-60.49
0102	71583 V	08/24/11	4496 VERIZON WIRELESS	01505024	4501	WIRELESS SERVICE	0.00	-60.49
0102	71583 V	08/24/11	4496 VERIZON WIRELESS	01505124	4501	WIRELESS SERVICE	0.00	-367.00
0102	71583 V	08/24/11	4496 VERIZON WIRELESS	01505224	4501	WIRELESS SERVICE	0.00	-280.69
0102	71583 V	08/24/11	4496 VERIZON WIRELESS	01505924	4501	WIRELESS SERVICE	0.00	-131.75
0102	71583 V	08/24/11	4496 VERIZON WIRELESS	01556524	4501	WIRELESS SERVICE	0.00	-120.99
0102	71583 V	08/24/11	4496 VERIZON WIRELESS	01101124	4501	WIRELESS SERVICE	0.00	-549.37
0102	71583 V	08/24/11	4496 VERIZON WIRELESS	01101224	4501	WIRELESS SERVICE	0.00	-155.84
0102	71583 V	08/24/11	4496 VERIZON WIRELESS	01101324	4501	WIRELESS SERVICE	0.00	-60.49
0102	71583 V	08/24/11	4496 VERIZON WIRELESS	01101424	4501	WIRELESS SERVICE	0.00	-120.99
0102	71583	08/24/11	4496 VERIZON WIRELESS	01101124	4501	WIRELESS SERVICE	0.00	549.37
0102	71583	08/24/11	4496 VERIZON WIRELESS	01101224	4501	WIRELESS SERVICE	0.00	155.84

SUNGARD PUBLIC SECTOR
 DATE: 09/08/2011
 TIME: 12:46:27

VILLAGE OF HOFFMAN ESTATES
 CHECK REGISTER - BY FUND

PAGE NUMBER: 2
 ACCTPA21

SELECTION CRITERIA: transact.t_c='20' and transact.trans_date between '20110817 00:00:00. 0' and '20110908 00:00:00. 0'
 ACCOUNTING PERIOD: 9/11

FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	-----VENDOR-----	BUDGET UNIT	ACCNT	----DESCRIPTION----	SALES TAX	AMOUNT	
0102	71583	08/24/11	4496	VERIZON WIRELESS	01101324	4501	WIRELESS SERVICE	0.00	60.49
0102	71583	08/24/11	4496	VERIZON WIRELESS	01101424	4501	WIRELESS SERVICE	0.00	120.99
0102	71583	08/24/11	4496	VERIZON WIRELESS	01101524	4501	WIRELESS SERVICE	0.00	60.49
0102	71583	08/24/11	4496	VERIZON WIRELESS	01101624	4501	WIRELESS SERVICE	0.00	125.55
0102	71583	08/24/11	4496	VERIZON WIRELESS	01102524	4501	WIRELESS SERVICE	0.00	60.49
0102	71583	08/24/11	4496	VERIZON WIRELESS	01106224	4501	WIRELESS SERVICE	0.00	60.49
0102	71583	08/24/11	4496	VERIZON WIRELESS	01107124	4501	WIRELESS SERVICE	0.00	1,027.44
0102	71583	08/24/11	4496	VERIZON WIRELESS	01301224	4501	WIRELESS SERVICE	0.00	216.30
0102	71583	08/24/11	4496	VERIZON WIRELESS	01303124	4501	WIRELESS SERVICE	0.00	192.24
0102	71583	08/24/11	4496	VERIZON WIRELESS	01303124	4501.10	WIRELESS SERVICE	0.00	34.82
0102	71583	08/24/11	4496	VERIZON WIRELESS	01303124	4501.15	WIRELESS SERVICE	0.00	60.49
0102	71583 V	08/24/11	4496	VERIZON WIRELESS	01101524	4501	WIRELESS SERVICE	0.00	-60.49
0102	71583 V	08/24/11	4496	VERIZON WIRELESS	01101624	4501	WIRELESS SERVICE	0.00	-125.55
0102	71583 V	08/24/11	4496	VERIZON WIRELESS	01102524	4501	WIRELESS SERVICE	0.00	-60.49
0102	71583 V	08/24/11	4496	VERIZON WIRELESS	01106224	4501	WIRELESS SERVICE	0.00	-60.49
0102	71583 V	08/24/11	4496	VERIZON WIRELESS	01107124	4501	WIRELESS SERVICE	0.00	-1,027.44
0102	71583 V	08/24/11	4496	VERIZON WIRELESS	01301224	4501	WIRELESS SERVICE	0.00	-216.30
0102	71583 V	08/24/11	4496	VERIZON WIRELESS	01303124	4501	WIRELESS SERVICE	0.00	-192.24
0102	71583 V	08/24/11	4496	VERIZON WIRELESS	01303124	4501.10	WIRELESS SERVICE	0.00	-34.82
0102	71583 V	08/24/11	4496	VERIZON WIRELESS	01303124	4501.15	WIRELESS SERVICE	0.00	-60.49
0102	71583 V	08/24/11	4496	VERIZON WIRELESS	01303224	4501	WIRELESS SERVICE	0.00	-383.01
0102	71583 V	08/24/11	4496	VERIZON WIRELESS	01303324	4501	WIRELESS SERVICE	0.00	-25.83
0102	71583 V	08/24/11	4496	VERIZON WIRELESS	01401224	4501	WIRELESS SERVICE	0.00	-149.02
0102	71583 V	08/24/11	4496	VERIZON WIRELESS	01404124	4501	WIRELESS SERVICE	0.00	-143.57
0102	71583 V	08/24/11	4496	VERIZON WIRELESS	01404224	4501	WIRELESS SERVICE	0.00	-34.82
0102	71583 V	08/24/11	4496	VERIZON WIRELESS	01404324	4501	WIRELESS SERVICE	0.00	-78.20
0102	71583 V	08/24/11	4496	VERIZON WIRELESS	01404424	4501	WIRELESS SERVICE	0.00	-199.77
0102	71583 V	08/24/11	4496	VERIZON WIRELESS	01404524	4501	WIRELESS SERVICE	0.00	-36.96
TOTAL CHECK								0.00	0.00
0102	71584	08/24/11	4496	VERIZON WIRELESS	01101124	4501	WIRELESS SERVICE	0.00	549.37
0102	71584	08/24/11	4496	VERIZON WIRELESS	01101224	4501	WIRELESS SERVICE	0.00	155.81
0102	71584	08/24/11	4496	VERIZON WIRELESS	01101324	4501	WIRELESS SERVICE	0.00	60.49
0102	71584	08/24/11	4496	VERIZON WIRELESS	01101424	4501	WIRELESS SERVICE	0.00	120.99
0102	71584	08/24/11	4496	VERIZON WIRELESS	01101524	4501	WIRELESS SERVICE	0.00	60.49
0102	71584	08/24/11	4496	VERIZON WIRELESS	01101624	4501	WIRELESS SERVICE	0.00	125.55
0102	71584	08/24/11	4496	VERIZON WIRELESS	01102524	4501	WIRELESS SERVICE	0.00	60.49
0102	71584	08/24/11	4496	VERIZON WIRELESS	01106224	4501	WIRELESS SERVICE	0.00	60.49
0102	71584	08/24/11	4496	VERIZON WIRELESS	01107124	4501	WIRELESS SERVICE	0.00	60.49
0102	71584	08/24/11	4496	VERIZON WIRELESS	01201224	4501	WIRELESS SERVICE	0.00	1,027.44
0102	71584	08/24/11	4496	VERIZON WIRELESS	01301224	4501	WIRELESS SERVICE	0.00	216.30
0102	71584	08/24/11	4496	VERIZON WIRELESS	01303124	4501	WIRELESS SERVICE	0.00	192.24
0102	71584	08/24/11	4496	VERIZON WIRELESS	01303124	4501.10	WIRELESS SERVICE	0.00	34.82
0102	71584	08/24/11	4496	VERIZON WIRELESS	01303124	4501.15	WIRELESS SERVICE	0.00	60.49
0102	71584	08/24/11	4496	VERIZON WIRELESS	01303224	4501	WIRELESS SERVICE	0.00	383.01
0102	71584	08/24/11	4496	VERIZON WIRELESS	01303324	4501	WIRELESS SERVICE	0.00	25.83
0102	71584	08/24/11	4496	VERIZON WIRELESS	01401224	4501	WIRELESS SERVICE	0.00	149.02
0102	71584	08/24/11	4496	VERIZON WIRELESS	01404124	4501	WIRELESS SERVICE	0.00	143.57
0102	71584	08/24/11	4496	VERIZON WIRELESS	01404224	4501	WIRELESS SERVICE	0.00	34.82
0102	71584	08/24/11	4496	VERIZON WIRELESS	01404324	4501	WIRELESS SERVICE	0.00	78.20
0102	71584	08/24/11	4496	VERIZON WIRELESS	01404424	4501	WIRELESS SERVICE	0.00	199.77
0102	71584	08/24/11	4496	VERIZON WIRELESS	01404524	4501	WIRELESS SERVICE	0.00	36.96

SUNGARD PUBLIC SECTOR
 DATE: 09/08/2011
 TIME: 12:46:27

VILLAGE OF HOFFMAN ESTATES
 CHECK REGISTER - BY FUND

PAGE NUMBER: 3
 ACCTPA21

SELECTION CRITERIA: transact.t_c='20' and transact.trans_date between '20110817 00:00:00. 0' and '20110908 00:00:00. 0'
 ACCOUNTING PERIOD: 9/11

FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	-----VENDOR-----	BUDGET UNIT	ACCNT	----DESCRIPTION----	SALES TAX	AMOUNT
0102	71584	08/24/11	4496 VERIZON WIRELESS	01404824	4501	WIRELESS SERVICE	0.00	34.84
0102	71584	08/24/11	4496 VERIZON WIRELESS	01501224	4501	WIRELESS SERVICE	0.00	60.49
0102	71584	08/24/11	4496 VERIZON WIRELESS	01505024	4501	WIRELESS SERVICE	0.00	60.49
0102	71584	08/24/11	4496 VERIZON WIRELESS	01505124	4501	WIRELESS SERVICE	0.00	367.00
0102	71584	08/24/11	4496 VERIZON WIRELESS	01505224	4501	WIRELESS SERVICE	0.00	280.69
0102	71584	08/24/11	4496 VERIZON WIRELESS	01505924	4501	WIRELESS SERVICE	0.00	131.75
0102	71584	08/24/11	4496 VERIZON WIRELESS	01556524	4501	WIRELESS SERVICE	0.00	120.99
TOTAL CHECK							0.00	4,892.89
0102	71585	08/24/11	1144 KENNETH SANDACZ	01	1450	C-PAL	0.00	2,000.00
0102	71586	08/24/11	1570 STEVE J KULOVSEK	01	1450	C-PAL	0.00	639.98
0102	71588	08/26/11	1156 AT & T	01303324	4507	285-3229	0.00	113.58
0102	71588	08/26/11	1156 AT & T	01201924	4591	490-9398	0.00	42.33
0102	71588	08/26/11	1156 AT & T	01404424	4501	468-1483	0.00	311.87
0102	71588	08/26/11	1156 AT & T	01303324	4507	253-9330	0.00	37.37
0102	71588	08/26/11	1156 AT & T	01404424	4501	884-6846	0.00	24.21
TOTAL CHECK							0.00	529.36
0102	71589	08/26/11	2881 ILLINOIS STATE POLI	01000011	3203	COST CTR #4365	0.00	68.50
0102	71590	08/26/11	8960 COMCAST CABLE	01106224	4509	CABLE SERVICES FOR	0.00	90.82
0102	71591	08/26/11	12802 LEAF	01202324	4509	COPIER RENTAL	0.00	333.69
0102	71592	08/26/11	5920 DOMINICK'S C/O SAFE	01101123	4414	TRUSTEE SUPPLIES	0.00	140.31
0102	71593	08/26/11	9888 PURCHASE ADVANTAGE	01101623	4414	VARIOUS SUPPLIES	0.00	12.00
0102	71593	08/26/11	9888 PURCHASE ADVANTAGE	01201223	4414	VARIOUS SUPPLIES	0.00	23.64
0102	71593	08/26/11	9888 PURCHASE ADVANTAGE	01101123	4414	VARIOUS SUPPLIES	0.00	9.95
TOTAL CHECK							0.00	45.59
0102	71594	08/26/11	11261 FLEET SERVICES	01404523	4411	FUEL CARD	0.00	6.00
0102	71595	08/29/11	13993 MEDICO INSURANCE CO	01	1216	OCONNELL, JOHN INS	0.00	225.99
0102	71596	08/29/11	12166 AARP HEALTH CARE OP	01	1216	DEDUCT SCHLICHTER	0.00	169.06
0102	71609	08/30/11	1156 AT & T	01404424	4501	882-4787	0.00	41.00
0102	71609	08/30/11	1156 AT & T	01404424	4501	882-0878	0.00	48.06
0102	71609	08/30/11	1156 AT & T	01404424	4501	882-1864	0.00	214.05
TOTAL CHECK							0.00	303.11
0102	71610	08/30/11	2226 VILL HOFF EST PETTY	01000010	3104	PETTY CASH	0.00	10.00
0102	71610	08/30/11	2226 VILL HOFF EST PETTY	01101122	4301	PETTY CASH	0.00	58.00
0102	71610	08/30/11	2226 VILL HOFF EST PETTY	01101423	4401	PETTY CASH	0.00	13.73
0102	71610	08/30/11	2226 VILL HOFF EST PETTY	01101522	4301	PETTY CASH	0.00	110.24
0102	71610	08/30/11	2226 VILL HOFF EST PETTY	01501222	4301	PETTY CASH	0.00	20.00
0102	71610	08/30/11	2226 VILL HOFF EST PETTY	01505022	4301	PETTY CASH	0.00	64.81
0102	71610	08/30/11	2226 VILL HOFF EST PETTY	01505023	4404	PETTY CASH	0.00	13.90
0102	71610	08/30/11	2226 VILL HOFF EST PETTY	01505122	4301	PETTY CASH	0.00	40.00

SUNGARD PUBLIC SECTOR
 DATE: 09/08/2011
 TIME: 12:46:27

VILLAGE OF HOFFMAN ESTATES
 CHECK REGISTER - BY FUND

PAGE NUMBER: 4
 ACCTPA21

SELECTION CRITERIA: transact.t_c='20' and transact.trans_date between '20110817 00:00:00. 0' and '20110908 00:00:00. 0'
 ACCOUNTING PERIOD: 9/11

FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	BUDGET UNIT	ACCNT	DESCRIPTION	SALES TAX	AMOUNT	
0102	71610	08/30/11	2226	VILL HOFF EST PETTY	01505222	4301	PETTY CASH	0.00	20.00
0102	71610	08/30/11	2226	VILL HOFF EST PETTY	01505922	4301	PETTY CASH	0.00	25.00
0102	71610	08/30/11	2226	VILL HOFF EST PETTY	01556522	4301	PETTY CASH	0.00	29.58
TOTAL CHECK							0.00	405.26	
0102	71612	08/31/11	5431	STONEGATE CONF.& BA	01605824	4559	HARVEST LUNCHEON 20	0.00	500.00
0102	71614	09/06/11	13206	CHARLES KENNAUGH	01605824	4575	REIM FOR PLATZONZER	0.00	115.46
0102	71615	09/06/11	2439	WILLIAM MCLEOD	01101122	4301	TRAVEL REIM NLC TRA	0.00	112.00
0102	71616	09/06/11	2231	VILL HOFF EST PETTY	01201223	4414	PETTY CASH	0.00	7.00
0102	71616	09/06/11	2231	VILL HOFF EST PETTY	01	1445	PETTY CASH	0.00	14.55
0102	71616	09/06/11	2231	VILL HOFF EST PETTY	01202122	4301	PETTY CASH	0.00	25.00
0102	71616	09/06/11	2231	VILL HOFF EST PETTY	01202123	4414	PETTY CASH	0.00	31.82
0102	71616	09/06/11	2231	VILL HOFF EST PETTY	01202124	4542	PETTY CASH	0.00	10.79
0102	71616	09/06/11	2231	VILL HOFF EST PETTY	01202222	4301	PETTY CASH	0.00	37.33
0102	71616	09/06/11	2231	VILL HOFF EST PETTY	01202423	4414	PETTY CASH	0.00	112.57
0102	71616	09/06/11	2231	VILL HOFF EST PETTY	01605724	4507	PETTY CASH	0.00	55.07
TOTAL CHECK							0.00	294.13	
0102	71617	09/06/11	11378	MCHENRY COUNTY SAFE	01202222	4303	CHILD PASSENGER CLA	0.00	50.00
0102	71618	09/07/11	12802	LEAF	01202324	4509	COPIER FEES POLICE	0.00	238.69
0102	71618	09/07/11	12802	LEAF	01303024	4542	COPIER LEASING FIRE	0.00	64.99
0102	71618	09/07/11	12802	LEAF	01303124	4542	COPIER LEASING FIRE	0.00	194.98
0102	71618	09/07/11	12802	LEAF	01303224	4542	COPIER LEASING FIRE	0.00	65.00
TOTAL CHECK							0.00	563.66	
0102	71619	09/07/11	7220	AT&T	01404424	4501	MASTER PHONE BILL	0.00	3,328.68
0102	71620	09/08/11	2226	VILL HOFF EST PETTY	01605824	4575	PLATZKONZERT START	0.00	250.00
0102	71621	09/08/11	14358	AMY MAROCCO	01	1450	C-PAL	0.00	1,624.56
TOTAL CASH ACCOUNT							0.00	27,489.82	
TOTAL FUND							0.00	27,489.82	

SUNGARD PUBLIC SECTOR
DATE: 09/08/2011
TIME: 12:46:27

VILLAGE OF HOFFMAN ESTATES
CHECK REGISTER - BY FUND

PAGE NUMBER: 5
ACCTPA21

SELECTION CRITERIA: transact.t_c='20' and transact.trans_date between '20110817 00:00:00. 0' and '20110908 00:00:00. 0'
ACCOUNTING PERIOD: 9/11

FUND - 06 - EDA ADMINISTRATION FUND

CASH ACCT	CHECK NO	ISSUE DT	-----VENDOR-----	BUDGET UNIT	ACCNT	----DESCRIPTION----	SALES TAX	AMOUNT
0102	71583 V	08/24/11 4496	VERIZON WIRELESS	06750024	4507	WIRELESS SERVICE	0.00	-65.36
0102	71583	08/24/11 4496	VERIZON WIRELESS	06750024	4507	WIRELESS SERVICE	0.00	65.36
TOTAL CHECK							0.00	0.00
0102	71584	08/24/11 4496	VERIZON WIRELESS	06750024	4507	WIRELESS SERVICE	0.00	65.36
TOTAL CASH ACCOUNT							0.00	65.36
TOTAL FUND							0.00	65.36

SUNGARD PUBLIC SECTOR
 DATE: 09/08/2011
 TIME: 12:46:27

VILLAGE OF HOFFMAN ESTATES
 CHECK REGISTER - BY FUND

PAGE NUMBER: 6
 ACCTPA21

SELECTION CRITERIA: transact.t_c='20' and transact.trans_date between '20110817 00:00:00. 0' and '20110908 00:00:00. 0'
 ACCOUNTING PERIOD: 9/11

FUND - 40 - WATER & SEWER FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	BUDGET UNIT	ACCNT	DESCRIPTION	SALES TAX	AMOUNT
0102	71394 V	08/23/11 9119	CB & I CONSTRUCTORS	40407325	4609	WATER TOWER	0.00	-35,865.00
0102	71394 V	08/23/11 9119	CB & I CONSTRUCTORS	40407325	4609	WATER TOWER	0.00	-112,538.52
TOTAL CHECK							0.00	-148,403.52
0102	71547 V	08/23/11 2278	WATER RESOURCES INC	40406723	4420	METER REPAIRS & PAR	0.00	-47.56
0102	71547 V	08/23/11 2278	WATER RESOURCES INC	40406723	4420	METER REPAIRS & PAR	0.00	-3,172.60
0102	71547 V	08/23/11 2278	WATER RESOURCES INC	40406724	4529	REPAIR PARTS	0.00	-384.00
TOTAL CHECK							0.00	-3,604.16
0102	71561	08/23/11 9119	CB & I CONSTRUCTORS	40407325	4609	WATER TOWER	0.00	112,538.52
0102	71561	08/23/11 9119	CB & I CONSTRUCTORS	40407325	4609	PROVIDE ADDITIONAL	0.00	35,865.00
TOTAL CHECK							0.00	148,403.52
0102	71564	08/23/11 2278	WATER RESOURCES INC	40406723	4420	METER REPAIRS & PAR	0.00	47.56
0102	71564	08/23/11 2278	WATER RESOURCES INC	40406723	4420	METER REPAIRS & PAR	0.00	3,172.60
TOTAL CHECK							0.00	3,220.16
0102	71565	08/23/11 2917	WATER PRODUCTS CO.	40406724	4529	CURB BOX REPAIRS	0.00	384.00
0102	71583	08/24/11 4496	VERIZON WIRELESS	40406724	4501		0.00	740.87
0102	71583 V	08/24/11 4496	VERIZON WIRELESS	40406724	4501		0.00	-740.87
TOTAL CHECK							0.00	0.00
0102	71584	08/24/11 4496	VERIZON WIRELESS	40406724	4502	WIRELESS SERVICE	0.00	32.81
0102	71584	08/24/11 4496	VERIZON WIRELESS	40406724	4501	WIRELESS SERVICE	0.00	740.87
TOTAL CHECK							0.00	773.68
0102	71587	08/24/11 2226	VILL HOFF EST PETTY	40406722	4301	PETTY CASH	0.00	82.87
0102	71587	08/24/11 2226	VILL HOFF EST PETTY	40406724	4501	PETTY CASH	0.00	22.49
0102	71587	08/24/11 2226	VILL HOFF EST PETTY	40406723	4403	PETTY CASH	0.00	14.14
TOTAL CHECK							0.00	119.50
0102	71588	08/26/11 1156	AT & T	40406724	4501	884-6846	0.00	10.38
0102	71607 V	08/30/11 14341	SYED ALIKHAN	40	0411	UB REFUND	0.00	-133.51
0102	71609	08/30/11 1156	AT & T	40406724	4501	882-0608	0.00	32.84
0102	71609	08/30/11 1156	AT & T	40406724	4501	882-1864	0.00	91.74
0102	71609	08/30/11 1156	AT & T	40406724	4501	882-0878	0.00	20.59
TOTAL CHECK							0.00	145.17
0102	71611	08/31/11 14351	R.E.I.T. HOMES LLC	40	0411	RFD OVER PYMT WATER	0.00	133.51
0102	71619	09/07/11 7220	AT&T	40406724	4501	MASTER PHONE BILL	0.00	3,083.13
0102	71619	09/07/11 7220	AT&T	40406824	4501	MASTER PHONE BILL	0.00	1,628.45
TOTAL CHECK							0.00	4,711.58
TOTAL CASH ACCOUNT							0.00	5,760.31
TOTAL FUND							0.00	5,760.31

SUNGARD PUBLIC SECTOR
DATE: 09/08/2011
TIME: 12:46:27

VILLAGE OF HOFFMAN ESTATES
CHECK REGISTER - BY FUND

PAGE NUMBER: 7
ACCTPA21

SELECTION CRITERIA: transact.t_c='20' and transact.trans_date between '20110817 00:00:00. 0' and '20110908 00:00:00. 0'
ACCOUNTING PERIOD: 9/11

FUND - 41 - SEARS CENTRE OPERING FUND

CASH ACCT	CHECK NO	ISSUE DT	-----VENDOR-----	BUDGET UNIT	ACCNT	----DESCRIPTION----	SALES TAX	AMOUNT	
0102	71613	09/01/11	11978	LOS FERNANDEZ TAQUE	41000010	3107	REFUND - F&B TAX PM	0.00	133.86
TOTAL CASH ACCOUNT							0.00	133.86	
TOTAL FUND							0.00	133.86	

SUNGARD PUBLIC SECTOR
DATE: 09/08/2011
TIME: 12:46:27

VILLAGE OF HOFFMAN ESTATES
CHECK REGISTER - BY FUND

PAGE NUMBER: 8
ACCTPA21

SELECTION CRITERIA: transact.t_c='20' and transact.trans_date between '20110817 00:00:00. 0' and '20110908 00:00:00. 0'
ACCOUNTING PERIOD: 9/11

FUND - 46 - INSURANCE FUND

CASH ACCT	CHECK NO	ISSUE DT	-----VENDOR-----	BUDGET UNIT	ACCNT	----DESCRIPTION----	SALES TAX	AMOUNT	
0102	71375 V	08/23/11	14324	AUTOMATED MAIL SERV	46700024	4552	TOLLWAY TOWER REPAI	0.00	-980.00
0102	71375 V	08/23/11	14324	AUTOMATED MAIL SERV	46700024	4552	TOWER DISH REPAIRS	0.00	-560.00
TOTAL CHECK							0.00	-1,540.00	
0102	71566	08/23/11	14329	TOWER WORKS INC.	46700024	4552	RADIO INSTALL DAMAG	0.00	980.00
0102	71566	08/23/11	14329	TOWER WORKS INC.	46700024	4552	RADIO REPAIRS DAMAG	0.00	560.00
TOTAL CHECK							0.00	1,540.00	
TOTAL CASH ACCOUNT							0.00	0.00	
TOTAL FUND							0.00	0.00	

SUNGARD PUBLIC SECTOR
DATE: 09/08/2011
TIME: 12:46:27

VILLAGE OF HOFFMAN ESTATES
CHECK REGISTER - BY FUND

PAGE NUMBER: 9
ACCTPA21

SELECTION CRITERIA: transact.t_c='20' and transact.trans_date between '20110817 00:00:00. 0' and '20110908 00:00:00. 0'
ACCOUNTING PERIOD: 9/11

FUND - 47 - INFORMATION SYSTEMS FUND

CASH ACCT	CHECK NO	ISSUE DT	-----VENDOR-----	BUDGET UNIT	ACCNT	----DESCRIPTION----	SALES TAX	AMOUNT	
0102	71584	08/24/11	4496	VERIZON WIRELESS	47008524	4542	WIRELESS SERVICE	0.00	123.91
0102	71584	08/24/11	4496	VERIZON WIRELESS	47001224	4501	WIRELESS SERVICE	0.00	709.27
0102	71584	08/24/11	4496	VERIZON WIRELESS	47008625	4602	WIRELESS SERVICE	0.00	2,199.86
TOTAL CHECK							0.00	3,033.04	
TOTAL CASH ACCOUNT							0.00	3,033.04	
TOTAL FUND							0.00	3,033.04	
TOTAL REPORT							0.00	36,482.39	

VILLAGE OF HOFFMAN ESTATES

AN ORDINANCE APPROVING A
MASTER SIGN PLAN IN ACCORDANCE WITH
SECTION 9-3-8-M-12 OF THE ZONING CODE
FOR THE PROPERTY LOCATED AT
3001-3101 N. BARRINGTON ROAD, HOFFMAN ESTATES, ILLINOIS

WHEREAS, the Planning and Zoning Commission of the Village of Hoffman Estates, at a public hearing called and held according to law on July 20, 2011, considered the request of Fountain Crossing II, LLC (owner) and BROE Real Estate Services of Illinois, LLC (petitioner) for approval of a Master Sign Plan dated July 20, 2011 (the "Master Sign Plan") for the Fountain Crossings Shopping Center property located at 3001-3101 N. Barrington Road, Hoffman Estates, IL, and legally described on Exhibit "A" attached hereto and made a part hereof; and

WHEREAS, the Planning and Zoning Commission made a certain Finding of Fact attached hereto and made a part hereof as Exhibit "B" and recommended approval of said Master Sign Plan to the Board of Trustees; and

WHEREAS, the Corporate Authorities have received and considered said recommendation; and find and believe it to be in the best interest of the Village that the Master Sign Plan be approved.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: The Corporate Authorities hereby find that the facts and statements contained in the preamble of this Ordinance are true.

Section 2: The Master Sign Plan dated July 20, 2011 attached hereto and made a part hereof as Exhibit "C" shall be the approved Master Sign Plan in accordance with Section 9-3-8-M-12 of the Zoning Code for the Fountain Crossings Shopping Center property located at 3001-3101 N. Barrington Road, Hoffman Estates, IL, and legally described on Exhibit "A".

Section 3: The Village Clerk is hereby authorized to publish this ordinance in pamphlet form.

Section 4: This Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2011

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Raymond M. Kincaid	_____	_____	_____	_____
Trustee Jacquelyn Green	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2011

Village President

ATTEST:

Village Clerk

Published in pamphlet form this _____ day of _____, 2011.

EXHIBIT "A"

LEGAL DESCRIPTION:

P.I.N.: 01-36-102-009

Lot 7A in re-subdivision of Lot 7 of Fountain Crossing of Hoffman Estates, a subdivision of part of the west half of the northwest quarter of Section 36, Township 42 North, Range 9 East of the Third Principal Meridian, according to the plat of said re-subdivision recorded April 13, 2004 as Document 0410432081, in Cook County, Illinois.



VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION
FINDING OF FACT

PROJECT NO.: 2011019P

VILLAGE BOARD MEETING DATE: August 1, 2011

PETITIONER(S): Fountain Crossing Shopping Center

PROJECT ADDRESS: 3001-3101 N. Barrington Road ZONING DISTRICT: B-2, Community Business District

Does the Planning and Zoning Commission find that this request meets the Standards for a Master Sign Plan (Section 9-3-8-M-12 of the Zoning Code)? YES NO

RECOMMENDATION: APPROVAL

VOTE: 8 Ayes 3 Absent

PZC MEETING DATE: JULY 20, 2011

STAFF ASSIGNED: Josh Edwards

Request by Fountain Crossing II, LLC (Property Owner) and BROE Real Estate Services of Illinois, LLC (Petitioner) for approval of a Master Sign Plan in accordance with Section 9-3-8-M-12 of the Zoning Code for the Fountain Crossings Shopping Center property at 3001 – 3101 N. Barrington Road based on the Master Sign Plan dated July 20, 2011.

The Planning and Zoning Commission recommends no conditions.

AUDIENCE COMMENTS

None.

FINDING

Section 9-3-8-M-12 of the Zoning Code requires that in instances where the Zoning Code cannot be strictly followed, that the owner may propose a Master Sign Plan to accommodate the signs on the property and to set standards and restrictions on the signs.

The petitioner presented a comprehensive sign plan for the Fountain Crossing Shopping Center. The plan includes provisions for a ground sign along Barrington Road. The sign plan would allow the sign to include an electronic message center, which is consistent with two other recently approved sign plans along Barrington Road. The sign initially will not include the electronic message center, but it can be added later with a permit.

Tenant walls signs would be permitted on the east (rear) elevation of the building, which the Commission felt was appropriate because the properties to the east when developed will include substantial retail and parking lots facing the rear of the subject property. A ground or directional sign identifying the entrance to the Fountain Crossing parking lot between the two buildings would be permitted for the same reason as the rear wall signs.

Planning and Zoning Commission Finding of Fact
Master Sign Plan-Fountain Crossing Shopping Center -3001-3101 N. Barrington Road
Village Board Meeting Date: August 1, 2011

Commission members noted that the proposed sign plan is in scale and consistent with the building architecture and unique site layout and will result in unified signage for the property, which is consistent with the code standards. The Commission verified that the main ground sign is permitted anywhere along Barrington Road, and the petitioner intends to install it near the southwest corner of the property.

PLANNING AND ZONING COMMISSIONERS

ROLL CALL VOTE

Chairman Gordon Thoren	Myrene Iozzo	8 Ayes
Vice-Chairperson Eva Combs	Thomas Krettler	0 Nays
Donna Boomgarden	Gaurav Patel	0 Abstain
Michael Gaeta	Steve Wehofer	3 Absent
Steve Hehn	Denise Wilson	<i>(Boomgarden, Patel, Wilson)</i>
Lenard Henderson		MOTION PASSED

The following attachments are hereby incorporated as part of this Finding of Fact:

- Staff Report
- Petitioner Application
- Legal Notice
- Staff Exhibit
- Petitioner Exhibit

VILLAGE OF HOFFMAN ESTATES

AN ORDINANCE AUTHORIZING THE SALE OF PERSONAL PROPERTY OWNED BY THE VILLAGE OF HOFFMAN ESTATES

WHEREAS, in the opinion of the corporate authorities of the Village of Hoffman Estates, it is no longer necessary or useful to or for the best interests of the Village of Hoffman Estates to retain ownership of the personal property hereinafter described; and

WHEREAS, it has been determined by the President and Board of Trustees of the Village of Hoffman Estates to sell said personal property.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: That pursuant to 65 ILCS 5/11-76-4 of the Illinois Revised Statutes, the President and Board of Trustees of the Village of Hoffman Estates find that hockey glass boards and miscellaneous fixtures at the Sears Centre Arena now owned by the Village of Hoffman Estates, is no longer necessary or useful to the Village of Hoffman Estates and that the best interests of the Village of Hoffman Estates will be served by its sale.

Section 2: That pursuant to 65 ILCS 5/11-76-4, the Village Manager is hereby authorized and directed to sell the aforementioned property now owned by the Village of Hoffman Estates.

Section 3: That the Village Manager is hereby authorized and directed to enter into an agreement for the sale of said personal property.

Section 4: That upon payment of the full price, the Village Manager is hereby authorized and directed to convey and transfer title to the aforesaid personal property.

Section 5: That the Village Clerk is hereby authorized to publish this ordinance in pamphlet form.

Section 6: That this ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2011

Table with 5 columns: VOTE, AYE, NAY, ABSENT, ABSTAIN. Rows list Trustees: Karen V. Mills, Raymond M. Kincaid, Jacquelyn Green, Anna Newell, Gary J. Pilafas, Gary G. Stanton, and Mayor William D. McLeod.

APPROVED THIS _____ DAY OF _____, 2011

Village President

ATTEST:

Village Clerk
Published in pamphlet form this _____ day of _____, 2011.

VILLAGE OF HOFFMAN ESTATES

AN ORDINANCE AMENDING ARTICLE 3,
VEHICLE IMMOBILIZATION,
OF CHAPTER 6, TRAFFIC CODE,
OF THE HOFFMAN ESTATES MUNICIPAL CODE

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: That Article 6-3, VEHICLE IMMOBILIZATION, of the Hoffman Estates Municipal Code be amended to read as follows:

Article 3
VEHICLE IMMOBILIZATION

Section 6-3-1. IMMOBILIZATION

A. A program of vehicle immobilization shall be instituted whereby eligible vehicles shall be immobilized by towing or the placement of a restraint in a manner such as to prevent their operation. A vehicle shall be eligible for immobilization under the following criteria:

1. The registered owner of the motor vehicle has accumulated five or more violation notices on vehicles registered to the owner for parking, standing, compliance or automated traffic law violations for which no payments in the amounts specified by the Hoffman Estates Municipal Code has been made on violations on which final determinations have been entered;
2. The registered owner of the motor vehicle must have received notice of eligibility for immobilization under the procedures listed in Section 6-3-2; and
3. The motor vehicle is on a public way.

Section 6-3-2. NOTICE OF ELIGIBILITY FOR IMMOBILIZATION

A. Written notice sent to the registered owner shall contain information advising the owner of the notice of eligibility for immobilization in the event the violations are not paid.

B. Written notice of eligibility for immobilization shall be sent by first-class mail, postage prepaid, to the registered owner of the motor vehicle, at the address to which the motor vehicle is registered, at least 21 days prior to placing the registration plate number on the immobilization eligibility list. Notice shall be sent as follows:

1. The address of the registered owner shall be determined from the records of the Illinois Secretary of State, or in the case of a vehicle bearing a registration number of state other than Illinois, from the records of that state's registry of motor vehicles;
2. The notice shall list the name and address of the registered owner, the state registration number of the motor vehicle, the nature of the violations and the numbers and issue dates of the complaints referred to in Section 6-3-1; and
3. The notice shall advise that a person may challenge the validity of the notice of eligibility for immobilization as set forth in Section 6-3-3.

Section 6-3-3. CHALLENGING VALIDITY OF IMMOBILIZATION NOTICE

A. A challenge of the validity of the notice of eligibility for immobilization must be submitted in writing to the Village Traffic Compliance Administrator. The challenge shall only be based on grounds which would conclusively disprove liability, such as:

1. The person was not the owner or lessee of the motor vehicle on the date or dates the violation notices were issued; or
2. The fines or penalties for the violations cited have been paid.; or
3. The registered owner has not accumulated five or more unpaid final determinations of parking, standing, compliance or automated traffic law violations.

Section 6-3-4. PRE-TOW OR PRE-IMMOBILIZATION HEARING

A. A hearing shall be held before a hearing officer designated by the Village Manager within 15 days after receipt of the challenge. Failure to attend the hearing shall be deemed as withdrawal of the challenge. The Hearing Officer may determine the eligibility of the vehicle to be on the immobilization list.

Section 6-3-5. PLACEMENT ON IMMOBILIZATION LIST AND NOTICE OF POST-TOW OR POST-IMMOBILIZATION

Should no challenge be made, or a determination that five or more of the parking violations are unpaid be rendered within the 21-day period contained in Section 6-3-2(B), the State registration number of the vehicle shall be placed on the immobilization list and immobilization shall proceed as follows:

A. A notice shall be placed in a conspicuous place on the motor vehicle warning that any attempt to move the vehicle while the immobilization device is attached may result in damage to the vehicle.

B. The notice shall set forth the following procedure for release of the immobilization device. The owner of the immobilized vehicle, or another authorized person may, within 24 hours:

1. Pay all fees for immobilization and penalties due on the outstanding violations listed in the notice of eligibility for immobilization;
2. Pay a deposit of all outstanding monies due the Village and request a hearing as authorized pursuant to the Hoffman Estates Municipal Code. In the event said hearings are not requested or owner fails to appear at the hearing, the deposit shall be used to pay all of the outstanding fines and penalties for the violations listed in the notice of eligibility.
3. Request a prompt hearing for release of the vehicle.
4. Any vehicle that is immobilized pursuant to this Article may be towed at the vehicle owner's expense pursuant to the towing procedures established by the Hoffman Estates Police Department.

Section 6-3-6. NOTICE OF IMPOUNDMENT

The notice of impoundment shall state that the owner has a right to a hearing and that if release is not obtained within 30 days, the vehicle will be considered an abandoned vehicle as provided in Section 7-10-3 of the Hoffman Estates Municipal Code and subject to disposal as provided.

Section 6-3-7. IMMOBILIZATION FEES, DEPOSITS, AND POST-TOW OR POST-IMMOBILIZATION HEARING

A. The registered owner of a vehicle already immobilized or towed and impounded pursuant to this section, shall have the right to a prompt administrative hearing without the requirement of payment of the outstanding fines and penalties for which final determination has been made.

B. The traffic compliance administrator shall serve a post immobilized hearing notice upon the registered owner of a vehicle immobilized or towed and impounded and the notice shall contain the following information:

1. Date of immobilization or towing and date of impoundment.
2. Location of vehicle.
3. That the vehicle was immobilized under this section of the Village Code of Ordinances for nonpayment of fines or penalties assessed for five or more violations of vehicular standing, parking, compliance or automated traffic law regulations violations for which there has been a final determination of liability and for which the owner was previously notified of impending immobilization or towing and impoundment.
4. The registered owner may contest the validity of the immobilization or towing and impoundment by completing and signing a written request for a hearing with the traffic compliance administrator.

C. The fee for immobilization shall be \$100.00.

D. Upon the receipt of the request for hearing to contest the validity of the immobilization or towing and impoundment, the traffic compliance administrator shall schedule an administrative hearing to contest the validity of the immobilization or towing and impoundment on the next available hearing date, if practicable, or sooner if scheduled by the traffic compliance administrator for good cause shown.

1. The traffic compliance administrator shall serve notice of the hearing date upon the registered owner.
2. Notice shall be sent by first class mail, postage prepaid to the address as is set forth on the request for hearing and service of the notice shall be complete on the date it is placed in the United States mail.

E. All hearings shall be recorded and an order entered after the hearing to contest the validity of the immobilization or towing and impoundment is a final administrative decision within the meaning of 735 ILCS 5/3-101 et seq.

Section 2: That the Village Clerk is hereby authorized to publish this ordinance in pamphlet form.

Section 3: That this Ordinance shall be in full force and effect from and after its passage and approval.

PASSED THIS _____ day of _____, 2011

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Raymond M. Kincaid	_____	_____	_____	_____
Trustee Jacquelyn Green	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2011

Village President

ATTEST:

Village Clerk

Published in pamphlet form this _____ day of _____, 2011.

RESOLUTION NO. _____ - 2011

VILLAGE OF HOFFMAN ESTATES

A RESOLUTION APPOINTING AN EXECUTIVE DIRECTOR TO THE NORTHWEST SUBURBAN REGIONAL TRAINING AUTHORITY

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: That the President and Board of Trustees of the Village of Hoffman Estates appoint Jeff Jorian, Deputy Chief, as an Executive Board Member to the Board of Directors of the Northwest Suburban Regional Training Authority (NWSTRA) until a successor is appointed.

Section 2: That the Village Clerk is hereby authorized to publish this Resolution in pamphlet form.

Section 3: That this Resolution shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2011

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Raymond M. Kincaid	_____	_____	_____	_____
Trustee Jacquelyn Green	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2011

Village President

ATTEST:

Village Clerk



HOFFMAN ESTATES

GROWING TO GREATNESS

September 8, 2011

To: Mayor and Board of Trustees

TREASURER'S REPORT

July 2011

Attached hereto is the Treasurer's Report for the month of July 2011, summarizing total cash receipts and disbursements for the various funds of the Village.

Cash disbursements and transfers-out exceeded cash receipts and transfers-in for the operating funds by \$1,277,026. After including these receipts and disbursements, the balance of cash and investments for the operating funds is \$24.15 million. For all of the Village funds, cash disbursements and transfers-out exceeded cash receipts and transfers-in by \$1,383,198, primarily due to an additional bi-weekly payroll in July. Overall, the total for cash and investments for all funds decreased to \$153.27 million.

Respectfully Submitted,

Michael DuCharme
Director of Finance

Attachment

1900 Hassell Road
Hoffman Estates, Illinois 60169
www.hoffmanestates.org

Phone: 847-882-9100
Fax: 847-843-4822

William D. McLeod
MAYOR

Jacquelyn Green
TRUSTEE

Gary Stanton
TRUSTEE

Karen V. Mills
TRUSTEE

Anna Newell
TRUSTEE

Bev Romanoff
VILLAGE CLERK

Raymond M. Kincaid
TRUSTEE

Gary J. Pilafas
TRUSTEE

James H. Norris
VILLAGE MANAGER

TREASURER'S REPORT
FOR THE MONTH ENDING JULY 31, 2011

Fund	Beginning Balance	Receipts/ Transfers - In	Disbursements/ Transfers - Out	Amount In Cash	Amount Invested	Ending Balance
Operating Funds						
General (incl. Veterans' Mem)	\$ 7,766,330	\$ 1,212,301	\$ 420,908	\$ 1,409,701	\$ 7,148,022	\$ 8,557,723
Payroll Account	679,039	2,698,442	3,374,620	2,861	-	2,861
Petty Cash	2,000	-	-	2,000	-	2,000
Foreign Fire Ins. Board	98,502	-	-	98,502	-	98,502
Cash, Village Foundation	15,828	0	65	15,763	-	15,763
Cash, U.S. Marshal	104,528	18	-	104,546	-	104,546
Cash, Fire Protection District	36,080	12	9	36,083	-	36,083
Motor Fuel Tax	614,436	96,472	3,336	1,185	706,387	707,572
Comm. Dev. Block Grant	1	-	-	1	-	1
EDA Administration	4,123,770	125,946	470,707	21,078	3,757,931	3,779,009
Enhanced 911	228,171	2,028	25,000	5	205,194	205,199
Asset Seizure - Federal	665,739	6,339	11,373	641,710	18,995	660,705
Asset Seizure - State	180,549	113	3,372	91,123	86,167	177,290
Asset Seizure - KCAT	59,868	1	-	-	59,870	59,870
Municipal Waste System	63,985	89,601	90,112	308	63,166	63,474
Roselle Road TIF	1,848,349	150	6,861	160	1,841,477	1,841,637
Water & Sewer	4,702,354	1,045,536	2,219,871	1,131,648	2,396,372	3,528,019
Sears Centre Operating	2,367,983	373,380	373,362	1,826,613	541,388	2,368,002
Insurance	1,435,400	127,973	81,388	10,079	1,471,907	1,481,986
Information Systems	438,957	97,383	71,740	75,296	389,303	464,599
Total Operating Funds	\$ 25,431,868	\$ 5,875,698	\$ 7,152,724	\$ 5,468,664	\$ 18,686,178	\$ 24,154,842
Debt Service						
Sears EDA General Account	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
2001 G.O. Debt Serv.	8,395	183	8,000	5	573	578
1997 A&B G.O. Debt Serv.	5,492	0	-	9	5,483	5,492
2003 G.O. Debt Serv.	383,136	1,797	-	5	384,928	384,933
2004 G.O. Debt Serv.	470,445	1,984	-	5	472,424	472,429
2005A G.O. Debt Serv.	22	-	-	16	6	22
2005 EDA TIF Bond	5	-	-	5	-	5
2005 Sr. Lien B & I	38,285	3	-	-	38,288	38,288
2005 Program Expense	-	-	-	-	-	-
2008 G.O. Debt Serv.	83,206	1	-	69,966	13,241	83,207
Water & Sewer-Debt Service	-	-	-	-	-	-
2009 G.O. Debt Serv.	1,801,338	16,443	-	510	1,817,271	1,817,781
Total Debt Service Funds	\$ 2,790,325	\$ 20,411	\$ 8,000	\$ 70,521	\$ 2,732,215	\$ 2,802,736
Capital Projects Funds						
Central Road Imp.	\$ 253,596	\$ 5	\$ -	\$ 5	\$ 253,596	\$ 253,601
Hoffman Blvd Bridge Maintenance	345,944	29	-	5	345,968	345,973
Western Corridor	465,830	43	-	5	465,868	465,873
Traffic Improvement	632,980	11	-	15,683	617,308	632,991
EDA Series 1991 Proj.	4,234,276	167	-	578	4,233,865	4,234,443
Central Area Road Impact Fee	505,328	44	-	5	505,367	505,372
2008 Capital Project	31,226	3	-	-	31,229	31,229
2009 Capital Project	3,278,575	5,165	660,646	-	2,623,095	2,623,095
Western Area Traff. Impr.	330,126	41	-	5	330,162	330,167
West Area Rd Impr. Impact Fee	2,240,221	262	2,830	5	2,237,648	2,237,653
Capital Improvements	240,795	393,571	-	374,889	259,476	634,365
Capital Vehicle & Equipment	76,637	18,209	-	95	94,752	94,847
Capital Replacement	3,281,379	8,292	-	5	3,289,666	3,289,671
Water & Sewer-Capital Projects	503,044	45	31,545	-	471,544	471,544
Total Capital Proj. Funds	\$ 16,419,956	\$ 425,888	\$ 695,021	\$ 391,281	\$ 15,759,543	\$ 16,150,823
Trust Funds						
Police Pension	\$ 49,663,553	\$ 169,801	\$ 293,750	\$ 10,960	\$ 49,528,645	\$ 49,539,605
Firefighters Pension	50,772,671	558,332	286,374	1,713	51,042,916	51,044,629
EDA Spec. Tax Alloc.	9,380,223	3,576	-	5	9,383,794	9,383,799
Barrington/Higgins TIF	203,844	4	1,040	5	202,803	202,808
Total Trust Funds	\$ 110,020,290	\$ 731,713	\$ 581,163	\$ 12,683	\$ 110,158,157	\$ 110,170,841
GRAND TOTAL	\$ 154,662,440	\$ 7,053,710	\$ 8,436,908	\$ 5,943,148	\$ 147,336,093	\$ 153,279,241



VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION
FINDING OF FACT

PROJECT NO.: 2011031R

VILLAGE BOARD MEETING DATE: September 12, 2011

PETITIONER(S): Mike Gregory

PROJECT ADDRESS: 618 Wainsford Drive

ZONING DISTRICT: R-6, ONE FAMILY RESIDENTIAL

Does the Planning and Zoning Commission find that this request meets the Standards for a Variation (Section 9-1-15 of the Zoning Code)? YES NO

Recommendation: APPROVAL

Vote: 11 Ayes

PZC MEETING DATE: **AUGUST 3, 2011**

STAFF ASSIGNED: **JOSH EDWARDS**

Request by Mike and Ann Gregory for a fifteen (15) foot corner side yard setback variation from Section 9-3-3-C to allow a six (6) foot high solid fence to be zero (0) feet from the east side property line instead of the minimum required fifteen (15) feet at 618 Wainsford Drive.

The Planning and Zoning Commission recommends no conditions.

AUDIENCE COMMENTS

None.

FINDING

Section 9-1-15 of the Zoning Code (Standards for Variation) states that no variation shall be recommended by the Planning and Zoning Commission unless it finds that the Standards for Variation set forth in the Zoning Code are met.

The petitioner is proposing to retain an existing 6-foot high fence along the corner side yard in a location where the Zoning Code requires a lower or open design fence. The fence has existed in the same location since the 1980s. The Commission confirmed that there is adequate distance to see around the fence from the neighbor's driveway and the fence is an adequate distance from the street intersection. The fence was replaced in the same location as a prior existing fence, and so this fence would not have a new impact on neighboring properties.

The Planning and Zoning Commission had no concerns about granting this variation and voted unanimously to recommend approval of the request.

Planning and Zoning Commission Finding of Fact
Variation – 618 Wainsford Drive – Fence Setback
Village Board Meeting Date: September 12, 2011

PLANNING AND ZONING COMMISSIONERS

Chairman Gordon Thoren	Myrene Iozzo
Vice-Chairperson Eva Combs	Thomas Krettler
Donna Boomgarden	Gaurav Patel
Michael Gaeta	Steve Wehofer
Steve Hehn	Denise Wilson
Lenard Henderson	

ROLL CALL VOTE

11 Ayes
0 Nays
0 Abstain
0 Absent

MOTION PASSED

The following attachments are hereby incorporated as part of this Finding of Fact:

- Petitioner Application & Submittals
- Legal Notice
- Location Map
- Staff Exhibit – Aerial Photo
- Staff Exhibit – Photos



VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION
STAFF REPORT

PROJECT NO.: 2011031R PROJECT NAME: 618 WAINSFORD DRIVE FENCE SETBACK VARIATION

PROJECT ADDRESS/LOCATION: 618 WAINSFORD DRIVE

PUBLIC HEARING
YES NO

REZONING MASTER SIGN PLAN SPECIAL USE VARIATION

SITE PLAN PLAT

MEETING DATE: July 20 & August 3, 2011

STAFF ASSIGNED: Josh Edwards

REQUESTED MOTION

Request by Mike and Ann Gregory for a fifteen (15) foot corner side yard setback variation from Section 9-3-3-C to allow a six (6) foot high solid fence to be zero (0) feet from the east side property line instead of the minimum required fifteen (15) feet at 618 Wainsford Drive.

INCLUDES RECOMMENDED CONDITIONS
YES NO

ZONING DISTRICT: R-6, ONE-FAMILY RESIDENTIAL

ADJACENT NORTH: R-6, ONE-FAMILY RESIDENTIAL SOUTH: R-6, ONE-FAMILY RESIDENTIAL
PROPERTIES: EAST: R-6, ONE-FAMILY RESIDENTIAL WEST: R-6, ONE-FAMILY RESIDENTIAL

APPLICABLE ZONING CODE SECTION

Section 9-3-3-C-2-c of the Zoning Code states that fences not of open design and/or exceeding four feet in height shall be set back 15 feet from the side lot line, or even with the dwelling unit, whichever is less, on those lots adjacent to a street where the rear yard adjoins the neighbor's side yard.

PROPOSAL

The petitioner recently replaced a 6 foot high, solid design fence that had existed in the same location for many years. The fence was installed just prior to a text amendment to the current code for a lot with this configuration relative to a neighbor's front yard. The petitioner's fence extends to near the sidewalk along the corner side yard. Due to the alignment of the petitioner's corner side yard to the neighbor's front yard, the Zoning Code requires a 15 foot minimum setback for the fence; or the fence must be an open design fence of a maximum 4 feet in height if it extends closer than 15 feet from the corner side yard. The fence is a 6 foot high solid fence and therefore a setback variation is required in order for the fence to remain.

The petitioner has noted in his application that other fences in the neighborhood are similarly located close to the sidewalk. There is no record of variations in this neighborhood, but it is not uncommon for older fences to have been built without variations or prior to a change in the Zoning Code. Also, the Zoning Code regulations for fences depend on the alignment of a lot's front, side, and rear yards to the neighbor and to the adjacent streets. For example, the property across Yardley Lane includes a fence near the sidewalk in a mirror image of the petitioner's fence; however, the neighboring property behind that house is not aligned facing Yardley Lane and so a 15 foot setback is not required for the fence across the street.

VARIATION STANDARDS

Section 9-1-15 of the Zoning Code – *Standards for a Variation* - states that the Planning and Zoning Commission shall not recommend the adoption of a proposed variation unless it finds that the variation meets the Standards for Variations as set forth in the Zoning Code.

1. The Planning and Zoning Commission shall not recommend the variation of the regulations of the Code unless it shall first make a finding based upon the evidence presented to it in each specific case that:
 - a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located;
 - b. The plight of the owner is due to unique circumstances;
 - c. The variation, if granted, will not alter the essential character of the locality.

2. For the purpose of implementing the above rules, the Planning and Zoning Commission shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the applicant have been established by the evidence;
 - a. The particular physical surroundings, shape of topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;
 - b. The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning classification;
 - c. The purpose of the variation is not based exclusively upon a desire to increase the value of the property;
 - d. The alleged difficulty or hardship has not been based exclusively upon a desire to increase the value of property;
 - e. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
 - f. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood.

3. The Planning and Zoning Commission may recommend to the Village Board that such conditions and restrictions be imposed upon the premises benefited by a variation as may be necessary to comply with the standards set forth in this section to reduce or minimize the injurious effect of such variation upon other property in the neighborhood, and better to carry out the general intent of this Code.

If this request is approved, the fence would be granted to remain at this location, height, and design by ordinance in perpetuity or until otherwise amended or dissolved by a future ordinance.

NOTIFICATION

Statements of Awareness were received from several neighbors including both side yard neighbors: 610 Yardley Lane; 612, 613, 615, 620, and 622 Wainsford Drive. This includes the adjacent neighbor along the north rear yard where the variation is requested. Standard notification letters have been sent to surrounding properties within 150 feet and no comments have been received.

STAFF SUMMARY

The Zoning Code requirement for a lower or open design fence in a corner side yard is intended to encourage visibility at street corners for pedestrians and drivers and for neighbors when backing out of their driveway. The Transportation Division reviewed the fence location and determined it to be acceptable. There is adequate distance to see around the fence from the neighbor's driveway and the fence is an adequate distance from the street intersection (see attached photos from staff and the petitioner). The fence was replaced in the same location as a prior existing fence, and so this fence would not have a new impact on neighboring properties.

Another purpose of the zoning code requirement is to preserve the front yard streetscape. Yardley Lane goes a short distance north-south and includes curves. This fence and the neighboring fence across the street do narrow the streetscape approaching Wainsford Drive; however, the placement of the houses along Yardley Lane is varied partly due to the curve in the street and so the fence does not have a dramatic impact on the front yard streetscape.

The Village has approved similar requests in this zoning district where there is adequate visibility around the fence for drivers and for neighboring properties.

Attachments: Petitioner Application & Submittals
 Legal Notice
 Location Map
 Staff Exhibit – Aerial Photo
 Staff Exhibit – Photos

VILLAGE OF HOFFMAN ESTATES
ZONING BOARD OF APPEALS

REQUEST FOR RESIDENTIAL VARIATION HEARING

FOR VILLAGE USE ONLY

Hearing Fee \$ 150.00 Date Paid 6/20/11 Received By J. EDWARDS
Hearing Date: 7/20/11 Time: 7:30pm. Legal Published 7/5/11
Receipt Number Check No. VISA Zoning District R-6

PLEASE PRINT OR TYPE

Use additional sheets as necessary

1. Property Owner(s) Name* MIKE + ANN GREGORY
E-Mail Address MIKE-R-GREGORY@YAHOO.Fax: COM
Owner's Address 618 WAINSFORD DR Phone 247-285-1028
City HOFFMAN EST State IL Zip 60169

Subject Property's Address (if different):

2. Person applying if other than owner*:

Name N/A Company _____
E-Mail Address _____ Fax _____
Address _____ Phone _____
City _____ State _____ Zip _____

3. Property Index Number (PIN) 07-07-413-012

4. Zoning District R-6

5. Briefly describe the improvement that needs a variation.

* If "owner" is an entity other than an individual(s), then an Economic Disclosure Statement must also be filed.

6. Other options that would not require a variation?

N/A

7. Is the applicant the original owner? NO How long has the applicant resided at this address? 13 1/2 YEARS Did the condition that instituted this request for a variation exist at the time the applicant purchased this property? If yes, please describe.

YES THERE WAS A SIX FOOT FENCE
ALREADY THERE

8. Describe existing materials and proposed construction materials indicating if proposed construction will match or blend with the existing structure.

WAS A WOODEN FENCE. REPLACED WITH A
WOODEN FENCE

9. Estimated total project cost \$/4000

10. Removal/ relocation of trees, driveway approaches, utilities required? Will the proposed construction require removal/ relocation of trees, driveway apron, utilities, other? If yes, please describe.

NONE OF ABOVE

11. **An Immediate Authorization to Apply for Permits** allows the Code Enforcement Division to begin the building permit review process prior to the adoption of the Ordinance by the Village Board. The Immediate Authorization makes it possible for you to expedite the plan review process by approximately two weeks. Contact the Code Enforcement Division at 847/781-2631 to discuss the building permit application and review process.

Please check one of the following

Yes, I request Immediate Authorization to Apply for Permits upon approval of my application by the Village Board, allowing me to begin the building permit review process prior to adoption of the Ordinance approving my variation.

Or

No, I do not request Immediate Authorization to Apply for Permits.

12. Existing Conditions

Front, Side, Rear Yard Setback, Height, or Variation	Present Condition	Required	Proposed
FRONT SIDES YARD FENCE	6 FEET		RETAIN 6 FEET

13. I, the undersigned, certify the information and submissions provided accurately represent the current conditions and proposed improvement(s) requiring a variation.

Owner's Signature M. Gregory

Name (Please Print) MIKE GREGORY

Applicant's Signature M. Gregory

Name (Please Print) MIKE GREGORY

Gregory Continued

Permit Procedure

1. Submit a completed fence permit application.
2. Submit 2 copies of the property's sealed plat of survey showing the proposed location of the fence.
3. If a contractor will install the fence, the contractor must be licensed, bonded, and insured with the Village.

Village Ordinance does not state if the permit is required before work commences.

My Neighbor at 616 Wainsford had a 6" fence installed 4 years ago on a corner lot.

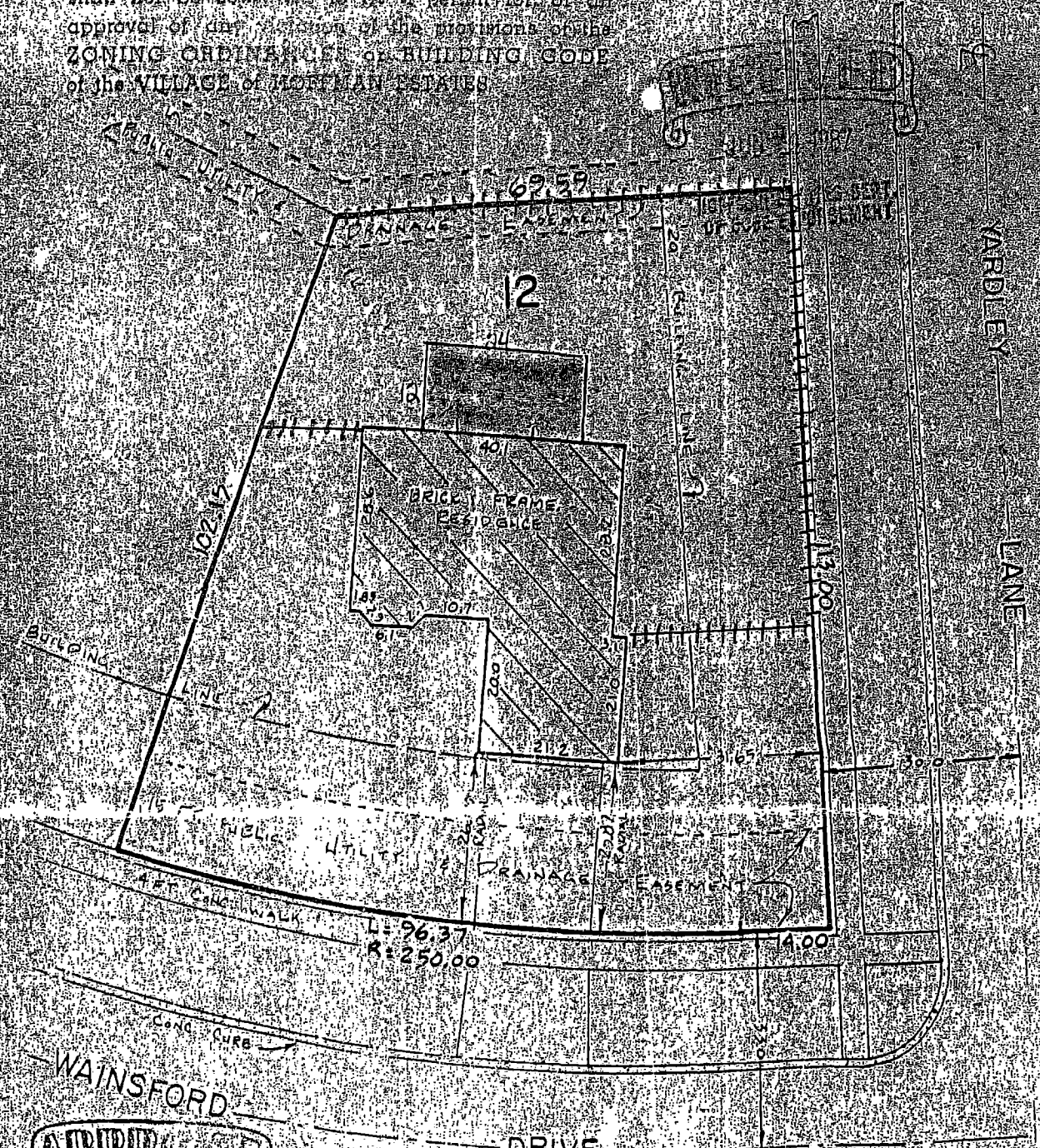
Fence is the same height as the one it replaced.

Inspection Requirements

1. A final inspection is required after the fence is installed.

618 WAINSFORD

The issuance of a permit or approval of drawing shall not be construed to be a permit for or an approval of any violation of the provisions of the ZONING ORDINANCE or BUILDING CODE of the VILLAGE of HOFFMAN ESTATES.



APPROVED
JUN 11 1987

R.O.B.
HOFFMAN ESTATES DEPT.
OF CODE ENFORCEMENT

FILE COPY

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning and Zoning Commission of the Village of Hoffman Estates will hold a public hearing at the request of Mike and Ann Gregory to consider a variation from the Zoning Code to permit the retention of an existing fence on the property located at 618 Wainsford Drive and legally described as follows:

P.I.N.: 07-17-413-012

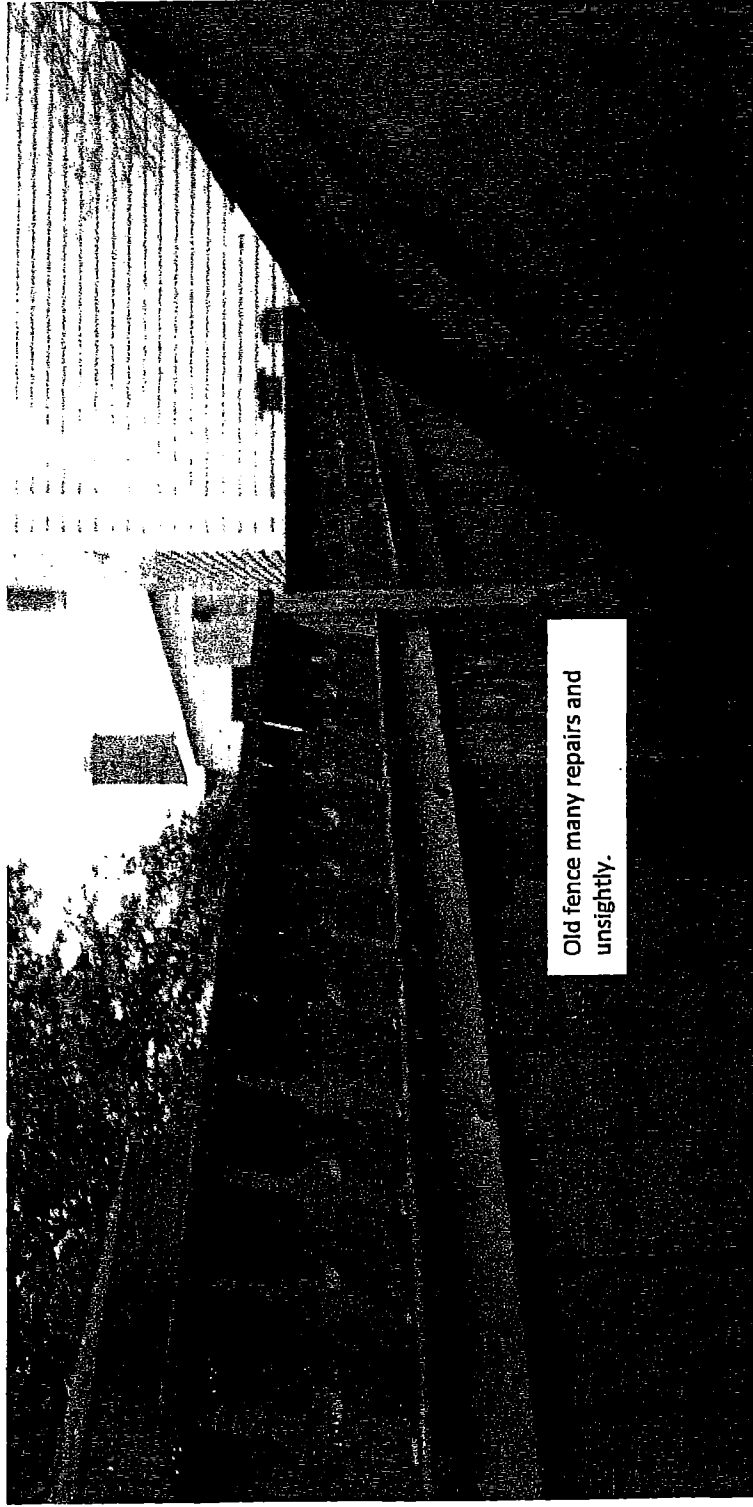
LOT 12 IN BLOCK 3 IN VICTORIA CROSSING, BEING A SUBDIVISION OF THE N.E. $\frac{1}{4}$ OF THE S.E. $\frac{1}{4}$ OF SECTION 17, TOWNSHIP 41 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN AND THE NORTH $\frac{1}{2}$ OF THE S.W. $\frac{1}{4}$ (EXCEPT THE EAST 80 ACRES THEREOF) OF SECTION 16, TOWNSHIP 41 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT 85240470, IN COOK COUNTY, ILLINOIS.

The hearing will be held on Wednesday, July 20, 2011 at 7:30 p.m. in the Hoffman Estates Municipal Building, 1900 Hassell Road, Hoffman Estates, IL.

Gordon Thoren, Chairman
Planning and Zoning Commission

To be published by Paddock Publications on Tuesday, July 5, 2011.

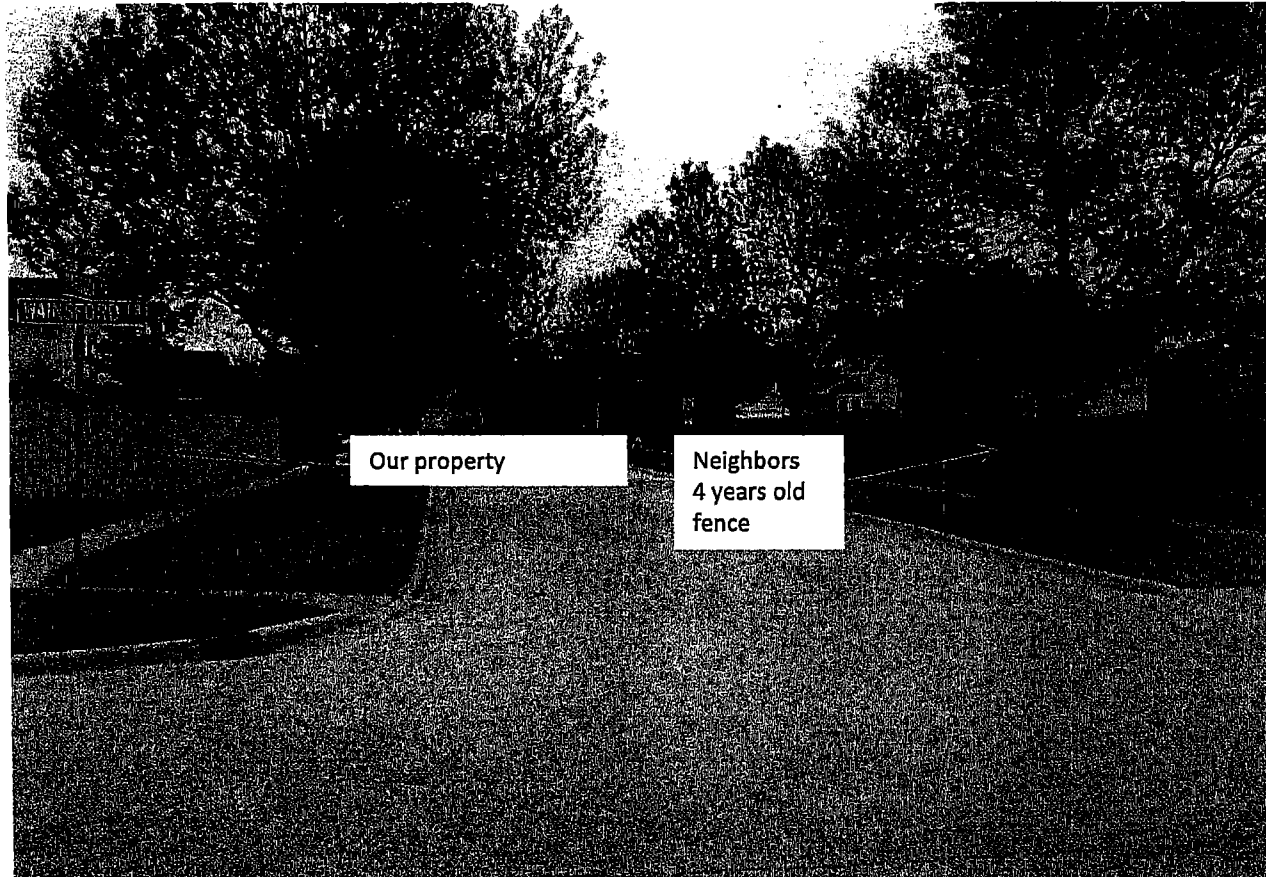
Gregory Continued
Old fence was patched many times.

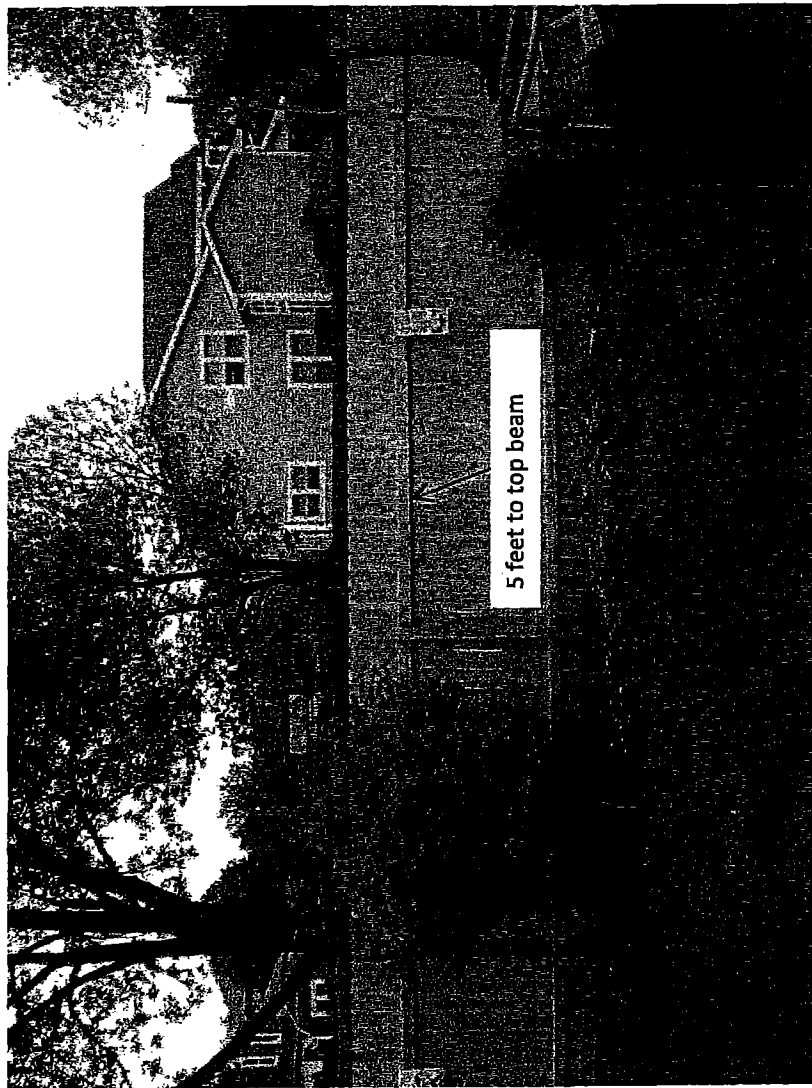


Old fence many repairs and
unsightly.

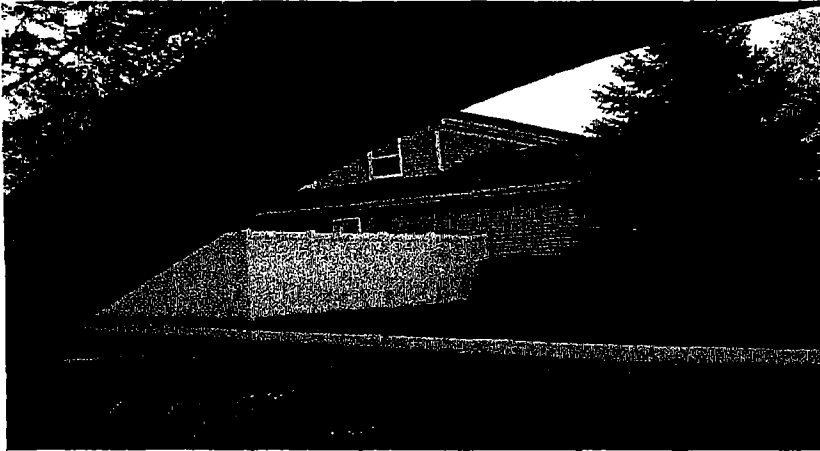
Gregory Continued

Our fence is the same height as the homes in close proximity to us





Gregory Continued
Homes with corner lots and newer 6' fences near our home.



1205 John Road

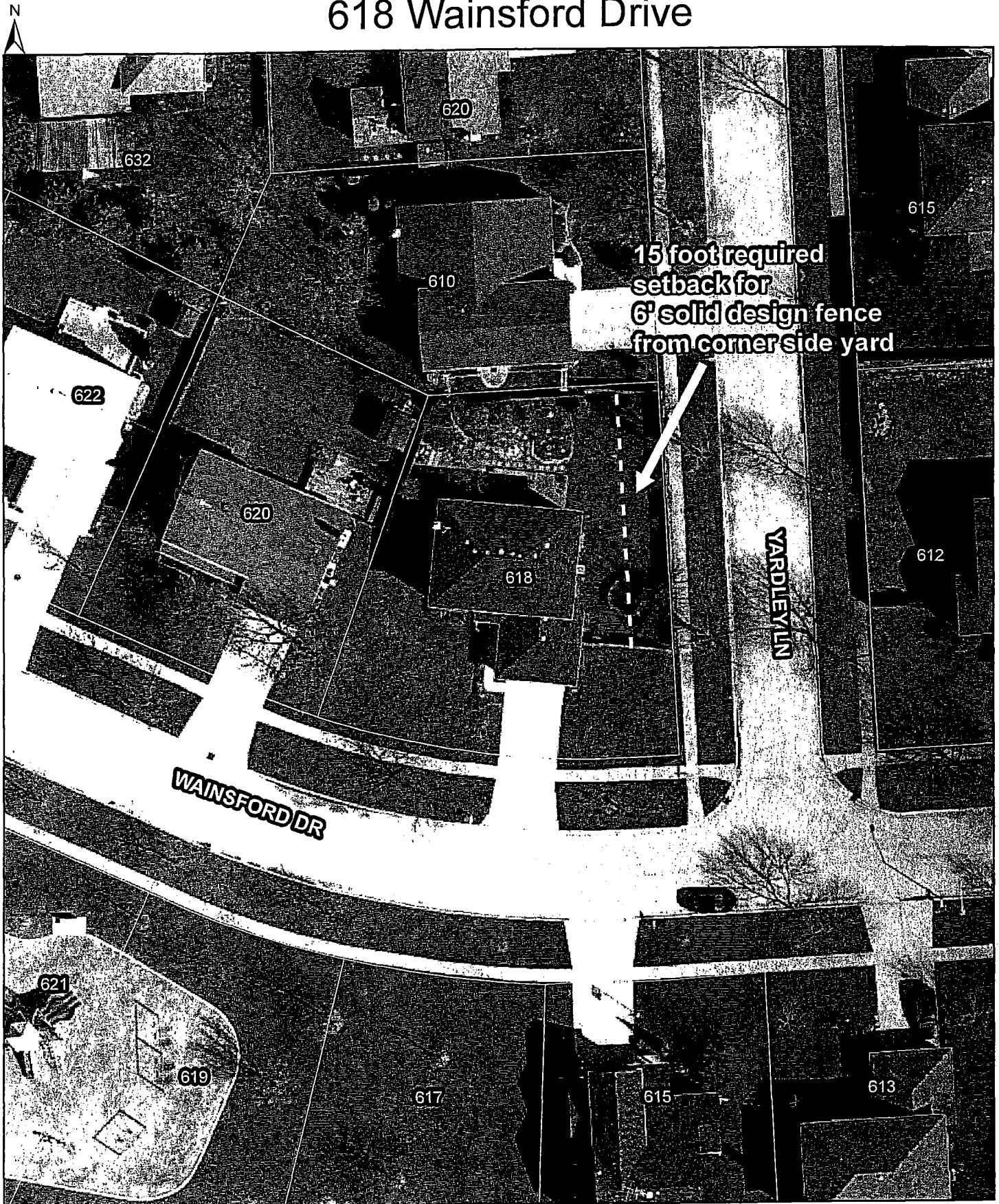


1155 Dovington



1125 Warwick

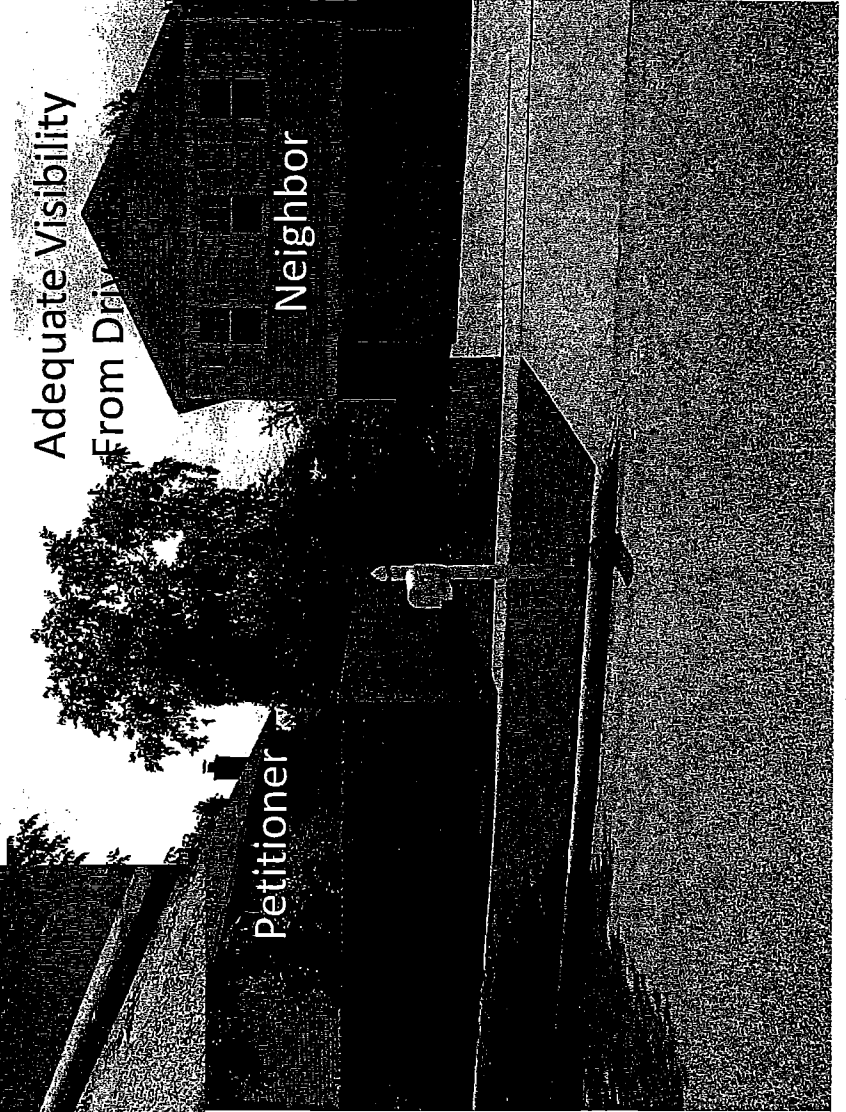
618 Wainsford Drive



1 inch = 40 feet

Planning Division
Village of Hoffman Estates
July 2011

618 Wainsford Drive



a r c h i t e c t s

02 September 2011

Mr. Peter Gugliotta
Director of Planning
Village of Hoffman Estates
1900 Hassell Road
Hoffman Estates, IL 60169

Re: Alliance Fellowship Church @ 665 Grand Canyon Street

Dear Mr. Gugliotta:

After the public hearing that was held on August 3rd, the church members and I have met to discuss the options of redesigning the parking lot expansion scope in order to accommodate the neighboring residents' concerns. We are in the process of working on a few concept plans to drastically reduce the expansion of the lot and preserve majority of the existing green spaces that the residents would like to keep as open space.

This option takes into consideration of using the CAC's current parking lot, minimal expansion to the south and east to efficiently plan the parking lot without significantly impacting the open spaces to the south.

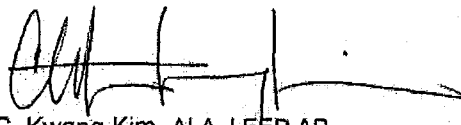
The church members and I are very optimistic in coming up with a plan that will please all parties involved. Therefore, we would like to request that the project be remanded to the earliest possible date of a public hearing in order to present the revised plan.

Please advise us of the outcome of the Village board meeting next week.

Meanwhile, if you have further questions, please feel free to contact me.

Sincerely submitted,

KWANG KIM ARCHITECTS, INC.



C. Kwang Kim, ALA, LEED AP
President

Cc: Mr. Brian Portz - Village of Hoffman Estates
Pastor Jason Kim - Alliance Fellowship Church
Elder Davy Hong - Alliance Fellowship Church



VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION
FINDING OF FACT

PROJECT NO.: 2011024P

VILLAGE BOARD MEETING DATE: September 12, 2011

PETITIONER(S): ALLIANCE FELLOWSHIP CHURCH

PROJECT ADDRESS: 665 GRAND CANYON STREET

ZONING DISTRICT: R-3, ONE FAMILY RESIDENTIAL

Does the Planning and Zoning Commission find that this request meets the Standards for a Special Use (Section 9-1-18) and Variation (Section 9-1-15)?

YES

NO

Recommendation: **FAILED**

Vote: 3 Ayes 8 Nays

PZC MEETING DATE: **AUGUST 3, 2011**

STAFF ASSIGNED: **BRIAN PORTZ**

Approval of a request by Alliance Fellowship Church at 665 Grand Canyon Street for:

- A. A site plan amendment to permit a second floor building addition and a parking lot expansion;
- B. A special use amendment to permit the expansion of a Church in an R-3, One Family Residential District; and
- C. A variation from Section 9-5-3-D-7 to allow the Church building to have a 0.42 floor area ratio, instead of the maximum permitted floor area ratio of 0.35.

The Planning and Zoning Commission recommends the following conditions:

1. This approval is granted subject to lease agreements being approved and signed by the Village and the Church and by the Hoffman Estates Park District and the Church for the use of the Village and Park District properties.
2. A waiver is hereby granted to Section 10-4-4-B-2-a of the Subdivision Code to allow a zero foot landscape site perimeter instead of the required ten foot site perimeter between the petitioner's property and the Village property, between the petitioner's property and the Park District property, and between the Park District property and the Village property.
3. The exterior lights shall not shine onto adjacent properties or streets. If the exterior lighting is determined to be a problem by the Village in the future, the petitioner shall take efforts to shield the lights to minimize glare onto adjacent properties and/or streets, as reviewed and approved by the Village.

AUDIENCE COMMENTS

The Planning & Zoning Commission heard concerns from adjacent residents, including the fact that green space would be lost with the expansion of the parking lot and that there may be more flooding problems that could be detrimental to the neighborhood. Many of the adjacent residents felt the loss of this open space would be detrimental to the future use and enjoyment of Hoffman Park. The Planning & Zoning Commission heard from the residents of 170 Des Plaines Lane, 319 and 360 Glendale Lane, and 570, 585, 595, 596, 605, and 660 Illinois Boulevard.

FINDING

The Planning & Zoning Commission considered the request of Alliance Fellowship Church for a second story building addition and parking lot expansion. The Commission had questions about the proposed detention pond on the south side of the parking lot, including how deep it will be and how long it will retain water during an average rainfall and also during a 100 year rain event. It was determined that there would not be a fence around the detention pond, which is typical in the Village for such detention facilities.

The Planning & Zoning Commission also discussed parking on and off-site. When St. Hubert's Church and Alliance Church are holding services, there is a lot of on street parking on Grand Canyon Street. The petitioner's parking consultant stated that based on the peak parking demand they observed, the expanded parking lot would be able to contain all of the parking demand for the Alliance Church without the need for the CAC parking lot or on-street parking. The idea of sharing parking with St. Hubert's was discussed, but it was brought to the Planning & Zoning Commission's attention that both churches have services at approximately the same time on Sundays, so shared parking would not be feasible.

There was discussion about the Alliance Fellowship Church possibly leasing the building to another congregation when they are not using the facility and whether that would be permitted. It was determined that if that occurred, the new congregation would have to apply for their own special use permit, since the special use for the property is only for Alliance Fellowship Church to use the building as a church.

At the conclusion of the public hearing, the Planning & Zoning Commission voted 8-3 to deny the request based on the standards for a special use not being met.

The petitioner had no objections to the recommended conditions.

PLANNING AND ZONING COMMISSIONERS

Chairman Gordon Thoren	Myrene Iozzo
Vice-Chairperson Eva Combs	Thomas Krettler
Donna Boomgarden	Gaurav Patel
Michael Gaeta	Steve Wehofer
Steve Hehn	Denise Wilson
Lenard Henderson	

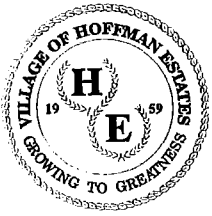
ROLL CALL VOTE

3 Ayes
(Gaeta, Iozzo, Wehofer)
8 Nays
0 Abstain
0 Absent
MOTION FAILED

Planning and Zoning Commission Finding of Fact
Special Use, Variation & Site Plan Amendment – Alliance Fellowship Church – 665 Grand Canyon Street
Village Board Meeting Date: September 12, 2011

The following attachments are hereby incorporated as part of this Finding of Fact:

- Site Plan Amendment Application
- Special Use Application
- Variation Application
- Project Narrative
- Parking Study
- Letter from Petitioner about Neighborhood Meeting
- Site Plan Showing All Properties Involved
- Architecture & Building Design Set
- Landscape Plan Set
- Engineering Plan Set



HOFFMAN ESTATES

GROWING TO GREATNESS

September 2, 2011

To All Interested Parties:

Previously on August 3, 2011, the Planning and Zoning Commission of the Village of Hoffman Estates held a public hearing at the request of Alliance Fellowship Church to consider a special use, site plan amendment, and floor area ratio variation from the Zoning Code to permit a building and parking lot expansion of the church on the property located at 665 Grand Canyon Street, and on a portion of the Village of Hoffman Estates owned property and Hoffman Estates Park District owned property. The Commission voted to not recommend approval and the recommendation will next be forwarded to the Village Board for consideration.

At the conclusion of the August 3, 2011, meeting, the Village Board meeting date was not yet certain and attendees were informed that notice would be sent once a date was determined. You are receiving this notice because you either received the initial meeting notice or you provided your address at the August 3, 2011, meeting.

The Village Board consideration of the requests by Alliance Fellowship Church will occur on **Monday, September 12, 2011, at 7:00 p.m.** The public meeting will be held in the Municipal Building, 1900 Hassell Road, Hoffman Estates, Illinois.

Please note that the Alliance Fellowship Church has submitted a request that this matter be remanded back to the Planning and Zoning Commission for a new recommendation based on their desire to change to the plans to try and address concerns raised at the August 3, 2011, meeting. On September 12, 2011, the Village Board will consider this request to remand the item for further review.

Please contact me at 847.781.2665 or at peter.gugliotta@hoffmanestates.org with any questions

Sincerely,

Peter Gugliotta, Director of Planning
Department of Development Services

PG/kr

1900 Hassell Road
Hoffman Estates, Illinois 60169
www.hoffmanestates.org

Phone: 847-882-9100
Fax: 847-843-4822

William D. McLeod
MAYOR

Jacquelyn Green
TRUSTEE

Gary Stanton
TRUSTEE

Karen V. Mills
TRUSTEE

Anna Newell
TRUSTEE

Bev Romanoff
VILLAGE CLERK

Raymond M. Kincaid
TRUSTEE

Gary J. Pilafas
TRUSTEE

James H. Norris
VILLAGE MANAGER



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT NO.: 2011024P

PROJECT NAME: ALLIANCE FELLOWSHIP CHURCH

PROJECT ADDRESS/LOCATION: 665 GRAND CANYON STREET

PUBLIC HEARING
YES NO

REZONING MASTER SIGN PLAN SPECIAL USE VARIATION

SITE PLAN AMENDMENT PLAT

MEETING DATE: AUGUST 3, 2011

STAFF ASSIGNED: BRIAN PORTZ *BP*

REQUESTED MOTION

Approval of a request by Alliance Fellowship Church at 665 Grand Canyon Street for:

- A. A site plan amendment to permit a second floor building addition and a parking lot expansion;
- B. A special use amendment to permit the expansion of a Church in an R-3, One Family Residential District; and
- C. A variation from Section 9-5-3-D-7 to allow the Church building to have a 0.42 floor area ratio, instead of the maximum permitted floor area ratio of 0.35.

INCLUDES RECOMMENDED CONDITIONS
YES NO

ACRES: 5.5 (APPROXIMATE)	ZONING DISTRICT: R-3, ONE-FAMILY RESIDENTIAL	
ADJACENT PROPERTIES:	NORTH: ST. HUBERTS CHURCH, ZONED R-3 EAST: CHILDREN'S ADVOCACY CENTER, ZONED R-3	SOUTH: SINGLE FAMILY HOMES, ZONED R-3 WEST: SINGLE FAMILY HOMES, ZONED R-3

PROPOSAL

The petitioner is proposing to construct a second story classroom addition onto the southernmost portion of the existing building. The building addition will include additional classroom and meeting spaces. There will be no expansion to the primary assembly space in the building. In addition to the new building construction, the existing parking lot on the east side of the property will be expanded from 148 to 304 parking spaces.

In order to accommodate the proposed parking lot expansion, the petitioner is proposing to lease a portion of Park District property (Hoffman Park) and a portion of vacant Village property to construct the expanded parking lot. The Village and Park District have agreed to this in concept and authorized the Planning & Zoning Commission review. If the site plan and zoning requests are approved, then the Park District and

Village Boards will formally consider the long-term lease agreements. Once the lease agreements have been finalized, the entire request, including the site plan amendment, special use amendment, and variation will be considered by the Village Board. The date of Village Board consideration has not yet been determined.

BACKGROUND

The Alliance Fellowship Church has an existing special use to operate a Church in an R-3, One Family Residential District that was granted in 1984. In 1990, a special use amendment was granted for a building addition and a height variation to add a steeple on top of the new addition.

The Children's Advocacy Center (CAC) leases the building on the Village property to the east. The vacant area to the west of the CAC building is proposed to be used for the expanded parking lot. This area of the property is vacant land that is not utilized by the CAC. This portion of the property previously contained a building that was used by Hoffman Estates public works.

SPECIAL USE – ZONING CODE SECTION 9-5-3-C-2

Section 9-5-3-C-2 of the Zoning Code shows that a church is permitted in the R-3 District as a special use. Any expansion of an existing church in an R-3 district requires a special use amendment.

For the special use permit review, the Planning & Zoning Commission shall consider the use of the proposed second story addition for additional classroom space and the potential impact it may or may not have on the parking on and off-site and the potential impacts the granting of the special use amendment may or may not have on the surrounding neighborhood. Specifically, "Section 9-1-18-1 of the Zoning Code (Standards for a Special Use) states: "No special use shall be recommended by the Planning and Zoning Commission unless said Planning and Zoning Commission shall find:

1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
4. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;
5. That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets; and
6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Planning and Zoning Commission.

According to the petitioner, the extra classroom and meeting space will not result in any additional classes or meetings offered. The space will be used to further accommodate the services and classes that are already offered, thus there will not be any further parking or traffic impacts on the neighborhood with the building addition.

The proposed parking lot expansion will double the amount of off-street parking available to patrons of the Church, thus reducing the existing impact of the Church parking on the surrounding streets. According to the parking study provided by the petitioner, the peak parking demand can easily be accommodated within the expanded parking lot.

SITE PLAN AMENDMENT

The site plan amendment review will consider the proposed site plan, including access, engineering, landscaping, building design, exterior lighting, fire department, and parking analysis.

Access

Access to the expanded parking lot will be from the existing driveway from Glendale Lane. There will also be a new connection made to the parking lot used by the Children's Advocacy Center and Chino Park to the east. The right to build this connection will be included in the lease agreement between the Alliance Church and the Village.

Engineering – Subdivision Code Section 10-3

The engineering for the site including grading, detention (including detention for the pavement on the Village and Park District properties) and utilities has been reviewed by the Village Engineer and meets the Subdivision Code requirements.

Landscaping – Subdivision Code Section 10-4

The landscape plan identifies a mix of trees, shrubs and perennials on the site and exceeds the requirements, except for the site perimeter requirement as outlined in Item #1 in the Discussion section of this report.

The portions of the Park District and Village properties that will be utilized are currently open areas with lawn and trees. A few trees will be removed to make room for the parking lot expansion. These trees are generally less than desirable species and are mostly in poor condition. The existing trees are not subject to the tree preservation ordinance. Additional trees will be added with the parking lot expansion to meet Village Code requirements.

Building Design – Subdivision Code Section 10-5-3-H

The second floor building addition will be designed with brick to match the color and style of the existing brick on the rest of the building. There will be a brown brick soldier course to also match the existing detail on the building. The new roof top mechanical units will be screened with a brown colored metal screening to match the building brick color. The windows will be made of tinted glass to match the existing windows on the building. The massing of the second story addition will compliment the existing sanctuary portion of the Church building, which is a tall, 2 to 3 story structure. Changes to the footprint of the bulding will be minimal with the proposed addition.

The architecture and design of the building addition will meet Subdivision Code requirements.

Exterior Lighting – Subdivision Code Section 10-5-3-G

The photometric plan and cut sheets identifying the light standards to be used on the site meet Village Code requirements. At the Glendale Lane and Illinois Boulevard rights of way, the light intensity levels on the ground produced by the proposed exterior lighting will be zero. The light fixtures will be located within the interior of the parking lot and will be shielded as needed to minimize glare onto adjacent properties and streets.

Fire Department

Heavy duty pavement will be installed on the entry drive from Glendale Lane and through a portion of the parking lot to provide emergency vehicle access through the parking lot and adjacent to the building.

All Fire Department issues pertaining to the site layout have been addressed with the design of the site, as proposed.

Parking Analysis

The existing lot on the east side of the building currently contains 98 parking spaces. This entire lot will be removed and replaced with a new lot containing 252 spaces. There are 52 parking spaces in the parking lot adjacent to the Church building on the southwest corner of the property that will remain. After the parking lot expansion is completed, there will be a total of 304 off-street parking spaces available for Church members.

As illustrated in a parking study prepared by the petitioner's consultant, the peak parking demand observed for the Church was 257 vehicles during the 11:45 AM Sunday service. During the parking demand survey, these vehicles were parked in the Church's parking lots, in the Children's Advocacy Center parking lot, and on Glendale Lane and Grand Canyon Street. With the proposed parking lot expansion, this typical peak parking demand will be easily accommodated on the Church site without the use of the CAC lot or the adjacent streets. Even if the Church were to reach the maximum capacity of 715 persons, the extra vehicles could be accommodated on the adjacent streets and/or the CAC parking lot.

The proposed building addition is expected to have no effect on the parking demand for the Church. The additional classroom space proposed with the second story building addition will not affect the existing Sunday worship services as the operational hours of the second story will be consistent with the existing use of the building. Also, no additional staff will be added with the second floor expansion to affect parking demand.

The Village Transportation & Engineering Division has reviewed the information provided by the petitioner for the proposed parking and advises that the proposed parking lot expansion will be sufficient to accommodate the existing Church membership and the proposed classroom addition.

VARIATION – ZONING CODE SECTION 9-5-3-D-7

Section 9-5-3-D-7 of the Village Code specifies that the floor area ratio shall not exceed 0.35 for a property in the R-3 District. A variation from the floor area ratio is being requested by the petitioner to allow the construction of the second story addition. Floor area ratio is defined in the Village Code as "*the numerical value obtained through dividing the gross floor area of a building or buildings by the total area of the lot or parcel of land on which such building or buildings are located.*" The existing building is 41,413 square feet in gross floor area, which when divided by the total area of the lot is slightly under the maximum permitted floor area ratio of 0.35. After completion of the 8,302 square foot second floor addition, the total gross floor area of the building will be 49,726 square feet, which equates to a floor area ratio of 0.42.

The Standards for a Variation (Section 9-1-15-C of the Zoning Code) states that the Planning and Zoning Commission shall not recommend the variation of the regulations of the Code unless it shall first make a finding based upon the evidence presented to it in each specific case that:

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located;
2. The plight of the owner is due to unique circumstances;
3. The variation, if granted, will not alter the essential character of the locality.

For the purpose of implementing the above rules, the Planning and Zoning Commission shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the applicant have been established by the evidence:

1. The particular physical surroundings, shape of topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;
2. The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning classification;
3. The purpose of the variation is not based exclusively upon a desire to increase the value of the property;
4. The alleged difficulty or hardship has not been based exclusively upon a desire to increase the value of property;
5. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and

Meeting Date: August 3, 2011

6. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood.

The Planning and Zoning Commission may recommend to the Village Board that such conditions and restrictions be imposed upon the premises benefited by a variation as may be necessary to comply with the standards set forth in this section to reduce or minimize the injurious effect of such variation upon other property in the neighborhood, and better to carry out the general intent of the Village Code.

The variation request from the floor area ratio requirement is based on a calculation for the Church property only. The adjacent Park District and Village properties were not taken into consideration when calculating the revised floor area ratio for the property. The proposed parking lot will be located on Village and Park District property. Once the new parking lot is constructed, the Church "property" will appear to be larger and thus the FAR variation will not have as great of an impact on the neighborhood. Also, the FAR variation is only required because of the second floor addition. The footprint of the building will have a very minor change with the construction of an elevator/entryway to access the second story addition. The building coverage on the lot will not change much.

DISCUSSION

Discussion item #1: Landscape Site Perimeter - Village Code requires a 10' landscape site perimeter around all lots. Since the petitioner is proposing to construct the parking lot over the property lines between the Church property and the Village property, between the Church property at the Park District property, and between the Park District property and the Village property, a 10' landscape site perimeter adjacent to all the property lines will not be practical. Therefore, the petitioner is requesting a waiver from this requirement. A condition of approval is recommended address this waiver from the Code.

NOTIFICATION

Standard notification letters were sent to property owners within a 300 foot radius of the property notifying them of the August 3, 2011 public hearing. In addition, two notification signs have been posted on the property providing notice of the public hearing.

In April of this year, the petitioner held a neighborhood meeting to make the neighbors aware of the plans for the Church and to listen to any comments or concerns that they might have. The Church notified residents within a 300 foot radius in writing of the neighborhood meeting. None of those residents notified came to the meeting.

RECOMMENDED CONDITIONS

If the Planning & Zoning Commission determines that the site plan amendment meets the intent of the Subdivision Code, the standards for a special use are met, and the standards for a variation are met, Village staff recommends the following conditions of approval:

1. This approval is granted subject to lease agreements being approved and signed by the Village and the Church and by the Hoffman Estates Park District and the Church for the use of the Village and Park District properties.

2. A waiver is hereby granted to Section 10-4-4-B-2-a of the Subdivision Code to allow a zero foot landscape site perimeter instead of the required ten foot site perimeter between the petitioner's property and the Village property, between the petitioner's property and the Park District property, and between the Park District property and the Village property.
3. The exterior lights shall not shine onto adjacent properties or streets. If the exterior lighting is determined to be a problem by the Village in the future, the petitioner shall take efforts to shield the lights to minimize glare onto adjacent properties and/or streets, as reviewed and approved by the Village.

Attachments:

Site Plan Amendment Application
Special Use Application
Variation Application
Project Narrative
Parking Study
Letter from Petitioner about Neighborhood Meeting
Site Plan Showing All Properties Involved
Architecture & Building Design Set
Landscape Plan Set
Engineering Plan Set

VILLAGE OF HOFFMAN ESTATES
ZONING BOARD OF APPEALS

REQUEST FOR SPECIAL USE HEARING

FOR VILLAGE USE ONLY

Hearing Fee \$ 400.00 Date Paid 3/24/18 Received By P. Moore

Hearing Date: _____ Time: _____ Legal Published _____

Receipt Number 30334 Check No. 13727 Zoning District R-3

PLEASE PRINT OR TYPE

1. Name of Property Owner(s)* Alliance Fellowship Church

E-Mail Address JasonK@afcc.org Fax 847-884-6151

Owner's Address 665 Grand Canyon St Phone 847-884-0951

City Hoffman Estates State IL Zip 60194

Subject Property's Address (if different than #1): SAME

2. Person applying if other than owner:*

Name Jae W. Hong / ELDER @ AFC Company Alliance Fellowship Church

E-Mail Address davyhong@msn.com Fax 847-884-6151

Address 665 Grand Canyon St Phone 847-884-0951

City Hoffman Estates State IL Zip 60194

3. Property Index Number (PIN) 07-15-308-008-0000

5. Please describe the proposed use, or attach a letter.

SECOND FLOOR CLASSROOM ADDITION OVER EXISTING
ONE STORY CLASSROOM WING. ALSO, AN EXPANSION
OF PARKING LOT

* If "owner" is an entity other than an individual(s), then an Economic Disclosure Statement must also be filed.

6. **An Immediate Authorization to Apply for Permits** allows the Code Enforcement Division to begin the building permit review process prior to the adoption of the Ordinance by the Village Board. The Immediate Authorization makes it possible for you to expedite the plan review process by approximately two weeks. Contact the Code Enforcement Division at 847/781-2631 to discuss the building permit application and review process.

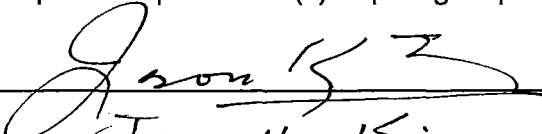
Please check one of the following

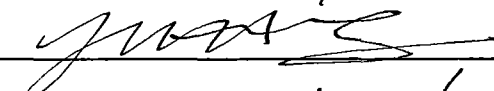
Yes, I request Immediate Authorization to Apply for Permits upon approval of my application by the Village Board, allowing me to begin the building permit review process prior to adoption of the Ordinance approving my special use.

Or

No, I do not request Immediate Authorization to Apply for Permits.

7. **I, the undersigned**, certify the information and submissions provided accurately represent the current conditions and proposed improvement(s) requiring a special use.

Owner's Signature 
Name (Please Print) Jason H. Kim

Applicant's Signature 
Name (Please Print) Joe W. Houg/Elder

All requests for a hearing must be accompanied by the items required according to the nature of the request. All fees must be paid before Zoning Board can hear any case. Any additional fees must be paid before any findings or reports are given to the Village Board.

Village of Hoffman Estates
Plan Commission
Non-Residential Application

Site Plan Amendment

Project Name: ALLIANCE FELLOWSHIP CHURCH:
BUILDING ADDITION & PARKING LOT EXPANSION
Submission Date: 5.7.11

I. Owner of Record

ALLIANCE FELLOWSHIP CHURCH
Name
665 GRAND CANYON ST.
Address
60194 (847) 884-0951 (847) 884-6151
Zip Code Area Code Telephone Number Area Code Fax Number

II. Developer

Name
Address
Zip Code Area Code Telephone Number Area Code Fax Number

III. Contact Person / Project Manager

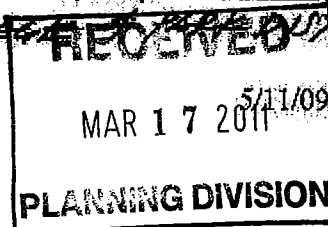
PASTOR JASON KIM
Name
665 GRAND CANYON ST.
Street Address
60194 (847) 884-0951 (847) 884-6151
Zip Code Area Code Telephone Number Area Code Fax Number

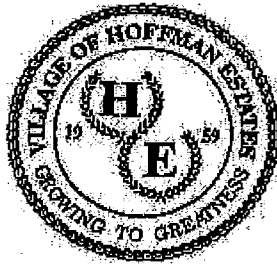
E-mail Address

Applicant's relationship to property: PASTOR

IV. Project Description (Attach separate sheet if additional space is needed):

① SECOND FLOOR ADDITION @ CLASSROOM WING WITH
IMPROVED ENTRY & ELEVATOR TOTAL FLOOR AREA
OF 8,913SF. ② EXPANSION OF CURRENT PARKING
LOT (148) TO A TOTAL OF 302 CARS WITH
LEASE AGREEMENTS WITH THE VILLAGE OF HOFFMAN ESTATES





ACKNOWLEDGMENT

Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Plan Commission member or Chair, or any Zoning Board of Appeals member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village.

Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.

I, the undersigned, certify the information provided on this Application accurately represents the proposal.

X Owner's Signature:

Owner's Name (Please Print):

ALLIANCE FELLOWSHIP CHURCH

X Applicant's Signature:
(If Other than Owner)

Applicant's Name (Please Print):

PASTOR JASON KIM

Please contact the Planning Division (located in the Municipal Building) with any questions:

Address: 1900 Hassell Road
Hoffman Estates, IL 60169
Phone: (847) 781-2660
Fax: (847) 781-2679

**VILLAGE OF HOFFMAN ESTATES
ZONING BOARD OF APPEALS
REQUEST FOR NON-RESIDENTIAL VARIATION HEARING**

FOR VILLAGE USE ONLY

Hearing Fee \$ 400.00 Date Paid 3/24/10 Received By P. Moore
 Hearing Date: _____ Time: _____ Legal Published _____
 Receipt Number 30334 Check No. 13728 Zoning District R-3

Front Yard Setback, Side Yard Setback, Rear Yard Setback, Height, or Other Variation	Present Condition	Required	Proposed

PLEASE PRINT OR TYPE

1. Name of Property Owner(s)* ALLIANCE FELLOWSHIP CHURCH
 E-Mail Address jasonk@aafc.org Fax #: 847-884-6151
 Owner's Address 665 GRAND CANYON Phone 847-884-0951
 City HOFFMAN ESTATES State IL Zip 60194

Subject Property's Address (if different): SAME

2. Person applying if other than owner:*

Name JAE W. HONG / ELDER @ AFC Company ALLIANCE FELLOWSHIP CHURCH
 E-Mail Address davyhong@msn.com Fax #: 847-884-6151
 Address 665 GRAND CANYON Phone 847-846-3456
 City HOFFMAN ESTATES State IL Zip 60194

3. Property Index Number (PIN) 07-15-308-008-0000

* If "owner" is an entity other than an individual(s), then an Economic Disclosure Statement must also be filed.

4. Is the applicant the original owner? YES. Did the condition that instituted this request for a variation exist at the time the applicant purchased this property? If yes, please describe.

NO

5. Describe the improvement that needs a variation and the reasons a variation would be appropriate using the Standards for Variation (attached) as a guide. (e.g. An addition requires a 5-foot front yard setback variation. A hardship was caused by a street-widening project that reduced the front yard by 10 feet.)

A SECOND FLOOR CLASSROOM ADDITION IS REQUIRED OVER THE EXISTING SOUTH CLASSROOM WING TO ACCOMMODATE THE GROWTH OF CHURCH CONGREGATION. A 20% F.A.R. OR 8,302 SF INCREASE IS REQUESTED FROM MAX. BUILDING AREA.

6. Describe existing construction materials and proposed materials indicating if proposed construction will match or blend with the existing structure.

NEW PROPOSED ADDITION WOULD MATCH IN EVERY CHARACTER WITH THE EXIST BRICK, WINDOWS & DOORS OF THE FIRST FLOOR.

7. Estimated Total Project Cost 1 MILLION

8. Will the proposed construction require removal/relocation of trees, driveway apron, utilities, other? If yes, please describe.

YES. THE PROPOSED ADDITION WILL REQUIRE ADDITIONAL PARKING & LANDSCAPING. WE ARE PROPOSING A LEASE AGREEMENT WITH THE PARK DISTRICT & THE VILLAGE TO ACCOMMODATE A TOTAL OF 302 PARKING SPACES OFF-STREET. (REFER TO SITE/PARKING PLAN C-3).

9. An Immediate Authorization to Apply for Permits allows the Code Enforcement Division to begin the building permit review process prior to the adoption of the Ordinance by the Village Board. The Immediate Authorization makes it possible for you to expedite the plan review process by approximately two weeks. Contact the Code Enforcement Division at 847/781-2631 to discuss the building permit application and review process.

Please check one of the following

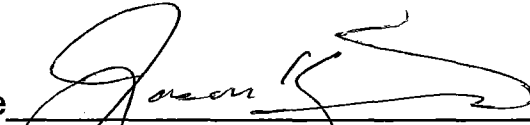
Yes, I request Immediate Authorization to Apply for Permits upon approval of my application by the Village Board, allowing me to begin the building permit review process prior to adoption of the Ordinance approving my variation.

Or

No, I do not request Immediate Authorization to Apply for Permits.

10. I, the undersigned, certify the information and submissions provided accurately represent the current conditions and proposed improvement(s) needing a variation.

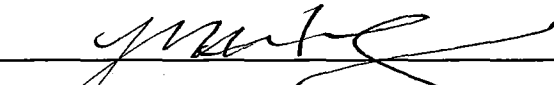
Owner's Signature



Name (Please Print)

JASON H. KIM - ALLIANCE FELLOWSHIP CHURCH (A.F.C.)

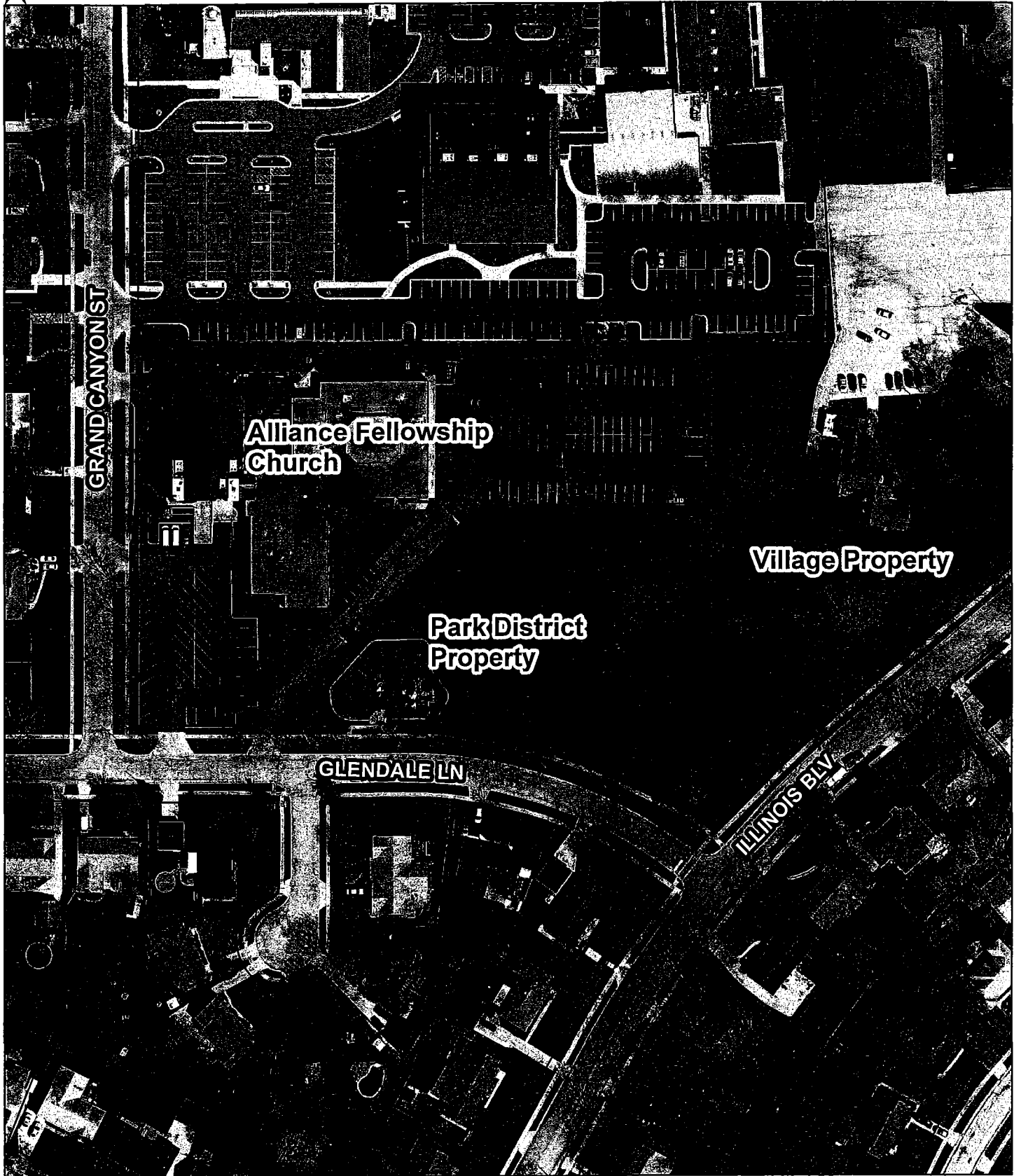
Applicant's Signature



Name (Please Print)

JAE W. HONG - ELDER @ A.F.C.

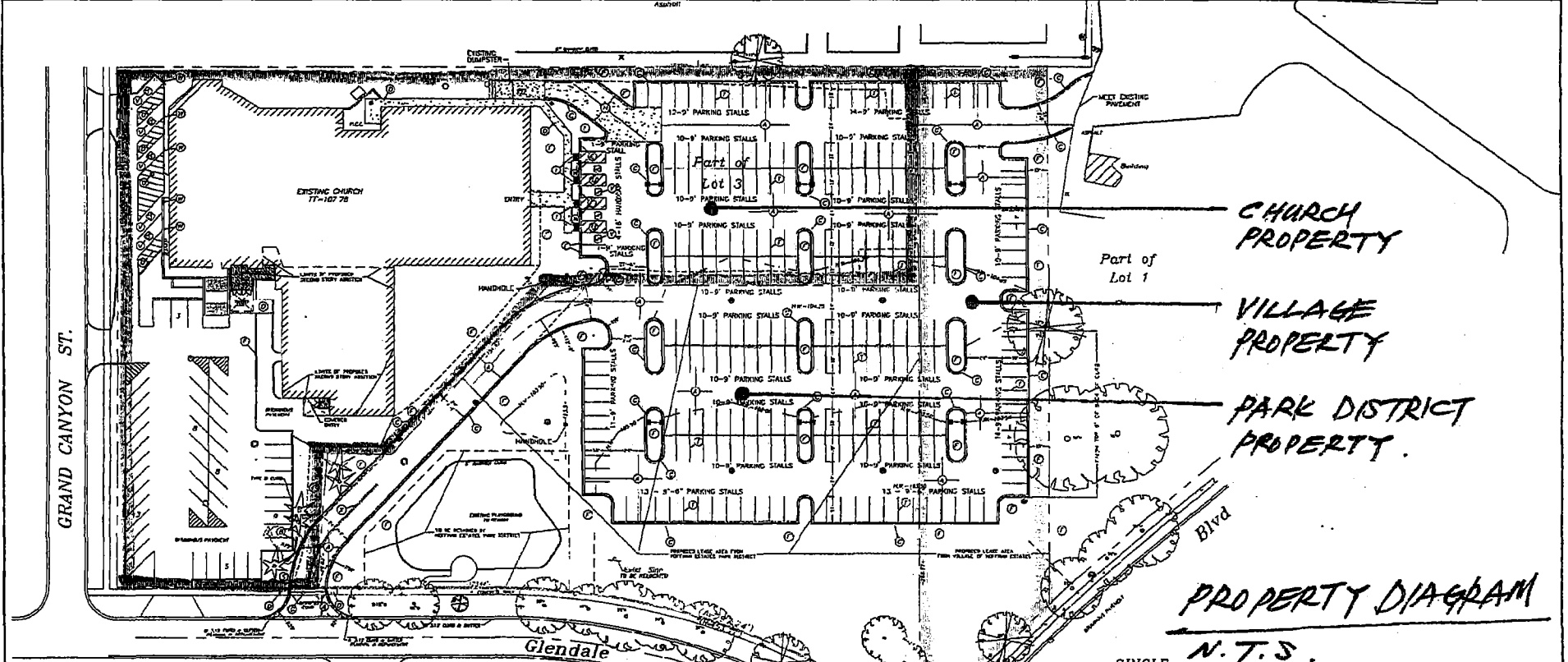
Alliance Fellowship Church



1 inch = 125 feet

Department of Development Services
Planning Division
August 2011

ASB001



CHURCH PROPERTY

VILLAGE PROPERTY

PARK DISTRICT PROPERTY

PROPERTY DIAGRAM

N.T.S.

SINGLE FAMILY RESIDENTIAL

SURFACE LEGEND

- Ⓐ 1-1/2" BITUMINOUS CONCRETE SURFACE COURSE (CL-0)
- 1-1/2" BITUMINOUS CONCRETE BINDER COURSE
- 10" AGGREGATE BASE COURSE, TYPE B, CRUSH CA-5
- Ⓑ PRECAST CONCRETE BLOCK LANDSCAPE WALL
- Ⓒ COMBINATION CONCRETE CURB & GUTTER, TYPE B 6.12
- 2, NO. 5 REBARS
- Ⓓ 5" P.C. CONCRETE SIDEWALK
- 3" GRANULAR SUBBASE, TYPE B
- Ⓔ PRECAST CONCRETE WHEEL STOP
- Ⓕ 5" TOP SOIL & SEED BLANKET
- Ⓖ 8" P.C. CONCRETE SIDEWALK
- 3" GRANULAR SUB-BASE, TYPE B
- Ⓗ 5" P.C. CONCRETE
- Ⓙ 3" x 6" NO. 6 STEEL MESH
- 5" GRANULAR SUB-BASE, TYPE B
- Ⓚ TRUNCATED DOME
- Ⓛ CONCRETE CURB, TYPE B (SPECIAL)

NOTE:
ALL DIMENSIONS ARE MEASURED FROM FACE OF CURB

SIGNING & STRIPING LEGEND

- Ⓐ STOP SIGN ON STEEL POST
- Ⓑ 24" STOP LINE, WHITE PAINT
- Ⓒ 4" PARKING STALL LINE, PAINTED-YELLOW
- Ⓓ 4" DIAGONAL LINE ON 4" CTR., PAINTED-YELLOW
- Ⓔ HANDICAPPED SYMBOL, PAINTED-YELLOW ON BLUE BACKGROUND
- Ⓕ HANDICAPPED & \$250 FINE SIGN ON STEEL POST/BLDG.
- Ⓖ 4" DOUBLE CENTER LINE, YELLOW PAINT

PARKING STALLS	
9' PARKING STALLS	247
16" HANDICAP STALLS	9
EXISTING 9' PARKING STALLS	46
TOTAL	302

PROJECT BENCHMARK
NORTHWEST FLANGE BOLT
ELEVATION= 99.75 ASSUMED DATUM

<p>LEGEND</p>	<p>LEGEND</p>	<p>LEGEND</p>	<p>SURVEYOR JOHN A. ERST, PLS SURVEY SYSTEMS OF AMERICA 645 S. BIRN ST. MELROSE PARK, IL 60110 PH: 847-420-3775</p>	<p>ARCHITECT C. WINGO HAS, ALL RIGHTS RESERVED 1000 N. WASHINGTON ST. CHICAGO, IL 60611 PH: 312-329-8444 FX: 312-329-8222 WWW.WINGOHAS.COM</p>	<p>OWNER ALLIANCE YELLOWSHIP CHURCH 645 GRAND CANYON ST NORTHWIND SQUARE, IL 60114 PH: 847-970-6640 FX: 847-970-9856</p>	<p>DATE: 05/05/11</p> <p>NO. 1</p>	<p>DATE: 05/05/11</p> <p>NO. 1</p>	<p>DATE: 05/05/11</p> <p>NO. 1</p>	<p>NORWAN J. TOBERMAN & ASSOCIATES CONSULTING CIVIL ENGINEERS 2016 S. JEFFERSON ST. #200 CHICAGO, IL 60628 PH: (773) 424-8200 FAX: (773) 424-8221 WWW.NJTOBERMAN.COM</p>	<p>PROPOSED PARKING LOT 650 GRAND CANYON ST NORTHWIND SQUARE, IL 60114 N.J.T. Project No.: 09-5685 EXPIRES: 11-30-11</p>	<p>SITE PLAN Sheet No. C-3 DATE: 05/05/11</p>
						<p>SCALE: 1" = 10'</p>					

Proposal for Classroom Addition and Parking Lot Expansion for Alliance Fellowship Church

On behalf of the Alliance Fellowship Church (AFC), located on 665 Grand Canyon Street in Hoffman Estates, the following detailed narrative prepared by Kwang Kim Architects, Inc. (KKA) will attempt to address and describe the needs for the proposed classroom addition and parking lot expansion.

The building addition that the Alliance Fellowship Church is proposing is comprised of various elements of the existing one story classroom wing and main entrance, which is located on grade that will update some existing deficiencies such as absence of an elevator, lacking additional classroom and meeting spaces.

The proposed floor plan calls for a covered entry with a vestibule, foyer with a small passenger elevator that will travel to the balcony level, and some additional landscaping adjacent to the proposed entrance. The total addition to the footprint excluding the canopied area is around 325 SF. The other component of the building addition is the second floor classroom addition over the existing one story educational / administrative wing. The second floor addition of 75' x 100' will be built directly above the existing one story footprint except for a new entry vestibule located on the first floor and the area above the newly defined classroom entry that provides a covered entrance. The total building area for both of the components of the addition yields 8,313 SF.

Currently, within the one story classroom / administrative wing, it contains 6 class / meeting rooms, 3 administrative offices plus a bookshop, and 2 toilet rooms. In the proposed second floor plan, there will be 3 large classrooms that can be subdivided into smaller rooms, 3 smaller classrooms / meeting rooms, toilet rooms, a large conference room, security office, and a second fire stair.

The parking lot expansion attempts to resolve multiple issues that are existing including insufficient number of parking spaces for the users, crowding of cars along the entry drive, parking on lawns, overcrowding of street parking, better lighting and landscaping.

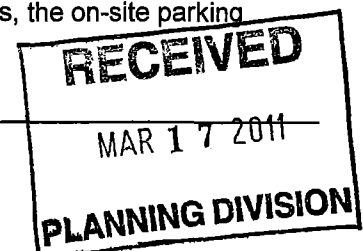
If permission is granted by the Village and the Park District to lease the adjacent properties, AFC is willing to improve the property as an integral parking lot for the church and also allowing the general public to use the parking spaces to access the play lot at off-hours, which will not conflict with the needs of the church visitors. Please refer to the site plan for additional information and the proposed layout of the leased properties and the AFC property.

The existing AFC maintains 3 worship services on Sundays at 8:30 AM, 9:45 AM, and 11:45 AM. Including children, there are approximately 130-150 attendees for the 8:30 AM service, 50-60 for the 9:45 AM service and 240-270 for the 11:45 AM service. During the week, group meetings, study groups, and activities may occur. There are 16 clergy and 2 staff members at AFC and the number will remain the same even with the expansion. Based on the information given by AFC, although the total number of both visitors and staff for the 11:45 AM service was determined at 566 persons, which is the service with greatest number of attendees. Based on the data by AFC, the future projection of attendees was calculated to be 715 persons, which is the maximum occupancy capacity of the church.

Based on the data collected by Metro Transportation Group, Inc. (MTG), the current number of parking stalls on-site is 148 spaces and at peak times, the on-site parking

K

a



increases to 199 cars, which is a result of parking over marked areas and along the internal roadways. In addition, 15 cars were parked on Grand Canyon Street, 12 cars on Glendale Lane, and 31 cars on Children's Advocacy Center (CAC). The total number of cars was determined to be 257.

With consideration of AFC's proposed parking lot expansion, there are total of 302 spaces on-site. The current peak demand of 257 will easily be met with 302 spaces on-site. However, in the worst-case scenario based on the total maximum occupancy of 715, with the parking ratio determined by MTG at 2.08, the maximum parking demand will be 344. The deficit of 42 spaces can easily be accommodated by the capacity of CAC lot of 73, Glendale Lane of 15 and Grand Canyon Street of 26.

Finally, the use of the new addition of the classroom wing will be occupied by various groups formed by the current attendees / members such as, adult bible study group, choir group, youth groups of varied ages, children's groups of varied ages, nursery, Sunday school classrooms of different age groups, multi-media group, day camp groups, community outreach group, and mission groups. Also, the staff and members will conduct non-reoccurring meetings in the new spaces as well. The only groups that will meet concurrent with the Sunday services are Sunday school classes for children and youths and nursery.

Given the various groups stated above, there will be maximum of 2 weekdays, where the exact time have not been determined yet, that the groups such as community outreach group, mission group, adult bible study group and youth group will meet. At any one given time, a maximum of 5 groups might meet where the children and youth will be sub-divided based on the age groups during the Sunday service. The additional classrooms will be designated and decorated for each of the groups with exception of general meeting rooms. The additional classrooms will not necessary mean more classes, but groups will be formed based on the needs of the groups such as further subdividing the ages, nursery, pre-K, 1-2 grades, 3-5 grades, 6-8 grades, high school, etc.

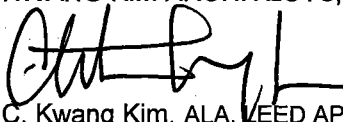
Our vision for the church, as it is with many other congregations, has always been to provide a meaningful place for people to worship and to provide a welcoming accommodation for people of all ages and backgrounds. The church members and visitors travel from remote places to have a chance to congregate meaningfully together once a week in worship, learning, and socializing. In order to fulfill such a task is to accommodate the need for additional parking lot spaces and additional classrooms / meeting rooms

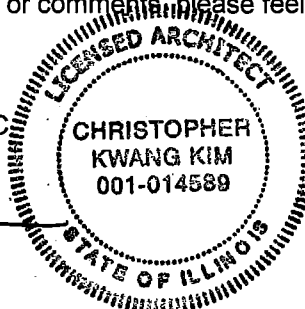
The Alliance Fellowship Church feels strongly that in order to meet the immediate and future goals, the church building and parking lot must expand.

If you have any further questions or comments, please feel free to contact me.

Sincerely submitted,

KWANG KIM ARCHITECTS, INC


C. Kwang Kim, ALA, LEED AP
President



Cc: Pastor Jason Kim- Alliance Fellowship Church
Elder Davy Hong - Alliance Fellowship Church



METRO TRANSPORTATION GROUP, INC.
Your Transportation Resource

3100 W. HIGGINS ROAD, STE. 100
HOFFMAN ESTATES, IL 60195-2093

TELEPHONE: 630.213.1000
FACSIMILE: 630.213.3227
www.metrotransportation.com

TRAFFIC ENGINEERING
TRANSPORTATION PLANNING
SIGNAL SYSTEMS/DESIGN

MEMORANDUM

TO: Mr. Davy Hong
Alliance Fellowship Church

FROM: Lynn M. Means, P.E., PTOE
Senior Transportation Engineer

Brian J. Roberts, E.I.T.
Transportation Associate

DATE: November 27, 2007
Updated February 22, 2010

SUBJECT: Parking Study for Alliance Fellowship Church
Hoffman Estates, Illinois

INTRODUCTION

Metro Transportation Group, Inc. was retained by the Alliance Fellowship Church to perform a parking study in connection with the proposed expansion of the Alliance Fellowship Church facility in Hoffman Estates, Illinois. As proposed, the development will consist of constructing an 8,313± square foot expansion to the existing facility to provide additional classroom space. The proposed church facility has a maximum capacity of 715 persons. The proposed expansion will increase the parking capacity of the church facility from 148 parking spaces to 302 parking spaces. The focus of this study was to determine the number of parking spaces required to accommodate the proposed development and identify the adequacy of the proposed parking supply.



EXISTING CONDITIONS

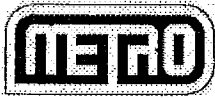
Site Location

The existing Alliance Fellowship Church is located at 665 Grand Canyon Street, in the area of the northeast quadrant of the Glendale Lane and Grand Canyon intersection. Adjacent land uses include the Children's Advocacy Center (CAC) and Hoffman Park to the east, St. Hubert's Church to the north, and residential to the south and west of the site.

Current Site Characteristics

The existing Alliance Fellowship Church, currently maintains three scheduled services on Sunday at 8:30 AM, 9:45 AM, and 11:45 AM. Based on information provided by church staff, typical attendance, including children, is approximately 130 to 150 parishioners for the 8:30 AM service, 50 to 60 parishioners for the 9:45 service, and 240 to 270 parishioners for the 11:45 AM service. Concurrent with the 9:45 AM service, English Worship is held with a typical attendance of 30 to 50 parishioners. Youth Group, Student Worship and Kids Group are held concurrently with the 11:45 AM service, with typical attendance of 100 to 110, 50 to 70, and 30 to 40 parishioners, respectively. Additional, non-reoccurring group meetings/activities may be held on weekdays. The church currently has 16 clergy and 2 staff members. There are presently no special holiday services due to the existing facility limitations; the holiday services attendance are similar to the typical services noted above.

One hundred and forty eight parking spaces are currently provided on site. In addition, the Alliance Fellowship Church has an agreement with the adjacent CAC and Hoffman Park uses that permits use of the 73 space parking areas on Sundays when they are not in use. Also, on-street parking is also permitted along the south side of Glendale Lane (15± spaces) and the west side of Grand Canyon Street (26± spaces).



Existing Parking Demand

Metro conducted a parking demand survey on Sunday, November 11, 2007, at the Alliance Fellowship Church to determine existing parking characteristics. The parking demand was recorded at 10:15 AM and 12:15 PM. These time periods coincide to one-half hour after the start of the two heaviest attended scheduled services (9:45AM and 11:45AM). Parking demand was recorded on-site, as well as at the off-site parking at the CAC and on street along Glendale Lane and Grand Canyon Street, which was monitored to observe those vehicles parking for the Alliance Fellowship Church use. *Table 1* presents a summary of the parking survey results.

**TABLE 1
EXISTING PARKING DEMAND**

TIME	PARKING LOCATION				TOTAL
	ON-SITE (CAPACITY = 148)	OFF-SITE/ON-STREET			
		CAC LOT (CAPACITY = 73)	GLENDALE LN (CAPACITY = 15)	GRAND CANYON ST (CAPACITY = 26)	
10:15 AM	166	46	15	20	247
12:15 PM	199	31	12	15	257

As shown in Table 1, the existing peak parking demand is 257 and occurred at 12:15 PM. Based on the parking demand survey and observations of parking activity on-site, the parking demand exceeded on-site capacity for the 9:45 AM and 11:45 AM services, with vehicles parking at the ends of marked parking aisles and along the internal roadways.

Existing Vehicle Occupancy

In an effort to determine the average occupancy of vehicles accessing the church, a count of church attendance, including the concurrent classes, was conducted for each service. The attendance count of staff and visitors was performed by church staff for each of the two scheduled services. The total number of people at the Alliance Fellowship Church, the overall parking demand, and the average vehicle occupancy for each service is presented in *Table 2*.

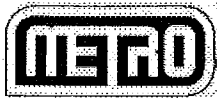


TABLE 2
AVERAGE VEHICLE OCCUPANCY

SERVICE	CHURCH ATTENDANCE ¹	PARKING DEMAND	AVERAGE VEHICLE OCCUPANCY (PERSONS / VEHICLE)
9:45 AM	482 persons	247	1.95
11:45 AM	566 persons	257	2.20
Average Vehicle Occupancy			2.08

¹ Includes both visitors and staff.

As shown in Table 2, the average vehicle occupancy ranged between 1.95 to 2.20 persons per vehicle, with an average rate of 2.08 for the two services. Based on Metro's previous experience with vehicle occupancy for church services, average vehicle occupancy rates are typically approximately 2.0 persons per vehicle. In addition, based on parking generation rates contained in the Institute of Transportation Engineers (ITE) *Parking Generation Report*, the average peak parking demand per attendee on a Sunday between the peak period of 9:00 AM and 12:00 PM is 0.44 vehicles per attendee. This rate corresponds to a vehicle occupancy of 2.27 persons per vehicle. Thus, the average vehicle occupancy data collected at the Alliance Fellowship Church for the two observed services is typical.

FUTURE TRAFFIC CHARACTERISTICS

Future Site Characteristics

As currently proposed, the development consists of an 8,313± square foot expansion to the existing facility to provide additional classroom space. Based on information provided by church staff, the operational hours of the facility will be consistent with the existing. No additional staff will be added with the expansion. Also, it is our understanding that the existing Sunday worship service will not be affected by the proposed expansion.

The proposed improvements at Alliance Fellowship Church also include expanding the parking from 148 spaces to 302 spaces. The additional 154 parking spaces are proposed on the southeast side of the existing facility. Overflow parking in the CAC parking lot (73 spaces) and on street along Glendale Lane (15± spaces) and Grand Canyon Street (26± spaces) will also be permitted.



Parking Analysis

As previously indicated, the existing total parking demand observed was 257 vehicles, occurring at the Sunday, 11:45 AM service. Therefore, the existing parking demand can be accommodated within the proposed 302 parking spaces on-site.

Based on information provided by the client, the proposed Alliance Fellowship Church has an occupancy capacity of 715 persons. As previously indicated, the average vehicle occupancy observed for the two services is 2.08 persons per vehicle. This ratio was applied to the maximum capacity of the church to determine if the proposed expansion to 302 parking spaces will be sufficient to meet the maximum demand of the church facility. These calculations are detailed in *Table 3*.

TABLE 3
ALLIANCE FELLOWSHIP CHURCH PARKING CALCULATIONS

	ALLIANCE FELLOWSHIP CHURCH
Average Parking Ratio	2.08 persons/vehicle
Maximum Capacity	715 persons
Maximum Parking Demand	344 vehicles
Provided Parking Spaces	302 spaces
<i>Parking Differential</i>	<i>-42 spaces</i>

As shown in Table 3, the Alliance Fellowship Church on site parking will exhibit a deficit of 42 spaces when services reach the maximum capacity of 715 persons. If the maximum capacity were reached, this surplus of vehicles could easily be accommodated on the existing street network and/or in the adjacent CAC parking lot, as indicated in Table 1, where an additional 114± parking spaces are available.

SUMMARY

Based on a parking survey conducted at the Alliance Fellowship Church in November 2007, the existing peak parking demand is 257 and occurred at the 11:45 AM service. Therefore, the existing parking demand can be accommodated within the proposed 302 parking spaces on-site.



In order to accommodate future growth of the proposed church to its capacity of 715 persons, a total of 344 parking spaces should be provided. This value assumes a vehicle occupancy rate of 2.08, the average observed during the two peak church service. Therefore, the Alliance Fellowship Church will exhibit a deficit of 42 parking spaces on-site, when services reach the maximum capacity. However, these vehicles could easily be accommodated on the existing street network (Glendale Lane and Grand Canyon Street) and/or within the adjacent CAC parking lot, where an additional 114± parking spaces are available.

a r c h i t e c t s

07 March 2011

Mr. Brian Portz, AICP
Associate Planner
Village of Hoffman Estates
1900 Hassell Road
Hoffman Estates, IL 60169

Re: Community Meeting Synopsis for the Alliance Fellowship Church Building
Addition and Parking Lot Proposal

Dear Mr. Portz:

This letter is to inform that as suggested by the Hoffman Estates - Department of Development Services, Kwang Kim Architects (KKA) and the members of the Alliance Fellowship Church (AFC) have held a community meeting on Saturday, April 16, 2011 at 2PM.

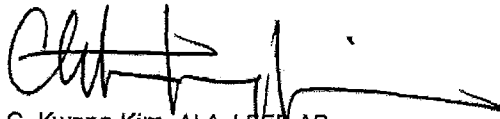
Prior to this meeting, KKA and AFC have prepared an announcement, which is attached to this correspondence, and sent out via USPS to all of the residents that were listed within the 300 feet radius on the list that was kindly prepared for us by your department. The announcement / invitations were sent out in the beginning the week of April 4th announcing the meeting to be held at the church on April 16 @ 2PM.

We were all prepared for the meeting to take place, however, nobody showed up from the community. We waited until 3PM before reaching the conclusion that nobody will show.

If you have further questions about the community meeting, please feel free to contact me.

Sincerely submitted,

KWANG KIM ARCHITECTS, INC.



C. Kwang Kim, ALA, LEED AP
President

Cc: Pastor Jason Kim - Alliance Fellowship Church
Elder Davy Hong - Alliance Fellowship Church

**COMMUNITY MEETING
ANNOUNCEMENT**

Topic

**Proposals for Church Parking Lot
Expansion & Second Floor Addition**

Location

**Alliance Fellowship Church
665 Grand Canyon Street
Hoffman Estates, IL 60194**

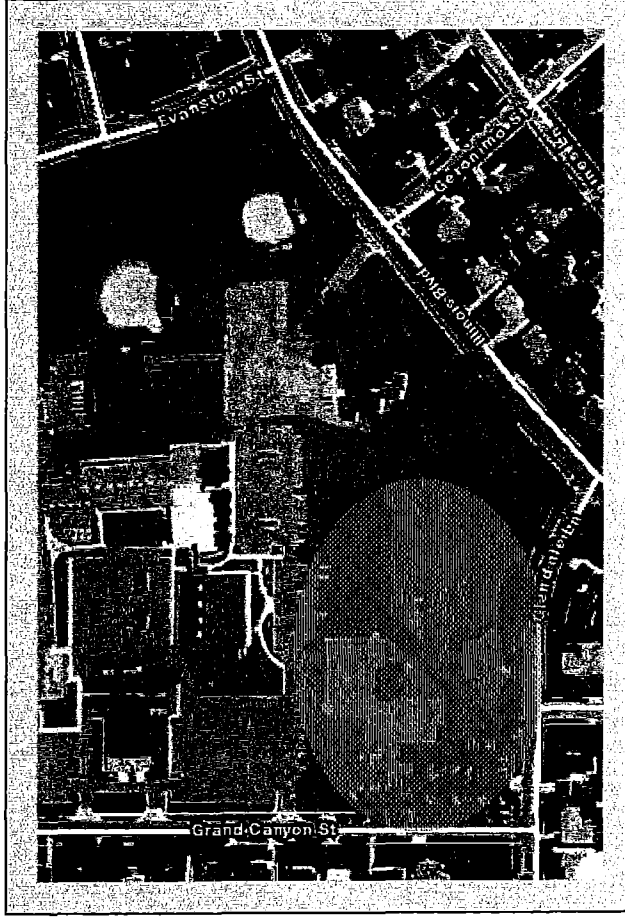
Date & Time

**Saturday, April 16, 2011
2-4 pm**

Refreshments will be served!

For questions, Please contact our Church Office at:
847-884-0351 or email: info@afcc.org

Alliance Fellowship Church



Proposal for a Parking Lot Expansion and
Second Floor Addition @ Classroom Wing

Reasons for Expansion of Parking Lot

- Minimize congestion and parking overflow onto the streets;
- To minimize dangerous conditions on streets during snow season;
- Control automobile parking on grass during times of high demand;
- Introduce a cohesive Landscaping to Improve the open lots;
- Provide better lighting for safety;
- Allow public parking for play lot users

Reasons for Classroom Addition

- To provide a more pronounced entryways into the church and educational wing;
- Introduce an elevator to ease vertical circulation for the elderly and persons in wheelchairs;
- To better accommodate current church groups & allow for future growth and to better serve the community;
- To allow more efficient use of spaces.

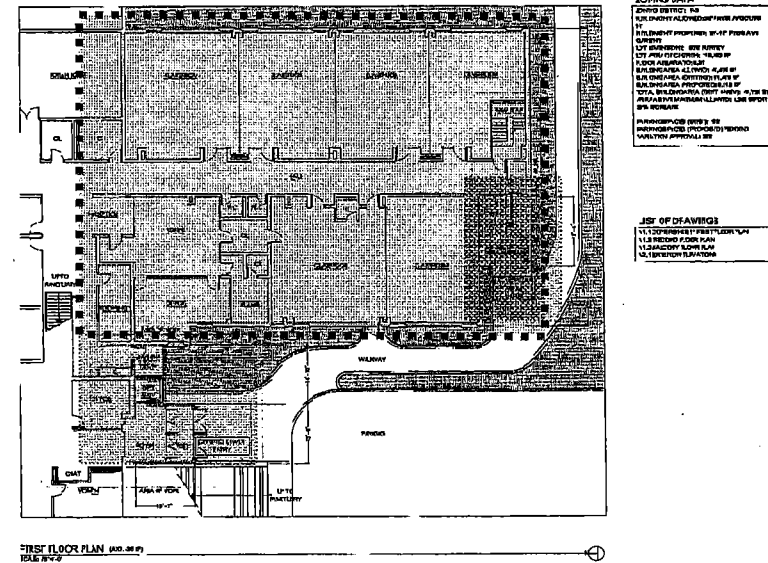
PROPOSED SITE PLAN

- Utilize adjacent lots to expand the lot by entering into a Lease Agreement with the Village and the Park District of Hoffman Estates
- This allows the church to expand and accommodate the parking needs of the church and to improve the lots with more landscaping and better lighting.
- To improve safety and vehicular traffic within and on neighboring streets.

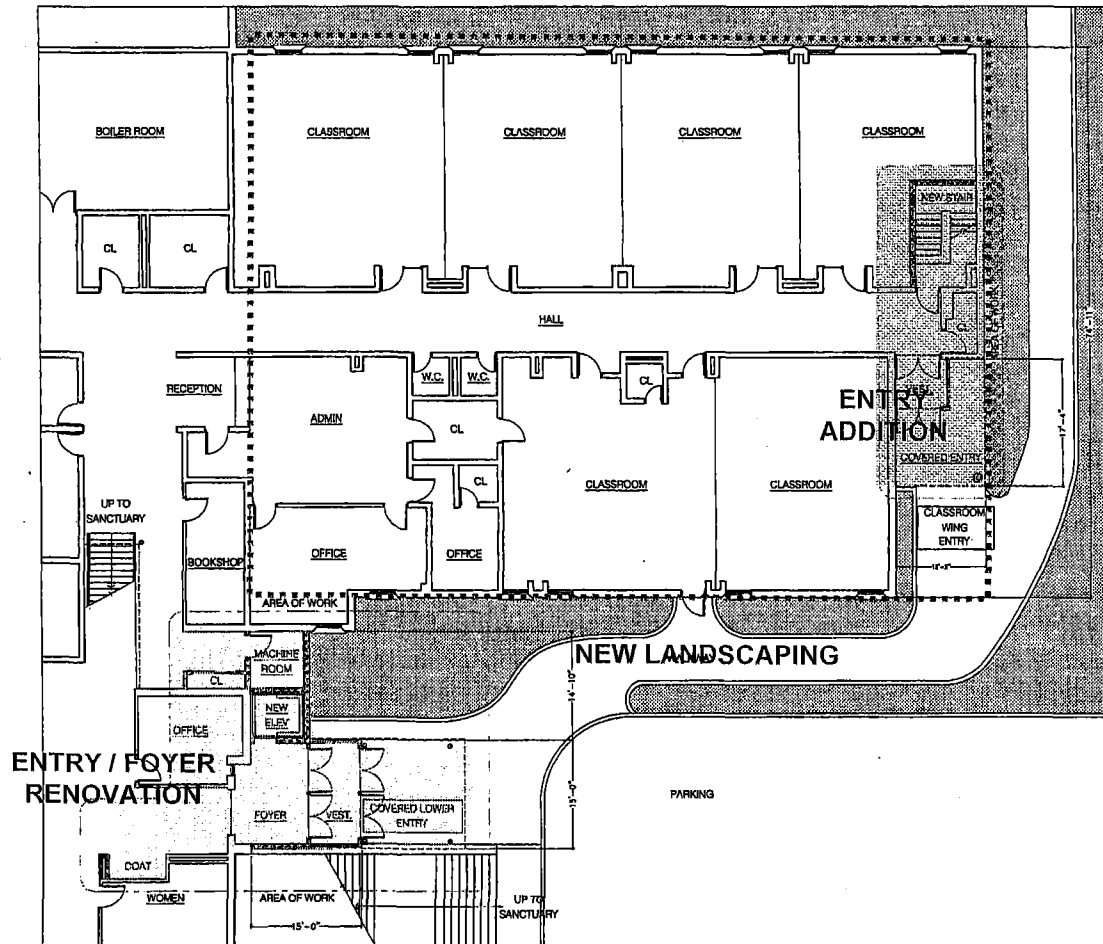


BUILDING COMPONENTS

- A Covered Entryway and Foyer with an elevator to serve all floors
- A Covered Entryway into the Educational Wing
- A 75' x 100' Second Floor Addition over the existing One Story Educational / Administrative Wing



FIRST FLOOR PLAN



ZONING DATA

ZONING DISTRICT: R-3
 BUILDING HT. ALLOWED: 35' FROM AVG CURB
 HT
 BUILDING HT. PROPOSED: 29'-10" FROM AVG
 CURB HT
 LOT DIMENSIONS: SEE SURVEY
 LOT AREA OF CHURCH: 118,383 SF
 FLOOR AREA RATIO: 0.35
 BUILDING AREA ALLOWED: 41,424 SF
 BUILDING AREA (EXISTING): 41,415 SF
 BUILDING AREA (PROPOSED): 5,513 SF
 TOTAL BUILDING AREA (EXIST + NEW): 48,728 SF
 AREA ABOVE MAXIMUM ALLOWED: 8,302 SF OR
 20% INCREASE
 PARKING SPACES (EXIST): 148
 PARKING SPACES (PROPOSED) PENDING
 VARIATION APPROVAL: 302

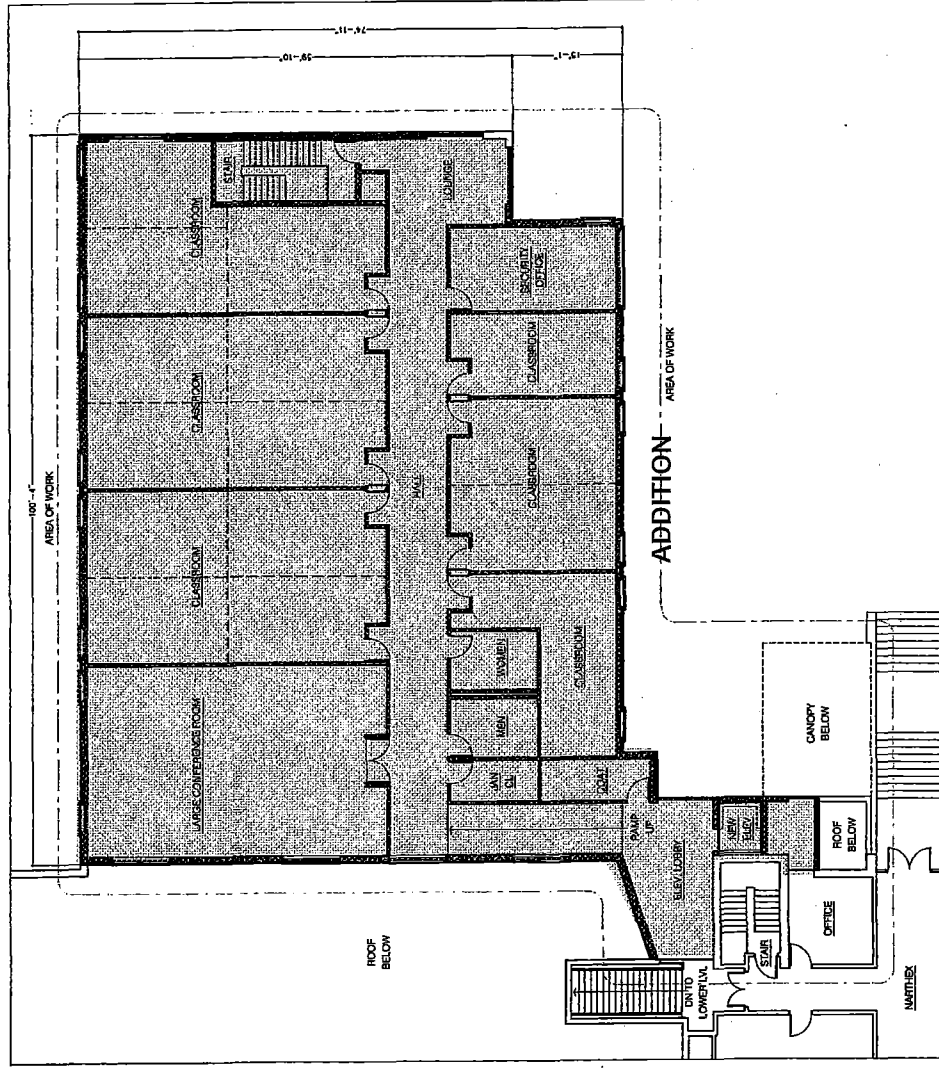
LIST OF DRAWINGS

A1.1 COVER SHEET / FIRST FLOOR PLAN
 A1.2 SECOND FLOOR PLAN
 A1.3 BALCONY FLOOR PLAN
 A2.1 EXTERIOR ELEVATIONS

FIRST FLOOR PLAN (ADD. 438 SF)
 SCALE: 1/8"=1'-0"

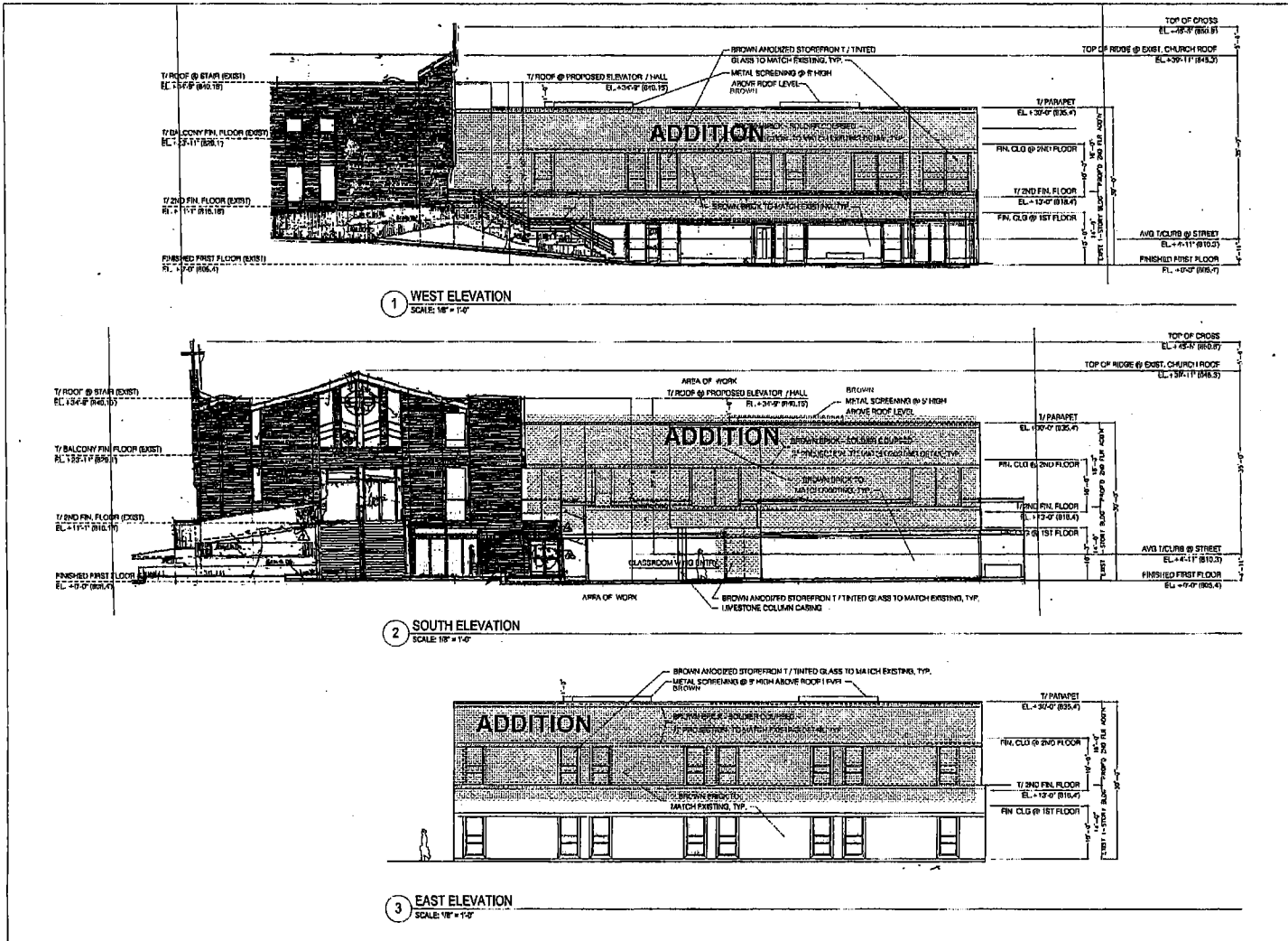


SECOND FLOOR PLAN



SECOND FLOOR PLAN (ADD. 7,750 SF)
SCALE: 1/8"=1'-0"

EXTERIOR ELEVATIONS



ALLIANCE FELLOWSHIP CHURCH

SECOND FLOOR ADDITION @ CLASSROOM WING & PARKING LOT EXPANSION

885 GRAND CANYON
HOFMANN ESTATES, IL 60134

KWANG KIM architects

405 AL KOSTER AVENUE
CHICAGO, ILLINOIS 60611
P 773.282.5199 / F 773.282.0899
kwangkim@kwangkim.com

DATE	DESCRIPTION
03/27/11	ISSUED FOR PERMIT
04/15/11	ISSUED FOR PERMIT
04/27/11	ISSUED FOR PERMIT

PROJECT NO.	03.07.2011
DATE	03/27/11
DRAWN BY	SK
CHECKED BY	SK

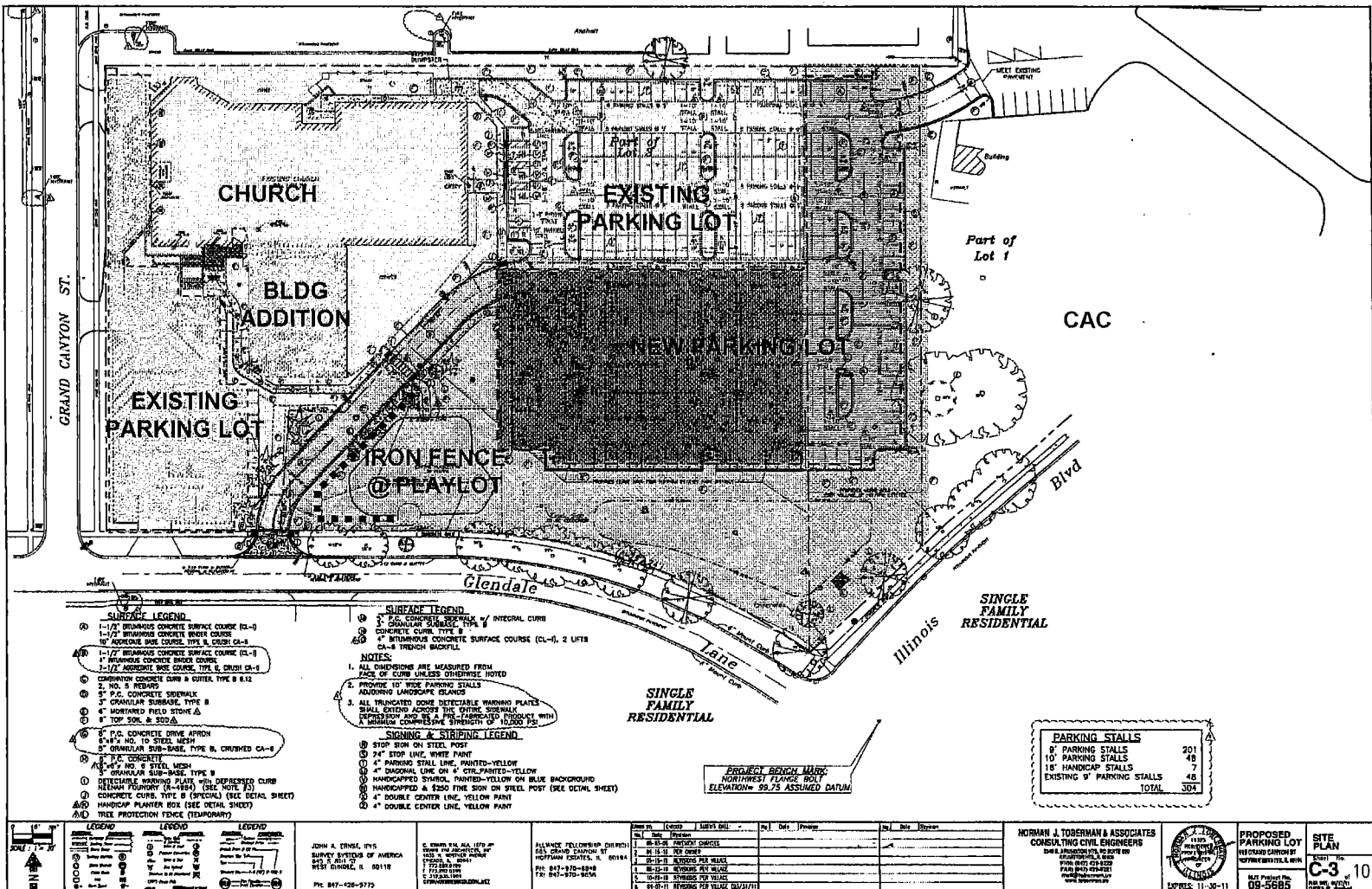
EXTERIOR ELEVATIONS

A2.1

SITE / PARKING LOT COMPONENTS

- INCREASE OF PARKING LOT FROM 148 TO 304 CAR STALLS
- IMPROVE VEHICULAR CIRCULATION IN AND OUT OF THE SITE
- INTRODUCE MORE LANDSCAPING TO BEAUTIFY THE SITE AND ITS NEIGHBORING AMENITIES
- BETTER ON-SITE LIGHTING
- BETTER ON-SITE DRAINAGE
- PARTIAL FENCE TO DEFINE & PROTECT THE PLAYLOT AND ITS USERS

PROPOSED SITE PLAN



- SURFACE LEGEND**
- 1-1/2" BRUSHED CONCRETE SURFACE COURSE (CL-0)
 - 1-1/2" BRUSHED CONCRETE SURFACE COURSE
 - 1" BRUSHED CONCRETE SURFACE COURSE TYPE B, CRUSH CA-3
 - 1-1/2" BRUSHED CONCRETE SURFACE COURSE (CL-1)
 - 1" BRUSHED CONCRETE SURFACE COURSE
 - 1-1/2" BRUSHED CONCRETE SURFACE COURSE TYPE B, CRUSH CA-3
 - CONCRETE CURB, TYPE B & BUTTER TYPE B R12
 - NO. 8 REBAR
 - P.C. CONCRETE SIDEWALK
 - CONCRETE SUB-BASE, TYPE B
 - MORTARED FIELD STONE
 - TOP SOIL, 6" 302A
 - 1-1/2" CONCRETE DRIVE APRON
 - 1-1/2" NO. 10 STEEL MESH
 - CONCRETE SUB-BASE, TYPE B, CRUSH CA-3
 - 1-1/2" CONCRETE
 - CONCRETE SUB-BASE, TYPE B
 - DEFLECTABLE WARNING PLATE WITH DEPRESSION CURB (SEE NOTE 10)
 - CONCRETE CURB, TYPE B (SPECIAL) (SEE DETAIL SHEET)
 - HANDICAP PLANNER BOX (SEE DETAIL SHEET)
 - WIRE PROTECTION FENCE (RESPONDENT)

- SURFACE LEGEND**
- 3" GRANULAR SUB-BASE, 4" DEPRESSION CURB
 - CONCRETE CURB, TYPE B
 - BUSHED CONCRETE SURFACE COURSE (CL-1), 2 LITS CA-3 TRENCH BAGGOTT
- NOTES:**
1. ALL DIMENSIONS ARE MEASURED FROM FACE OF CURB UNLESS OTHERWISE NOTED
 2. PROVIDE 10' WIDE PARKING STALLS
 3. ALL TRUNCATED CONE DETECTABLE WARNING PLATES SHALL EXTEND ACROSS THE ENTIRE SIDEWALK DEPRESSION AND BE A PRE-FABRICATED PRODUCT WITH A MINIMUM COMPRESSIVE STRENGTH OF 10,000 PSI
- SIGNAGE & STRIPING LEGEND**
- STOP SIGN ON STEEL POST
 - 74" STOP LINE, WHITE PAINT
 - PARKING STALL LINE, PAINTED-YELLOW
 - ORIGINAL LINE ON 4" CTS, PAINTED-YELLOW
 - HANDICAPPED SYMBOL, PAINTED-YELLOW ON BLUE BACKGROUND
 - HANDICAPPED & 8250 TIRE SIGN ON STEEL POST (SEE DETAIL SHEET)
 - DOUBLE CENTER LINE, YELLOW PAINT
 - DOUBLE CENTER LINE, YELLOW PAINT

PARKING STALLS	
9' PARKING STALLS	201
10' PARKING STALLS	48
15' HANDICAP STALLS	7
EXISTING 9' PARKING STALLS	48
TOTAL	304

<p>LEGEND</p>	<p>LEGEND</p>	<p>LEGEND</p>	<p>JOHN A. ERNLI, P.E. SURVEY SYSTEMS OF AMERICA WEST BIRMGHAM, AL 35218 PH: 817-428-9772</p>	<p>CLARENCE W. ALLEN, P.E. SURVEY SYSTEMS OF AMERICA WEST BIRMGHAM, AL 35218 PH: 817-428-9772</p>	<p>ALLIANCE YELLOWBUSH GROUP 655 GRAND EASTMAN ST HOUSTON TEXAS, TX 77058 PH: 847-870-8244 FX: 847-870-8254</p>	<table border="1"> <thead> <tr> <th>Date</th> <th>Revised</th> <th>By</th> <th>Checked</th> <th>Project</th> <th>Scale</th> <th>Sheet</th> </tr> </thead> <tbody> <tr> <td>08-14-11</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>08-15-11</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>08-16-11</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>08-17-11</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>08-18-11</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>08-19-11</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>08-20-11</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Date	Revised	By	Checked	Project	Scale	Sheet	08-14-11							08-15-11							08-16-11							08-17-11							08-18-11							08-19-11							08-20-11							<p>NORMAN J. TOBERMAN & ASSOCIATES CONSULTING CIVIL ENGINEERS 2000 W. UNIVERSITY BLVD. SUITE 100 HOUSTON, TEXAS 77058 PH: 281-281-2222 FAX: 281-281-2222 www.toberman.com</p>	<p>PROPOSED PARKING LOT WEST GRAND CANYON ST. HOUSTON TEXAS, TX 77058</p> <p>Site Project No. 09-5685 DATE: 11-30-11</p>	<p>SITE PLAN Sheet No. C-3 of 10 DATE: 11-30-11</p>
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<p>PROJECT BENCH MARK: NORTHWEST FLANGE BOLT ELEVATION = 29.75 ASSUMED DATUM</p>																																																																	

QUESTIONS ?





VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION
FINDING OF FACT

PROJECT NO.: 2011039R

VILLAGE BOARD MEETING DATE: September 12, 2011

PETITIONER(S): Kazimierz & Ewa Zuba

PROJECT ADDRESS: 1715 Ida Road

ZONING DISTRICT: R-3, ONE FAMILY RESIDENTIAL

Does the Planning and Zoning Commission find that this request meets the Standards for a Variation (Section 9-1-15 of the Zoning Code)? YES NO

Recommendation: APPROVAL

Vote: 9 Ayes 1 Absent 1 Vacancy

PZC MEETING DATE: **SEPTEMBER 7, 2011**

STAFF ASSIGNED: **JOSH EDWARDS**

Request by Kazimierz and Ewa Zuba for a 4 foot 4 inch side yard setback variation from Section 9-5-3-D-5 to allow an attached garage addition to be set back 5 feet 8 inches from the side lot line instead of the minimum required 10 feet at 1715 Ida Road.

The Planning and Zoning Commission recommends the following condition:

- 1. The portion of the driveway that does not lead to an approved parking structure shall be removed.**

AUDIENCE COMMENTS

None.

FINDING

Section 9-1-15 of the Zoning Code (Standards for Variation) states that no variation shall be recommended by the Planning and Zoning Commission unless it finds that the Standards for Variation set forth in the Zoning Code are met.

The petitioners presented their request to expand their attached one-car garage into a two-car garage. The addition would result in an encroachment into the required side yard setback. However, the addition would bring the property into compliance with the minimum garage size requirement in the Zoning Code. It would allow the petitioners to park another vehicle in their garage. The requested setback variation would not have an adverse impact on the neighboring property.

This request was originally approved in 2008 but expired because it was not built.

The petitioner was agreeable to the condition and the Planning and Zoning Commission voted unanimously to recommend approval of the requested setback variation.

Planning and Zoning Commission Finding of Fact
Variation – 1715 Ida Road – Garage Addition Setback
Village Board Meeting Date: September 12, 2011

PLANNING AND ZONING COMMISSIONERS

Chairperson Eva Combs	Myrene Iozzo
Donna Boomgarden	Thomas Krettler
Michael Gaeta	Gaurav Patel
Steve Hehn	Steve Wehofer
Lenard Henderson	Denise Wilson

ROLL CALL VOTE

9 Ayes
0 Nays
0 Abstain
1 Absent (Combs)
1 Vacancy

MOTION PASSED

The following attachments are hereby incorporated as part of this Finding of Fact:

- Staff Report
- Petitioner Application & Submittals
- Legal Notice
- Location Map
- Staff Exhibit – Photo
- Staff Exhibit – Aerial Photo



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT NO.: 2011039R PROJECT NAME: 1715 IDA ROAD ATTACHED GARAGE SETBACK VARIATION

PROJECT ADDRESS/LOCATION: 1715 IDA ROAD

PUBLIC HEARING YES NO

REZONING MASTER SIGN PLAN SPECIAL USE VARIATION

SITE PLAN PLAT

MEETING DATE: SEPTEMBER 7, 2011

STAFF ASSIGNED: JOSH EDWARDS JAE

REQUESTED MOTION

Request by Kazimierz and Ewa Zuba for a 4 foot 4 inch side yard setback variation from Section 9-5-3-D-5 to allow an attached garage addition to be set back 5 feet 8 inches from the side lot line instead of the minimum required 10 feet at 1715 Ida Road.

INCLUDES RECOMMENDED CONDITION(S) YES NO

ZONING DISTRICT: R-3, ONE-FAMILY RESIDENTIAL
ADJACENT NORTH: R-3, ONE-FAMILY RESIDENTIAL SOUTH: R-3, ONE-FAMILY RESIDENTIAL
PROPERTIES: EAST: R-4, ONE-FAMILY RESIDENTIAL WEST: R-3, ONE-FAMILY RESIDENTIAL

APPLICABLE ZONING CODE SECTION

Section 9-5-3-D-5 of the Zoning Code states that the side yard setback of the principal structure shall be 10 feet. The attached garage is considered part of the principal structure.

PROPOSAL

The Village Board approved this variation in October 2008; however, the Zoning Code includes expiration on variations that are not acted upon within one-year. The petitioners postponed the project until recently deciding to go forward, but in the interim the variation expired in October 2009.

The petitioner is proposing to construct a garage addition to expand an attached one-car garage into a two-car garage. The addition would encroach 4 feet 4 inches into the required 10 foot side yard setback, leaving a setback of 5 feet 8 inches. The house is slightly angled relative to the property line and so the greatest encroachment would occur at the front corner of the house.

The existing one-car garage measures approximately 325.5 square feet. The addition of approximately 312 square feet would bring the total square footage to approximately 638 square feet. The Zoning Code requires a minimum two-car, 440 square foot garage and the addition would bring the garage into compliance with those requirements. The garage would also be less than the maximum permitted 750 square feet of combined garage area.

The petitioner proposes to expand the concrete driveway to lead to the garage addition. The petitioner is required to remove the existing nonconforming portion of the driveway that leads to the front of the house beyond the garage door. The Zoning Code requires that any part of the driveway that leads to the front of the house must be removed.

The concrete sidewalk on the north side of the house would be removed to construct the garage.

The petitioner stated in their application and in their request made in 2008 that they desire to park their vehicles inside.

VARIATION STANDARDS

Section 9-1-15 of the Zoning Code – *Standards for a Variation* - states that the Planning and Zoning Commission shall not recommend the adoption of a proposed variation unless it finds that the variation meets the Standards for Variations as set forth in the Zoning Code.

1. The Planning and Zoning Commission shall not recommend the variation of the regulations of the Code unless it shall first make a finding based upon the evidence presented to it in each specific case that:
 - a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located;
 - b. The plight of the owner is due to unique circumstances;
 - c. The variation, if granted, will not alter the essential character of the locality.
2. For the purpose of implementing the above rules, the Planning and Zoning Commission shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the applicant have been established by the evidence;
 - a. The particular physical surroundings, shape of topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;
 - b. The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning classification;
 - c. The purpose of the variation is not based exclusively upon a desire to increase the value of the property;
 - d. The alleged difficulty or hardship has not been based exclusively upon a desire to increase the value of property;
 - e. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
 - f. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood.
3. The Planning and Zoning Commission may recommend to the Village Board that such conditions and restrictions be imposed upon the premises benefited by a variation as may be necessary to comply with the standards set forth in this section to reduce or minimize the injurious effect of such variation upon other property in the neighborhood, and better to carry out the general intent of this Code.

If this request is approved, the variation ordinance would be granted to the property in perpetuity.

NOTIFICATION

Statements of Awareness were received from the two side yard neighbors (1705 and 1725 Ida Road) and the neighbor directly across the street (1720 Ida Road). Standard notification letters have been sent to surrounding properties within 150 feet and no comments have been received.

STAFF SUMMARY

The setback regulation was developed as a means of limiting the buildable area on residential lots, preserving open space, and establishing a consistent pattern and appearance of development throughout all the residential property in the village.

An addition to the garage would not change the streetscape. Many homes in the neighborhood have two-car garages.

The Village has approved several similar garage additions to allow a one-car garage to be expanded to a two-car garage, with a similar or greater encroachment into the side yard setback. The minor encroachment into a side yard has generally been considered acceptable as a compromise to allow a property to upgrade to a two-car garage. By expanding the garage the property would be in conformance with the minimum garage size. After the addition the separation between the two houses would be approximately 21 feet 5 inches, which meets the zoning district requirements.

In 2008, the Village Board determined that this request met the Standards for a Variation.

RECOMMENDED CONDITION

If the Planning and Zoning Commission finds that the Standards for a Variation have been met, staff recommends the following condition.

1. The portion of the driveway that does not lead to an approved parking structure shall be removed.

Attachments: Petitioner Application & Submittals
 Legal Notice
 Location Map
 Staff Exhibit – Photo
 Staff Exhibit – Aerial Photo

VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION

REQUEST FOR RESIDENTIAL VARIATION HEARING

FOR VILLAGE USE ONLY

Hearing Fee \$ 150.00 Date Paid 8/12/11 Received By P. Moore
Hearing Date: 9/7/11 Time: 7:00pm Legal Published 8/23/11
Receipt Number Check No. 363 Zoning District R-3
Project No. 2011039R

**** ONLY COMPLETE PACKETS WILL BE ACCEPTED ****

PLEASE PRINT OR TYPE

Use additional sheets as necessary

1. Property Owner(s) Name* KAZIMIERZ & EWA ZUBA
E-Mail Address kazik6200@abcglobal.net Fax
Owner's Address 1715 IDA RD. Phone 847-4902499
City HOFFMAN ESTATES State IL Zip 60169

Subject Property's Address (if different):

2. Person applying if other than owner:

Name Company
E-Mail Address Fax
Address Phone
City State Zip

3. Property Index Number (PIN) 07-09-212-008-0000

4. Briefly describe the improvement that needs a variation.

SECOND CAR GARAGE - ADDITION OF THE SECOND
UNIT TO EXISTING CAR GARAGE

5. Other options that would not require a variation?

NO.

6. Is the applicant the original owner? NO How long has the applicant resided at this address? 15 years Did the condition that instituted this request for a variation exist at the time the applicant purchased this property? If yes, please describe.

WE NEED MORE SPACE TO PARK INSIDE

7. Describe existing materials and proposed construction materials indicating if proposed construction will match or blend with the existing structure.

THE SAME KIND OF WOOD

8. Estimated total project cost \$ 8,500.00

9. Removal/ relocation of trees, driveway approaches, utilities required? Will the proposed construction require removal/ relocation of trees, driveway apron, utilities, other? If yes, please describe.

IT WILL REQUIRE REMOVAL OF THE SMALL CONCRETE SIDEWALK ON THE NORTH SIDE OF THE EXISTING GARAGE.

10. Existing Conditions

Front, Side, Rear Yard Setback, Height, or Other Variation	Present Condition	Required	Proposed
side yard	front corner is 17.66'	10'	front corner will be 5.66'
	back corner is 19.62'		back corner will be 7.62'

11. I, the undersigned, certify the information and submissions provided accurately represent the current conditions and proposed improvement(s) requiring a variation.

Owner's Signature Kazimierz Zuba Ewa Zuba

Name (Please Print) KAZIMIERZ ZUBA EWA ZUBA

Applicant's Signature _____

Name (Please Print) KAZIMIERZ ZUBA

Date 08-11-2011

All requests for a hearing must be accompanied by the items required and all fees must be paid before Planning and Zoning Commission can hear any case. Any additional fees must be paid before any findings or reports are given to the Village Board.

ACKNOWLEDGMENT

Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village.

Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.

Kazimierz Zuba
Applicant Signature

KAZIMIERZ ZUBA
Print Name

STATEMENT OF AWARENESS

TO: THE VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION

THIS IS TO CERTIFY THAT THE UNDERSIGNED, BEING A PROPERTY OWNER
DIRECTLY AFFECTED, IS AWARE OF THE INTENTIONS OF:

KAZIMIERZ ZUBA

Petitioner Name

1715 IDA RD. HOFFMAN ESTATES, IL 60169

Petitioner Address

TO INSTALL/ERECT/CONSTRUCT A:

SECOND CAR GARAGE ADDITION

ON PROPERTY LOCATED AT:

1715 IDA RD. HOFFMAN ESTATES

Address

HOFFMAN ESTATES, ILLINOIS, AS SO STATED IN THIS PETITION FOR A
ZONING VARIATION.

Jay Koziri

Signature of Property Owner Directly Affected

1720 IDA RD. HOFFMAN ESTATES

Address of Property Owner Directly Affected

This form is to be completed by the property owner directly affected by the petitioner before the
Planning and Zoning Commission and submitted with the Residential Variation Application.

The "property owner affected by the petition" may appear and testify for or against the petition.
The date and time of the hearing will be mailed to said property owner.

Should assistance be required in determining property owners affected or in obtaining signatures,
contact the Planning Division, 847/781-2660.

STATEMENT OF AWARENESS

TO: THE VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION

THIS IS TO CERTIFY THAT THE UNDERSIGNED, BEING A PROPERTY OWNER DIRECTLY AFFECTED, IS AWARE OF THE INTENTIONS OF:

KAZIMIERZ ZUBA

Petitioner Name

1715 IDA RD. HOFFMAN ESTATES, IL 60169

Petitioner Address

TO INSTALL/ERECT/CONSTRUCT A:

SECOND CAR GARAGE ADDITION

ON PROPERTY LOCATED AT:

1715 IDA RD. HOFFMAN ESTATES

Address

HOFFMAN ESTATES, ILLINOIS, AS SO STATED IN THIS PETITION FOR A ZONING VARIATION.

Rick N. N. N.

Signature of Property Owner Directly Affected

1705 IDA RD. HOFFMAN ESTATES

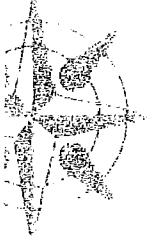
Address of Property Owner Directly Affected

This form is to be completed by the property owner directly affected by the petitioner before the Planning and Zoning Commission and submitted with the Residential Variation Application.

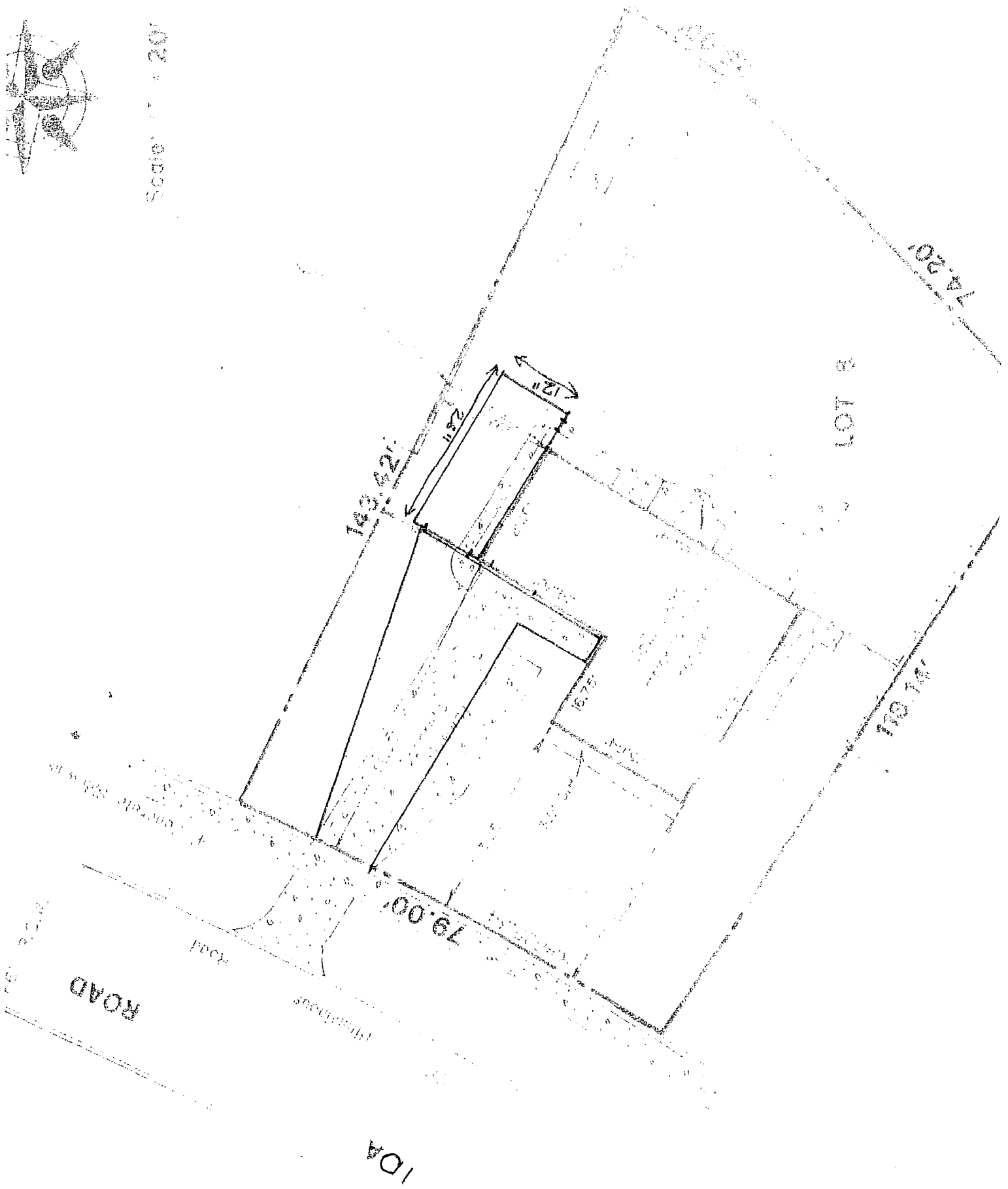
The "property owner affected by the petition" may appear and testify for or against the petition. The date and time of the hearing will be mailed to said property owner.

Should assistance be required in determining property owners affected or in obtaining signatures, contact the Planning Division, 847/781-2660.

KALIMIERZ ZUBA
1715 IFA RD
HOFFMAN ESTATE, LC



Scale: 1" = 20'



NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning and Zoning Commission of the Village of Hoffman Estates will hold a public hearing at the request of Kazimierz and Ewa Zuba to consider variations from the Zoning Code to permit the construction of a garage addition on the property located at 1715 Ida Road and legally described as follows:

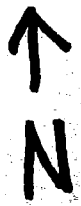
P.I.N.: 07-09-212-008

LOT 8 IN BLOCK 170 IN THE HIGHLANDS AT HOFFMAN ESTATES XIII, SUBDIVISION OF PART OF SECTIONS 4, 9, AND 10, TOWNSHIP 41 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

The hearing will be held on Wednesday, September 7, 2011 at 7:00 p.m. in the Hoffman Estates Municipal Building, 1900 Hassell Road, Hoffman Estates, IL.

Gordon Thoren, Chairman
Planning and Zoning Commission

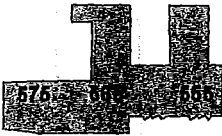
To be published by Paddock Publications on Tuesday, August 23, 2011.



ship

CENTRAL RD

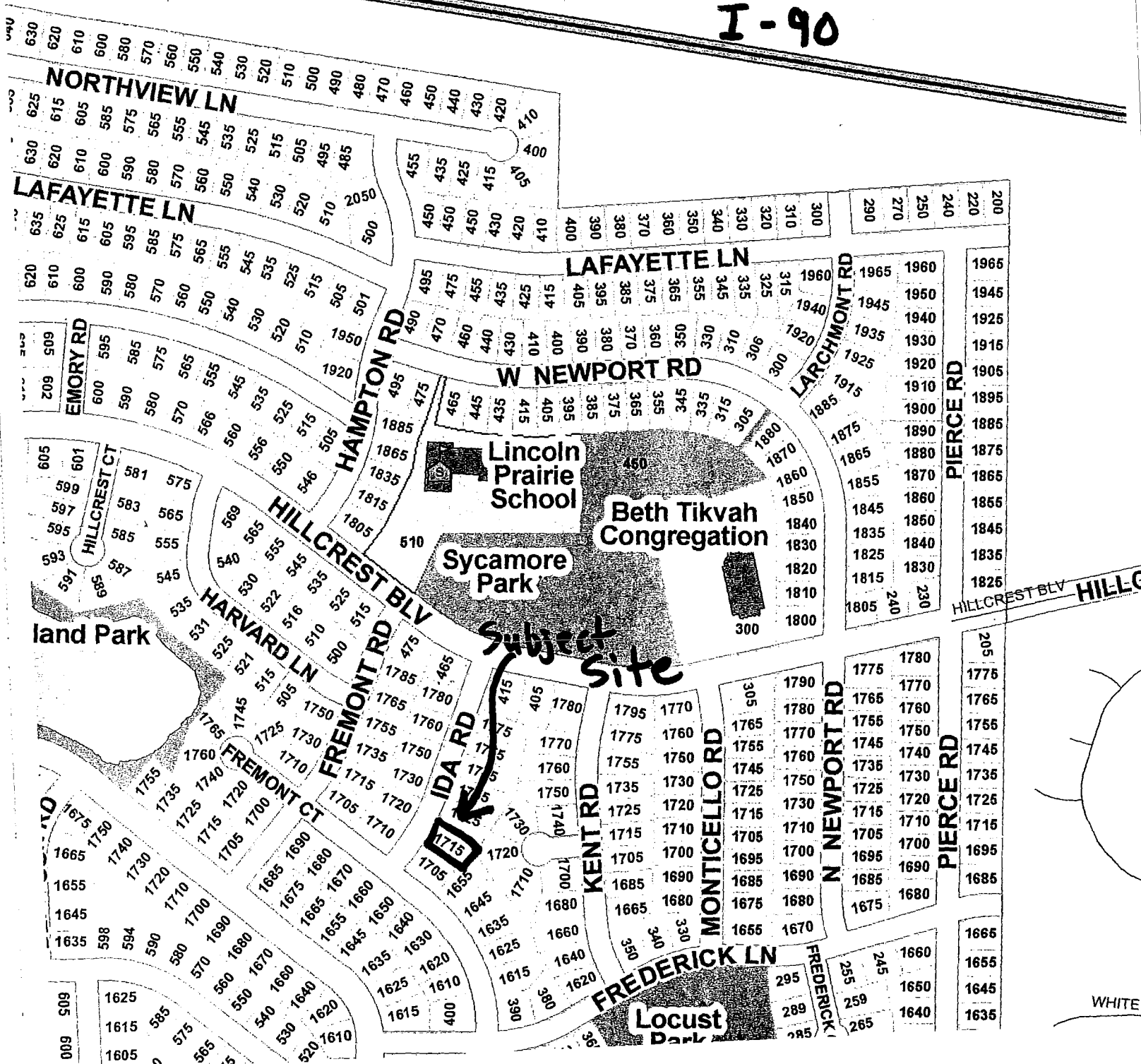
vnship



545 535 525 515 505 475

Thomas Engineering

I-90

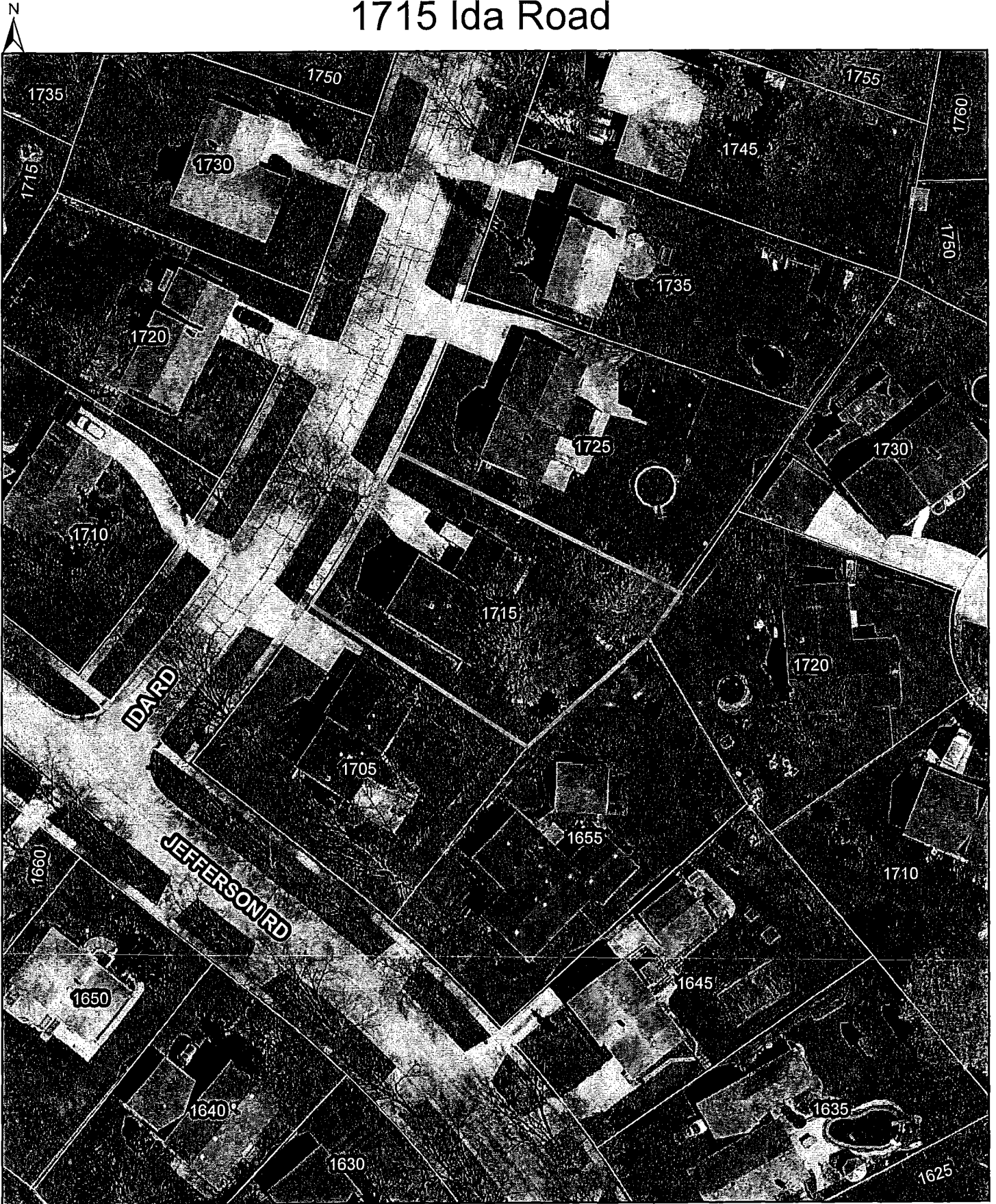


Subject Site

WHITE O



1715 Ida Road



1 inch = 60 feet

Planning Division
Village of Hoffman Estates
August 2011



VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION
FINDING OF FACT

PROJECT NO.: 2011027P

VILLAGE BOARD MEETING DATE: September 12, 2011

PETITIONER(S): Kin Properties (Owner) & Dino Alex (Property Manager-Alexion Properties, LLC)

PROJECT ADDRESSES: 5-35 E. Golf Road ZONING DISTRICT: B-2, Community Business District
1183-1187 N. Roselle Road

Does the Planning and Zoning Commission find that this request meets the Standards for a Master Sign Plan (Section 9-3-8-M-12 of the Zoning Code)? YES NO

Recommendation: APPROVAL

Vote: 9 Ayes 1 Absent 1 Vacancy

PZC MEETING DATE: **SEPTEMBER 12, 2011**

STAFF ASSIGNED: **JOSH EDWARDS**

Request by Kin Properties (Property Owner) and Dino Alex of Alexion Properties, LLC (Property Manager and Petitioner) for approval of a Master Sign Plan in accordance with Section 9-3-8-M-12 of the Zoning Code for the properties located at the southeast corner of Golf & Roselle Roads with addresses ranging from 5-35 East Golf Road and 1183-1187 N. Roselle Road based on the Master Sign Plan dated September 7, 2011.

The Planning and Zoning Commission recommends no conditions.

AUDIENCE COMMENTS

None.

FINDING

Section 9-3-8-M-12 of the Zoning Code requires that in instances where the Zoning Code cannot be strictly followed, that the owner may propose a Master Sign Plan to accommodate the signs on the property and to set standards and restrictions on the signs.

The petitioner presented the different types of signs that are proposed for the two buildings at the southeast corner of Roselle and Golf Roads. Two ground signs are proposed along Golf Road to identify the tenants, and wall signs would be permitted in certain locations on the corner building for the five tenants. The existing signage for Caribou Coffee would be allowed to remain until it is replaced, at which time it would need to be installed according to the Plan. The Commission confirmed with staff and the petitioner that the ground signs would incorporate any future real estate marketing information, and standalone signs would not be permitted.

The Commission generally praised the project and considered the signs reasonable.

The Planning and Zoning Commission voted unanimously to recommend approval of the requested Master Sign Plan.

Planning and Zoning Commission Finding of Fact
Master Sign Plan – 5-35 E. Golf Road & 1183-1185 N. Roselle Road
Village Board Meeting Date: September 12, 2011

PLANNING AND ZONING COMMISSIONERS

Chairperson Eva Combs	Myrene Iozzo
Donna Boomgarden	Thomas Krettler
Michael Gaeta	Gaurav Patel
Steve Hehn	Steve Wehofer
Lenard Henderson	Denise Wilson

ROLL CALL VOTE

9 Ayes
0 Nays
0 Abstain
1 Absent (Combs)
1 Vacancy
MOTION PASSED

The following attachments are hereby incorporated as part of this Finding of Fact:

Staff Report
Master Sign Plan
Petitioner Application & Submittals
Legal Notice
Location Map



VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION
STAFF REPORT

PROJECT NO.: 2011027P PROJECT NAME: MASTER SIGN PLAN – ALEXION PROPERTIES –
SOUTHEAST CORNER OF GOLF & ROSELLE ROADS

PROJECT ADDRESS/LOCATION: 5-35 EAST GOLF ROAD & 1183-1187 NORTH ROSELLE ROAD

PUBLIC HEARING
YES NO

REZONING MASTER SIGN PLAN SPECIAL USE VARIATION
SITE PLAN PLAT

MEETING DATE: SEPTEMBER 7, 2011

STAFF ASSIGNED: JOSH EDWARDS JAE

REQUESTED MOTION

Request by Kin Properties (Property Owner) and Dino Alex of Alexion Properties, LLC (Property Manager and Petitioner) for approval of a Master Sign Plan in accordance with Section 9-3-8-M-12 of the Zoning Code for the properties located at the southeast corner of Golf & Roselle Roads with addresses ranging from 5-35 East Golf Road and 1183-1187 N. Roselle Road based on the Master Sign Plan dated September 7, 2011.

INCLUDES RECOMMENDED CONDITIONS
YES NO

ACRES: 1.5 (APPROXIMATE)	ZONING DISTRICT: B-2 COMMUNITY BUSINESS DISTRICT	
ADJACENT PROPERTIES:	NORTH: VILLAGE OF SCHAUMBURG EAST: B-2 (WOODFIELD MOTOR SPORTS)	SOUTH: B-2 (HOFFMAN PLAZA S.C.) WEST: B-2 (GOLF CENTER S.C.)

PROPOSAL

The properties at 5 & 35 East Golf Road include two buildings with addresses ranging from 5-35 E. Golf Road and 1183-1187 N. Roselle Road. The building at the corner at 5 East Golf Road has undergone a significant upgrade and is now a shopping center with five tenant spaces. The building at 35 East Golf Road includes one tenant, American Mattress, but could contain multiple tenants in the future. The petitioners represent both properties and are proposing a Master Sign Plan to regulate all the signage on both properties. It does not include the other surrounding properties which are part of the same subdivision and share access but are under separate ownership. Most of the signage on the property would be permitted under the Zoning Code, but unique components include slightly larger ground signs and reduced setbacks. The plan also includes standard language found in other similar Master Sign Plan that requires

wall signs to be centered within the architecture and to be located within the “dashed boxes” shown on the building elevations.

MASTER SIGN PLAN STANDARDS

Section 9-3-8-M-12 of the Zoning Code requires that in instances where the Zoning Code cannot be strictly followed, that the owner may propose a Master Sign Plan to accommodate the signs on the property and to set standards and restrictions on the signs. The Village requires a Master Sign Plan in lieu of sign variations except where a Master Sign Plan is not feasible or warranted (for a very minor request where a variation is deemed acceptable to request). The Zoning Code lists the goals that a Master Sign Plan should achieve as follows:

- Result in architecture and graphics of a scale appropriate for the subject development and the surrounding area;
- Provide signage consistent with the site plan and architecture of the project;
- Avoid visual clutter;
- Allow visitors, employees, and consumers to readily identify the business entrances, while addressing the community's need for attractive, unobtrusive architecture and commercial graphics; and
- Result in a unified theme of signage for the project.

Petitioners are encouraged to take a comprehensive approach to each master sign plan proposal because the plan will provide guidelines for signs that are desired both today, and into the future. The Plan functions as a “mini-sign code” for the property. The creation of a Master Sign Plan involves merging and considering several perspectives, including:

- Current Code requirements.
- Prior variation history on the subject property, as well as similar properties.
- Existing signage on the property.
- Specific current signage requests by the property owner.
- Likely possible signage requests in the future (consider the type use of the property and its location).
- Unique characteristics of the subject property.

Because an applicant for an existing building is typically focused on an *immediate* signage need, part of the staff review involves making suggestions for possible future signage or to set standards for the signs to encourage a higher quality of signage. In this case, the draft Master Sign Plan that is presented to the Planning & Zoning Commission contains allowances for wall signs and two ground signs. Additional types of permanent signage are not anticipated at this time.

PLAN DESCRIPTION

The petitioner is requesting approval of a Master Sign Plan to accommodate wall signs for the five tenants as well as a new ground sign for each building. The ground signs are larger than permitted in the Zoning Code, but similar in size to other ground signs approved at other similar properties. The signs would be permitted with reduced setbacks due to very limited space constraints along Golf and Roselle Roads.

NOTIFICATION

Standard notification letters have been sent to surrounding properties within 300 feet and no comments

have been received.

STAFF SUMMARY

Master Sign Plans approved previously by the Village have ranged in scope from individual lots with a couple of sign types to large properties with many sign types. This plan is relatively simply and includes building elevations showing the allowable locations of wall signs at certain locations on the EIFS portions of the building. The text portion of the plan includes general standards for the size and placement of wall signs that is consistent with Master Sign Plans and variations approved for similar properties.

The ground sign allowances are reasonable and comparable to other similar developments.

Lastly, as a minor note, the property manager, Dino Alex, has indicated that the corner building may be named Hoffman Point which will be included on the proposed ground sign. The other ground sign would be used exclusively by American Mattress.

Attachments: Master Sign Plan
 Petitioner Application & Submittals
 Legal Notice
 Location Map

**ALEXION PROPERTIES
5-35 E. GOLF ROAD & 1183-1187 N. ROSELLE ROAD
MASTER SIGN PLAN
SEPTEMBER 7, 2011**

DRAFT

Introduction

The Master Sign Plan requirements have been developed based on the signage that is unique to the two properties located at 5 and 35 East Golf Road, which contains two retail buildings, a parking lot, and landscaped areas. The properties contain approximately 1.5 acres. This plan has been designed with signage for this development that maintains consistency with other similar developments, yet takes into account certain unique characteristics of this development. Sign requirements are intended to promote cohesion among all signs.

A. Area Included in Master Sign Plan

This Master Sign Plan applies to the Alexion Properties at 5-35 East Golf Road and 1183-1187 N. Roselle Road.

B. General Provisions (applicable to all property governed by this plan)

1. Setbacks. The setbacks required for any sign placed on the ground shall meet the requirements set forth in the zoning code, except as stated in this Master Sign Plan. Signs shall be set back and separated from power lines and communication lines as required in Section 9-3-8-I of the Zoning Code.
2. Driver Sight Visibility. No sign shall be placed in a manner that will obstruct driver or pedestrian sight lines and create an unsafe condition based on analysis by the Village Transportation Division.
3. Landscaping. Landscaping shall be provided at the base of all signs, unless determined to be unsafe or not feasible by the Village Department of Development Services.
4. Illumination. All signs permitted by this Master Sign Plan may be illuminated in accordance with Section 9-3-8-F of the Zoning Code unless otherwise indicated in the approved Master Sign Plan documents.
5. Sign Design. Colors and letter graphic styles on the signs shall be determined by the owners of the property, however, the design and placement of signs shall be governed by this Master Sign Plan.
6. Calculation of Sign Area. All signs shall meet the requirements of Section 9-3-8-D, except that the architectural base and support structure of a monument sign shall not be included in the total sign area if these areas do not contain text, logos or any other graphics.

ALEXION PROPERTIES
5-35 E. GOLF ROAD & 1183-1187 N. ROSELLE ROAD
MASTER SIGN PLAN
SEPTEMBER 7, 2011

7. Permits. Sign permits shall be required in accordance with Section 9-3-8-A of the Zoning Code.
8. Coordination with Village Sign Code. All regulations of the Zoning Code shall apply unless specifically stated otherwise in this master sign plan. In the event of a conflict between this Master Sign Plan and the Zoning Code, the Master Sign Plan regulations shall apply.
9. Wall Signs on Rear of Building. Wall signs shall be not permitted on the rear elevation of a business.
10. Prior Variations. No prior sign variations exist for the properties at 5 and 35 East Golf Road.
11. Master Sign Plan. This document, along with the attached elevation drawing Sheet SI-1, dated June 16, 2011, represents the entire Master Sign Plan.

C. Ground or Monument Signs

One ground or monument sign may be permitted on each of the two properties to identify the tenants of the two buildings.

1. The design of the signs shall be limited to a ground or monument style of sign and shall not be allowed as a freestanding or pole style sign with exposed sign supports, but may include brick columns at its base. The ground or monument sign must include an architectural base to enclose any support poles or structure. The sign shall include architectural elements on the top, bottom, and sides to match the building colors and materials of the shopping center building. The design of the sign may be modified from the appearance as shown in the attached drawing, but must follow the requirements set forth in this plan.
2. The overall structure of the signs may be up to a maximum 20 feet in height and a maximum 11 feet in width of the main structure of the sign. The maximum surface area of the sign panels shall be no more than 125 square feet per side, as measured by Section B-7 of this MSP, and excluding any portion of the sign identifying the name of the shopping center.
3. The sign shall be set back a minimum 2 feet from any property line and a minimum 2 feet from any paved surface, which is a reduction from the minimum required 10 foot property line setback and 5 foot pavement setback as set forth in the Zoning Code, due to space constraints. The sign shall be set back and separated from power lines and communication lines as required in Section 9-3-8-I of the Zoning Code.

**ALEXION PROPERTIES
5-35 E. GOLF ROAD & 1183-1187 N. ROSELLE ROAD
MASTER SIGN PLAN
SEPTEMBER 7, 2011**

4. The tenants of either building may include sign panels on either ground sign.

D. Wall Signs

1. The following rules shall apply to the tenant wall signs of the 5 E. Golf Road building.
 - a) Type. Wall signs shall be individually mounted, internally lighted channel letters or logos mounted directly to the building wall surface or to a raceway painted to match the building.
 - b) Number and Size. One wall sign shall be permitted per tenant on the front elevation. An additional, second, wall sign may be permitted for corner tenant spaces on the separate side wall. Each wall sign shall not exceed 3 square feet per 1 foot of lineal tenant storefront, or a maximum of 200 square feet per sign.
 - c) Location. Wall signs shall be centered horizontally within the façade of the portion of the building leased by the tenant; or over an architectural feature of such front façade. Signs shall be located within the allowable sign boxes (dashed boxes) shown on the attached building elevation drawings and shall be centered vertically in relation to other adjacent wall signs.
2. The following rules shall apply to the existing tenant wall signs of Caribou Coffee and American Mattress (35 E. Golf Road).
 - a) Existing Caribou Coffee Signs (1183 N. Roselle Road). The existing wall signs for Caribou Coffee may remain on the building in the existing locations until such time as they are replaced or removed. New signs installed must be placed and designed according to the rules in Section D-1 of this MSP.
 - b) Existing American Mattress Sign (35 E. Golf Road). The wall sign requirements for this building shall meet the requirements of the Zoning Code. The existing wall sign for American Mattress may remain on the building. The sign shall be centered horizontally within the façade of the portion of the building leased by the tenant; or over an architectural feature of such front façade.

E. Miscellaneous Signs

1. Directional or Instructional Signs. Such signs shall meet the requirements of Section 9-3-8-B-8. All signs shall be of a consistent design and shall be separate from traffic control signs.
2. Window Signs. Window signs may be placed in the window of businesses per the standards set forth in the Zoning Code. The property owner may install window signs in

ALEXION PROPERTIES
5-35 E. GOLF ROAD & 1183-1187 N. ROSELLE ROAD
MASTER SIGN PLAN
SEPTEMBER 7, 2011

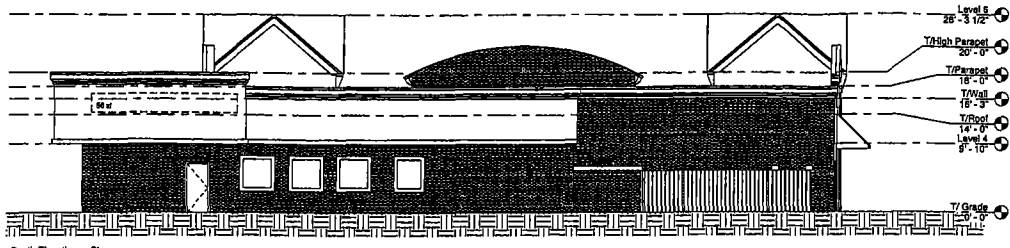
vacant storefronts to cover the entire windows, which may include generic images or artwork, promotional, or leasing information that improves the building aesthetics for the period that the space is vacant, or promotes this property or its tenants, but may not include advertisements or information unrelated to this property or advertising off-site properties or products.

F. Temporary Signs

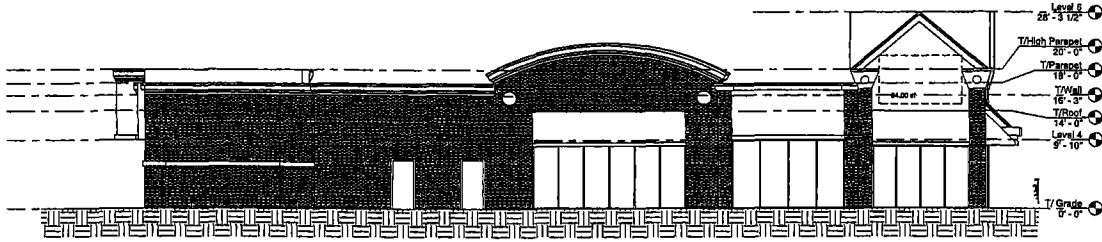
- a) Leasing Sign. Leasing information may be incorporated into the ground sign and shall not be permitted as freestanding signs or on the building exterior, which shall supersede the allowance for such temporary signs as stated in Zoning Code Section 9-3-8-K-3.
- b) Special Event Signs. Such signs shall meet the requirements of Section 9-3-8-K of the Zoning Code.
- c) Light Pole Banners. The property shall be permitted to install light pole banner signs as stated in Zoning Code Section 9-3-8-L-5, with the exception that light pole banners may be installed onto any light pole on the private property without a minimum separation from other light poles.

G. Amendments

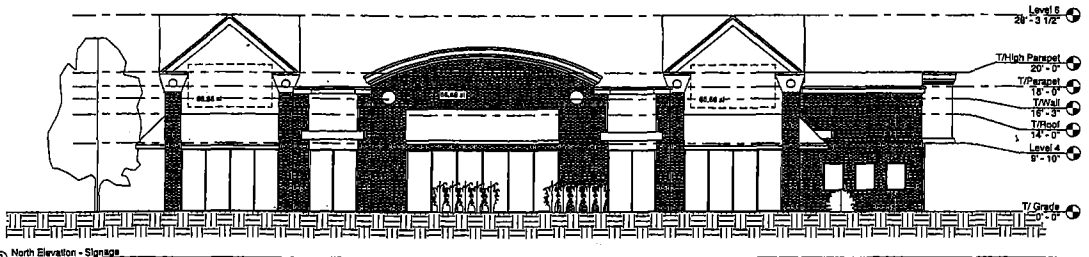
1. Changes. Changes to the text, colors, or graphic style of the signs shall not require a formal amendment to this plan, provided the size and all other requirements of this plan are met.
2. Interpretations. Signs that are not explicitly addressed in the provisions of this plan, but that meet the intent of the plan may be permitted through administrative approval.
3. New Signs. The addition of new signs or relocation of existing signs shall not require a formal amendment to this plan, provided the signs meet all requirements of this plan. Any amendment to add additional signs or make substantial changes to the approved signs in this plan shall be subject to review and approval by the Village Board through the process outlined in the Zoning Code for variations.
4. 35 E. Golf Road. In the event that the building at 35 E. Golf Road is updated with a new façade, to be consistent with the building at 5 E. Golf Road this MSP shall apply and shall be amended to integrate the new façade. As part of the site plan approval for changes to the 35 E. Golf Road building, the building elevations of the new façade shall include dashed boxes showing allowable wall sign locations, which shall be made part of this MSP with an amendment.



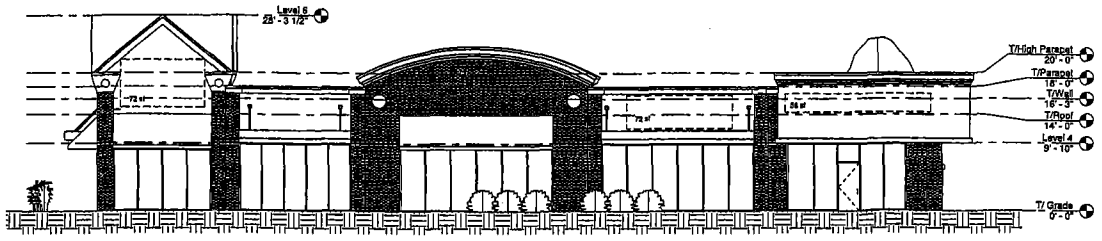
4 South Elevation - Storage
1/8" = 1'-0"



3 East Elevation - Storage
1/8" = 1'-0"



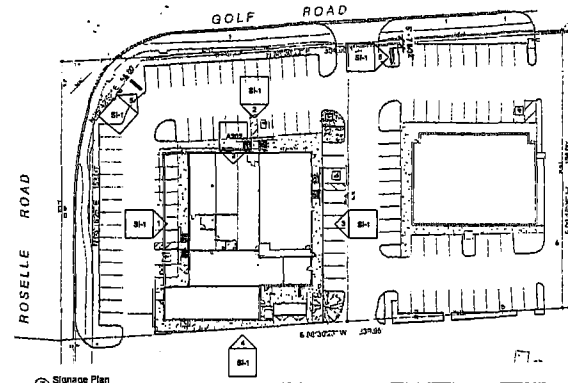
2 North Elevation - Storage
1/8" = 1'-0"



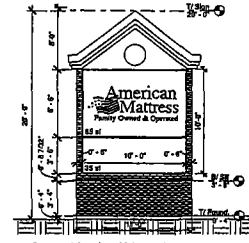
1 West Elevation - Storage
1/8" = 1'-0"

Signage Information

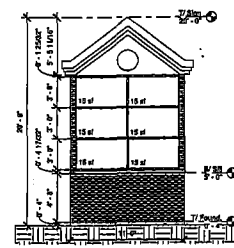
SIGN TYPE/ QUANTITY (SECT. 9-3 M 10 C)	ALLOWED		PROPOSED	
	GROUND SIGN: WALL SIGN:	2 4	2 4	PROPOSED 20' S.P. RETAIL BUILDING 100.00 S.P. M 10 C 4
GROUND SIGN SIZE (SECT. 9-3 M 10 C 4)	AREA MAX: 100.00 S.P. HEIGHT: 20'-0"	AREA MAX: 100.00 S.P. HEIGHT: 20'-0"	PROPOSED 20' S.P. RETAIL BUILDING 100.00 S.P. M 10 C 4	PROPOSED 20' S.P. AMERICAN MATTRESS 100.00 S.P. M 10 C 4
ROAD SIGN NETWORK (SECT. 9-3 M 10 C 4)	PROPERTY LINE: 15'-0"	REQUIRED 15'-0"	PROPOSED 5'-7" AMERICAN MATTRESS 7'-0"	PROPOSED 5'-7" AMERICAN MATTRESS 7'-0"
WALL SIGN (SECT. 9-3 M 10 C 3)	AREA ON NORTH: 150 S.P. AREA ON SOUTH: 150 S.P. AREA ON EAST: 200 S.P. TOTAL ALLOWED: 700 S.P.	ALLOWED 20' S.P. 150 S.P. 150 S.P. 200 S.P. 700 S.P.	PROPOSED 20' S.P. RETAIL BUILDING 100.00 S.P. M 10 C 4	PROPOSED 20' S.P. AMERICAN MATTRESS 100.00 S.P. M 10 C 4



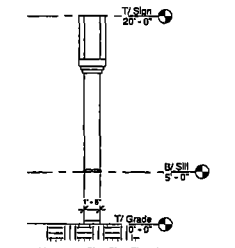
7 Storage Plan
1" = 40'-0"



Proposed American Mattress Monument
Sign
3/16" = 1'-0"



Monument Sign Side Elevation
3/16" = 1'-0"



Monument Sign Side Elevation
3/16" = 1'-0"

DATE:	05-13-10
SCALE:	As Indicated
DRAWN:	RT
CHECK:	TT, CK
APP:	000024
SHEET:	SI-1

NO. 1

REVISIONS:

NO.	DATE	BY	DESCRIPTION
1	5-17-10	RT	REVISED PER COMMENTS
2	5-18-11	RT	AMERICAN MATTRESS SIGN

CORPORATE DESIGN & DEVELOPMENT GROUP, LLC.
1000 N. WILSON AVENUE, SUITE 100
CHICAGO, ILLINOIS 60642
TEL: 312.329.1000
WWW.CDDG.COM

DINO ALEX PROPERTY
HOFFMAN ESTATES, ILLINOIS
SEC GOLF RD & ROSELLE RD

Dino Alex

Signage Plan

INC00000000 - Hoffman Estates, IL - Dino Alex Property/CD/PH/MS Building
 M001113253.PN

VILLAGE OF HOFFMAN ESTATES
ZONING BOARD OF APPEALS

APPLICATION FOR MASTER SIGN PLAN REVIEW

FOR VILLAGE USE ONLY

Hearing Fee \$ 4,000.00 Date Paid 6/16/11 Received By P. Moore
Hearing Date: 9/7/11 Time: 7:00 pm Legal Published 8/23/11
Receipt Number 297803 Check No. 2654 Zoning District B-2

APPLICANT (PLEASE PRINT OR TYPE)

Use additional sheets as necessary

1. Name of Property Owner(s) Kin properties Attn: Lee cherney
E-Mail Address _____ Fax (561) 361-1595
Owner's Address 185 NW Spanish River Blvd. Suite 100 Phone (561) 620-9200
City Boca Raton State FL Zip 33431
Subject Property's Address (if different): S. E. GOLF RD

2. Person applying if other than owner:

Name Dino Alex Company Alexion Properties, LLC
E-Mail Address _____ Fax (847) 359-5864
Address 1584 Buttitta Dr. Suite 299 Phone (630) 205-3300
City Streamwood State IL Zip 60167

3. Property Index Number(s) (PIN) 07-15-200-029

4. Name and Location of Subject Property

5 East Golf RD
Hoffman Estates IL

* If "owner" is an entity other than an individual(s), then an Economic Disclosure Statement must also be filed.

5. I, the undersigned, certify the information and submissions provided accurately represent the current conditions and proposed improvement(s) requiring a master sign plan.

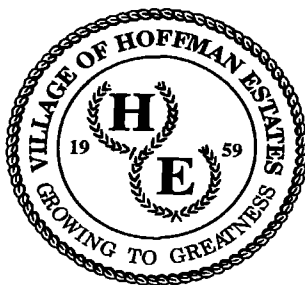
Applicant's Signature 

Name (Please Print) Dino Alex

The application fee for a Master Sign Plan is \$500.00 plus \$250.00 per sign type. Checks should be made payable to the Village of Hoffman Estates.

Only complete application packets will be accepted.

Should you have questions regarding the master sign plan application process, please call the Planning Division at 847/781-2660.



ACKNOWLEDGMENT

Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Plan Commission member or Chair, or any Zoning Board of Appeals member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village.

Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.

Applicant Signature

Date

VILLAGE OF HOFFMAN ESTATES
ZONING BOARD OF APPEALS

Owner Authorization for Variation/Special Use/Master Sign Plan Hearings

It is required that the property owner or his designated representative be present in all variation/special use/master sign plan hearings before the Zoning Board of Appeals (ZBA).

During the course of the hearing, questions may arise regarding the overall site, site improvements, special conditions to be included in a ZBA recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the ZBA recommendations.

Failure to have the owner or designated representative present at the hearing can lead to substantial delays in the hearing process.

If the owner cannot be present at the hearing, the following statement must be signed by the owner:

I understand the requirement for the owner or an authorized representative to be present at the hearing with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize Troy N. Triphahn to act on my behalf and advise that he/she has full authority to act as my/our representative.



Owner Signature

D. NO ALEX

Please Print Name

**VILLAGE OF HOFFMAN ESTATES
ZONING BOARD OF APPEALS**

OWNER'S RIGHT TO PROVIDE A COURT REPORTER

A property owner may provide a court reporter for the hearing.


It is required that the property owner specifically waive the right to provide a court reporter if the property owner chooses not to provide a court reporter. The following statement must be completed by the Owner.

I understand I have the right to provide a court reporter to transcribe the hearing.

I hereby advise that a court reporter will be provided.

I hereby waive the right to provide a court reporter.

(Please check appropriate box).



Owner Signature

Dino Alex

Please Print Name

VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION

Owner Authorization for Master Sign Plan Hearings

It is required that the property owner or his designated representative be present in all variation/special use/master sign plan hearings before the Planning and Zoning Commission (PZC).

During the course of the hearing, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments and comply with any and all conditions included in the PZC recommendations.

Failure to have the owner or designated representative present at the hearing can lead to substantial delays in the hearing process.

If the owner cannot be present at the hearing, the following statement must be signed by the owner.

PIN 07-15-200-029-0000 Address: 1185 N. Roselle Road, Hoffman Estates, IL Owner Reference #0423	
I understand the requirement for the owner or an authorized representative to be present at the hearing with full authority to commit to requests, conditions, and make decisions on behalf of the owner. I hereby authorize <u>Alexion Properties, LLC - Dino Alex</u> to act on my behalf and advise that he/she has full authority to act as my/our representative.	
Mulison LLC By: Kinsan Management Corp., Its Manager	Nathan Alison LLC By: Kinsan Management Corp., Its Manager
By: <u><i>A. M. Schreier</i></u> Name: <u>Andrew Schreier</u> Title: <u>Vice President</u>	By: <u><i>A. M. Schreier</i></u> Name: <u>Andrew Schreier</u> Title: <u>Vice President</u>

PIN 07-15-200-042-0000 Address: 40 Golf Road, Hoffman Estates, IL Owner Reference #1164	
I understand the requirement for the owner or an authorized representative to be present at the hearing with full authority to commit to requests, conditions, and make decisions on behalf of the owner. I hereby authorize <u>Alexion Properties, LLC - Dino Alex</u> to act on my behalf and advise that he/she has full authority to act as my/our representative.	
Inversan Limited Partnership By: Inversan Company, Inc., Its General Partner	
By: <u><i>A. M. Schreier</i></u> Name: <u>Andrew Schreier</u> Title: <u>Vice President</u>	



**CORPORATE
DESIGN + DEVELOPMENT
GROUP, LLC**

2675 Pratum Avenue
Hoffman Estates, IL 60192
224.293.6960 Office
224.293.6966 Fax

STANDARDS FOR A MASTER SIGN PLAN

1. Result in architecture and graphics of a scale appropriate for the subject development and the surrounding area;

The proposed signs incorporate desirable architectural elements such as masonry bases and architectural features near the top of the main ID sign to complement the design of the principal structure. Based on other existing signs in the area, the size and scale of these signs are appropriate and similar to other recently approved signs.

2. Provide signage consistent with the site plan and architecture of the project:

As mentioned in standard # 1, the sign elevations have been designed to be complementary to the architecture of the principal structures by incorporating elements such as masonry bases and features at the top of each sign the mimic the roofline of the buildings.

With respect to the site plan, the signs are proposed in locations as to provide maximum exposure to the adjacent right-of-ways, without blocking any site lines. The proximity of the proposed signs to the right-of-way is similar to that of other signs in the immediate vicinity.

3. Avoid visual clutter

Only one ID sign is proposed per lot as allowed by Village code. In order to avoid visual clutter, the sign is located near the intersection of Roselle Rd. and Golf Rd. in a logical area to provide exposure, without cluttering the site. The location is similar to sign locations at other corners in this intersection and other nearby intersections.

May 31, 2011

Page 2 of 2

4. Allow visitors, employees, and consumers to readily identify the business entrances, while addressing the community's need for attractive, unobtrusive architecture and commercial graphics

Based upon the local speed limit, similar signs in the immediate vicinity, and similar signs recently approved throughout the Village, the proposed signs are similar in size and quality and therefore readily identify the business entrances, and the community's need for attractive, unobtrusive architecture and commercial graphics.

5. Result in a unified theme of signage for the project.

This project is unified as a whole by using similar building materials and architectural features throughout the project. The signage for the project, utilizes similar materials and architectural features of the principal structure for which it serves, thereby creating a unified signage theme throughout the project.

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning and Zoning Commission of the Village of Hoffman Estates will hold a public hearing at the request of Kin Properties (Owner) and Dino Alex dba Alexion Properties, LLC (Developer) to consider a master sign plan under the Zoning Code to permit signage on the properties located at 5 & 35 E. Golf Road and legally described as follows:

P.I.N.: 07-15-200-029

PARCEL 1

THAT PART OF LOT 14 IN BLOCK 1 IN HOFFMAN ESTATES 1, A SUBDIVISION OF PARTS OF SECTION 14 AND 15 TOWNSHIP 41 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES, COOK COUNTY, ILLINOIS, ON AUGUST 5, 1955, AS DOCUMENT 1612242, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 14 AS A POINT OF BEGINNING; THENCE EAST ALONG THE NORTH LINE OF SAID LOT 14 A DISTANCE OF 207 FEET; THENCE SOUTH PARALLEL TO THE WEST LINE OF SAID LOT 14 A DISTANCE OF 200 FEET; THENCE WEST PARALLEL TO THE NORTH LINE OF SAID LOT 14 A DISTANCE OF 207 FEET TO THE WEST LINE OF SAID LOT 14; THENCE NORTH ALONG THE WEST LINE OF SAID LOT 14 A DISTANCE OF 200 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THE FOLLOWING DESCRIBED PARCEL CONVEYED TO THE BOARD OF COUNTY COMMISSIONER FOR COOK COUNTY: THAT PART OF LOT 14 IN BLOCK 1 ON HOFFMAN ESTATES 1, A SUBDIVISION OF PARTS OF SECTIONS 14 AND 15, TOWNSHIP 41 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES, AS DOCUMENT LR 1612242 LYING NORTHWESTERLY OF A LINE EXTENDED FROM THE WEST LINE OF LOT 14 AFORESAID 30 FEET SOUTH OF THE NORTH WEST CORNER THEREOF TO THE NORTH LINE OF LOT 14 AFORESAID 30 FEET EAST OF SAID NORTH WEST CORNER.

AND EXCEPTING THE FOLLOWING DESCRIBED PARCEL PURSUANT TO ORDER VESTING TITLE ENTERED OCTOBER 23, 1996, IN CASE NO. 96L50558, JOB NO. R-90-008-94 PARCEL NO. OBX0034; THAT PART OF THE NORTH 200.00 FEET OF THE WEST 207.00 FEET OF LOT 14 AS MEASURED ALONG THE NORTH AND WEST LINE THEREOF IN BLOCK 1 IN HOFFMAN ESTATES 1, A SUBDIVISION OF PARTS OF SECTIONS 14 AND 15, TOWNSHIP 41 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 5, 1955 AS DOCUMENT NO. 1612242, IN COOK COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTH LINE OF SAID LOT 14 THAT IS 30.00 FEET EAST OF THE NORTHWEST CORNER THEREOF; THENCE AN ASSUMED BEARING OF NORTH 86 DEGREES 30 MINUTES 23 SECONDS EAST ALONG SAID NORTH LINE, 177.00 FEET TO A POINT THAT IS 207.00 FEET EAST OF THE NORTHWEST CORNER OF SAID LOT 14; THENCE SOUTH 00 DEGREES 16 MINUTES 25 SECONDS WEST, 2.00 FEET TO A POINT ON A LINE THAT IS 2.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID LOT 14; THENCE SOUTH 86 DEGREES 30 MINUTES 23 SECONDS WEST, ALONG SAID PARALLEL LINE, 149.95 FEET; THENCE SOUTH 36 DEGREES 42 MINUTES 52 SECONDS WEST, 58.80 FEET TO A POINT ON A LINE THAT IS 22.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF SAID LOT 14; THENCE SOUTH 00 DEGREES 16

MINUTES 25 SECONDS WEST ALONG SAID PARALLEL LINE, 153.00 FEET TO THE GRANTOR'S SOUTH LINE, 22.05 FEET TO A POINT ON THE WEST LINE OF SAID LOT 14; THENCE NORTH 00 DEGREES 16 MINUTES 25 SECONDS EAST ALONG SAID WEST LINE, 170.00 FEET TO A POINT THAT IS 30.00 FEET SOUTH OF THE NORTHWEST CORNER OF SAID LOT 14 AND ON THE EXISTING RIGHT OF WAY PER DOCUMENT NO. LR1612242; THENCE NORTH 43 DEGREES 23 MINUTES 24 SECONDS EAST, 43.80 FEET TO THE POINT OF BEGINNING.

PARCEL 2

THAT PART OF LOT 14 IN BLOCK 1 IN HOFFMAN ESTATES 1 (HEREINAFTER DESCRIBED) DESCRIBED MORE PARTICULARLY AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 14. BEING THE NORTHWEST CORNER OF LOT 13 OF SAID BLOCK 1; THENCE WESTWARD, SOUTH 89 DEGREES, 23 MINUTES, 37 SECONDS WEST, ALONG THE SOUTH RIGHT OF WAY LINE OF GOLF ROAD, A DISTANCE OF 257.98 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 3 DEGREES, 7 MINUTES, 51 SECONDS WEST, A DISTANCE OF 200.00 FEET; THENCE SOUTH 89 DEGREES, 23 MINUTES, 37 SECONDS WEST, A DISTANCE OF 155.00 FEET; THENCE NORTH 3 DEGREES, 7 MINUTES, 51 SECONDS EAST, A DISTANCE OF 200.00 FEET TO A POINT ON THE NORTH LINE OF GOLF ROAD AT A POINT BEING 207.00 FEET EASTERLY OF THE NORTH WEST CORNER OF SAID LOT 14; THENCE EASTWARD ALONG THE SAID NORTH LINE OF LOT 14, NORTH 89 DEGREES, 23 MINUTES, 37 SECONDS EAST, A DISTANCE OF 155.00 FEET TO THE POINT OF BEGINNING, SAID HOFFMAN ESTATES 1, BEING A SUBDIVISION OF THAT PART OF THE WEST HALF OF THE NORTH WEST QUARTER AND THAT PART OF THE NORTH WEST QUARTER OF THE SOUTH WEST QUARTER OF SECTION 14, TOWNSHIP 41 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF HIGGINS ROAD, TOGETHER WITH THAT PART OF THE NORTH EAST QUARTER OF SECTION 15, TOWNSHIP 41 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN; LYING NORTH OF HIGGINS ROAD, IN COOK COUNTY, ILLINOIS.

The hearing will be held on Wednesday, September 7, 2011 at 7:00 p.m. in the Hoffman Estates Municipal Building, 1900 Hassell Road, Hoffman Estates, IL.

Gordon Thoren, Chairman
Planning and Zoning Commission

To be published by Paddock Publications on Tuesday, August 23, 2011.

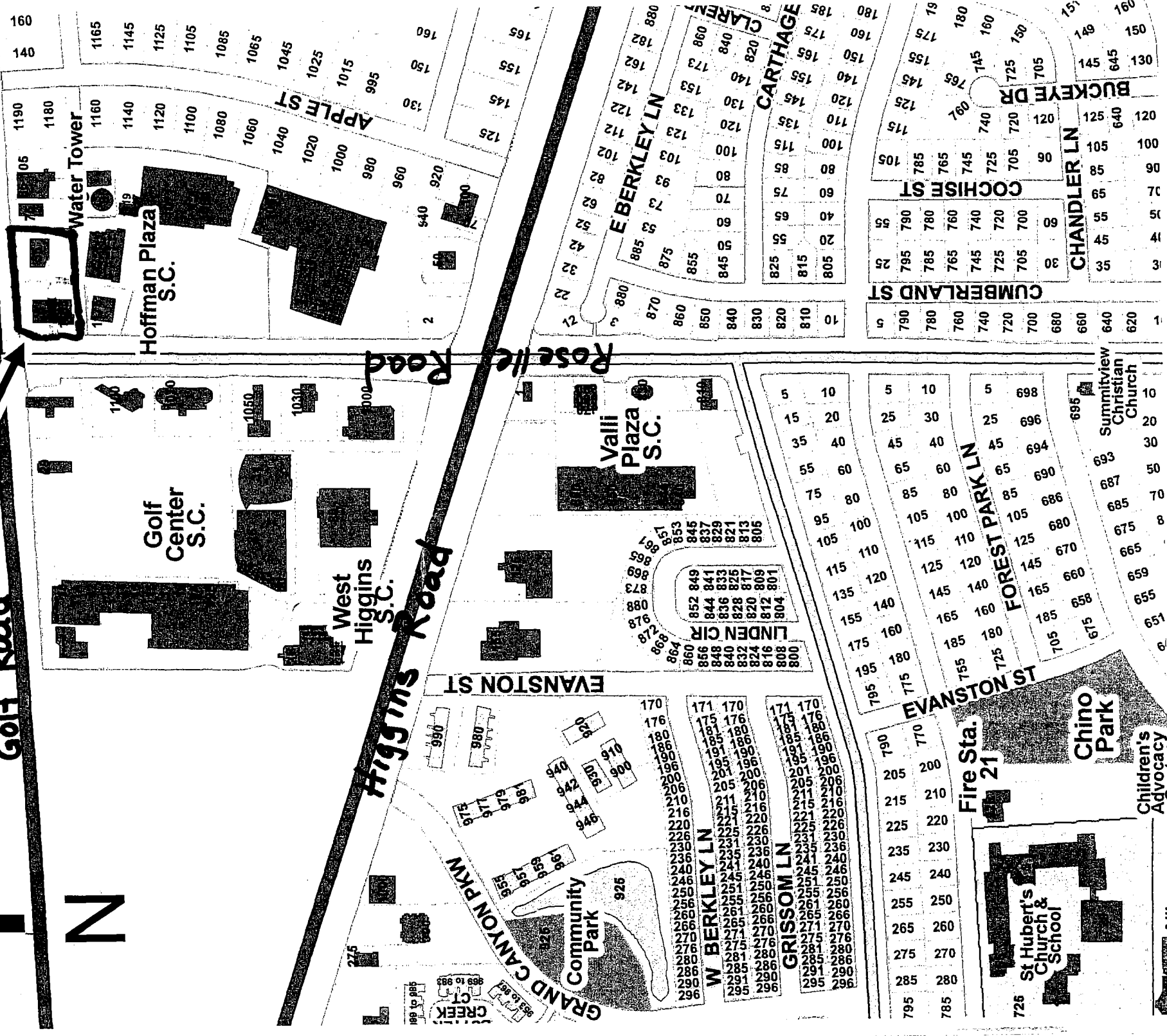
200000'

SUBJECT SITE

Golf Road

N

ROSE





VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION
FINDING OF FACT

PROJECT NO.: 2011017P

VILLAGE BOARD MEETING DATE: September 12, 2011

PETITIONER(S): OM&I Hoffman Three LLC

PROJECT ADDRESS: S/W Corner of Shoe Factory & Essex
ZONING DISTRICT: R-3, One Family Residential

Recommendation: APPROVAL

Vote: 9 Ayes 1 Absent 1 Vacancy

PZC MEETING DATE: **SEPTEMBER 7, 2011**

STAFF ASSIGNED: **JIM DONAHUE**

Request by OM&I Hoffman Three LLC for approval of a Site Plan Amendment and Plats of Vacation, Easement and Resubdivision of the Devonshire Woods Subdivision located at the southwest corner of Shoe Factory Road and Essex Drive.

The Planning and Zoning Commission recommends the following conditions:

- 1. Approval is subject to Village Board approval of a Settlement and Release Agreement between the Village and OM&I Hoffman Three LLC.**
- 2. The property is subject to the original conditions of approval for the Devonshire Woods Subdivision approved on June 4, 2007 and September 4, 2007 as well as the University Place Annexation Agreement and all subsequent amendments.**
- 3. A Plat of Subdivision is required to be submitted to and approved by the Village as part of the conveyance of the land currently shown as Lot 19 to the Park District.**
- 4. The owner and their contractors shall contact the Village and have a pre-construction meeting before the start of any construction activity.**

AUDIENCE COMMENTS

None

FINDING

The Planning & Zoning Commission heard a presentation by the petitioner explaining that this project was approved in 2007 and that the original developer built 9 homes, of which 8 are currently occupied. Due to financial reasons, the builder lost the property and it reverted back to the bank that held the monetary note on it. Since that time, no construction activity has occurred on the site. In order to get the subdivision up to Village standards and get the improvements in place for the current residents, the petitioner and the Village are entering into an agreement that outlines improvements that need to occur to get the subdivision improvements accepted by the Village. This includes sidewalks, street paving, landscaping and a host of other improvements. Additionally, the Planning & Zoning Commission learned that the developer would be

Planning and Zoning Commission Finding of Fact
Devonshire Woods Subdivision Site Plan Amendment, Plats of Vacation, Easement & Resubdivision
Village Board Meeting Date: September 12, 2011

vacating the platted lots in the southern portion of the site and consolidating them into one lot to prevent the sale of individual lots that would not have access to a street. When a developer purchases this area, it would need to be replatted in the same layout due to the existing utilities and tree preservation issues. There were no questions from the commission and all commission members were excited to get the work completed.

PLANNING AND ZONING COMMISSIONERS

Chairperson Eva Combs	Myrene Iozzo
Donna Boomgarden	Thomas Krettlar
Michael Gaeta	Gaurav Patel
Steve Hehn	Steve Wehofer
Lenard Henderson	Denise Wilson

ROLL CALL VOTE

9 Ayes
0 Nays
0 Abstain
1 Absent (Combs)
1 Vacancy
MOTION PASSED

The following attachments are hereby incorporated as part of this Finding of Fact:

- Staff Report
- Shoe Factory Road Sidewalk Engineering Plan Set
- Shoe Factory Road Landscape Plan Set
- Plat of Vacation
- Plat of Easement
- Plat of Subdivision



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT NO.: 2010017

PROJECT NAME: DEVONSHIRE WOODS SUBDIVISION

PROJECT ADDRESS/LOCATION: SOUTHWEST CORNER SHOE FACTORY RD & ESSEX RD

PUBLIC HEARING YES NO

REZONING MASTER SIGN PLAN SPECIAL USE VARIATION

FINAL SITE PLAN PLAT

MEETING DATE: SEPTEMBER 7, 2011

STAFF ASSIGNED: JIM DONAHUE



REQUEST

Approval of a Site Plan Amendment and Plats of Vacation, Easement and Resubdivision of the Devonshire Woods Subdivision located at the southwest corner of Shoe Factory Road and Essex Drive.

INCLUDES RECOMMENDED CONDITIONS YES NO

ACRES: 45 (ENTIRE PROPERTY)

ZONING DISTRICT: R-3, ONE-FAMILY RESIDENTIAL

ADJACENT

NORTH: HAVERFORD PLACE, ZONED RAA

SOUTH: UNINCORPORATED COOK COUNTY

PROPERTIES:

EAST: WHITE OAK, ZONED R-3

WEST: UNINCORPORATED COOK COUNTY

HISTORY

Devonshire Woods Subdivision was approved in 2007 and construction of the homes began soon after. The subdivision is a heavily wooded area and great care was taken in preserving trees on site as the location of the homes, utilities and streets were reviewed for the best area to be located, while preserving the trees. A total of nine homes were built by the builder (Dartmoor Homes) and eight of them are currently occupied. In addition to the homes, all the utilities (including detention) were put in place throughout the subdivision, and the streets were installed in the north half of the subdivision. Due to financial reasons, the builder lost the property and it reverted back to the bank that held the monetary note on it. Since that time, no construction activity has occurred on the site.

In an effort to get the public improvements completed and get the subdivision accepted by the Village, the current landowner (OM&I Hoffman Three LLC) and the Village are finalizing an agreement that outlines the improvements that need to be done prior to acceptance. The plans and agreement will go to the Village Board for final approval concurrently.

PROPOSAL

As part of getting the subdivision to a position where it can be accepted by the Village, the current landowner will be undertaking numerous improvements including:

- Removal and replacement of broken curb and gutter.
- Replacement of failed sections of asphalt binder.
- Installation of the final lift of asphalt surface layer.
- Construction of the remaining on-site sidewalk.
- Sodding of the rights of ways.
- Installing snow fencing along the right of way lines along each vacant lot to keep people out.
- Fixing all streetlights.
- Adjusting the existing underground utility structures to proper grades.
- Installation of a sidewalk along Shoe Factory Road frontage.
- Installation of landscaping at White Spruce entranceway and along Shoe Factory Road.
- Correcting the sideyard grading on the private residential lots as needed.
- Installation of gravel over the south half of Bur Oak Dr. to allow access to utilities by Public Works.
- Installation of gate to prevent public access to south half of subdivision.

The above referenced improvements were all part of the previously approved plans in 2007, with the exception of the Shoe Factory Road sidewalk plans and Shoe Factory Road landscape buffer plans. Those plans are included in the packets for review.

PLATS OF VACATION, EASEMENT AND RESUBDIVISION

In addition to the improvements outlined above, the petitioner will also be executing a series of plats that will ultimately combine the remaining lots in the southern portion of the subdivision that are not accessible by a street into one lot. The area includes Lots 4-23. By combining the lots into one larger lot, it will prevent the single lots from being sold until such time as a road is installed to access these lots. When someone purchases this land and wishes to develop it with homes, they would need to obtain Village approval for the plans and resubdivision plats. Due to the existing utilities that are already in place and tree preservation issues, any development of this southern portion will most likely have to follow the lot lay-out as it is currently shown. This is addressed in the settlement agreement.

The existing lots in the north half of the subdivision will be able to be sold to individual homebuilders or to one homebuilder. The property will still be subject to the original conditions of approval for the subdivision and the annexation agreement governing the property and any new home built will need to adhere to the requirements in those documents as well as the new agreement proposed by the current landowner.

PARK DISTRICT

As part of the original development, a large central portion and most of the southern portion of the site was dedicated to the Park District and subsequently developed as Black Bear Park. The original developer had many outstanding issues with the Park District relative to site improvements and financial obligations. As such, the current landowner has an agreement with the Park District to dedicate the land that is currently

Meeting Date: September 7, 2011

Lot 19 to them to satisfy all previous outstanding issues. A plat of resubdivision would be required for that action. A condition of approval is included for this.

STAFF SUMMARY

The agreement between the Village and the current landowner will help expedite the installation and completion of numerous public improvements that have been delayed due to the financial issues with the original developer. Many of the homeowners have been living in the subdivision since 2008 without the typical improvements that should be in place with any new subdivision. This work will allow the Village to accept the improvements and begin maintaining them to typical Village standards as well as provide the homeowners with a more fully completed subdivision.

RECOMMENDED CONDITIONS

Approval of a Site Plan Amendment and Plats of Vacation, Easement and Resubdivision of the Devonshire Woods Subdivision located at the southwest corner of Shoe Factory Road and Essex Drive, subject to the following conditions:

1. Approval is subject to Village Board approval of a Settlement and Release Agreement between the Village and OM&I Hoffman Three LLC.
2. The property is subject to the original conditions of approval for the Devonshire Woods Subdivision approved on June 4, 2007 and September 4, 2007 as well as the University Place Annexation Agreement and all subsequent amendments.
3. A Plat of Subdivision is required to be submitted to and approved by the Village as part of the conveyance of the land currently shown as Lot 19 to the Park District.
4. The owner and their contractors shall contact the Village and have a pre-construction meeting before the start of any construction activity.

Attachments: Shoe Factory Road Sidewalk Engineering Plan Set
Shoe Factory Road Landscape Plan Set
Plat of Vacation
Plat of Easement
Plat of Subdivision

VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION APPLICATION



Submission Date: August 23, 2011
 Project Number: _____
 Project Name: Devonshire Woods
 Project Address/Location: On south side of Shoe Factory Road between Essex and White Spruce Drive
 Property Index Numbers: Multiple – see attached
 Meeting Date: September 7, 2011

Site Plan Subdivision Special Use Variation Rezoning
 Non-Residential Variation Text Amendment Master Sign Plan

Acres: _____ Zoning District: _____

I. Owner of Record

OM&I Hoffman Three LLC

Name
 1111 W. 22nd Street – Suite 800, Oak Brook, IL
 Address
 60523 (630) 576-2216 (630) 628-1575
 Zip Code Area Code Telephone Number Area Code Fax Number

II. Developer

Name
 Address
 () ()
 Zip Code Area Code Telephone Number Area Code Fax Number

III. Contact Person / Project Manager

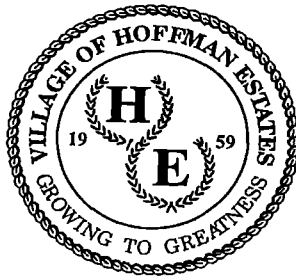
Cowhey Manhard Consulting (Bob Gudmundson and Jim D'Alexander)

Name
 700 Springer Drive, Lombard, IL
 Street Address
 60148 (630) 925-1119 (630) 925-1114 (630) 691-8585
 Zip Code Area Code Telephone Number Area Code Fax Number
rwg@manhard.com jdalexander@manhard.com
 E-mail Address

Applicant's relationship to property: Owner

IV. Project Description (Attach separate sheet if additional space is needed):

See Attached Letter



ACKNOWLEDGMENT

Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Plan Commission member or Chair, or any Zoning Board of Appeals member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village.

Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.

I, the undersigned, certify the information provided on this Application accurately represents the proposal.

Owner's Signature:

Owner's Name (Please Print): Frank H. Lakofka, Manager and Senior Vice President

August 23, 2011

Mr. Jim Donahue, Senior Planner
Village of Hoffman Estates
Department of Development Services
1900 Hassell Road
Hoffman Estates, Illinois 60195

**RE: SUBMITTAL FOR PLANNING AND ZONING HEARING
SEPTEMBER 7, 2011 – DEVONSHIRE WOODS
HOFFMAN ESTATES, ILLINOIS**

Dear Jim:

In response to your email of August 11th, 2011, and in preparation for our Planning and Zoning Commission hearing on September 7th, enclosed please find the following:

1. Completed application and fee of \$2,300.00 as prepared and furnished by Oxford Bank.
2. Four (4) full-size sets of the Shoe Factory Road Engineering Improvement Plans, signed and sealed.
3. Four (4) full-size sets of the Landscape Plans.
4. Two (2) copies each of the Easement Plat, Vacation Plat and Subdivision Plat (note these are unsigned prints but ownership has signed mylars for recording).
5. A CD containing electronic copies of the above referenced plans for your use.

With regard to the remediation work planned within the Devonshire Woods subdivision, we have prepared separate remedial improvement documents to finish the public improvements and address grading concerns on private single-family lots. The scope of work to be accomplished has been reviewed with Village staff and includes:

- Removal and replacement of broken curb and gutter
- Replacement of failed sections of asphalt binder
- Installation of the final lift of asphalt surface
- Construction of the remaining on-site sidewalk
- Fixing the street lights
- Adjusting existing underground utility structures to proper grades
- Installation of a sidewalk along the Shoe Factory Road frontage
- Installation of landscaping at entranceway and along Shoe Factory Road
- Correcting the sideyard grading on the private residential lots



We look forward to a successful Planning and Zoning Commission meeting on September 7th. Should you require any additional information, please call. Thank you.

Best regards,
COWHEY MANHARD

A handwritten signature in black ink, appearing to read "Jim D'Alexander". The signature is fluid and cursive, written over a horizontal line.

Jim D'Alexander, P.E.
Project Manager

JD/t/Donohue082311LS3101CGL05/Cor

cc: Frank Lakofka, Oxford Bank
Marc Gryzlo, Oxford Bank
Gerald Callahan, Freeborn & Peters
Robert Gudmundson, Cowhey Manhard

Enclosures

▲▲▲ FOR PLANT LIST & NOTES
- See Sheet L.2a -

FROM
DEVONSHIRE WOODS ESTATES
HOFFMAN ESTATES, ILLINOIS

LAND DESCRIPTION
Landscape Development Plan

OXFORD BANK & TRUST
1111 West 22nd Street - Suite 800
Oak Brook, IL 60523

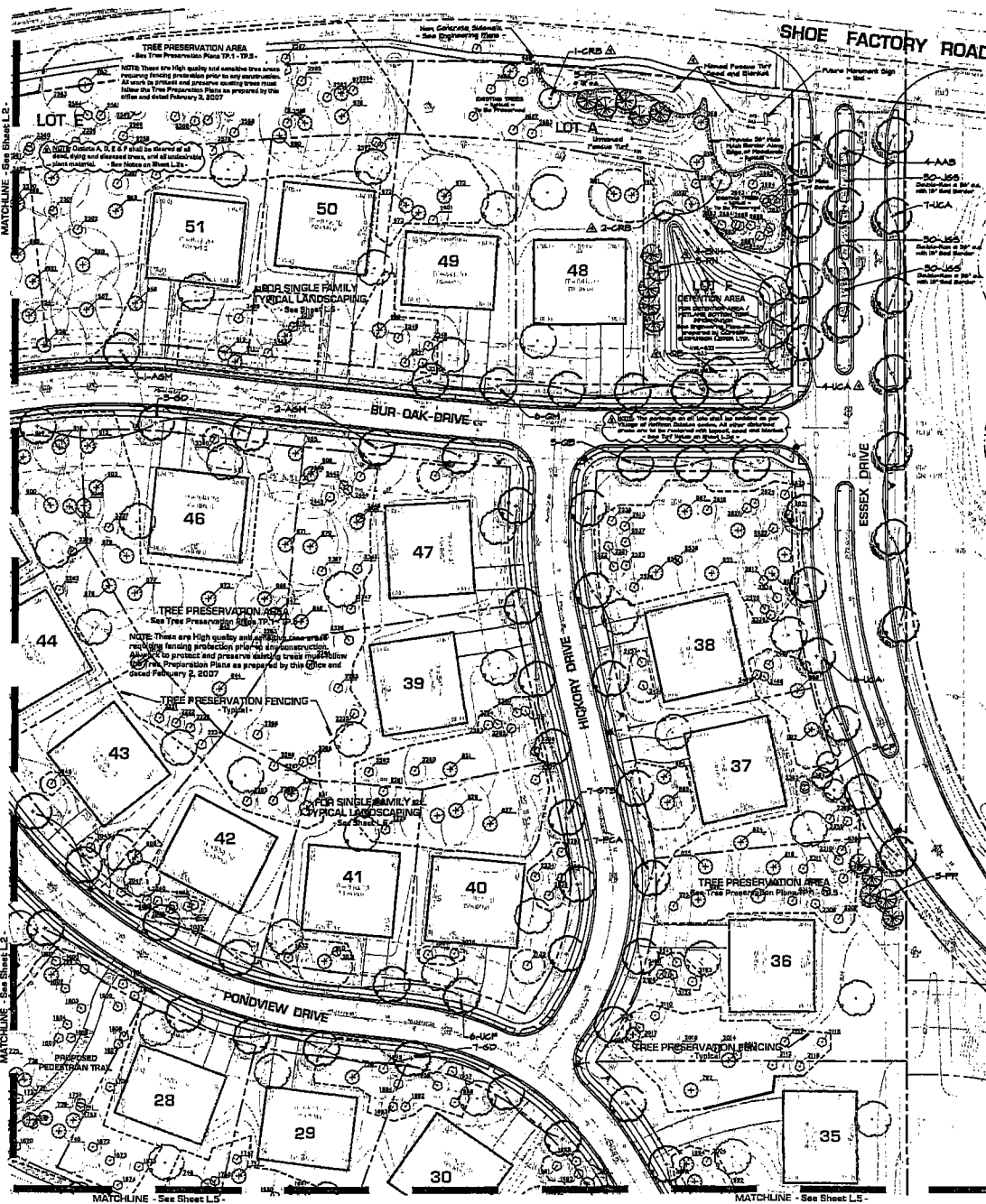
SCALE: 1" = 30' 0"

NORTH

DATE: 2 FEBRUARY 2007

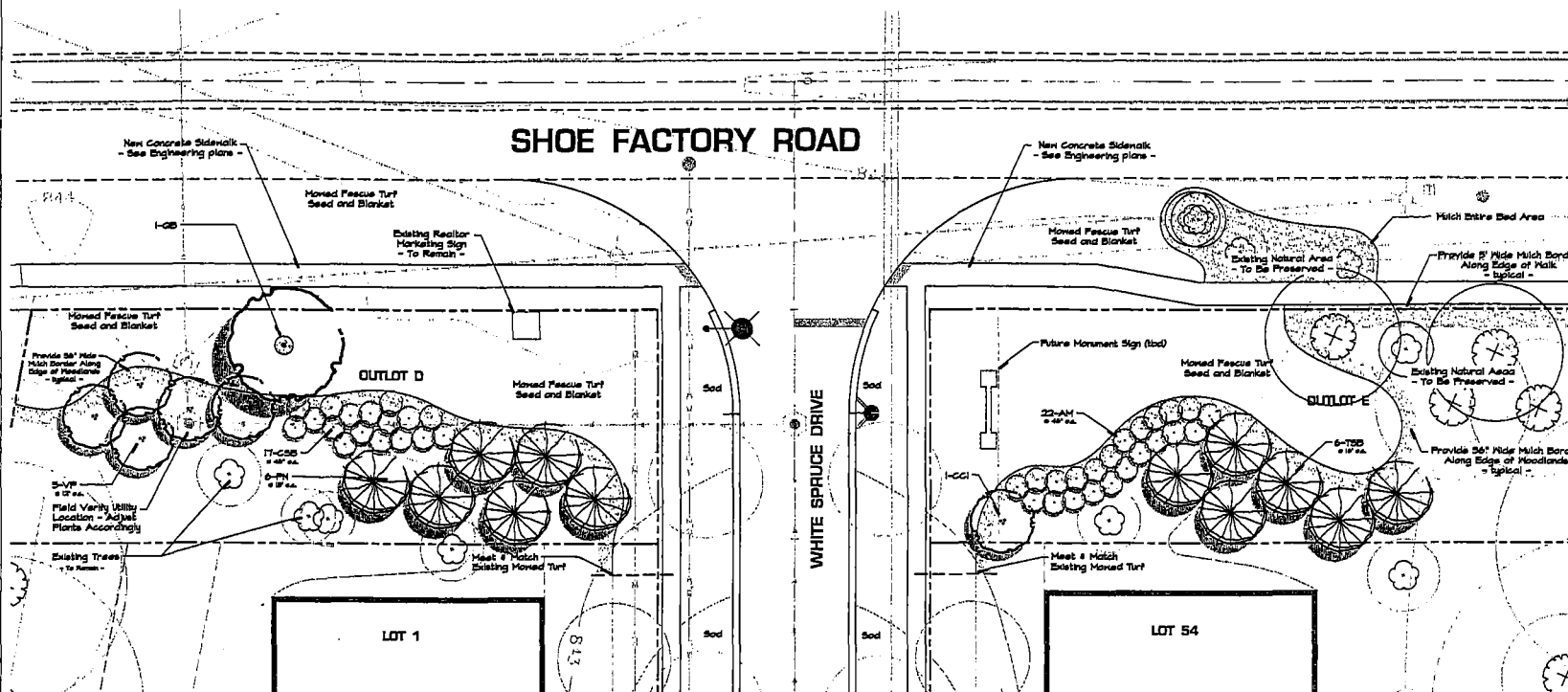
NO.	DESCRIPTION
1	Proposed Fencing
2	Proposed Tree Preservation Area
3	Proposed Tree Preservation Fencing
4	Proposed Tree Preservation Sign
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98	Proposed Tree Preservation Sign
99	Proposed Tree Preservation Sign
100	Proposed Tree Preservation Sign

DESIGNED BY: [Signature]
DRAWN BY: [Signature]
CHECKED BY: [Signature]
DATE: 2 FEBRUARY 2007



Sheet Key:





7
A Shoe Factory Road & White Spruce Drive - West Side
scale: 1" = 10' 0"

7
B Shoe Factory Road & White Spruce Drive - East Side
scale: 1" = 10' 0"

▲ ENTRANCE AREA PLANT LIST : - Sheet L7a Only -

Code	Species Name	Common Name	Size	Qty	Remarks
SHADE TREES					
TR	Quercus bicolor	Bitter Sweeting Oak	12"	1	SH
TR	Hamamelis virginiana	Witch-hazel	12"	1	SH
ORNAMENTAL TREES					
OT	Quercus macrocarpa	Thicket Oak	12"	1	SH
OT	Quercus prinus	Prickly Pear	12"	1	SH
EVERGREEN TREES					
ET	Thuja occidentalis	Eastern White Pine	2'	4	SH
ORNAMENTAL SHRUBS					
AS	Artemisia tridentata	Sagebrush	20"	13	1 Buffer Condition
CS	Cornus amomum	Spicebush	12"	14	1 Buffer Condition

OXFORD BANK & TRUST
1111 West 22nd Street - Suite 800
Oak Brook, IL 60523



scale: 1" = 10' 0"

Sheet Key:



Symbol	Description
(Symbol)	Proposed Planting
(Symbol)	Existing Planting
(Symbol)	Proposed Fencing
(Symbol)	Existing Fencing
(Symbol)	Proposed Sidewalk
(Symbol)	Existing Sidewalk
(Symbol)	Proposed Driveway
(Symbol)	Existing Driveway
(Symbol)	Proposed Road
(Symbol)	Existing Road

revision:
original issue date: **2 FEBRUARY 2007**
drawn by:
checked by:
project no.: **28088**
sheet no.:
sheet title:

COWHEY GUDMUNDSON LEDER, LTD.
CONSULTING ENGINEERS

LIMITATION OF WARRANTY OF ENGINEER'S
INSTRUMENTS OF SERVICE

THE ENGINEER AND HIS CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE INSTRUMENTS BEYOND A REASONABLE DUBIOUS. IF ANY SETBACK, OMISSION, OR DISCREPANCY ARE FOUND TO EXIST WITHIN THE DELINEATIONS, THE ENGINEER SHALL BE PROMPTLY NOTIFIED SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE NECESSARY STEPS TO CORRECT THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL BE AT THE RISK OF THE OWNER. THE ENGINEER'S LIABILITY FOR THE CONSEQUENCES OF SUCH FAILURE TO TAKE NECESSARY STEPS TO CORRECT THEM SHALL BE LIMITED TO THE AMOUNT OF THE FEE FOR THE INSTRUMENTS OF SERVICE. THE ENGINEER SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

LEGEND

	EXISTING	PROPOSED
SANITARY MANHOLE	⊙	⊙
STORM MANHOLE	⊙	⊙
CATCH BASIN	⊙	⊙
INLET	⊙	⊙
PRECAST FLARED END SECTION	⊙	⊙
CONCRETE HEADWALL	⊙	⊙
VALVE VAULT	⊙	⊙
VALVE BOX	⊙	⊙
FIRE HYDRANT	⊙	⊙
BUFFALO BOX	⊙	⊙
CLEANOUT	⊙	⊙
CONSTRUCT WATERMAIN UNDER SEWER	⊙	⊙
SANITARY SEWER	—	—
FORCED MAIN	—	—
STORM SEWER	—	—
WATERMAIN	—	—
GRANULAR TRENCH BACKFILL	—	—
STREET LIGHT	—	—
STREET LIGHT ELECTRICAL CABLE	—	—
4" CONDUIT ENCASMENT	—	—
ELECTRICAL TRANSFORMER OR PEDISTAL	—	—
CONTOUR	—	—
SPOT ELEVATION	—	—
WETLANDS	—	—
FLOODWAY	—	—
FLOODPLAIN	—	—
HIGH WATER LEVEL (HWL)	—	—
NORMAL WATER LEVEL (NWL)	—	—
DIRECTION OF SURFACE FLOW	—	—
OVERFLOW RELIEF ROUTING	—	—
SLOPE BANK	—	—
TREE WITH TRUNK SIZE	—	—
POWER POLE	—	—
STREET SIGN	—	—
DITCH OR SWALE	—	—
GAS MAIN WITH SIZE	—	—
TELEPHONE LINE	—	—
COMMONWEALTH EDISON LINE	—	—
FENCE LINE	—	—
CONCRETE SIDEWALK	—	—
CURB AND GUTTER	—	—
DEPRESSED CURB	—	—
REVERSE PITCH CURB & GUTTER	—	—
SOIL BORING	—	—
TOPSOIL PROBE	—	—
EASEMENT LINE	—	—
SIDEWALK CROSSING WITH ADA RAMP & DETECTABLE WARNING	—	—

ABBREVIATIONS

C & G	CURB AND GUTTER	BL	BASE LINE
EP	EDGE OF PAVEMENT	CL	CENTERLINE
FG	FINISHED GRADE	FR	FRAME
FF	FINISHED FLOOR	INV	INVERT
FL	FLOW LINE	PC	POINT OF CURVATURE
FP	FLOOD PLAIN	PT	POINT OF TANGENCY
FW	FLOODWAY	PVI	POINT OF VERTICAL INTERSECTION
HWL	HIGH WATER LEVEL	C	LONG CHORD OF CURVE
NWL	NORMAL WATER LEVEL	D	DEGREE OF CURVE
ROW	RIGHT-OF-WAY	L	LENGTH OF CURVE
TB	TOP OF BANK	R	RADIUS
TC	TOP OF CURB	T	TANGENCY OF CURVE
TF	TOP OF FOUNDATION	A	INTERSECTION ANGLE
TP	TOP OF PIPE	ST	STORM SEWER
TS	TOP OF SIDEWALK	MH	MANHOLE
TW	TOP OF WALK	CB	CATCH BASIN
BT	ILLINOIS BELL TELEPHONE	WM	WATERMAIN
CCED	COMMONWEALTH EDISON CO.	SA	SANITARY SEWER

ENGINEERING IMPROVEMENT PLANS
FOR
SHOE FACTORY ROAD SIDEWALK EXTENSION
AT
DEVONSHIRE WOODS ESTATES
HOFFMAN ESTATES, ILLINOIS

PLANS PREPARED
FOR

OM&I HOFFMAN THREE LLC

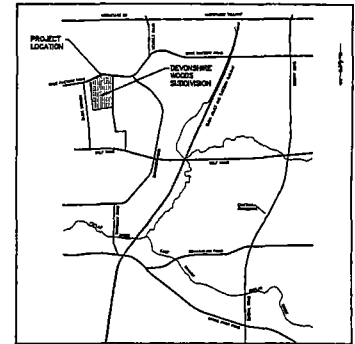
1111 WEST 22ND STREET
SUITE 800

OAK BROOK, ILLINOIS 60523
(630) 629-5000

PLANS PREPARED BY



LOCATION MAP



GENERAL NOTES

- THE VILLAGE OF HOFFMAN ESTATES ENGINEERING (40-384-1818) AND PUBLIC WORKS DEPARTMENT (630-629-5000) SHALL BE NOTIFIED AT LEAST 10 BUSINESS DAYS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. ALL WORK SHALL BE IN ACCORDANCE WITH THE VILLAGE OF HOFFMAN ESTATES ENGINEERING (40-384-1818) AND PUBLIC WORKS DEPARTMENT (630-629-5000) STANDARDS AND SPECIFICATIONS.
- THE CONCRETE SHALL BE SET BY THE CONCRETE MANUFACTURER'S RECOMMENDED PRACTICES AND THE QUALITY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
- ALL UTILITIES COMPANIES SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR RECORDS SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
- BEFORE TO COMMENCEMENT OF ANY OFFSITE CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE VILLAGE OF HOFFMAN ESTATES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
- ALL ELECTIONS SHALL BE MADE IN ACCORDANCE WITH THE VILLAGE OF HOFFMAN ESTATES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
- CONSTRUCTION SHALL NOT BE MADE WITHOUT PERMITS.
- EXISTING UTILITIES SHALL BE PROTECTED AND SHALL NOT BE REMOVED OR DAMAGED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
- CONCRETE SHALL BE SET BY THE CONCRETE MANUFACTURER'S RECOMMENDED PRACTICES AND THE QUALITY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
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- IN THE EVENT OF COMPLETING SPECIFICATIONS WITH REGARD TO SITEWORK, ITEMS NOTED BY THE ENGINEER, THE RECORD OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
- ALL PERMITS MUST BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

BENCHMARKS

- BM 1: UGGS DISK 172520142 AT THE WEST END OF THE FIRST CONCRETE STEP AT THE ENTRANCE TO SCHOOL #41 APPROXIMATELY 1500 FEET WEST OF HOFFMAN ROAD AND 40 FEET SOUTH OF THE CENTERLINE OF SHOE FACTORY ROAD. ELEVATION = 845.124 (NVD14281).
- BM 2: BRIDGE DISK IN CONCRETE MANNED HOFFMAN DISTRICT PARK DISTRICT ON THE SOUTH SIDE OF SHOE FACTORY ROAD APPROXIMATELY 170 FEET EAST OF SCHOOL #41. ELEVATION = 840.17.
- BM 3: NORTHWEST BOLT OF SECOND FIRE HYDRANT WEST OF CEDAR DRIVE ON THE NORTH SIDE OF SHOE FACTORY ROAD. ELEVATION = 845.10.

INDEX OF SHEETS

- COVER SHEET
- PROJECT SPECIFICATIONS
- OVERALL SITE PLAN
- GRADING PLAN WEST / TREE PRESERVATION
- GRADING PLAN EAST / TREE PRESERVATION
- STANDARD CONSTRUCTION DETAILS

ATTACHMENTS
1. CROSS SECTION EXHIBIT

	JOINT UTILITY LOCATING INFORMATION FOR EXCAVATORS Call 48 hours before you dig (See also Sec. 6-6 & 6-7) 1-800-892-0123
	EXPIRES 11/30/11
PROJECT NO. 3101.05 DATE 01/10/11 SCALE NONE DESIGNED BY JHK DRAWN BY JHK CHECKED BY RWG	SHEET 1 OF 6 © COPYRIGHT 2011

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(630) 250-9585

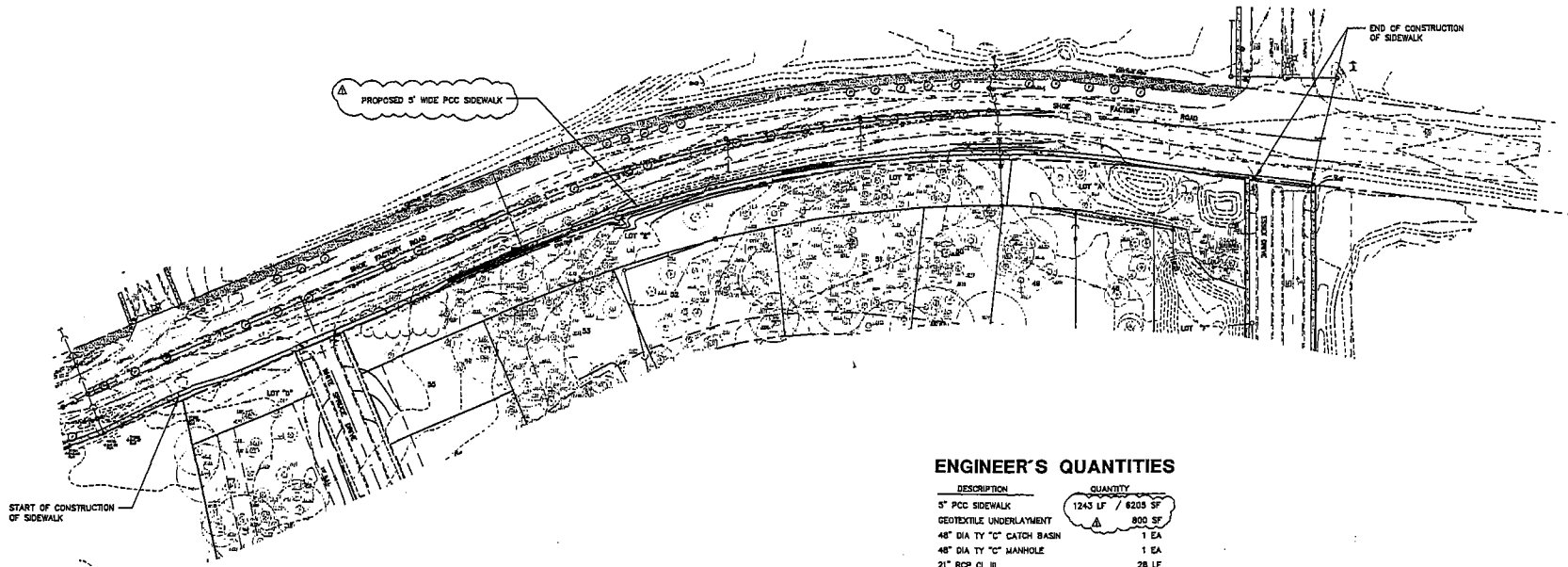
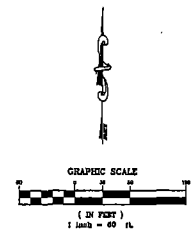
212 WEST KONGE
CHICAGO, ILLINOIS 60610
(312) 735-9583

REVISIONS	
1. APPROXIMATE NO. 1	02/29/11
2. VILLAGE REVIEW	02/02/11

SHOE FACTORY ROAD SIDEWALK EXTENSION
AT
DEVONSHIRE WOODS ESTATES
HOFFMAN ESTATES, ILLINOIS

COVER SHEET

SHOE FACTORY ROAD SIDEWALK EXTENSION AT DEVONSHIRE WOODS ESTATES - COVER SHEET



ENGINEER'S QUANTITIES

DESCRIPTION	QUANTITY
5" PCC SIDEWALK	1243 LF / 6208 SF
GEOTEXTILE UNDERLAYMENT	808 SF
48" DIA TY "C" CATCH BASIN	1 EA
48" DIA TY "C" MANHOLE	1 EA
21" RCP CL. II	28 LF

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300 PARK BOULEVARD
 ITASCA, ILLINOIS 60143
 (630) 230-8543
 312 WEST KINROD
 CHICAGO, ILLINOIS 60654
 (312) 733-8585

REVISIONS	
1	ADDITIONAL NO. 1 03/18/11

**SHOE FACTORY ROAD SIDEWALK EXTENSION
 AT
 DEVONSHIRE WOODS ESTATES
 HOFFMAN ESTATES, ILLINOIS**

OVERALL SITE PLAN

PROJECT NO.	3101.05	SHEET	3
DATE	01/10/11		
SCALE	1" = 60'		
DESIGNED BY	JHK		
DRAWN BY	JHK		
CHECKED BY	RWG		

SHOE FACTORY ROAD SIDEWALK EXTENSION AT DEVONSHIRE WOODS ESTATES - OVERALL SITE PLAN

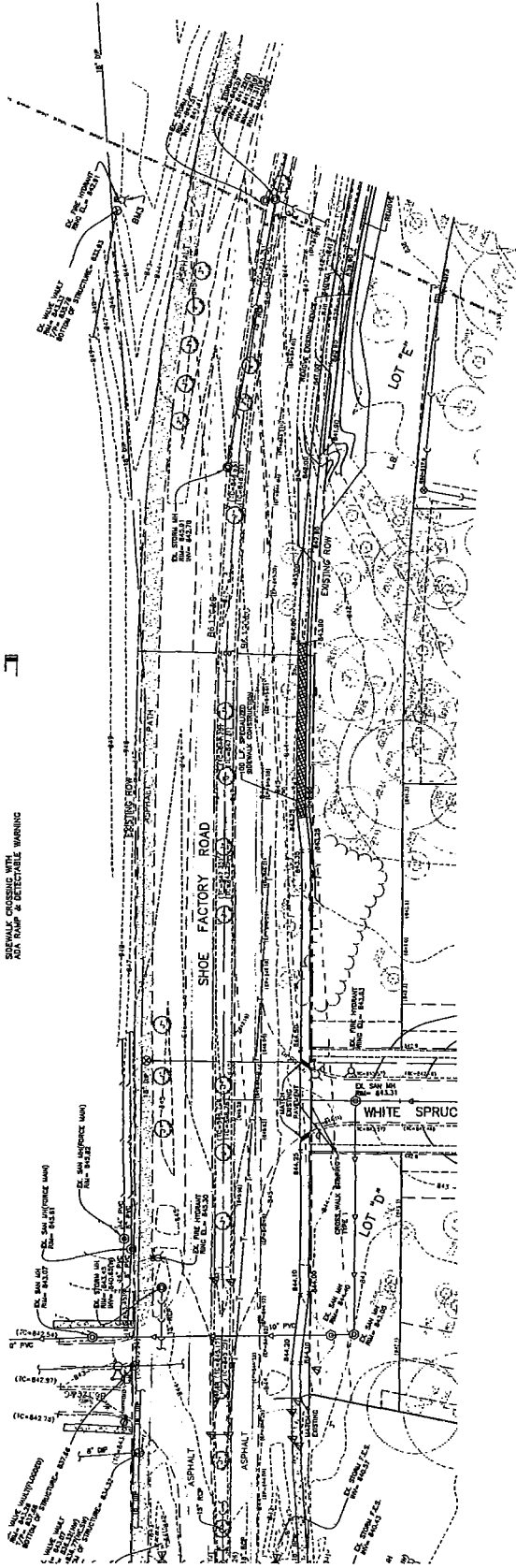
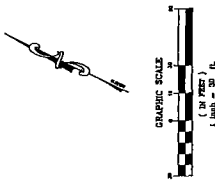
LEGEND

EXISTING

- Sanitary Manhole
- Storm Manhole
- Catch Basin
- Valve
- Precast Flared End Section
- Concrete Headwall
- Valve Vault
- Fire Hydrant
- Sanitary Sewer
- Storm Sewer
- Watermain
- Street Light
- Contour
- Spot Elevation
- Fence Line
- Concrete Sidewalk
- Curb and Gutter
- Sidewalk Warning Sign
- ADA Ramp & Detectable Warning

PROPOSED

- Proposed Sidewalk Location
- Proposed Sidewalk Construction
- Proposed Sidewalk Details



- GENERAL NOTES AND SPECIFIC CONSTRUCTION NOTES:**
- FOR THE SHOWN CONSTRUCTION WORK SHALL BE PERFORMED BY THE CONTRACTOR.
 - STRUCTURAL DESIGN OF ALL CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND STANDARDS.
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CONSTRUCTION NOTES:

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND STANDARDS.

PROJECT NO.	3101.05
DATE	07/07/11
SCALE	1" = 30'
DESIGNED BY	JMK
DRAWN BY	JMK
CHECKED BY	RMG

SHEET 4 OF 6

GRADING PLAN WEST / TREE PRESERVATION PLAN

SHOE FACTORY ROAD SIDEWALK EXTENSION AT DEVONSHIRE WOODS ESTATES HOFFMAN ESTATES, ILLINOIS

REVISIONS

NO.	DATE	DESCRIPTION
1	07/07/11	ISSUED FOR PERMIT
2	07/07/11	ISSUED FOR PERMIT
3	07/07/11	ISSUED FOR PERMIT
4	07/07/11	ISSUED FOR PERMIT
5	07/07/11	ISSUED FOR PERMIT
6	07/07/11	ISSUED FOR PERMIT

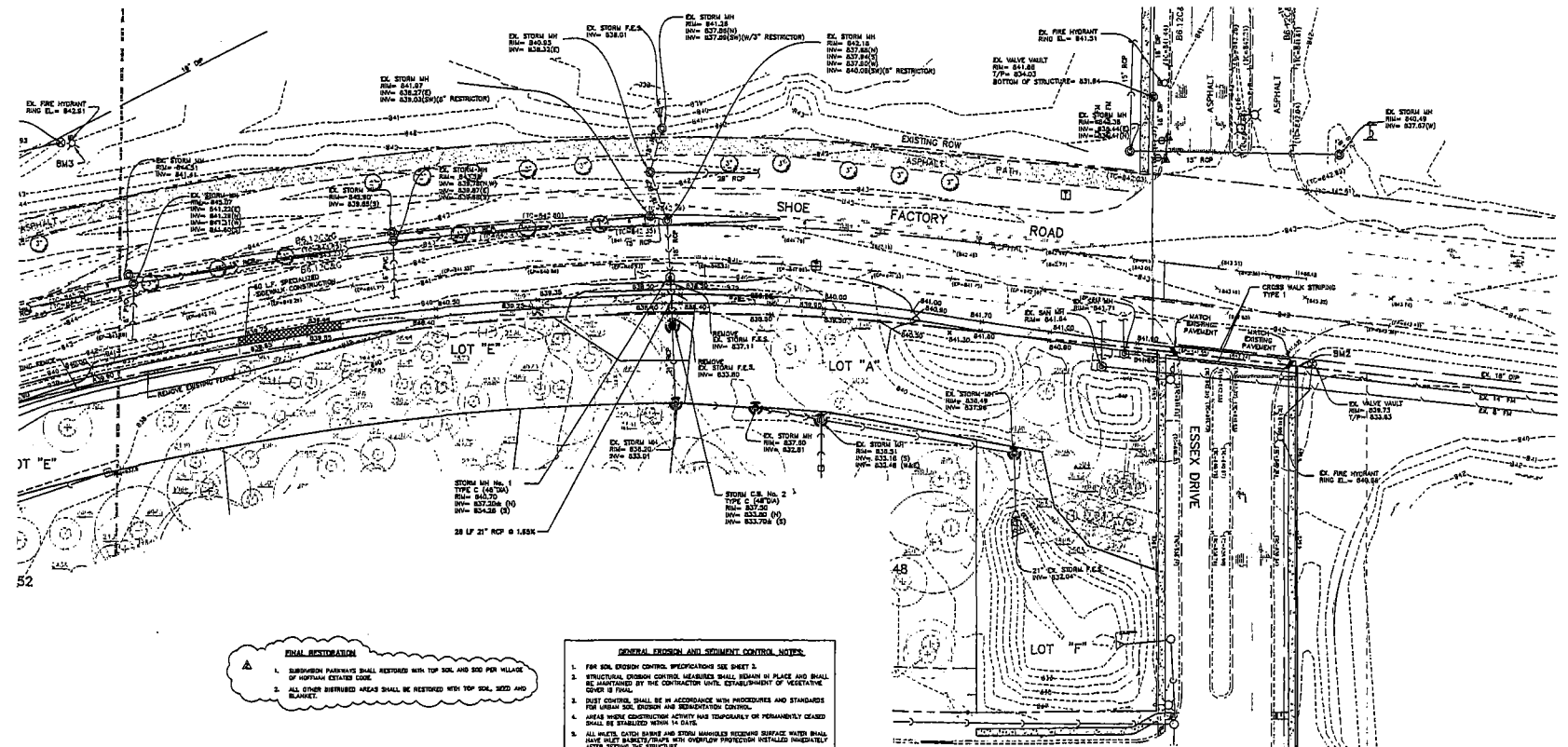
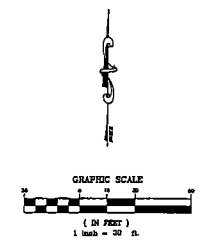
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389 N. LAKE SHORE DRIVE
IRVING, ILLINOIS 60139
(630) 252-6895
CHICAGO, ILLINOIS 60654
(312) 755-6895

LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED
SANITARY MANHOLE	⊙	FORCEMAIN	—
STORM MANHOLE	⊙	STORM SEWER	—
CATCH BASIN	⊙	WATERMAIN	—
INLET	⊙	STREET LIGHT	—
PRECAST FLARED END SECTION	⊙	CONTOUR	—
CONCRETE HEADWALL	⊙	SPOT ELEVATION	—
VALVE VAULT	⊙	FENCE LINE	—
VALVE BOX	⊙	CONCRETE SIDEWALK	—
FIRE HYDRANT	⊙	CURB AND GUTTER	—
SANITARY SEWER	—	SIDEWALK CROSSING WITH ADA RAMP & DETECTABLE WARNING	—



FINAL RESTORATION

1. BURDENED PARKWAYS SHALL BE RESTORED WITH TOP SOIL AND 300 PDS PER YARDAGE OF NUTRIENT ENRICHED SOIL.
2. ALL OTHER BURDENED AREAS SHALL BE RESTORED WITH TOP SOIL, SEED AND BLANKET.

SPECIAL EROSION AND SEDIMENT CONTROL NOTES

1. FOR SOIL EROSION CONTROL, SPECIFICATIONS SEE SHEET 3.
2. STRUCTURAL EROSION CONTROL MEASURES SHALL BE IN PLACE AND SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL ESTABLISHMENT OF VEGETATIVE COVER IS FINAL.
3. SILT CONTROL SHALL BE IN ACCORDANCE WITH PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL.
4. AREAS WHERE CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED SHALL BE STABILIZED WITHIN 14 DAYS.
5. ALL WHITE SANDS BASIN AND STORM MANHOLES RECEIVING SURFACE WATER SHALL HAVE WHITE SANDS FILTERS WITH OVERFLOW PROTECTION INSTALLED IMMEDIATELY AFTER SETTING THE STRUCTURE.
6. SEDIMENT EROSION CONTROL MEASURES TO BE IMPLEMENTED AS OUTLINED BY SIGNAGE OF CONTRACTOR.
7. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN CERTAIN EROSION CONTROL DANGER ZONE TO FINAL LANDSCAPE.
8. ANY AND ALL SEDIMENT OR OTHER MATERIAL TRACKED ONTO ADJACENT ROADS SHALL BE IMMEDIATELY AND CONTINUOUSLY REMOVED.

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 (630) 230-8985

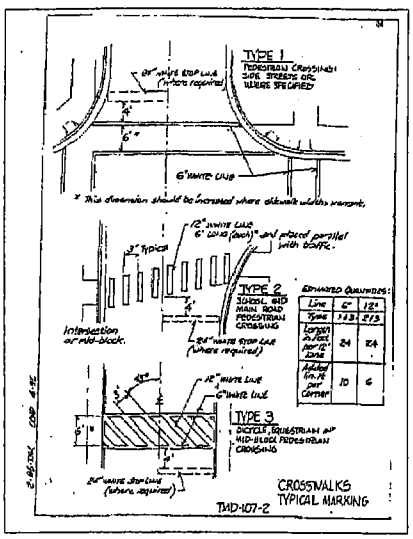
212 WEST MONROE
 CHICAGO, ILLINOIS 60654
 (312) 755-8985

REVISIONS	
1.	ADDENDUM NO. 1 03/19/21
2.	ISSUE REVIEW 02/16/21

SHOE FACTORY ROAD SIDEWALK EXTENSION AT DEVONSHIRE WOODS ESTATES HOFFMAN ESTATES, ILLINOIS

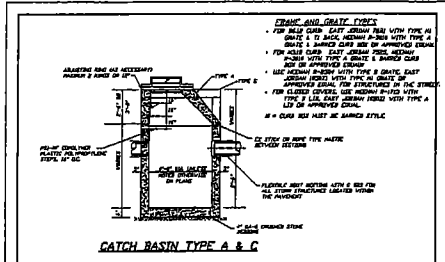
GRADING PLAN EAST / TREE PRESERVATION PLAN

PROJECT NO.	310102	SHEET	101
DATE	01/19/21	SCALE	1" = 30'
DESIGNED BY	JHK	DRAWN BY	JHK
CHECKED BY	RWG		



ALL PAVEMENT STRIPING SHALL BE RELAY MARKING AND MATERIALS SHALL BE PERFORMED MARKING TAPE FROM 34 (PER VILLAGE CODE)

CCHD CROSSWALKS TYPICAL MARKING

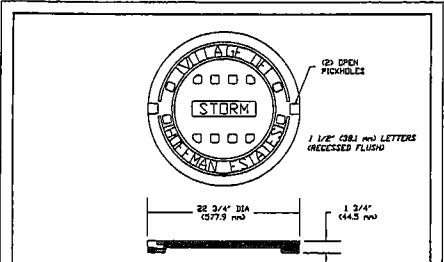


CATCH BASIN DETAIL

LINE	QTY	UNIT
1	1	EA
2	1	EA
3	1	EA
4	1	EA
5	1	EA
6	1	EA
7	1	EA

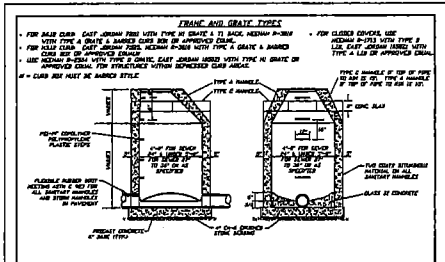
NOTES:

- ONLY PRECAST STRUCTURES ALLOWED
- PRECAST CONCRETE BASE MUST BE INTERNALLY CAST WITH THE LARGEST WALL SECTION
- THE FRAME AND GRATE SHALL BE PORTLAND TO THE CONCRETE STRUCTURE
- ALL STRUCTURES LOCATED IN THE PAVEMENT SHALL FOLLOW THE VEHICLE DETAIL



STORM COVER DETAIL

LINE	QTY	UNIT
1	1	EA
2	1	EA
3	1	EA
4	1	EA
5	1	EA
6	1	EA
7	1	EA

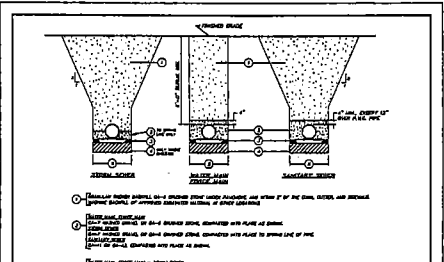


MANHOLE DETAIL

LINE	QTY	UNIT
1	1	EA
2	1	EA
3	1	EA
4	1	EA
5	1	EA
6	1	EA
7	1	EA

NOTES:

- ONLY PRECAST STRUCTURES ALLOWED
- PRECAST CONCRETE BASE MUST BE INTERNALLY CAST WITH THE LARGEST WALL SECTION
- THE FRAME AND GRATE SHALL BE PORTLAND TO THE CONCRETE STRUCTURE
- ALL STRUCTURES LOCATED IN THE PAVEMENT SHALL FOLLOW THE VEHICLE DETAIL

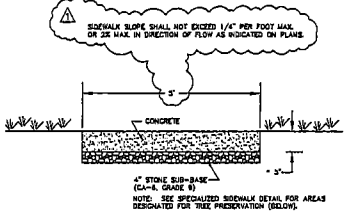


TRENCH CROSS SECTIONS

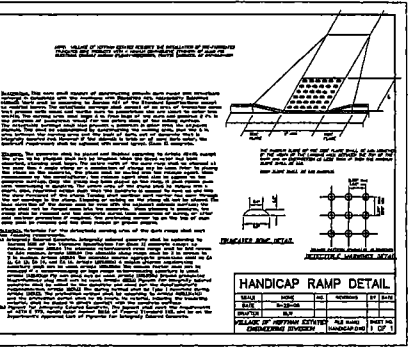
LINE	QTY	UNIT
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2	1	EA
3	1	EA
4	1	EA
5	1	EA
6	1	EA
7	1	EA

NOTES:

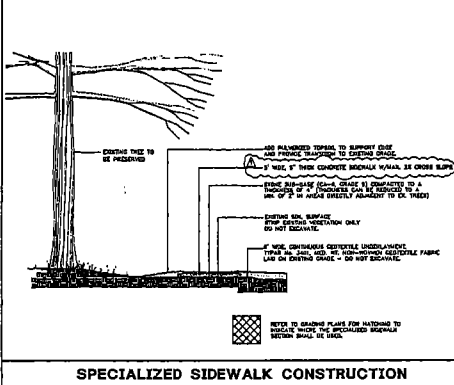
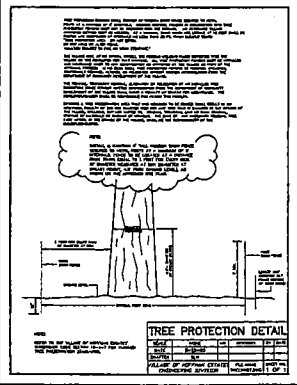
- ONLY PRECAST STRUCTURES ALLOWED
- PRECAST CONCRETE BASE MUST BE INTERNALLY CAST WITH THE LARGEST WALL SECTION
- THE FRAME AND GRATE SHALL BE PORTLAND TO THE CONCRETE STRUCTURE
- ALL STRUCTURES LOCATED IN THE PAVEMENT SHALL FOLLOW THE VEHICLE DETAIL



SIDEWALK



SPECIALIZED SIDEWALK CONSTRUCTION



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212 WEST KNOX
CHICAGO, ILLINOIS 60610
(312) 755-8989

REVISIONS

NO.	DESCRIPTION	DATE
1	ADDITION NO. 1	02/09/11
2	VILLAGE REVIEW	02/12/11

SHOE FACTORY ROAD SIDEWALK EXTENSION AT DEVONSHIRE WOODS ESTATES HOFFMAN ESTATES, ILLINOIS

CONSTRUCTION STANDARDS AND DETAILS

PROJECT NO. 3101.05
DATE 01/10/11
SCALE NONE
DESIGNED BY JHK
DRAWN BY JHK
CHECKED BY RWG

SHEET 6 of 6

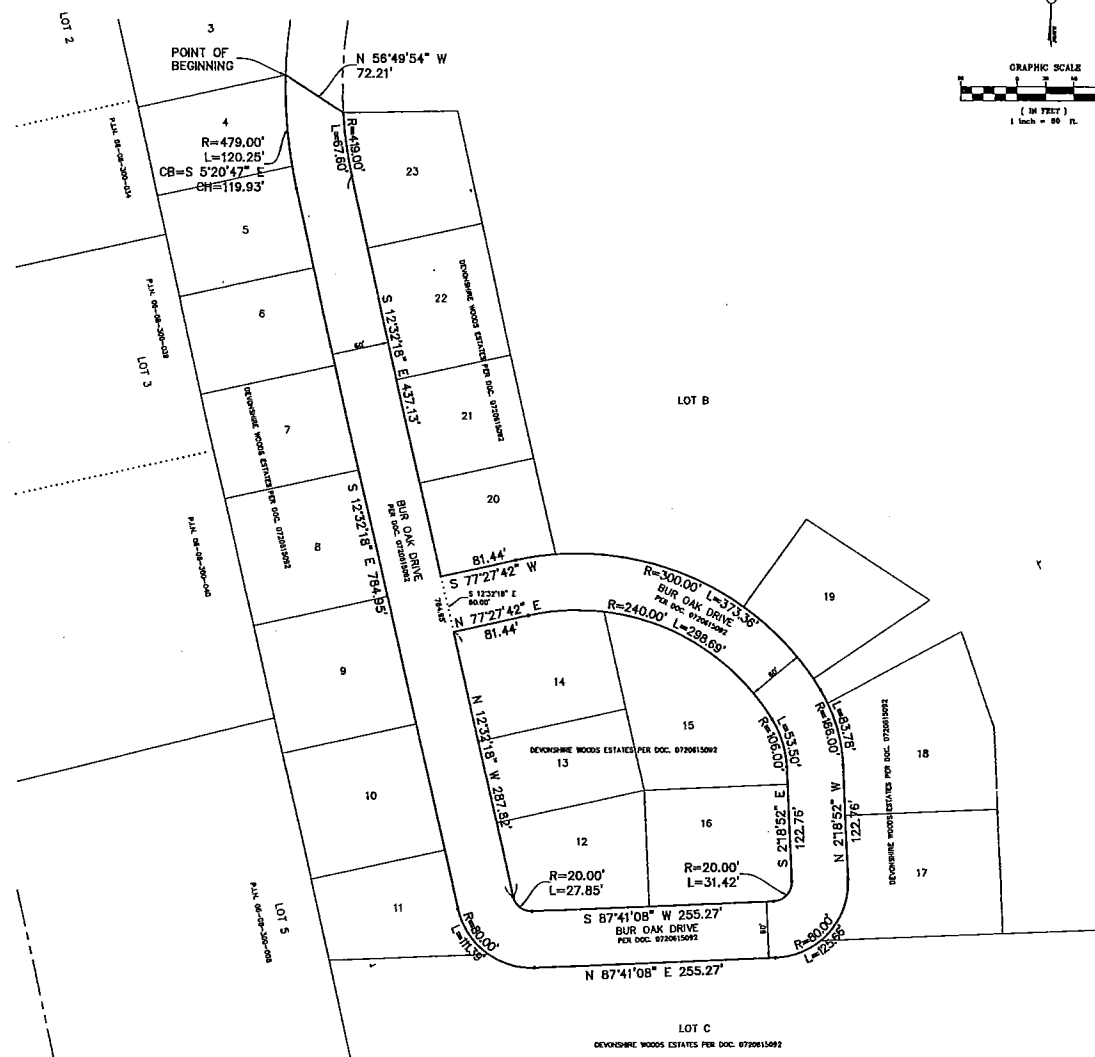
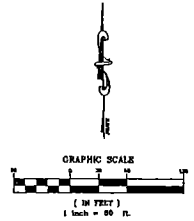
PLAT OF VACATION OF BUR OAK DRIVE IN BUR OAK DRIVE

LEGEND

	P.O.B.	POINT OF BEGINNING
	BOUNDARY LINE	
	EXISTING RIGHT-OF-WAY LINE	
	EXISTING LOT LINE	

NOTES:

- THE BEARINGS SHOWN ON THIS PLAT ARE BASED ON DEVONSHIRE WOODS ESTATES ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT NUMBER 0720615092.
- ALL AREAS ARE MORE OR LESS.



BUR OAK DRIVE VACATION LEGAL DESCRIPTION

THAT PART OF BUR OAK DRIVE IN DEVONSHIRE WOODS ESTATES, BEING A SUBDIVISION IN SECTION 8 TOWNSHIP 41 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT NUMBER 0720615092, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF LOT 4 IN DEVONSHIRE WOODS ESTATES, AFFORESAID, THENCE ALONG THE WESTERN, SOUTHERN, EASTERN AND NORTHERLY LINES OF BUR OAK DRIVE FOR THE FOLLOWING: (1) THENCE SOUTHWEST ALONG A CURVE CONVEX EASTWARD, SAID CURVE BEING THE EASTERLY LINE OF LOTS 4 AND 5 IN DEVONSHIRE WOODS ESTATES, HAVING A RADIUS OF 479.80 FEET, AN ARC LENGTH OF 190.25 FEET, AND A CHORD BEARING OF SOUTH 8 DEGREES 30 MINUTES 47 SECONDS EAST TO A POINT OF TANGENCY; (2) THENCE ALONG THE EAST LINE OF LOTS 5 THROUGH 11 IN DEVONSHIRE WOODS ESTATES, AFFORESAID, SOUTH 12 DEGREES 32 MINUTES 18 SECONDS EAST, A DISTANCE OF 784.93 FEET TO A POINT OF CURVATURE; (3) THENCE SOUTHWEST ALONG A CURVE CONVEX NORTHEASTERLY, SAID CURVE BEING THE EAST LINE OF LOT 11, AFFORESAID, AND THE NORTH LINE OF LOT C IN DEVONSHIRE WOODS ESTATES, HAVING A RADIUS OF 80.00 FEET, AN ARC LENGTH OF 110 FEET TO A POINT OF TANGENCY; (4) THENCE ALONG THE NORTH LINE OF SAID LOT 11 TO A POINT OF BEGINNING, A DISTANCE OF 218.52 FEET TO A POINT OF CURVATURE; (5) THENCE NORTHEAST ALONG A CURVE CONVEX NORTHEASTERLY, SAID CURVE BEING THE NORTH LINE OF LOT C, AFFORESAID, HAVING A RADIUS OF 80.00 FEET, AN ARC DISTANCE OF 122.76 FEET TO A POINT OF TANGENCY; (6) THENCE CONTINUING ALONG SAID WEST LINE OF LOT 17 AND THE WEST LINE OF LOT 18 IN DEVONSHIRE WOODS ESTATES, AFFORESAID, NORTH 30 DEGREES 18 MINUTES 02 SECONDS WEST, A DISTANCE OF 122.76 FEET TO A POINT OF CURVATURE; (7) THENCE NORTHEAST ALONG A CURVE CONVEX WESTWARD, SAID CURVE BEING THE WEST LINE OF SAID LOT 18 AND LOT B IN DEVONSHIRE WOODS ESTATES, AFFORESAID, HAVING A RADIUS OF 160.00 FEET, AN ARC DISTANCE OF 63.78 FEET TO A POINT OF CURVATURE; (8) THENCE NORTHEAST ALONG A CURVE CONVEX SOUTHWESTWARD, SAID CURVE BEING THE WEST LINE OF SAID LOT 18, SOUTH 27 DEGREES 07 MINUTES 12 SECONDS WEST, A DISTANCE OF 313.34 FEET TO A POINT OF TANGENCY; (9) THENCE ALONG THE SOUTH LINE OF SAID LOT 10, SOUTH 27 DEGREES 07 MINUTES 12 SECONDS WEST, A DISTANCE OF 81.44 FEET TO THE SOUTHWEST CORNER OF LOT 20 IN DEVONSHIRE WOODS ESTATES, AFFORESAID, THENCE SOUTH 19 DEGREES 51 MINUTES 18 SECONDS EAST, A DISTANCE OF 80.00 FEET TO THE NORTHEAST CORNER OF LOT 16 IN DEVONSHIRE WOODS ESTATES, AFFORESAID, THENCE ALONG THE WEST LINE OF SAID LOT 16, WESTERLY, NORTHERLY AND EASTERLY LINES OF BUR OAK DRIVE FOR THE FOLLOWING: (1) THENCE ALONG THE NORTH LINE OF SAID LOT 16 NORTH 77 DEGREES 27 MINUTES 42 SECONDS EAST, A DISTANCE OF 81.44 FEET TO A POINT OF CURVATURE; (2) THENCE EASTWARD ALONG A CURVE CONVEX SOUTHWESTWARD, SAID CURVE BEING THE NORTH LINE OF LOTS 11 AND 12 IN DEVONSHIRE WOODS ESTATES, AFFORESAID, HAVING A RADIUS OF 240.00 FEET, AN ARC DISTANCE OF 255.27 FEET TO A POINT OF CURVATURE; (3) THENCE SOUTHWEST ALONG A CURVE CONVEX WESTWARD, SAID CURVE BEING THE EAST LINE OF SAID LOT 12, HAVING A RADIUS OF 20.00 FEET, AN ARC DISTANCE OF 27.85 FEET TO A POINT OF TANGENCY; (4) THENCE ALONG THE EAST LINE OF LOTS 15 AND 16 IN DEVONSHIRE WOODS ESTATES, AFFORESAID, SOUTH 12 DEGREES 32 MINUTES 18 SECONDS WEST, A DISTANCE OF 122.76 FEET TO A POINT OF CURVATURE; (5) THENCE SOUTHWEST ALONG A CURVE CONVEX NORTHEASTERLY, SAID CURVE BEING THE SOUTHWESTERLY LINE OF LOTS 15 AND 16 IN DEVONSHIRE WOODS ESTATES, AFFORESAID, HAVING A RADIUS OF 20.00 FEET, AN ARC DISTANCE OF 27.85 FEET TO A POINT OF CURVATURE; (6) THENCE SOUTHWEST ALONG A CURVE CONVEX WESTWARD, SAID CURVE BEING THE SOUTH LINE OF LOTS 15 AND 16 IN DEVONSHIRE WOODS ESTATES, AFFORESAID, HAVING A RADIUS OF 20.00 FEET, AN ARC DISTANCE OF 27.85 FEET TO A POINT OF CURVATURE; (7) THENCE NORTHEAST ALONG A CURVE CONVEX WESTWARD, SAID CURVE BEING THE WEST LINE OF SAID LOT 12, HAVING A RADIUS OF 20.00 FEET, AN ARC DISTANCE OF 27.85 FEET TO THE NORTHEAST CORNER OF SAID LOT 12 THROUGH 14, INCLUSIVE, AND LOTS 20 THROUGH 22, INCLUSIVE, ALL IN DEVONSHIRE WOODS ESTATES, AFFORESAID, NORTH 12 DEGREES 32 MINUTES 18 SECONDS WEST, A DISTANCE OF 794.85 FEET TO A POINT OF CURVATURE; (8) THENCE NORTHEAST ALONG A CURVE CONVEX WESTWARD, SAID CURVE BEING THE WEST LINE OF SAID LOT 23, HAVING A RADIUS OF 110.00 FEET, AN ARC DISTANCE OF 87.40 FEET TO THE NORTHEAST CORNER OF SAID LOT 23, AFFORESAID, SAID POINT BEING THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

COUNTY CLERK'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK) SS

I, COUNTY CLERK OF THE COUNTY OF COOK IN THE STATE OF ILLINOIS, HEREBY CERTIFY THAT I FIND NO CURRENT GENERAL TAXES, NO DELINQUENT GENERAL TAXES, NO UNPAID FORTIFIED TAXES, AND NO REDEVELOPMENT TAX SALES AGAINST THE PROPERTY INCLUDED IN THIS PLAT OF VACATION. I DO FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES DUE TO THE COUNTY OF COOK IN CONNECTION WITH THE AMENDED PLAT GIVEN UNDER MY HAND AND SEAL AT ITASKA, ILLINOIS, THIS _____ DAY OF _____ A.D., 20____.

COUNTY CLERK

PLAN COMMISSIONER'S CERTIFICATE

APPROVED BY THE PLAN COMMISSION OF THE VILLAGE OF HOFFMAN ESTATES, COOK AND KANE COUNTIES, ILLINOIS, AT A MEETING HELD THIS _____ DAY OF _____ A.D., 20____.

CHAIRMAN

ATTEST: SECRETARY

BOARD OF TRUSTEES CERTIFICATE

STATE OF ILLINOIS)
COUNTIES OF COOK & KANE)

APPROVED BY THE BOARD OF TRUSTEES OF THE VILLAGE OF HOFFMAN ESTATES, COOK AND KANE COUNTIES, ILLINOIS, THIS _____ DAY OF _____ A.D., 20____.

BY: VILLAGE PRESIDENT

ATTEST: VILLAGE CLERK

SURVEYOR'S DESIGNATION OF RECORDING

STATE OF ILLINOIS)
COUNTY OF COOK)

I, THOMAS S. MARSH, A PROFESSIONAL LAND SURVEYOR, IN THE STATE OF ILLINOIS, HEREBY DESIGNATE THE VILLAGE CLERK OF HOFFMAN ESTATES TO RECORD A CERTAIN PLAT OF VACATION OF BUR OAK DRIVE WITH THE COOK COUNTY RECORDER OF DEEDS OR REGISTRAR OF TITLES. THIS DESIGNATION IS GRANTED UNDER THE RIGHT TO DESIGNATE SUCH RECORDING UNDER 765 ILCS 206/2.

GIVEN UNDER MY HAND AND SEAL AT ITASKA, ILLINOIS, THIS _____ DAY OF _____ A.D., 20____.

BY: ILLINOIS PROFESSIONAL LAND SURVEYOR NUMBER 3233

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK)

THIS DOCUMENT WAS PREPARED FROM EXISTING PLATS AND RECORDS BY CONWAY EXPANSION LEADER, LTD. UNDER THE DIRECTION OF AN ILLINOIS PROFESSIONAL LAND SURVEYOR FOR THE PURPOSE OF VACATING A HIGHWAY AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID EXISTING PLATS AND RECORDS. ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

GIVEN UNDER MY HAND AND SEAL AT ITASKA, ILLINOIS, THIS _____ DAY OF JANUARY, A.D., 2011.

BY: ILLINOIS PROFESSIONAL LAND SURVEYOR NUMBER 3233
CONWAY EXPANSION LEADER, LTD. PROFESSIONAL DESIGN FIRM NUMBER 184-001076. ALL PROFESSIONAL ILLINOIS LAND SURVEYOR LICENSES EXPIRE NOVEMBER 30, 2012.



COWHEY GUDMUNDSON LEDER, LTD.
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(312) 752-0009

REVISIONS

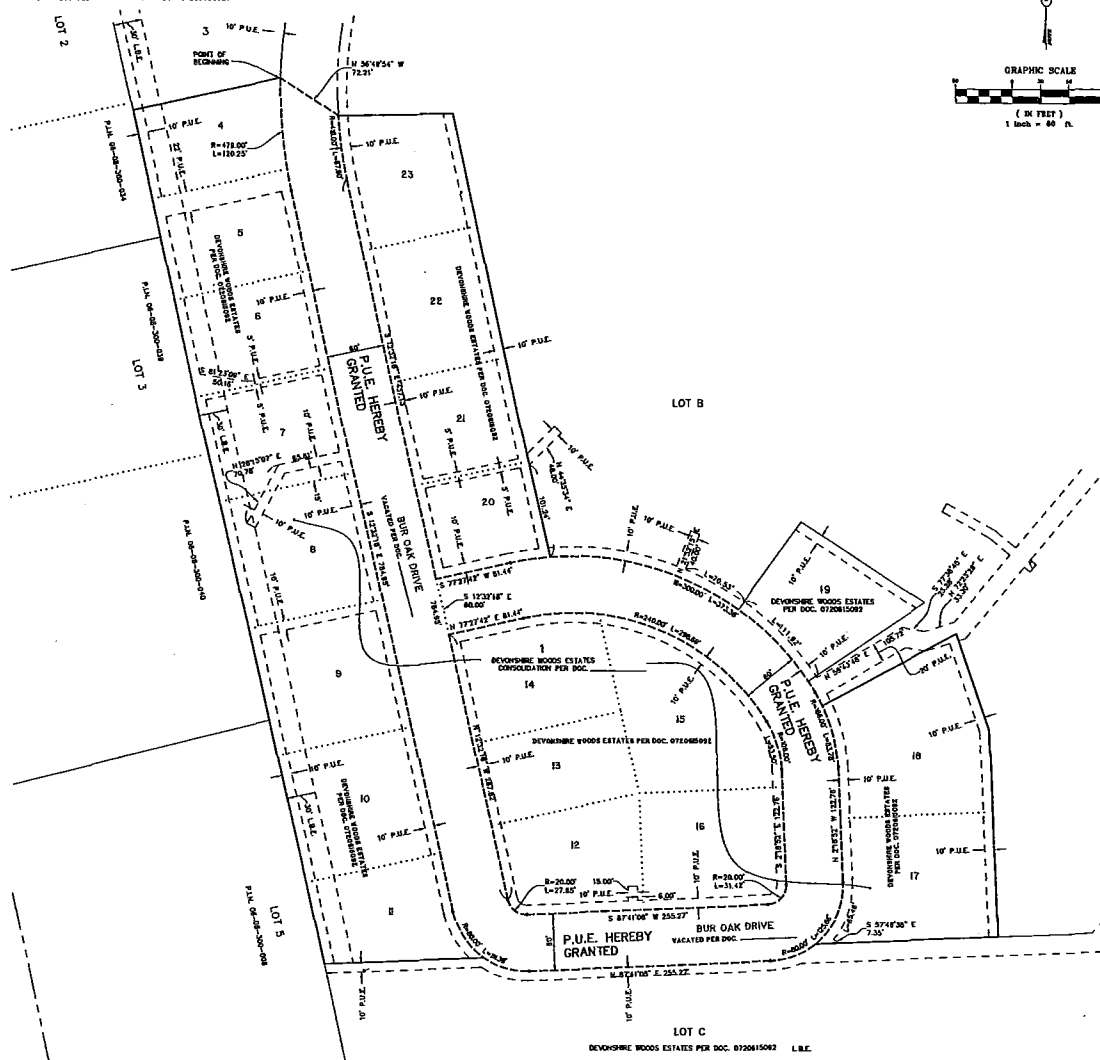
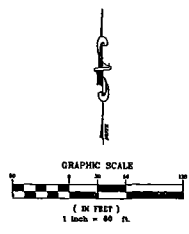
BUR OAK DRIVE
HOFFMAN ESTATES, ILLINOIS

PLAT OF VACATION	PROJECT NO. 3101.05	SHEET 1 of 1
	DATE 12/28/10	
	SCALE 1"=60'	
	DESIGNED BY MJC DRAWN BY MJC CHECKED BY TWR	

LEGEND
 --- EASEMENT LINE
 - - - - - EXISTING EASEMENT LINE
 - - - - - EXISTING RIGHT-OF-WAY LINE
 - - - - - EXISTING LOT LINE
 - - - - - UNOCCUPYING LOT LINE
 P. U. E. PUBLIC UTILITY EASEMENT
 L. B. E. LANDSCAPE BUFFER EASEMENT

PLAT OF EASEMENT
 FOR
DEVONSHIRE WOODS ESTATES

NOTES:
 1. THE BEARINGS SHOWN ON THIS PLAT ARE BASED ON DEVONSHIRE WOODS ESTATES ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT NUMBER 072015097.



EASEMENT LEGAL DESCRIPTION
 THAT PART OF DEVONSHIRE WOODS ESTATES DEVELOPMENT, BEING A CONSOLIDATION IN SECTION 10 TOWNSHIP 41 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT NUMBER 072015097, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF LOT 4 IN DEVONSHIRE WOODS ESTATES ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT NUMBER 072015097, THENCE SOUTHWEST ALONG A CURVE CONCAVE EASTWARD, SAID CURVE BEING THE EASTERN LINE OF LOTS 4 AND 5 IN DEVONSHIRE WOODS ESTATES, HAVING A RADIUS OF 130.50 FEET, AN ARC LENGTH OF 130.50 FEET, AND A CHORD BEARING OF SOUTH 4 DEGREES 20 MINUTES 43 SECONDS WEST, 11 IN DEVONSHIRE WOODS ESTATES, AFFORESAID, SOUTH 13 DEGREES 14 SECONDS EAST, A DISTANCE OF 784.35 FEET TO A POINT OF CURVATURE; THENCE SOUTHWEST ALONG A CURVE CONCAVE NORTHEASTERLY, SAID CURVE BEING THE EAST LINE OF LOT 11, AFFORESAID, AND THE NORTH LINE OF LOT C IN DEVONSHIRE WOODS ESTATES, AFFORESAID, HAVING A RADIUS OF 101.06 FEET, AN ARC LENGTH OF 111.39 FEET TO A POINT OF CURVATURE; THENCE ALONG THE NORTH LINE OF SAID LOT C, NORTH BY BEARINGS 41 MINUTES 08 SECONDS EAST, A DISTANCE OF 253.37 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY ALONG A CURVE CONCAVE NORTHEASTERLY, SAID CURVE BEING THE NORTH LINE OF LOT 17, AFFORESAID, AND THE WEST LINE OF LOT 17 IN DEVONSHIRE WOODS ESTATES, AFFORESAID, HAVING A RADIUS OF 400 FEET, AN ARC LENGTH OF 110.16 FEET TO A POINT OF TANGENCY; THENCE CONTINUING ALONG SAID WEST LINE OF LOT 17, WEST BY BEARINGS 12 DEGREES 12 MINUTES 52 SECONDS WEST, 15 IN DEVONSHIRE WOODS ESTATES, AFFORESAID, HAVING A RADIUS OF 153.76 FEET TO A POINT OF CURVATURE; THENCE NORTHEAST ALONG A CURVE CONCAVE WESTWARD, SAID CURVE BEING THE WEST LINE OF SAID LOT 18 AND LOT 19 IN DEVONSHIRE WOODS ESTATES, AFFORESAID, HAVING A RADIUS OF 116.00 FEET, AN ARC DISTANCE OF 83.78 FEET TO A POINT OF COMPOUND CURVATURE; THENCE NORTHEAST ALONG A CURVE CONCAVE SOUTHWESTERLY, SAID CURVE BEING THE WEST LINE OF SAID LOT 18, THE WEST LINE OF LOT 18 AND THE SOUTH LINE OF LOT 20 IN DEVONSHIRE WOODS ESTATES, AFFORESAID, HAVING A RADIUS OF 300.00 FEET, AN ARC DISTANCE OF 373.56 FEET TO A POINT OF TANGENCY; THENCE ALONG THE SOUTH LINE OF SAID LOT 20, SOUTH 77 DEGREES 57 MINUTES 12 SECONDS WEST, A DISTANCE OF 81.44 FEET TO THE SOUTHWEST CORNER OF LOT 20 IN DEVONSHIRE WOODS ESTATES, AFFORESAID; THENCE SOUTH 12 DEGREES 32 MINUTES 18 SECONDS EAST, A DISTANCE OF 60.00 FEET TO THE SOUTHWEST CORNER OF LOT 14 IN DEVONSHIRE WOODS ESTATES, AFFORESAID; THENCE ALONG THE NORTH LINE OF SAID LOT 14 NORTH BY BEARINGS 12 DEGREES 12 MINUTES 52 SECONDS EAST, A DISTANCE OF 130.50 FEET TO A POINT OF CURVATURE; THENCE EASTWARD ALONG A CURVE CONCAVE SOUTHWESTERLY, SAID CURVE BEING THE NORTH LINE OF LOTS 14 AND 15 IN DEVONSHIRE WOODS ESTATES, AFFORESAID, HAVING A RADIUS OF 140.00 FEET, AN ARC DISTANCE OF 140.00 FEET TO A POINT OF COMPOUND CURVATURE; THENCE SOUTHWEST ALONG A CURVE CONCAVE WESTWARD, SAID CURVE BEING THE EAST LINE OF SAID LOT 15, HAVING A RADIUS OF 150.00 FEET, AN ARC DISTANCE OF 83.50 FEET TO A POINT OF TANGENCY; THENCE ALONG THE EAST LINE OF LOTS 15 AND 16 IN DEVONSHIRE WOODS ESTATES, AFFORESAID, SOUTH 18 DEGREES 18 MINUTES 52 SECONDS EAST, A DISTANCE OF 132.76 FEET TO A POINT OF CURVATURE; THENCE SOUTHWESTERLY ALONG A CURVE CONCAVE NORTHEASTERLY, SAID CURVE BEING THE SOUTHWESTERLY LINE OF SAID LOT 16, HAVING A RADIUS OF 20.00 FEET, AN ARC DISTANCE OF 31.42 FEET TO A POINT OF TANGENCY; THENCE ALONG THE SOUTH LINE OF LOTS 15 AND 16 IN DEVONSHIRE WOODS ESTATES, AFFORESAID, SOUTH 71 DEGREES 11 MINUTES 02 SECONDS WEST, A DISTANCE OF 200.00 FEET TO A POINT OF TANGENCY; THENCE ALONG A CURVE CONCAVE NORTHEASTERLY, SAID CURVE BEING THE SOUTHWESTERLY LINE OF SAID LOT 17, HAVING A RADIUS OF 100.00 FEET, AN ARC DISTANCE OF 51.83 FEET TO A POINT OF TANGENCY; THENCE ALONG THE WEST LINE OF LOT 12 THROUGH LOT 14 AND THENCE NORTH 23 DEGREES 31 MINUTES 18 SECONDS WEST, A DISTANCE OF 150.00 FEET TO A POINT OF TANGENCY; THENCE NORTHERLY ALONG A CURVE CONCAVE EASTWARD, SAID CURVE BEING THE WEST LINE OF SAID LOT 23, HAVING A RADIUS OF 119.00 FEET, AN ARC DISTANCE OF 100.00 FEET TO THE NORTHEAST CORNER OF SAID LOT 23; THENCE NORTH 66 DEGREES 48 MINUTES 54 SECONDS EAST, A DISTANCE OF 100.00 FEET TO THE NORTHEAST CORNER OF LOT 2 IN DEVONSHIRE WOODS ESTATES, AFFORESAID, SAID POINT BEING THE POINT OF BEGINNING, IN COCK COUNTY, ILLINOIS.

EASEMENT FOR PUBLIC UTILITIES PROVISIONS
 AN EASEMENT IS HEREBY RECEIVED BY AND GRANTED TO THE VILLAGE OF HOFFMAN ESTATES AND TO UTILITY SERVICES PROVIDERS AND THEIR SUCCESSORS THAT HOLD A LICENSE OR FRANCHISE UPON THE DATE OF THIS DOCUMENT WITHIN THE VILLAGE OF HOFFMAN ESTATES, COOK AND KANE COUNTIES, ILLINOIS, WITHIN THE AREA SHOWN BY SHADDED LINES AND WITHIN THE AREA SET FORTH "EASEMENTS FOR PUBLIC UTILITIES" OR "P.U.E." ON THIS PLAT, TO OPERATE AND MAINTAIN EXISTING FACILITIES INCLUDING CABLES, CABLES, WIRES, STORM AND SANITARY SEWER AND WATER MAINS AND DRAINAGE DRAINS, ABOVE AND UNDERGROUND, WITH ALL NECESSARY HANDLES, WATER VALVES, AND OTHER EQUIPMENT FOR THE SERVICE OF THE SUBDIVISION AND OTHER PROPERTY WITH TELEPHONE, ELECTRIC, TELEVISION, CABLE AND WATER SERVICE, AND DRAINAGE PURPOSES, THE RIGHT ENTERING UPON THE LOTS AT ALL TIMES TO OPERATE, AND MAINTAIN WITHIN SAID EASEMENT AREA SAID CONCRETE SERVICE, AND OTHER EQUIPMENT, AND FOR THE MAINTENANCE OF GAS MAINS EXISTING AND APPURTENANCES, AND FINALLY THE RIGHT IS HEREBY GRANTED TO CUT, BURN, AND REMOVE AND TRIM AND KEEP TRIMMED TREES, SHRUBS, OR SAMPINGS THAT INTERFERE OR THREATEN TO INTERFERE WITH ANY OF SAID PUBLIC UTILITY EQUIPMENT, OPERATION AND MAINTENANCE OF THE STORM WATER MANAGEMENT FACILITIES SHALL BE PERFORMED BY THE VILLAGE ONLY IN THE EVENT OF EMERGENCY IN ACCORDANCE WITH THE ACCOMPANYING EASEMENT AGREEMENT. NO STRUCTURES OR APPURTENANCES SHALL BE PLACED ON SAID EASEMENT, BUT SAME MAY BE USED FOR PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS HEREIN GRANTED. HOWEVER, IF FINDER ARE TO BE LOCATED BY ANY OWNER OR OWNER OF SAID PROPERTY WITHIN SAID EASEMENT, THESE MUST BE PLACED IN A LOCATION ACCESSIBLE TO THE VILLAGE OF HOFFMAN ESTATES AND PRIOR TO DRAINING SUCH A FENCE, A PERMIT FOR SUCH A FENCE INSTALLATION MUST BE OBTAINED FROM SAID VILLAGE.

OWNER'S CERTIFICATE
 STATE OF ILLINOIS)
 COUNTY OF DUPAGE)
 THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND DESCRIBED IN THE ANNEXED PLAT, AND THAT HE HAS CAUSED THE SAME TO BE PLATED AS INDICATED HEREON, FOR THE USES AND PURPOSES HEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE TITLE AND TITLE HEREON INDICATED.

 ADDRESS _____
 DATED THIS _____ DAY OF _____, A.D., 20__

SURVEYOR'S CERTIFICATE
 STATE OF ILLINOIS)
 COUNTY OF DUPAGE)
 THIS IS TO CERTIFY THAT THE ABOVE DESCRIBED PROPERTY WAS SURVEYED BY COWHEY GUDMUNDSON LEDER, LTD. PROFESSIONAL DESIGN FIRM NUMBER 181-001078, ALL PROFESSIONAL ILLINOIS LAND SURVEYOR LICENSES EXPIRE 03/31/2012.
 GIVEN UNDER MY HAND AND SEAL AT ITASCA, ILLINOIS, THIS 7TH DAY OF MARCH, A.D., 2011.



COWHEY GUDMUNDSON LEDER, LTD.
 CONSULTING ENGINEERS • LAND SURVEYORS • NATURAL RESOURCES

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 ITASCA, ILLINOIS 60143
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212 WEST KENNE
 CHICAGO, ILLINOIS 60654
 (312) 720-8990

REVISIONS	
1.	PER VILLAGE REVIEW 03/11/11

DEVONSHIRE WOODS ESTATES
 HOFFMAN ESTATES, ILLINOIS

PLAT OF EASEMENT

PROJECT NO.	3101.05	SHEET	1
DATE	12/28/10	SCALE	1"=60'
DESIGNED BY	MJG	DRAWN BY	MJG
CHECKED BY	TWB		



LOCATION MAP

FINAL PLAT OF SUBDIVISION OF DEVONSHIRE WOODS ESTATES CONSOLIDATION

BEING A SUBDIVISION IN SECTION 31 TOWNSHIP 41 NORTH, RANGE 3 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK)

THIS IS TO CERTIFY THAT THE INFORMATION IS THE OWNER OF THE LAND DESCRIBED IN THE FOREGOING PLAT, AND THAT HE HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS SHOWN HEREON, FOR THE PURPOSES HEREIN SET FORTH, AND DOES HEREBY KNOWLEDGE AND ADOPT THE SAME UNDER THE STATE AND FEDERAL STATUTES HEREAFTER.

ALSO, THIS IS TO CERTIFY THAT THE PROPERTY BEING SUBDIVIDED AFORESAID, IS IN THE BEST OF OWNER'S INTERESTS AND THAT SAID SUBDIVISION LIES ENTIRELY WITHIN THE LIMITS OF SCHOOL DISTRICT NO. 14.

DATED THIS _____ DAY OF _____ A.D. 19__

BY: _____
(OWNER)

ATTEST: _____
(OWNER)

ADDRESS: _____

NEIGHBOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK)

I, _____, PERSONALLY KNOW THE OWNER OF THE SAID CITY, OR COUNTY, IN THE STATE AFORESAID, AND HEREBY CERTIFY THAT THE SAID PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT IS SUCH PERSON AS APPEARED BEFORE ME, THAT HE IS THE PERSON AND KNOWLEDGE THAT HEY TRUSTED AND BELIEVED THE ABOVE PLAT OF THIS LAND FREE AND VOLUNTARILY ACT FOR THE USES AND PURPOSES HEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL, THIS _____ DAY OF _____ A.D. 19__ AT _____

NOTARY PUBLIC

BOARD OF TRUSTEES CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK)

APPROVED BY THE BOARD OF TRUSTEES OF THE VILLAGE OF HOFFMAN ESTATES, COOK AND SAME COUNTIES, ILLINOIS, THIS _____ DAY OF _____ A.D. 19__

ATTEST: _____
VILLAGE CLERK

PLAN COMMISSIONER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK)

APPROVED BY THE PLAN COMMISSIONER OF THE VILLAGE OF HOFFMAN ESTATES, COOK AND SAME COUNTIES, ILLINOIS, AT A MEETING HELD THIS _____ DAY OF _____ A.D. 19__

ATTEST: _____
COMMISSIONER

VILLAGE TREASURER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK)

APPROVED BY THE VILLAGE TREASURER OF THE VILLAGE OF HOFFMAN ESTATES, COOK AND SAME COUNTIES, ILLINOIS, THIS _____ DAY OF _____ A.D. 19__

ATTEST: _____
TREASURER

SHARPES WATER DRAINAGE STATEMENT

STATE OF ILLINOIS)
COUNTY OF COOK)

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SHARPES WATER WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF OR THAT SUCH DRAINAGE WILL REMAIN AS SHOWN, UNLESS A CHANGE THEREIN IS REQUIRED FOR COLLECTION AND DIVERSION OF PUBLIC UTILITIES TO THE SAID SUBDIVISION. ANY SUCH CHANGE WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICE SO AS TO PREVENT THE OCCURRENCE OF UNREASONABLE DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS _____ DAY OF _____ A.D. 19__

ENGINEER OR ARCHITECT

ENGINEER

COUNTY CLERK'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK)

I, _____, COUNTY CLERK OF COOK COUNTY IN THE STATE OF ILLINOIS, HEREBY CERTIFY THAT I HAVE FULLY RECORDED THIS PLAT OF SUBDIVISION AS SHOWN HEREON, AND THAT THE PROPERTY DESCRIBED IN THIS PLAT OF SUBDIVISION IS NOT PART OF ANY OTHER PLAT OF SUBDIVISION WHICH HAS BEEN RECORDED IN THIS COUNTY OF COOK IN CONNECTION WITH OTHER LAWS BY THIS AND SAID COUNTY OF COOK, ILLINOIS, THIS _____ DAY OF _____ A.D. 19__

COUNTY HIGHWAY CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK)

THE AFORESAID PLAT HAS BEEN APPROVED BY THE COOK COUNTY HIGHWAY DEPARTMENT, THIS DEPARTMENT IS HEREBY GRANTING ACCESS TO THE HIGHWAY REVERED STATUTES CHAPTER 100, PARAGRAPHS 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

APPROVED THIS _____ DAY OF _____ A.D. 19__

COUNTY ENGINEER

SHARPES WATER CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK)

THE FOLLOWING DESCRIBED PROPERTY HAS BEEN SURVEYED AND SUBDIVIDED BY COUNTY ENGINEER, LEONARD A. BROWN, UNDER THE SUPERVISION OF AN ILLINOIS PROFESSIONAL LAND SURVEYOR AND THAT THE PLAT HEREON IS A CORRECT REPRESENTATION OF SAID SURVEY, ALL BEING DONE IN ACCORDANCE WITH THE LAWS OF THE STATE OF ILLINOIS, AND THAT THE SAID SUBDIVISION IS IN SECTION 31, TOWNSHIP 41 NORTH, RANGE 3 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT HEREBY RECORDED AS DOCUMENT NO. _____ IN COOK COUNTY, ILLINOIS.

ALL OF THE ABOVE DESCRIBED PROPERTY CONTAINS 10.317 ACRES OF LAND MORE OR LESS IN COOK COUNTY, ILLINOIS.

I DO HEREBY CERTIFY THAT THE PROPERTY DESCRIBED HEREON IS LOCATED WITHIN THE CORRECTED LIMITS OF THE VILLAGE OF HOFFMAN ESTATES, COOK COUNTY, ILLINOIS, THAT HAS ADOPTED A COMPREHENSIVE PLAT.

I DO HEREBY CERTIFY THAT THE NEIGHBORLY ROADS AND THEIR SPACES ARE SET ALONG THE PERIMETERS OF THE PROPERTY AND UPON COMPLETION OF CONSTRUCTION THE NEIGHBORLY SPACES AT ALL LOT CORNERS AND POINTS OF CHANGES IN ALIGNMENT WILL BE SET.

I DO HEREBY CERTIFY THAT THE PROPERTY DESCRIBED HEREON FALLS IN ZONE 3, (ZONE 3 IS DEFINED TO BE ANY ZONE 3-100 PLAT) ACCORDING TO THE PLANNED SHARPES WATER MAP, NUMBER 1181001017 OF THE ILLINOIS REVISOR STANDARDS.

APPROVED THIS _____ DAY OF _____ A.D. 19__

BY: _____
COUNTY ENGINEER, LEONARD A. BROWN, LICENSE NO. 181-00001, ALL PROFESSIONAL ILLINOIS LAND SURVEYOR LICENSES EXPIRE NOVEMBER 30, 2011.

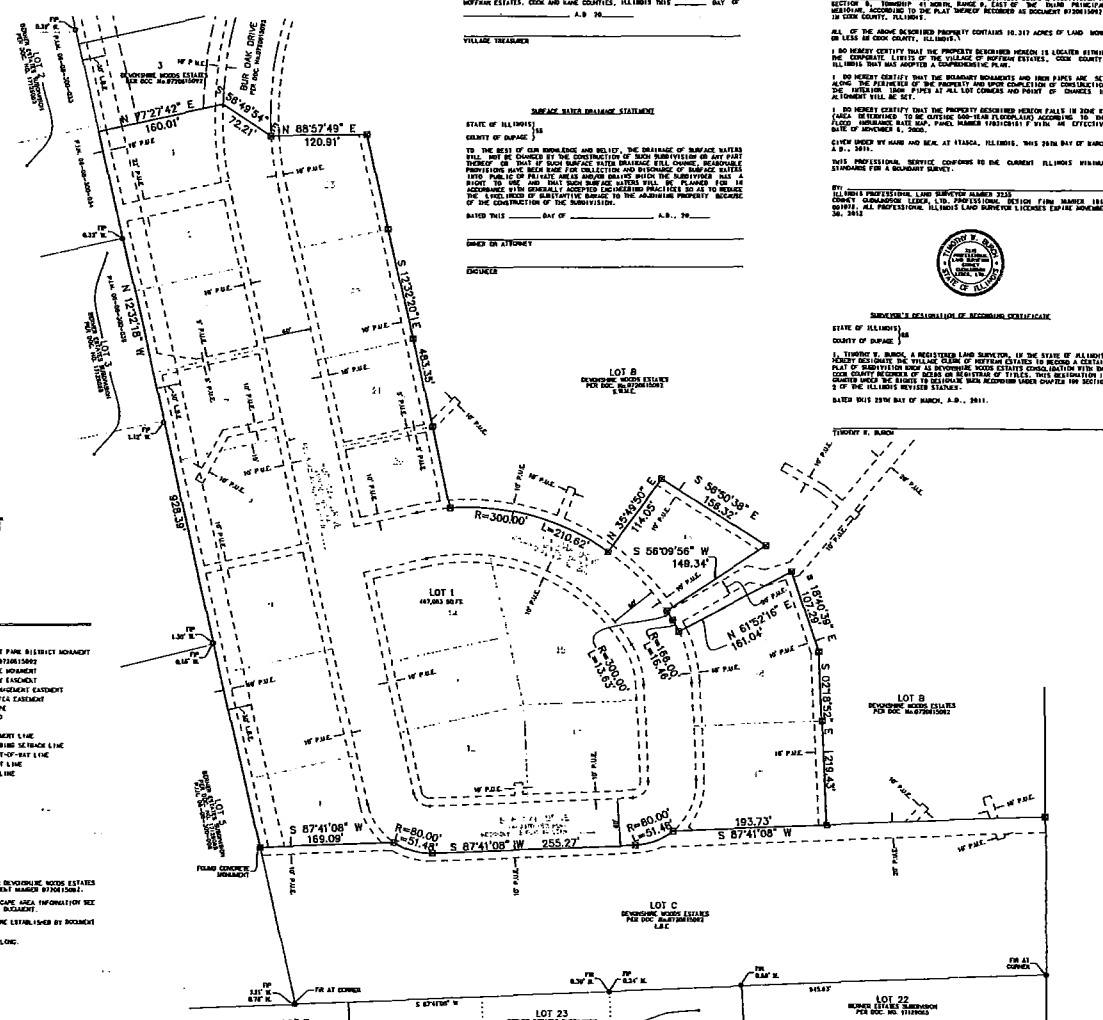
SHARPES WATER CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK)

THE PROFESSIONAL ENGINEER OR ARCHITECT HAS REVIEWED THE PLAT OF SUBDIVISION AND HAS FOUND THAT THE SAME IS IN ACCORDANCE WITH THE LAWS OF THE STATE OF ILLINOIS AND THAT THE PLAT HEREON IS A CORRECT REPRESENTATION OF SAID SURVEY, ALL BEING DONE IN ACCORDANCE WITH THE LAWS OF THE STATE OF ILLINOIS, AND THAT THE SAID SUBDIVISION IS IN SECTION 31, TOWNSHIP 41 NORTH, RANGE 3 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT HEREBY RECORDED AS DOCUMENT NO. _____ IN COOK COUNTY, ILLINOIS.

APPROVED THIS _____ DAY OF _____ A.D. 19__

BY: _____
COUNTY ENGINEER, LEONARD A. BROWN, LICENSE NO. 181-00001, ALL PROFESSIONAL ILLINOIS LAND SURVEYOR LICENSES EXPIRE NOVEMBER 30, 2011.



LEGEND

O	18IN PIPE
H	12IN HD
M	PRECAST CONCRETE MANHOLE
PC	18IN CONCRETE MANHOLE
P.W.C.	PUBLIC UTILITY EXCAVATION
S & W E	STORMWATER MANAGEMENT EXCAVATION
L.W.C.	LANDSCAPE BUFFER EXCAVATION
FIP	FOUR 18IN PIPE
FR	FRANK 18IN HD
---	ROADWAY LINE
---	EXISTING CURBLINE
---	EXISTING WALKING SURFACE LINE
---	EXISTING DRIVE-UP DRIVE LINE
---	PROPOSED LOT LINE
---	EXISTING LOT LINE

- NOTES:**
1. THE DIMENSIONS SHOWN ON THIS PLAT ARE BASED ON MEASUREMENTS MADE ACCORDING TO THE PLAT SHEET RECORDED AS DOCUMENT NUMBER 870415081.
 2. FOR ADDITIONAL SETBACK INFORMATION AND LANDSCAPE AREA INFORMATION SEE CONVEYANCE AND RESTRICTIONS RECORDED BY DEEDS 1542042.
 3. ALL DIMENSIONS AND SETBACK LINES SHOWN HEREON ARE LISTED IN FEET BY DOCUMENT NUMBER 870415081 UNLESS SHOWN OTHERWISE.
 4. ALL 18IN PIPES ARE 3/4" DIAMETER BY 24" LONG.
 5. ALL AREAS ARE MORE OR LESS.

PLAY SUBMITTED BY: **BRIAN TAYLOR** MAIL TAX BILL TO: **HOFFMAN ESTATES THREE, L.L.C.** VILLAGE OF HOFFMAN ESTATES, 1000 HARBELL ROAD, HOFFMAN ESTATES, IL 60118, 847-882-9100

AFTER RECORDING MAIL TO: **COWHEY GUDMUNDSON LEDER, LTD**

REVISIONS:

1.	PER VILLAGE REVIEW	07/21/11
2.	PER VILLAGE REVIEW	07/21/11

COWHEY GUDMUNDSON LEDER, LTD. 300 PARK BOWLEAVEN (TASCAS) ILLINOIS 60143 (630) 250-8343 315 WEST WISCONSIN CHICAGO, ILLINOIS 60604 (312) 755-8395 CONSULTING ENGINEERS • LAND SURVEYORS • NATURAL RESOURCES

DEVONSHIRE WOODS ESTATES CONSOLIDATION
HOFFMAN ESTATES, ILLINOIS

FINAL PLAT OF SUBDIVISION

SURVEY FILE
PROJECT NO. 3101.05
DATE 11/30/10
SCALE 1"=60'
DESIGNED BY SRK
DRAWN BY SRK
CHECKED BY TWB

SHEET 1 OF 1



VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION
FINDING OF FACT

PROJECT NO.: 2011041T

VILLAGE BOARD MEETING DATE: September 12, 2011

PETITIONER(S): Village of Hoffman Estates - Text Amendment to Section 9-3-2 of the Zoning Code

Does the Planning and Zoning Commission find that this request meets the Standards for a Text Amendment (Section 9-1-17 of the Zoning Code)? YES NO

Recommendation: APPROVAL

Vote: 9 Ayes 1 Absent 1 Vacancy

PZC MEETING DATE: **SEPTEMBER 7, 2011**

STAFF ASSIGNED: **JOSH EDWARDS**

Request by the Village of Hoffman Estates for approval of a Text Amendment to the Zoning Code to permit certain pre-existing circular driveways, based on the revised text as follows: (Underlined text is new)

Section 9-3-2 Off-street parking and off-street loading facilities

C. The following driveway requirements shall apply for all one-family detached, two-family attached, or one-family attached dwellings unless otherwise indicated:

- 1. A driveway shall be permitted in a side yard.**
- 2. A driveway in a front yard shall be permitted provided the driveway leads to an approved parking structure. This shall not prohibit a driveway in a front yard from being expanded or enlarged toward the side lot line closest to the driveway.**
- 3. Driveways shall not exceed 30 feet in width.**
- 4. Driveways that lead to another driveway shall not be permitted, including driveways where two curb cuts create a circular driveway. One exception shall be permitted as follows:**

i. Existing circular driveways shall be permitted on a corner lot where the house is aligned at or near a 45 degree angle to the street intersection, and where the curb cuts are on separate streets. This exception applies only to driveways existing prior to January 1, 2000, and shall not be permitted for driveways after that date.

AUDIENCE COMMENTS

None.

FINDING

Section 9-1-17 of the Zoning Code – *Standards for a Text Amendment* - states that the Planning and Zoning Commission (PZC) shall not recommend the adoption of a proposed amendment unless it finds that the adoption of such amendment is in the public interest and is not solely for the interest of the petitioner.

Staff summarized the background of the Zoning Code requirement that a driveway lead to a garage and that nonconforming driveways have been gradually phased out in recent years. Most of these instances involve a driveway leading to a living room or to an open area of lawn. There are some properties in the Village that have nonconforming circular driveways, where technically one driveway leads to another driveway, and not directly to a garage. Of those properties there is a subset of corner lot properties that are uniquely designed where the house is situated at or near a 45 degree angle to the street corner and a driveway leads from each street creating a semi-circle in front of the house, with one of the driveways leading more directly to a garage than the other driveway. The Village Board earlier this year granted a variation to two such properties and discussed that these properties were unique compared with the majority of driveway variation requests seen previously. The Village Board directed staff and the Planning and Zoning Commission to consider a text amendment to permit such existing circular driveways. The proposed text amendment would permit exclusively those circular driveways on corner lots of the aforementioned layout, and would apply only to those properties with this existing layout (prior to January 1, 2000). It would not be permitted for new construction. From a count conducted by staff, this text amendment would apply to 12 properties.

The Commission confirmed that the other forms of nonconforming driveways such as a driveway leading to a living room would not be affected by this text amendment, and such driveways would remain nonconforming.

The Planning and Zoning Commission voted unanimously to recommend approval of the text amendment.

PLANNING AND ZONING COMMISSIONERS

Chairperson Eva Combs	Myrene Iozzo
Donna Boomgarden	Thomas Krettler
Michael Gaeta	Gaurav Patel
Steve Hehn	Steve Wehofer
Lenard Henderson	Denise Wilson

ROLL CALL VOTE

9 Ayes
0 Nays
0 Abstain
1 Absent (Combs)
1 Vacancy

MOTION PASSED

The following attachments are hereby incorporated as part of this Finding of Fact:

Staff Report
Legal Notice
Staff Exhibit



VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION
STAFF REPORT

PROJECT NO.: 2011041T

PETITIONER(S): VILLAGE OF HOFFMAN ESTATES

PROJECT NAME: TEXT AMENDMENT-PRE-EXISTING CIRCULAR DRIVEWAYS

PUBLIC HEARING
YES NO

MEETING DATE: SEPTEMBER 7, 2011

STAFF ASSIGNED: JOSH EDWARDS JAE

1. REQUESTED ACTION

Request by Village of Hoffman Estates for approval of a Text Amendment to the Zoning Code to permit certain pre-existing circular driveways, based on the revised text as follows: (Underlined text is new, Strikethrough-text is deleted)

Section 9-3-2 Off-street parking and off-street loading facilities

C. The following driveway requirements shall apply for all one-family detached, two-family attached, or one-family attached dwellings unless otherwise indicated:

1. A driveway shall be permitted in a side yard.
2. A driveway in a front yard shall be permitted provided the driveway leads to an approved parking structure. This shall not prohibit a driveway in a front yard from being expanded or enlarged toward the side lot line closest to the driveway.
3. Driveways shall not exceed 30 feet in width.
4. Driveways that lead to another driveway shall not be permitted, including driveways where two curb cuts create a circular driveway. One exception shall be permitted as follows:
 - i. Existing circular driveways shall be permitted on a corner lot where the house is aligned at or near a 45 degree angle to the street intersection, and where the curb cuts are on separate streets. This exception applies only to driveways existing prior to January 1, 2000, and shall not be permitted for driveways after that date.

2. PROPOSAL

The Zoning Code requires that all driveways lead directly to an approved parking structure (an attached or detached garage). This requirement was initiated in 1997 primarily to phase out nonconforming driveways that do not lead to a garage. There are hundreds of nonconforming driveways in the Village that lead to the front of the house and not a garage, or are widened in front of the house while also leading beside the house to a detached garage (and some that lead to an empty area of lawn). Nonconforming driveways have been eliminated or modified in recent years when a homeowner applies for a building permit to repair or replace the driveway. Nonconforming driveways have also been eliminated through the Annual Street Rehabilitation Project; when a street is reconstructed and the apron of a nonconforming driveway is removed, the private portion of the driveway must then be removed as well. Some homeowners have

requested variations to retain existing nonconforming driveways, and the vast majority of these requests have been denied by the Village Board.

Earlier in 2011, two driveway variation requests were made on Pleasant Street, which was being reconstructed by the Village. The corner lots included circular driveways, which included two curb cuts, one from each street. The houses were positioned at a 45 degree angle to the street intersection and the driveways circled in front of the houses. In such a layout, only one driveway that leads most directly to the garage is permitted, and the other driveway is nonconforming. Generally a circular driveway is similar to other nonconforming driveways in that there is pavement in front of the house in which a car can be parked, but the difference is that the nonconforming driveway leads to another driveway, not to the front of the house (or it may lead to both).

In the cases on Pleasant Street, the Village Board found that the layout of these houses and driveways was different from the nonconforming driveway variations that had generally been denied in the past. The two variation requests were approved, but with the condition that the nonconforming driveways (the driveways that did not lead directly to the garage but instead led to the permitted driveways) must be removed at such time as they fall into disrepair. On July 25, 2011, the Planning, Building and Zoning Committee directed the Planning & Zoning Commission to hold a hearing to consider a text amendment regarding such pre-existing nonconforming circular driveways.

An aerial photo example exhibit highlighting this type of nonconforming driveway is included in the packet.

Staff has proposed text that would permit circular driveways of a particular lot layout, and would be limited to driveways existing prior to January 1, 2000. There are 12 such lots in the Village.

3. TEXT AMENDMENT STANDARDS

Section 9-1-17 of the Zoning Code – *Standards for a Text Amendment* - states that the Planning and Zoning Commission shall not recommend the adoption of a proposed amendment unless it finds that the adoption of such amendment is in the public interest and is not solely for the interest of the petitioner.

Text amendments to the Zoning Code involve changes to the regulations that apply to all properties in the Village. However, in this case the language focuses on a narrow subset of properties: corner lots with existing circular driveways with the house and driveways in a certain configuration. If this text amendment is approved, it will apply to the properties with those characteristics.

4. STAFF SUMMARY

The Village has generally denied variation requests for driveways that do not lead to a garage. Most such cases involves all or a portion of a driveway leading to a living space of the house, which was converted some years ago from an attached garage. However, houses situated on the lot at an angle to the corner, with the circular driveway a symmetrical loop in front of the house, are designed in a way that does create as much aesthetic or safety concerns as driveways leading to a living room. Such lots were designed with the circular driveways intentionally fitting the layout of the lot.

Meeting Date – September 7, 2011

Nonconforming driveways that lead to living space would remain nonconforming if this text amendment is approved. A circular driveway involving two curb cuts on the same street (corner lot or mid-block) would also remain nonconforming and only the driveway leading most directly to a garage would be permitted. This text amendment would apply to 12 properties.

Attachments: Legal Notice
 Staff Exhibit

NOTICE OF PUBLIC HEARING

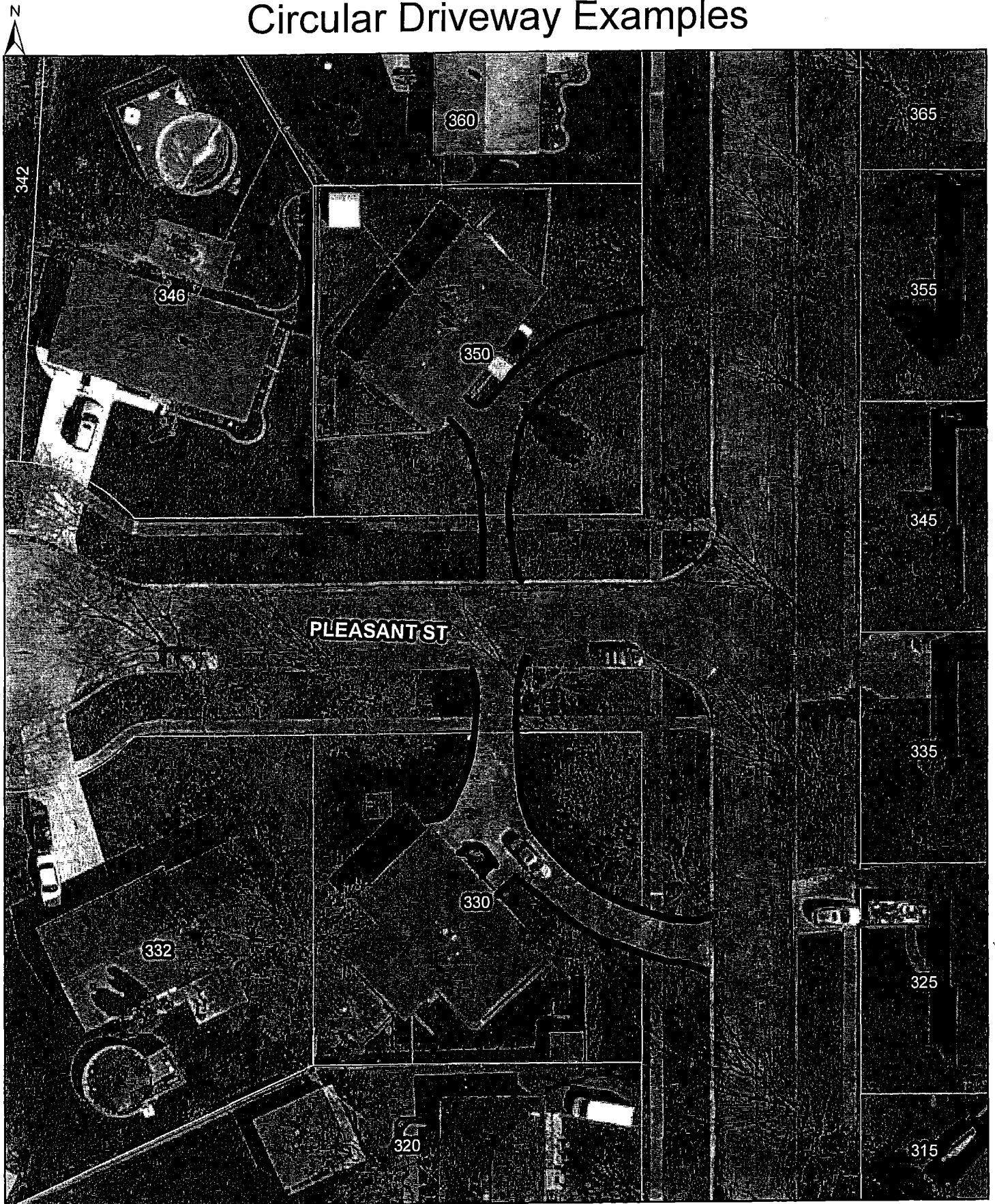
Notice is hereby given that the Planning and Zoning Commission of the Village of Hoffman Estates will hold a public hearing at the request of the Village of Hoffman Estates to consider a text amendment to Section 9-3-2 (Off-Street Parking and Off-Street Loading Facilities) of the Zoning Code regarding pre-existing circular driveways.

The hearing will be held on Wednesday, September 7, 2011 at 7:00 p.m. in the Hoffman Estates Municipal Building, 1900 Hassell Road, Hoffman Estates, IL.

Gordon Thoren, Chairman
Planning and Zoning Commission

To be published by Paddock Publications on Tuesday, August 23, 2011.

Circular Driveway Examples



1 inch = 40 feet

Planning Division
Village of Hoffman Estates
August 2011

ADDITIONAL BUSINESS

VILLAGE OF HOFFMAN ESTATES

AN ORDINANCE AMENDING ARTICLE 4,
TRAFFIC ADMINISTRATIVE ADJUDICATION, OF
CHAPTER 6, TRAFFIC CODE, OF THE
HOFFMAN ESTATES MUNICIPAL CODE

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, as follows:

Section 1: That Section 6-4-1, PURPOSE-SCOPE-ADOPTION OF RULES AND REGULATIONS, of Article 6-4, TRAFFIC ADMINISTRATIVE ADJUDICATION, of the Hoffman Estates Municipal Code be amended to read as follows:

Section 6-4-1. PURPOSE – SCOPE – ADOPTION OF RULES AND REGULATIONS

A. The purpose of this Article is to provide for the administrative adjudication of vehicular violations of the Hoffman Estates Municipal Code, automated traffic law violations pursuant to Article 5 of this Code, and defining compliance violations, and regulating vehicular standing and parking within the Village and to establish a fair and efficient system for the enforcement of Chapter 6 of the Hoffman Estates Municipal Code. The traffic administrative adjudication system set forth in this Chapter is established pursuant to Division 2.1 of the Illinois Municipal Code, 625 ILCS 5/11-208.8-3, and the home rule power of the Village of Hoffman Estates.

B. For the purpose of this Article, "compliance violation" means a violation of a municipal regulation governing the condition or use of equipment on a vehicle.

Section 2: That Section 6-4-2, APPOINTMENT-TRAFFIC COMPLIANCE ADMINISTRATOR, of Article 6-4, TRAFFIC ADMINISTRATIVE ADJUDICATION, of the Hoffman Estates Municipal Code be amended to read as follows:

Section 6-4-2. APPOINTMENT—TRAFFIC COMPLIANCE ADMINISTRATOR

A. The Corporation Counsel shall appoint a Village Traffic Compliance Administrator who is authorized to:

1. Operate and manage the system of administrative adjudication of automated traffic law violations, vehicular standing, parking and compliance violations;

2. Adopt, distribute and process automated traffic law violations, parking and compliance violation notices, collect money paid as fines and penalties for violations of parking and compliance ordinances;

6. Promulgate rules and regulations pertaining to the hearing process, the content of forms and procedures, and the daily operation of the administrative adjudication of automated traffic law violations, parking and compliance violations program.

Section 3: That Section 6-4-4, VIOLATION-PENALTY, of Article 6-4, TRAFFIC ADMINISTRATIVE ADJUDICATION, of the Hoffman Estates Municipal Code be amended to read as follows:

Section 6-4-4. VIOLATION—PENALTY

The violation of any provision of the traffic code prohibiting or restricting vehicular standing or parking, or establishing a compliance violation, or an automated traffic law violation, shall be a civil offense punishable by fine only, as listed in Section 6-2-1-HE-16-104 of the Hoffman Estates Municipal Code.

Section 4: That the Village Clerk is hereby authorized to publish this ordinance in pamphlet form.

Section 5: That this Ordinance shall be in full force and effect from and after its passage and approval.

PASSED THIS _____ day of _____, 2011

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Raymond M. Kincaid	_____	_____	_____	_____
Trustee Jacquelyn Green	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2011

Village President

ATTEST:

Village Clerk

Published in pamphlet form this _____ day of _____, 2011.

MEMORANDUM OF AGREEMENT

This is a Memorandum of Agreement between the Village of Hoffman Estates ("Village") and the International Brotherhood of Teamsters, Chauffeurs, Warehousemen, and Helpers of America, Local 700 ("Union"). Pursuant to the re-opener language of Article XX, Section 1 of the Collective Bargaining Labor Agreement ("Agreement"), and in full and complete settlement of all outstanding issues, the Village and the Union hereby agree as follows:

1. Add the following columns to Article XX, Section 1 Salary Schedule and Fringe Benefits, A through C of the Agreement:

A. Maintenance Worker I

Service	Effective 7/1/2011	Effective 12/31/2011	Effective 1/1/2012	Effective 7/1/2012
Starting	\$45,026	\$45,476	\$46,386	\$46,850
Aft. 1 yr	\$46,489	\$46,954	\$47,893	\$48,372
Aft. 2 yrs	\$48,813	\$49,301	\$50,287	\$50,790
Aft. 3 yrs	\$51,252	\$51,765	\$52,800	\$53,328
Aft. 4 yrs	\$53,817	\$54,355	\$55,442	\$55,997
Aft. 5 yrs	\$56,507	\$57,072	\$58,214	\$58,796
Aft. 6 yrs	\$59,333	\$59,926	\$61,125	\$61,736
Maximum	\$62,593	\$63,219	\$64,483	\$65,128

MI HEO

63,845	\$64,483	\$65,773	\$66,431
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If an MI HEO is not at the maximum step, then 2% will be added to the employees current wage step.

B. Maintenance Worker II

Service	Effective 7/1/2011	Effective 12/31/2011	Effective 1/1/2012	Effective 7/1/2012
Starting	\$49,033	\$49,523	\$50,514	\$51,019
Aft. 1 yr	\$51,484	\$51,999	\$53,039	\$53,569
Aft. 2 yrs	\$54,060	\$54,601	\$55,693	\$56,250
Aft. 3 yrs	\$56,763	\$57,331	\$58,477	\$59,062
Aft. 4 yrs	\$59,601	\$60,197	\$61,401	\$62,015
Aft. 5 yrs	\$62,581	\$63,207	\$64,471	\$65,116
Aft. 6 yrs	\$65,708	\$66,365	\$67,692	\$68,369
Maximum	\$69,289	\$69,982	\$71,382	\$72,095

MII HEO/Crew Leader

\$70,675	\$71,382	\$72,809	\$73,537
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If an MII HEO/Crew Leader is not at the maximum step, then 2% will be added to the employees current wage step.

C. Maintenance Worker III


Service	Effective 7/1/2011	Effective 12/31/2011	Effective 1/1/2012	Effective 7/1/2012
Starting	\$52,586	\$53,112	\$54,174	\$54,716
Aft. 1 yr	\$55,214	\$55,766	\$56,881	\$57,450
Aft. 2 yrs	\$57,976	\$58,556	\$59,727	\$60,324
Aft. 3 yrs	\$60,873	\$61,482	\$62,711	\$63,338
Aft. 4 yrs	\$63,917	\$64,556	\$65,847	\$66,506
Aft. 5 yrs	\$67,115	\$67,786	\$69,142	\$69,833
Aft. 6 yrs	\$70,471	\$71,176	\$72,599	\$73,325
Maximum	\$74,143	\$74,884	\$76,382	\$77,146

2. Members will be eligible for any other Voluntary Separation Plan (VSP) offered to any other bargaining unit in the Village on or before December 2012.

AGREED:

TEAMSTERS LOCAL UNION 700

VILLAGE OF HOFFMAN ESTATES

By:  Gus Horvath

By: _____

Title: Business Rep.

Title: _____

Date: 8-18-11

Date: _____