

AGENDA

*Village of Hoffman Estates
First Meeting of the Month
Village Board of Trustees*

*1900 Hassell Road
Hoffman Estates, IL 60169
847-882-9100*

Board Room

8:00 p.m.

April 4, 2011

1. **CALL TO ORDER/ROLL CALL**
2. **PLEDGE OF ALLEGIANCE TO THE FLAG**
3. **RECOGNITION OF AUDIENCE**
4. **APPROVAL OF MINUTES – March 14, 2011**
5. **CONSENT AGENDA/OMNIBUS VOTE (Roll Call Vote)**
(All items under the Consent Agenda are considered to be routine in nature and will be enacted by one motion. There will be no separate discussion of these items unless a Trustee so requests. In that event, the discussion will be the first item of business after approval of the Consent Agenda).
 - A. Approval of Agenda
 - B. Approval of the schedule of bills for April 4, 2011 - \$18,635,650.48.
 - C. Request Board approval of an ordinance granting a variation to Yorkshire Woods Homeowners Association.
 - D. Request Board approval of an ordinance approving a Master Sign Plan in accordance with Section 9-3-8-M-12 of the Zoning Code for the property located at 1165-1199 N. Barrington Road and 2501-2599 W. Golf Road (Hoffman Village Shopping Center).
 - E. Request Board approval of an ordinance approving a Master Sign Plan in accordance with Section 9-3-8-M-12 of the Zoning Code for the property located at 1405-1425 Palatine Road (Rose Plaza Shopping Center).
 - F. Request Board approval of an ordinance reserving volume cap in connection with private activity bond issues and related issues.
 - G. Request Board approval of the addition of the Sears Centre to the scope of the annual financial audit by Crowe, Horwath, LLP, the Village's auditors, in an amount not to exceed \$25,000.
 - H. Request Board authorization to waive all inspection fees and selected license fees for the 2011 Fourth of July festival.
 - I. Request Board authorization to award contract for 2011 season turf mowing maintenance for Village owed sites, rights-of-way, detention areas and park type properties to Alaniz Group, Elgin, IL (low id) in an amount not to exceed \$35,000.
 - J. Request Board authorization to award contract for 2011 contracted weed control and fertilization for various Village owned sites and rights-of-way to Spring Green, Plainfield, IL (low bid) in an amount not to exceed \$15,120.

5. **CONSENT AGENDA/OMNIBUS VOTE – Continued**

K. Request Board authorization to:

- 1) waive formal bidding; and
- 2) award contract for ten (10) sets of structural firefighting clothing to Air One Equipment, Inc., South Elgin, IL, sole source vendor, in an amount not to exceed \$19,857; and
- 3) award contract for twenty (20) sets of structural firefighting clothing to MES-Illinois, Washington, IL, sole source vendor, in an amount not to exceed \$39,950.

6. **REPORTS**A. **President's Report**

- 1) Proclamation(s)
 - Joseph Volpe Day (30 Years Service)
 - National Volunteer Week
 - Child Abuse Prevention Month

B. **Trustee Comments**C. **Village Manager's Report**D. **Village Clerk's Report**E. **Committee Reports**

- 1) General Administration & Personnel
- 2) Transportation & Road Improvement
- 3) Planning, Building & Zoning

7. **PLAN COMMISSION/ZONING BOARD OF APPEALS REPORTS**A. **ZONING BOARD OF APPEALS (Chairman Weaver)**

- 1) Request by the Twelve Oaks at Morningside Condominium Association and Dolan Realty Advisors, LLC as agent for AT&T, for a special use under Section 9-3-9-A and Section 9-5-11-E-3 and a nineteen foot (19') height variation from Section 9-3-9-A to permit a maximum of nine (9) cellular antennas at a maximum 79 feet high, with the top of the antennas not to exceed eight feet (8') above the roofline, and associated equipment on the east building of the Twelve Oaks at Morningside Condominiums located at 1800 Huntington Boulevard, with 2 conditions (see packets).

Voting: 6 Ayes, 1 Absent

Motion carried.

(Immediate authorization to apply for permits is requested)

- 2) Request by the Hoffman Estates Park District and Sure Site, as agent for T-Mobile Central LLC, for a special use under Section 9-3-9-A and Section 9-5-4-C-4, and a twenty five foot (25') height variation from Section 9-3-9-A to permit an 85 foot high communication

7. **PLAN COMMISSION/ZONING BOARD OF APPEALS REPORTS- Continued**

tower/light pole containing six (6) cellular antennas housed within the stealth tower structure as shown on the petitioner's plans and associated ground equipment to be enclosed within a new brick equipment shelter located at 1704 Glen Lake Road (High Point Park), with 3 conditions (see packets).

Voting: 2 Ayes, 4 Nays, 1 Absent

Motion failed.

(Immediate authorization to apply for permits is requested) – (Petitioner requests deferral of this item until April 18, 2011)

8. **ADDITIONAL BUSINESS** *(All other new business; those items not recommended unanimously by the Committee)*

- A. Request Board approval of Ordinance amending Section 8-3-22, Number of Licenses, of Article 3, Alcoholic Liquors, of the Hoffman Estates Municipal Code.
- B. Request Board authorization to award contract for 2011 Holiday Tree Lighting event fireworks display to Melrose Pyrotechnics, Kingsbury, IN, in an amount not to exceed \$3,800.
- C. Request Board approval of a Professional Service Agreement with mCapitol Management, Washington, DC, and Chicago, IL, for federal lobbying services.

9. **ADJOURNMENT**

MEETING: **HOFFMAN ESTATES VILLAGE BOARD**
DATE: **MARCH 14, 2011**
PLACE: **COUNCIL CHAMBERS**
 MUNICIPAL BUILDING COMPLEX
 1900 HASSELL ROAD
 HOFFMAN ESTATES, ILLINOIS

1. CALL TO ORDER:

Village President William McLeod called the meeting to order at 8:00 p.m. The Village Clerk called the roll. Trustees present: Ray Kincaid, Jackie Green, Anna Newell, Gary Pilafas, Gary Stanton, Karen Mills.

A quorum was present.

ADMINISTRATIVE PERSONNEL PRESENT:

J. Norris, Village Manager
D. O'Malley, Deputy Village Manager
N. Harbottle, Arnstein & Lehr
M. Hish, Police Chief
B. Gorvett, Fire Chief
D. Schultz, Community Relations Coordinator
M. DuCharme, Finance Director
J. Nebel, Acting Director Public Works
A. Garner, H&HS Director
P. Seger, HRM Director
G. Eaken, IS Director
D. Christensen, Emergency Mgt. Coordinator
B. Anderson, CATV Coordinator
P. Gugliotta, Planning Director
S. Kuechler, General Government Intern

2. PLEDGE OF ALLEGIANCE TO THE FLAG:

The Pledge was led by Trustee Kincaid.

3. RECOGNITION OF AUDIENCE:

No one wished to be recognized.

4. APPROVAL OF MINUTES:

Motion by Trustee Pilafas, seconded by Trustee Mills, to approve Item 4.

1) Approval of minutes from March 7, 2011.

Roll Call:

Aye: Kincaid, Green, Newell, Pilafas, Stanton, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

5. CONSENT AGENDA/OMNIBUS VOTE:

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 5.A.

5.A. Approval of Agenda

Roll Call:

Aye: Kincaid, Green, Newell, Pilafas, Stanton, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 5.B.

5.B. Approval of the schedule of bills for March 14, 2011: \$1,506,465.72.

Roll Call:

Aye: Kincaid, Green, Newell, Pilafas, Stanton, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Pilafas, seconded by Trustee Mills, to approve Item 5.C.

5.C. Request Board approval of Ordinance No. 4226-2011 approving an amendment to the Master Sign Plan in accordance with Section 9-3-8-M-12 of the Zoning code for the property located at 2300-2360 W. Higgins Road.

Roll Call:

Aye: Green, Newell, Pilafas, Stanton, Mills

Nay: Kincaid

Mayor McLeod voted aye.

Motion carried.

6. REPORTS:

6.A. President's Report

1) Proclamation(s)

Trustee Green read the following proclamation:

Motion by Trustee Kincaid, seconded by Trustee Mills, to concur with the proclamation proclaiming Monday, April 4, 2011 as Vince Scaccianoce Day. Voice vote taken. All ayes. Motion carried.

Sergeant Scaccianoce accepted his proclamation and was congratulated by the Board.

Trustee Newell read the following proclamation:

Motion by Trustee Mills, seconded by Trustee Pilafas, to concur with the proclamation proclaiming Monday, April 4, 2011 as Florene Williams Day. Voice vote taken. All ayes. Motion carried.

Chief Hish accepted the proclamation for Officer Williams.

Trustee Pilafas read the following proclamation:

Motion by Trustee Kincaid, seconded by Trustee Mills, to concur with the proclamation proclaiming Thursday, March 31, 2011 as Jeffery Zyburt Day. Voice vote taken. All ayes. Motion carried.

Director Nebel accepted the proclamation for Mr. Zyburt.

Trustee Mills read the following proclamation:

Motion by Trustee Kincaid, seconded by Trustee Newell, to concur with the proclamation proclaiming Tuesday, March 22, 2011 as Craig Kristufek Day. Voice vote taken. All ayes. Motion carried.

Chief Hish accepted the proclamation for Officer Kristufek.

Trustee Stanton read the following proclamation:

Motion by Trustee Kincaid, seconded by Trustee Mills, to concur with the proclamation proclaiming Wednesday, March 23, 2011 as Bryan Wiegert Day. Voice vote taken. All ayes. Motion carried.

Chief Hish accepted the proclamation for Officer Wiegert.

Trustee Kincaid read the following proclamation:

Motion by Trustee Pilafas, seconded by Trustee Mills, to concur with the proclamation proclaiming April 2011 as Sexual Assault Awareness Month. Voice vote taken. All ayes. Motion carried.

Dr. Garner accepted the proclamation.

2) Presentation(s)

Great Citizens Award – Hoffman Estates High School Wrestling Team

The Hoffman Estates High School Wrestling Team received the Village Great Citizen Award for their public service work with the CAC. They helped clean out the basement that was damaged by a flood. The team was congratulated by the Board.

Mayor McLeod asked that his comments be held until the end of the meeting.

6.B. Trustee Comments

Trustee Green had no comments.

Trustee Newell stated that she attended the Pinewood Derby and sent her thoughts and prayers to the people in Japan.

Trustee Pilafas stated that he attended the Pinewood Derby, the Monster Truck Show and sent his thoughts and prayers to the people and towns affected by the earthquake and tsunami in Japan.

Trustee Mills stated that she attended the Pinewood Derby and commented on the sportsmanship shown by the scouts at the Derby and the HEHS wrestling team.

Trustee Kincaid sent his best wishes to those affected by the disaster in Japan and stated that he attended the museum meeting, he informed everyone of a museum event on April 16th from 1-3, stated that he attended the St. Patrick's Day Parade in Palatine, the Pinewood Derby, a Rotary dinner and wished everyone a Happy St. Patrick's Day.

Trustee Stanton thanked Mr. Norris and Gary Salavitch for investigating who was responsible for repairing some potholes on Bode Road and wished Margaret "Bunny" Proskin a happy 100th birthday.

6.C. Village Manager's Report

Mr. Norris had no report.

6.D. Village Clerk's Report

The Village Clerk stated that we had 17 people vote today for the first day of Early Voting.

6.E. Committee Reports

Finance

Trustee Mills stated that they would be meeting to request approval of the addition of the Sears Centre to the scope of the annual financial audit by Crowe, Horwath LLP, the Village's auditors, at an amount not to exceed \$25,000; request approval of an ordinance reserving the Village's private activity bond (IRB) volume cap; request acceptance of the Finance Department, Information Systems Department and Sears Centre Arena Monthly Reports.

Public Works & Utilities

Trustee Green stated that they would be meeting to request acceptance of the Department of Public Works and Department of Development Services Transportation and Engineering Monthly Reports.

Public Health & Safety

Trustee Newell stated that they would be meeting to request acceptance of the Police Department, Health & Human Services, Emergency Management Coordinator and Fire Department Monthly Reports.

7. PLAN COMMISSION/ZONING BOARD OF APPEALS REPORTS:

A. Zoning Board of Appeals (Chairman Weaver)

Motion by Trustee Pilafas, seconded by Trustee Newell, to concur with the Zoning Board of Appeals and approve the petitioners request with immediate authorization to apply for permits.

7.A.1. Request by East Lake Property Management Group, Inc. and Subway for approval of a Master Sign Plan in accordance with Section 9-3-8-M-12 of the Zoning Code for the Rose Plaza Shopping Center located at 1405 – 1425 Palatine Road based on the "Rose Plaza Shopping Center Master Sign Plan" (dated February 22, 2011).

Discussion

Trustee Kincaid asked many question about the signage at this location. Mr. Weaver said that the sign plan

makes it easier on everyone involved, the petitioners and staff. Mr. Norris explained the purpose of a Master Sign Plan.

Roll Call:

Aye: Kincaid, Green, Newell, Pilafas, Stanton, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Pilafas, seconded by Trustee Green, to concur with the Zoning Board of Appeals and approve the petitioners request with immediate authorization to apply for permits.

7.A.2. Request by the Yorkshire Woods Homeowners Association for a variation from Section 9-3-8-L-4 to permit illumination of four existing one-sided residential subdivision identification signs ("Yorkshire Woods") on the northwest and northeast corners of McDonough Road and Heron Way and on the southwest and northwest corners of McDonough Road and Nicholson Drive.

1. As part of the final Village inspection of the sign illumination, at the direction of Development Services staff, if needed the petitioner shall adjust the lights to ensure glare will not be evident on surrounding property and/or adjacent streets.

2. The sign illumination shall be turned off and not operated between the hours of 11:00 p.m. and 6:00 a.m.

Roll Call:

Aye: Kincaid, Green, Newell, Pilafas, Stanton, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Pilafas, seconded by Trustee Stanton, to concur with the Zoning Board of Appeals and approve the petitioners request with immediate authorization to apply for permits.

7.A.3. Request by RMS Properties LLC for approval of a Master Sign Plan in accordance with Section 9-3-8-M-12 of the Zoning Code for the Hoffman Village Shopping Center located at 1165-1199 North Barrington Road and 2501-2599 West Golf Road based on the "Hoffman Village Shopping Center Master Sign Plan" (dated March 8, 2011).

Discussion

Trustee Kincaid voiced his concerns on the distractions that can be created by an electronic message board. Mr. Gugliotta replied that they are using what is used on the tollway, that the image will last for 10 seconds and that the electronic part of the sign will be 50 square feet contained within the larger sign.

Trustee Mills pointed out that on the plan it shows the electronic sign at 60 square feet and that it needs to be adjusted.

Mr. Gugliotta said that the 60 sq. ft. included the framing.

Roll Call:

Aye: Kincaid, Green, Newell, Pilafas, Stanton, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

6.A. President's Report

Mayor McLeod stated that he attended the Fremd High School "Breakfast with the Principal", the 100th birthday celebration for Margaret "Bunny" Proskin, the Boy Scout Pinewood Derby at the Sears Centre Arena and the Rotary dinner.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve the appointment of Diwakar Cherukumilli to the Emerging Technology Advisory Commission and the Green Initiatives Commission.

Roll Call:

Aye: Kincaid, Green, Newell, Pilafas, Stanton, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

8. ADDITIONAL BUSINESS:

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Items 8.A. through 8.G. by omnibus vote. Voice vote taken. All ayes. Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 8.A.

8.A. Request Board approval of Ordinance No. 4227-2011 amending Section 6-2-1-HE-11-1302-A of the Hoffman Estates Municipal Code (no parking – Stonington Avenue).

Roll Call:

Aye: Kincaid, Green, Newell, Pilafas, Stanton, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 8.B.

8.B. Request Board approval of Resolution No. 1475-2011 directing the publishing of the 2011 Zoning Map.

Roll Call:

Aye: Kincaid, Green, Newell, Pilafas, Stanton, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 8.C.

8.C. Request Board approval of Resolution No. 1476-2011 creating the Emerging Technology Advisory Commission of the Village of Hoffman Estates (increase in membership).

Roll Call:

Aye: Kincaid, Green, Newell, Pilafas, Stanton, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 8.D.

8.D. Request Board approval of Resolution No. 1477-2011 creating the Green Initiatives Commission of the Village of Hoffman Estates (increase in membership).

Roll Call:

Aye: Kincaid, Green, Newell, Pilafas, Stanton, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 8.E.

8.E. Request Board approval of request by McShane Hoffman Estates LLC for an extension of time to obtain a permit for mass grading and detention pond modifications located in Huntington 90 (formerly Huntington Woods) development on Central Road at AT&T Center Drive.

Roll Call:

Aye: Kincaid, Green, Newell, Pilafas, Stanton, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 8.F.

8.F. Request Board approval of request by Americare Properties, LLC for a plat of easement for a new watermain on the property at 5210 Trillium Boulevard.

Roll Call:

Aye: Kincaid, Green, Newell, Pilafas, Stanton, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 8.G.

8.G. Request Board approval and release of Executive Session minutes from March 1, 2010, April 6, 2010, June 21, 2010, August 2, 2010 and November 8, 2010.

Roll Call:

Aye: Kincaid, Green, Newell, Pilafas, Stanton, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

9. ADJOURNMENT:

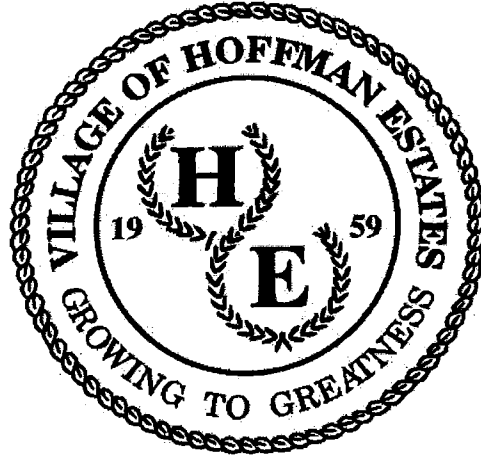
Motion by Trustee Pilafas, seconded by Trustee Kincaid, to adjourn the meeting. Time: 8:58 p.m. Voice vote taken. All ayes. Motion carried

Bev Romanoff
Village Clerk

Date Approved

The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.

**CONSENT AGENDA/
OMNIBUS VOTE**



BILL LIST SUMMARY

BILL LIST AS OF 04/05/2011	\$	424,141.35
MANUAL CHECK REGISTER	\$	119,881.25
WIRE TRANSFERS 2/1 TO 2/28/11	\$	16,948,275.02
PAYROLL AS OF 03/25/2011	\$	1,098,107.41
CREDIT CARD PURCHASES 1/6 TO 2/5/11	\$	<u>45,245.45</u>
TOTAL	\$	18,635,650.48

VILLAGE OF HOFFMAN ESTATES

4/4/2011

ACCOU NT		VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
01	0301	DEDICATED GRAPHICS, INC	3000 # 10 WINDOW 24# WHIT	134.28
01	0301	NORTH AMERICAN PRESS INC.	LETTERHEAD	120.10
01	0301	NORTH AMERICAN PRESS INC.	LETTERHEAD	184.50
01	0301	OFFICE DEPOT	OFFICE SUPPLIES	12.95
01	0302	ACME TRUCK BRAKE & SUPPLY CO.	STOCK SUPPLY PARTS	44.40
01	0302	ACME TRUCK BRAKE & SUPPLY CO.	VEHICLE SUPPLY PARTS	73.38
01	0302	ACME TRUCK BRAKE & SUPPLY CO.	STOCK SUPPLY PARTS	-196.00
01	0302	ACME TRUCK BRAKE & SUPPLY CO.	STOCK SUPPLY PARTS	39.95
01	0302	ACME TRUCK BRAKE & SUPPLY CO.	STOCK SUPPLY PARTS	144.61
01	0302	ANALYSTS, INC.	STOCK SUPPLY PARTS	1,013.40
01	0302	BRETT EQUIPMENT CORP.	STROBE TUBE	48.41
01	0302	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	54.99
01	0302	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	59.23
01	0302	CARQUEST AUTO PARTS	STOCK REPAIR PARTS	60.40
01	0302	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	13.34
01	0302	CARQUEST AUTO PARTS	STOCK SUPPLY PARTS	17.81
01	0302	CARQUEST AUTO PARTS	STOCK SUPPLY PARTS	134.78
01	0302	CARQUEST AUTO PARTS	CREDIT - REPAIR PARTS	-63.60
01	0302	CARQUEST AUTO PARTS	STOCK REPAIR PARTS	7.31
01	0302	CARQUEST AUTO PARTS	STOCK SUPPLY PARTS	7.50
01	0302	CARQUEST AUTO PARTS	STOCK SUPPLY PARTS	7.59
01	0302	FIRESTONE	STOCK SUPPLY PARTS	760.00
01	0302	FIRESTONE TRUCK & SERVICE CENTER	VEHICLE TIRES	1,140.00
01	0302	GLOBAL EMERGENCY PRODUCTS	STOCK SUPPLY PARTS	202.62
01	0302	LEACH ENTERPRISES INC	VEHICLE REPAIR PARTS	261.12
01	0302	LEACH ENTERPRISES INC	STOCK REPAIR PARTS	27.46
01	0302	LEACH ENTERPRISES INC	VEHICLE REPAIR PARTS	12.40
01	0302	LEACH ENTERPRISES INC	STOCK SUPPLY PARTS	15.23
01	0302	LEACH ENTERPRISES INC	STOCK SUPPLY PARTS	11.58
01	0302	LEACH ENTERPRISES INC	STOCK SUPPLY PARTS	8.09
01	0302	LEACH ENTERPRISES INC	STOCK SUPPLY PARTS	33.26
01	0302	LEACH ENTERPRISES INC	STOCK SUPPLY PARTS	88.30
01	0302	LEACH ENTERPRISES INC	STOCK SUPPLY PARTS	102.88
01	0302	LEACH ENTERPRISES INC	CREDIT SUPPLY PARTS	-6.31
01	0302	LEACH ENTERPRISES INC	STOCK REPAIR PARTS	4.46
01	0302	LEE AUTO SCHAUMBURG	STOCK REPAIR PARTS	37.38
01	0302	LEROY'S LAWN EQUIPMENT INC	STOCK SUPPLY PARTS	60.88
01	0302	LEROY'S LAWN EQUIPMENT INC	STOCK REPAIR PARTS	73.02
01	0302	LEROY'S LAWN EQUIPMENT INC	STOCK SUPPLY PARTS	350.21
01	0302	MCALLISTER EQUIPMENT CO.	REPAIR PARTS	30.01
01	0302	MORTON GROVE AUTOMOTIVE WEST	VEHICLE REPAIR PARTS	185.00
01	0302	O'REILLY AUTO PARTS	STOCK SUPPLY PARTS	73.47
01	0302	POMP'S TIRE	STOCK REPAIR PARTS	602.96
01	0302	SPRING HILL FORD	VEHICLE REPAIR PARTS	143.62
01	0302	SPRING HILL FORD	VEHICLE REPAIR PARTS	163.60
01	0302	SPRING HILL FORD	VEHICLE REPAIR PARTS	72.14
01	0302	SPRING HILL FORD	STOCK SUPPLY PARTS	100.61
01	0302	SPRING HILL FORD	VEHICLE REPAIR PARTS	16.66
01	0302	SPRING HILL FORD	RTN REPAIR PARTS	-17.70
01	0302	UNITROL/STINGER SPIKE SYSTEMS	VARIOUS SUPPLIES	106.00
01	0303	ILLINOIS PAPER COMPANY	DOMTAR 96 BRIGHT COPY PAP	1,115.20
01	0303	ILLINOIS PAPER COMPANY	DOMTAR 96 BRIGHT COPY PAP	2,230.40

VILLAGE OF HOFFMAN ESTATES

4/4/2011

ACCOU NT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
01 0303	UNITED BUSINESS SOLUTIONS	COPIER CHARGES	435.82
01 0303	UNITED BUSINESS SOLUTIONS	B/W COPIER FEES	268.20
01 1214	IMRF VOLUNTARY LIFE PLAN	DED:2030 IMRF LIFE	424.00
01 1214	IMRF VOLUNTARY LIFE PLAN	DED:2030 IMRF LIFE	424.00
01 1218	INT'L BROTHERHOOD TEAMSTERS LCL 714	DED:2034 PW-DUES	3,070.00
01 1218	METROPOLITAN ALLIANCE OF POLICE	DED:2033 MAP 96	2,294.00
01 1218	METROPOLITAN ALLIANCE OF POLICE	DED:2038 MAP 97	434.00
01 1222	AFLAC	DED:1027 AFLAC-INS	3,982.86
01 1223	AFLAC	DED:2027 AFL-AF TAX	827.63
01 1226	PRE PAID LEGAL SERVICE INC	DED:2035 LEGAL	1,014.94
01 1226	PRE PAID LEGAL SERVICE INC	DED:2035 LEGAL	1,015.54
01 1233	AMERICAN CANCER SOCIETY	DED:2037 AM CANCER	107.50
01 1233	AMERICAN CANCER SOCIETY	DED:2037 AM CANCER	107.50
01 1233	AMERICAN RED CROSS	DED:2998 RED CROSS	44.00
01 1233	AMERICAN RED CROSS	DED:2998 RED CROSS	44.00
01 1233	CHILDREN'S ADVOCACY CENTER	DED:2993 ADVOCACY C	10.00
01 1233	CHILDREN'S ADVOCACY CENTER	DED:2993 ADVOCACY C	10.00
01 1233	NORTHWEST CHAPLAINCY	DED:2997 NCCS	6.00
01 1233	NORTHWEST CHAPLAINCY	DED:2997 NCCS	6.00
01 1233	NORTHWEST SUBURBAN UNITED WAY	DED:2999 UNITED WAY	6.00
01 1233	NORTHWEST SUBURBAN UNITED WAY	DED:2999 UNITED WAY	6.00
01 1233	PARADISE CHRISTIAN YOUTH CAMP	DED:2994 UNITED WAY	10.00
01 1233	PARADISE CHRISTIAN YOUTH CAMP	DED:2994 UNITED WAY	10.00
01 1233	SPECIAL OLYMPICS OF ILLINOIS	DED:2995 SP OLYMPIC	20.00
01 1233	SPECIAL OLYMPICS OF ILLINOIS	DED:2995 SP OLYMPIC	18.00
01 1239	JOHN HANCOCK LIFE INSURANCE CO.	DED:2040 LTC INS	131.83
01 1239	JOHN HANCOCK LIFE INSURANCE CO.	DED:2040 LTC INS	131.83
01 1432	CURRENT TECHNOLOGIES CORP	WIRELESS INFRASTRUCTURE	750.00
01 1432	SEH INC	PROVIDE ENGINEERING & INS	1,279.32
01 1445	PLUM GROVE PRINTERS INC	BUSINESS CARDS	231.69
01 1445	SHAH, BEENA	GROOT REFUND	238.90
01 1497	OFFICE DEPOT	OFFICE SUPPLIES	21.00
TOTAL GENERAL-ASSETS & LIABILITIES			\$27,304.44
01000011 3202	CABELA'S RETAIL IL INC	REDUCTION IN VENDING MACH	1,110.00
01000011 3202	CHRISTOPHER SCANLAN	BUSINESS LIC REFUND	25.00
01000011 3203	ILLINOIS STATE POLICE	COST CENTER #4365	68.50
01000013 3405	ANDRES MEDICAL BILLING, LTD.	MARCH PARAMEDIC BILLING	5,583.61
01000013 3405	BETTY STAS	PARAMEDIC REFUND	79.13
01000013 3405	DONNA MCCARTHY	PARAMEDIC REFUND	5.91
01000013 3405	WILLIAM ORTHALL	PARAMEDIC REFUNDS	89.25
01000013 3453	AMIT BAVISHI	ENERGY ASSESS. REBATE	50.00
01000013 3453	DON JOHNSON	ENERGY ASSESS.REBATE	50.00
01000013 3453	KARL HIPCHEN	ENERGY ASSESS. REBATE	50.00
01000013 3453	PAUL MAJEWSKI	ENERGY ASSESSMENT REBATE	50.00
01000016 3701	ANNA PUDLO	REIM FOR CANCELLED CPR	60.00
01000016 3701	TAHIR JANJNA	REIMB CPR CLASS	60.00
TOTAL GENERAL-REVENUE ACCOUNTS			\$7,281.40
01101122 4301	NORTHWEST MUNICIPAL CONFERENCE	LEGISLATIVE DAYS DINNER	128.44
01101123 4404	PADDOCK PUBLICATIONS	HERALD SUBSCRIPTION	43.00
TOTAL LEGISLATIVE			\$171.44
01101222 4301	NORTHWEST MUNICIPAL CONFERENCE	LEGISLATIVE DAYS DINNER	64.22

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ACCOUNT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
01101223 4402	OFFICE DEPOT	OFFICE SUPPLIES	19.70
01101223 4403	NORTH AMERICAN PRESS INC.	LETTERHEAD	184.50
01101223 4404	CHICAGO TRIBUNE	SUBSCRIPTION	52.00
01101223 4414	OFFICE DEPOT	OFFICE SUPPLIES	55.84
01101224 4507	GOV DEALS	AUCTIONS	852.68
01101224 4542	LANGUAGE LINE SERVICES	TTY SERVICES	51.75
TOTAL ADMINISTRATIVE			\$1,280.69
01101323 4404	MUNICIPAL CODE CORP.	ORDINANCES	1,164.76
01101323 4404	PLUM GROVE PRINTERS INC	BUSINESS CARDS	82.80
01101324 4547	WEST PAYMENT CENTER/ THOMSON	WEST INFO CHARGES	646.25
01101324 4567	ARNSTEIN & LEHR LLP	FEBRUARY LEGAL	250.00
01101324 4567	ARNSTEIN & LEHR LLP	FEBRUARY LEGAL	13,333.33
01101324 4567	ARNSTEIN & LEHR LLP	FEBRUARY LEGAL	56.25
01101324 4567	ARNSTEIN & LEHR LLP	FEBRUARY LEGAL	62.50
01101324 4567	ARNSTEIN & LEHR LLP	FEBRUARY LEGAL	62.50
01101324 4567	ARNSTEIN & LEHR LLP	FEBRUARY LEGAL	62.50
01101324 4567	FRANCZEK RADELET & ROSE	PROFESSIONAL SERV FEB2011	10,929.65
01101324 4567	K & L GATES LLP	LEGAL - JANUARY	250.00
TOTAL LEGAL			\$26,838.04
01101423 4401	FEDERAL EXPRESS CORP	SHIPPING	64.30
01101423 4401	FEDERAL EXPRESS CORP	SHIPPING FEES	24.04
01101423 4401	UPS SHIPPING CHARGES	SHIPPING CHARGES	12.56
01101423 4401	UPS SHIPPING CHARGES	SHIPPING PW	11.11
01101423 4402	OFFICE DEPOT	OFFICE SUPPLIES	36.77
01101423 4402	OFFICE DEPOT	OFFICE SUPPLIES	3.63
01101424 4510	OCE IMAGISTICS INC	COPIER MAINTENANCE	126.35
01101424 4542	TREASURY MANAGEMENT SERVICES	MONTHLY FEE	47.00
TOTAL FINANCE			\$325.76
01101523 4402	OFFICE DEPOT	OFFICE SUPPLIES	139.96
01101523 4403	IDM GROUP	COPY SERVICES	25.89
01101524 4546	PADDOCK PUBLICATIONS, INC.	HEARING NOTICES	177.75
TOTAL VILLAGE CLERK			\$343.60
01101623 4402	OFFICE DEPOT	OFFICE SUPPLIES	5.96
01101623 4402	OFFICE DEPOT	OFFICE SUPPLIES	4.39
01101624 4507	CITYTECH USA, INC	ANNUAL MEMBERSHIP	390.00
01101624 4507	DISCOVERY BENEFITS	FSA MONTHLY	524.30
01101624 4579	ALEXIAN BROTHERS CORPORATE HEALTH	EMPLOYEE DRUG SCREEN	48.00
01101624 4580	EMPLOYMENT SCREENING ALLIANCE GROUP	VERIFICATIONS	25.00
01101624 4580	EMPLOYMENT SCREENING ALLIANCE GROUP	VERIFICATIONS	25.00
TOTAL HUMAN RESOURCES			\$1,022.65
GENERAL GOVERNMENT			\$29,982.18
01201222 4301	ILEAS	TRAINING POULOS	175.00
01201222 4301	ILEAS	TRAINING PAEZ	175.00
01201223 4402	OFFICE DEPOT	OFFICE SUPPLIES	27.71
01201223 4402	OFFICE DEPOT	OFFICE SUPPLIES	37.80
01201223 4402	UNISOURCE - CHICAGO	COPY PAPER	1,365.00
01201223 4403	NORTH AMERICAN PRESS INC.	LETTERHEAD	117.00
01201223 4403	PLUM GROVE PRINTERS INC	BUSINESS CARDS	38.66
01201223 4403	PLUM GROVE PRINTERS INC	BUSINESS CARDS	69.36
01201223 4417	MCDONALDS BEAR ESTATES #1, LLC	PRISONER MEALS	82.36

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ACCOUNT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
01201223 4422	CAMIC JOHNSON LTD	HEARING OFFICER	331.00
01201224 4507	CHERYL AXLEY	ADJUDICATION HEARINGS	800.00
TOTAL ADMINISTRATIVE			\$3,218.89
01202122 4301	NORTHERN ILLINOIS CRITICAL INCIDENT	REG BARBER TRAINING	225.00
01202122 4304	ENTENMANN ROVIN CO.	BADGES	347.70
01202123 4403	CLASS PRINTING	CRIME HAZARD ALERT FORM	610.00
01202123 4403	PLUM GROVE PRINTERS INC	BUSINESS CARDS	51.50
01202123 4414	AMERICAN FIRST AID	MEDICAL SUPPLIES	146.25
01202124 4542	COUNTERUAV, INC	JAN MAINTENANCE	2,250.00
01202124 4542	COUNTERUAV, INC	FEB MAINTENANCE	2,250.00
TOTAL PATROL & RESPONSE			\$5,880.45
01202323 4403	PLUM GROVE PRINTERS INC	BUSINESS CARDS	52.02
01202323 4414	OFFICE DEPOT	OFFICE SUPPLIES	26.58
01202323 4414	OFFICE DEPOT	OFFICE SUPPLIES	132.36
01202324 4509	DES PLAINES OFFICE EQUIPMENT	PD COPY CHARGES	92.89
TOTAL INVESTIGATIONS			\$303.85
01202423 4403	CREATIVE PRODUCT SOURCING	GRADUATION CERTIFICATES -	300.00
01202423 4403	CREATIVE PRODUCT SOURCING	GRADUATION CARDS - PA12	100.00
01202423 4403	CREATIVE PRODUCT SOURCING	ENGLISH ELEMENTARY WORKBC	445.00
01202423 4403	CREATIVE PRODUCT SOURCING	POP UP NAME CARDS - ES06	160.00
01202423 4403	CREATIVE PRODUCT SOURCING	MEDALS - PA21	437.50
01202423 4403	CREATIVE PRODUCT SOURCING	SHIPPING	7.50
01202423 4414	CREATIVE PRODUCT SOURCING	SHIPPING	44.94
01202423 4414	CREATIVE PRODUCT SOURCING	FOOTBALL - OS07	121.50
01202423 4414	CREATIVE PRODUCT SOURCING	SOCCER BALL - OS11	144.00
01202423 4414	CREATIVE PRODUCT SOURCING	PLAYGROUND BALL - OS08	90.00
01202423 4414	CREATIVE PRODUCT SOURCING	FRISBEE - OS05	67.50
01202423 4414	CREATIVE PRODUCT SOURCING	FOOTBALL ROCKET - OS12	96.25
01202423 4414	CREATIVE PRODUCT SOURCING	DOG TAGS BLACK - DS05	87.00
01202423 4414	CREATIVE PRODUCT SOURCING	SWEATBANDS - DS06	60.00
01202423 4414	CREATIVE PRODUCT SOURCING	DAREN ERASERS - PP20	80.00
01202423 4414	CREATIVE PRODUCT SOURCING	BIG DARREN 18" - DS11	270.00
01202423 4414	CREATIVE PRODUCT SOURCING	MEDIUM DARREN 10" - DS12	180.00
01202423 4414	CREATIVE PRODUCT SOURCING	SMALL DARREN W/CAP 6" - D	180.00
01202423 4414	CREATIVE PRODUCT SOURCING	DARE BUTTONS - FS08	60.00
01202423 4414	CREATIVE PRODUCT SOURCING	HACKY SACK - OS09	62.50
01202423 4414	CREATIVE PRODUCT SOURCING	AWARENESS KEYCHAINS - PP2	37.50
01202423 4414	CREATIVE PRODUCT SOURCING	DARE NOTEPAD - G12	48.50
01202423 4414	CREATIVE PRODUCT SOURCING	MAGNETS - MS11	75.00
01202423 4414	CREATIVE PRODUCT SOURCING	MOOD PENCILS - PP13	144.00
01202423 4414	CREATIVE PRODUCT SOURCING	PENS - PP04	100.80
TOTAL COMMUNITY RELATIONS			\$3,399.49
01202824 4509	MANIFEST FUNDING SERVICES	SOFTWARE SERVICES	1,841.00
TOTAL RECORDS			\$1,841.00
POLICE			\$14,643.68
01301222 4303	FDSOA	MEMBERSHIP DUES	85.00
01301222 4305	FASTFRAME #226	RETIREMENT BADGES	491.70
01301222 4305	FASTFRAME #226	RETIREMENT BADGES	537.21
01301223 4402	OFFICE DEPOT	OFFICE SUPPLIES	130.48

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ACCOUNT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
01301223 4402	OFFICE DEPOT	OFFICE SUPPLIES	80.42
01301223 4402	OFFICE DEPOT	OFFICE SUPPLIES	17.93
01301223 4402	OFFICE DEPOT	OFFICE SUPPLIES	62.25
01301223 4402	OFFICE DEPOT	OFFICE SUPPLIES	6.07
01301223 4403	DEDICATED GRAPHICS, INC	8&1/2 X 11 LASER COMPATIB	123.00
TOTAL ADMINISTRATIVE			\$1,534.06
01303122 4301.19	S. SUBURBAN FIRE INVEST. TASK FORCE	REGISTRATION: LT. W. ROT	65.00
01303122 4301.19	SOUTHERN UNITED FIRE DISTRICTS	REGISTRATION FOR VEHICLE	450.00
01303122 4304	GREAT LAKES FIRE & SAFETY	LETTERING BADGES	269.50
01303122 4304	GREAT LAKES FIRE & SAFETY	SAFETY EQUIP	269.50
01303122 4304.16	MUNICIPAL EMERGENCY SERVICES	MEDICAL SAFETY SUPPLIES	550.32
01303122 4304.16	MUNICIPAL EMERGENCY SERVICES	PADDED KNEES	707.00
01303122 4304.16	MUNICIPAL EMERGENCY SERVICES	PROTECTIVE CLOTHING	952.85
01303123 4408.12	MOTOROLA	HNN9028 IMPRESS PORTABLE	605.30
01303123 4408.13	BERLAND'S HOUSE OF TOOLS	VARIOUS TOOLS	25.90
01303123 4408.13	BERLAND'S HOUSE OF TOOLS	VARIOUS TOOLS	13.68
01303124 4510.11	W S DARLEY & CO	BRACKET	180.00
01303124 4510.11	W S DARLEY & CO	REPAIR PARTS	206.00
01303124 4510.12	MOTOROLA	8505241U03 800MAH ANTENNA	74.01
01303124 4510.12	MOTOROLA	WPLN4111AR IMPRESS SINGLE	227.70
01303124 4510.12	MOTOROLA	PMAF4002 PUBLIC SAFETY MI	16.56
01303124 4510.15	MOTOROLA	SERVICE AND REPAIRS	479.00
01303124 4542	DES PLAINES OFFICE EQUIPMENT	COLOR COPIER CHARGES	27.24
01303124 4542	DES PLAINES OFFICE EQUIPMENT	FIRE COPY CHARGES	18.33
01303124 4542.13	FOX VALLEY FIRE & SAFETY	SAFETY SUPPLIES	63.10
01303124 4542.13	FOX VALLEY FIRE & SAFETY	SAFETY SUPPLIES	77.49
01303124 4542.13	FOX VALLEY FIRE & SAFETY	FIRE EXTINGUISHER SERV.	85.74
01303124 4542.13	FOX VALLEY FIRE & SAFETY	SAFETY SUPPLIES	101.94
01303124 4542.13	FOX VALLEY FIRE & SAFETY	DRY CHEMICAL	102.04
01303124 4542.13	FOX VALLEY FIRE & SAFETY	SAFETY SUPPLIES	226.06
01303124 4579	ALEXIAN BROTHERS CORPORATE HEALTH	WORK PHYSICAL	39.00
01303124 4579	ALEXIAN BROTHERS CORPORATE HEALTH	PULMONARY FUNCTION TEST	36.00
01303125 4602.13	MUNICIPAL EMERGENCY SERVICES	EMERGENCY EQUIPMENT	2,066.33
TOTAL SUPPRESSION			\$7,935.59
01303223 4419	AIRGAS	OXYGEN, ETC.	174.80
01303223 4419	AIRGAS	OXYGEN, ETC.	4.66
01303223 4419	BATTERIES PLUS	BATTERY PACK	320.00
01303223 4419	GLOVE PLANET	GLOVES	444.00
01303223 4419	PROGRESSIVE MEDICAL INTERNATIONAL	MEDICAL SUPPLIES	219.60
TOTAL EMERGENCY MEDICAL SERVICES			\$1,163.06
01303324 4507	ADT SECURITY SERVICES, INC.	MONITORING	127.00
01303324 4507	ADT SECURITY SERVICES, INC.	VILLAGE MONITORING	53,021.86
01303324 4507	AT & T	285-3229 LANDLINES	68.14
01303324 4507	CHICAGO METRO FIRE PREVENTION CO	MO. RADIO MAINT. FEE	1,344.00
TOTAL PREVENTION			\$54,561.00
01303525 4602	SEARS COMMERCIAL ONE	WASHING MACHINE FIRE DEPT	475.87
01303525 4628	ABT ELECTRONICS, INC.	FIRE DEPT APPLIANCES	1,610.00
TOTAL FIRE STATIONS			\$2,085.87
FIRE			\$67,279.58

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ACCOUNT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
01401223 4402	THE FINER LINE	ENGRAVING	42.14
01401224 4509	RICOH AMERICAS CORP	COPIER SERVICES	173.43
TOTAL ADMINISTRATIVE			\$215.57
01404123 4414	MENARDS - HNVR PARK	CLASSIC POST MOUNT	49.80
01404123 4414	SICALCO LTD	CHEMICALS	2,394.90
01404124 4509	UNITED RENTAL, INC	MONTHLY RENTAL OF JOHN DE	3,295.95
01404124 4509	UNITED RENTAL, INC	DELIVERY, PICK-UP SERVICE	145.69
01404124 4509	UNITED RENTAL, INC	ENVIRON. SERV FEE	50.04
TOTAL SNOW & ICE REMOVAL			\$5,936.38
01404224 4510	TRAFCON INDUSTRIES, INC	REMOTE STORAGE	108.31
01404224 4521	HEALY ASPHALT CO., LLC.	SURFACE MATERIAL	163.84
01404224 4521	HEALY ASPHALT CO., LLC.	SURFACE MATERIAL	203.52
01404224 4521	HEALY ASPHALT CO., LLC.	SURFACE MATERIAL	197.12
01404224 4521	HEALY ASPHALT CO., LLC.	ST. REPAIR MATERIALS	200.96
01404224 4521	HEALY ASPHALT CO., LLC.	SUFACE PRODUCT	254.72
01404224 4521	HEALY ASPHALT CO., LLC.	SURFACE MATERIAL	225.28
TOTAL PAVEMENT MAINTENANCE			\$1,353.75
01404323 4414	MENARDS - HNVR PARK	VARIOUS CLEANING SUPPLIES	54.08
01404324 4510	ARLINGTON POWER EQUIPMENT	VEHICLE SUPPLY PARTS	22.56
01404324 4510	LEE AUTO SCHAUMBURG	VEHICLE REPAIR PARTS	18.06
01404324 4537	ARLINGTON POWER EQUIPMENT	SUPPLY PARTS	191.73
TOTAL FORESTRY			\$286.43
01404423 4412	GRAINGER INC	VARIOUS SUPPLIES	236.68
01404423 4412	GRAINGER INC	HAND SOAP	135.52
01404423 4414	FLAGS USA	4 X 6 VILLAGE OF HOFFMAN	534.00
01404423 4414	FLAGS USA	5 X 8 NYLON US FLAG 05X08	195.00
01404423 4414	FLAGS USA	4 X 6 NYLON US FLAG 04X06	130.00
01404423 4414	NORTH AMERICAN CORP	PALLETS OF TRUE NORTH BLE	903.40
01404424 4501	AT & T	RO6-1985	1,474.29
01404424 4501	AT & T	884-6846	23.25
01404424 4501	AT & T	882-0878	46.46
01404424 4501	AT&T LONG DISTANCE	LONG DISTANCE	67.38
01404424 4502	COMMONWEALTH EDISON	ELECTRIC 1900 HASSELL	10,894.70
01404424 4503	NICOR GAS	GAS 411 W HIGGINS	6,815.35
01404424 4503	NICOR GAS	GAS 1900 HASSELL	29.74
01404424 4507	ACCURATE DOCUMENT DESTRUCTION INC	DESTRUCTION SERVICES	20.00
01404424 4507	ACCURATE DOCUMENT DESTRUCTION INC	DESTRUCTION SERVICES	10.00
01404424 4507	ACCURATE DOCUMENT DESTRUCTION INC	DESTRUCTION SERVICES	10.00
01404424 4507	ACCURATE DOCUMENT DESTRUCTION INC	DESTRUCTION SERVICES	10.00
01404424 4507	ACCURATE DOCUMENT DESTRUCTION INC	DESTRUCTION SERVICES	10.00
01404424 4507	ACCURATE DOCUMENT DESTRUCTION INC	DESTRUCTION SERVICES	60.00
01404424 4507	ACCURATE DOCUMENT DESTRUCTION INC	DESTRUCTION SERVICES	90.00
01404424 4507	W B MCCLOUD & CO	PEST MANAGEMENT VILLAGE	82.00
01404424 4507	W B MCCLOUD & CO	PEST MANAGEMENT	81.00
01404424 4509	UNIFIRST CORP	SAFETY WEAR	39.90
01404424 4509	UNIFIRST CORP	SUPPLY PARTS	39.90
01404424 4509	UNIFIRST CORP	REPAIR PARTS	39.90
01404424 4510	GRAINGER INC	REPAIR PARTS	29.60
01404424 4510	GRAINGER INC	VARIOUS SUPPLIES	81.90
01404424 4510	GRAINGER INC	VARIOUS SUPPLIES	100.71

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ACCOU NT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
01404424 4510	GRAINGER INC	VARIOUS SUPPLIES	99.46
01404424 4510	GRAINGER INC	AIR FILTERS	317.04
01404424 4510	MCMASTER CARR SUPPLY CO	CLASS ABC DRY CHENICL FIR	2,112.99
01404424 4510	MCMASTER CARR SUPPLY CO	CLASS BC CARBON DIOXIDE F	610.35
01404424 4510	MENARDS - HNV R PARK	REPAIR PARTS	98.05
01404424 4510	MENARDS - HNV R PARK	REPAIR PARTS	64.93
01404424 4510	MINE SAFETY APPLIANCES CO	ONSITE SERVICE	660.00
01404424 4510	STANLEY SECURITY SOLUTIONS, INC.	KEYS	28.67
01404424 4516	ALPHA BUILDING MAINTENANCE SERVICE	JANITORIAL SERVICES VILLA	2,966.25
01404424 4516	AMLINGS INTERIOR LANDSCAPE	MAINTENANCE	395.00
01404424 4516	GRAINGER INC	VARIOUS SUPPLIES	141.30
01404424 4516	GRAINGER INC	VARIOUS SUPPLIES	80.28
01404424 4516	GRAINGER INC	VARIOUS SUPPLIES	70.70
01404424 4516	INDECOR	INSTALLATION OF SHADES	150.00
01404424 4516	STEINER ELECTRIC CO.	VENTURE LAMP	166.40
01404424 4516	STEINER ELECTRIC CO.	VARIOUS SUPPLIES	166.40
01404424 4516	STEINER ELECTRIC CO.	REPAIR PARTS	62.20
01404424 4517	ALPHA BUILDING MAINTENANCE SERVICE	JANITORIAL SERVICES POLIC	4,550.00
01404424 4518	RAY'S PLUMBING	REPAIRS TO PIPES TOILETS	1,800.00
01404424 4518	RAY'S PLUMBING	50 GALLON WATER HEATERS R	825.00
01404424 4518	RAY'S PLUMBING	50 GALLON WATER HEATERS R	825.00
01404424 4518	RAY'S PLUMBING	WATER TANK REPAIRS	275.00
01404424 4518	SEARS COMMERCIAL ONE	REPAIR PARTS KITCHEN	122.85
01404424 4520	ALPHA BUILDING MAINTENANCE SERVICE	JANITORIAL SERVICES PW	1,312.50
01404424 4520	DURACLEAN	CLEAN THE SUNDERLAGE FORM	203.50
01404424 4520	JUST FAUCETS	REPAIR PARTS	115.73
TOTAL FACILITIES			\$40,410.28
01404522 4303	MFMA	ANNUAL DUES FLEET SERVICE	30.00
01404522 4304	UNIFIRST CORP	REPAIR PARTS	42.17
01404522 4304	UNIFIRST CORP	SAFETY WEAR	41.32
01404522 4304	UNIFIRST CORP	SUPPLY PARTS	45.22
01404523 4402	OFFICE DEPOT	OFFICE SUPPLIES	50.67
01404523 4402	OFFICE DEPOT	OFFICE SUPPLIES	18.33
01404523 4411	TEXOR PETROLEUM /WORLD FUEL SER	FUEL	25,108.84
01404523 4414	FULLIFE SAFETY CENTER	MEDICAL SUPPLIES	54.00
01404524 4510	ACCURATE TANK TECHNOLOGIES	LINE TESTING	315.00
01404524 4510	AIRGAS	OXYGEN, ACETYLENE	87.75
01404524 4513	ALLSTAR AUTO GLASS INC	VEHICLE REPAIR PARTS	69.95
01404524 4513	BOB ROHRMAN'S SCHAUMBURG FORD	VEHICLE REPAIR PARTS	142.13
01404524 4513	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	24.39
01404524 4513	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	12.54
01404524 4513	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	9.42
01404524 4513	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	97.05
01404524 4513	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	105.11
01404524 4513	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	2.89
01404524 4513	GUVEN CUSTOM TRIM & UPHOLSTERY	POLICE CAR SEAT REPAIRS	185.00
01404524 4513	INTERSTATE BATTERY SYSTEMS	VEHICLE BATTERIES	179.90
01404524 4513	INTERSTATE BATTERY SYSTEMS	VEHICLE BATTERIES	324.41
01404524 4513	LEE AUTO SCHAUMBURG	VEHICLE SUPPLY PARTS	53.53
01404524 4513	SECRETARY OF STATE	LIC PLATE RENEWAL	99.00
01404524 4513	SPRING HILL FORD	VEHICLE REPAIR PARTS	100.61
01404524 4513	SPRING HILL FORD	VEHICLE REPAIR PARTS	25.00

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ACCOUNT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
01404524 4514	BRETT EQUIPMENT CORP.	LIGHTING	63.44
01404524 4514	GLOBAL EMERGENCY PRODUCTS	SUPPLY PARTS	42.40
01404524 4514	GLOBAL EMERGENCY PRODUCTS	SUPPLY PARTS	580.17
01404524 4514	MASTER HYDRAULICS & MACHINING CO.	HYDRAULIC CYLINDERS	588.00
01404524 4514	MORTON GROVE AUTOMOTIVE WEST	VEHICLE REPAIR PARTS	595.00
01404524 4514	POMP'S TIRE	VEHICLE TIRES	402.96
01404524 4514	POMP'S TIRE	FIRESTONE T839 425/65R22.	767.90
01404524 4514	POMP'S TIRE	DISMOUNT-MOUNTS	70.00
01404524 4514	POMP'S TIRE	VALVES	12.00
01404524 4514	POMP'S TIRE	DISPOSALS	36.00
01404524 4514	POMP'S TIRE	ROAD SERVICE	75.00
01404524 4514	POMP'S TIRE	FUEL SURCHARGE	10.00
01404524 4514	POMP'S TIRE	TRUCK SUPPLIES	5.00
01404524 4514	POMP'S TIRE	II USER FEE	5.00
01404524 4534	ACME TRUCK BRAKE & SUPPLY CO.	VEHICLE REPAIR PARTS	119.88
01404524 4534	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	36.77
01404524 4534	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	39.96
01404524 4534	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	9.98
01404524 4534	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	139.71
01404524 4534	CERTIFIED FLEET SERVICES, INC.	OSHA INSPECTION AND RELAT	2,967.09
01404524 4534	COMMERCIAL TIRE SERVICE	VEHICLE TIRES	253.76
01404524 4534	INTERSTATE BATTERY SYSTEMS	VEHICLE BATTERIES	258.85
01404524 4534	KAMMES AUTO & TRUCK REPAIR INC	VEHICLE SUPPLIES	333.00
01404524 4534	LEE AUTO SCHAUMBURG	VEHICLE SUPPLY PARTS	13.63
01404524 4534	LEE AUTO SCHAUMBURG	VEHICLE REPAIR PARTS	3.58
01404524 4534	LEE AUTO SCHAUMBURG	VEHICLE REPAIR PARTS	5.85
01404524 4534	MCALLISTER EQUIPMENT CO.	BULB	43.80
01404524 4534	MCALLISTER EQUIPMENT CO.	ANTENNA	126.75
01404524 4534	ROADWAY TOWING	TOW SERVICES	52.00
01404524 4534	WHOLESALE DIRECT INC	UNIT 44 PART	226.06
01404524 4535	FIRESTONE TRUCK & SERVICE CENTER	VEHICLE REPAIR PARTS	450.08
01404524 4535	LEE AUTO SCHAUMBURG	VEHICLE SUPPLY PARTS	146.10
01404524 4535	MCHENRY ANALYTICAL WATER LABORATORY	VEHICLE REPAIR PARTS	12.16
TOTAL FLEET SERVICES			\$35,716.11
01404624 4510	GRAINGER INC	LOAD BINDER	61.61
01404624 4545	FULLIFE SAFETY CENTER	EAR PLUGS/GLASSES	71.56
TOTAL F.A.S.T.			\$133.17
01404723 4408	A & A EQUIPMENT & SUPPLY CO.	SHOVELS	311.79
01404723 4414	MENARDS - HNVR PARK	REPAIR PARTS	222.35
01404724 4522	MENARDS - HNVR PARK	REPAIR PARTS	18.97
TOTAL STORM SEWERS			\$553.11
01404824 4502	COMMONWEALTH EDISON	ELECTRIC5510 PRARIESTONE	63.45
01404824 4502	COMMONWEALTH EDISON	STREET LIGHTS	437.88
01404824 4502	COMMONWEALTH EDISON	ELECTRIC GRANDCANYON	2,856.90
01404824 4502	EXELON ENERGY COMPANY	STREET LIGHTING	8,106.99
01404824 4523	NEHER ELECTRIC SUPPLY, INC.	HID HIGHWAY ROAD LIGHTING	1,014.00
01404824 4523	NEHER ELECTRIC SUPPLY, INC.	MH 250W M250/C/U (FROSTED	945.00
01404824 4523	NEHER ELECTRIC SUPPLY, INC.	HPS 400W LU400/ECO	465.00
01404824 4523	NEHER ELECTRIC SUPPLY, INC.	HPS 250W LU250/ECO	825.00
01404824 4523	NEHER ELECTRIC SUPPLY, INC.	HPS 150W LU150/55/ECO	775.00
01404824 4542	Q.T. SIGN INC	REPAIRS TO EMC SIGN	147.00

VILLAGE OF HOFFMAN ESTATES

4/4/2011

ACCOUNT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
01404824 4544	INTERSTATE BATTERY SYSTEMS	HEAVY DUTY 6 VOLT BATTERI	162.00
01404824 4544	MDSOLUTIONS	3/4" X .030 X 100' STAINL	784.00
01404824 4544	MDSOLUTIONS	STAINLESS STEEL STRAPPING	16.00
01404824 4544	SHERWIN IND	BARRICADES	1,562.50
01404824 4544	U S STANDARD SIGN CO	.080X24"X30"H RECTANGLE A	1,668.00
TOTAL TRAFFIC CONTROL			\$19,828.72
PUBLIC WORKS			\$104,433.52
01501223 4402	OFFICE DEPOT	OFFICE SUPPLIES	26.28
01501223 4402	OFFICE DEPOT	OFFICE SUPPLIES	28.47
01501223 4402	OFFICE DEPOT	OFFICE SUPPLIES	87.10
01501223 4402	OFFICE DEPOT	OFFICE SUPPLIES	4.82
01501223 4402	OFFICE DEPOT	OFFICE SUPPLIES	4.07
01501223 4402	OFFICE DEPOT	OFFICE SUPPLIES	6.70
TOTAL ADMINISTRATIVE			\$157.44
01505024 4546	PADDOCK PUBLICATIONS, INC.	PUBLIC HEARING NOTICES	73.50
01505024 4546	PADDOCK PUBLICATIONS, INC.	HEARING NOTICES	115.50
TOTAL PLANNING			\$189.00
01505122 4301	IL SOCIETY OF PROF ENGINEERS	FIRE PRO SYS UPDATE CLASS	50.00
01505123 4408.31	OFFICE DEPOT	OFFICE SUPPLIES	25.22
01505123 4408.31	OFFICE DEPOT	OFFICE SUPPLIES	118.79
01505124 4507	THOMPSON ELEVATOR INSPECTION INC	ELEV INSPECTION	113.00
01505124 4507	THOMPSON ELEVATOR INSPECTION INC	ELEV PLAN REVIEW	75.00
01505124 4507	THOMPSON ELEVATOR INSPECTION INC	ELEV INSPECTIONS	76.00
01505124 4507	THOMPSON ELEVATOR INSPECTION INC	ELEV INSPECTIONS	227.00
01505124 4507	THOMPSON ELEVATOR INSPECTION INC	ELEV INSPECTIONS	836.00
01505124 4545	BETTY MELLIGAN	SAFETY SHOES	86.19
TOTAL CODE ENFORCEMENT			\$1,607.20
01505222 4301	GARY SALAVITCH	REFUND OF CONF EXP	312.56
01505223 4403	DEDICATED GRAPHICS, INC	2000 DEVELOPMENT SERVICE	85.74
01505223 4403	THE FINER LINE	NAME PLATE	24.72
01505224 4542	303 TAXI/FLASH CAB	20 TAXI RIDES	100.00
01505224 4542	AMERICAN CHARGE SERVICE	23 TAXI TRIPS	115.00
01505224 4542	PACE SUBURBAN BUS SERVICE	RTE 554 FEB BUS SERVICE	1,695.96
TOTAL TRANSPORTATION AND ENGINEERING			\$2,333.98
01505922 4301	MEDUSA CONSULTING GROUP, INC	SEMINAR	134.10
01505924 4546	FRANCE PUBLICATIONS	PUBLICATION	1,500.00
TOTAL ECONOMIC DEVELOPMENT			\$1,634.10
DEVELOPMENT SERVICES			\$5,921.72
01556522 4303	MONICA SAAVEDRA-KULOUSEK	REIM APA DUES	304.00
01556523 4402	OFFICE DEPOT	OFFICE SUPPLIES	98.23
01556523 4402	OFFICE DEPOT	OFFICE SUPPLIES	19.57
01556523 4413	MOORE MEDICAL CORP.	CHOLESTECH LDX CASSETTES	336.95
01556523 4413	MOORE MEDICAL CORP.	CAPILLARY TUBES #66681	24.93
HEALTH & HUMAN SERVICES			\$783.68
01605724 4507	WFCA'S FIRE SERVICE BOOKSTORE	INFORMATION BOOKS	537.36
TOTAL FIRE & POLICE COMMISSION			\$537.36
01605824 4555	VILLAGE OF HOFFMAN ESTATES	STUD. EXCHG SISTER CITIES	986.25

VILLAGE OF HOFFMAN ESTATES

4/4/2011

ACCOUNT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
01605824 4558	EARTH DAY SHIRTS	REDUCE REUSE T-SHIRT DESI	1,186.00
01605824 4597	IMPRESSIONS IN STONE	CHILDRENS BRICK	15.00
TOTAL MISCELLANEOUS B & C			\$2,187.25
BOARDS & COMMISSIONS			\$2,724.61
TOTAL GENERAL FUND			\$260,354.81
06750024 4510	OCE IMAGISTICS INC	COPIER MAINTENANCE	30.00
06750024 4542	ARNSTEIN & LEHR LLP	FEBRUARY LEGAL	96.00
06750024 4542	ARNSTEIN & LEHR LLP	FEBRUARY LEGAL	5,472.00
06750024 4542	ARNSTEIN & LEHR LLP	FEBRUARY LEGAL	6,666.67
06750024 4542	BRYAN CAVE LLP	PROFESSIONAL SERVICES	337.50
TOTAL ADMINISTRATION			\$12,602.17
TOTAL EDA ADMINISTRATION FUND			\$12,602.17
26000024 4507	HAMPTON LENZINI & RENWICK, INC	TRAF ENG SERV/ASH RD	665.75
26000024 4507	HAMPTON LENZINI & RENWICK, INC	DRAINAGE STUDY	11,840.40
TOTAL TRAFFIC IMPROVEMENT FUND			\$12,506.15
27000025 4621	V3 CONSULTANTS	TRAF SIGNAL INSPEC.	147.30
TOTAL EDA SERIES 1991 PROJECT FUND			\$147.30
33000025 4653	ALPHABET SHOP, INC	SIGN	85.00
TOTAL 2009 CAPITAL PROJECT FUND			\$85.00
35000024 4507	SEC GROUP INC	59&SHOEFACTORY RD PROJECT	5,040.78
TOTAL WESTERN AREA ROAD IMPROVEMENT IMPACT FEE FUND			\$5,040.78
36000025 4615	COUNTERUAV, INC	HYDRAULIC ANALYSIS	130.98
TOTAL CAPITAL IMPROVEMENTS FUND			\$130.98
37000025 4602	CURRENT TECHNOLOGIES CORP	HOURS OF LABOR TO PROGRAM	500.00
37000025 4602	CURRENT TECHNOLOGIES CORP	TRAVEL AT FLAT RATE \$ 75.	75.00
37000025 4602	FIRETIDE AMPRO RMA CENTER	REPAIR AND/OR REFURBISH (1,200.00
37000025 4602	IMAGETREND, INC.	FIELD DATA COLLECTION SEA	2,775.00
37000025 4602	IMAGETREND, INC.	FIELD DATA COLLECTION LIC	675.00
TOTAL CAPITAL VEHICLE AND EQUIPMENT FUND			\$5,225.00
40 1445	AMERICAN PIPE LINERS INC	METER DEPOSIT	750.00
TOTAL WATER MISCELLANEOUS PAYMENT			\$750.00
40400013 3425	TOM PATZ C/O KAUFMAN LAW GROUP	REFUND WATER BILL	23.63

VILLAGE OF HOFFMAN ESTATES

4/4/2011

ACCOU NT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
TOTAL WATER REFUND			\$23.63
40406722 4301	JOSEPH NEBEL	TRAVEL REIM	296.04
40406722 4303	IL ENVIRONMENTAL PROT AGENCY	WATER OPER CERTIFICATE	10.00
40406723 4402	TEST GAUGE AND BACKFLOW SUPPLY	CERTIFICATION	95.00
40406723 4408	A & A EQUIPMENT & SUPPLY CO.	SHOVELS	311.79
40406723 4414	OFFICE DEPOT	OFFICE SUPPLIES	4.58
40406723 4420	WATER RESOURCES INC	METER REPAIRS & PARTS AS	8,750.00
40406724 4501	AT & T	RO6-1985	631.84
40406724 4501	AT & T	884-6846	9.97
40406724 4501	AT & T	882-0878	19.91
40406724 4501	AT & T	882-0608	31.79
40406724 4501	AT&T LONG DISTANCE	LONG DISTANCE	28.88
40406724 4502	COMMONWEALTH EDISON	ELECTRIC 2550 BEVERLY	358.71
40406724 4502	COMMONWEALTH EDISON	ELECTRIC1900 HASSELL	132.06
40406724 4502	COMMONWEALTH EDISON	ELECTRIC 2150 STONINGTON	135.46
40406724 4502	COMMONWEALTH EDISON	ELECTRIC 2002 PARKVIEW	256.64
40406724 4502	INTEGRYS ENERGY SERVICES INC	ELECTRIC 1790 CHIPPENDALE	939.58
40406724 4502	INTEGRYS ENERGY SERVICES INC	2150 STONINGTON	2,537.40
40406724 4502	INTEGRYS ENERGY SERVICES INC	ELECTRIC 1775 ABBEYWOOD	1,841.55
40406724 4502	MIDAMERICAN ENERGY COMPANY	ELECTRIC THRU VILLAGE	2,782.63
40406724 4503	NICOR GAS	GAS 95 ASTER LN	1,820.47
40406724 4503	NICOR GAS	GAS 1775 ABBEYWOOD	440.91
40406724 4503	NICOR GAS	GAS 720 CHARLESTON	245.76
40406724 4507	AUTOMATIC CONTROL SERVICES	LABOR AND REPAIRS	407.25
40406724 4507	INTERSTATE BATTERY SYSTEMS	VEHICLE REPAIR PARTS	207.68
40406724 4507	MCHENRY ANALYTICAL WATER LABORATORY	ANNUAL DRINKING WATER TES	1,584.00
40406724 4507	MCHENRY ANALYTICAL WATER LABORATORY	ANNUAL DRINKING WATER TES	1,674.00
40406724 4509	RICOH AMERICAS CORP	COPIER SERVICES	173.43
40406724 4510	SHERWIN IND	BARRICADES	1,562.50
40406724 4510	WEST SIDE TRACTOR SALES	VEHICLE REPAIR PARTS	416.11
40406724 4510	WEST SIDE TRACTOR SALES	VEHICLE REPAIR PARTS	963.88
40406724 4526	GRAINGER INC	VARIOUS SUPPLIES	113.40
40406724 4526	J.C. LICHT/EPCO PAINT & DECORATING	PAINT SUPPLIES	183.59
40406724 4526	LEE AUTO SCHAUMBURG	VEHICLE SUPPLY PARTS	93.96
40406724 4526	MCCANN INDUSTRIES	BACKFLOW PREVENTION	475.00
40406724 4527	ATLAS MID AMERICA ENERGY INC.	PROPANE	282.13
40406724 4528	ZIEBELL WATER SERVICE	MUELLER HYDRANT	675.90
40406724 4529	BEVERLY MATERIALS, L.L.C.	SURFACE MATERIAL	773.13
40406724 4529	BEVERLY MATERIALS, L.L.C.	ST REPAIR MATERIALS	773.13
40406724 4529	BEVERLY MATERIALS, L.L.C.	RTN CLEAN CONCRETE	-10.00
40406724 4529	WATER PRODUCTS CO.	REPAIR PARTS	480.00
40406724 4545	FULLIFE SAFETY CENTER	CUST SERV SAFETY VESTS	152.70
40406724 4585	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	159.66
40406724 4585	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	62.88
40406724 4585	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	-34.11
40406724 4585	INTERSTATE BATTERY SYSTEMS	VEHICLE BATTERIES	89.95
40406724 4585	KAMMES AUTO & TRUCK REPAIR INC	VEHICLE SUPPLIES	101.00
40406724 4585	LEE AUTO SCHAUMBURG	VEHICLE SUPPLY PARTS	99.58
40406724 4585	O'REILLY AUTO PARTS	VEHICLE REPAIR PARTS	33.71
40406724 4585	O'REILLY AUTO PARTS	CREDIT	-35.00
40406724 4585	ROADWAY TOWING	TOWING SERVICES	25.00
40406724 4585	STANDARD EQUIPMENT CO	TOP WELD CHAIN G	105.19

VILLAGE OF HOFFMAN ESTATES

4/4/2011

ACCOUNT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
40406724 4585	ZEIGLER OF SCHAUMBURG	CABLE-PARK	74.48
TOTAL WATER DIVISION			\$33,345.10
40406824 4502	INTEGRYS ENERGY SERVICES INC	ELECTRIC 1790 CHIPPENDALE	1,409.36
40406824 4502	INTEGRYS ENERGY SERVICES INC	ELECTRIC FEB	2,893.68
40406824 4502	INTEGRYS ENERGY SERVICES INC	ELECTRIC 5400 W GOLF	3,140.78
40406824 4502	MIDAMERICAN ENERGY COMPANY	ELECTRIC THRU VILLAGE	10,461.88
40406824 4507	GRAINGER INC	CHAIN ROLLER	53.19
40406824 4510	MENARDS - HNVR PARK	GENERATION LOCKS	30.38
40406824 4510	MENARDS - HNVR PARK	PVC PIPE, ADAPTORS	18.69
40406824 4510	USA BLUE BOOK	MANHOLE ASSEMBLY	223.04
40406824 4525	USA BLUE BOOK	ALL NATURAL LIFT STATION	579.80
40406824 4530	BEVERLY MATERIALS, L.L.C.	ST. REPAIR MATERIALS	609.39
40406824 4530	WELCH BROS INC	REPAIR PARTS	483.77
40406824 4541	A PERSONAL TOUCH OF CLASS, INC.	CLEANING SERVICES	445.00
TOTAL SEWER DIVISION			\$20,348.96
40407325 4609	CB & I CONSTRUCTORS, INC.	T-7 WATER TOWER	370.70
40407325 4609	CB & I CONSTRUCTORS, INC.	T-7 WATER TOWER	55,160.48
40407325 4609	FLORIDA MICRO LLC	GIG-E STANDALONE CVTR GIG	1,335.78
TOTAL WATERWORKS AND SEWERAGE FUND			\$78,334.65
46700024 4552	STEVE J KULOVSEK	TIRE DAMAGE	250.00
46700024 4552	WIRFS WELDING & INDUSTRIES INC	VEHICLE REPAIRS	7,000.00
TOTAL RISK RETENTION			\$7,250.00
TOTAL INSURANCE FUND			\$7,250.00
47001223 4402	OFFICE DEPOT	OFFICE SUPPLIES	158.38
47001223 4402	OFFICE DEPOT	OFFICE SUPPLIES	44.39
47001223 4406	DOCUMENT IMAGING DIMENSIONS, INC.	PRINTER CARTIDGES	1,329.38
TOTAL ADMINISTRATIVE			\$1,532.15
47008524 4507	DLS INTERNET SERVICES	INTERNET ACCESS	400.00
47008524 4510	FLORIDA MICRO LLC	SOFTWARE	259.76
47008524 4510	FLUKE NETWORKS	GLD-DTX ANNUAL MAINTENANC	833.00
47008524 4542	AT & T	882-2273	67.57
TOTAL OPERATIONS			\$1,560.33
47008625 4602	COMMUNITY SCHOOL DISTRICT # 300	ANNUAL MAINT FEE DIST 300	1,322.00
TOTAL CAPITAL ASSETS			\$1,322.00
TOTAL INFORMATION SYSTEMS FUND			\$4,414.48
62000024 4507	ARNSTEIN & LEHR LLP	FEBRUARY LEGAL	1,296.00
62000024 4507	CHRISTOPHER B. BURKE ENGINEERING	HIGGINS RD BIKE PATH	2,806.25
62000024 4507	DIVINE SIGNS	BANNERS	947.78
TOTAL ROSELLE ROAD TIF FUND			\$5,050.03

VILLAGE OF HOFFMAN ESTATES

4/4/2011

ACCOUNT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
BILL LIST TOTAL			\$424,141.35

SUNGARD PUBLIC SECTOR
 DATE: 03/30/2011
 TIME: 14:01:17

VILLAGE OF HOFFMAN ESTATES
 CHECK REGISTER - DISBURSEMENT FUND

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SELECTION CRITERIA: transact.t_c='20' and transact.trans_date between '20110310 00:00:00. 0' and '20110330 00:00:00. 0'
 ACCOUNTING PERIOD: 3/11

FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	BUDGET UNIT	DESCRIPTION	SALES TAX	AMOUNT	
0102	68376 V	01/04/11	1605 NOTARIES ASSOC OF IL INC	01	NOTARY FEE-KASPER & RU	0.00	-76.00	
0102	68394 V	01/04/11	13842 SECRETARY OF STATE	01	NOTARY COMM. - KASPER	0.00	-20.00	
0102	69310 V	03/08/11	1605 NOTARIES ASSOC OF IL INC	01201222	NOTARY FILING	0.00	-10.00	
0102	69310 V	03/08/11	1605 NOTARIES ASSOC OF IL INC	01201222	MEMBERSHIP BOND&SEAL	0.00	-62.00	
TOTAL CHECK							0.00	-72.00
0102	69404 V	03/15/11	2693 FIRESTONE TRUCK & SERVIC	01404524	VEHICLE REPAIR PARTS	0.00	-364.26	
0102	69420 V	03/15/11	4488 ILLINOIS MUNICIPAL LEAGU	01101323	2011 MUNICIPAL HANDBOO	0.00	-37.50	
0102	69436 V	03/15/11	8219 MESIROW FINANCIAL INVEST	46700024	RENEW PUB OFFICIALS BO	0.00	-100.00	
0102	69436 V	03/15/11	8219 MESIROW FINANCIAL INVEST	46700024	RENEW MISC SURETY BOND	0.00	-864.00	
TOTAL CHECK							0.00	-964.00
0102	69470 V	03/15/11	13575 USI EDUCATION & GOV. SAL	01201223	LAMINATING SUPPLIES	0.00	-27.60	
0102	69475	03/10/11	14072 BRIAN RAYMOND	01	C-PAL	0.00	1,363.80	
0102	69476	03/10/11	8757 SAM'S CLUB	01303523	FIRE STATION SUPPLIES	0.00	1,242.55	
0102	69477	03/10/11	7860 G.W. KENNEDY CONSTRUCTIO	40406825	JONES-HIGHLAND SEWER	0.00	58,561.57	
0102	69478	03/11/11	7217 FIRESTONE	01404524	VEHICLE SUPPLYPARTS	0.00	364.26	
0102	69479	03/11/11	1605 NOTARIES ASSOC OF IL INC	01201222	MEMBERSHIP BOND & SEAL	0.00	62.00	
0102	69481	03/14/11	13787 AT&T	01404424	885-6452	0.00	63.62	
0102	69481	03/14/11	13787 AT&T	40406724	885-6452	0.00	27.27	
TOTAL CHECK							0.00	90.89
0102	69482	03/14/11	10757 LOWE'S HOME CENTERS INC	01404123	REPAIR PARTS	0.00	89.54	
0102	69483	03/14/11	14073 STOCKWOOD	01605824	DEP SUMMER CONCERT	0.00	500.00	
0102	69484	03/14/11	1156 AT & T	01201924	LANDLINES	0.00	45.24	
0102	69484	03/14/11	1156 AT & T	01303324	LANDLINES	0.00	36.11	
0102	69484	03/14/11	1156 AT & T	01404424	LANDLINES	0.00	1,986.67	
0102	69484	03/14/11	1156 AT & T	40406724	LANDLINES	0.00	628.58	
0102	69484	03/14/11	1156 AT & T	47008524	LANDLINES	0.00	67.57	
TOTAL CHECK							0.00	2,764.17
0102	69485	03/15/11	13191 MESIROW INSURANCE SERVIC	46700024	PUBLIC OFFICIAL BONDS	0.00	100.00	
0102	69485	03/15/11	13191 MESIROW INSURANCE SERVIC	46700024	RENEW MISC SURETY BOND	0.00	864.00	
TOTAL CHECK							0.00	964.00
0102	69486	03/15/11	12346 SPRINT	01201224	WIRELESS SERVICE	0.00	32.57	
0102	69486	03/15/11	12346 SPRINT	40406724	WIRELESS SERVICE	0.00	97.98	
0102	69486	03/15/11	12346 SPRINT	47008524	WIRELESS SERVICE	0.00	269.40	
TOTAL CHECK							0.00	399.95

SUNGARD PUBLIC SECTOR
 DATE: 03/30/2011
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VILLAGE OF HOFFMAN ESTATES
 CHECK REGISTER - DISBURSEMENT FUND

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SELECTION CRITERIA: transact.t_c='20' and transact.trans_date between '20110310 00:00:00. 0' and '20110330 00:00:00. 0'
 ACCOUNTING PERIOD: 3/11

FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	BUDGET UNIT	DESCRIPTION	SALES TAX	AMOUNT
0102	69487	03/15/11 8129	DENNIS NADON	01605824	REIM SISTER CITIES COM	0.00	988.40
0102	69488	03/15/11 1981	SHELL CREDIT CARD CENTER	01201222	FUEL FOR POLICE DEPT	0.00	154.98
0102	69489	03/15/11 1258	MICHAEL HARTMAN	46700024	TIRE DAMAGE REIM	0.00	185.00
0102	69490	03/15/11 8319	CANNON COCHRAN MGMT. SER	46700024	ADMIN FEE 1ST QTR 2011	0.00	3,312.50
0102	69491	03/15/11 7261	THE HERTZ CORP.	46700024	CLAIM#22-2010-366182E	0.00	3,182.94
0102	69492	03/16/11 4065	THE HOME DEPOT #1904	01404423	VARIOUS SUPPLIES	0.00	6.97
0102	69492	03/16/11 4065	THE HOME DEPOT #1904	01404424	VARIOUS SUPPLIES	0.00	168.39
0102	69492	03/16/11 4065	THE HOME DEPOT #1904	01303123	VARIOUS SUPPLIES	0.00	125.91
0102	69492	03/16/11 4065	THE HOME DEPOT #1904	01303523	VARIOUS SUPPLIES	0.00	26.20
0102	69492	03/16/11 4065	THE HOME DEPOT #1904	01404123	VARIOUS SUPPLIES	0.00	181.52
0102	69492	03/16/11 4065	THE HOME DEPOT #1904	01404623	VARIOUS SUPPLIES	0.00	64.13
0102	69492	03/16/11 4065	THE HOME DEPOT #1904	01404824	VARIOUS SUPPLIES	0.00	117.36
TOTAL CHECK						0.00	690.48
0102	69493	03/16/11 13191	MESIROW INSURANCE SERVIC	46700024	ENDORSEMENT COMMERCIAL	0.00	115.00
0102	69494	03/16/11 3680	OTTO'S COLLISION SERVICE	46700024	VEHICLE COLLISION REPA	0.00	2,198.57
0102	69495	03/16/11 1594	SUBURBAN ACCENTS INC	46700024	LETTERING SQUAD #31	0.00	75.00
0102	69495	03/16/11 1594	SUBURBAN ACCENTS INC	46700024	LETTERING SQUAD #30	0.00	75.00
0102	69495	03/16/11 1594	SUBURBAN ACCENTS INC	46700024	LETTERING SQUAD #10	0.00	75.00
0102	69495	03/16/11 1594	SUBURBAN ACCENTS INC	46700024	LETTERING SQUAD P20	0.00	75.00
TOTAL CHECK						0.00	300.00
0102	69496	03/16/11 1383	MATTHEW W COLLINS	46000021	MONTHLY VSP MARCH 2011	0.00	1,572.90
0102	69497	03/16/11 1936	SCOTT R SUTSCHEK	46000021	MONTHLY VSP MARCH 2011	0.00	1,572.90
0102	69498	03/16/11 7335	TIMOTHY C SUERTH	46000021	MONTHLY VSP MARCH 2011	0.00	1,572.90
0102	69499	03/16/11 1105	JUDY M HILLIGOSS	46000021	MONTHLY VSP MARCH 2011	0.00	573.85
0102	69500	03/16/11 13921	BONNIE J BUSSE	46000021	MONTHLY VSP MARCH 2011	0.00	1,572.90
0102	69501	03/16/11 13958	ARJA K KASPER	46000021	MONTHLY VSP MARCH 2011	0.00	1,572.90
0102	69502	03/16/11 1577	STEVEN J HEHN	46000021	MONTHLY VSP MARCH 2011	0.00	1,576.02
0102	69503	03/16/11 11526	MARLIN LEASING CORP	01303024	COPIER LEASING	0.00	64.21
0102	69503	03/16/11 11526	MARLIN LEASING CORP	01303124	COPIER LEASING	0.00	192.65
0102	69503	03/16/11 11526	MARLIN LEASING CORP	01303224	COPIER LEASING	0.00	64.21
0102	69503	03/16/11 11526	MARLIN LEASING CORP	01202324	COPIER LEASING	0.00	284.38
TOTAL CHECK						0.00	605.45
0102	69504	03/17/11 14063	POSTMASTER SCHAUMBURG	01101423	BULK MAILING CONTR. LI	0.00	248.12
0102	69505	03/18/11 7220	AT&T	01404424	MASTER PHONE BILL	0.00	4,620.12

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VILLAGE OF HOFFMAN ESTATES
 CHECK REGISTER - DISBURSEMENT FUND

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SELECTION CRITERIA: transact.t_c='20' and transact.trans_date between '20110310 00:00:00. 0' and '20110330 00:00:00. 0'
 ACCOUNTING PERIOD: 3/11

FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	BUDGET UNIT	DESCRIPTION	SALES TAX	AMOUNT
0102	69505	03/18/11	7220 AT&T	40406724	MASTER PHONE BILL	0.00	3,794.72
0102	69505	03/18/11	7220 AT&T	40406824	MASTER PHONE BILL	0.00	2,056.83
TOTAL CHECK						0.00	10,471.67
0102	69506	03/18/11	12660 CHERYL MCGRAW	46000021	MONTHLY VSP MARCH 2011	0.00	59.40
0102	69507	03/21/11	1156 AT & T	01404424	LANDLINES	0.00	601.92
0102	69507	03/21/11	1156 AT & T	40406724	LANDLINES	0.00	92.30
0102	69507	03/21/11	1156 AT & T	01303324	LANDLINES	0.00	36.11
0102	69507	03/21/11	1156 AT & T	01556524	LANDLINES	0.00	129.10
0102	69507	03/21/11	1156 AT & T	01201924	LANDLINES	0.00	43.50
TOTAL CHECK						0.00	902.93
0102	69508	03/21/11	11261 FLEET SERVICES	01404523	MONTHLY FUEL CARD	0.00	6.00
0102	69509	03/23/11	14071 IL SOCIETY OF PROF ENGIN	01505122	FIRE PROTECTION SYSTEM	0.00	50.00
0102	69524	03/24/11	9888 PURCHASE ADVANTAGE CARD	01101123	TRUSTEE BEVERAGES	0.00	11.98
0102	69525	03/24/11	5920 DOMINICK'S C/O SAFEWAY I	01101123	TRUSTEE SUPPLIES	0.00	191.69
0102	69526	03/25/11	14086 MUTUAL MANAGEMENT SERVIC	01	DEDUCT. ORDER 2010SC48	0.00	1,249.17
0102	69527	03/25/11	14087 RICHARD & CATHY LEBRUN	40400013	WATER OVER PYMT RFD	0.00	474.30
0102	69528	03/28/11	2226 VILL HOFF EST PETTY CASH	01101122	PETTY CASH	0.00	30.00
0102	69528	03/28/11	2226 VILL HOFF EST PETTY CASH	01101123	PETTY CASH	0.00	4.04
0102	69528	03/28/11	2226 VILL HOFF EST PETTY CASH	01101222	PETTY CASH	0.00	20.00
0102	69528	03/28/11	2226 VILL HOFF EST PETTY CASH	01101522	PETTY CASH	0.00	46.00
0102	69528	03/28/11	2226 VILL HOFF EST PETTY CASH	01106223	PETTY CASH	0.00	39.99
0102	69528	03/28/11	2226 VILL HOFF EST PETTY CASH	01505022	PETTY CASH	0.00	15.00
0102	69528	03/28/11	2226 VILL HOFF EST PETTY CASH	01505122	PETTY CASH	0.00	40.00
0102	69528	03/28/11	2226 VILL HOFF EST PETTY CASH	01505223	PETTY CASH	0.00	37.48
0102	69528	03/28/11	2226 VILL HOFF EST PETTY CASH	01505922	PETTY CASH	0.00	41.00
0102	69528	03/28/11	2226 VILL HOFF EST PETTY CASH	01556522	PETTY CASH	0.00	28.34
0102	69528	03/28/11	2226 VILL HOFF EST PETTY CASH	01556523	PETTY CASH	0.00	5.48
0102	69528	03/28/11	2226 VILL HOFF EST PETTY CASH	01556523	PETTY CASH	0.00	23.67
0102	69528	03/28/11	2226 VILL HOFF EST PETTY CASH	01556524	PETTY CASH	0.00	58.10
0102	69528	03/28/11	2226 VILL HOFF EST PETTY CASH	01605824	PETTY CASH	0.00	26.15
0102	69528	03/28/11	2226 VILL HOFF EST PETTY CASH	01000016	PETTY CASH	0.00	5.00
TOTAL CHECK						0.00	420.25
0102	69529	03/28/11	1156 AT & T	01303324	R19-0243 LANDLINES	0.00	628.53
0102	69530	03/29/11	4496 VERIZON WIRELESS	01101124	WIRELESS SERVICES	0.00	615.86
0102	69530	03/29/11	4496 VERIZON WIRELESS	01101224	WIRELESS SERVICES	0.00	144.35
0102	69530	03/29/11	4496 VERIZON WIRELESS	01101324	WIRELESS SERVICES	0.00	61.23
0102	69530	03/29/11	4496 VERIZON WIRELESS	01101424	WIRELESS SERVICES	0.00	122.47
0102	69530	03/29/11	4496 VERIZON WIRELESS	01101524	WIRELESS SERVICES	0.00	61.23
0102	69530	03/29/11	4496 VERIZON WIRELESS	01101624	WIRELESS SERVICES	0.00	125.72
0102	69530	03/29/11	4496 VERIZON WIRELESS	01102524	WIRELESS SERVICES	0.00	61.23
0102	69530	03/29/11	4496 VERIZON WIRELESS	01106224	WIRELESS SERVICES	0.00	61.23

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VILLAGE OF HOFFMAN ESTATES
 CHECK REGISTER - DISBURSEMENT FUND

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 ACCTPA21

SELECTION CRITERIA: transact.t_c='20' and transact.trans_date between '20110310 00:00:00. 0' and '20110330 00:00:00. 0'
 ACCOUNTING PERIOD: 3/11

FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	BUDGET UNIT	DESCRIPTION	SALES TAX	AMOUNT	
0102	69530	03/29/11	4496	VERIZON WIRELESS	01107124	WIRELESS SERVICES	0.00	61.23
0102	69530	03/29/11	4496	VERIZON WIRELESS	01201224	WIRELESS SERVICES	0.00	676.37
0102	69530	03/29/11	4496	VERIZON WIRELESS	01301224	WIRELESS SERVICES	0.00	218.95
0102	69530	03/29/11	4496	VERIZON WIRELESS	01303124	WIRELESS SERVICES	0.00	186.45
0102	69530	03/29/11	4496	VERIZON WIRELESS	01303124	WIRELESS SERVICES	0.00	36.62
0102	69530	03/29/11	4496	VERIZON WIRELESS	01303124	WIRELESS SERVICES	0.00	61.23
0102	69530	03/29/11	4496	VERIZON WIRELESS	01303224	WIRELESS SERVICES	0.00	392.78
0102	69530	03/29/11	4496	VERIZON WIRELESS	01303324	WIRELESS SERVICES	0.00	102.54
0102	69530	03/29/11	4496	VERIZON WIRELESS	01401224	WIRELESS SERVICES	0.00	140.45
0102	69530	03/29/11	4496	VERIZON WIRELESS	01404124	WIRELESS SERVICES	0.00	133.26
0102	69530	03/29/11	4496	VERIZON WIRELESS	01404224	WIRELESS SERVICES	0.00	37.39
0102	69530	03/29/11	4496	VERIZON WIRELESS	01404324	WIRELESS SERVICES	0.00	74.71
0102	69530	03/29/11	4496	VERIZON WIRELESS	01404424	WIRELESS SERVICES	0.00	206.98
0102	69530	03/29/11	4496	VERIZON WIRELESS	01404524	WIRELESS SERVICES	0.00	36.95
0102	69530	03/29/11	4496	VERIZON WIRELESS	01404824	WIRELESS SERVICES	0.00	37.41
0102	69530	03/29/11	4496	VERIZON WIRELESS	01501224	WIRELESS SERVICES	0.00	61.23
0102	69530	03/29/11	4496	VERIZON WIRELESS	01505024	WIRELESS SERVICES	0.00	61.23
0102	69530	03/29/11	4496	VERIZON WIRELESS	01505124	WIRELESS SERVICES	0.00	255.35
0102	69530	03/29/11	4496	VERIZON WIRELESS	01505224	WIRELESS SERVICES	0.00	307.67
0102	69530	03/29/11	4496	VERIZON WIRELESS	01505924	WIRELESS SERVICES	0.00	136.07
0102	69530	03/29/11	4496	VERIZON WIRELESS	01556524	WIRELESS SERVICES	0.00	122.47
0102	69530	03/29/11	4496	VERIZON WIRELESS	06750024	WIRELESS SERVICES	0.00	66.16
0102	69530	03/29/11	4496	VERIZON WIRELESS	40406724	WIRELESS SERVICES	0.00	697.08
0102	69530	03/29/11	4496	VERIZON WIRELESS	40406724	WIRELESS SERVICES	0.00	33.23
0102	69530	03/29/11	4496	VERIZON WIRELESS	47001224	WIRELESS SERVICES	0.00	525.12
TOTAL CHECK						0.00	5,922.25	
0102	69531	03/30/11	11803	GLENBARD TOWNSHIP HS	01	1ST QTR INS R. LARSON	0.00	1,760.85
0102	69532	03/30/11	13993	MEDICO INSURANCE COMPANY	01	INS PYMT 3/31	0.00	225.99
0102	69533	03/30/11	12166	AARP HEALTH CARE OPTIONS	01	MARCH DEDUCTION	0.00	169.06
TOTAL CASH ACCOUNT						0.00	109,381.25	
TOTAL FUND						0.00	109,381.25	

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VILLAGE OF HOFFMAN ESTATES
CHECK REGISTER - DISBURSEMENT FUND

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SELECTION CRITERIA: `transact.t_c='20'` and `transact.trans_date` between '20110310 00:00:00. 0' and '20110330 00:00:00. 0'
ACCOUNTING PERIOD: 3/11

FUND - 50 - POLICE PENSION FUND

CASH ACCT	CHECK NO	ISSUE DT	-----VENDOR-----	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
0102	1004	03/29/11	7883 BUFFALO GROVE ORTHOPAEDI	50000024	MEDICAL EVALUATION	0.00	1,500.00
TOTAL CASH ACCOUNT						0.00	1,500.00
TOTAL FUND						0.00	1,500.00

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VILLAGE OF HOFFMAN ESTATES
CHECK REGISTER - DISBURSEMENT FUND

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SELECTION CRITERIA: transact.t_c='20' and transact.trans_date between '20110310 00:00:00. 0' and '20110330 00:00:00. 0'
ACCOUNTING PERIOD: 3/11

FUND - 51 - FIREFIGHTERS PENSION FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	BUDGET UNIT	DESCRIPTION	SALES TAX	AMOUNT
0102	1161	03/30/11	4429 BECKER,BURKE ASSOCIATES	51000024	CONSULTING SERVICES	0.00	9,000.00
TOTAL CASH ACCOUNT						0.00	9,000.00
TOTAL FUND						0.00	9,000.00
TOTAL REPORT						0.00	119,881.25

Detail of Wire/ACH Activity
 For the Period 02/01/11 - 02/28/11

<u>Date</u>	<u>Vendor</u>	<u>Description</u>	<u>Fund</u>	<u>Amount</u>
02/01/11	IPBC	Insurance Premium	General	\$ 489,012.34
02/17/11	Sears	Note Payment	EDA General	\$ 15,988,967.93
02/22/11	CCMSI	General Liability Claims	Insurance	\$ 11,569.50
02/23/11	JAWA	Monthly Water Usage	Water & Sewer	\$ 403,489.00
02/23/11	SWANCC	Monthly Tipping Fees	Municipal Waste System	\$ 55,236.25
	TOTAL			\$ 16,948,275.02

Account Spending Analysis Detail Report



VILLAGE OF HOFFMAN ESTATES
 RACHEL MUSIALA
 1900 HASSELL RD
 HOFFMAN EST, IL 60169-6302 USA

Posting Date: 01/06/2011 Thru 02/05/2011

Vehicle Related

XXXX-XXXX-1954-4729 - DAVID A CHRISTENSEN - EMERGENCY MGMT COORD

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
01/10/2011	01/11/2011	EXXONMOBIL 47602370	BLUE RIDGE SU PA	5542 - FUEL DISPENSER, AUTOMATED	34.72
01/10/2011	01/11/2011	EXXONMOBIL 96832696	HOWE IN	5542 - FUEL DISPENSER, AUTOMATED	30.80
01/10/2011	01/12/2011	VERMILION VALLEY	AMHERST OH	5542 - FUEL DISPENSER, AUTOMATED	19.83
01/12/2011	01/14/2011	MAHONING VALLEY	NEW SPRINGFIE OH	5542 - FUEL DISPENSER, AUTOMATED	34.07
01/13/2011	01/14/2011	TOLL RD N 700 QPS	PORTAGE IN	5542 - FUEL DISPENSER, AUTOMATED	28.30
01/12/2011	01/14/2011	OAK OPENINGS	SWANTON OH	5542 - FUEL DISPENSER, AUTOMATED	24.47
01/25/2011	01/26/2011	EXXONMOBIL 88905849	SCHILLER PARK IL	5542 - FUEL DISPENSER, AUTOMATED	33.11
01/25/2011	01/27/2011	SHELL OIL 512741600QPS	SPRINGFIELD IL	5542 - FUEL DISPENSER, AUTOMATED	35.88

Vehicle Related Total 241.18

Restaurant

XXXX-XXXX-1954-4729 - DAVID A CHRISTENSEN - EMERGENCY MGMT COORD

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
01/10/2011	01/11/2011	MCDONALD'S F12608	MCCONNELLSBUR PA	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	6.05
01/10/2011	01/12/2011	PANERA BREAD #3390	AMHERST OH	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	7.43
01/11/2011	01/12/2011	GUEST SERVICES-UNITQ68	EMMITSBURG MD	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	6.68
01/12/2011	01/13/2011	GUEST SERVICES-UNITQ68	EMMITSBURG MD	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	4.46
01/12/2011	01/13/2011	GUEST SERVICES-UNITQ68	EMMITSBURG MD	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	6.68
01/12/2011	01/13/2011	MCDONALD'S F7862	NEW SPRINGFIE OH	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	5.74
01/11/2011	01/13/2011	SUBWAY 00197277	EMMITSBURG MD	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	11.54
01/25/2011	01/26/2011	MCDONALDS F17694 QPS	CHENOA IL	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	7.29

Restaurant Total 55.87

Lodging

XXXX-XXXX-1954-4729 - DAVID A CHRISTENSEN - EMERGENCY MGMT COORD

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
01/07/2011	01/10/2011	HYATT HOTELS DENVER CC	DENVER CO	3640 - HYATT HOTELS	(35.62)
01/14/2011	01/17/2011	HOLIDAY INNS	HOWE IN	3501 - HOLIDAY INNS	89.59

Lodging Total 53.97

Retail Services

XXXX-XXXX-1954-4729 - DAVID A CHRISTENSEN - EMERGENCY MGMT COORD

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
01/20/2011	01/24/2011	IESMA	618-8532656 IL	7399 - BUSINESS SERVICES NOT ELSEWHERE CLASSIFIED	165.00

Retail Services Total 165.00

Retail Services

XXXX-XXXX-1954-4737 - MICHAEL DUCHARME - DIRECTOR OF FINANCE

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
01/14/2011	01/17/2011	GROOT INDUSTRIES INC O	07732421977 IL	4900 - UTILITIES ELECTRIC, GAS, SANITARY, WATER	27,485.92

Retail Services Total 27,485.92

Account Spending Analysis Detail Report



VILLAGE OF HOFFMAN ESTATES
 RACHEL MUSIALA
 1900 HASSELL RD
 HOFFMAN EST, IL 60169-6302 USA

Posting Date: 01/06/2011 Thru 02/05/2011

Other

XXXX-XXXX-1954-4737 - MICHAEL DUCHARME - DIRECTOR OF FINANCE

Transaction Date	Posting Date	Merchant	Location	NE	Merchant Category Code	Transaction Amount
01/24/2011	01/25/2011	TELVENT DTN, INC	800-837-0708		5045 - COMPUTERS, COMPUTER PERIPHERAL EQUIPMENT, SOFTWARE	207.00

Other Total 207.00

Retail Services

XXXX-XXXX-1954-4778 - ROBERT GORVETT - FIRE CHIEF

Transaction Date	Posting Date	Merchant	Location	IL	Merchant Category Code	Transaction Amount
01/15/2011	01/17/2011	VERIZON WRLS M7225-01	HOFFMAN ESTAT		4812 - TELECOMMUNICATION EQUIPMENT	54.72
01/20/2011	01/21/2011	MABASIL	630-717-2744		9399 - GOVERNMENT SERVICES NOT ELSEWHERE CLASSIFIED	110.00
01/31/2011	02/01/2011	ILLINOIS MUNICIPAL LEA	2175251220		8699 - ORGANIZATIONS, MEMBERSHIP	49.50
02/03/2011	02/04/2011	MABASIL	630-717-2744		9399 - GOVERNMENT SERVICES NOT ELSEWHERE CLASSIFIED	440.00

Retail Services Total 654.22

Retail Services

XXXX-XXXX-1954-4802 - JEFF JORIAN - DEPUTY FIRE CHIEF

Transaction Date	Posting Date	Merchant	Location	CA	Merchant Category Code	Transaction Amount
01/13/2011	01/14/2011	GOOGLE *GOODDEALS18	GOOGLE.COM/CH		5399 - MISCELLANEOUS GENERAL MERCHANDISE	83.91

Retail Services Total 83.91

Restaurant

XXXX-XXXX-1954-4844 - WILLIAM D MCLEOD - VILLAGE PRESIDENT

Transaction Date	Posting Date	Merchant	Location	DC	Merchant Category Code	Transaction Amount
01/21/2011	01/24/2011	RUTH'S WASHINGTON	WASHINGTON		5812 - EATING PLACES, RESTAURANTS	341.28

Restaurant Total 341.28

Lodging

XXXX-XXXX-1954-4844 - WILLIAM D MCLEOD - VILLAGE PRESIDENT

Transaction Date	Posting Date	Merchant	Location	IL	Merchant Category Code	Transaction Amount
01/13/2011	01/14/2011	PRESIDENT ABRAHAM LINC	SPRINGFIELD		7011 - LODGING HOTELS, MOTELS, RESORTS	190.40
01/24/2011	01/25/2011	HILTON HOTELS CAPITAL	WASHINGTON		3504 - HILTON HOTELS	1,250.78

Lodging Total 1,441.18

Retail Services

XXXX-XXXX-1954-4844 - WILLIAM D MCLEOD - VILLAGE PRESIDENT

Transaction Date	Posting Date	Merchant	Location	IL	Merchant Category Code	Transaction Amount
01/11/2011	01/13/2011	PRAIRIE CAPITAL CONV C	SPRINGFIELD		7399 - BUSINESS SERVICES NOT ELSEWHERE CLASSIFIED	4.50
01/11/2011	01/13/2011	PRAIRIE CAPITAL CONV C	SPRINGFIELD		7399 - BUSINESS SERVICES NOT ELSEWHERE CLASSIFIED	14.00
01/12/2011	01/14/2011	PRAIRIE CAPITAL CONV C	SPRINGFIELD		7399 - BUSINESS SERVICES NOT ELSEWHERE CLASSIFIED	7.00
01/12/2011	01/14/2011	PRAIRIE CAPITAL CONV C	SPRINGFIELD		7399 - BUSINESS SERVICES NOT ELSEWHERE CLASSIFIED	1.50
01/13/2011	01/17/2011	PRAIRIE CAPITAL CONV C	SPRINGFIELD		7399 - BUSINESS SERVICES NOT ELSEWHERE CLASSIFIED	6.75

Retail Services Total 33.75

Account Spending Analysis Detail Report

VILLAGE OF HOFFMAN ESTATES
 RACHEL MUSIALA
 1900 HASSELL RD
 HOFFMAN EST, IL 60169-6302 USA



Posting Date: 01/06/2011 Thru 02/05/2011

Retail Services

XXXX-XXXX-1954-4869 - RACHEL E MUSIALA - ASST FINANCE DIRECTOR

Transaction Date	Posting Date	Merchant	Location	IL	Merchant Category Code	Transaction Amount
01/07/2011	01/10/2011	IGFOA	630-505-0679	IL	8641 - ASSOCIATIONS CIVIC, SOCIAL, AND FRATERNAL	145.00
01/07/2011	01/10/2011	IGFOA	630-505-0679	IL	8641 - ASSOCIATIONS CIVIC, SOCIAL, AND FRATERNAL	220.00

Retail Services Total

365.00

Other

XXXX-XXXX-1954-4935 - DEBRA SCHOOP - EXECUTIVE ASSISTANT

Transaction Date	Posting Date	Merchant	Location	IL	Merchant Category Code	Transaction Amount
02/02/2011	02/03/2011	NIU OUTREACH	08157535927	IL	8220 - COLLEGES, UNIVERSITIES, PROFESSIONAL SCHOOLS	50.00

Other Total

50.00

Retail Services

XXXX-XXXX-1954-4935 - DEBRA SCHOOP - EXECUTIVE ASSISTANT

Transaction Date	Posting Date	Merchant	Location	IL	Merchant Category Code	Transaction Amount
01/31/2011	02/01/2011	ILLINOIS MUNICIPAL LEA	2175251220	IL	8699 - ORGANIZATIONS, MEMBERSHIP	112.50

Retail Services Total

112.50

Retail Services

XXXX-XXXX-1954-4950 - PATRICK J SEGER - DIR HUMAN RESOURCES

Transaction Date	Posting Date	Merchant	Location	CA	Merchant Category Code	Transaction Amount
01/07/2011	01/10/2011	NATIONAL PUBLIC EMPLOY	760-433-1686	CA	8398 - ORGANIZATIONS, CHARITABLE AND SOCIAL SERVICE	525.00
01/14/2011	01/17/2011	A 1 TROPHIES & AWARDS	STREAMWOOD	IL	5999 - MISCELLANEOUS AND SPECIALTY RETAIL STORES	70.00
01/18/2011	01/19/2011	JEWEL #3316	HOFFMAN ESTAT	IL	5411 - GROCERY STORES, SUPERMARKETS	10.23
01/18/2011	01/19/2011	JEWEL #3316	HOFFMAN ESTAT	IL	5411 - GROCERY STORES, SUPERMARKETS	33.73
01/25/2011	01/26/2011	JEWEL #3316	HOFFMAN ESTAT	IL	5411 - GROCERY STORES, SUPERMARKETS	131.87
01/28/2011	01/31/2011	JEWEL #3316	HOFFMAN ESTAT	IL	5411 - GROCERY STORES, SUPERMARKETS	121.65

Retail Services Total

892.48

Passenger Transport

XXXX-XXXX-1954-4950 - PATRICK J SEGER - DIR HUMAN RESOURCES

Transaction Date	Posting Date	Merchant	Location	IL	Merchant Category Code	Transaction Amount
01/21/2011	01/25/2011	UNITED 0162119230089	ROSEMONT	IL	3000 - UNITED AIRLINES	404.40

Passenger Transport Total

404.40

Lodging

XXXX-XXXX-1954-4968 - GARY L SKOOG - DIRECTOR ECON DEV

Transaction Date	Posting Date	Merchant	Location	CA	Merchant Category Code	Transaction Amount
01/26/2011	01/27/2011	WESTIN SAN DIEGO	SAN DIEGO	CA	3513 - WESTIN HOTELS	604.47

Lodging Total

604.47

Account Spending Analysis Detail Report



VILLAGE OF HOFFMAN ESTATES
 RACHEL MUSIALA
 1900 HASSELL RD
 HOFFMAN EST, IL 60169-6302 USA

Posting Date: 01/06/2011 Thru 02/05/2011

Retail Services

XXXX-XXXX-1954-4968 - GARY L SKOOG - DIRECTOR ECON DEV

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
01/06/2011	01/17/2011	IEDC ONLINE	202-9429457 DC	8699 - ORGANIZATIONS, MEMBERSHIP	(150.00)
01/14/2011	01/17/2011	ASSOC OF IND REAL ESTA	06305104518 IL	8699 - ORGANIZATIONS, MEMBERSHIP	35.00
01/19/2011	01/20/2011	AMERICAN TAXI DISPATCH	MT. PROSPECT IL	4121 - LIMOUSINES AND TAXICABS	37.00
01/20/2011	01/21/2011	AMERICAN TAXI DISPATCH	MT. PROSPECT IL	4121 - LIMOUSINES AND TAXICABS	10.00
01/25/2011	01/27/2011	AMERICAN TAXI DISPATCH	MT. PROSPECT IL	4121 - LIMOUSINES AND TAXICABS	45.00

Retail Services Total

(23.00)

Restaurant

XXXX-XXXX-2001-2591 - MICHAEL HISH - ASST CHIEF

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
01/27/2011	01/28/2011	BUONA BEEF 06	HOFFMAN ESTAT IL	5812 - EATING PLACES, RESTAURANTS	22.42

Restaurant Total

22.42

Retail Services

XXXX-XXXX-2001-2591 - MICHAEL HISH - ASST CHIEF

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
01/05/2011	01/06/2011	FIREAWARDS.COM	732-469-6055 NJ	5999 - MISCELLANEOUS AND SPECIALTY RETAIL STORES	7.00
01/12/2011	01/13/2011	AMAZON MKTPLACE PMTS	AMZN.COM/BILL WA	5942 - BOOK STORES	124.99
01/12/2011	01/13/2011	LOWES #02590*	SCHAUMBURG IL	5200 - HOME SUPPLY WAREHOUSE	37.35
01/12/2011	01/14/2011	THE AMERICAN LEGION	317-8603132 IN	7399 - BUSINESS SERVICES NOT ELSEWHERE CLASSIFIED	17.80
01/12/2011	01/14/2011	OFFICE DEPOT #393	SCHAUMBERG IL	5943 - OFFICE, SCHOOL SUPPLY, AND STATIONERY STORES	28.46
01/21/2011	01/24/2011	USPS CHANGE OF66100959	MEMPHIS TN	9402 - POSTAL SERVICES-GOVERNMENT ONLY	1.00
01/28/2011	01/31/2011	FIREAWARDS.COM	732-469-6055 NJ	5999 - MISCELLANEOUS AND SPECIALTY RETAIL STORES	(5.00)
01/28/2011	01/31/2011	FIREAWARDS.COM	732-469-6055 NJ	5999 - MISCELLANEOUS AND SPECIALTY RETAIL STORES	(5.00)
01/28/2011	01/31/2011	FIREAWARDS.COM	732-469-6055 NJ	5999 - MISCELLANEOUS AND SPECIALTY RETAIL STORES	5.00

Retail Services Total

211.60

Other

XXXX-XXXX-2001-2591 - MICHAEL HISH - ASST CHIEF

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
01/21/2011	01/24/2011	PARAMOUNT FITNESS CORP	323-7212121 CA	5099 - DURABLE GOODS NOT ELSEWHERE CLASSIFIED	82.70

Other Total

82.70

Lodging

XXXX-XXXX-2001-2633 - KENNETH GOMOLL - P.W.SUPERINTENDENT

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
02/02/2011	02/04/2011	# 0678 LA QUINTA INNS	HOFFMAN ESTAT IL	3516 - LA QUINTA MOTOR INNS	44.80

Lodging Total

44.80

Account Spending Analysis Detail Report



VILLAGE OF HOFFMAN ESTATES
 RACHEL MUSIALA
 1900 HASSELL RD
 HOFFMAN EST, IL 60169-6302 USA

Posting Date: 01/06/2011 Thru 02/05/2011

Retail Services

XXXX-XXXX-2001-2633 - KENNETH GOMOLL - P.W.SUPERINTENDENT

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
01/10/2011	01/11/2011	LEGACY MANUFACTURING C	03193737305 IA	7399 - BUSINESS SERVICES NOT ELSEWHERE CLASSIFIED	(15.92)
01/10/2011	01/11/2011	ILLINOIS SECTION AWWA	ST CHARLES IL	8999 - PROFESSIONAL SERVICES NOT ELSEWHERE CLASSIFIED	550.00
01/11/2011	01/13/2011	VERIZON WRLS M7225-01	HOFFMAN ESTAT IL	4812 - TELECOMMUNICATION EQUIPMENT	29.98
01/12/2011	01/13/2011	CABELAS RETAIL HOFFMAN	800-2374444 IL	5941 - SPORTING GOODS STORES	50.00
01/12/2011	01/14/2011	VERIZON WRLS M7225-01	HOFFMAN ESTAT IL	4812 - TELECOMMUNICATION EQUIPMENT	344.83
01/27/2011	01/28/2011	ILLINOIS SECTION AWWA	ST CHARLES IL	8999 - PROFESSIONAL SERVICES NOT ELSEWHERE CLASSIFIED	60.00

Retail Services Total 1,018.89

Restaurant

XXXX-XXXX-2043-0538 - MONICA SAAVEDRA - ASSISTANT DIRECTOR

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
01/17/2011	01/19/2011	TASTE OF THAI	HOFFMAN ESTAT IL	5812 - EATING PLACES, RESTAURANTS	47.86
01/18/2011	01/20/2011	TASTE OF THAI	HOFFMAN ESTAT IL	5812 - EATING PLACES, RESTAURANTS	4.00

Restaurant Total 51.86

Retail Services

XXXX-XXXX-2043-0538 - MONICA SAAVEDRA - ASSISTANT DIRECTOR

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
01/19/2011	01/21/2011	WORLD MKT 00003525	HOFFMAN ESTAT IL	5200 - HOME SUPPLY WAREHOUSE	10.00
01/21/2011	01/24/2011	JEWEL #3316	HOFFMAN ESTAT IL	5411 - GROCERY STORES, SUPERMARKETS	41.82

Retail Services Total 51.82

Retail Services

XXXX-XXXX-2049-6752 - GREGORY SCHULDT - ASSISTANT FIRE CHIEF

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
01/05/2011	01/06/2011	DIAMOND ROLLUP DOOR I	419-294-3373 OH	1520 - GENERAL CONTRACTORS RESIDENTIAL AND COMMERCIAL	27.18

Retail Services Total 27.18

Retail Services

XXXX-XXXX-2068-8200 - BOB MARKKO - FLEET SERVICES SUPR

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
01/06/2011	01/07/2011	ALLIEDELECT	2157856200 PA	5732 - ELECTRONICS SALES	24.00

Retail Services Total 24.00

Other

XXXX-XXXX-2068-8200 - BOB MARKKO - FLEET SERVICES SUPR

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
01/19/2011	01/21/2011	HELM PUBLICATION	HIGHLAND PARK MI	5964 - DIRECT MARKETING - CATALOG MERCHANTS	485.00

Other Total 485.00

Account Spending Analysis Detail Report



VILLAGE OF HOFFMAN ESTATES
 RACHEL MUSIALA
 1900 HASSELL RD
 HOFFMAN EST, IL 60169-6302 USA

Posting Date: 01/06/2011 Thru 02/05/2011

Retail Services

XXXX-XXXX-2076-9257 - DOUGLAS SCHULTZ - COMMUNICATIONS

Transaction Date	Posting Date	Merchant	Location	IL	Merchant Category Code	Transaction Amount
01/10/2011	01/11/2011	JEWEL #3220	ELK GROVE	IL	5411 - GROCERY STORES, SUPERMARKETS	69.90

Retail Services Total

69.90

Restaurant

XXXX-XXXX-2135-9298 - EMILY A KEROUS - DIR OF OPS MYR & BD

Transaction Date	Posting Date	Merchant	Location	IL	Merchant Category Code	Transaction Amount
01/24/2011	01/26/2011	ROMANOS 1049	HOFFMAN ESTAT	IL	5812 - EATING PLACES, RESTAURANTS	79.98

Restaurant Total

79.98

Retail Services

XXXX-XXXX-2135-9298 - EMILY A KEROUS - DIR OF OPS MYR & BD

Transaction Date	Posting Date	Merchant	Location	IL	Merchant Category Code	Transaction Amount
01/05/2011	01/07/2011	911 N RUSH STREET QPS	CHICAGO	IL	7523 - AUTOMOBILE PARKING LOTS AND GARAGES	17.00
01/14/2011	01/17/2011	JEWEL #3316	HOFFMAN ESTAT	IL	5411 - GROCERY STORES, SUPERMARKETS	48.05
01/18/2011	01/19/2011	RONALD E. HAYWARD	PALATINE	IL	4121 - LIMOUSINES AND TAXICABS	130.00
01/24/2011	01/25/2011	JEWEL #3316	HOFFMAN ESTAT	IL	5411 - GROCERY STORES, SUPERMARKETS	55.57
01/24/2011	01/25/2011	DAILY HERALD	8474274348	IL	5994 - NEWS DEALERS AND NEWSSTANDS	43.00

Retail Services Total

293.62

Restaurant

XXXX-XXXX-2184-1584 - BEN GIBBS - SEARS CENTRE

Transaction Date	Posting Date	Merchant	Location	IL	Merchant Category Code	Transaction Amount
01/13/2011	01/14/2011	CLAIM JUMPER-HOFFMAN	HOFFMAN ESTAT	IL	5812 - EATING PLACES, RESTAURANTS	100.24
01/19/2011	01/21/2011	LA HACIENDA FERNAND	DEER PARK	IL	5812 - EATING PLACES, RESTAURANTS	39.12
01/31/2011	02/02/2011	CLAIM JUMPER-HOFFMAN	HOFFMAN ESTAT	IL	5812 - EATING PLACES, RESTAURANTS	34.97

Restaurant Total

174.33

Account Spending Analysis Detail Report



VILLAGE OF HOFFMAN ESTATES
 RACHEL MUSIALA
 1900 HASSELL RD
 HOFFMAN EST, IL 60169-6302 USA

Posting Date: 01/06/2011 Thru 02/05/2011

Retail Services

XXXX-XXXX-2184-1584 - BEN GIBBS - SEARS CENTRE

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
01/06/2011	01/06/2011	FACEBOOK.COM*ADS	650-543-7818 CA	7311 - ADVERTISING SERVICES	83.00
01/07/2011	01/07/2011	FACEBOOK.COM*ADS	650-543-7818 CA	7311 - ADVERTISING SERVICES	83.00
01/10/2011	01/10/2011	FACEBOOK.COM*ADS	650-543-7818 CA	7311 - ADVERTISING SERVICES	83.00
01/08/2011	01/10/2011	FACEBOOK.COM*ADS	650-543-7818 CA	7311 - ADVERTISING SERVICES	83.00
01/09/2011	01/10/2011	FACEBOOK.COM*ADS	650-543-7818 CA	7311 - ADVERTISING SERVICES	83.00
01/11/2011	01/11/2011	FACEBOOK.COM*ADS	650-543-7818 CA	7311 - ADVERTISING SERVICES	83.00
01/12/2011	01/12/2011	FACEBOOK.COM*ADS	650-543-7818 CA	7311 - ADVERTISING SERVICES	83.00
01/13/2011	01/13/2011	FACEBOOK.COM*ADS	650-543-7818 CA	7311 - ADVERTISING SERVICES	83.00
01/14/2011	01/14/2011	FACEBOOK.COM*ADS	650-543-7818 CA	7311 - ADVERTISING SERVICES	83.00
01/15/2011	01/17/2011	FACEBOOK.COM*ADS	650-543-7818 CA	7311 - ADVERTISING SERVICES	83.00
01/16/2011	01/17/2011	FACEBOOK.COM*ADS	650-543-7818 CA	7311 - ADVERTISING SERVICES	43.62
01/20/2011	01/21/2011	LAAM INC	972-906-7441 TX	8699 - ORGANIZATIONS, MEMBERSHIP	250.00
01/20/2011	01/21/2011	LAAM INC	972-906-7441 TX	8699 - ORGANIZATIONS, MEMBERSHIP	250.00
01/21/2011	01/24/2011	TLF*ROBBINS FLWRS & GL	ST CHARLES IL	5992 - FLORISTS	64.00
01/24/2011	01/25/2011	LAAM INC	972-906-7441 TX	8699 - ORGANIZATIONS, MEMBERSHIP	(250.00)
01/25/2011	01/26/2011	OFFICE MAX	HOFFMAN ESTAT IL	5943 - OFFICE, SCHOOL SUPPLY, AND STATIONERY STORES	268.94
01/26/2011	01/27/2011	TARGET 00021220	HOFFMAN ESTAT IL	5411 - GROCERY STORES, SUPERMARKETS	69.24
01/27/2011	01/28/2011	TARGET 00021220	HOFFMAN ESTAT IL	5411 - GROCERY STORES, SUPERMARKETS	82.76
01/28/2011	01/31/2011	OFFICE MAX	HOFFMAN ESTAT IL	5943 - OFFICE, SCHOOL SUPPLY, AND STATIONERY STORES	148.82
01/29/2011	01/31/2011	TARGET 00021220	HOFFMAN ESTAT IL	5411 - GROCERY STORES, SUPERMARKETS	41.53
01/28/2011	01/31/2011	MICHAELS #6815	HOFFMAN ESTAT IL	5331 - VARIETY STORES	74.34
01/28/2011	01/31/2011	MICHAELS #6815	HOFFMAN ESTAT IL	5331 - VARIETY STORES	231.41
01/28/2011	01/31/2011	NEXT MEDIA OPERATING I	815-5560100 IL	7311 - ADVERTISING SERVICES	5,299.00
02/04/2011	02/04/2011	TAXI AFFIL SVCS 5142	CHICAGO IL	4121 - LIMOUSINES AND TAXICABS	9.05

Retail Services Total

7,412.71

Other

XXXX-XXXX-2184-1584 - BEN GIBBS - SEARS CENTRE

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
01/06/2011	01/07/2011	YOUSENDIT INC	PALO ALTO CA	7379 - COMPUTER MAINTENANCE, REPAIR, AND SERVICES	9.99
01/26/2011	01/27/2011	CONSTANT CONTACT 1	08662892101 MA	5968 - DIRECT MARKETING CONTINUITY/SUBSCRIPTION MERCHANTS	455.00

Other Total

464.99

Restaurant

XXXX-XXXX-2224-1917 - JOSEPH NEBEL -

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
02/02/2011	02/04/2011	BURGER KING #2461 Q07	HOFFMAN ESTAT IL	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	197.87

Restaurant Total

197.87

Lodging

XXXX-XXXX-2224-1917 - JOSEPH NEBEL -

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
02/02/2011	02/04/2011	# 0678 LA QUINTA INNS	HOFFMAN ESTAT IL	3516 - LA QUINTA MOTOR INNS	44.80
02/02/2011	02/04/2011	# 0678 LA QUINTA INNS	HOFFMAN ESTAT IL	3516 - LA QUINTA MOTOR INNS	44.80
02/02/2011	02/04/2011	# 0678 LA QUINTA INNS	HOFFMAN ESTAT IL	3516 - LA QUINTA MOTOR INNS	44.80
02/02/2011	02/04/2011	# 0678 LA QUINTA INNS	HOFFMAN ESTAT IL	3516 - LA QUINTA MOTOR INNS	44.80
02/02/2011	02/04/2011	# 0678 LA QUINTA INNS	HOFFMAN ESTAT IL	3516 - LA QUINTA MOTOR INNS	66.08

Lodging Total

245.28

Account Spending Analysis Detail Report



VILLAGE OF HOFFMAN ESTATES
 RACHEL MUSIALA
 1900 HASSELL RD
 HOFFMAN EST, IL 60169-6302 USA

Posting Date: 01/06/2011 Thru 02/05/2011

Retail Services

XXXX-XXXX-2224-1917 - JOSEPH NEBEL -

Transaction Date	Posting Date	Merchant	Location	IL	Merchant Category Code	Transaction Amount
01/27/2011	01/31/2011	OFFICE DEPOT #393	SCHAUMBERG	IL	5943 - OFFICE, SCHOOL SUPPLY, AND STATIONERY STORES	49.99

Retail Services Total

49.99

Retail Services

XXXX-XXXX-0111-8159 - ALGEAN GARNER - ASST DIR HHS

Transaction Date	Posting Date	Merchant	Location	IL	Merchant Category Code	Transaction Amount
01/07/2011	01/10/2011	JEWEL #3316	HOFFMAN ESTAT	IL	5411 - GROCERY STORES, SUPERMARKETS	24.15
01/13/2011	01/14/2011	JEWEL #3316	HOFFMAN ESTAT	IL	5411 - GROCERY STORES, SUPERMARKETS	13.52
01/19/2011	01/20/2011	JEWEL #3316	HOFFMAN ESTAT	IL	5411 - GROCERY STORES, SUPERMARKETS	32.96
01/27/2011	01/28/2011	JEWEL #3316 QPS	HOFFMAN ESTAT	IL	5411 - GROCERY STORES, SUPERMARKETS	24.28

Retail Services Total

94.91

Retail Services

XXXX-XXXX-0162-7589 - GORDON EAKEN - DIRECTOR OF INFO SYS

Transaction Date	Posting Date	Merchant	Location	WA	Merchant Category Code	Transaction Amount
01/05/2011	01/06/2011	AMAZON.COM	AMZN.COM/BILL	WA	5942 - BOOK STORES	182.99
01/21/2011	01/21/2011	COMCAST CHICAGO	800-COMCAST	IL	4899 - CABLE AND OTHER PAY TELEVISION SERVICES	64.95
01/26/2011	01/27/2011	AMAZON MKTPLACE PMTS	AMZN.COM/BILL	WA	5942 - BOOK STORES	328.62
01/27/2011	01/28/2011	AMAZON MKTPLACE PMTS	AMZN.COM/BILL	WA	5942 - BOOK STORES	86.96
02/03/2011	02/03/2011	COMCAST CHICAGO	800-COMCAST	IL	4899 - CABLE AND OTHER PAY TELEVISION SERVICES	59.95

Retail Services Total

723.47

Other

XXXX-XXXX-0162-7589 - GORDON EAKEN - DIRECTOR OF INFO SYS

Transaction Date	Posting Date	Merchant	Location	WA	Merchant Category Code	Transaction Amount
01/10/2011	01/12/2011	MICROSOFT TECHNET	800-344-2121	WA	4816 - COMPUTER NETWORK/INFORMATION SERVICES	249.00

Other Total

249.00

Total Amount:

45,245.45

VILLAGE OF HOFFMAN ESTATES

AN ORDINANCE GRANTING A VARIATION TO
YORKSHIRE WOODS HOMEOWNERS ASSOCIATION,
HOFFMAN ESTATES, ILLINOIS

WHEREAS, the Zoning Board of Appeals, at a public meeting duly called and held according to law on March 8, 2011, considered the request by Yorkshire Woods Homeowners Association, the owner of record of property legally described on Exhibit "A" and attached hereto and made a part hereof, for a variation to permit subdivision identification signs to be illuminated on the properties located at the northwest and northeast corners of McDonough Road and Heron Way and at the southwest and northwest corners of McDonough Road and Nicholson Drive; and

WHEREAS, the Zoning Board of Appeals made certain Finding of Fact attached hereto and made a part hereof as Exhibit "B" and recommended approval of a variation to the Board of Trustees; and

WHEREAS, it appears that there are particular hardships and unique circumstances from the application of the strict letter of the Zoning Ordinance to the property in question and that the proposed variation has met the standards of 9-1-15-C of the Hoffman Estates Municipal Code; and

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: That there be and is hereby granted to Yorkshire Woods Homeowners Association, a variation from the requirements of Section 9-3-8-L-4 to permit illumination of four (4) existing one-sided residential subdivision identification signs ("Yorkshire Woods") on the northwest and northeast corners of McDonough Road and Heron Way and at the southwest and northwest corners of McDonough Road and Nicholson Drive.

Section 2: That this variation is subject to the conditions that as part of the final Village inspection of the sign illumination, at the direction of Development Services staff, if needed, the petitioner shall adjust the lights to ensure glare will not be evident on surrounding property and/or adjacent streets, and that the sign illumination shall be turned off and not operated between the hours of 11:00 p.m. and 6:00 a.m.

Section 3: That the Village Clerk is hereby authorized to publish this ordinance in pamphlet form.

Section 4: That this Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2011

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Raymond M. Kincaid	_____	_____	_____	_____
Trustee Jacquelyn Green	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2011

Village President

ATTEST:

Village Clerk

Published in pamphlet form this _____ day of _____, 2011.

EXHIBIT "A"

LEGAL DESCRIPTION

P.I.N.s: 06-09-100-005, 06-09-200-028

LOT 1 IN KELLEY FARM BEING A SUBDIVISION OF PART OF THE NORTH 1/2 OF SECTION 9 AND THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 41 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 11, 2001 AS DOCUMENT NUMBER 0010947938 IN COOK COUNTY, ILLINOIS

VILLAGE OF HOFFMAN ESTATES
ZONING BOARD OF APPEALS

FINDING OF FACT

DATE OF PUBLIC HEARING: March 8, 2011

DATE OF PRESENTATION TO VILLAGE BOARD: March 14, 2011

PETITION: Hearing held at the request of Yorkshire Woods Homeowners Association to consider variations from the Zoning Code to permit the illumination of existing subdivision identification signs located at the intersections of Heron Way and McDonough Road and Nicholson Drive and McDonough Road.

DISTRICT IN WHICH PROPERTY IS LOCATED: R-3, One Family Residential District

ZONING CODE SECTION(S) FOR VARIATION: 9-3-8-L-4

FINDING-OF-FACT: The Zoning Board of Appeals (ZBA) found that the Standards for a Variation (9-1-15-C) were met.

MOTION: Request to grant the Yorkshire Woods Homeowners Association, *a variation from Section 9-3-8-L-4 to permit illumination of four existing one-sided residential subdivision identification signs ("Yorkshire Woods") on the northwest and northeast corners of McDonough Road and Heron Way and on the southwest and northwest corners of McDonough Road and Nicholson Drive.*

1. As part of the final Village inspection of the sign illumination, at the direction of Development Services staff, if needed the petitioner shall adjust the lights to ensure glare will not be evident on surrounding property and/or adjacent streets.
2. The sign illumination shall be turned off and not operated between the hours of 11:00 p.m. and 6:00 a.m.

RECOMMENDATION: The Zoning Board of Appeals (ZBA) recommends approval of this request.

The Yorkshire Woods subdivision includes two identification signs at each of the two entrances. The homeowner's association is requesting a variation to allow the signs to be illuminated partly for security reasons and primarily for aesthetic reasons. There are several other subdivisions with identification signs, a few of which have been granted variations to be illuminated.

The Zoning Board recommended approval of the request.

AUDIENCE COMMENTS

None.

VOTE:

5 Ayes

0 Nays

2 Absent (Ali, Ciffone)

ZONING BOARD OF APPEALS

Chairman William Weaver

Vice-Chairperson Denise Wilson

Michael Ciffone

Masoom Ali

Donna Boomgarden

Michael Gaeta

Gaurav Patel

*** IMMEDIATE AUTHORIZATION TO APPLY FOR PERMITS IS REQUESTED ***

**THIS VARIATION WILL EXPIRE UNLESS ACTED UPON WITHIN ONE (1) YEAR
OF VILLAGE BOARD APPROVAL**

FINDING OF FACT WRITTEN BY DEVELOPMENT SERVICES STAFF

VILLAGE OF HOFFMAN ESTATES

AN ORDINANCE APPROVING A
MASTER SIGN PLAN IN ACCORDANCE WITH
SECTION 9-3-8-M-12 OF THE ZONING CODE
FOR THE PROPERTY LOCATED AT
1165-1199 N. BARRINGTON ROAD AND
2501-2599 W. GOLF ROAD, HOFFMAN ESTATES, ILLINOIS

WHEREAS, the Zoning Board of Appeals of the Village of Hoffman Estates, at a public hearing called and held according to law on March 8, 2011, considered the request of RMS Properties LLC for a Master Sign Plan on the property located at 1165-1199 N. Barrington Road and 2501-2599 W. Golf Road; and

WHEREAS, the Zoning Board of Appeals made a certain Finding of Fact attached hereto and made a part hereof as Exhibit "B" and recommended approval of said amendment to the Board of Trustees.

WHEREAS, the President and Board of Trustees of the Village of Hoffman Estates, after reviewing the recommendation of said Zoning Board of Appeals, find and believe it to be in the best interest of the Village that the amendment to the Hoffman Estates Municipal Code be granted.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: That the Master Sign Plan attached hereto as Exhibit "A" shall be the approved Master Sign Plan in accordance with Section 9-3-8-M-12 of the Zoning Code for the Hoffman Village Shopping Center, located at 1165-1199 N. Barrington Road and 2501-2599 W. Golf Road based on the "Hoffman Village Shopping Center Master Sign Plan" (dated March 8, 2011).

Section 2: That this Master Sign Plan shall apply to the property legally described in Exhibit "C" attached hereto.

Section 3: That the Village Clerk is hereby authorized to publish this ordinance in pamphlet form.

Section 4: That this Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2011

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Raymond M. Kincaid	_____	_____	_____	_____
Trustee Jacquelyn Green	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2011

Village President

ATTEST:

Village Clerk
Published in pamphlet form this _____ day of _____, 2011.

EXHIBIT "C"

LEGAL DESCRIPTION:

P.I.N.: 07-18-100-011, 013

THE FRACTIONAL NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 41 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPTING THEREFROM THAT ARE LYING SOUTH OF A LINE PARALLEL WITH THE SOUTH LINE OF SAID NORTHWEST QUARTER DRAWN THROUGH A POINT ON THE EAST LINE OF SAID NORTHWEST QUARTER, 1933.07 FEET NORTH OF THE SOUTHEAST CORNER THEREOF; AND ALSO EXCEPT THE NORTH 250 FEET, AS MEASURED ON THE WEST SECTION LINE OF THE WEST 250 FEET, ALSO BEING PARALLEL WITH THE NORTH SECTION LINE; AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF FRACTIONAL NORTHWEST QUARTER OF SECTION 18 AFORESAID; THENCE SOUTH ALONG THE EAST LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 520.60 FEET; THENCE WESTERLY ON A LINE PARALLEL WITH NORTH LINE OF SAID SECTION, A DISTANCE OF 300 FEET; THENCE NORTHERLY ON A LINE PARALLEL WITH THE EAST LINE AFORESAID TO THE NORTH LINE OF SAID SECTION 18; THENCE EASTERLY ALONG THE NORTHERLY LINE OF SECTION 18 TO THE POINT OF BEGINNING; AND ALSO EXCEPT THE WESTERLY 55.0 FEET THEREOF; AND ALSO EXCEPT THE PART LYING NORTH OF THE SOUTH LINE OF GOLF ROAD PER DOCUMENT NUMBER 10550563 AND ALSO EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE EAST LINE OF THE WEST 250 FEET OF SAID FRACTIONAL NORTHWEST QUARTER OF SECTION 18 AND THE SOUTH RIGHT OF WAY LINE OF GOLF ROAD AS PER DOCUMENT NUMBER 10550563, RECORDED DECEMBER 10, 1929; THENCE EAST ALONG SAID SOUTH RIGHT OF WAY LINE OF GOLF ROAD TO A POINT ON THE WEST LINE OF THE EAST 300 FEET TO THE NORTHWEST FRACTIONAL QUARTER OF SAID SECTION 18; THENCE SOUTH ON THE WEST LINE OF THE EAST 300 FEET OF THE NORTHWEST FRACTIONAL QUARTER OF SAID SECTION 18 TO A POINT ON A LINE NORMALLY DISTANT 20 FEET SOUTH OF SAID RIGHT OF WAY LINE OF GOLF ROAD; THENCE WEST ALONG SAID LINE DISTANCE 20 FEET SOUTH OF AND PARALLEL TO THE SAID SOUTH RIGHT OF WAY LINE OF GOLF ROAD TO A POINT ON THE EAST LINE OF THE WEST 250 FEET OF THE NORTHWEST FRACTIONAL QUARTER OF SAID SECTION 18, THENCE NORTH ALONG SAID EAST LINE OF THE WEST 250 FEET OF THE NORTHWEST FRACTIONAL QUARTER OF SAID SECTION 18, TO THE POINT OF BEGINNING), IN COOK COUNTY, ILLINOIS.

VILLAGE OF HOFFMAN ESTATES
ZONING BOARD OF APPEALS

FINDING OF FACT

DATE OF PUBLIC HEARING: March 8, 2011

DATE OF PRESENTATION TO VILLAGE BOARD: March 14, 2011

PETITION: Hearing held at the request of RMS Properties LLC to consider a master sign plan under the Zoning Code to permit signage on the property located at 1165-1199 N. Barrington Road and 2501-2599 W. Golf Road, commonly known as the Hoffman Village Shopping Center.

DISTRICT IN WHICH PROPERTY IS LOCATED: B-2, Community Business District

ZONING CODE SECTION(S) FOR VARIATION(S): 9-3-8-M-12

FINDING-OF-FACT: The Zoning Board of Appeals (ZBA) found that the Standards for a Master Sign Plan (9-3-8-M-12) were met.

MOTION: Request to grant RMS Properties LLC, *approval of a Master Sign Plan in accordance with Section 9-3-8-M-12 of the Zoning Code for the Hoffman Village Shopping Center located at 1165-1199 North Barrington Road and 2501-2599 West Golf Road based on the "Hoffman Village Shopping Center Master Sign Plan" (dated March 8, 2011).*

RECOMMENDATION: The Zoning Board of Appeals (ZBA) recommends approval of this request.

The Hoffman Village master sign plan would address the three main categories of signs for the shopping center: ground signs, wall signs, and "HV" medallion signs. The two existing ground signs would be replaced to match the new architecture of the building. The wall signs would be permitted in the allowable sign boxes shown on the building elevations, which have been planned to be integrated with the new façade. The "HV" medallion signs are intended to tie the tower elements of the large building together as a unifying image for the shopping center.

The text of the master sign plan was written to provide restrictions for the signs anticipated at this property.

The Zoning Board had no concerns about the proposed master sign plan and recommended approval of the request.

AUDIENCE COMMENTS

None.

VOTE:

5 Ayes

0 Nay

2 Absent (Ali, Ciffone)

ZONING BOARD OF APPEALS

Chairman William Weaver

Vice-Chairperson Denise Wilson

Michael Ciffone

Masoom Ali

Donna Boomgarden

Michael Gaeta

Gaurav Patel

IMMEDIATE AUTHORIZATION TO APPLY FOR PERMITS IS REQUESTED

FINDING OF FACT WRITTEN BY DEVELOPMENT SERVICES STAFF

VILLAGE OF HOFFMAN ESTATES

AN ORDINANCE APPROVING A
MASTER SIGN PLAN IN ACCORDANCE WITH
SECTION 9-3-8-M-12 OF THE ZONING CODE
FOR THE PROPERTY LOCATED AT
1405-1425 PALATINE ROAD, HOFFMAN ESTATES, ILLINOIS

WHEREAS, the Zoning Board of Appeals of the Village of Hoffman Estates, at a public hearing called and held according to law on February 22 and March 8, 2011, considered the request of East Lake Property Management Group, Inc. and Subway for a Master Sign Plan on the property located at 1405-1425 Palatine Road; and

WHEREAS, the Zoning Board of Appeals made a certain Finding of Fact attached hereto and made a part hereof as Exhibit "B" and recommended approval of said amendment to the Board of Trustees.

WHEREAS, the President and Board of Trustees of the Village of Hoffman Estates, after reviewing the recommendation of said Zoning Board of Appeals, find and believe it to be in the best interest of the Village that the amendment to the Hoffman Estates Municipal Code be granted.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: That the Master Sign Plan attached hereto as Exhibit "A" shall be the approved Master Sign Plan in accordance with Section 9-3-8-M-12 of the Zoning Code for the Rose Plaza Shopping Center, located at 1405-1425 Palatine Road based on the "Rose Plaza Shopping Center Master Sign Plan" (dated February 22, 2011).

Section 2: That this Master Sign Plan shall apply to the property legally described in Exhibit "C" attached hereto.

Section 3: That the Village Clerk is hereby authorized to publish this ordinance in pamphlet form.

Section 4: That this Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2011

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Raymond M. Kincaid	_____	_____	_____	_____
Trustee Jacquelyn Green	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2011

Village President

ATTEST:

Village Clerk
Published in pamphlet form this _____ day of _____, 2011.

EXHIBIT "C"

LEGAL DESCRIPTION:

PIN #02-19-119-050

LOT 1 OF VILLAGE SQUARE SECOND RESUBDIVISION, BEING A RESUBDIVISION OF LOT 1 OF VILLAGE SQUARE RESUBDIVISION IN THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.

VILLAGE OF HOFFMAN ESTATES
ZONING BOARD OF APPEALS

FINDING OF FACT

DATE OF PUBLIC HEARING: February 22 and March 8, 2011

DATE OF PRESENTATION TO VILLAGE BOARD: March 14, 2011

PETITION: Hearing held at the request of East Lake Property Management Group, Inc. and Subway to consider a master sign plan/sign variation for the property located at 1405-1425 Palatine Road and commonly known as the Rose Plaza Shopping Center.

DISTRICT IN WHICH PROPERTY IS LOCATED: R-9, F-2 Planned Development District, Business

ZONING CODE SECTION(S) FOR VARIATION(S): 9-3-8-M-12

FINDING-OF-FACT: The Zoning Board of Appeals (ZBA) found that the Standards for a Master Sign Plan (9-3-8-M-12) were met.

MOTION: Request to grant East Lake Property Management Group, Inc. and Subway at 1405-1425 Palatine Road (Rose Plaza Shopping Center), *approval of a Master Sign Plan in accordance with Section 9-3-8-M-12 of the Zoning Code for the Rose Plaza Shopping Center located at 1405 – 1425 Palatine Road based on the “Rose Plaza Shopping Center Master Sign Plan” (dated February 22, 2011).*

RECOMMENDATION: The Zoning Board of Appeals (ZBA) recommends approval of this request.

The petitioners requested consideration of a master sign plan that basically adheres to the underlying sign regulations. The plan does include provisions for a wall sign to be placed on the rear elevation of a business in the out-building, if that business has been approved by the Village to install a rear customer entrance. The rear of the out-building faces a parking lot and a sidewalk connects the two buildings of the shopping center. The petitioner represented Subway, which is the only business that has been approved previously to install a rear customer entrance. However, without a wall sign, many shoppers who travel across the property behind the building do not know what businesses are in the out-building, nor are many aware that Subway has a rear customer entrance.

The master sign plan would limit the illumination of the Subway wall sign to the hours that the business is open, which is stricter than the zoning code, and would not require the signs to be turned off at night.

Many shopping centers in the Village and elsewhere permit signs to be placed on the rear elevation, and the request is more logical in this case where the rear of the out-building faces a parking lot for customers.

The Zoning Board found the request to be reasonable and recommended approval of the request.

AUDIENCE COMMENTS

None.

VOTE:

5 Ayes

0 Nay

2 Absent (Ali, Ciffone)

ZONING BOARD OF APPEALS

Chairman William Weaver

Vice-Chairperson Denise Wilson

Michael Ciffone

Masoom Ali

Donna Boomgarden

Michael Gaeta

Gaurav Patel

IMMEDIATE AUTHORIZATION TO APPLY FOR PERMITS IS REQUESTED

FINDING OF FACT WRITTEN BY DEVELOPMENT SERVICES STAFF

VILLAGE OF HOFFMAN ESTATES

**AN ORDINANCE RESERVING VOLUME CAP IN CONNECTION WITH
PRIVATE ACTIVITY BOND ISSUES AND RELATED ISSUES**

WHEREAS, the Village of Hoffman Estates, Cook and Kane Counties, Illinois (the "Municipality"), is a municipality and a home rule unit of government under Section 6 of Article VII of the 1970 Constitution of the State of Illinois; and

WHEREAS, Section 146 of the Internal Revenue Code of 1986, as amended (the "Code"), provides that the Municipality has volume cap equal to \$90.00 per resident of the Municipality in each calendar year, which volume cap may be reserved and allocated to certain tax-exempt private activity bonds; and

WHEREAS, the Illinois Private Activity Bond Allocation Act, 30 ILCS 1998, 345/1 et. seq., as supplemented and amended (the "Act") provides that a home rule unit of government may transfer its allocation of volume cap to any other home rule unit of government, the State of Illinois or any agency thereof or any non-home rule unit of government; and

WHEREAS, it is now deemed necessary and desirable by the Municipality to reserve all of its volume cap allocation for calendar year 2011 to be applied toward the issuance of private activity bonds (the "Bonds"), as provided in this Ordinance, or to be transferred, as permitted by this Ordinance.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: That, pursuant to Section 146 of the Code and the Act, the entire volume cap of the Municipality for calendar year 2011 is hereby reserved by the Municipality, which shall issue the Bonds using such volume cap, or shall use or transfer such volume cap, without any further action required on the part of the Municipality, and the adoption of this Ordinance shall be deemed to be an allocation of such volume cap to the issuance of the Bonds or such other bonds; provided, that any such transfer shall be evidenced by a written instrument executed by the mayor or any other proper officer or employee of the Municipality.

Section 2: That the Municipality shall maintain a written record of this Ordinance in its records during the term that the Bonds or any other such bonds to which such volume cap is allocated remain outstanding.

Section 3: That the President, Village Clerk and all other proper officers, officials, agents and employees of the Municipality are hereby authorized, empowered and directed to do all such acts and things and to execute all such documents and certificates as may be necessary to further the purposes and intent of this Ordinance.

Section 4: That the provisions of this Ordinance are hereby declared to be separable, and if any section, phrase or provision of this Ordinance shall for any reason be declared to be invalid, such declaration shall not effect the remainder of the sections, phrases and provisions of this Ordinance.

Section 5: That the Village Clerk is hereby authorized to publish this ordinance in pamphlet form.

Section 6: That this Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2011

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Raymond M. Kincaid	_____	_____	_____	_____
Trustee Jacquelyn Green	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2011

Village President

ATTEST:

Village Clerk

Published in pamphlet form this _____ day of _____, 2011.

AGENDA
GENERAL ADMINISTRATION & PERSONNEL COMMITTEE
VILLAGE OF HOFFMAN ESTATES
APRIL 11, 2011

7:30 p.m. – Board Room

Members: Gary Stanton, Chairperson
Ray Kincaid, Vice-Chairperson
Gary Pilafas, Trustee
Karen Mills, Trustee
Jacquelyn Green, Trustee
Anna Newell, Trustee
William McLeod, Mayor

I. Roll Call

II. Approval of Minutes – March 14, 2011

NEW BUSINESS

1. Discussion regarding the Legislative Update.
2. Request approval of request by the Hoffman Estates Chamber of Commerce for waiver of Village fees associated with the Annual Community Fishing Derby.
3. Request acceptance of Cable TV Monthly Report.
4. Request acceptance of Human Resources Management Monthly Report.

III. President's Report

IV. Other

V. Adjournment

AGENDA
TRANSPORTATION AND ROAD IMPROVEMENT COMMITTEE
Village of Hoffman Estates
April 11, 2011

DRAFT #1

Immediately following General Administration and Personnel

Members:	Ray Kincaid, Chairperson	Karen Mills, Trustee
	Gary Pilafas, Vice Chairperson	Jacquelyn Green, Trustee
	Gary Stanton, Trustee	Anna Newell, Trustee
		William McLeod, Mayor

I. Roll Call

II. Approval of Minutes – March 14, 2011

NEW BUSINESS

1. Review of a request to restrict parking near two driveways for Fairview School on Arizona Boulevard.
2. Request authorization to:
 - a. Award contract for the 2011 Street Revitalization Project to _____ (low bidder) in the amount of \$ _____.
 - b. Award contract for materials testing for the 2011 Street Revitalization Project to _____ in an amount not to exceed \$ _____.
3. Request acceptance of Transportation Division Monthly Report.

III. President's Report

IV. Other

V. Items in Review

VI. Adjournment

AGENDA
PLANNING, BUILDING AND ZONING COMMITTEE
Village of Hoffman Estates
April 11, 2011

Immediately Following the Transportation & Road Improvement Committee

Members:	Gary Pilafas, Chairperson	Karen Mills, Trustee
	Gary Stanton, Vice Chairperson	Jacquelyn Green, Trustee
	Ray Kincaid, Trustee	Anna Newell, Trustee
		William McLeod, Mayor

I. Roll Call

II. Approval of Minutes - March 14, 2011

NEW BUSINESS

1. Request by SKW Capital Management for a courtesy review for a Chase Bank to be located on the site of the current Myoda Building at 1070 Roselle Road.
2. Request by Dino Alex for approval of a Redevelopment Agreement providing TIF funding for the redevelopment at the southeast corner of Roselle and Golf Roads in an amount of \$150,000.
3. Request approval of a temporary construction easement and a permanent traffic signal easement with Golf Center Shopping Center to allow installation of a traffic signal at the shopping center entrance from Roselle Road.
4. Request by St. Alexius Medical Center for approval of a development agreement regarding the platting requirements for the hospital campus properties at 1555 North Barrington Road.
5. Request approval by Alexian Brothers Behavioral Health Hospital for a plat of easement for the existing watermain on the property at 1650 Moon Lake Boulevard.
6. Request approval of amendments to the Municipal Code to combine the functions of the Plan Commission and Zoning Board of Appeals.
7. Request acceptance of Department of Development Services monthly report for Planning Division.
8. Request acceptance of Department of Development Services monthly report for Code Enforcement Division.
9. Request acceptance of Department of Development Services monthly report for Economic Development and Tourism.

III. President's Report

IV. Other

V. Items in Review

1. Discussion regarding approval procedures and policy for cellular antenna requests.
(May)

VI. Adjournment

VILLAGE OF HOFFMAN ESTATES
ZONING BOARD OF APPEALS

FINDING OF FACT

DATE OF PUBLIC HEARINGS: March 22, 2011

DATE OF PRESENTATION TO VILLAGE BOARD: April 4, 2011

PETITION: Hearing held at the request of the Twelve Oaks at Morningside Condominium Association and Dolan Realty Advisors, LLC as agent for AT&T to consider variations and a special use under the Zoning Code to permit the installation of rooftop cellular antennas and accompanying equipment on the property located at 1800 Huntington Boulevard.

DISTRICT IN WHICH PROPERTY IS LOCATED: R4, One Family Residential

ZONING CODE SECTION(S) FOR VARIATION: 9-3-9-A

ZONING CODE SECTION(S) FOR SPECIAL USE: 9-3-9-A and 9-5-11-E-3

FINDING-OF-FACT: The ZBA found that the Standards for a Variation (9-1-15-C) and Standards for a Special Use (9-1-18-I) **were met.**

MOTION: Request to grant the Twelve Oaks at Morningside Condominium Association and Dolan Realty Advisors, LLC as agent for AT&T, *a special use under Section 9-3-9-A and Section 9-5-11-E-3 and a nineteen (19) foot height variation from Section 9-3-9-A to permit a maximum of nine (9) cellular antennas at a maximum seventy nine (79) feet high, with the top of the antennas not to exceed eight (8) feet above the roofline, and associated equipment on the east building of the Twelve Oaks at Morningside Condominiums at 1800 Huntington Boulevard.* The following conditions shall apply:

1. Per Zoning Code Section 9-1-18-L, should the operation of this cellular facility cease for a period of six (6) months, the antennas shall be removed.
2. To minimize the visual impact of the antennas, the antennas and mounting hardware shall be painted a neutral gray or light blue color to match the sky.

The petitioner was agreeable to the above listed conditions.

RECOMMENDATION: The Zoning Board of Appeals (ZBA) recommends **approval** of this request.

Mike Douchant with Dolan Realty Advisors, the agent for AT & T Mobility and Twelve Oaks at Morningside Condominium Association stated that this request is for a rooftop application, not a tower, and it is virtually the same as other installations in the Village. The need for the height relief is due to the building height itself and terrain around the building. They are a line of sight

business so the antennas have to be able to get to phone users. These antennas would be on sleds and not affixed to the side of the building. The equipment is well obscured and would be well hidden. As the staff report notes, this isn't unlike others that have been approved. The equipment cabinets would be located in such a way that they would not be seen from the ground.

Mr. Douchant also informed the board that many times the need for antennas is not so much for coverage as it is for capacity issues as well.

Once the motion was amended to limit the height of the antennas to eight (8) feet above roof line, the board had no objection to the petitioner request. The reason for amending the motion was due to the fact that there was an error on the drawings that was presented to the board about the actual height of the building.

AUDIENCE COMMENTS

Paul Wilson of 1750 Chippendale asked about the control building for this antenna and was advised by the Chairman that it would be on the rooftop and you probably wouldn't be able to see it.

VOTE:

6 Ayes

0 Nay

1 Absent (Ali)

ZONING BOARD OF APPEALS

Chairman William Weaver

Vice-Chairperson Denise Wilson

Michael Ciffone

Masoom Ali

Donna Boomgarden

Michael Gaeta

Gaurav Patel

*** IMMEDIATE AUTHORIZATION TO APPLY FOR PERMITS IS REQUESTED ***

**THIS SPECIAL USE AND VARIATION WILL EXPIRE UNLESS
ACTED UPON WITHIN ONE (1) YEAR OF VILLAGE BOARD APPROVAL**

FINDING OF FACT WRITTEN BY DR. GAURAV PATEL

VILLAGE OF HOFFMAN ESTATES

Memo

TO: William Weaver, Zoning Board of Appeals Chairman

FROM: Josh Edwards, Assistant Planner *JAE*

RE: 1800 HUNTINGTON BOULEVARD – TWELVE OAKS AT MORNINGSIDE CONDOMINIUMS – SPECIAL USE AND VARIATION – DOLAN REALTY ADVISORS, LLC, AS AGENT FOR AT&T MOBILITY AND TWELVE OAKS AT MORNINGSIDE CONDOMINIUM ASSOCIATION – COMMUNICATION ANTENNAS & ASSOCIATED EQUIPMENT

DATE: March 17, 2011

HEARING DATE: March 22, 2011

1. REQUEST SUMMARY

Request by Dolan Realty Advisors, LLC, as agent for AT&T Mobility and Twelve Oaks at Morningside Condominium Association for a special use and variation to permit 9 cellular antennas and associated equipment to be installed on the roof of the east building of the Twelve Oaks Condominiums at 1800 Huntington Boulevard.

2. PETITIONER PROPOSAL

The petitioner is proposing to install 9 cellular antennas on the roof of the eastern building of Twelve Oaks Condominiums to provide improved cellular phone coverage for AT&T customers in the surrounding neighborhood as well as inside Hoffman Estates High School. The installation of new antennas requires a special use approval. The proposed maximum height for the new antennas is 79 feet above grade to the top of the antennas, which requires a 19 foot height variation from the maximum permitted 60 feet. Three arrays each with three antennas would be installed; two arrays at the east end of the roof and one array at the west end. The panel antennas are approximately 8 feet high.

No separate building or equipment is proposed on the ground. New equipment cabinets and wiring would be installed on the roof and, due to its low profile would not be visible from the ground.

The antennas would be painted a neutral color to match the sky. The petitioner has provided photo simulations of the proposed installation. Although the antennas are proposed above the roofline, the grade and landscaping of the area immediately around the building help to mitigate views of the antennas.

The antennas would be very similar in appearance to the 12 Voicestream (now T-Mobile) antennas installed on the roof of the west building of the Twelve Oaks property (1840 Huntington Boulevard).

3. SITE CONDITIONS

- a) The subject property is zoned Residential Planned Development (RPD).
- b) Two 6-story residential condominium buildings are located on the \pm 6.5 acre property.
- c) The preserved wooded open space parcel and the golf course to the north and the residential properties to the south and east are zoned RPD. The residential properties to the west are zoned A-1 Apartment District.

4. APPLICABLE REQUIREMENTS

- a) Section 9-3-9 (p. CD9:58) states that a special use is required for antennas mounted over 45 feet to 60 feet. A height variation is required for an antenna to be higher than 60 feet.
- b) Section 9-5-11-E-3 (p. CD9:96) states that public utility and public service uses are a special use in the RPD District.

5. ADJACENT OWNER COMMENTS

Standard notification letters have been mailed and no comments have been received.

6. SPECIAL USE/VARIATION HISTORY

Subject Property

Ordinance No. 3232-2000 granted a special use and variation for 12 Voicestream (now T-Mobile) cellular antennas on the roof of the 1840 Huntington Boulevard building at a height of 67 feet above grade. The lower height of this approval compared with the AT&T proposal is due to differences in foundation grades of the two buildings, but the two installations are nearly identical and include antennas above the roofline.

Similar Properties – Rooftop Antennas

Most recently, antennas and microwave dishes have been approved on the rooftops of the Sears Headquarters building (3333 Prairie Stone Parkway) and the Doctors Building Two at St. Alexius Medical Center (1585 Barrington Road). These installations included antennas attached to the penthouse of the buildings just below the roofline, but the antennas were more visible to surrounding properties than the subject property, and the buildings were taller than the subject building, making installation of the antennas above the roofline unnecessary.

7. IMMEDIATE AUTHORIZATION TO APPLY FOR PERMIT

The petitioner has requested an immediate authorization to apply for permit.

8. DEVELOPMENT SERVICES COMMENTS

The proposal to install antennas onto an existing building rather than erecting a separate antenna tower will minimize visual clutter. The height of the building, proposed camouflaged painting, extent of surrounding landscaping and wooded areas, and the varying grades of areas around the building will reduce the visibility of the antennas from Huntington Boulevard or the surrounding properties. These factors diminish the impact of allowing the antennas to be raised above the roofline, rather than attached to the building just below the roofline as has been typical of similar requests elsewhere in the Village. A condition is proposed to ensure that the antennas are painted a neutral sky color.

The motion has been written for a maximum height of 79 feet above grade and for 9 cellular antennas. Future changes to this configuration would require a new special use and height variation review.

The petitioner has provided a copy of a structural report documenting the structural integrity of the installation.

The Federal Telecommunications Act of 1996 expressly preempts local governments from regulating the placement, construction, or modification of personal wireless services on the basis of environmental or health concerns. Such concerns cannot be used as a basis of the decision whether to grant a special use.

9. MOTION

Should the Zoning Board find that the Standards for a Special Use and Standards for a Variation are met, the following motion is provided with conditions:

A special use under Section 9-3-9-A and Section 9-5-11-E-3 and a nineteen (19) foot height variation from Section 9-3-9-A to permit a maximum of nine (9) cellular antennas at seventy nine (79) feet high and associated equipment on the east building of the Twelve Oaks at Morningside Condominiums at 1800 Huntington Boulevard.

The following conditions shall be applied to the above motion:

- 1. Per Zoning Code Section 9-1-18-L, should the operation of this cellular facility cease for a period of six (6) months, the antennas shall be removed.*
- 2. To minimize the visual impact of the antennas, the antennas and mounting hardware shall be painted a neutral gray or light blue color to match the sky.*

cc: Corporation Counsel, D. O'Malley, D. Plass, R. Norton, Petitioner

VILLAGE OF HOFFMAN ESTATES
ZONING BOARD OF APPEALS

APPLICATION FOR ANTENNA SPECIAL USE/HEIGHT VARIATION HEARING

FOR VILLAGE USE ONLY

Special Use Hearing Fee \$400.00 Height Variation Required: Yes No Fee \$400.00
Amount Paid 800.00 Date Paid 10/12/10 Received By J. EDWARDS
Hearing Date: _____ Time: _____ Legal Published _____
Receipt Number _____ Check No. 9916 Zoning District RPD
Complete application received on _____ by _____

**** ONLY COMPLETE APPLICATIONS WILL BE ACCEPTED ****

ADDRESS OF SUBJECT PROPERTY: 1800 HUNTINGTON BLVD, HOFFMAN ESTATES, IL 60165
PROPERTY INDEX NUMBER (PIN): 07-08-101-026-100

PLEASE PRINT OR TYPE

1. NAME OF PROPERTY OWNER(S) TWELVE OAKS AT MORNING-SIDE CONDOMINIUM ASSOCIATION
This must be the legal owner. Written owner authorization is required from the owner in order for a representative to proceed with process. An Economic Disclosure Statement (attached) must be filed by the Owner.

E-Mail Address N/A Fax N/A

Owner's Address 120 KRISTIN CIRCLE Phone N/A

City SCITUMBURG State IL Zip 60195

2. PERSON APPLYING IF OTHER THAN OWNER

Name DOUGLAS K DOLAN Company DOLAN REALTY ADVISORS, LLC

E-Mail Address ddolan@dolanrealtyservices.com Fax 314-963-7719

Address 11 E. LOCKWOOD AVE #200 Phone 314-963-7700

City WEBSTER GROVE State MO Zip 63119

3. CARRIER INFORMATION

Name of Carrier: AT&T MOBILITY

New installation Co-Location _____ (Check One)

Number of Existing Antennas: _____ Number of Proposed Antennas: 9

Type of Antenna(s): _____ Height to Top of Antennas(s): _____

4. OWNER'S RIGHT TO PROVIDE A COURT REPORTER

A property owner may provide a court reporter for the hearing. It is required that the property owner specifically waive the right to provide a court reporter if the property owner chooses not to provide a court reporter. (Please check appropriate box)

I understand I have the right to provide a court reporter to transcribe the hearing.

I hereby advise that a court reporter will be provided.

I hereby waive the right to provide a court reporter.

5. ACKNOWLEDGEMENT

Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Plan Commission member or Chair, or any Zoning Board of Appeals member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village.

Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.

6. OWNER AUTHORIZATION FOR VARIATION/SPECIAL USE HEARINGS

I understand the requirement for the owner or an authorized representative to be present at the hearing with full authority to commit to requests, conditions and make decisions on behalf of the owner. If I am unable to attend the hearing I hereby authorize DOUGLAS K DOLAN to act on my behalf and advise that ~~he~~she has full authority to act as my ~~own~~ representative.

7. The Owner and Applicant, by signing the Special Use/Variation Application, certifies to the correctness of the application and all submittals.

Owner's Signature _____

Name (Please Print) _____

X Applicant's Signature *Douglas K Dolan*

Name (Please Print) DOUGLAS K DOLAN

Date 3/4/11

February 17, 2011

Village of Hoffman Estates

Dear Planning Commission and Staff:

AT&T Mobility is planning on enhancing its network in the Village of Hoffman Estates. The need for this site is to reduce dropped calls, increase wireless data downloads/uploads, provide enhanced E911 capabilities and address future growth projections of voice and data.

AT&T desires to limit the visibility of its antennas and equipment. In this case, AT&T selected a rooftop and antenna design with the following characteristics:

1. Building Roof line and antennas are partially obscured by mature trees.
2. The neighboring property uses are primarily multi-family and a golf course. All have a limited view of the roof.
3. The antenna will be painted a neutral sky color.

AT&T looks forward to enhancing its coverage to the residents and visitors to the Village of Hoffman Estates.

Sincerely,

Douglas K Dolan
Agent
AT&T Mobility

AT&T
WIRELESS ANTENNA FACILITY
1800 Huntington Boulevard
Hoffman Estates, Illinois

Petitioner

AT&T has entered into a lease agreement with Twelve Oaks at Morningside Condominium Association, owner of the property located at 1800 Huntington Boulevard, in Hoffman Estates, to install a wireless antenna facility on its rooftop.

Property Description

The proposed installation consists of (9) new antennas and related radio equipment located on the rooftop of the above referenced condominium building. The antennas will be located at a height of 78 feet. The antennas, pipe supports and hardware shall be painted to match existing building. Access will be via the existing parking lot and the inside of the building. The site is located within the RPD Zoning District.

Nature of Request/Zoning Analysis

The Village of Hoffman Estates Zoning Board of Appeals Antenna Application Process states in relevant part:

1. SPECIAL USE AND HEIGHT VARIATION REQUIREMENTS

In addition to Special Use approval, a ~~Non-Residential~~ Height Variation is required for antennas located higher than 60 feet.

AT&T therefore, seeks a special use permit, height variation and any other permit necessary to accommodate the proposed rooftop, wireless antenna facility.

Components and Operations

The proposed facility will be unstaffed and, upon completion, will require only infrequent maintenance visits (approximately once a month) by a service technician. Access will be via the existing parking lot and the inside of the building located at 1800 Huntington Boulevard, hence, the facility will not have any material impact on traffic, parking or storm water control.

The proposed facility is entirely self-monitored by sophisticated computers which connect directly to a central office and which alert personnel to equipment malfunction or breach of security. Moreover, no material noise, glare, smoke, debris, traffic flow or any other nuisance will be generated by the proposed facility.

The proposed facility will be designed and constructed to meet applicable governmental and industry safety standards. Specifically, AT&T will comply with FCC and FAA rules governing construction requirements, technical standards, interference protection, power and height limitations and radio frequency standards.

Requested Action

AT&T respectfully requests a special use permit, a height variation and any other relief necessary to accommodate the proposed rooftop, wireless antenna facility.

AT&T expressly reserves all of its rights, including those available to it under the Village of Hoffman Estates Code of Ordinances or any other state, local or federal law.

**VILLAGE OF HOFFMAN ESTATES
STANDARDS FOR A SPECIAL USE**

Section 9-1-18. SPECIAL USES

Standards – No special use shall be recommended by the Zoning Board of Appeals unless said Board shall find:

- 1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;**

The establishment, maintenance and operation of this communications facility will be wholly contained on the rooftop of the condominium building located at 1800 Huntington Boulevard. It will not be injurious to or endanger the public health, safety, morals, comfort, or general welfare of the community. Wireless communication technology does not interfere with any form of communication, whether public or private. To the contrary, wireless technology provides vital communications in emergency situations and will commonly be used by local residents in emergency situations and by emergency personnel to protect the general public's welfare. Additionally, the proposed facility will be designed and constructed to meet applicable governmental and industry safety standards.

- 2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values.**

There have been numerous independent third-party property valuation studies nationwide to address whether facilities such as the proposed facility will have an adverse affect on use and value of adjacent properties. These studies have found that the use and value of adjoining properties are not adversely affected by facilities like the proposed facility. AT&T has been sensitive in selecting and designing this site as to minimize the visual impact on surrounding property. The Additionally, no material noise, glare, smoke, debris or traffic flow or any other nuisance shall not be generated by the proposed facility; nor will the proposed facility require lighting under any FAA rule or regulation. Therefore, the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values.

- 3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.**

As noted above, AT&T has been sensitive in the selection and design of the proposed facility as to minimize the impact on the surrounding property. Since the proposed facility is unmanned, there will be no material effect on sewer, water, parking or traffic. Granting the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. To the contrary, reliable utility networks such as electric, gas, water and wireless networks are essential to the development of any community.

4. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided.

A wireless facility is unstaffed. The only utilities which will be required are telephone and electricity, both of which are available on site. No drainage, sanitation, refuse removal, parks, library, or school services will be necessary for this facility. This site is entirely self-monitored and connects directly to a central office where sophisticated computers alert personnel to any equipment malfunction or breach of security. Existing police and fire protection are more than adequate to provide security for this facility.

5. That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in the public streets; and

Access will be via the parking lot and inside of the building. Typically, once a site is built and operational, it is visited by a technician for routine system checks once or twice monthly during normal business hours. There will be NO traffic congestion that will result from the proposed installation.

6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Zoning Board of Appeals.

The special use conforms, in all other aspects, to the applicable regulations of the _____ Zoning District except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Zoning Board of Appeals.

STANDARDS FOR A VARIATION

Section 9-1-15. VARIATIONS

C. Standards for Variations

1. The Zoning Board of Appeals shall not recommend the variation of the regulations of the Code unless it shall first make a finding based upon the evidence presented to it in each specific case that:

a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located;

The purpose of the variation is to accommodate the installation of the wireless antenna facility at this location in order for it to transmit and receive signals and, therefore, become an integral unit in AT&T's network. It is not based on obtaining greater profits from the development or use of the property or an enhancement in the value of the property. The spacing, height, and location of each component site are critical for the successful operation of the entire network.

b. The plight of the owner is due to unique circumstances;

The proposed facility is designed to fill a coverage gap in the Applicant's network. The network operates on a "grid" system, whereby overlapping "cells" (geographic wireless coverage areas) mesh to form a continuous wireless network. In order to provide wireless coverage within the geographic confines of each cell, a wireless facility ("cell site") must be located somewhere the center of that cell. If the wireless facility is not located within or near the center or the height of the antennas is inadequate, then coverage gaps exist. Coverage gaps result in a weak wireless signal which to the end user means a dropped call or inability to make or receive a call.

The condition peculiar to this property, which makes it unique, is its proximity to the center of the cell so as to fill the coverage gaps in AT&T's network.

c. The variation, if granted, will not alter the essential character of the locality;

With the proposed facility being wholly contained on the rooftop, and the antennas, pipe supports and hardware being painted to match, the essential character of the locality will not be altered.

2. For the purpose of implementing the above rules, the Board shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following acts favorable to the applicant have been established by the evidence;

a. The particular physical surroundings, shape of topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;

The proposed facility is designed to fill a coverage gap in AT&T's network. The network operates on a "grid" system, whereby overlapping "cells" (geographic wireless coverage areas) mesh to form a continuous wireless network. In order to provide wireless coverage within the geographic confines of each cell, a wireless facility ("cell site") must be located within or near the center of that cell. If the wireless facility is not located within or near the center or the height of the antennas is inadequate, then coverage gaps exist. Coverage gaps result in a weak wireless signal which, to the end user, means a dropped call or inability to make or receive a call.

AT&T's antennas must be at the proposed height and location to meet its coverage standards. Carrying out the strict letter of the regulations would create a particular hardship and difficulty as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.

b. The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning district;

The conditions upon which a petition for variation is based are unique to the property for which the variance is sought and not applicable generally to other property within the same zoning classification. Radio Frequency engineers have identified the need for a wireless communications facility to serve this portion of Hoffman Estates. Once a decision is made to expand wireless coverage to a community, engineers prepare a preliminary network based on many factors, including the characteristics of the community, available radio frequencies and wireless equipment capabilities. A map of the selected "search area" and other requirements for the site are provided to property consultants who visit the community to identify and rank potential sites. This search area represents the area in which a facility must be located to allow it to function as an integral unit in the network system. It is important to remember that wireless communications facilities must be considered as part of a network, not as individual locations. Wireless communications facilities can be likened to links in a chain, one link adds to the next, making the network design larger. The spacing, height and location of each component site are critical for the successful operation of the entire network. This site is unique in that it meets the criteria deemed necessary by the Radio Frequency engineers, including proximity to the center of the ring, elevation, equipment capabilities, etc., which are necessary for it to function as an integral unit in the network system.

c. The purpose of the variation is not based exclusively upon a desire to increase the value of the property;

The purpose of the variation is to accommodate the installation of the wireless antenna facility at this location in order for it to transmit and receive signals and, therefore, become an integral unit in AT&T's network. It is not based exclusively upon a desire to increase the value of the property. The spacing, height, and location of each component site are critical for the successful operation of the entire network.

d. The alleged difficulty or hardship has not been based exclusively upon a desire to increase the value of the property;

As stated above, the purpose of the variation is to accommodate the installation of the wireless antenna facility at this location at a height needed to transmit and receive signals and, therefore, become an integral unit in AT&T's network. It is not based exclusively upon a desire to increase the value of the property. Once again, the spacing, height, and location of each component site are critical for the successful operation of the entire network.

e. The granting of the variation will not be detrimental to the public welfare or injurious to the other property or improvements in the neighborhood in which the property is located; and

The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located. To the contrary, enhanced wireless communication will have a positive influence on the community, including those using the park and the residents in the vicinity. Over half of 911 emergency calls are made from wireless phones and through the improved coverage will come improved service which will benefit the community as a whole. The availability of cutting edge wireless technology will continue to make Hoffman Estates a desirable place to invest and conduct business.

f. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property in the neighborhood.

Due to fact that the facility will be wholly maintained on the rooftop of the building, the design of the proposed facility and the nature of wireless technology, there will be little impact on the supply of light and air to adjacent property. Additionally, visits, once or twice per month to the site for maintenance, will not increase congestion for the public streets or increase the danger of fire. The public safety, as described above, will not be compromised, but on the contrary, will benefit from improved coverage. AT&T has commissioned numerous independent third-party property valuation studies nationwide to address whether facilities such as the proposed facility will have an adverse affect on use and value of adjacent properties. Each such independent study has found that the use and value of adjoining properties is not adversely affected by facilities like the proposed facility. AT&T has been sensitive in selecting and designing this rooftop site as to minimize the visual impact on surrounding property. Additionally, no material noise, glare, smoke, debris or traffic flow or any other nuisance shall not be generated by the proposed facility; nor will the proposed facility require lighting under any FAA rule or regulation. Therefore, there will be no impairment of the peaceful enjoyment or property values of the surrounding properties.

3. The Zoning Board of Appeals may recommend to the Village Board that such conditions and restrictions be imposed upon the premises benefited by a variation as may be necessary to comply with the standards set forth in this section to reduce or minimize the injurious effect of such variation upon other property in the neighborhood, and better to carry out the general intent of this code.

Schaumburg
Township
Branch Library

1990
1985
1980
1975
1970
1965
1960
1955
1950
1945
1940
1935
1930
1925
1920
1915
1910
1905
1900



Poplar Park

John Muir School

HUNTINGTON BLV

KENILWORTH CIR

Hilldale
Country Club

ARDWICK DR

KENSINGTON LN

JAMESTOWN CIR

STOCKTON DR

Oak Park
Greve Cemetary

LIBERTY PL

QUEENSBURY CIR

MANCHESTER DR

BONNIE LN

JENNIFER LN

REBECCA DR

LEGEND LN

FAYETTE WALK

SESSIONS WALK

BRISTOL WALK

SUSSEX WALK

SUBJECT SITE

FOLTZ DR

DELLA DR

MCC

72

ROBIN CIR

VOLD DR

ROBIN WALK

VISTA WALK

VISTA LN

HEPD
Community
Center &
Ice Arena

Sunderlage

CALDWELL LN

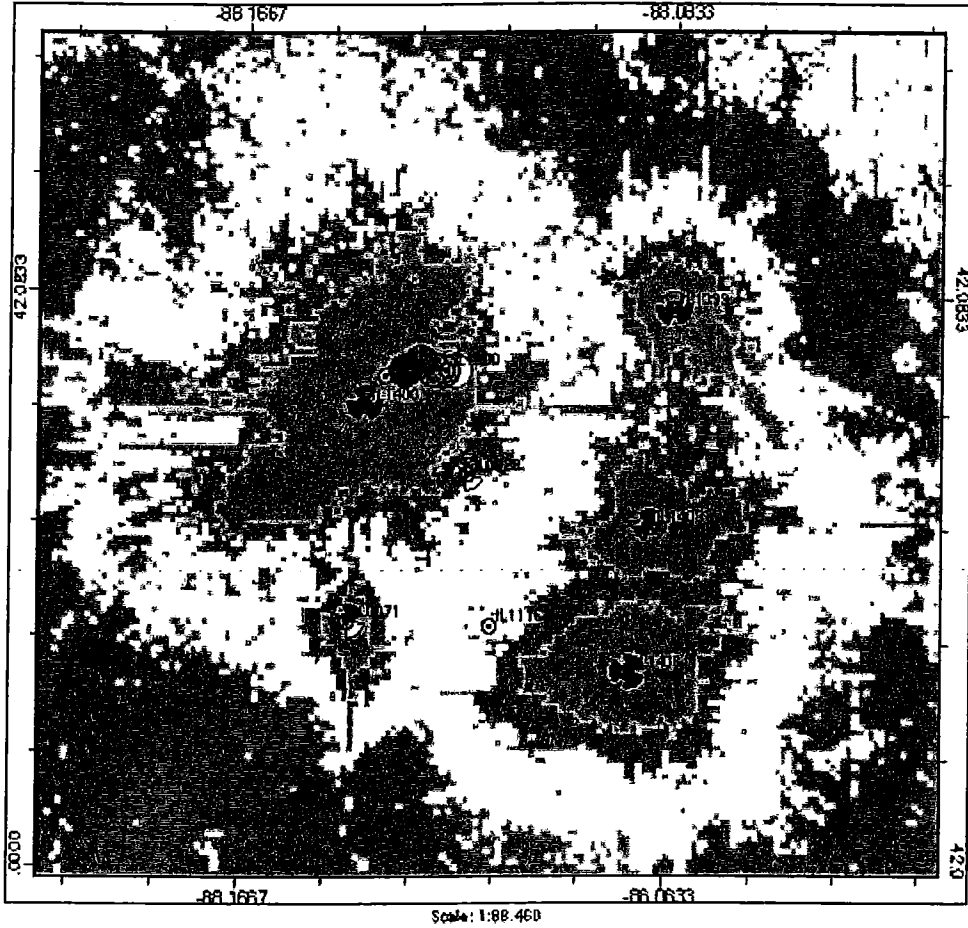
IONT RD

EDGEFIELD

KENWOOD RD



Site IL0828 Hoffman Estates
Existing Coverage



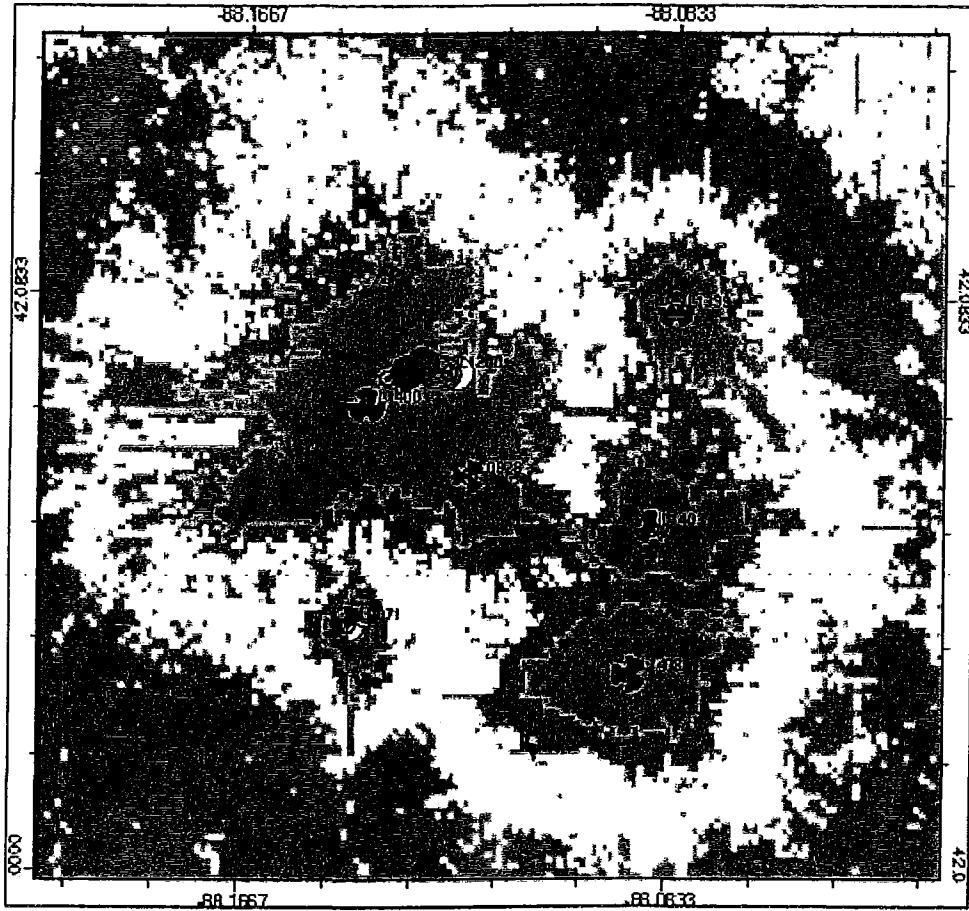
Transmitters Coverage by Signal Level 0

- Best Signal Level (dBm) ≥ -74
- Best Signal Level (dBm) ≥ -82
- Best Signal Level (dBm) ≥ -92
- Best Signal Level (dBm) ≥ -104





Site IL0828 Hoffman Estates
Post Coverage



Transmitters Copy of Coverage by Signal Level 0

- Best Signal Level (dBm) ≥ -74
- Best Signal Level (dBm) ≥ -82
- Best Signal Level (dBm) ≥ -92
- Best Signal Level (dBm) ≥ -104





at&t

930 National Parkway, 4th Floor
Schaumburg, Illinois 60173



Fullerton
Engineering Consultants

These depictions are for demonstrative purposes only. They are to be used in addition to the engineering drawings for an accurate representation of site.



Area Map



Before [Looking North]



After [Looking North]



at&t

930 National Parkway, 4th Floor
Schaumburg, Illinois 60173



Fullerton
Engineering Consultants

These depictions are for demonstrative purposes only. They are to be used in addition to the engineering drawings for an accurate representation of site.



Area Map



Before [Looking Northeast]



After [Looking Northeast]

PROJECT INFORMATION

SCOPE OF WORK: (3) NEW AT&T ANTENNAS AND NEW 11'-0"x18'-6" STEEL EQUIPMENT PLATFORM ON EXISTING ROOFTOP

SITE ADDRESS: 1800 HUNTINGTON BLVD
HOFFMAN ESTATES, IL 60169

APPLICANT: AT&T
330 NATIONAL PARKWAY
SCHAUMBURG, IL 60173

OWNER: CLEARVIEW MANAGEMENT
1800 HUNTINGTON BLVD
HOFFMAN ESTATES, IL 60169
(847) 885-0030

JURISDICTION: VILLAGE OF HOFFMAN ESTATES

ZONING: RPD

AGENCY: 07-09-101-026-1001

PROPOSED USE: TELECOMMUNICATIONS FACILITY

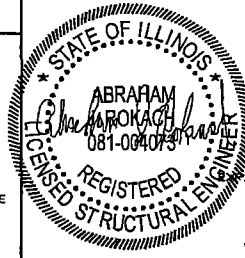
LATITUDE: N 42° 03' 27.31"

LONGITUDE: W 88° 07' 19.66" } FROM 1A LETTER (SECTOR D)

GROUND ELEV. 829 FT. AMSL

POWER COMPANY: COM ED
JACKIE EVANS
(866) 639-3532

TEL. COMPANY: AT&T
CRAIG WRAUNSLID
(866) 301-2718



SITE NUMBER: IL0828
SITE NAME: HOFFMAN ESTATES CONDO RT
(3) NEW AT&T ANTENNAS AND NEW 11'-0"x18'-6" STEEL EQUIPMENT PLATFORM ON EXISTING ROOFTOP

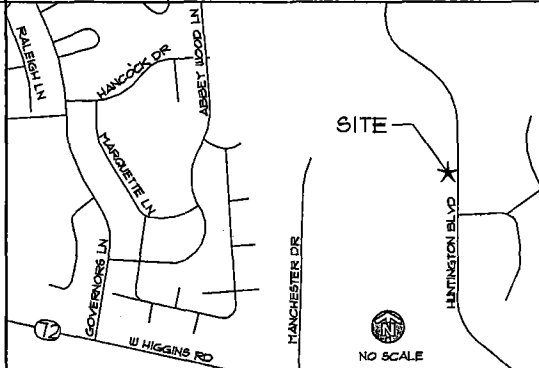
AT&T APPROVAL

REAL ESTATE: _____ DATE: _____
RFL: _____ DATE: _____
OPERATIONS: _____ DATE: _____



VICINITY MAP

DRIVING DIRECTIONS:
FROM OHARE AIRPORT
DEPART FROM CHICAGO OHARE INTERNATIONAL AIRPORT. KEEP RIGHT ONTO ROAD. TAKE RAMP RIGHT FOR I-190 EAST. AT EXIT 1C, TAKE RAMP RIGHT FOR I-50 WEST. JANE ADAMS MEMORIAL TOLLWAY TOWARD ROCKFORD. TAKE RAMP RIGHT AND FOLLOW SIGNS FOR ROSELLE RD. TURN LEFT ONTO N ROSELLE RD. TURN RIGHT ONTO SR-581/W GOLF RD. BEAR RIGHT ONTO SR-12 WEST/W HIGGINS RD. TURN RIGHT ONTO HUNTINGTON BLVD. TURN RIGHT ONTO KENILWORTH CIRCLE. TURN LEFT ONTO HUNTINGTON BLVD. DESTINATION WILL BE ON THE RIGHT.



APPLICABLE BUILDING CODES AND STANDARDS

SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) FOR THE LOCATION. THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.

BUILDING CODE: INTERNATIONAL BUILDING CODE, 2003 EDITION

ELECTRICAL CODE: NATIONAL ELECTRICAL CODE, 2005 EDITION

LIGHTNING PROTECTION CODE: NFPA 700 - 2000, LIGHTNING PROTECTION CODE

SUBCONTRACTORS WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:

- AMERICAN CONCRETE INSTITUTE (ACI) 308, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
- AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION, 9TH EDITION
- TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-F, STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES
- TIA 607, COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS
- INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE) 81, GUIDE FOR MEASURING EARTH RESISTIVITY, GROUND IMPEDANCE, AND EARTH SURFACE POTENTIALS OF A GROUND SYSTEM IEEE 1027 (1999) RECOMMENDED PRACTICE FOR POWERING AND GROUNDING ELECTRONIC EQUIPMENT
- IEEE C62.41, RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POWER CIRCUITS (FOR LOCATION CATEGORY "C3" AND "HIGH SYSTEM EXPOSURE")
- TELECORDIA GR-175, GENERAL INSTALLATION REQUIREMENTS
- TELECORDIA GR-1503, COAXIAL CABLE CONNECTIONS
- ANSI T311 FOR TELECOM - DC POWER SYSTEMS - TELECOM ENVIRONMENTAL PROTECTION

FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

EQUIPMENT AREA IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS AND PLUMBING FACILITIES ARE NOT REQUIRED.

DRAWING INDEX REV

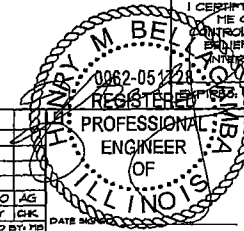
IL0828-01	TITLE SHEET	0
IL0828-02	SITE PLAN	0
IL0828-03	ENLARGED ROOFTOP PLAN	0
IL0828-04	SITE ELEVATION	0
IL0828-05	SITE DETAILS	0
IL0828-05.1	SITE DETAILS	0
IL0828-06	ANTENNA INFORMATION CHART	0
IL0828-07	ANTENNA COAX DIAGRAM	0
IL0828-08	ANTENNA COAX DIAGRAM	0
IL0828-09	BOTTOM JUMPER & BIAS T DETAIL	0
IL0828-10	COAX LABELING	0
IL0828-11	TELCO INTERFACE	0
IL0828-12	ALARM TERMINATION	0
IL0828-13	CONSTRUCTION NOTES	0
IL0828-14	ROOF PLAN & STRUCTURAL NOTES	0
IL0828-15	PLATFORM FRAMING PLAN	0
IL0828-16	ANTENNA MOUNTING & DETAILS	0
IL0828-17	STRUCTURAL DETAILS	0
IL0828-18	UTILITY PLAN	0
IL0828-19	RISER DIAGRAM & DETAILS	0
IL0828-20	ELECTRICAL NOTES & DETAILS	0
IL0828-21	GROUNDING PLAN	0
IL0828-22	GROUNDING DETAILS	0
	SITE SURVEY	0
	SITE SURVEY	0

SITE QUALIFICATION PARTICIPANTS

AVE	NAME	COMPANY	NUMBERS
REAL ESTATE	ARMED GARCEVIC	FEC	(847) 232-0200 X249
RF	MELBA GALLAGHER	INSITE INC.	(708) 885-3531
FM/CH	WILLIAM BERNER	AT&T	(847) 761-2763
	JOHN WALLACE	GOODMAN	(312) 961-0559

PROFESSIONAL LICENSE

I CERTIFY THAT THESE DRAWING WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE, 2003 EDITION



SIGNED: 1/29/10

AT&T

TITLE SHEET

DRAWING NUMBER: IL0828-01

REV: 0

Fullerinn Engineering Consultants
3600 W. BIRN LAUR AVENUE
SUITE 2000
ROSEMONT, ILLINOIS 60018
TEL: 847-232-0200
FAX: 847-232-0206
DESIGN FIRM NO. 184-002458

Insite inc.
Real Power Consulting Services
2210 MIDWEST RD.
SUITE 210
OAK BROOK, IL 60133

GoodmanNetworks
800 NATIONAL PARKWAY, SUITE 300
SCHAUMBURG, IL 60173

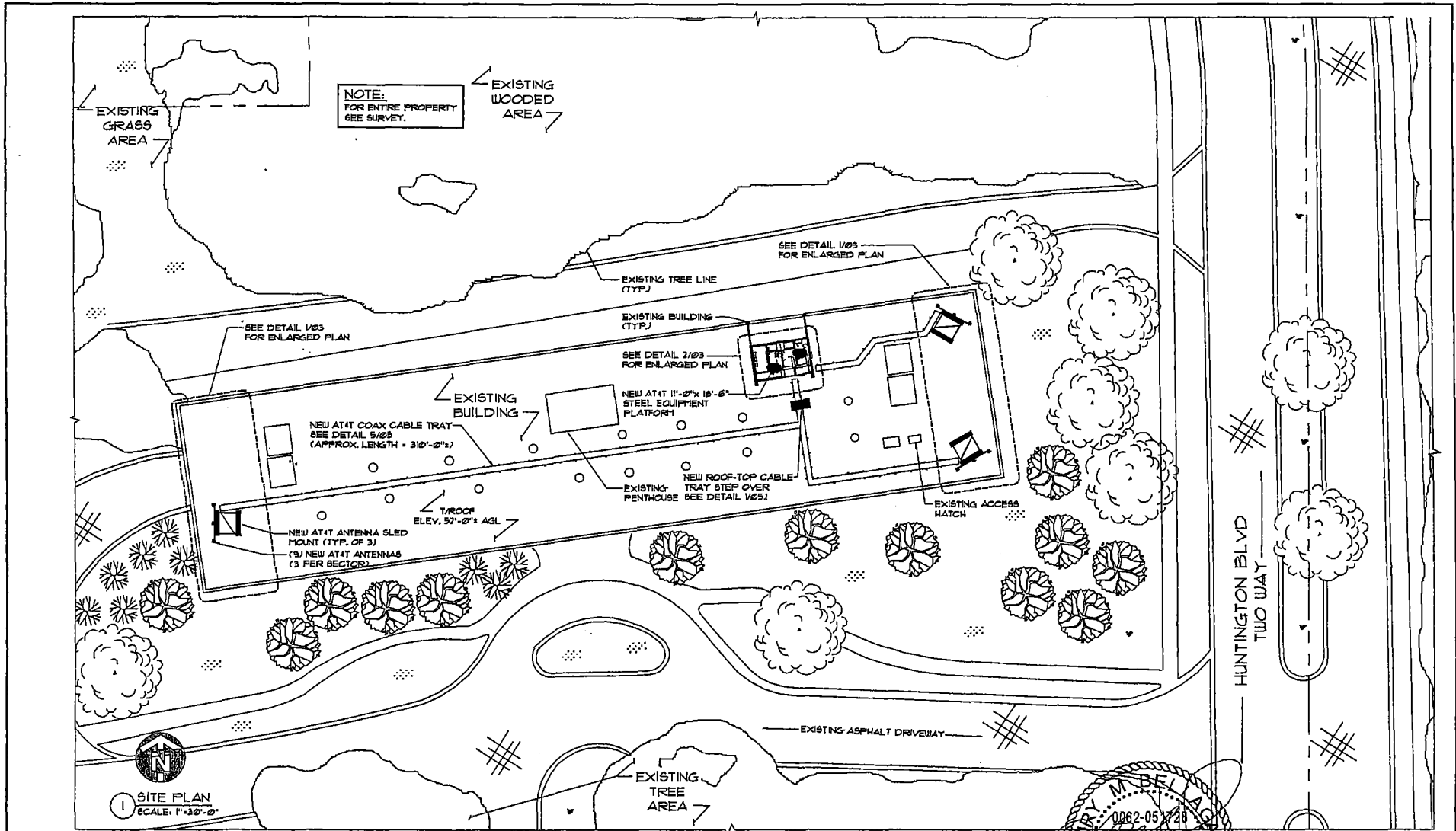
HOFFMAN ESTATES CONDO RT
SITE NO: IL0828
1800 HUNTINGTON BLVD
HOFFMAN ESTATES, IL 60169

AT&T
330 NATIONAL PARKWAY
4th FLOOR
SCHAUMBURG, IL 60173

DATE	REVISION	BY	CHK.	DATE
01/29/10	FINAL	RO	AG	
#	DATE	REVISION	BY	CHK.

SCALE: AS SHOWN
APPROVED BY: [Signature]

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Fullerton Engineering Consultants
3600 W. BRYN MAUR AVE.
SUITE 200
ROSEMONT, ILLINOIS 60018
TEL: 641-232-0200
FAX: 641-232-0206
DESIGN FIRM NO. 184-002498

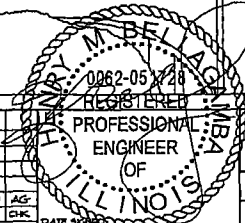
Insite inc.
Real Estate Consulting Services
2710 MIDQUEST RD.,
SUITE 213
OAK BROOK, IL 60523

Goodman Networks
NETWORK CONSULTANTS
900 NATIONAL PARKWAY, SUITE 320
SCHLAUBURG, IL 60173

**HOFFMAN ESTATES
CONDO RT
SITE NO: IL0828**
1800 HUNTINGTON BLVD
HOFFMAN ESTATES, IL 60149

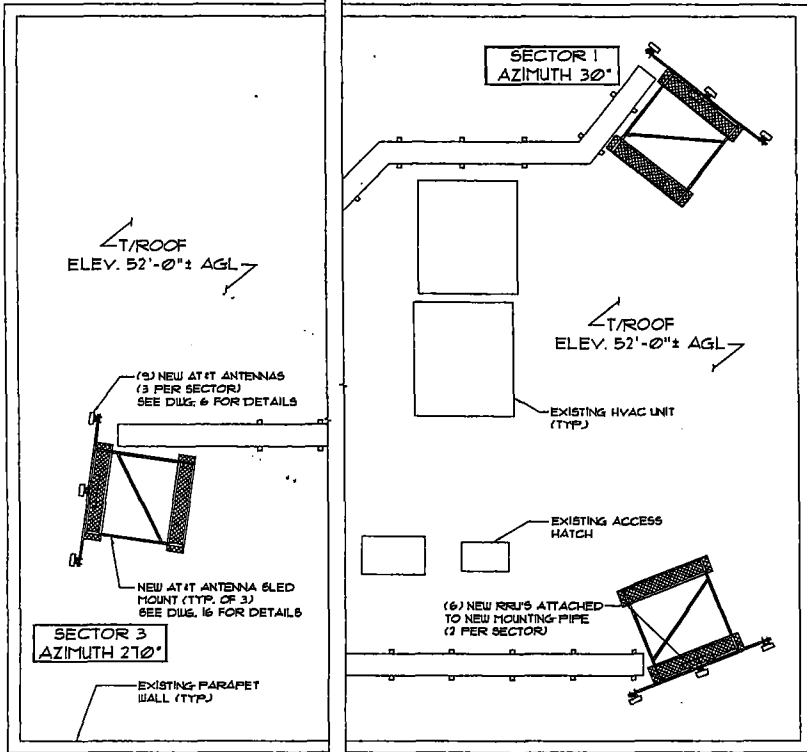
AT&T
930 NATIONAL PARKWAY
4th FLOOR
SCHLAUBURG, IL 60173

2	1/25/10	FINAL	RO	AG
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SCALE: AS SHOWN		APPROVED BY: PD		

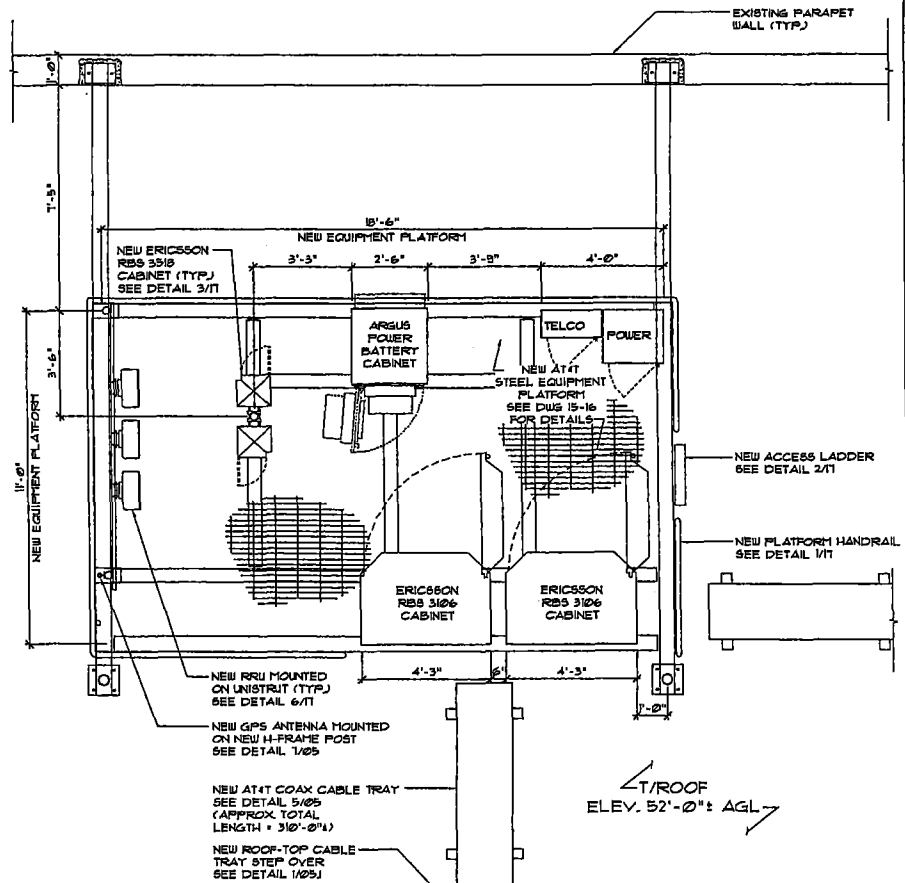


AT&T	
SITE PLAN	
DRAWING NUMBER	REV
IL0828-02	0

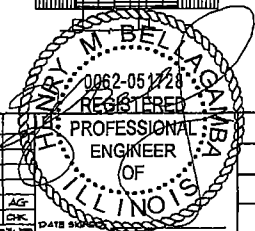
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1 ANTENNA LAYOUT
SCALE: 1"=10'-0"



1 ENLARGED PLATFORM LAYOUT
SCALE: 1/4"=1'-0"



Fullerton Engineering Consultants
3600 W. BETH MAUR AVE.
SUITE 200
ROSEMONT, ILLINOIS 60018
TEL: 641-252-0700
FAX: 641-252-0706
DESIGN FIRM NO. 184-002455

inSite inc.
Real Estate Consulting Services
2210 MIDWEST RD.
SUITE 213
OAK BROOK, IL 60153

Goodman Networks
900 NATIONAL PARKWAY, SUITE 320
SCHAUMBURG, IL 60173

HOFFMAN ESTATES CONDO RT
SITE NO: IL0828
1500 HUNTINGTON BLVD
HOFFMAN ESTATES, IL 60169

AT&T
930 NATIONAL PARKWAY
4th FLOOR
SCHAUMBURG, IL 60173

DATE	REVISION	BY	CHK	DATE
01/05/02	FINAL	RO	AG	
SCALE: AS SHOWN				

AT&T	
ENLARGED ROOFTOP PLAN	
DRAWING NUMBER	REV
IL0828-03	0

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NOTE:
ELEVATIONS ARE NOT FINAL AND HAVE BEEN DETERMINED FROM RANGE FINDER DATA TAKEN ON SITE VISIT AND MAY BE SUBJECT TO CHANGE WHEN FINAL SURVEY IS COMPLETED

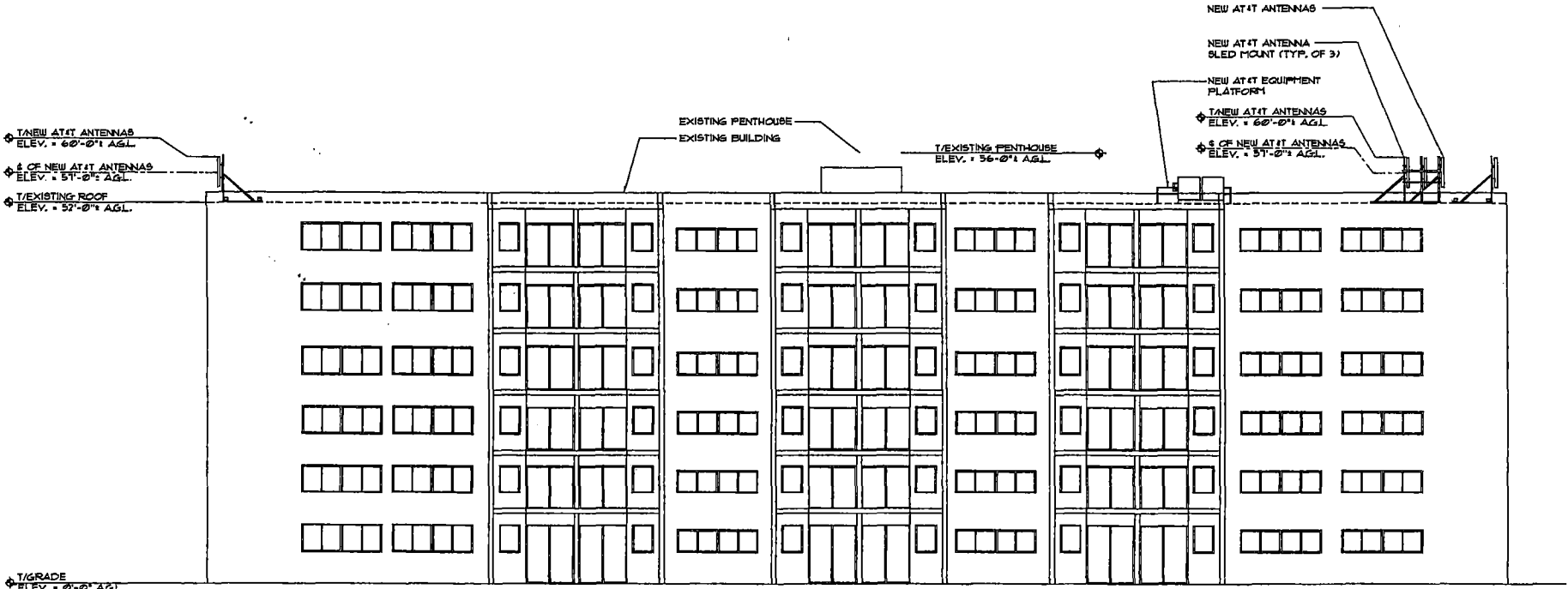
NOTE:
ANTENNAS & EQUIPMENT TO BE PAINTED A NEUTRAL COLOR TO MATCH THE EXISTING BUILDING.

ANTENNA NOTES:

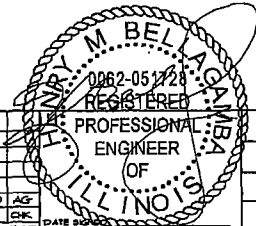
1. THE SIZE, HEIGHT, AND DIRECTION OF THE ANTENNA SHALL BE ADJUSTED TO MEET SYSTEM REQUIREMENTS.
2. CONTRACTOR SHALL VERIFY HEIGHT OF ANTENNA WITH AT&T REPRESENTATIVE.
3. ALL ANTENNA AZIMUTH TO BE FROM TRUE NORTH.

STRUCTURAL NOTES:

1. STRUCTURAL CALCULATION PREPARED BY FULLERTON ENGINEERING CONSULTANTS. CONTRACTOR TO COORDINATE WITH AT&T REPRESENTATIVE TO OBTAIN A COPY.
2. CONTRACTOR TO REFER TO TOWER STRUCTURAL CALCULATIONS FOR ADDITIONAL LOADS. NO ERECTION OR MODIFICATION OF TOWER SHALL BE MADE WITHOUT APPROVAL OF STRUCTURAL ENGINEER.



1 SITE ELEVATION
SCALE: NTS



Fullerton Engineering Consultants
3600 W. BRYN MAWR AVE.
SUITE 200
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TEL: 847-232-0200
FAX: 847-232-0206
DESIGN FIRM NO. 184-000438

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2210 MIDWEST RD.
SUITE 215
OAK BROOK, IL 60521

GoodmanNetworks
900 NATIONAL PARKWAY, SUITE 520
SCHAUMBURG, IL 60173

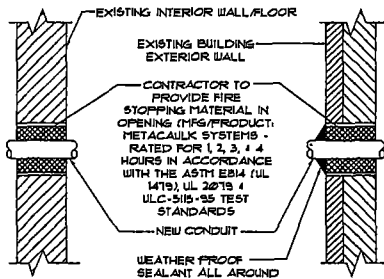
HOFFMAN ESTATES CONDO RT
SITE NO: IL0828
1800 HUNTINGTON BLVD
HOFFMAN ESTATES, IL 60169

AT&T
830 NATIONAL PARKWAY
4th FLOOR
SCHAUMBURG, IL 60173

11/05/02	FINAL	RD	AG
#	DATE	REVISION	BY
			CHK
			DATE
SCALE: AS SHOWN		APPROVED BY: PD	

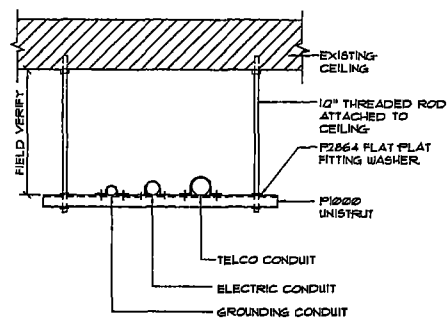
AT&T	
SITE ELEVATION	
DRAWING NUMBER	REV
IL0828-04	0

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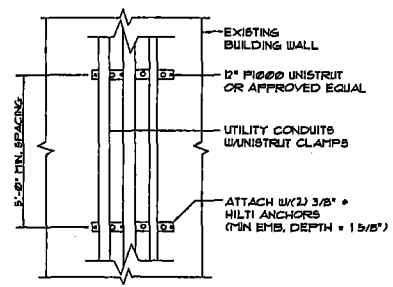


NOTE:
WHEN CORING INTO EXISTING WALL / FLOOR, CONTRACTOR TO REPAIR ALL OPENING TO EXISTING CONDITION, AND MAINTAIN ALL EXISTING FIRE RATINGS.

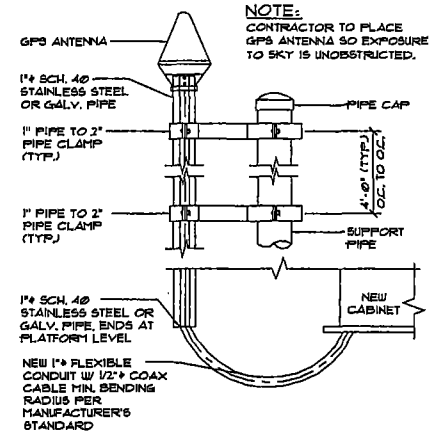
1 WALL/FLOOR PENETRATION
SCALE: NTS



2 TYPICAL CONDUIT ATTACHMENT @ CEILING
SCALE: NTS

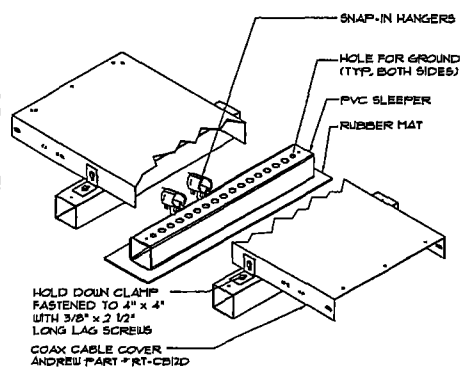


3 TYPICAL CONDUIT SUPPORT
SCALE: NTS

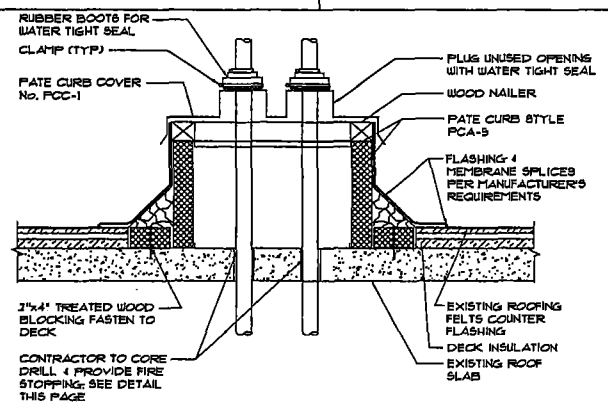


NOTE:
CONTRACTOR TO PLACE GPS ANTENNA SO EXPOSURE TO SKY IS UNOBSTRUCTED.

4 GPS ANTENNA
SCALE: NTS

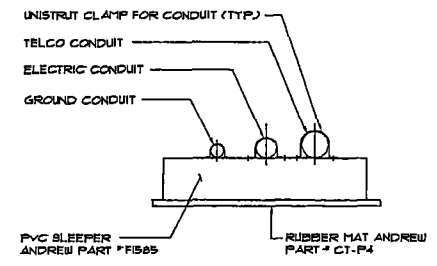


5 ROOF MOUNTED COAX CABLE TRAY
SCALE: NTS

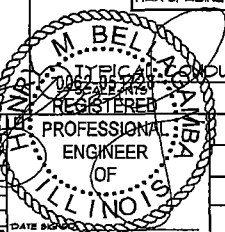


NOTE:
ALL WORK AFFECTING EXISTING ROOFING MEMBRANE MUST BE COORDINATED WITH ANY EXISTING ROOFING WARRANTIES. CONTRACTOR TO VERIFY WITH OWNER PRIOR TO CONSTRUCTION.

6 CURB PENETRATION DETAIL
SCALE: NTS



NOTE:
MAX SPACING 6'-0" BETWEEN SUPPORTS



7 TYPICAL CONDUIT SUPPORT @ ROOF
SCALE: NTS

Fullerton Engineering Consultants
9600 W. BRYN MAUR AVE.
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ROSEMONT, ILLINOIS 60015
TEL. 847-252-0700
FAX. 847-252-0706
DESIGN FIRM NO. 184-002458

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OAK BROOK, IL 60523

Goodman Networks
900 NATIONAL PARKWAY, SUITE 300
SCHAUMBURG, IL 60173

HOFFMAN ESTATES CONDO RT
SITE NO: IL0828
1500 HUNTINGTON BLVD
HOFFMAN ESTATES, IL 60139

AT&T
930 NATIONAL PARKWAY
4th FLOOR
SCHAUMBURG, IL 60173

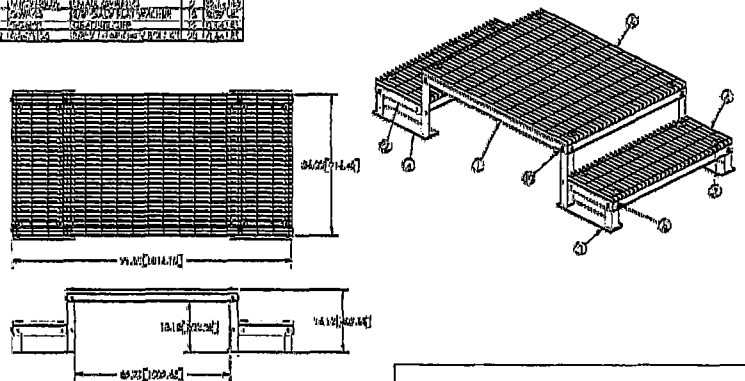
0	11/05/00	FINAL	RO	AG
#	DATE	REVISION	BY	CHK
SCALE: AS SHOWN		APPROVED BY: PD	DATE: 11/05/00	

AT&T	
SITE DETAILS	
DRAWING NUMBER	REV
IL0828-05	0

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REV	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMITS	01/23/10	MB
2	REVISED FOR COMMENTS	02/03/10	MB
3	REVISED FOR COMMENTS	02/03/10	MB
4	REVISED FOR COMMENTS	02/03/10	MB
5	REVISED FOR COMMENTS	02/03/10	MB
6	REVISED FOR COMMENTS	02/03/10	MB
7	REVISED FOR COMMENTS	02/03/10	MB
8	REVISED FOR COMMENTS	02/03/10	MB
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15	REVISED FOR COMMENTS	02/03/10	MB
16	REVISED FOR COMMENTS	02/03/10	MB
17	REVISED FOR COMMENTS	02/03/10	MB
18	REVISED FOR COMMENTS	02/03/10	MB
19	REVISED FOR COMMENTS	02/03/10	MB

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMITS	01/23/10	MB



NOTES:
 1. ALL METRIC DIMENSIONS ARE IN BRACKETS.
 2. WELDING REQUIREMENTS PER AWS D11.1, TABLE 0.1.

1 ROOF-TOP CABLE TRAY STEP OVER DETAIL
 SCALE: NTS

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 5600 W. BERTH LAUR AVE.
 SUITE 200
 ROSEMONT, ILLINOIS 60015
 TEL. 641-232-0200
 FAX. 641-232-0206
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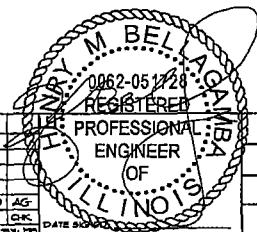
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 OAK BROOK, IL 60523

Goodman Networks
 NETWORK CONSULTANTS
 900 NATIONAL PARKWAY, SUITE 320
 SCHAUMBURG, IL 60173

HOFFMAN ESTATES
 CONDO RT
 SITE NO: IL0828
 1620 HUNTINGTON BLVD
 HOFFMAN ESTATES, IL 60169

AT&T
 930 NATIONAL PARKWAY
 4th FLOOR
 SCHAUMBURG, IL 60173

DATE	REVISION	BY	CHK	DATE	APPROVED
1/23/10	FINAL	RO	AG		



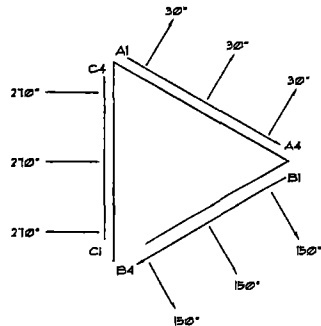
AT4T	REV
SITE DETAILS	
DRAWING NUMBER	
IL0828-05.1	0

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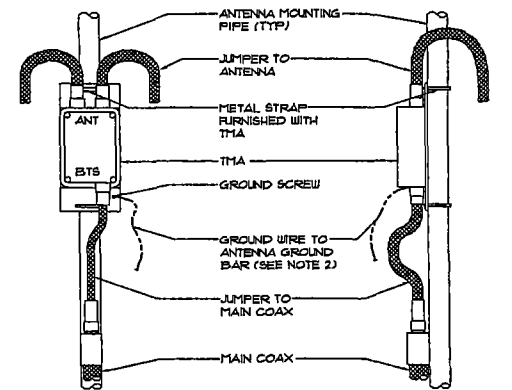
SECTOR	ANTENNA NUMBER	POLARITY / PORT	TOP AND BOTTOM JUMPER COLOR	COAX ID	ANTENNA MODEL	ANTENNA VENDOR	TMA	DEPTH	MECHANICAL DOWNLIFT	ELECTRICAL DOWNLIFT	ANTENNA CENTERLINE FROM GROUND	ANTENNA TIP HEIGHT	COAXIAL FEEDER	
													SIZE	LENGTH
A	A1	850	R W SL	A1-1	F65-16-XLH-RR	POWERWAVE	ERICSSON 1920 W 850 BYPASS	30'	TBD	TBD	57'-0"	60'-0"	1/2" AV45-50	55'
		1920	R W BR	A1-2					TBD	TBD			1/2" AV45-50	55'
	A3				F65-16-XLH-RR	POWERWAVE		30'	TBD	TBD	57'-0"	60'-0"	DC FIBER BUNDLE	55'
									TBD	TBD				
A4		850	R V SL	A4-1	F65-16-XLH-RR	POWERWAVE	ERICSSON 1920 W 850 BYPASS	30'	TBD	TBD	57'-0"	60'-0"	1/2" AV45-50	55'
		1920	R V BR	A4-2					TBD	TBD			1/2" AV45-50	55'
B	B1	850	BL W SL	B1-1	F65-16-XLH-RR	POWERWAVE	ERICSSON 1920 W 850 BYPASS	150'	TBD	TBD	57'-0"	60'-0"	1/2" AV45-50	105'
		1920	BL W BR	B1-2					TBD	TBD			1/2" AV45-50	105'
	B3				F65-16-XLH-RR	POWERWAVE		150'	TBD	TBD	57'-0"	60'-0"	DC FIBER BUNDLE	105'
									TBD	TBD				
B4		850	BL V SL	B4-1	F65-16-XLH-RR	POWERWAVE	ERICSSON 1920 W 850 BYPASS	150'	TBD	TBD	57'-0"	60'-0"	1/2" AV45-50	105'
		1920	BL V BR	B4-2					TBD	TBD			1/2" AV45-50	105'
C	C1	850	GR W SL	C1-1	F65-16-XLH-RR	POWERWAVE	ERICSSON 1920 W 850 BYPASS	210'	TBD	TBD	57'-0"	60'-0"	1-5/8" AVA1-50	230'
		1920	GR W BR	C1-2					TBD	TBD			1-5/8" AVA1-50	230'
	C3				F65-16-XLH-RR	POWERWAVE		210'	TBD	TBD	57'-0"	60'-0"	DC FIBER BUNDLE	230'
									TBD	TBD				
C4		850	GR V SL	C4-1	F65-16-XLH-RR	POWERWAVE	ERICSSON 1920 W 850 BYPASS	210'	TBD	TBD	57'-0"	60'-0"	1-5/8" AVA1-50	230'
		1920	GR V BR	C4-2					TBD	TBD			1-5/8" AVA1-50	230'
GPS ANTENNA					80A	HUBER-SUNNER	N/A	N/A	N/A	N/A	67'-0"	N/A	1/2" LDF4-50	15'
TMA MODEL ALL SECTORS (2 TOTAL)					ERICSSON									

NEW MATERIAL EXCLUDING COAX - ALL MATERIAL PROVIDED BY CONTRACTOR

FIGURE 1: ANTENNA ORIENTATION



1 ANTENNA INFORMATION CHART

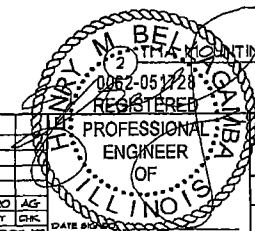


FRONT VIEW

SIDE VIEW

NOTE

1. TMA IS A WEATHERPROOFED ENCLOSURE RATED TO IP65.
2. BOND TMA GROUND STUD TO GROUND BAR WITH # 6 AWG GROUND WIRE.
3. PROVIDE SUFFICIENT LENGTH OF JUMPER TO ALLOW FOR PROPER APPLICATION OF WEATHER PROOFING AT ANTENNA AND TMA CONNECTIONS.
4. IF POSSIBLE TMA SHALL BE MOUNTED BEHIND ANTENNA TO MINIMIZE WIND LOADING ON STRUCTURE.
5. TMA SHALL BE MOUNTED VERTICALLY WITH WEEP HOLE FACING DOWN.



TMA MOUNTING DETAIL

Fuller Engineering Consultants
9600 W. BRYN MAWR AVE.
SUITE 200
ROSEMONT, ILLINOIS 60018
TEL: 631-232-0200
FAX: 631-232-0206
DESIGN FIRM NO. 124-022438

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OAK BROOK, IL 60523

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SCHAUMBURG, IL 60173

HOFFMAN ESTATES CONDO RT
SITE NO: IL0828
1820 HUNTINGTON BLVD
HOFFMAN ESTATES, IL 60143

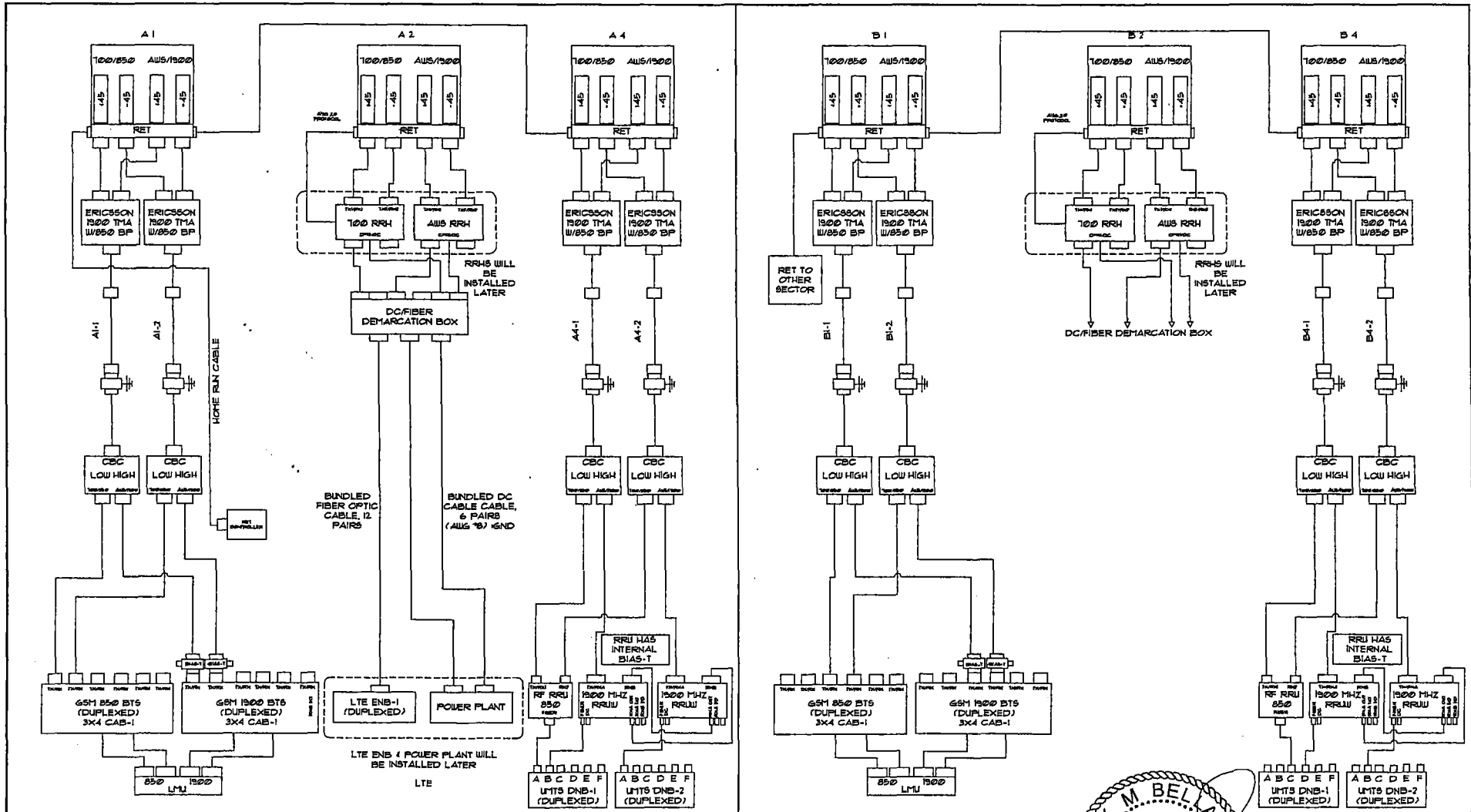
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930 NATIONAL PARKWAY
4th FLOOR
SCHAUMBURG, IL 60173

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#	DATE	REVISION	BY	CHK

SCALE: AS SHOWN

AT4T	
ANTENNA INFORMATION CHART	
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1 ALPHA SECTOR

2 BETA SECTOR

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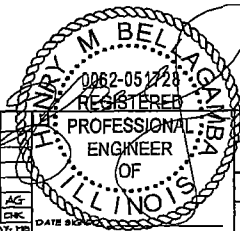
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 OAK BROOK, IL 60523

Goodman Networks
 NETWORK CONSULTANTS
 900 NATIONAL PARKWAY, SUITE 500
 SCHAUMBURG, IL 60173

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 SITE NO: IL0828
 1500 HUNTINGTON BLVD
 HOFFMAN ESTATES, IL 60169

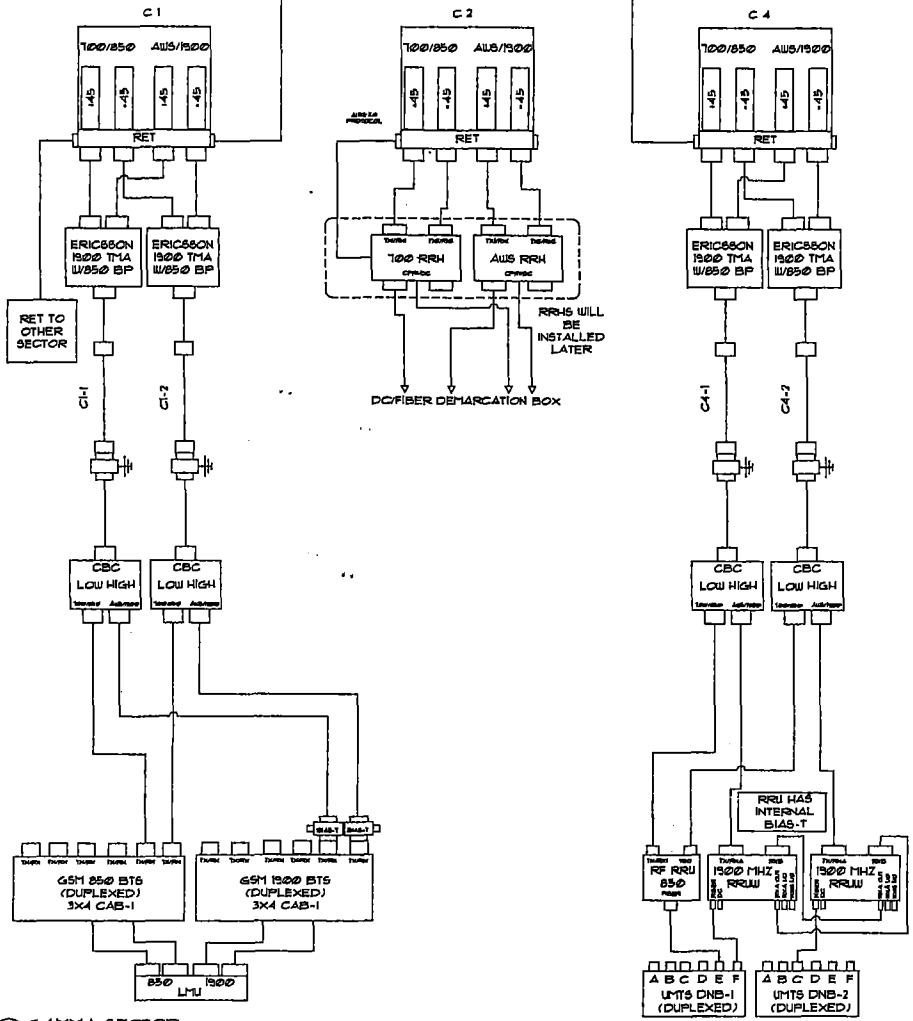
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AT4T
 ANTENNA COAX DIAGRAM
 DRAWING NUMBER 1L0828-07
 REV 0

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1 GAMMA SECTOR

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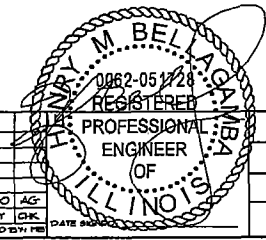
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 2210 MIDQUEST RD.
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 OAK BROOK, IL 60523

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 SCHAUMBURG, IL 60173

HOFFMAN ESTATES CONDO RT
 SITE NO: IL0828
 1820 HUNTINGTON BLVD
 HOFFMAN ESTATES, IL 60169

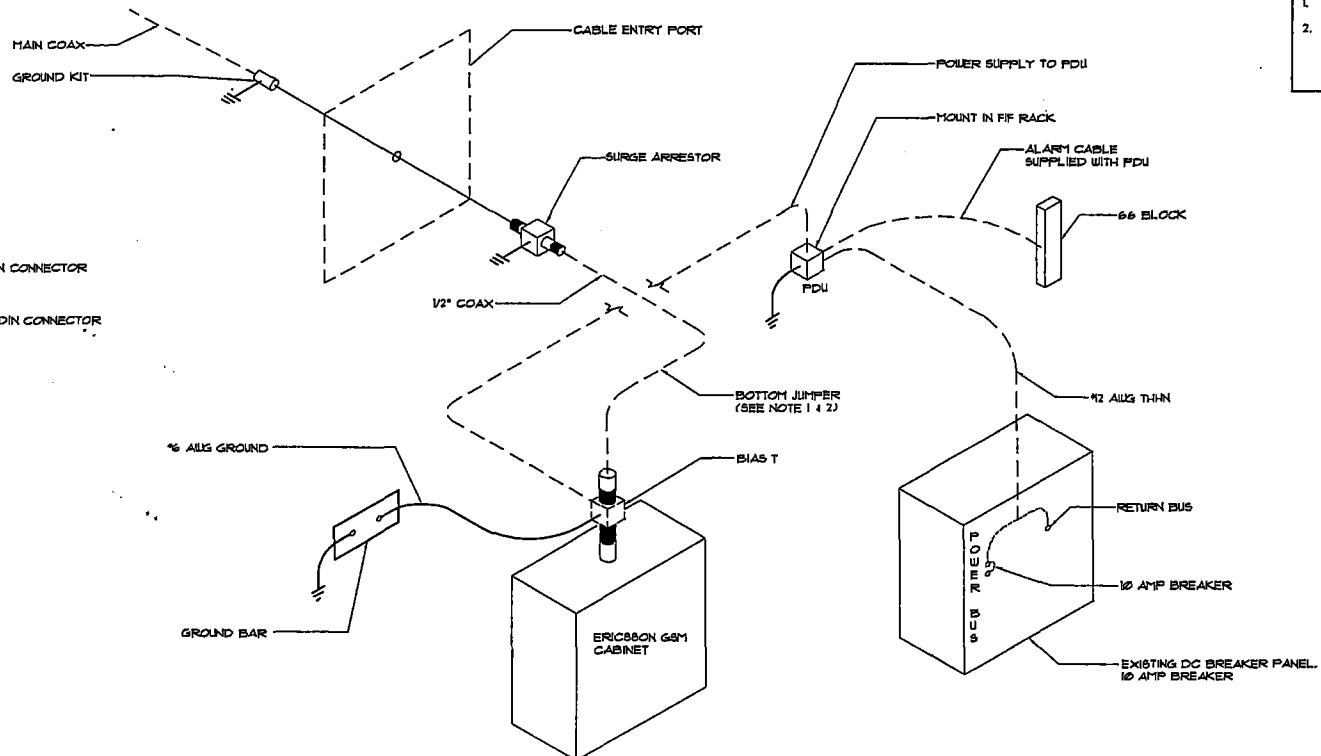
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 SCHAUMBURG, IL 60173

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01/25/02	FINAL	RO	AG	
SCALE: AS SHOWN				



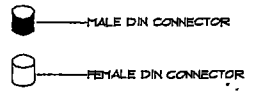
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ANTENNA COAX DIAGRAM	
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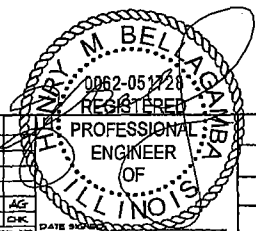


NOTE:

1. FOR BOTTOM JUMPERS USE 1/2" COAX.
2. FABRICATE JUMPERS TO ASSURE THAT THE CONNECTOR IS 5/8" FROM THE PLATFORM ALLOWING ENOUGH SLACK TO REACH ALL BTS CONNECTIONS IF CABINET IS NOT IN PLACE



1 BOTTOM JUMPER & BIAS T
SCALE: NTS



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ROSEMONT, ILLINOIS 60018
TEL: 641-292-0200
FAX: 641-292-0206
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HOFFMAN ESTATES CONDO RT
SITE NO: IL0828
1500 HUNTINGTON BLVD
HOFFMAN ESTATES, IL 60169

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930 NATIONAL PARKWAY
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AT&T	
BOTTOM JUMPER & BIAS T DETAIL	
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IL0828-09	0

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CABLE MARKING COLOR CONVENTION TABLE

ALPHA, A, X, Y	A1-1 -45	A1-2 -45	A2-1 -45	A2-2 -45	A3-1 -45	A3-2 -45	A4-1 -45	A4-2 -45
SECTOR ANTENNA PORT (-45)	RED WHITE SLATE	RED WHITE BROWN	RED ORANGE SLATE	RED ORANGE BROWN	RED BROWN SLATE	RED BROWN BROWN	RED VIOLET SLATE	RED VIOLET BROWN
BAND (850/1900)	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET
BETA, B, Y, Y2	B1-1 -45	B1-2 -45	B2-1 -45	B2-2 -45	B3-1 -45	B3-2 -45	B4-1 -45	B4-2 -45
SECTOR ANTENNA PORT	BLUE WHITE SLATE	BLUE WHITE BROWN	BLUE ORANGE SLATE	BLUE ORANGE BROWN	BLUE BROWN SLATE	BLUE BROWN BROWN	BLUE VIOLET SLATE	BLUE VIOLET BROWN
BAND (850/1900)	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET
GAMMA, C, Z, Z2	C1-1 -45	C1-2 -45	C2-1 -45	C2-2 -45	C3-1 -45	C3-2 -45	C4-1 -45	C4-2 -45
SECTOR ANTENNA PORT	GREEN WHITE SLATE	GREEN WHITE BROWN	GREEN ORANGE SLATE	GREEN ORANGE BROWN	GREEN BROWN SLATE	GREEN BROWN BROWN	GREEN VIOLET SLATE	GREEN VIOLET BROWN
BAND (850/1900)	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET
DELTA, D, Y4	D1-1 -45	D1-2 -45	D2-1 -45	D2-2 -45	D3-1 -45	D3-2 -45	D4-1 -45	D4-2 -45
SECTOR ANTENNA PORT	YELLOW WHITE SLATE	YELLOW WHITE BROWN	YELLOW ORANGE SLATE	YELLOW ORANGE BROWN	YELLOW BROWN SLATE	YELLOW BROWN BROWN	YELLOW VIOLET SLATE	YELLOW VIOLET BROWN
BAND (850/1900)	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET

NOTE:

- ALL COLOR CODE TAPE SHALL BE 3M-35 AND SHALL BE INSTALLED USING A MINIMUM OF (3) WRAPS OF TAPE.
- ALL COLOR BANDS INSTALLED AT THE TOWER TOP SHALL BE A MINIMUM OF 3" WIDE AND SHALL HAVE A MINIMUM OF 3/4" OF SPACING BETWEEN EACH COLOR.
- ALL COLOR BANDS INSTALLED AT OR NEAR THE GROUND MAY BE ONLY 3/4" WIDE, EACH TOP-JUMPER SHALL BE COLOR CODED WITH (1) SET OF 3" WIDE BANDS.
- EACH MAIN COAX SHALL BE COLOR CODED WITH (1) SET OF 3" BANDS NEAR THE TOP-JUMPER CONNECTION AND WITH 3/4" COLOR BANDS JUST PRIOR TO ENTERING THE BTS OR TRANSMITTER BUILDING.
- ALL BOTTOM JUMPERS SHALL BE COLOR CODED WITH (1) SET OF 3/4" BANDS ON EACH END OF THE BOTTOM JUMPER.
- ALL COLOR CODES SHALL BE INSTALLED SO AS TO ALIGN NEATLY WITH ONE ANOTHER FROM SIDE-TO-SIDE.
- EACH COLOR BAND SHALL HAVE A MINIMUM OF (3) WRAPS AND SHALL BE NEATLY TRIMMED AND SMOOTHED OUT SO AS TO AVOID UNRAVELING.
- X-POLE ANTENNAS SHOULD USE "XX-1" FOR THE "-45" PORT, "XX-2" FOR THE "-45" PORT.
- COLOR BAND "4" REFERS TO THE FREQUENCY BAND: ORANGE = 850, VIOLET = 1900, USED ON JUMPERS ONLY.
- RF FEED LINE SHALL BE IDENTIFIED WITH A METAL TAG (STAINLESS OR BRASS) AND STAMPED WITH THE SECTOR, ANTENNA POSITION, AND CABLE NUMBER.
- ANTENNAS MUST BE IDENTIFIED, USING THE SECTOR LETTER AND ANTENNA NUMBER, WITH A BLACK MARKER PRIOR TO INSTALLATION.

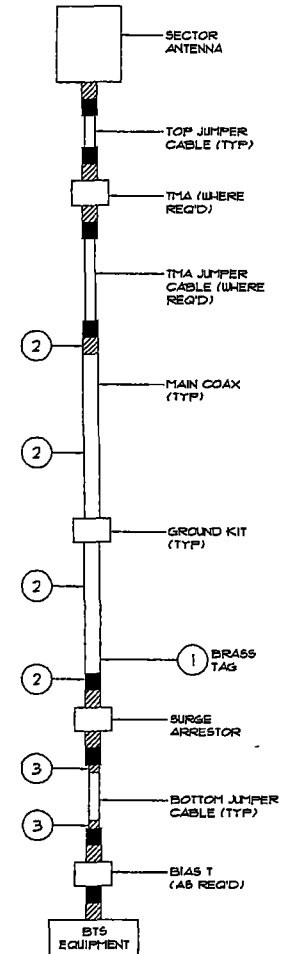
CABLE MARKING LOCATION TABLE

TAPE	TAG	LOCATIONS
X		EACH TOP-JUMPER SHALL BE COLOR CODED WITH (1) SET OF 3" WIDE BANDS
X		EACH MAIN COAX SHALL BE COLOR CODED WITH (1) SET OF 3" WIDE BANDS NEAR THE TOP-JUMPER CONNECTION AND WITH (1) SET OF 3/4" WIDE COLOR BANDS JUST PRIOR TO ENTERING THE BTS OR TRANSMITTER BUILDING
	X	MARKING TAGS SHALL BE ATTACHED AT CABLE ENTRY POINT ON THE INTERIOR OF THE SHELTER
X		ALL BOTTOM JUMPERS SHALL BE COLOR CODED WITH (1) SET OF 3/4" WIDE BANDS ON EACH END OF JUMPER.

FIGURE 2: TAG DETAIL EXAMPLE



CABLE MARKING TAGS
 TO PROVIDE ADDITIONAL IDENTIFICATION, RF CABLES SHALL BE IDENTIFIED WITH A METAL TAG-MADE OF STAINLESS STEEL OR BRASS AND STAMPED WITH THE SECTOR, ANTENNA POSITION, AND CABLE NUMBER. THE ID MARKING LOCATIONS SHOULD BE AS PER "CABLE MARKING LOCATIONS TABLE". THE TAG SHOULD BE ATTACHED WITH CORROSION PROOF WIRE OR WAX STRING AROUND THE CABLE. THE TAG SHOULD BE LABELED AS SHOWN ABOVE IN FIGURE 2.



CABLE MARKING LOCATIONS DIAGRAM 4 COAX COLOR CODE IDENTIFICATION DETAIL

① COAX LABELING

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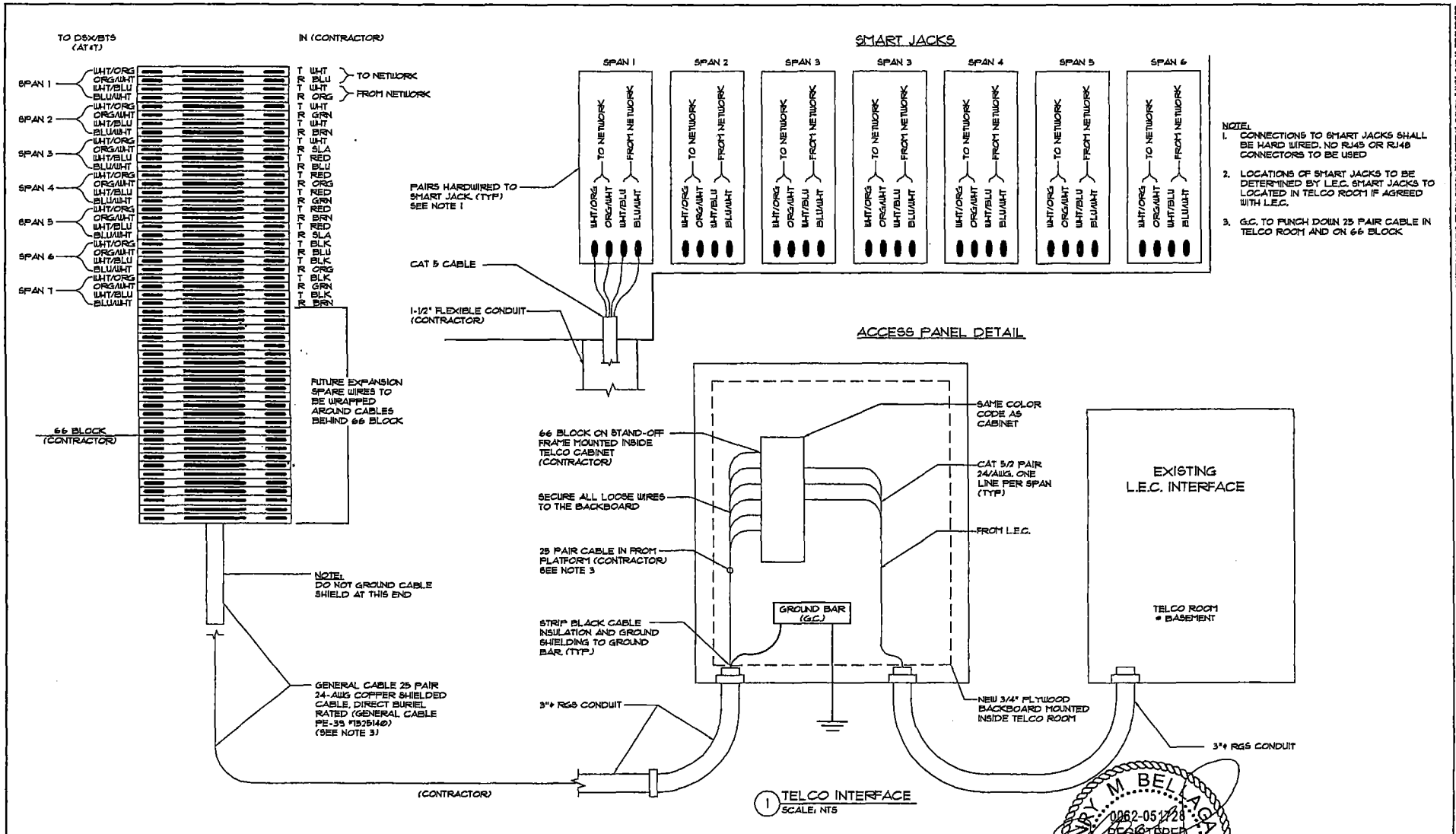
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Professional Engineer of Illinois
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 REGISTERED
 DATE: 11/25/10
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 BY GSK
 SCALE: AS SHOWN
 APP'D BY: [Signature]

AT&T
 COAX LABELING
 DRAWING NUMBER: 1L0828-10
 REV: 0

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- NOTE**
1. CONNECTIONS TO SMART JACKS SHALL BE HARD WIRED. NO RJ45 OR RJ48 CONNECTORS TO BE USED
 2. LOCATIONS OF SMART JACKS TO BE DETERMINED BY L.E.C. SMART JACKS TO BE LOCATED IN TELCO ROOM IF AGREED WITH L.E.C.
 3. G.C. TO PUNCH DOWN 25 PAIR CABLE IN TELCO ROOM AND ON 66 BLOCK

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TELCO INTERFACE	
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POS	CABLE FACTORY	ALARM DEFINITION	LEVEL / ID	STATE	ALARM SIDE	DEVICE
1	WHITE/BLUE	SITE DOOR OPEN	1 / 0	BREAKING	FACTORY INSTALLED	FACTORY INSTALLED
2	BLUE/WHITE					FACTORY INSTALLED
3	WHITE/ORANGE	HI TEMP RADIO ROOM	1 / 1	BREAKING	FACTORY INSTALLED	FACTORY INSTALLED
4	ORANGE/WHITE					FACTORY INSTALLED
5	WHITE/GREEN	AC SURGE ARRESTOR FAIL	1 / 2	BREAKING	FACTORY INSTALLED	FACTORY INSTALLED
6	GREEN/WHITE					FACTORY INSTALLED
7	WHITE/BROWN	SMOKE DETECTOR	1 / 3	BREAKING	FACTORY INSTALLED	FACTORY INSTALLED
8	BROWN/WHITE					FACTORY INSTALLED
9	RED/BLUE	AC DISTRIBUTION FAIL	1 / 4	BREAKING	FACTORY INSTALLED	FACTORY INSTALLED
10	BLUE/RED					FACTORY INSTALLED
11	RED/ORANGE	LO TEMP RADIO ROOM	1 / 5	BREAKING	FACTORY INSTALLED	FACTORY INSTALLED
12	ORANGE/RED					FACTORY INSTALLED
13	RED/GREEN	24V BAT DISCONNECT FUSE FAIL	1 / 6	BREAKING	WHITE/BLUE	NC
14	GREEN/RED					BLUE/WHITE
15	RED/BROWN	RECT SYSTEM A1 ALARM PECO	1 / 7	BREAKING	VIOLET/GREEN	MODULAR PLUG
16	BROWN/RED					VIOLET/ORANGE
17	BLACK/BLUE	RECT SYSTEM A2 ALARM PECO	1 / 8	BREAKING	YELLOW/BROWN	MODULAR PLUG
18	BLUE/BLACK					YELLOW/SLATE
19	BLACK/ORANGE	OVER VOLTAGE PECO	1 / 9	BREAKING	WHITE/BROWN	MODULAR PLUG
20	ORANGE/BLACK					WHITE/SLATE
21	BLACK/GREEN	BATTERY ON DISCHARGE PECO	1 / A	BREAKING	RED/ORANGE	MODULAR PLUG
22	GREEN/BLACK					RED/GREEN
23	BLACK/BROWN	FUSE FAIL TELCO	1 / B	BREAKING	WHITE/BLUE	MODULAR PLUG
24	BROWN/BLACK					BLUE/WHITE
25	YELLOW/BLUE	THA TROUBLE	1 / C	BREAKING	WHITE	MODULAR PLUG
26	BLUE/YELLOW					BLUE
27	YELLOW/ORANGE	WHITE STROBE FAIL	1 / D	BREAKING	WHITE/BLUE	NC
28	ORANGE/YELLOW					BLUE/WHITE
29	YELLOW/GREEN	RED STROBE FAIL	1 / E	BREAKING	WHITE/ORANGE	NC
30	GREEN/YELLOW					ORANGE/WHITE
31	YELLOW/BROWN	SIDE LIGHT FAILURE	1 / F	BREAKING	WHITE/GREEN	NC
32	BROWN/YELLOW					GREEN/WHITE

NOTE:

1. THE CONTRACTOR HAS MADE THIS INBERT ANY QUESTIONS CONTACT A CONTRACTOR REP.
2. POSITION 33 TO 50 ON THE 66 BLOCK IS FOR FUTURE USE
3. G.C. SHALL RUN CAT 5 CABLE FROM EQUIPMENT TO ASTERISK (*) TERMINAL ON 66 BLOCK AND LEAVE COILED AT 66 BLOCK FOR AT4T TERMINATE
4. CAT 5 CABLE SHALL RUN ALONG CABLE TRAY AND BE DRESSED PROPERLY WITH TIE WRAPS CUT SUCH THAT SHARP EDGES ARE POINTED UPWARD. CAT 5 CABLE SHOULD BE STAPLED AGAINST ANY SURFACE TO HOLD IT IN PLACE

LEGEND:

* DENOTES CONTRACTOR PUNCHDOWN RESPONSIBILITY

1 ALARM TERMINATION DIAGRAM
SCALE: NTS

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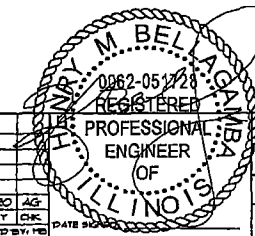
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SCALE: AS SHOWN		APP'D BY: PE		DATE: 11/05/10



AT4T	
ALARM TERMINATION	
DRAWING NUMBER	REV
IL0828- 12	0

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SITE WORK GENERAL NOTES:

1. THE SUBCONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.
2. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY CONTRACTOR. EXTREME CAUTION SHOULD BE USED BY THE SUBCONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. SUBCONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION, B) CONFINED SPACE, C) ELECTRICAL SAFETY, D) TRENCHING AND EXCAVATION.
3. ALL SITE WORK SHALL BE AS INDICATED ON THE DRAWING AND PROJECT SPECIFICATIONS.
4. IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
5. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF CONTRACTOR, OWNER AND/OR LOCAL UTILITIES.
6. THE SUBCONTRACTOR SHALL PROVIDE SITE SIGNAGE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATION FOR SITE SIGNAGE.
7. THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE BTS EQUIPMENT AND TOWER AREAS.
8. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
9. THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
10. THE AREAS OF THE OWNER'S PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION AS SPECIFIED IN THE PROJECT SPECIFICATIONS.
11. SUBCONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.

1 DETAIL
SCALE NTS.

2 NOT USED
SCALE NTS.

3 NOT USED
SCALE NTS.

GENERAL NOTES:

1. FOR THE PURPOSE OF CONSTRUCTION DRAWINGS, THE FOLLOWING DEFINITIONS SHALL APPLY:
 CONTRACTOR - AT4T
 SUBCONTRACTOR - GENERAL CONTRACTOR (CONSTRUCTION)
 OWNER - AT4T
 OEM - ORIGINAL EQUIPMENT MANUFACTURER
2. PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING SUBCONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITION AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE CONTRACTOR.
3. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. SUBCONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK.
4. DRAWINGS PROVIDED HERE ARE NOT TO SCALE AND ARE INTENDED TO SHOW OUTLINE ONLY.
5. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FINISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATION AS INDICATED ON THE DRAWINGS.
6. "KITTING LIST" SUPPLIED WITH THE BID PACKAGE IDENTIFIES ITEMS THAT WILL BE SUPPLIED BY CONTRACTOR. ITEMS NOT INCLUDED IN THE BILL OF MATERIALS AND KITTING LIST SHALL BE SUPPLIED BY THE SUBCONTRACTOR.
7. THE SUBCONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIAL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
8. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE SUBCONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE CONTRACTOR.
9. SUBCONTRACTOR SHALL DETERMINE ACTUAL ROUTING OF CONDUIT, POWER AND T1 CABLES, GROUNDING CABLES AS SHOWN ON THE POWER, GROUNDING AND TELCO PLAN DRAWING.
10. THE SUBCONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGES PART SHALL BE REPAIRED AT SUBCONTRACTOR'S EXPENSE TO SATISFACTION OF OWNER.
11. SUBCONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIAL SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
12. SUBCONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION.
13. CONSTRUCTION SHALL COMPLY WITH GENERAL CONSTRUCTION SERVICES FOR CONSTRUCTION OF AT4T GSM SITES.

4 DETAIL
SCALE NTS.

ABBREVIATIONS

AGL	ABOVE GRADE LEVEL
BTS	BASE TRANSMISSION STATION
(E)	EXISTING
MIN	MINIMUM
NTS	NOT TO SCALE
REF	REFERENCE
RF	RADIO FREQUENCY
T.B.D.	TO BE DETERMINED
T.B.R	TO BE RESOLVED
TYP	TYPICAL
REQ	REQUIRED
EGR	EQUIPMENT GROUND RING
AWG	AMERICAN WIRE GAUGE
MGB	MASTER GROUND BAR
EG	EQUIPMENT GROUND
BCW	BARE COPPER WIRE
SIAD	SMART INTEGRATED ACCESS DEVICE
GEN	GENERATOR
IGR	INTERIOR GROUND RING (HALO)
RBS	RADIO BASE STATION

SYMBOLS

	SOLID GROUND BUS BAR
	SOLID NEUTRAL BUS BAR
	SUPPLEMENTAL GROUND CONDUCTOR
	2-POLE THERMAL-MAGNETIC CIRCUIT BREAKER
	SINGLE-POLE THERMAL-MAGNETIC CIRCUIT BREAKER
	CHEMICAL GROUND ROD
	GROUND ROD
	DISCONNECT SWITCH
	METER
	EXOTHERMIC WELD (CADWELD) (UNLESS OTHERWISE NOTED)
	5/8" x 1/2" COPPER CLAD STEEL GROUND ROD
	5/8" x 1/2" COPPER CLAD STEEL GROUND ROD WITH INSPECTION SLEEVE
	EXOTHERMIC WELD (CADWELD) WITH INSPECTION SLEEVE
	5/8" x 1/2" COPPER CLAD STEEL GROUND ROD

5 DETAIL
SCALE NTS.

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0	18/05/00	FINAL	RO	AG
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APPROVED BY: PD		DATE: 05/12/00		

AT4T	
CONSTRUCTION NOTES	
DRAWING NUMBER	REV
IL0828-13	0

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STRUCTURAL NOTES

1.0 APPLICABLE CODES

1.1 DESIGN & CONSTRUCTION OF ALL WORK SHALL CONFORM TO THE FOLLOWING CODES:
INTERNATIONAL BUILDING CODE, 2003 EDITION

ACI 318-02
AISC, "ALLOWABLE STRESS DESIGN", 9TH EDITION
ASCE 7-02
TIA/EIA-222-F
ACI 530-02

2.0 DESIGN LOADS

2.1 ANTENNA SIZE: (SEE DWG. 06 FOR DETAILS)

2.2 DEAD LOAD: EQUIPMENT CABINETS 6000 LB TOTAL

2.3 LIVE LOAD: PLATFORM GRATING 100 PSF
ROOF LIVE LOAD 20 PSF
SNOW GROUND LOAD 25 PSF

2.4 WIND WIND SPEED: 30 MPH (3 SEC. GUST)
WIND PRESSURE: 30 PSF

2.5 ROOF HEIGHT: 52'-0" AGL

2.6 HEIGHT TO CENTER OF ANTENNAS: 51'-0" AGL

3.0 GENERAL NOTES

3.1 STRUCTURAL DRAWINGS ARE INTENDED TO BE USED WITH ARCHITECTURAL DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE REQUIREMENTS OF ALL DRAWINGS INTO THEIR SHOP DRAWINGS AND WORK. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ENGINEER REVIEW.

3.2 NO CHANGE IN SIZE OR DIMENSION OF STRUCTURAL MEMBERS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR LIMITING THE AMOUNT OF CONSTRUCTION LOAD IMPOSED UPON STRUCTURAL FRAMING. CONSTRUCTION LOADS SHALL NOT EXCEED THE CAPACITY OF THE FRAMING AT THE TIME THE LOADS ARE IMPOSED.

3.3 THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION. THE CONTRACTOR SHALL FURNISH ALL TEMPORARY BRACINGS AND/OR SUPPORTS REQUIRED AS THE RESULT OF THE CONTRACTOR'S CONSTRUCTION METHODS AND/OR SEQUENCES.

3.4 DO NOT SCALE THESE DRAWINGS, USE DIMENSIONS.

3.5 THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY DEVIATION FROM THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOT BE RELIEVED OF THE RESPONSIBILITY FOR SUCH DEVIATION BY THE ENGINEER'S APPROVAL OF SHOP DRAWINGS, PRODUCT DATA, ETC., UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE ENGINEER OF SUCH DEVIATION AT THE TIME OF SUBMISSION, AND THE ENGINEER HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION.

3.6 ALL THINGS WHICH IN THE OPINION OF THE CONTRACTOR, APPEAR TO BE DEFICIENCIES, OMISSIONS, CONTRADICTIONS AND AMBIGUITIES, IN THE PLANS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. PLANS AND/OR SPECIFICATIONS WILL BE CORRECTED, OR A WRITTEN INTERPRETATION OF THE ALLEGED DEFICIENCY, OMISSION, CONTRADICTION OR AMBIGUITY WILL BE MADE BY THE ENGINEER BEFORE THE AFFECTED WORK PROCEEDS.

4.0 STRUCTURAL STEEL NOTES

4.1 ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", 1989 EDITION, THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES", LATEST EDITION.

4.2 ALL STRUCTURAL STEEL PLATES, SHAPES AND BARS SHALL CONFORM TO ASTM A36, UNLESS NOTED OTHERWISE. COLD FORMED TUBING SHALL CONFORM TO ASTM A500 GRADE B. PIPES SHALL CONFORM TO ASTM A53 TYPE E OR S. ANCHOR BOLTS SHALL CONFORM TO ASTM A307 OR ASTM A36.

4.3 ALL BOLTS (OTHER THAN ANCHOR BOLTS) NUTS AND WASHERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A325. ALL BOLTS SHALL BE 3/4 INCH DIAMETER, MINIMUM. BOLTS USED IN LATERAL LOAD RESISTING CONNECTIONS SHALL BE FRICTION TYPE, DESIGNED FOR INDICATED FORCES WITHOUT STRESS INCREASES.

4.4 ALL WELDING SHALL BE DONE BY QUALIFIED WELDERS AND SHALL CONFORM TO AWS D11 "STRUCTURAL WELDING CODE", LATEST EDITION. ALL WELDING ELECTRODES SHALL BE E70XX.

4.5 ALL BEAMS SHALL BE FABRICATED WITH THE NATURAL CAMBER UP.

4.6 THERE SHALL BE NO FIELD CUTTING OF STRUCTURAL STEEL MEMBERS FOR THE WORK OF OTHER TRADES WITHOUT THE PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.

4.7 GRATING SHALL BE CAPABLE OF SUPPORTING INDICATED LOADS. USE STANDARD J-BOLTS AND CLIPS FOR ATTACHMENT. GRATING SADDLE CLIP FASTENERS SHALL BE ASTM A510 GRADE 36 WITH MIN. THICKNESS OF 1/4 GA. SELF TAPPING GRATING FASTENERS BOLTS MIN. THICKNESS OF 1/4 GA. SELF TAPPING GRATING FASTENERS BOLTS SHALL BE STAINLESS STEEL PER ASTM A240, TYPE 410.

4.8 GUARD RAILS, LADDERS/STAIRS SHALL BE CONSTRUCTED IN ACCORDANCE WITH OSHA AND LOCAL REQUIREMENTS.

4.9 A. ALL STEEL SHALL BE HOT DIPPED GALVANIZED.
B. FIELD TOUCH UP ALL PAINTED AND GALVANIZED SURFACES.
C. GRIND ALL WELDS TO A SMOOTH FINISH.

4.10 MINIMUM SHEAR CAPACITIES: PROVIDE AT LEAST ONE HALF OF THE UNIFORM LOAD CARRYING CAPACITY OF THE BEAM WITH THE ASSUMPTION OF FULLY BRACED COMPRESSION FLANGE.

4.11 THE DEPTH OF A SIMPLE SHEAR CONNECTION SHALL NOT BE LESS THAN ONE HALF OF THE NOMINAL DEPTH OF THE BEAM; THE MINIMUM NUMBER OF BOLTS PER CONNECTION SHALL BE TWO (2).

STRUCTURAL NOTE:

STRUCTURAL CALCULATION PREPARED BY FULLERTON ENGINEERING CONSULTANTS, INC., DATED OCT 21, 2010. CONTRACTOR TO VERIFY WITH AT&T PROJECT MANAGER TO OBTAIN A COPY.

NOTES:

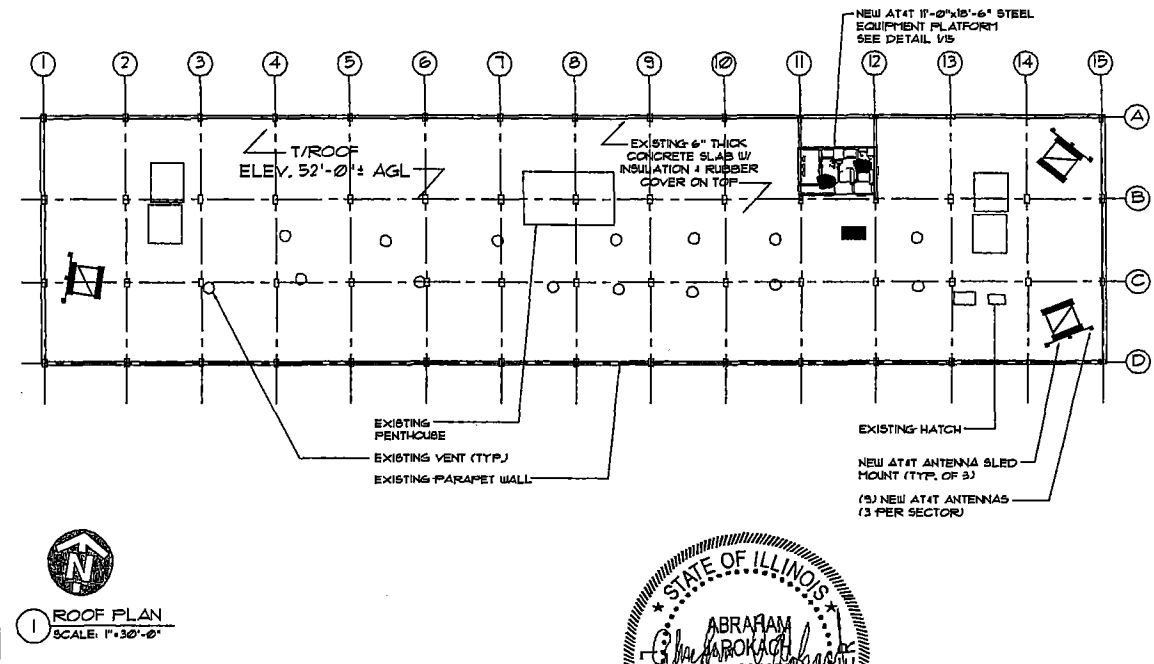
1) ALL EXISTING DIMENSIONS AND CONDITIONS MUST BE FIELD VERIFIED PRIOR TO FABRICATION.
2) USE MASONRY BITS FOR DRILLING OF CONCRETE & NO CUTTING/DAMAGING OF REBAR IS ALLOWED.

EXISTING STRUCTURAL DATA:

FULLERTON ENGINEERING CONSULTANTS REQUESTED ORIGINAL STRUCTURAL DRAWINGS FOR THIS EXISTING BUILDING; HOWEVER, DRAWINGS WERE NOT AVAILABLE AT THE TIME OF ENGINEERING DESIGN. FOR THIS REASON, FULLERTON ENGINEERING OBTAINED FIELD MEASUREMENTS OF THE EXISTING STRUCTURE IN THE AREAS AFFECTED BY THIS WORK. FULLERTON PERFORMED A FIELD EXAMINATION ON AUG 11, 2010, OF THE AFFECTED STRUCTURAL ELEMENTS, AND THEY WERE FOUND TO BE IN SATISFACTORY CONDITION. REF: FIELD INVESTIGATION REPORT OF AUG 23, 2010, PREPARED BY FULLERTON ENGINEERING.

BUILT-UP ROOFING:

GENERAL: FURNISH AND INSTALL NECESSARY MEMBRANE AND FLASHING MATERIALS COMPATIBLE WITH EXISTING ROOFING SYSTEM TO PROPERLY SEAL AND FLASH ROOF PENETRATIONS. VERIFY WITH BUILDING MANAGEMENT IF EXISTING ROOF HAS A MANUFACTURER'S WARRANTY IN EFFECT, IF SO, CONTACT MANUFACTURER FOR A LIST OF APPROVED ROOFING SUBCONTRACTORS WHO MAY PERFORM WORK AND MAINTAIN WARRANTY. USE ONLY APPROVED ROOFING CONTRACTORS IN ORDER TO MAINTAIN WARRANTY. CONTRACTOR TO MEET OR EXCEED EXISTING ROOF SYSTEM REQUIREMENTS FOR ROOF PENETRATION.



1 ROOF PLAN
SCALE: 1" = 30'-0"

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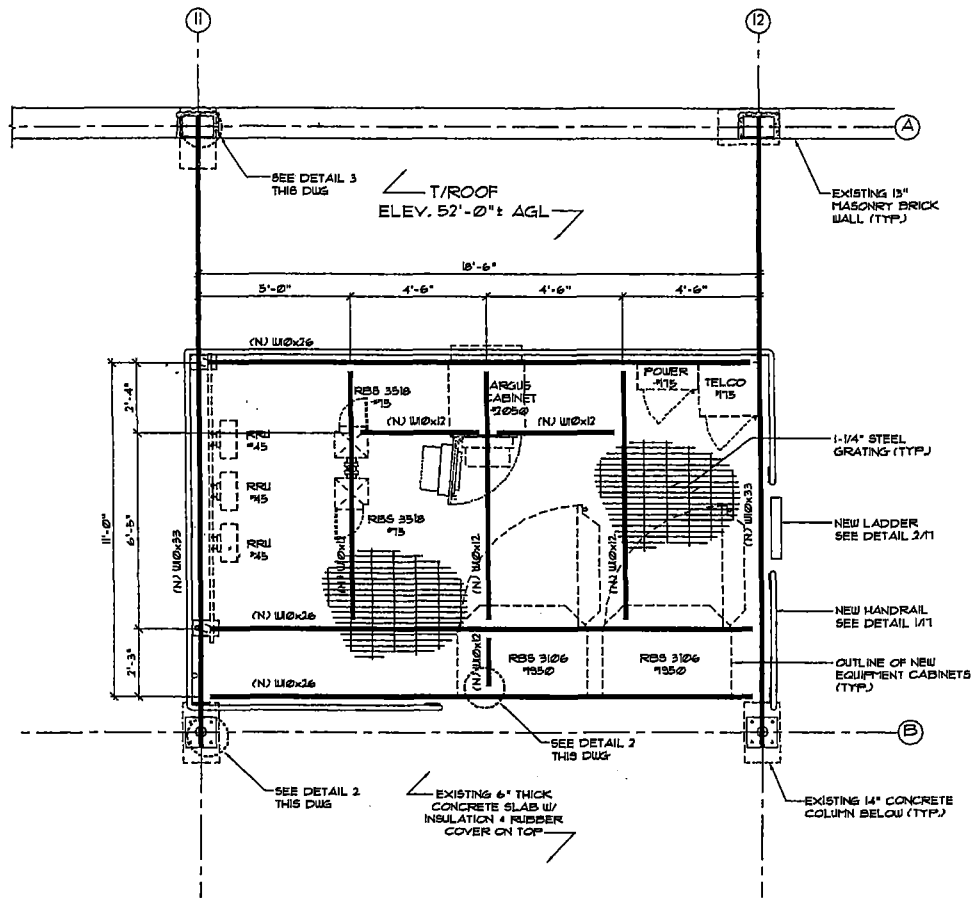
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4th FLOOR
SCHAUMBURG, IL 60173

STATE OF ILLINOIS
REGISTERED STRUCTURAL ENGINEER
ABRARAM
081-004073

DATE	11/25/10	REVISION	FINAL	RO	AG
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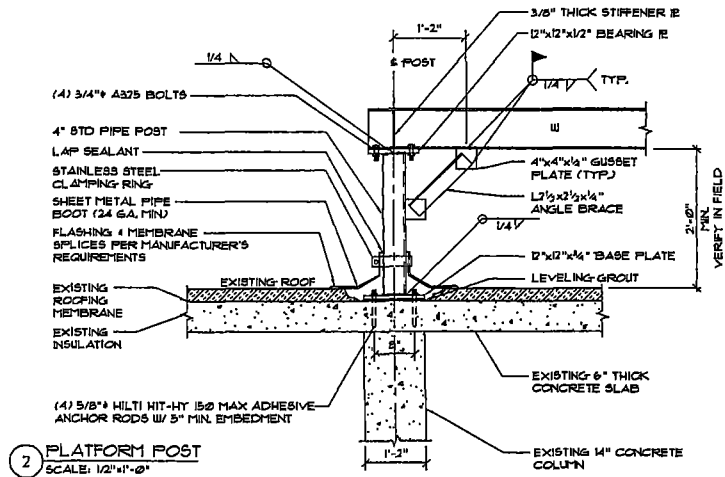
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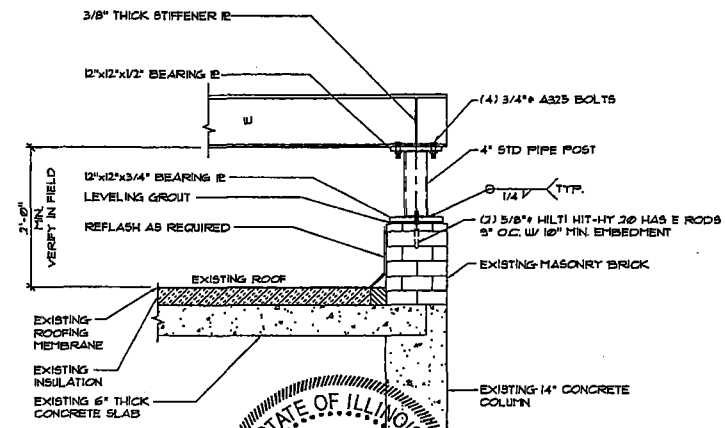


1 PLATFORM FRAMING PLAN
SCALE: 1/4"=1'-0"

NOTE:
SEE BUILT-UP ROOFING NOTE
ON DUGS 14



2 PLATFORM POST
SCALE: 1/2"=1'-0"



3 PLATFORM POST
9 PARAPET WALL
SCALE: 1/2"=1'-0"



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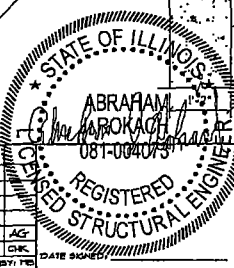
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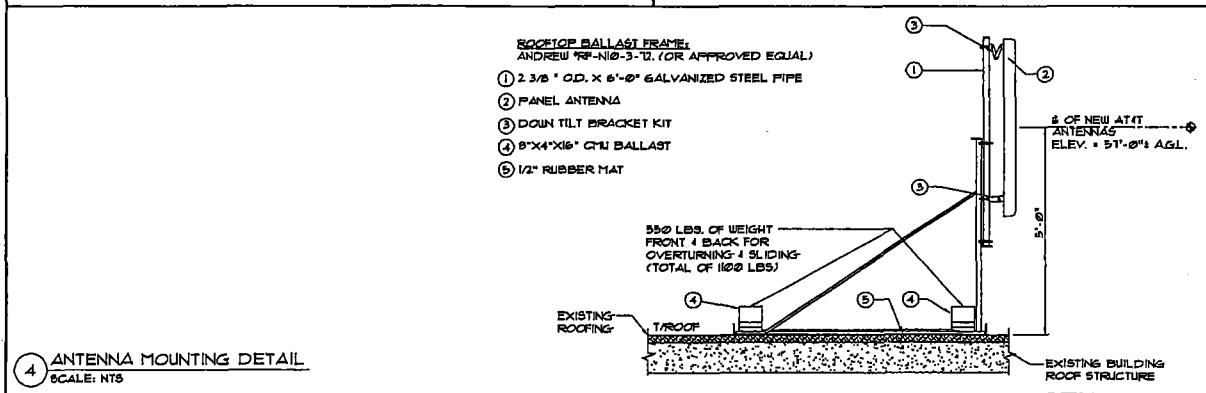
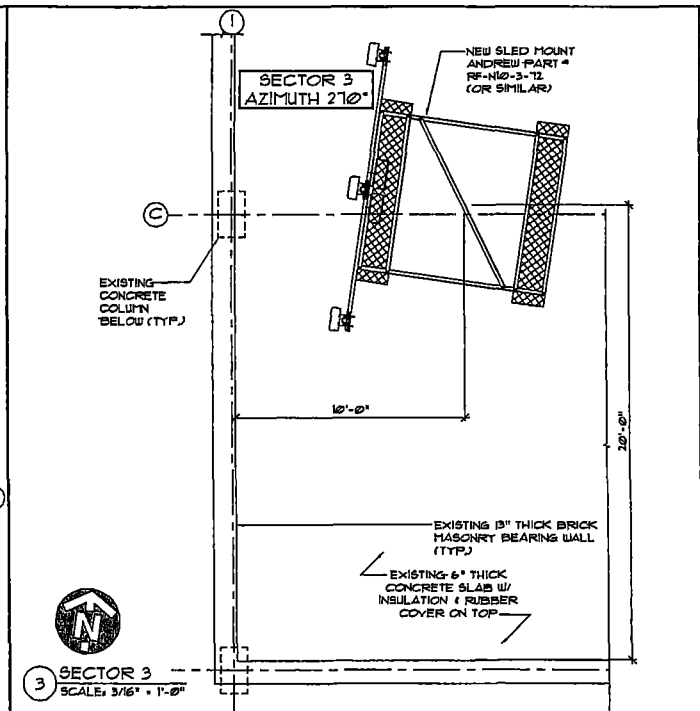
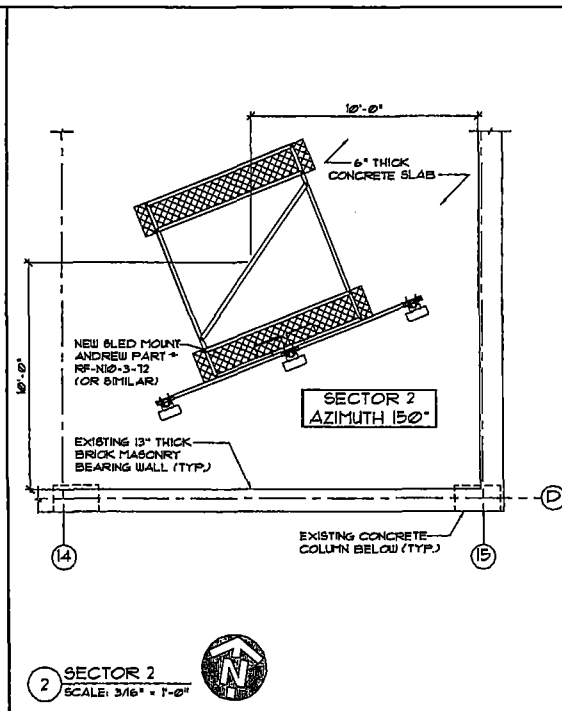
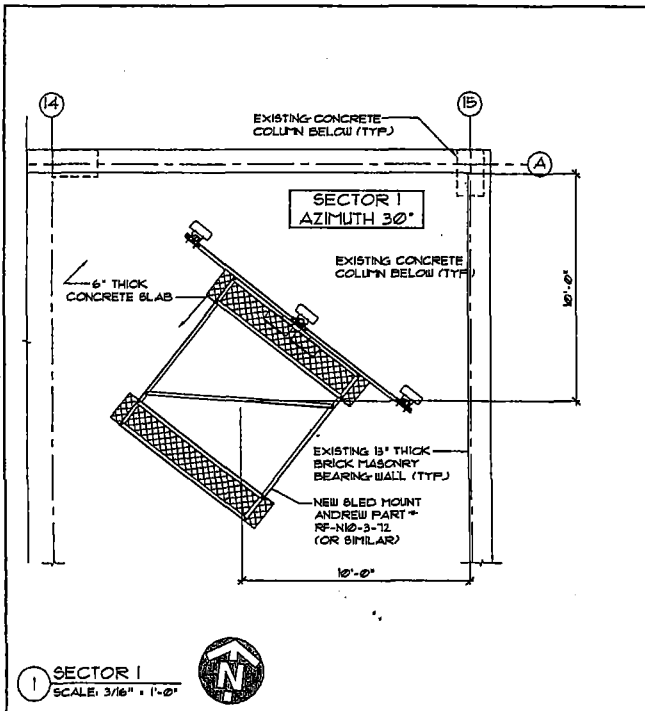
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SCALE: AS SHOWN



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PLATFORM FRAMING PLAN	
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- ROOFTOP BALLAST FRAME:**
ANDREW RF-N10-3-T. (OR APPROVED EQUAL.)
- ① 2 3/8" O.D. X 6'-0" GALVANIZED STEEL PIPE
 - ② PANEL ANTENNA
 - ③ DOWN TILT BRACKET KIT
 - ④ 5"X4"X16" C-11 BALLAST
 - ⑤ 1/2" RUBBER MAT

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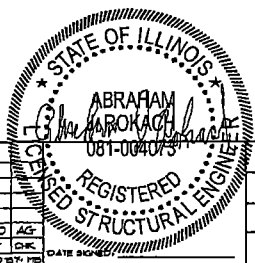
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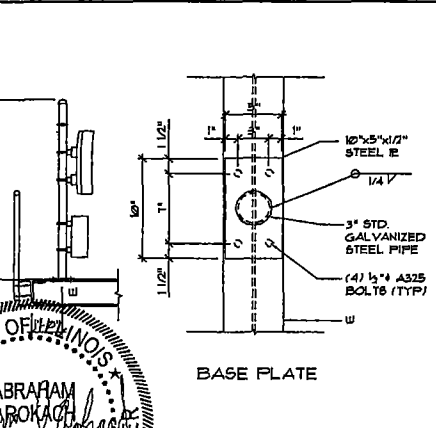
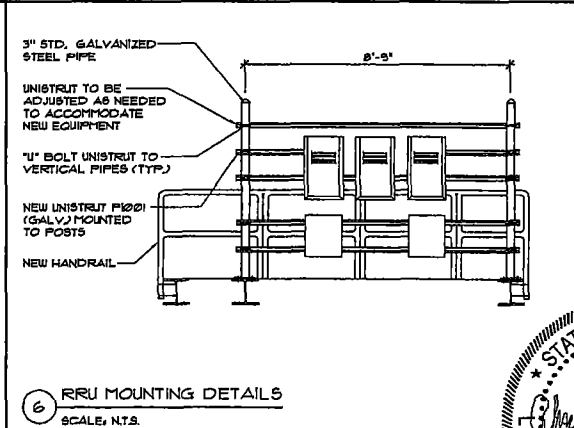
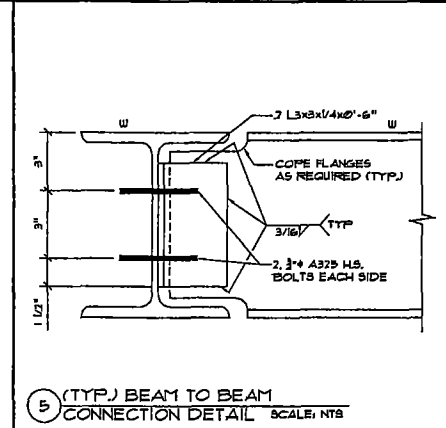
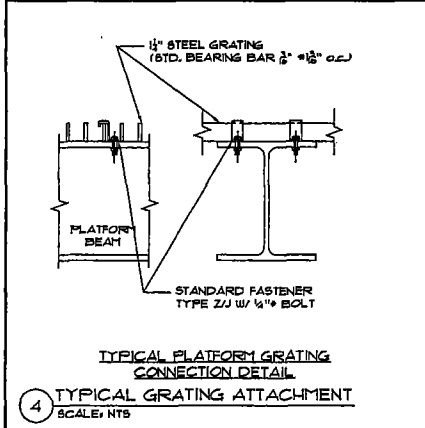
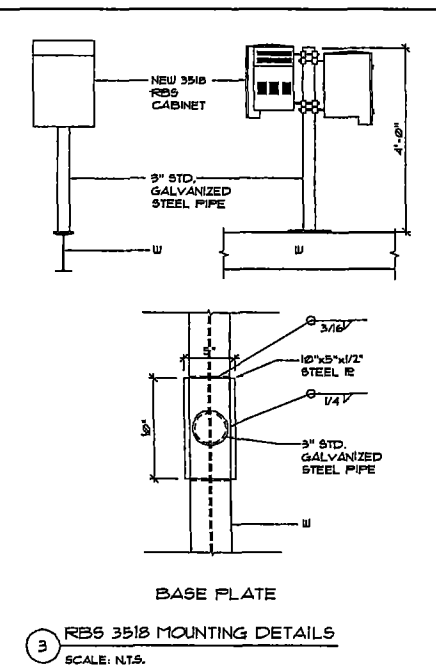
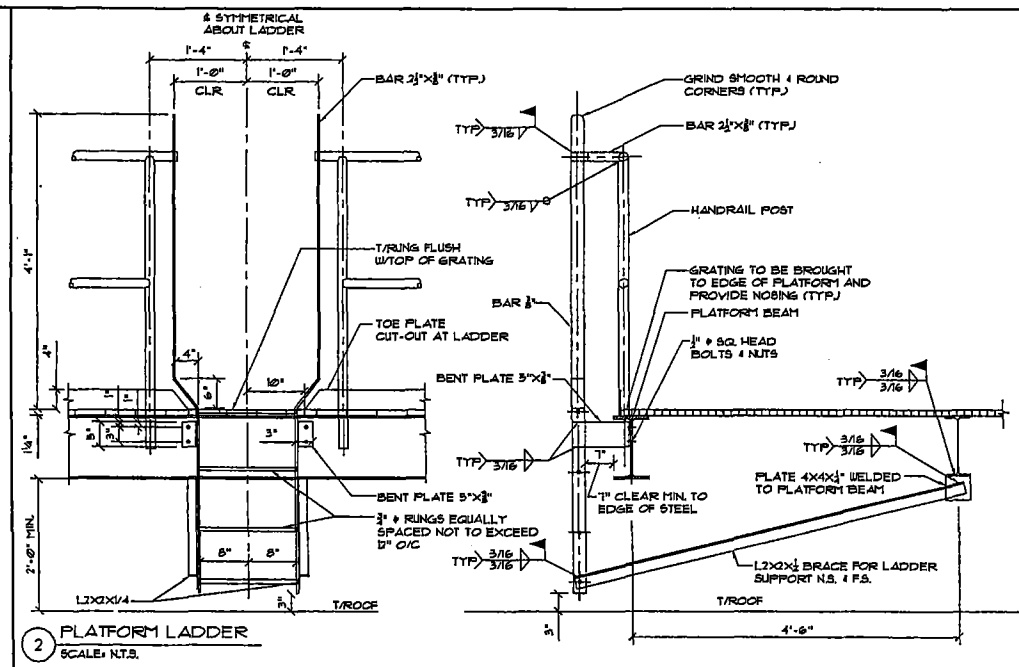
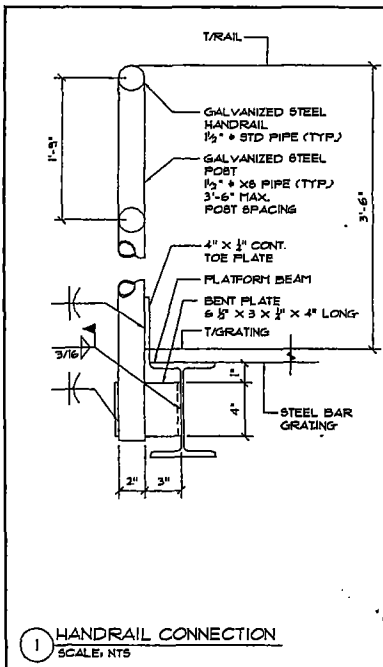
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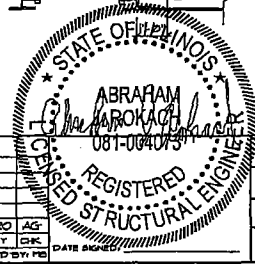
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HOFFMAN ESTATES, IL 60163

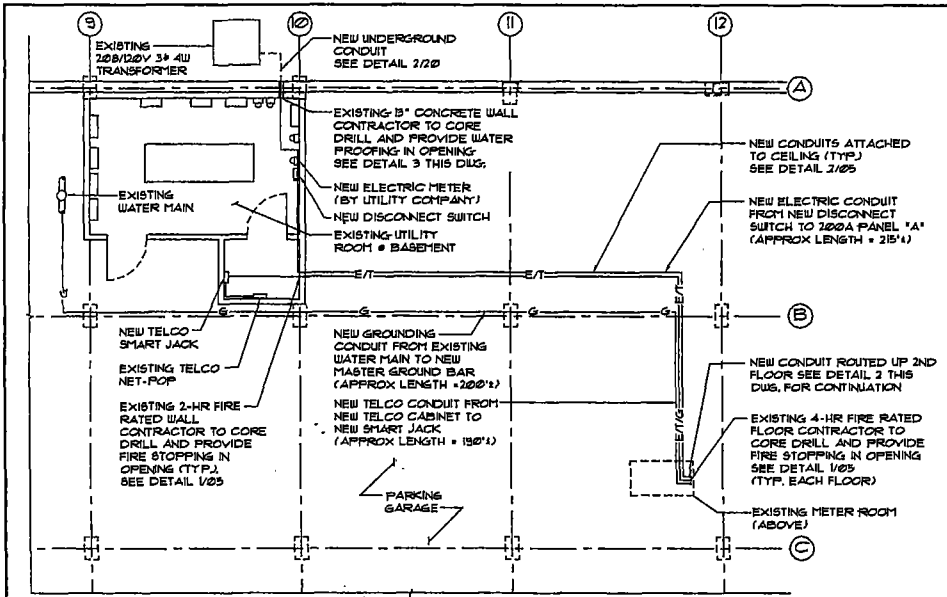
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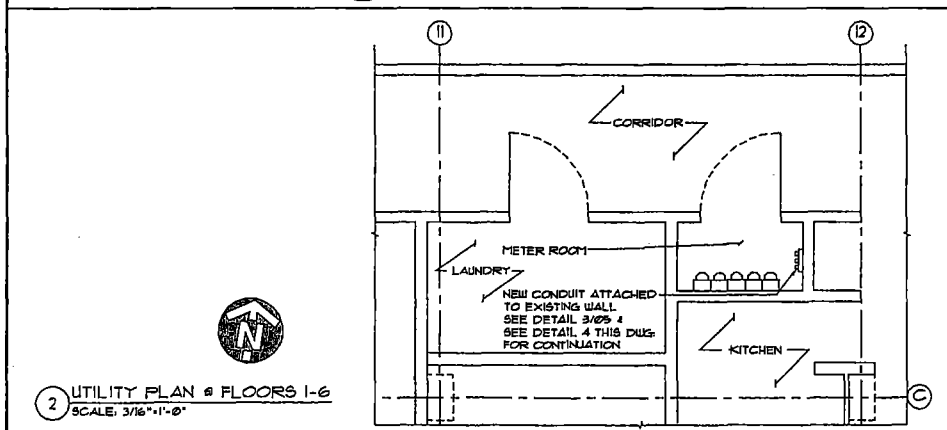


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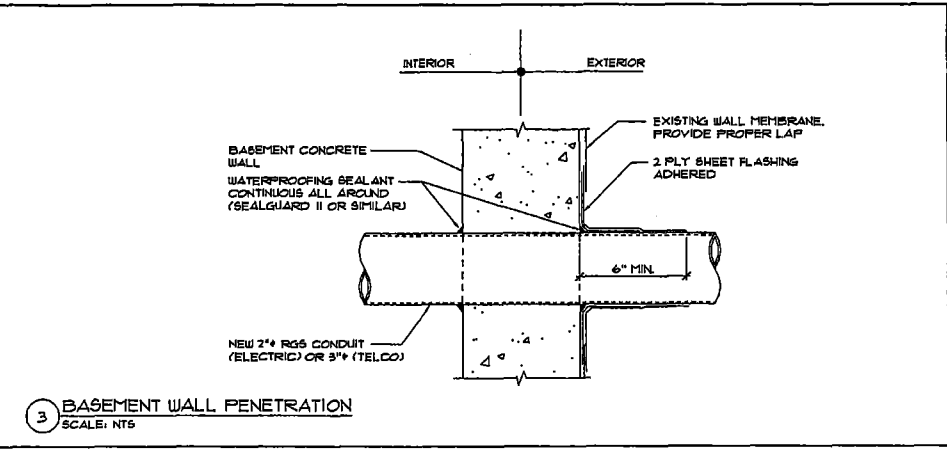
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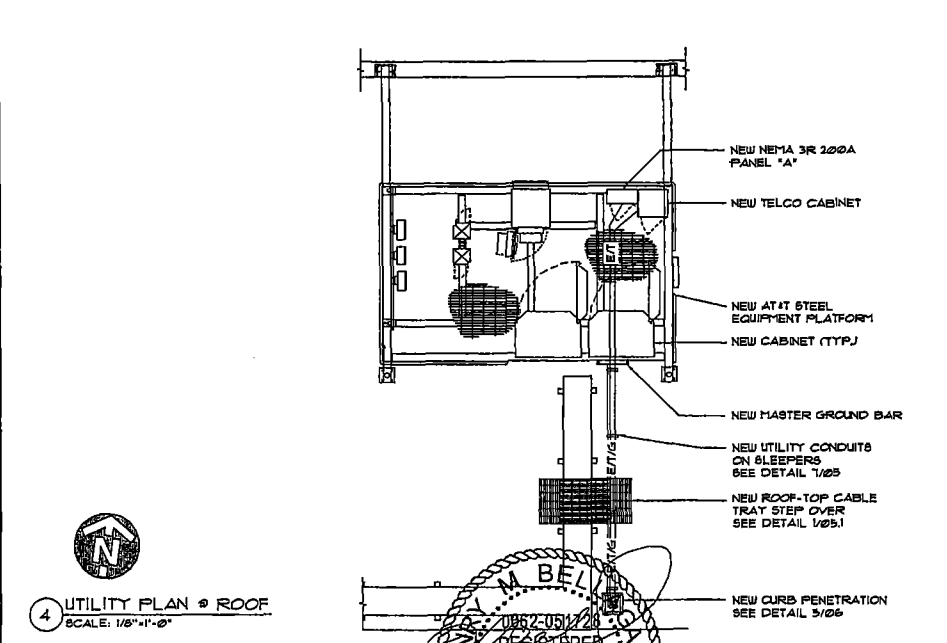
1 UTILITY PLAN @ BASEMENT
SCALE: 3/32"=1'-0"



2 UTILITY PLAN @ FLOORS 1-6
SCALE: 3/16"=1'-0"



3 BASEMENT WALL PENETRATION
SCALE: NTS



4 UTILITY PLAN @ ROOF
SCALE: 1/8"=1'-0"

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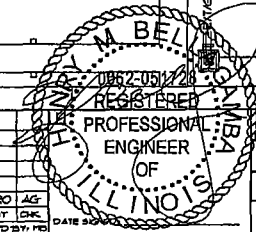
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UTILITY PLAN	
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PANEL 'A'

SERVICE: 120/208 VOLT, 3 PH, 4 WIRE
 MAIN BREAKER SIZE: 200A
 TYPE: SQUARE D MODEL Q2-3275NRS
 NEUTRAL BUS SIZE: FULL
 GROUND BUS SIZE: 25%

LOADS PER PHASE			INTERRUPTING RATING: 10,000 AMPS RMS SYM										LOADS PER PHASE			
A	B	C	REMARKS		WIRE	POLES	AMPS	CIRCUIT		AMPS	POLES	WIRE	REMARKS	A	B	C
360			SPACE					1	2	50	2	B	BTS 1	2400		
	100		GFI RECEPTACLE	12	1	20	3	4						2400		
	100		BATTERY HEATER	12	1	20	5	6							2400	
	100		BATTERY HEATER	12	1	20	7	8								2400
		100	BATTERY HEATER	12	1	20	9	10								
			SPACE				11	12								
			SPACE				13	14								
			SPACE				15	16			100	2	6	6500		6500
	100		SURGE SUPPRESSOR	5	2	60	17	18								
	100						19	20								
							21	22								
							23	24								
							25	26								
							27	28								
							29	30								
							31	32								
							33	34								
							35	36								
							37	38								
							39	40								
							41	42								

LOAD CALCULATION

KVA CONNECTED	NEC DEMAND (%)	KVA CONNECTED
LIGHTING	0.0	0.0
RECEPTACLES (UNDER 10 KVA)	0.4	0.4
RECEPTACLES (EXCEEDING 10 KVA)	5.0	5.0
HEAT	3.6	3.6
MOTORS	0.5	0.5
MISCELLANEOUS	22.6	22.6
TOTAL (KVA)		26.6
TOTAL (AMPS)		125

ELECTRICAL PANEL SCHEDULE

FEEDER CIRCUIT VOLTAGE DROP

LENGTH = 110 FT. VOLTAGE DROP (VD) = 1%
 CM = 21400 CM
 V = 308 VOLTS
 I = 125 A

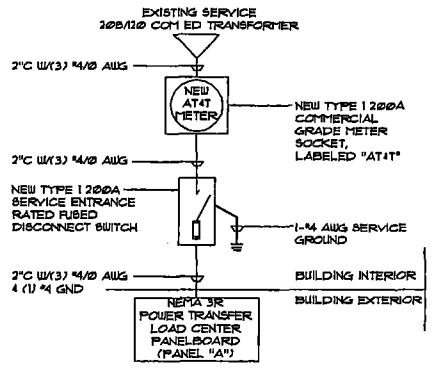
BRANCH CIRCUIT VOLTAGE DROP

LENGTH = 10 FT. (WORST CASE) IS FOR ARGUS
 CM = 26240 CM VOLTAGE DROP (VD) = 1.3%
 V = 308 VOLTS
 I = 125 A

NOTES:
 1. WHEN SERVICE OVERCURRENT DISCONNECT IS FIELD INSTALLED AND HAS A NEUTRAL TO GROUND CONNECTION ESTABLISHED, REMOVE FACTORY INSTALLED NEUTRAL TO GROUND BONDING JUMPER IN PTC CABINET.

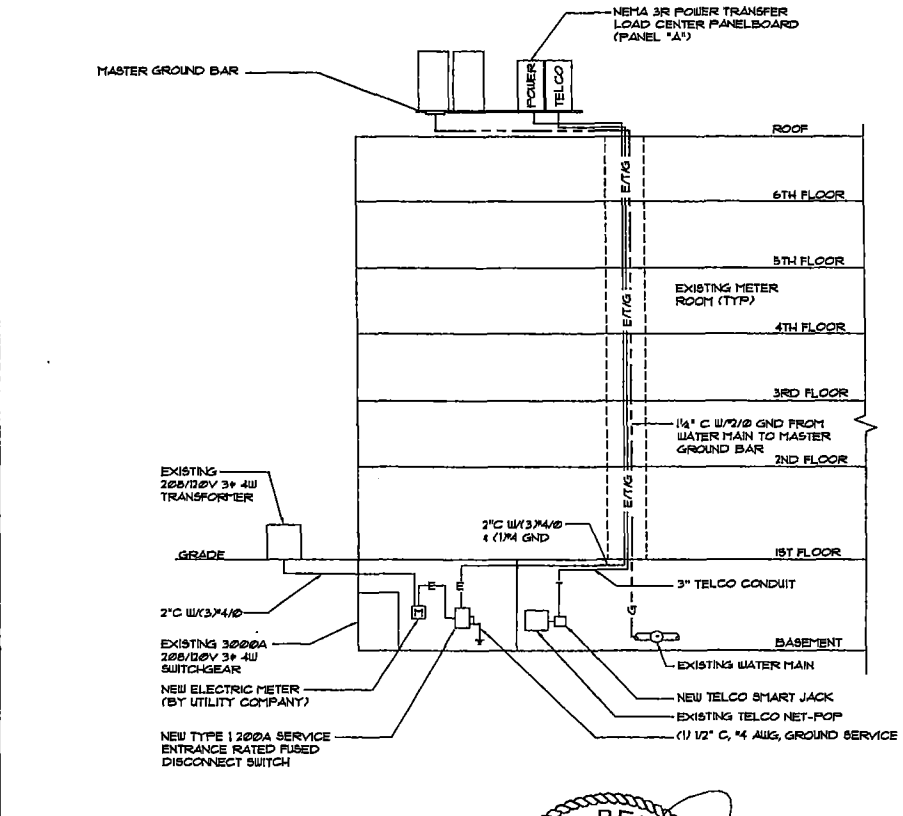
2. PRIOR TO INSTALLATION OF FINAL ELECTRICAL CONNECTION TO UTILITY SERVICE, THE ELECTRICAL CONTRACTOR SHALL VERIFY THAT THE AVAILABLE FAULT CURRENT DOES NOT EXCEED 10 KAIC. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF THIS REQUIREMENT IS NOT MET FOR ADDITIONAL ENGINEERING REVIEW & DESIGN.

SINGLE LINE DIAGRAM

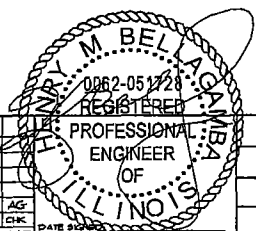


CONDUITS SIZE & LENGTH

SERVICE	SIZE	LENGTH (FT.)
ELECTRIC	2"ø	170 ±
TELCO	3"ø	150 ±
GROUNDING	1-1/4"ø	160 ±



1 RISER DIAGRAM
 SCALE: NTS



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RISER DIAGRAM & DETAILS	
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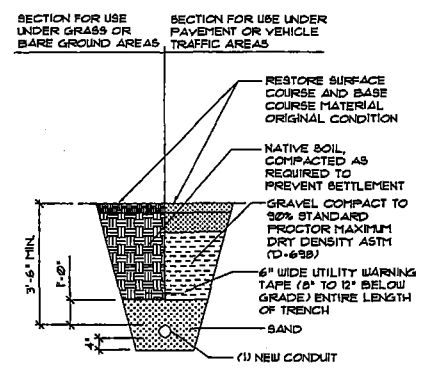
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ELECTRICAL INSTALLATION NOTES:

1. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE LOCAL CODES
2. CONDUIT ROUTINGS ARE SCHEMATIC. SUBCONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED.
3. WIRING, RACEWAY, AND SUPPORT METHODS AND MATERIAL SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC.
4. ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC
5. CABLES SHALL NOT BE ROUTED THROUGH LADDER-STYLE CABLE TRAY RUNGS.
6. EACH END OF EVERY POWER, POWER PHASE CONDUCTOR (I.E. HOTS), GROUNDING, AND TI CONDUCTOR AND CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2" PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL), THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC & OSHA.
7. ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH PLASTIC TAPE PER COLOR SCHEDULE. ALL EQUIPMENT SHALL BE LABELED WITH THEIR VOLTAGE RATING, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATINGS, AND BRANCH CIRCUIT ID NUMBERS (I.E. PANELBOARD AND CIRCUIT ID'S).
8. PANELBOARDS (ID NUMBERS) AND INTERNAL CIRCUIT BREAKERS (CIRCUIT ID NUMBERS) SHALL BE CLEARLY LABELED WITH PLASTIC LABELS.
9. ALL TIE WRAPS SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOL TO REMOVE SHARP EDGES.
10. POWER CONTROL, AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE CONDUCTOR (14 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90°C (WET AND DRY) OPERATION. LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
11. SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE CONDUCTOR (6 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2 GREEN INSULATION, CLASS B STRANDED COPPER CABLE RATED FOR 90°C (WET AND DRY) OPERATION. LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
12. POWER AND CONTROL WIRING; NOT IN TUBING OR CONDUIT, SHALL BE MULTI-CONDUCTOR, TYPE TC CABLE (14 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90°C (WET AND DRY) OPERATION; WITH OUTER JACKET. LISTED OR LABELED FOR THE LOCATION USED, UNLESS OTHERWISE SPECIFIED.
13. ALL POWER AND GROUNDING CONNECTIONS SHALL BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WIRENUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRENUTS SHALL BE RATED FOR OPERATION AT NO LESS THAN 75°C (90°C IF AVAILABLE).
14. RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.
15. ELECTRICAL METALLIC TUBING (EMT) OR RIGID NONMETALLIC CONDUIT (I.E. RIGID PVC SCHEDULE 40, OR RIGID PVC SCHEDULE 80 FOR LOCATIONS SUBJECT TO PHYSICAL DAMAGE) SHALL BE USED FOR

16. EXPOSED INDOOR LOCATIONS. ELECTRICAL METALLIC TUBING (EMT), ELECTRICAL NONMETALLIC TUBING (ENT), OR RIGID NONMETALLIC CONDUIT (RIGID PVC, SCHEDULE 40) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.
17. GALVANIZED STEEL INTERMEDIATE METALLIC CONDUIT (IMC) SHALL BE USED FOR OUTDOOR LOCATIONS ABOVE GRADE.½
18. RIGID NONMETALLIC CONDUIT (I.E. RIGID PVC SCHEDULE 40 OR RIGID PVC SCHEDULE 80) SHALL BE USED UNDERGROUND, DIRECT BURIED, IN AREAS OF OCCASIONAL LIGHT VEHICLE TRAFFIC OR ENCASED IN REINFORCED CONCRETE IN AREA OF HEAVY VEHICLE TRAFFIC.
19. LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.
20. CONDUIT AND TUBING FITTING SHALL BE THREADED OR COMPRESSION-TYPE AND APPROVED FOR THE LOCATION USED. SETSCREW FITTING ARE NOT ACCEPTABLE.
21. CABINETS, BOXES, AND WIREWAYS SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.
22. WIREWAYS SHALL BE EPOXY-COATED (GRAT) AND INCLUDE A HINGED COVER. DESIGNED TO SWING OPEN DOWNWARD; SHALL BE PANDUIT TYPE E (OR EQUAL) AND RATED NEMA 1 (OR BETTER).
23. EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES, AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL, SHALL MEET OR EXCEED UL 50, AND RATED NEMA 1 (OR BETTER) INDOORS OR NEMA 3R (OR BETTER) OUTDOORS.
24. METAL RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY-COATED, OR NON-CORRODING. SHALL MEET OR EXCEED UL 514A AND NEMA OS 1; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
25. NONMETALLIC RECEPTACLE, SWITCH AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
26. THE SUBCONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE CONTRACTOR BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS.
27. THE SUBCONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFE GUARD AGAINST LIFE AND PROPERTY.

1 DETAIL
SCALE: NTS



- NOTES:**
1. CONTRACTOR TO VERIFY LOCAL UTILITY REQUIREMENTS FOR DEPTH, SIZE & SEPARATION OF CONDUITS PRIOR TO INSTALLATION. NOTIFY CONSTRUCTION MANAGER IMMEDIATELY OF ANY DISCREPANCIES.
 2. CONTRACTOR TO CALL JULIE (300) 592-0123 48 HRS PRIOR TO EXCAVATING FOR UNDERGROUND UTILITY LOCATIONS. LOCATION SURROUNDING EXCAVATED AREA MUST BE PRIVATELY LOCATED FOR NON-PUBLIC UTILITIES.

2 TRENCH DETAIL
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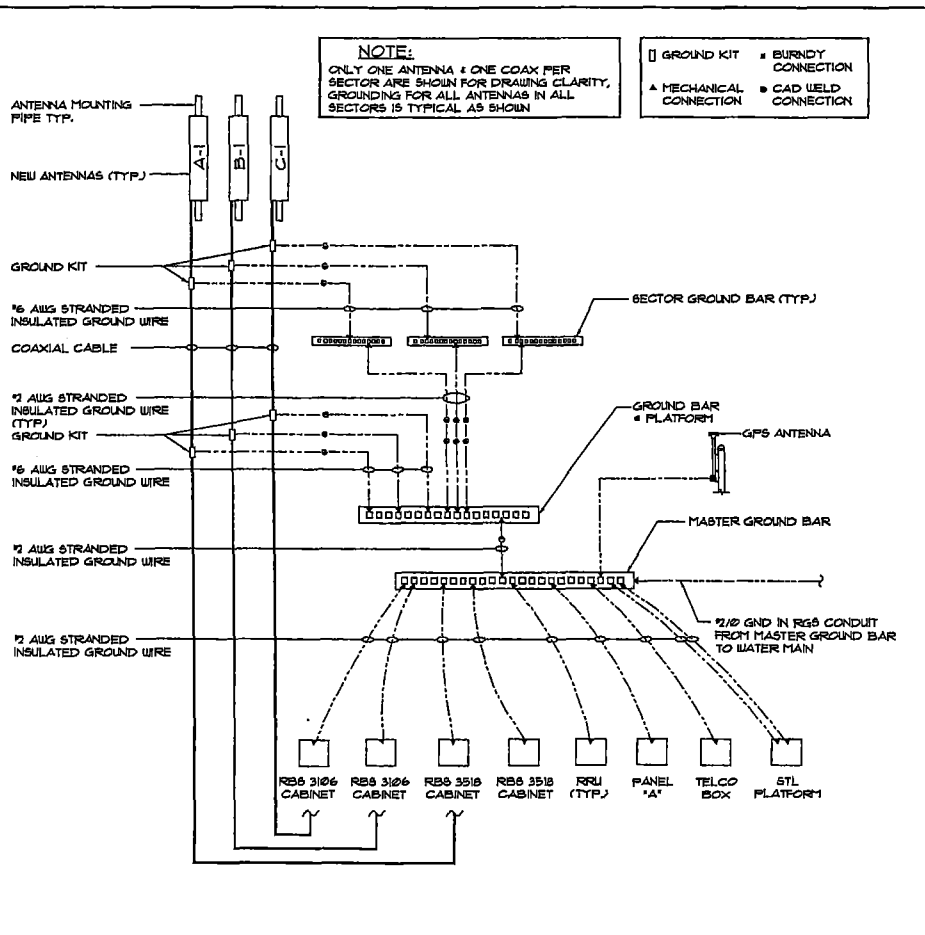
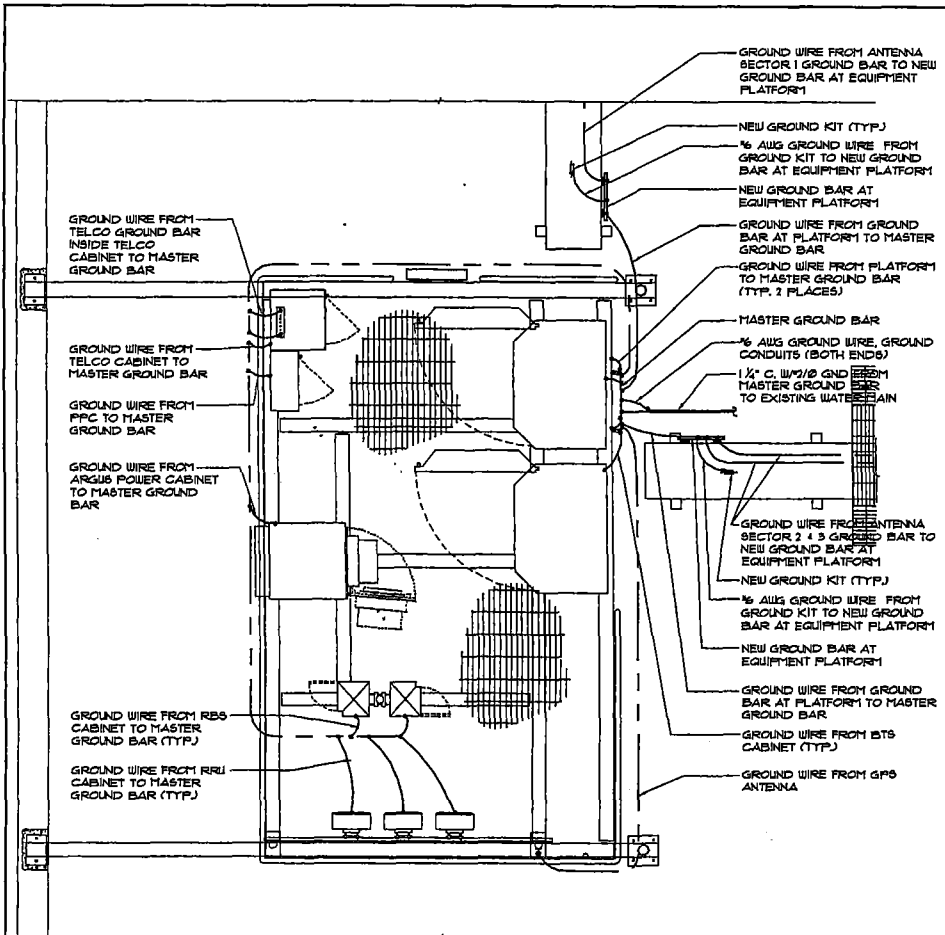
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0082-051228
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NOTE:
 ONLY ONE ANTENNA & ONE COAX PER SECTOR ARE SHOWN FOR DRAWING CLARITY, GROUNDING FOR ALL ANTENNAS IN ALL SECTORS IS TYPICAL AS SHOWN

□ GROUND KIT ■ BURNDY CONNECTION
 ▲ MECHANICAL CONNECTION ● CAD WELD CONNECTION

1 GROUNDING PLAN
 SCALE: 1/4" = 1'-0"

2 TYPICAL GROUNDING RISER DIAGRAM
 SCALE: N.T.S.

Fuller Engineering Consultants
 9600 W. BRYN MAUR AVE.
 SUITE 100
 ROSEMONT, ILLINOIS 60018
 TEL: 847-297-0200
 FAX: 847-297-0106
 DESIGN FIRM NO. 184-002458

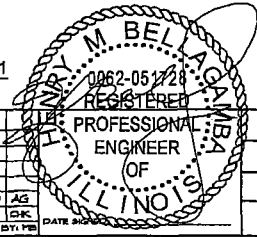
Insite inc.
 Real Estate Consulting Services
 2210 MIDWEST RD.
 SUITE 215
 OAK BROOK, IL 60523

Goodman Networks
 900 NATIONAL PARKWAY, SUITE 320
 SCHAUMBURG, IL 60173

HOFFMAN ESTATES CONDO RT
 SITE NO: IL0828
 1500 HUNTINGTON BLVD
 HOFFMAN ESTATES, IL 60115

AT&T
 930 NATIONAL PARKWAY
 4B FLOOR
 SCHAUMBURG, IL 60173

0	11/25/00	FINAL	RO	AG
#	DATE	REVISION	BY	CHK
SCALE: AS SHOWN				



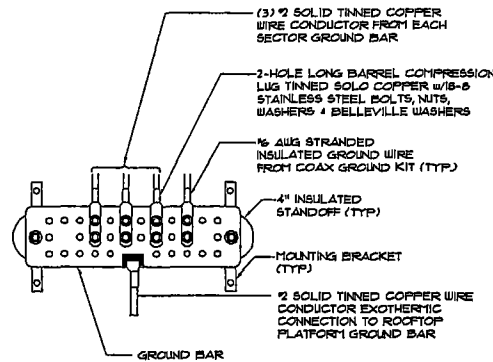
AT&T	
GROUNDING PLAN	
DRAWING NUMBER	REV
IL0828- 21	0

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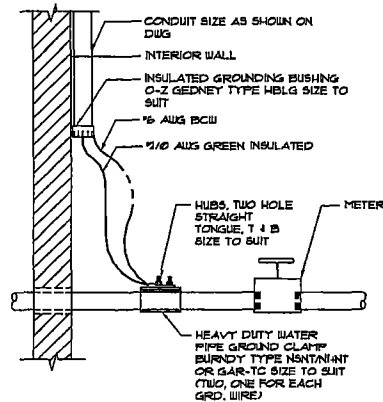
GROUNDING NOTES:

1. ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION, AND AC POWER) SHALL BE BONDED TOGETHER BELOW GRADE BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC.
2. THE SUBCONTRACTOR SHALL PERFORM IEEE FALL-OF-POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE 1100 AND 81) FOR GROUND ELECTRODE SYSTEMS. THE SUBCONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTAL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESULT OF 5 OHMS OR LESS.
3. THE SUBCONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION AS TO PREVENT ANY LOSS OF CONTINUITY IN THE GROUNDING SYSTEM OR DAMAGE TO THE CONDUIT & PROVIDE TESTING RESULTS.
4. METAL CONDUIT AND TRAY SHALL BE GROUNDED AND MADE ELECTRICALLY CONTINUOUS WITH LISTED CODING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH 1/2 AWG COPPER WIRE UL APPROVED GROUNDING TYPE CLAMPS.
5. METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BTS EQUIPMENT.
6. EACH BTS CABINET FRAME SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH GREEN INSULATED SUPPLEMENTAL EQUIPMENT GROUND WIRES, 1/2 AWG STRANDED COPPER OR LARGER FOR INDOOR BTS; 1/2 AWG STRANDED COPPER FOR OUTDOOR BTS.
7. CONNECTIONS TO THE GROUND BUS SHALL NOT BE DOUBLED UP OR STACKED. BACK TO BACK CONNECTIONS ON OPPOSITE SIDES OF THE GROUND BUS ARE PERMITTED.
8. ALL EXTERIOR GROUND CONDUCTORS BETWEEN EQUIPMENT/GROUND BARS AND THE GROUND RING, SHALL BE 1/2 AWG SOLID TINNED COPPER UNLESS OTHERWISE INDICATED.
9. ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
10. USE OF 90° BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED.
11. EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.
12. ALL GROUND CONNECTIONS ABOVE GRADE (INTERIOR & EXTERIOR) SHALL BE FORMED USING HIGH PRESS CRIMPS.
13. COMPRESSION GROUND CONNECTIONS MAY BE REPLACED BY EXOTHERMIC WELD CONNECTIONS.
14. ICE BRIDGE BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BOLTED TO THE BRIDGE AND THE TOWER GROUND BAR.
15. APPROVED ANTIOXIDANT COATINGS (I.E. CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
16. ALL EXTERIOR GROUND CONNECTIONS SHALL BE COATED WITH A CORROSION RESISTANT MATERIAL.
17. MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
18. BOND ALL METALLIC OBJECTS WITHIN 6 FT. OF MAIN GROUND WIRES WITH 1-1/2 AWG TIN-PLATED COPPER GROUND CONDUCTOR.
19. GROUND CONDUCTORS USED IN THE FACILITY GROUND AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH METALLIC OBJECTS THAT FORM A RING AROUND THE CONDUCTOR, SUCH AS METALLIC CONDUITS, METAL SUPPORT CLIPS OR SLEEVES THROUGH WALLS OR FLOORS. WHEN IT IS REQUIRED TO BE HOUSED IN CONDUIT TO MEET CODE REQUIREMENTS OR LOCAL CONDITIONS, NON-METALLIC MATERIAL SUCH AS PVC PLASTIC CONDUIT SHALL BE USED. WHERE USE OF METAL CONDUIT IS UNAVOIDABLE (E.G. NON-METALLIC CONDUIT PROHIBITED BY LOCAL CODE) THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT.

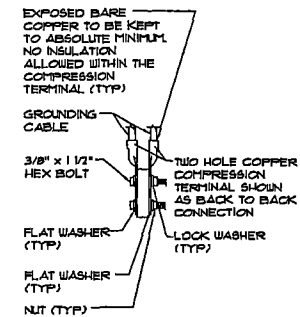
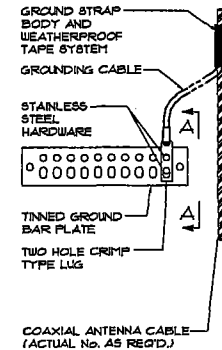
1 GROUNDING NOTES
SCALE: NTS



2 GROUND BAR @ ROOFTOP
SCALE: NTS



3 GROUNDING & WATER MAIN
SCALE: NTS



SECTION A-A

COAXIAL CABLE & GROUND BAR CONNECTIONS
SCALE: NTS

Fullerton Engineering Consultants
5600 W. BRYN MAUR AVE.
SUITE 200
ROSEMONT, ILLINOIS 60018
TEL: 641-232-0200
FAX: 641-232-0206
DESIGN FIRM NO. 154-002438

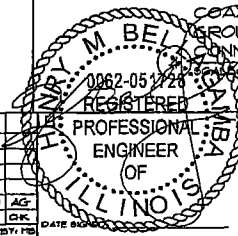
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SUITE 215
OAK BROOK, IL 60523

GoodmanNetworks
200 NATIONAL PARKWAY, SUITE 320
SCHAUMBURG, IL 60173

HOFFMAN ESTATES CONDO RT
SITE NO: IL0828
1500 HUNTINGTON BLVD
4th FLOOR
HOFFMAN ESTATES, IL 60149

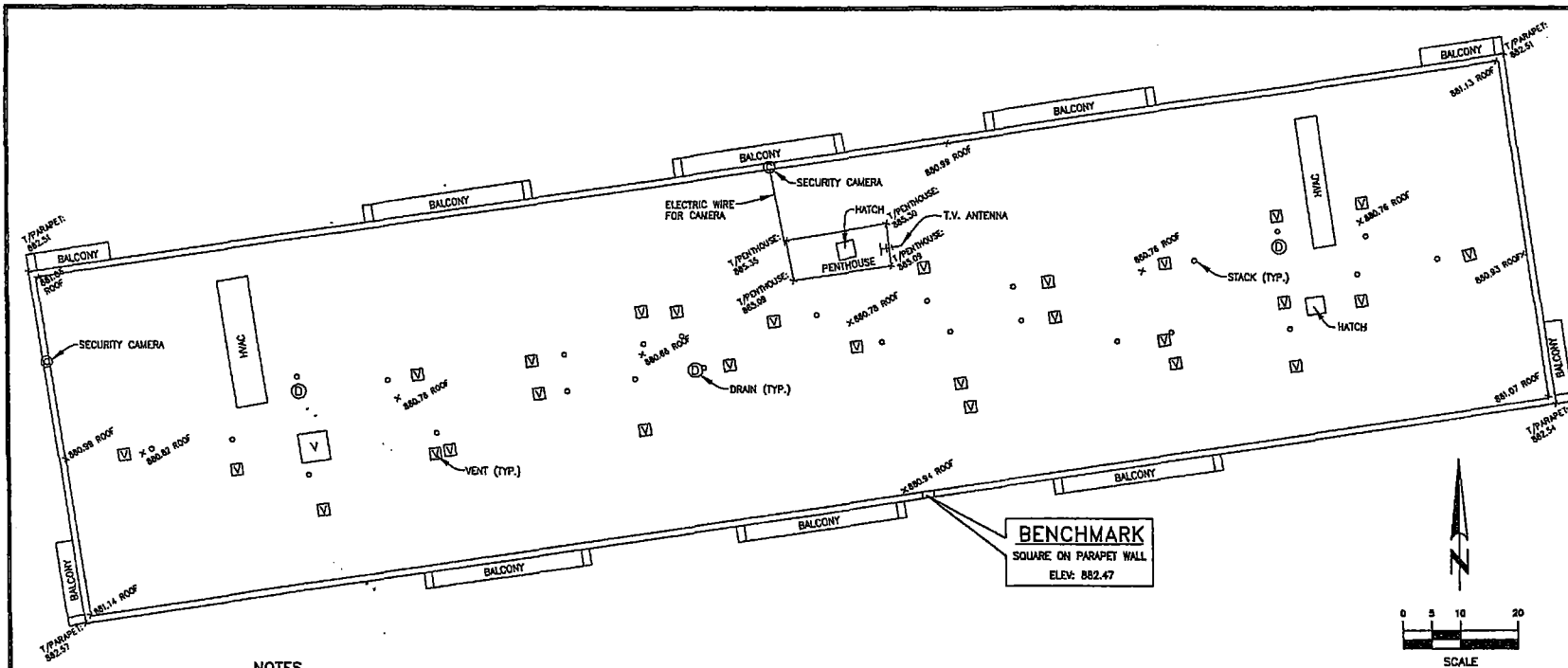
AT&T
930 NATIONAL PARKWAY
4th FLOOR
SCHAUMBURG, IL 60173

0	11/25/10	FINAL	RO	AG
1		REVISION	BY	CHK
SCALE: AS SHOWN		APPROVED BY: PLS		



AT&T	
GROUNDING NOTES & DETAILS	
DRAWING NUMBER	REV
IL0828- 22	0

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NOTES

- BEARINGS, IF ANY, SHOWN HEREON REFER TO NORTH DETERMINED BY GPS MEASUREMENT.
- ELEVATIONS SHOWN ARE ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
- BENCHMARK: SQUARE ON PARAPET LOCATED AS SHOWN:
ELEVATION: 882.47
- AFFECTS PERMANENT TAX INDEX NUMBER: 07-08-101-020.
- SURFACE EVIDENCE OF UNDERGROUND IMPROVEMENTS, IF ANY, SHOWN HEREON IS BASED ON PHYSICAL OBSERVATIONS AND RECORDS, IF ANY, PROVIDED. NO DELINEATION OF UTILITY MARKERS OR UTILITY NOTATIONS BY A UTILITY MARKING SERVICE WAS PROVIDED FOR USE IN THE PREPARATION OF THIS SITE SURVEY.
- NO TITLE COMMITMENT WAS PROVIDED FOR USE IN THE PREPARATION OF THIS SITE SURVEY. FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON, REFER TO DEED, TITLE INSURANCE POLICY, ABSTRACT, CONTRACTS AND LOCAL BUILDING AND ZONING ORDINANCES.
- THE SUBJECT PROPERTY SHOWN HEREON IS SITUATED WITHIN ZONE X AND NOT WITHIN A SPECIAL FLOOD HAZARD AREA, AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR COOK COUNTY ON FLOOD INSURANCE RATE MAP PANEL NUMBER 17031C0186 J, DATED AUGUST 19, 2008.

B. CENTER OF PROPOSED ANTENNA LOCATIONS :

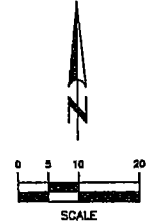
SECTOR 1:		NAD 83		LATITUDE NORTH		LONGITUDE WEST	
		42°03'27.31"	88°07'19.56"				
SECTOR 2:		NAD 83		LATITUDE NORTH		LONGITUDE WEST	
		42°03'26.79"	88°07'19.49"				
	NAD 27	42°03'26.70"	88°07'19.23"				
SECTOR 3:		NAD 83		LATITUDE NORTH		LONGITUDE WEST	
		42°03'26.65"	88°07'22.78"				
	NAD 27	42°03'26.55"	88°07'22.51"				

WITHIN TOLERANCES SET BY FAA IN 2C CERTIFICATE REQUIREMENTS.

9. A.M.S.L. HEIGHT OF GROUND	ELEVATION:	829
A.M.S.L. HEIGHT OF TOP OF ROOF	ELEVATION:	881
A.M.S.L. HEIGHT OF TOP OF ROOF PARAPET	ELEVATION:	883
A.M.S.L. HEIGHT OF TOP OF PENTHOUSE	ELEVATION:	885

WITHIN TOLERANCES SET BY FAA IN 2C CERTIFICATE REQUIREMENTS.

- ELEVATIONS AND IMPROVEMENTS SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS AND MEASUREMENTS PERFORMED OCTOBER 29, 2010.



AT&T
930 NATIONAL PARKWAY
4th FLOOR
SCHAUMBURG, IL 60173

FAA
Fullerton Engineering Consultants
9600 W. BRYN MAWR, SUITE 200
ROSEMONT, ILLINOIS 60018
TEL: 847-292-0200
FAX: 847-292-0205

NO.	DATE	DESCRIPTION
2	11/9/10	SITE SURVEY
1	11/4/10	PRELIMINARY

LANDMARK
ENGINEERING, LLC
DESIGN FIRM REGISTRATION NO. 164-09977
7208 WEST 103RD STREET
PALOS HILLS, ILLINOIS 60465-1529
Phone (708) 599-3737
PROJECT No. 10-08-051

AT&T IL 0828
HOFFMAN ESTATES CONDO RT
1800 HUNTINGTON ROAD
HOFFMAN ESTATES, IL
COOK COUNTY

SHEET TITLE
SITE SURVEY

SHEET NUMBER
SS 2 OF 2

DATED AT PALOS HILLS, ILLINOIS THIS 9TH DAY OF NOVEMBER, A.D. 2010.

Professional Engineer Seal for Richard Stambell, No. 022-003185, State of Illinois, License Renewal Date: November 30, 2010.



March 29, 2011

Mr. James H. Norris, Village Manager
Village of Hoffman Estates
1900 Hassell Rd.
Hoffman Estates, IL 60169

**RE: Proposed Wireless Telecommunications Facility – High Point Park
CH44299G**

Mr. Norris:

My name is Robert Wheaton and I am an agent representing T-Mobile Central LLC for the above referenced wireless telecommunications facility being proposed in High Point Park.

At the March 22, 2011 Zoning Board of Appeals (ZBA) meeting, our application for a special land use and height variation was not supported by the Board. Although the motion was made in the positive, the motion failed to pass (2-4 vote) and we were advised that the ZBA's recommendation to the Village Board would be not to deny T-Mobile's application. The ZBA did not state which standards within the Village's Municipal Code we did not meet or were deficient in the motion.

We have made inquiry to the Planning Division for a copy of the written findings by the ZBA. We have been advised that said findings will not be made available until the end of this week. We would like the opportunity to review the ZBA's findings and provide additional information prior to the Village Board voting on this application.

In order to accomplish this, we have been authorized by T-Mobile and The Hoffman Estates Park District to request a continuance and have the application placed on the April 18, 2011 Village Board agenda. This will allow us ample time to respond to the findings and permit the Board time to review additional information provided.

Please provide me with notice or other written communication indicating that our continuance has been granted. If you require any additional information from me or other process necessary to table or continue the item, please contact me at **(248) 416-0451** or via email r.wheaton@sure-site.com.

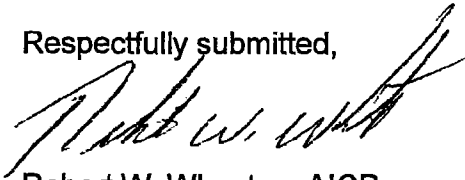
SureSite Consulting Group, LLC

Corporate Office: 3659 Green Road, Suite 214 * Cleveland, OH 44122 * tel 216-593-0400 * fax 216-593-0401

Chicago * Columbus * Denver * Detroit * Los Angeles * Pittsburgh * Raleigh * Santa Barbara

www.sure-site.com

Respectfully submitted,



Robert W. Wheaton, AICP
Site Development – Principal Planner
Agent for T-Mobile Central LLC

Cc: Mr. Craig Talsma – Hoffman Estates Park District
Mr. Tai Chittavan – T-Mobile Central LLC

VILLAGE OF HOFFMAN ESTATES
ZONING BOARD OF APPEALS

FINDING OF FACT

DATE OF PUBLIC HEARINGS: March 22, 2011

DATE OF PRESENTATION TO VILLAGE BOARD: April 4, 2011

PETITION: Hearing held at the request of the Hoffman Estates Park District and Sure Site as agent for T-Mobile Central LLC to consider variations and a special use under the Zoning Code to permit the replacement of an existing light pole at the northwest corner of the existing tennis courts with a new light pole containing cellular antennas mounted within the pole and an accompanying equipment shelter on the property commonly known as High Point Park, located at 1704 Glen Lake Road.

DISTRICT IN WHICH PROPERTY IS LOCATED: R4, One Family Residential

ZONING CODE SECTION(S) FOR VARIATION: 9-3-9-A

ZONING CODE SECTION(S) FOR SPECIAL USE: 9-3-9-A and 9-5-4-C-4

FINDING-OF-FACT: The ZBA found that the Standards for a Variation (9-1-15-C) and Standards for a Special Use (9-1-18-I) **were not met.**

MOTION: Request to grant the Hoffman Estates Park District and Sure Site as agent for T-Mobile Central LLC, *a special use under Section 9-3-9-A and Section 9-5-4-C-4, and a twenty five (25) foot height variation from Section 9-3-9-A to permit an eighty five (85) foot high communication tower/light pole containing six (6) cellular antennas housed within the stealth tower structure as shown on the petitioner's plans and associated ground equipment to be enclosed within a new brick equipment shelter at 1704 Glen Lake Road (High Point Park).* The following conditions shall apply:

1. Per Zoning Code Section 9-1-18-L, should the operation of this cellular facility cease for a period of six (6) months, the antennas, tower, and brick enclosure shall be removed and the site restored to its original condition.
2. No signs, cabinets, conduits, or other fixtures shall be installed on the exterior of the brick enclosure beyond those shown on the approved building plans.
3. Trees damaged or removed as part of this installation shall be replaced with trees on the High Point Park property in the general vicinity of the tower, per the requirements set forth in the Village Subdivision Code prior to issuance of a certificate of occupancy for the project.

The petitioner was agreeable to the above listed conditions.

RECOMMENDATION: The Zoning Board of Appeals (ZBA) recommends **denial** of this request.

The Petitioner is requesting permission to replace a light pole located in High Point Park with a "stealth" cell tower/light pole combination. The Petitioner, who was representing T-Mobile Central LLC, testified that there exists a gap in coverage for their customers in Hoffman Estates surrounding High Point Park. This coverage gap would be greatly reduced by the addition of this cell tower. The Petitioner stated that the customer base has increased as of late, as well as the change in customer base using cell phones as their primary phone, and eliminating their land lines. These conditions have accentuated the gap in coverage.

The Petitioner testified that there are several criteria used to locate possible locations for new cell towers. The first is the propagation map showing the gap in coverage and the RF engineer's reports and suggestions on locations to best solve the issue. They also consider planning and zoning codes for the area. Another issue they consider is whether or not they have a willing landlord to place their cellular towers. The Petitioner testified that they had attempted to locate this tower in other locations; however the potential landlord did not exist until they approached the Hoffman Estates Park District. The Petitioner also considers the economic feasibility of the project.

The proposed cell tower would not only contain 6 cellular antennas within the pole, but also have lights on the outside replacing the existing light pole. The proposed light pole would be located in the same location, adjacent to the tennis courts, as the current existing light pole. The proposed cell tower would be approximately 4 feet (47 inches) in diameter at the base tapering to 30 inches at the top. The cell tower would be built 85 feet above grade and contain the cellular antennas inside. The cellular antennas would be placed inside the pole at heights of 70 feet and 80 feet.

There would also be an equipment building constructed with the light pole. This equipment building would be 15 feet by 10 feet and 14 feet high. The size of this equipment shed would not be that different than a residential shed. The area around the equipment shed would be landscaped to reflect the rest of the park.

The Zoning Board questioned the Park District as to the policies of the Board regarding the placement of cell towers on their property. The Park District testified that the policy of the current Board is to limit the amount of cellular towers to 50% of the amount of light poles located in any park. For High Point Park, the maximum would be 3. The Park District representative also commented that while this is the policy of the current Board, it does not have any bearing on what future Park District Boards would do.

The Zoning Board questioned the Park District as to its future plans to locate more cell towers in High Point Park. The Park District representative testified there are no plans for any additional towers in High Point Park at this time.

The Zoning Board also questioned the Petitioner as to whether or not additional carriers could be installed in the proposed light pole. The Petitioner testified that because of the location of their antennas, another carrier would likely use the same light pole.

During the audience comment portion of the hearing, several residents came forward. These residents live on Englewood Road, Chippendale Road, Kingsdale, and Glen Lake Road. These residents were unanimous in their view that the addition of the cellular tower to High Point Park would be detrimental to the overall appearance and safety of the park. One resident testified that the security firm which patrols the park has to "chase" kids out of the park and find them often times hiding behind the existing buildings. The residents feel that adding an additional building will give these kids yet another place to hide.

Another resident refers to High Point Park as the "jewel of Hoffman Estates" and testified that the addition of the 85 foot light pole would be the equivalent of building an eight story building in the park. She and her husband currently back up to the Park, and feels that no matter how much "greenery and foliage and plants you put around it" they will still have to look at the "80 foot monstrosities that have a 150 square foot building to hold the equipment."

Yet another resident was concerned that if one cellular tower is allowed in the Park, more will follow, thus changing the Park into a place where people won't want to go.

Staff noted that any additional cell antennas would require Park District approval, a public hearing, and Village Board approval.

After considering all the testimony given at this hearing, it is the recommendation of the Zoning Board to deny this request. The Zoning Board is concerned with High Point Park becoming a place where the residents do not want to be to enjoy themselves and therefore the addition of the proposed cell tower/light pole would be detrimental to the intended usage of the Park.

VOTE:

2 Ayes

4 Nays

1 Absent (Ali)

ZONING BOARD OF APPEALS

Chairman William Weaver

Vice-Chairperson Denise Wilson

Michael Ciffone

Masoom Ali

Donna Boomgarden

Michael Gaeta

Gaurav Patel

*** IMMEDIATE AUTHORIZATION TO APPLY FOR PERMITS IS REQUESTED ***

**THIS SPECIAL USE AND VARIATION WILL EXPIRE UNLESS
ACTED UPON WITHIN ONE (1) YEAR OF VILLAGE BOARD APPROVAL**

FINDING OF FACT WRITTEN BY DONNA BOOMGARDEN

VILLAGE OF HOFFMAN ESTATES

Memo

TO: William Weaver, Zoning Board of Appeals Chairman
FROM: Josh Edwards, Assistant Planner *JAE*
RE: **HIGH POINT PARK – SPECIAL USE & VARIATION – T-MOBILE
CENTRAL LLC AND HOFFMAN ESTATES PARK DISTRICT –
COMMUNICATION ANTENNAS & EQUIPMENT SHELTER**

DATE: March 17, 2011
HEARING DATE: March 22, 2011

1. REQUEST SUMMARY

Request by T-Mobile Central LLC and Hoffman Estates Park District for a special use and variation to permit the installation of communication antennas and an equipment shelter at High Point Park.

2. PETITIONER PROPOSAL

The petitioner is proposing to install a “stealth” communication tower on the High Point Park property that would contain 6 cellular antennas within the structure. No antennas would be attached to the outside of the tower. The adjacent tennis courts are illuminated by six light poles and the proposed tower would replace the pole at the northwest corner of the courts. Lights would be installed on the tower at the same height and brightness as the existing lights, which are approximately 35 feet high. The tower would be painted to match the other light poles. The tower would be 85 feet high. The height of the proposed antennas would require a 25 foot height variation from the maximum 60 foot height of communication antennas. The tower’s overall height has been used as the height of the antennas, though the antennas would be centered at 70 feet and 80 feet and would not be visible on the exterior of the pole.

A brick equipment shelter would be constructed near the base of the tower and would house all of the ground equipment. The shelter would be 150 square feet and 14 feet high at its peak, which is comparable to other installations in the Village. The wiring between the tower and the shelter would be buried. The installation would not block any pedestrian paths or interfere with access to the tennis courts.

The installation would provide improved cellular phone coverage for T-Mobile customers in the surrounding neighborhood as well as inside Hoffman Estates High School. For aesthetic reasons the antennas are proposed at the center of the park to be the greatest distance from the surrounding residences. The stealth tower is also used to minimize the visibility of the tower, instead of a tower with external antenna arrays.

3. SITE CONDITIONS

- a) The subject property is zoned R-4, One Family Residential.
- b) The surrounding residential properties to the north, east, and south are also zoned R-4. The neighborhood and golf course to the west of the park are zoned RPD, Residential Planned Development District.

4. APPLICABLE REQUIREMENTS

- a) Section 9-3-9 (p. CD9:58) states that a special use is required for antennas mounted over 45 feet to 60 feet. A height variation is required for an antenna to be higher than 60 feet.
- b) Section 9-5-4-C-4 (p. CD9:72) states that public utilities and services are a special use in the R-4 district.

5. ADJACENT OWNERS COMMENTS

Standard notification letters have been mailed with no written comments received at the time of this writing. The Park District held a public meeting with the neighborhood regarding this proposal in September 2010.

6. SPECIAL USE/VARIATION HISTORY

Subject Property

No communication antennas have been requested previously on this property.

Similar Property – Park District

- a) Ordinance No. 4208-2010 granted a special use and variation at Willow Recreation Center (3600 Lexington Drive) for a stealth communication tower/flagpole to be installed at a height of 100 feet containing 6 T-Mobile antennas. A shelter was constructed at the base of the tower.
- b) Ordinance 4038-2008 – Cannon Crossings Park – was granted to allow Cricket Communications to install 3 antennas, 104 feet high on one light pole between the two southernmost baseball fields.
- c) Ordinance No. 2777-1995 granted a special use for 2 Southwestern Bell Mobile micro-cell antennas to be placed on a light pole located at the northwest corner of Winston Drive & Algonquin Road (Willow Park). *This proposal was initially for a 30 foot high steel pole with two 28 inch antennas attached to the top of*

the pole but after further discussion with the Winston Knolls HOA and the Village, the petitioner agreed to install a light pole with the antennas on it at the intersection of Winston & Algonquin, near the subdivision sign.

- d) In 1995, the Park District requested several freestanding micro-cell antenna towers varying from 20-30 feet high at three park locations: 30' high at Seminole Nature Trail Area NE Corner of Forest Lane & Algonquin Road (FAILED), 30' high at Charlemagne Park NW Corner of Windemere & Algonquin (APPROVED), 20' high at Vogeley Park 650 W. Higgins Road (APPROVED), and a micro-cell antenna installation on a 30' high light pole at Blackhawk Community Center (APPROVED).
- e) In 1995, Cellular One requested a 20' high freestanding micro-cell antenna tower at the 15th tee of the Hilldale Golf Course (DENIED), a micro-cell antenna installation on a sign at the corner of Higgins & Huntington (DENIED) and micro-cell antenna installations on three commercial buildings (APPROVED).

Similar Variations – Light Poles at High Schools

Antennas have been approved on four light poles around the football field of Hoffman Estates High School with an equipment shelter at the base of each pole, and micro-cellular antennas were also approved on 30 foot high parking lot light poles. Antennas have been approved on two light poles at the football field of Conant High School with an equipment shelter at the base of each pole. The approved height of the antennas on light poles at the two high schools ranged between 90 and 104 feet.

7. ENGINEERING COMMENTS

The Engineering Division has reviewed the petitioner's request and has no comments.

8. IMMEDIATE AUTHORIZATION TO APPLY FOR PERMIT

The petitioner has requested immediate authorization to apply for permits.

9. DEVELOPMENT SERVICES COMMENTS

The proposed installation is a "stealth" communication tower designed to appear as a tall light pole, with the antennas housed completely within the pole structure. The pole would be similar in scale to light pole-antenna installations at Cannon Crossings Park and both high schools, and lights would be attached to serve the dual purpose of illumination for the tennis courts. However, this pole would not include the external antenna arrays as included at those other locations. In this respect, the tower is similar to the flagpole antenna tower recently approved at Willow Recreation Center. The height of the tower would be 85 feet, which is lower than the above-mentioned installations that are around 100 feet high.

This request would be the first of this kind in High Point Park. The Village has encouraged private carriers to install antennas on existing structures such as water towers, tall buildings, or existing light poles to minimize visual clutter, however, such facilities do not exist in the immediate area.

The distance from the tower to the nearest residences to the north and east is approximately 600 to 800 feet. The petitioner has provided photo simulations that help to illustrate the approximate appearance of the installation from multiple viewpoints.

Several mature trees are located adjacent to the proposed installation, which would help to screen the shelter and lower portions of the tower. The plans indicate that one existing 60 foot tree may be removed as necessary. A condition of approval is included that requires the tree to be replaced with trees on the park property at the ratio outlined in the Village Subdivision Code.

The petitioner has provided a copy of a structural report documenting the structural integrity of the installation.

The motion has been written for an 85 foot high tower/light pole and 6 antennas. Future changes to this installation would require a new special use and height variation review.

The Federal Telecommunications Act of 1996 expressly preempts local governments from regulating the placement, construction, or modification of personal wireless services on the basis of environmental or health concerns. Such concerns cannot be used as a basis of the decision whether to grant a special use.

10. MOTION

Should the Zoning Board find that the Standards for a Special Use and Standards for a Variation are met, the following motion is provided with conditions:

A special use under Section 9-3-9-A and Section 9-5-4-C-4, and a twenty five (25) foot height variation from Section 9-3-9-A to permit an eighty five (85) foot high communication tower/light pole containing six (6) cellular antennas housed within the stealth tower structure as shown on the petitioner's plans and associated ground equipment to be enclosed within a new brick equipment shelter.

The following conditions shall be applied to the above motion:

- 1. Per Zoning Code Section 9-1-18-L, should the operation of this cellular facility cease for a period of six (6) months, the antennas, tower, and brick enclosure shall be removed and the site restored to its original condition.*
- 2. No signs, cabinets, conduits, or other fixtures shall be installed on the exterior of the brick enclosure beyond those shown on the approved building plans.*
- 3. Trees damaged or removed as part of this installation shall be replaced with trees on the High Point Park property in the general vicinity of the tower, per the requirements set forth in the Village Subdivision Code prior to issuance of a certificate of occupancy for the project.*

cc: Corporation Counsel, D. O'Malley, D. Plass, R. Norton, Petitioner

VILLAGE OF HOFFMAN ESTATES
ZONING BOARD OF APPEALS

APPLICATION FOR ANTENNA SPECIAL USE/HEIGHT VARIATION HEARING

FOR VILLAGE USE ONLY

Special Use Hearing Fee \$400.00 Height Variation Required: Yes No Fee \$400.00
Amount Paid 800.00 Date Paid 3/1/11 Received By P. Moore
Hearing Date: 3/22/11 Time: 7:30pm Legal Published 3/7/11
Receipt Number 30398 Check No. 1983760 Zoning District _____
Complete application received on _____ by _____

**** ONLY COMPLETE APPLICATIONS WILL BE ACCEPTED ****

ADDRESS OF SUBJECT PROPERTY: 1704 Glen Lake Rd.

PROPERTY INDEX NUMBER (PIN): 07-08-204-022-0000

PLEASE PRINT OR TYPE

1. NAME OF PROPERTY OWNER(S) Hoffman Estates Park District
This must be the legal owner. Written owner authorization is required from the owner in order for a representative to proceed with process. An Economic Disclosure Statement (attached) must be filed by the Owner.

E-Mail Address ctalsma@heparks.org Fax (847) 885-7523

Owner's Address 1685 West Higgins Road Phone (847) 310-3607

City Hoffman Estates State IL Zip 60169

2. PERSON APPLYING IF OTHER THAN OWNER

Name Robert W. Wheaton, AICP Company Agent for T-Mobile Central LLC

E-Mail Address r.wheaton@sure-site.com Fax (216) 593-0401

Address 3659 Green Rd. Suite 214 Phone (248) 416-0401

City Cleveland State OH Zip 44122

3. CARRIER INFORMATION

Name of Carrier: T-Mobile Central LLC

New installation Co-Location _____ (Check One)

Number of Existing Antennas: n/a Number of Proposed Antennas: 4

Type of Antenna(s): _____ Height to Top of Antennas(s): _____

4. OWNER'S RIGHT TO PROVIDE A COURT REPORTER

A property owner may provide a court reporter for the hearing. It is required that the property owner specifically waive the right to provide a court reporter if the property owner chooses not to provide a court reporter. (Please check appropriate box)

I understand I have the right to provide a court reporter to transcribe the hearing.

I hereby advise that a court reporter will be provided.

I hereby waive the right to provide a court reporter.

5. ACKNOWLEDGEMENT


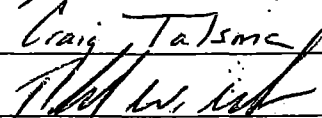
Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Plan Commission member or Chair, or any Zoning Board of Appeals member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village.

Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.

6. OWNER AUTHORIZATION FOR VARIATION/SPECIAL USE HEARINGS

I understand the requirement for the owner or an authorized representative to be present at the hearing with full authority to commit to requests, conditions and make decisions on behalf of the owner. If I am unable to attend the hearing I hereby authorize Robert W. Wheaton to act on my behalf and advise that he/she has full authority to act as my/our representative.

7. The Owner and Applicant, by signing the Special Use/Variation Application, certifies to the correctness of the application and all submittals.

Owner's Signature 
Name (Please Print) Craig Talsma
Applicant's Signature 
Name (Please Print) Robert W. Wheaton, AICP
Date 8/10/10

Introduction

T-Mobile Central LLC (T-Mobile) is requesting Special Use Approval and a Height Variation to construct a new stealth unattended wireless telecommunications facility located at 1704 Glen Lake Road – High Point Park. The site will include the installation of an 85 foot stealth light standard for the tennis courts, an enclosed equipment shelter, and supporting telecommunications equipment. The antennas will be placed inside the light pole structure.

T-Mobile Central LLC is a telecommunications service provider operating wireless telecommunication sites throughout Illinois and the nation. The regional system operates under the name “T-Mobile” and is part of an integrated nationwide network of coverage.

Description of Use

T-Mobile will construct an unmanned stealth wireless telecommunications facility on the property commonly known as the High Point Park, which is part of the Hoffman Estates Park District. The facility will replace an existing light pole standard located on the northwest corner of the existing tennis courts. The facility will include an 85 foot enclosed unipole with two sets of antennas placed inside. The facility will have an enclosed equipment shelter that will be constructed of masonry materials that will match existing building in the park. Lights will be placed on the pole to as this facility will be placed in an area where an existing light pole illuminates the tennis courts. The facility will not impair the use or enjoyment of, or be otherwise injurious to, property in the immediate vicinity because the antennas are to be placed within the structure.

The stealth unipole has been sited on a portion of the property that will help screen it from surrounding properties by way of the existing trees on the site while still being able to meet T-Mobile’s coverage objective. The facility will not emit smoke, debris, noise, or

*Wireless Telecommunications Communications Facility
1704 Glen Lake Rd. – Hoffman Estates Park District
T-Mobile Central LLC - CH44299*

any other type of nuisance. For these reasons, the facility is practically undetectable to the casual observer. However, enhanced wireless communications will have a positive influence on personal, business, governmental and other existing uses in this area.

The proposed facility utilizes only minimal electric service. No water, sewer, refuse or other additional services shall be required. The proposed facility will be unmanned and, upon completion, will require only infrequent maintenance visits (approximately one time each month) parking a standard truck in the existing parking lot. There will be no impact to the existing traffic patterns nor will there be any traffic hazards or nuisances as a result of this facility.

The site is entirely self-monitored by sophisticated computers which connect directly to a central office and which alert T-Mobile personnel to equipment malfunction. This technology does not interfere with radio, television or other communications signals, and all matters pertaining to signal interference are within the sole province of the FCC.

FAA and FCC Statements

The proposed installation will be designed and constructed to meet applicable governmental and industry safety standards. Specifically, T-Mobile will comply with all FCC and FAA rules governing construction requirements, technical standards, interference protection, power and height limitations and radio frequency standards. The proposed facility will operate at the lowest possible power level, and is designed to be well below established standards used by the FCC for safe human exposure to radio frequency electromagnetic fields. In addition, T-Mobile will comply with all applicable FAA rules on site location. Any and all RF emissions are subject to the exclusive jurisdiction of the FCC.

Site Selection and Justification

Wireless phone systems operate on a "grid" system, whereby overlapping "cells" mesh

to form a seamless wireless network. The technical criteria for establishing sites are very exacting as to both the height and location of the telecommunication facility. Based on a computerized engineering study which takes into account, among other things, local population density, traffic patterns and topography, T-Mobile's RF engineers have identified the property as being a necessary and appropriate location for a new facility in order to close a significant gap in coverage within Hoffman Estates. Please refer to the propagation study included in the application materials.

T-Mobile's RF engineers have determined that the absence of a telecommunication facility on the property results in coverage deficiencies which, in turn, result in the inability by T-Mobile customers to place, receive or maintain a wireless phone call or other communication. Wireless communications are also used to promote efficient and effective non-emergency personal, business, and governmental communications. These services have become established and accepted as an integral part of the nation's communications infrastructure and promote the public health, safety, morals, comfort and general welfare.

Alternative Site Analysis/Evidence of Co-location Efforts

There are not any existing towers within T-Mobile's target area that would fill the existing gap in coverage. Please see the attached "T-Mobile Alternative Site Analysis/Co-Location Efforts" Map. There have been a number of properties evaluated as alternative locations that might meet the coverage needs for T-Mobile. There a number of criteria T-Mobile utilizes to evaluate a potential property for a new site. They include:

1. Zoning – Will the site meet setbacks and use standards outlined in the code?
2. Constructability – Is the site effective from a constructability aspect?
3. Willing Landlord – Wireless carriers lease land from willing landlords only. Is there a property owner willing to lease space for a tower?
4. Coverage Gap – Will the proposed location and height fill in the coverage gap as established by the radio frequency engineers?

A number of alternate sites were reviewed for their consistency with the Village zoning ordinance, meeting T-Mobile's coverage objectives, an available willing property owner to lease space and constructability. However, T-Mobile was limited to a smaller area to existing on-air sites. A summary of the alternate sites review follows.

1. Hoffman Estates High School Light – Football Stadium Light Standard

There are four light poles located at the Hoffman Estates High School football stadium, all of which are currently hosting wireless carriers. We approached Crown Castle, who manages the light standards, about either co-locating on an existing light pole or constructing a new light standard or other stealth facility at the high school. The School District stated they were not interested in leasing space to any new carriers in on their property. Thus this site was not an option.

2. Crown Castle Tower Co-Location (N. Roselle & I-90)

The existing tower at this location is only 50 feet in height. Co-locators are required to be at least 10 feet below other carriers on the pole. Placing T-Mobile's antennas on this tower would not meet the coverage objective. Also, placing a site in this location would provide redundant coverage as there is an existing T-Mobile site on air located on Valley Lake Drive.

3. Commercial Node (W. Higgins Road)

Although there are multiple properties to consider in this area, placing a tower in this vicinity would not have not filled the coverage gap. Therefore these properties were not a viable option.

T-Mobile considered a number of alternate locations for a wireless communications facility. All of the alternate sites have been evaluated on matters such as topography, meeting coverage needs, zoning, site availability, willing landlord and constructability. Based on these factors, we have concluded that the proposed site at the High Point Park is the best site available where T-Mobile can place a new

wireless communications facility to fill the significant gap in coverage in this area.

Additional Findings Required for Special Land Uses

The following is a list of requirements that must be met per the Village of Hoffman Estates Zoning Code for special land uses as outlined in Section 9-1-18 Special Uses:

1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

REPLY: The facility will not endanger public safety, morals, comfort or general welfare of the community. Enhanced wireless communications will have a positive influence on personal, business, governmental and other existing uses in this area.

2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;

REPLY: The proposed stealth facility will not impair the use or enjoyment of, or be otherwise injurious to, property in the immediate vicinity. The stealth light pole has been sited on a portion of the property that will help screen it from surrounding properties. The site will replace an existing light standard and will contain new lights to supplement the existing ones currently being used to illuminate the tennis courts. Control of the lighting on/off times will be regulated by the Hoffman Estates Park District and not a function of the wireless facility. As designed, the facility will be practically undetectable to the casual observer. The proposed height is the minimum height necessary to fill an existing gap in coverage.

3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;

REPLY: The proposed facility will not impede development of permitted uses on the property.

*Wireless Telecommunications Communications Facility
1704 Glen Lake Rd. – Hoffman Estates Park District
T-Mobile Central LLC - CH44299*

4. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;

REPLY: The proposed facility utilizes only minimal electric service. No water, sewer, refuse or other additional services shall be required. Access to utilities and easements are available and the final location of said easements will be determined during the construction design process. The proposed facility will be unmanned and, upon completion, will require only infrequent maintenance visits (approximately one time each month) parking a standard truck in the existing parking lot. There will be no impact to the existing traffic patterns nor will there be any traffic hazards or nuisances as a result of this facility.

5. That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets; and

REPLY: The proposed facility will be unmanned and, upon completion, will require only infrequent maintenance visits (approximately one time each month) parking a standard truck in the existing parking lot and utilizing the existing access driveway into the park. There will be no impact to the existing traffic

6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Zoning Board of Appeals.

REPLY: As proposed, the location of the facility will comply with the regulations.

Request for Height Variation

Based on Section 9-1-5, T-Mobile is requesting a variation in height of 25 feet. The technological requirements for a wireless communications facility to work properly include the need to be above existing obstructions and have clear line of site to the targeted coverage area. In this case, there are a number of trees surrounding the park

that would prevent T-Mobile from meeting its' coverage objective with a facility that is only 60 feet in height.

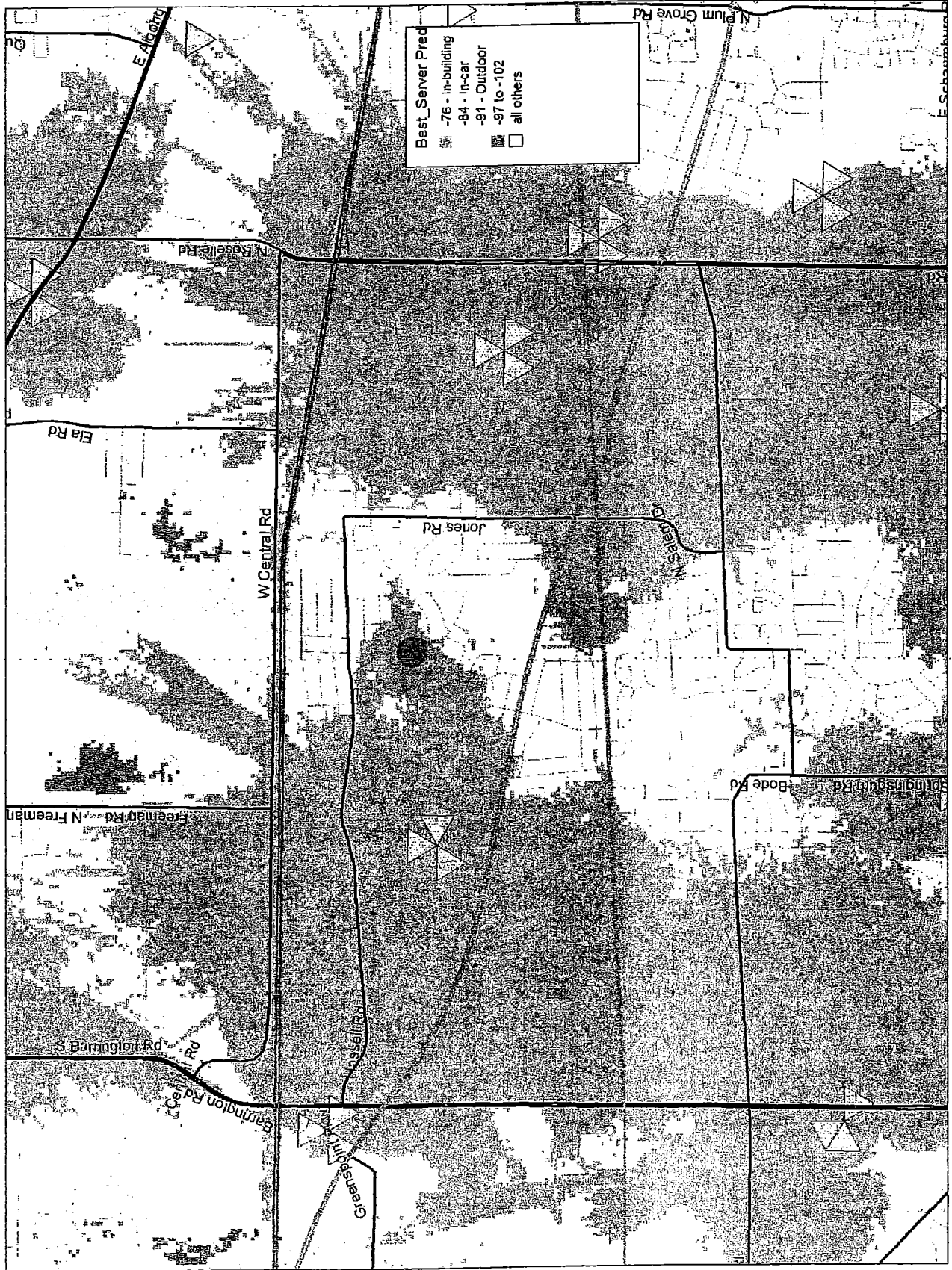
Further, in order to minimize the appearance of the facility, it has been designed to function and resemble the existing light poles surrounding the tennis courts. The narrow design of the stealth poles limit the number and type antennas which can be placed within it. Therefore antennas have to be placed at two different locations or Rad Centers on the pole. Utilizing a 60 foot pole would limit the height of the antennas to 55 and 45 feet respectively. The existing trees surrounding the location are approximately 60 feet tall (See Sheet OC-1) and would prevent the wireless signals from propagating and creating an unwanted hardship.

To augment this, T-Mobile will require a tower to be 85 feet tall. This will permit antennas to be installed at heights sufficient enough to clear the existing trees and allow the wireless signals to propagate. The additional height will not be injurious to other properties. Due its stealth design and its location surrounded by trees/natural landscaping, the pole will be practically undetectable to the casual observer.

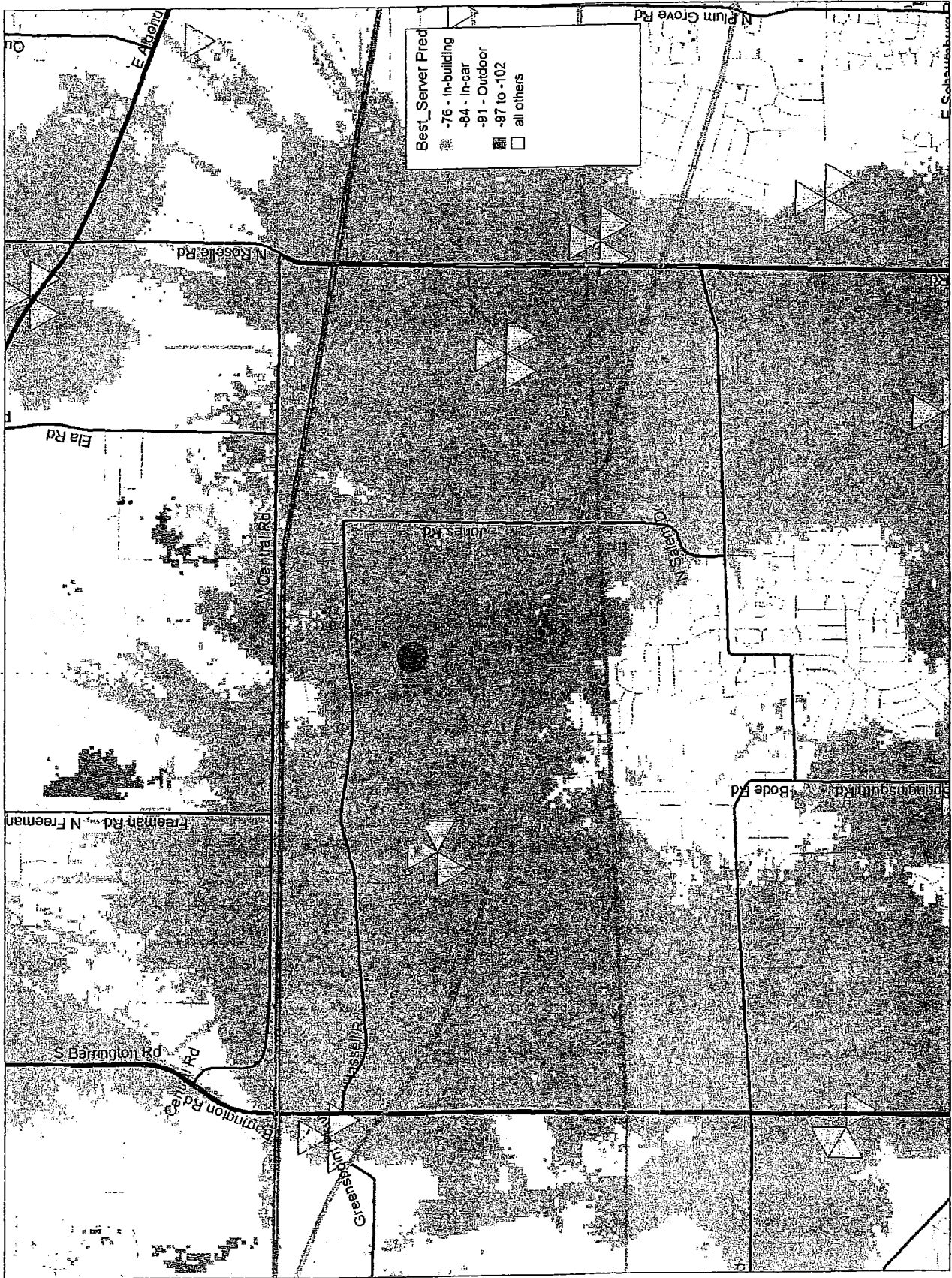
Conclusion

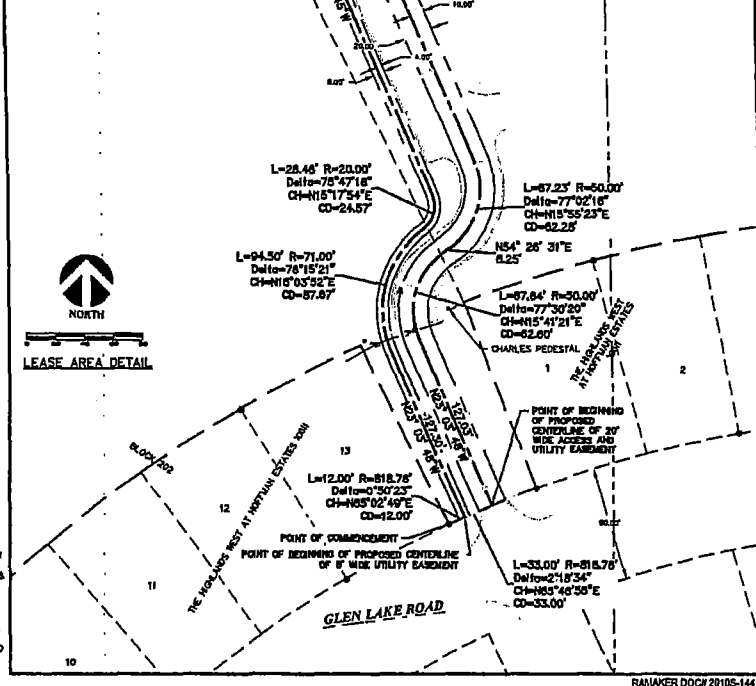
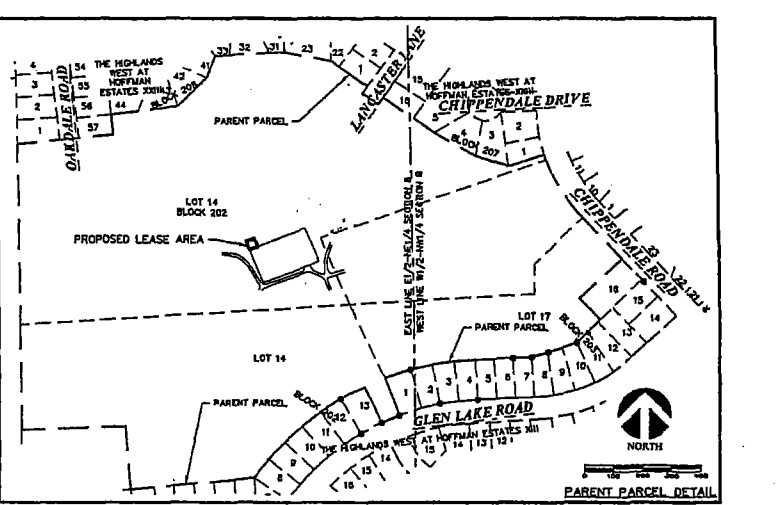
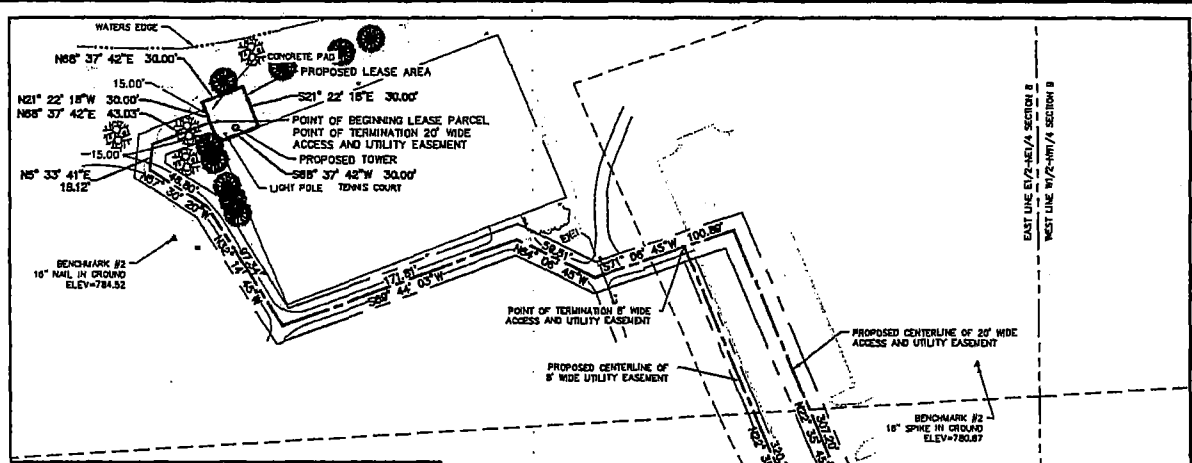
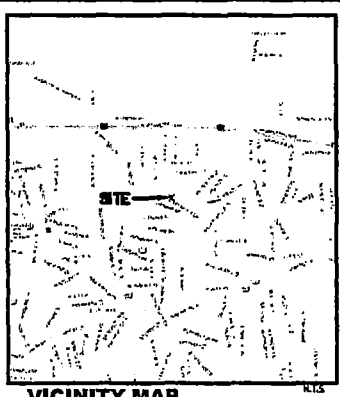
T-Mobile's is proposing a new wireless telecommunications facility that is designed in such a way so as to have the least impact on the surrounding community and environment. T-Mobile has demonstrated that the proposed facility meets all of the criteria for a Special Land Use approval and a Variation of Height and, as proposed, will fill in an existing coverage gap within the Village. Therefore, T-Mobile respectfully requests Special Land Use Approval and a 15 foot height variance which will enable T-Mobile to construct a new stealth wireless telecommunications facility located at 1704 Glen Lake Road.

Existing T-Mobile Coverage



T-Mobile Coverage With Site On-Air





LEGEND

LEASE AREA	●	MONUMENT, FOUND
PARENT PARCEL	○	FIRE HYDRANT
RIGHT-OF-WAY LINE	—	WATER VALVE
EXISTING LOT LINE	---	UTILITY MANHOLE
CUTS AND CUTTER	⊠	TELEPHONE PEDESTAL
CONCRETE	▭	ELECTRIC METER
EDGE-ASPHALTIC PAVEMENT	▨	ELECTRIC PANEL/TRANS.
ASPHALTIC PAVEMENT	▩	UTILITY POLE
EDGE-GRAVEL	▧	STORM SEWER INLET
GRAVEL	▦	

SURVEYOR'S NOTES:

- AN ATTEMPT WAS MADE TO LOCATE ALL PROPERTY CORNERS AND MONUMENTS, WHERE NO MONUMENTS WERE FOUND, THE PROPERTY LINE WAS DRAWN BASED ON RECORDED DOCUMENTS.
- THE SURVEY FOR THIS MAP WAS PERFORMED ON JULY 29, 2010 BY RAMAKER & ASSOCIATES, INC. REVIEW WAS PERFORMED BY RICHARD L. THOM JR.
- NOT TO BE USED AS CONSTRUCTION DRAWINGS.
- THE LOCATIONS OF UNDERGROUND UTILITIES WAS DETERMINED BY FIELD OBSERVATIONS AND VISIBLE MARKINGS ONLY AT TIME OF SURVEY.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY OF THE PARENT PARCEL TRACT.
- THIS MAP WAS PREPARED WITHOUT THE AID OF A TITLE COMMITMENT. REFER TO A CURRENT TITLE COMMITMENT FOR ANY BUILDING LINES AND EASEMENTS NOT SHOWN ON THIS MAP.

T-Mobile

T-Mobile
 8550 West Bryn Mawr
 Chicago, IL 60631

RAMAKER & ASSOCIATES, INC.

1120 Dallas Street, Snek City, Wisconsin 53983
 Voice: (608) 643-4100 Fax: (608) 643-7999
 www.ramaker.com

REVISIONS

No.	DESCRIPTION	DATE
1	UTILITY EASEMENTS	07/29/10
X	X	XXXXXXXXXX
X	X	XXXXXXXXXX
X	X	XXXXXXXXXX
X	X	XXXXXXXXXX

STATE OF ILLINOIS
 COUNTY OF COOK SS.

I HEREBY CERTIFY THAT THIS SURVEY DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF ILLINOIS

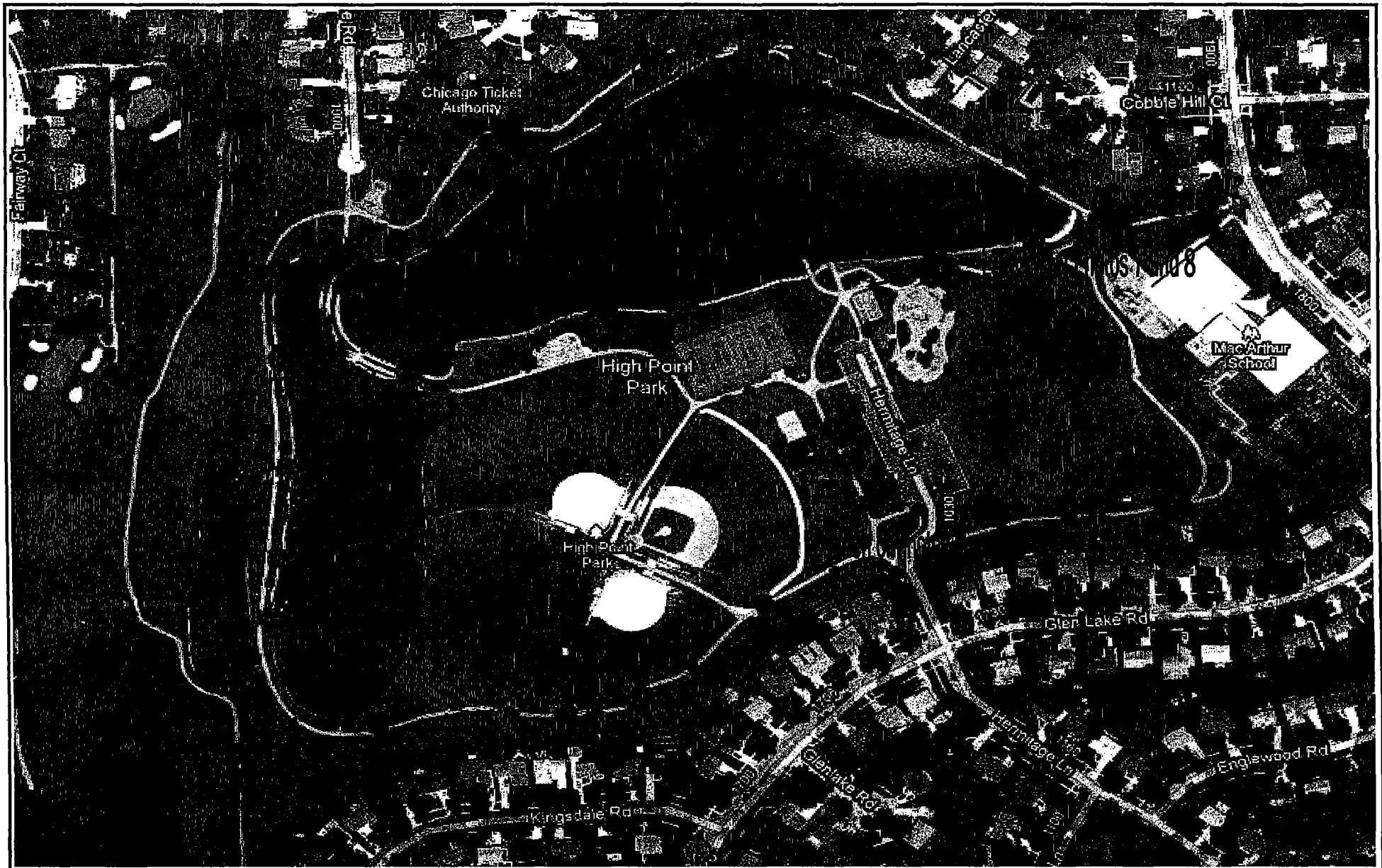
RICHARD L. THOM JR. PLS. DATE
 LICENSE NUMBER 035-002569

CH44299G

1704 GLEN LAKE ROAD
 HOFFMAN ESTATES, IL 60189
 (COOK COUNTY)

DRAWN BY: DRP DATE: 08/03/2010
 CHECKED BY: TAT
 PROJECT #: 18448

SHEET TITLE
SURVEY
 SHEET NUMBER
1 OF 2



Map of Photo Locations

Job Name : High Point Park (CH44299G)
Job Number : 18448
Site Address : 1704 Glen Lake Road
Hoffman Estates, Illinois 60169

T-Mobile

T-Mobile Central, LLC
8550 West Bryn Mawr, 1st Floor
Chicago, Illinois 60631

R RAMAKER & ASSOCIATES, INC.

1120 Dallas Street, Sauk City, WI 53583
Telephone : 608/643-4100
Facsimile : 608/643-7999



BEFORE PHOTO RENDERING/SIMULATION - LOOKING SOUTH

Job Name : High Point Park (CH44299G)
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BEFORE PHOTO RENDERING/SIMULATION - LOOKING EAST

Job Name : High Point Park (CH44299G)
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AFTER PHOTO RENDERING/SIMULATION - LOOKING EAST

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Hoffman Estates, Illinois 60169

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Chicago, Illinois 60631

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Telephone : 608/643-4100
Facsimile : 608/643-7999



BEFORE PHOTO RENDERING/SIMULATION - LOOKING NORTH

Job Name : High Point Park (CH44299G)
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Site Address : 1704 Glen Lake Road
Hoffman Estates, Illinois 60169

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Chicago, Illinois 60631

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& ASSOCIATES, INC.

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Telephone : 608/643-4100
Facsimile : 608/643-7999



AFTER PHOTO RENDERING/SIMULATION - LOOKING NORTH

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T-Mobile

T-Mobile Central, LLC
8550 West Bryn Mawr, 1st Floor
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& ASSOCIATES, INC.**

1120 Dallas Street, Sauk City, WI 53583
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Facsimile : 608/643-7999



BEFORE PHOTO RENDERING/SIMULATION - LOOKING WEST

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Telephone : 608/643-4100
Facsimile : 608/643-7999



Expiration: 11/30/11

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Illinois. It should be noted that those plan sheets identified with an (C) have been prepared and certified by others and have been included herein for informational purposes only.

James R. Skowronski
Signature
1/28/2011
Date

T-Mobile

CH44299G

HIGH POINT PARK
1704 GLEN LAKE ROAD
HOFFMAN ESTATES, IL 60169

CONSTRUCTION DRAWINGS

T-Mobile

T-MOBILE CENTRAL, LLC
8550 WEST BRYN MAWR
1ST FLOOR
CHICAGO, IL 60631

SureSite

3659 GREEN ROAD
SUITE 214
CLEVELAND, OH 44122

RAMAKER & ASSOCIATES, INC.

1120 Dallas Street
Sauk City, Wisconsin 53583
Voice: (608) 843-4100
Fax: (608) 843-7999
www.ramakar.com

PROJECT NO: 18448 CH44299G
OWN: KJG CKD: PJP APV: MLP

DRAWING INDEX	
SHEET NO:	SHEET TITLE
T-1	TITLE SHEET
SP-1	SPECIFICATIONS
SP-2	SPECIFICATIONS
SP-3	SPECIFICATIONS
SIGN	SIGNAGE
B-1	BILL OF MATERIALS
S-1-2	SURVEY
S-2-2	SURVEY
OC-1	OVERALL SITE PLAN
OC-2	OVERALL AERIAL SITE PLAN
C-1	SITE PLAN
C-2	ELEVATION
C-3	EQUIPMENT DETAILS
C-4	SITE DETAILS
C-5	SITE DETAILS
RF-1	ANTENNA & COAX DETAILS
RF-2	ANTENNA SPECIFICATIONS
S-1	BUILDING PLAN
S-2	BUILDING ELEVATION
S-3	BUILDING SECTIONS
S-4	FOUNDATION PLAN
S-5	INTERIOR LIGHTING PLAN
S-6	STRUCTURAL NOTES
S-7	*MUSCO ATTACHMENT DETAILS
E-1	POWER & TELCO SERVICE PLAN
E-2	GROUNDING PLAN
E-3	UTILITY DETAILS
E-4	UTILITY DETAILS
E-5	UTILITY DETAILS
E-6	UTILITY DETAILS
E-7	GROUNDING DETAILS
E-8	GROUNDING DETAILS

DO NOT SCALE DRAWINGS
CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG
CALL CHICAGO DIGGERS HOTLINE
1-312-744-7000
OR JULIE, INC. TOLL FREE
1-800-892-0123
REQUIRES MIN. 3 WORKING DAYS NOTICE BEFORE YOU EXCAVATE

SITE INFORMATION

GROUND LEASE LANDLORD: HOFFMAN ESTATES PARK DISTRICT
1685 WEST HIGGINS ROAD
HOFFMAN ESTATES, IL 60169
CONTACT: CRAIG TALSHA
PHONE: (847) 310-5607

APPLICANT I.D.#: CH44299G

APPLICANT: T-MOBILE CENTRAL, LLC
8550 WEST BRYN MAWR
1ST FLOOR
CHICAGO, IL 60631

SITE ADDRESS: 1704 GLEN LAKE ROAD
HOFFMAN ESTATES, IL 60169

COUNTY: COOK

LATITUDE: 42°-03'-34.93" N (42.05970278°)

LONGITUDE: 88°-06'-40.40" W (-88.11122222°)

ZONING CLASSIFICATION: R-4 ONE FAMILY RESIDENTIAL

ZONING JURISDICTION: COOK COUNTY

PARCEL NO.: 07-08-204-022-0000

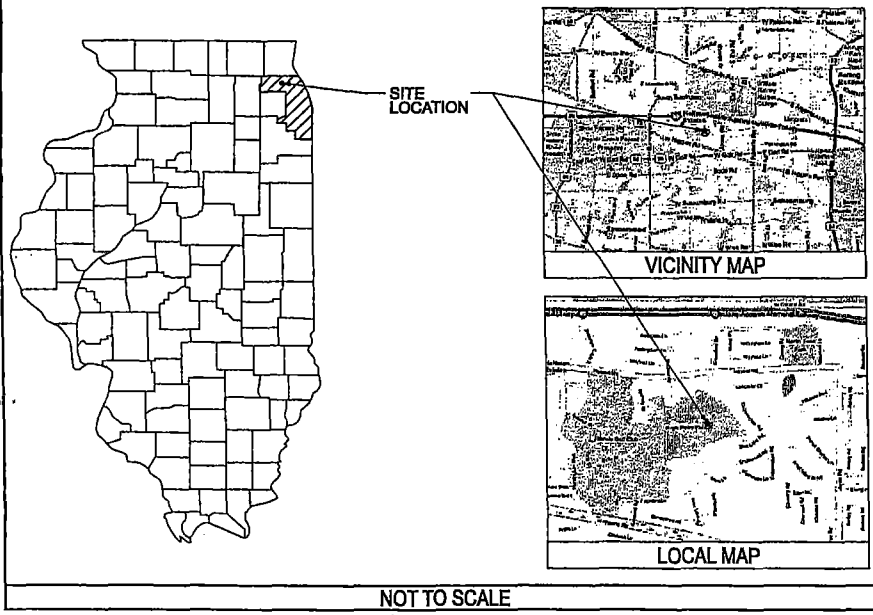
POWER COMPANY: COMMONWEALTH EDISON
PHONE: (800) 334-7661

TELCO PROVIDER: AT&T
PHONE: (800) 861-2705

ENGINEER: RAMAKER & ASSOCIATES, INC.
1120 DALLAS STREET
SAUK CITY, WI 53583
CONTACT: PAUL D. PAVELSKI
PHONE: (608) 843-4100
FAX: (608) 843-7999

SITE ACQ.: SURESITE CONSULTING GROUP, LLC
3659 GREEN ROAD, SUITE 214
CLEVELAND, OHIO 44122
PHONE: (216) 593-0400
FAX: (216) 593-0401

LOCATION MAP



DRIVING DIRECTIONS

FROM T-MOBILE OFFICE IN CHICAGO:
START OUT GOING WEST ON W BRYN MAWR AVENUE TOWARD N DELPHIA AVENUE. TURN RIGHT ONTO E RIVER ROAD. TURN LEFT ONTO HIGGINS ROAD/IL-72. MERGE ONTO I-90 W/JANE ADDAMS MEMORIAL TOLLWAY (PORTIONS TOLL). TAKE THE ROSELLE ROAD EXIT. TURN SLIGHT LEFT TO TAKE THE RAMP TOWARD HOFFMAN ESTATES/SCHAUMBURG. TURN LEFT ONTO N ROSELLE ROAD. TURN RIGHT ONTO W HIGGINS ROAD/IL-72 W. TURN RIGHT ONTO GLEN LAKE ROAD. END AT ADDRESS 1704 GLEN LAKE ROAD. SITE IS ON THE RIGHT.

CH44299G
HIGH POINT PARK

1704 GLEN LAKE ROAD
HOFFMAN ESTATES, IL 60169

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

T-Mobile...

T-Mobile
8550 West Bryn Mawr
Chicago, IL 60631

RAMAKER & ASSOCIATES, INC.
1120 Dallas Street, Sauk City, Wisconsin 53583
Voice: (608) 643-1100 Fax: (608) 643-7999
www.ramaker.com

REVISIONS

No.	DESCRIPTION	DATE
1	UTILITY EASEMENTS	07/08/10
2	REVISED LEASE AREA	08/23/10
3	REVISED LEASE AREA	10/14/10
4	FINAL	11/08/10
X	X	XXXXXX

STATE OF ILLINOIS
COUNTY OF COOK SS.
I HEREBY CERTIFY THAT THIS SURVEY DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF ILLINOIS

Richard L. Thom Jr.
RICHARD L. THOM JR., PCS DATE 11-08-10
LICENSE NUMBER 035-002569



CH44299G
HIGH POINT PARK

1704 GLEN LAKE ROAD
HOFFMAN ESTATES, IL 60169
(COOK COUNTY)

DRAWN BY: DRF DATE: 08/03/2010

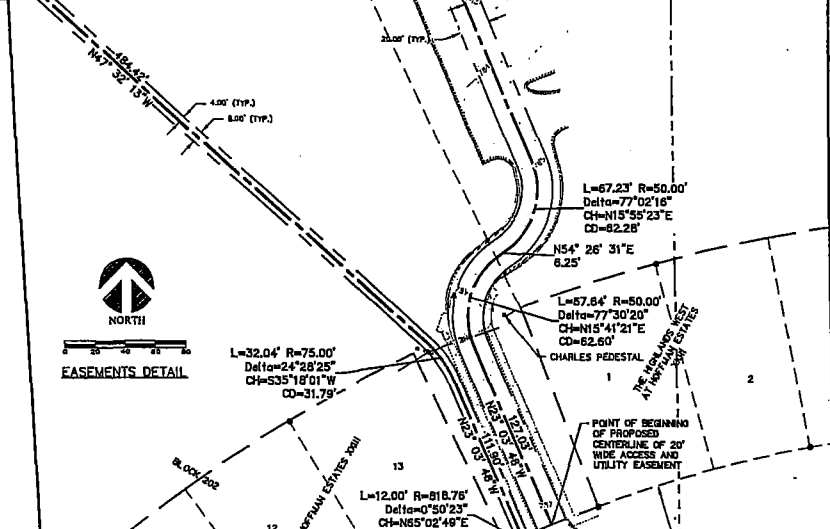
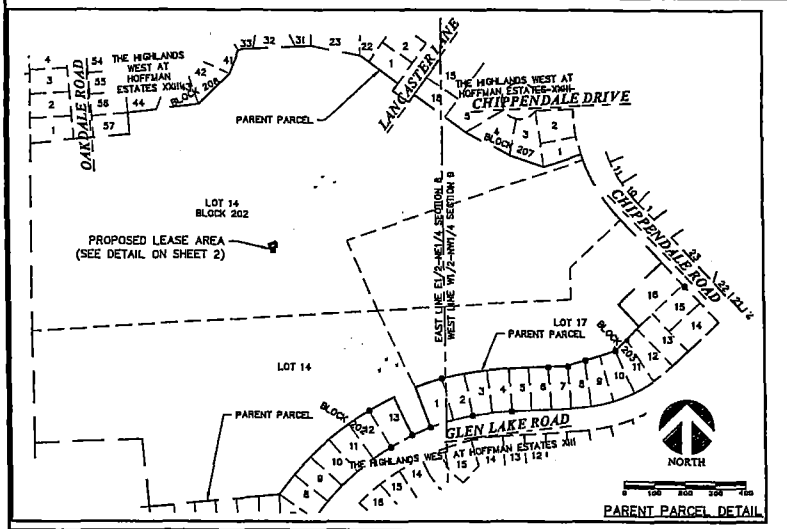
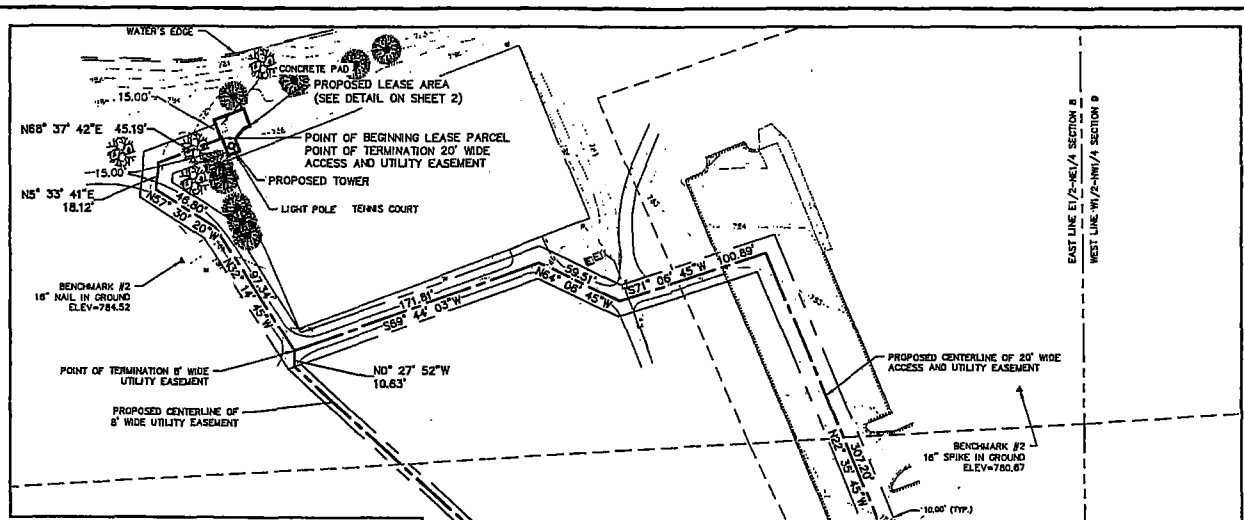
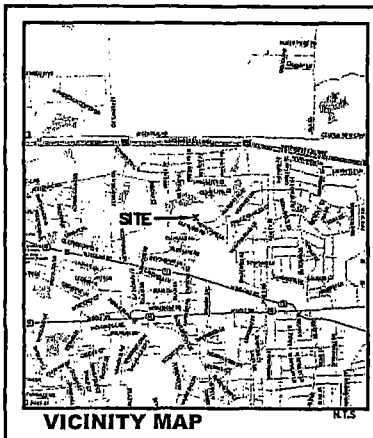
CHECKED BY: TAT

PROJECT #: 19448

SHEET TITLE

SURVEY

SHEET NUMBER
1 OF 2



LEGEND

	LEASE AREA		MONUMENT, FOUND
	PARENT PARCEL		FIRE HYDRANT
	RIGHT-OF-WAY LINE		WATER VALVE
	EXISTING LOT LINE		UTILITY MANHOLE
	CURB AND GUTTER		TELEPHONE PEDESTAL
	CONCRETE		ELECTRIC METER
	EDGE-ASPHALTIC PAVEMENT		ELECTRIC PANEL/TRANS.
	ASPHALTIC PAVEMENT		UTILITY POLE
	EDGE-GRAVEL		STORM SEWER INLET
	GRAVEL		

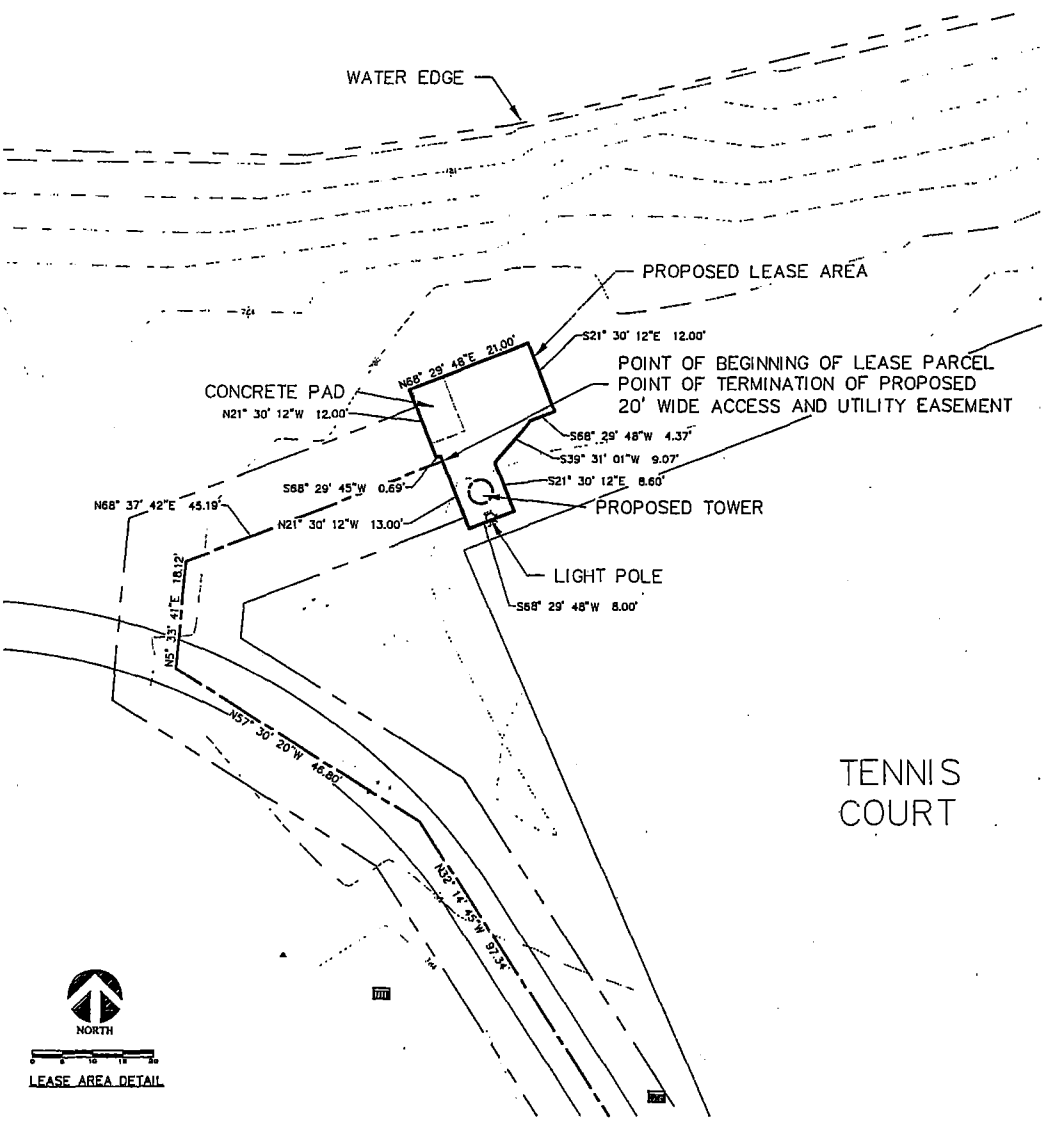
SURVEYOR'S NOTES:

- 1) AN ATTEMPT WAS MADE TO LOCATE ALL PROPERTY CORNERS AND MONUMENTS. WHERE NO MONUMENTS WERE FOUND, THE PROPERTY LINE WAS DRAWN BASED ON RECORDED DOCUMENTS.
- 2) THE SURVEY FOR THIS MAP WAS PERFORMED ON JULY 29, 2010 BY RAMAKER & ASSOCIATES, INC. REVIEW WAS PERFORMED BY RICHARD L. THOM JR.
- 3) NOT TO BE USED AS CONSTRUCTION DRAWINGS.
- 4) THE LOCATIONS OF UNDERGROUND UTILITIES WAS DETERMINED BY FIELD OBSERVATIONS AND VISIBLE MARKINGS ONLY AT TIME OF SURVEY.
- 5) THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY OF THE PARENT PARCEL TRACT.
- 6) THIS MAP WAS PREPARED WITHOUT THE AID OF A TITLE COMMITMENT, REFER TO A CURRENT TITLE COMMITMENT FOR ANY BUILDING LINES AND EASEMENTS NOT SHOWN ON THIS MAP.

Small vertical text at the bottom left corner, likely a copyright or disclaimer notice.

PARENT PARCEL

LOT 17 IN BLOCK 203 IN "THE HIGHLANDS WEST AT HOFFMAN ESTATES XXI" AND THAT LOT 14 IN BLOCK 202 IN "THE HIGHLANDS WEST AT HOFFMAN ESTATES XXI" BEING IN PART OF THE NORTHEAST QUARTER OF SECTION 8, AND THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 9, ALL IN TOWNSHIP 41 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.



PROPOSED LEASE PARCEL

PART OF LOT 14 IN BLOCK 202 IN "THE HIGHLANDS WEST AT HOFFMAN ESTATES XXI" BEING IN PART OF THE NORTHEAST QUARTER OF SECTION 8, ALL IN TOWNSHIP 41 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF LOT 13 IN BLOCK 202 ALSO BEING THE SOUTHWEST CORNER OF LOT 14 IN BLOCK 202; THENCE 33.00 FEET ALONG A CURVE CONCAVE SOUTHERLY, HAVING A RADIUS OF 818.78 FEET AND A CHORD BEARING OF N 65°46'35" E, 33.00 FEET; THENCE N 23°03'48" W, 127.23 FEET; THENCE 87.84 FEET ALONG A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 50.00 AND A CHORD BEARING OF N 15°41'21" E, 82.80 FEET; THENCE N 54°28'31" E, 6.25 FEET; THENCE 67.23 FEET ALONG A CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 30.00 AND A CHORD BEARING OF N 15°35'33" E, 82.28 FEET; THENCE N 23°35'45" W, 307.20 FEET; THENCE S 71°06'45" W, 100.89 FEET; THENCE N 64°06'45" W, 59.51 FEET; THENCE S 66°44'03" W, 171.81 FEET; THENCE N 32°14'45" W, 97.34 FEET; THENCE N 57°30'20" W, 46.80 FEET; THENCE N 5°33'41" E, 18.12 FEET; THENCE N 60°37'42" E, 48.18 FEET TO THE POINT OF BEGINNING; THENCE N 21°30'12" W, 0.89 FEET; THENCE S 88°29'45" W, 0.69 FEET; THENCE N 21°30'12" W, 12.00 FEET; THENCE N 88°29'48" E, 21.00 FEET; THENCE S 21°30'12" E, 12.00 FEET; THENCE S 21°30'12" E, 12.00 FEET; THENCE S 68°28'48" W, 4.37 FEET; THENCE S 30°31' W, 8.00 FEET; THENCE S 21°30'12" E, 8.80 FEET; THENCE S 60°29'45" W, 8.00 FEET; THENCE N 21°30'12" W, 12.01 FEET TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS, AND CONTAINING 373 SQUARE FEET THEREIN, SUBJECT TO ANY AND ALL EASEMENTS OR AGREEMENTS RECORDED OR UNRECORDED.

PROPOSED 8' WIDE UTILITY EASEMENT DESCRIPTION

A 8' WIDE ACCESS EASEMENT LOCATED IN PART OF LOT 17 IN BLOCK 203 IN "THE HIGHLANDS WEST AT HOFFMAN ESTATES XXI" AND THAT LOT 14 IN BLOCK 202 IN "THE HIGHLANDS WEST AT HOFFMAN ESTATES XXI" BEING IN PART OF THE NORTHEAST QUARTER OF SECTION 8, ALL IN TOWNSHIP 41 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, CENTERLINE OF 8' WIDE ACCESS EASEMENT MORE DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF LOT 13 IN BLOCK 202 ALSO BEING THE SOUTHWEST CORNER OF LOT 14 IN BLOCK 202; THENCE 12.00 FEET ALONG A CURVE CONCAVE SOUTHERLY, HAVING A RADIUS OF 818.78 FEET AND A CHORD BEARING OF N 65°46'35" E, 12.00 FEET TO THE POINT OF BEGINNING; THENCE N 23°03'48" W, 127.30 FEET; THENCE 87.84 FEET ALONG A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 50.00 AND A CHORD BEARING OF N 15°41'21" E, 87.87 FEET; THENCE 26.46 FEET ALONG A CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 20.00 FEET AND A CHORD BEARING OF N 15°35'33" E, 24.37 FEET; THENCE N 23°35'45" W, 290.17 FEET TO THE POINT OF TERMINATION, CENTERLINE CONTAINS 368.43 LINEAR FEET, MORE OR LESS, ALL IN COOK COUNTY, ILLINOIS, AND SUBJECT TO ANY AND ALL EASEMENTS OR AGREEMENTS RECORDED OR UNRECORDED.

PROPOSED 20' WIDE ACCESS/UTILITY EASEMENT DESCRIPTION

A 20' WIDE ACCESS/UTILITY EASEMENT LOCATED IN PART OF LOT 17 IN BLOCK 203 IN "THE HIGHLANDS WEST AT HOFFMAN ESTATES XXI" AND THAT LOT 14 IN BLOCK 202 IN "THE HIGHLANDS WEST AT HOFFMAN ESTATES XXI" BEING IN PART OF THE NORTHEAST QUARTER OF SECTION 8, ALL IN TOWNSHIP 41 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, CENTERLINE OF 20' WIDE ACCESS/UTILITY EASEMENT MORE DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF LOT 13 IN BLOCK 202 ALSO BEING THE SOUTHWEST CORNER OF LOT 14 IN BLOCK 202; THENCE 33.00 FEET ALONG A CURVE CONCAVE SOUTHERLY, HAVING A RADIUS OF 818.78 FEET AND A CHORD BEARING OF N 65°46'35" E, 33.00 FEET TO THE POINT OF BEGINNING; THENCE N 23°03'48" W, 127.03 FEET; THENCE 87.84 FEET ALONG A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 50.00 AND A CHORD BEARING OF N 15°41'21" E, 82.80 FEET; THENCE N 54°28'31" E, 6.25 FEET; THENCE 67.23 FEET ALONG A CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 30.00 AND A CHORD BEARING OF N 15°35'33" E, 82.28 FEET; THENCE N 23°35'45" W, 307.20 FEET; THENCE S 71°06'45" W, 100.89 FEET; THENCE N 64°06'45" W, 59.51 FEET; THENCE N 32°14'45" W, 171.81 FEET; THENCE N 21°41'45" W, 97.34 FEET; THENCE N 57°30'20" W, 46.80 FEET; THENCE N 5°33'41" E, 18.12 FEET; THENCE N 60°37'42" E, 43.03 FEET TO THE WEST LINE OF PROPOSED LEASE AREA AND BEING THE POINT OF TERMINATION, CENTERLINE CONTAINS 1112.85 LINEAR FEET, MORE OR LESS, ALL IN COOK COUNTY, ILLINOIS, AND SUBJECT TO ANY AND ALL EASEMENTS OR AGREEMENTS RECORDED OR UNRECORDED.

T-Mobile

T-Mobile
5550 West Bryn Mawr
Chicago, IL 60631

R RAMAKER & ASSOCIATES, INC.

1120 Dallas Street, Sauk City, Wisconsin 53583
Voice: (608) 643-4100 Fax: (608) 643-7999
www.ramaker.com

REVISIONS

No.	DESCRIPTION	DATE
1	UTILITY EASEMENTS	07/06/10
2	REVISED LEASE AREA	08/23/10
3	REVISED LEASE AREA	10/14/10
4	FINAL	11/08/10
X	X	XXXXXXXX

STATE OF ILLINOIS
COUNTY OF COOK SS.
I HEREBY CERTIFY THAT THIS SURVEY DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF ILLINOIS

Richard L. Thom Jr.
RICHARD L. THOM JR. PLS
LICENSE NUMBER 035-002569
DATE 11-08-10



Expiration: 11/30/10

CH44299G
HIGH POINT PARK

1704 GLEN LAKE ROAD
HOFFMAN ESTATES, IL 60169
(COOK COUNTY)

DRAWN BY: DRF DATE: 08/03/2010

CHECKED BY: TAT

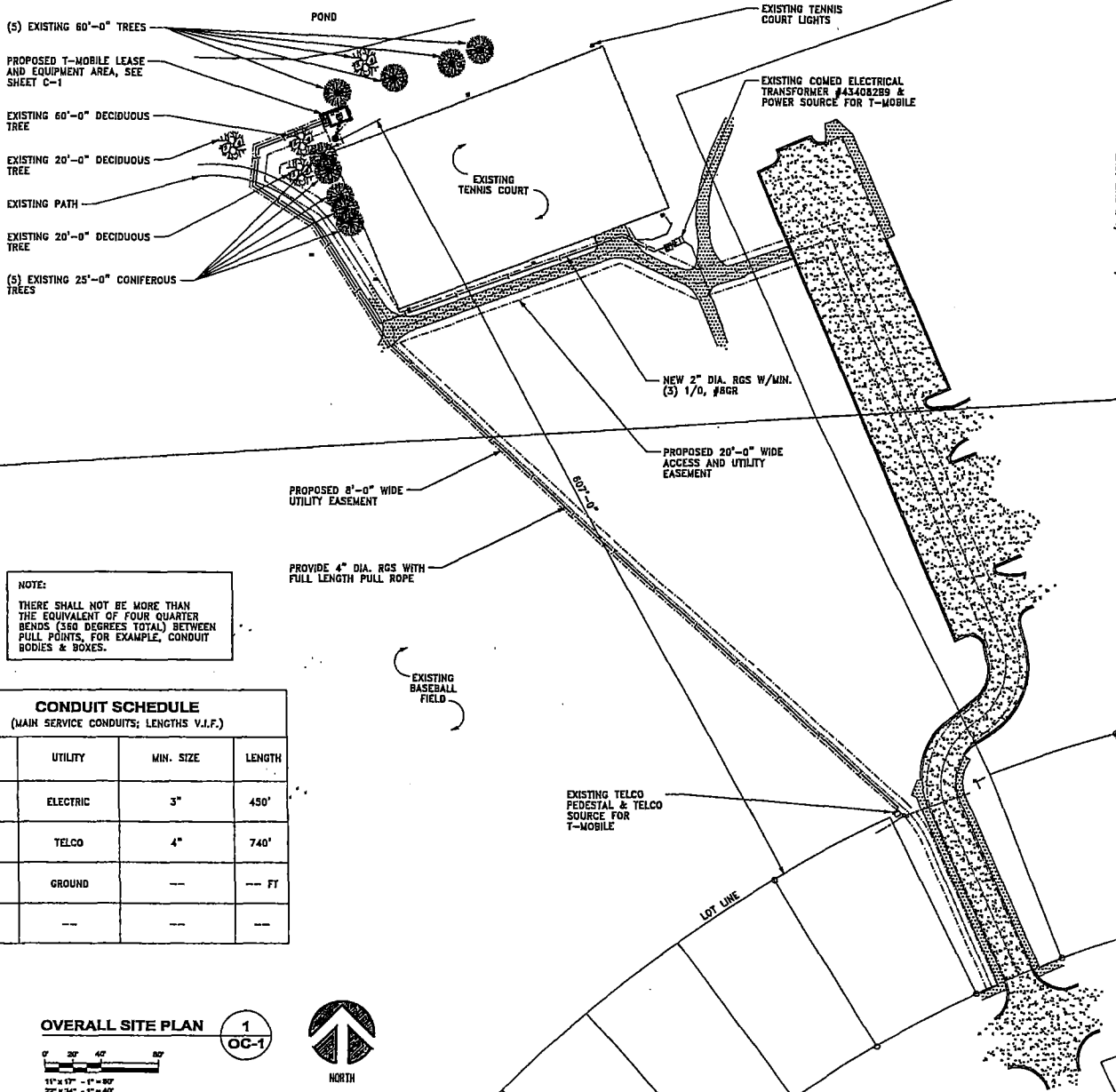
PROJECT #: 18448

SHEET TITLE

SURVEY

SHEET NUMBER

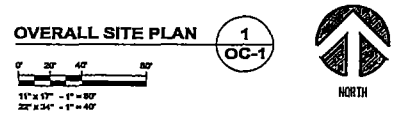
2 OF 2



- (5) EXISTING 60'-0" TREES
- PROPOSED T-MOBILE LEASE AND EQUIPMENT AREA, SEE SHEET C-1
- EXISTING 60'-0" DECIDUOUS TREE
- EXISTING 20'-0" DECIDUOUS TREE
- EXISTING PATH
- EXISTING 20'-0" DECIDUOUS TREE
- (5) EXISTING 25'-0" CONIFEROUS TREES

NOTE:
THERE SHALL NOT BE MORE THAN THE EQUIVALENT OF FOUR QUARTER BENDS (560 DEGREES TOTAL) BETWEEN PULL POINTS, FOR EXAMPLE, CONDUIT BODIES & BOXES.

CONDUIT SCHEDULE (MAIN SERVICE CONDUITS; LENGTHS V.I.F.)			
KEY	UTILITY	MIN. SIZE	LENGTH
1	ELECTRIC	3"	450'
2	TELCO	4"	740'
	GROUND	---	--- FT
	---	---	---



T-Mobile

T-MOBILE CENTRAL, LLC
8550 WEST BRYN MAWR
1ST FLOOR
CHICAGO, IL 60631

SureSite

3639 GREEN ROAD
SUITE 214
CLEVELAND, OH 44122

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Sauk City, Wisconsin 53583
Voice: (608) 643-4100
Fax: (608) 643-7999
www.ramaker.com

PROJECT NO: 1844B CH44299G
DWN: KJG CKD: PJP APV: MLP

NO.	DATE	DESCRIPTION	BY
13	01/25/11	LIGHTING REVISIONS	TDH
12	01/24/11	UTILITY & RF REVISIONS	TDH
11	12/02/10	HVAC & LIGHTING SPECS	TDH
10	10/19/10	REVISIONS	CKF
9	10/08/10	REV. PRELIMINARY CD'S	CKF
8	10/07/10	REVISIONS/2D'S	KJG
7	10/01/10	SITE REDESIGN	KJG
6	09/28/10	PRELIMINARY CD'S	TDH
5	08/24/10	REVISIONS/2D'S	TDH
4	08/23/10	REVISIONS/2D'S	TDH
3	08/17/10	TREE HEIGHTS ADDED	TDH
2	08/13/10	REVISIONS	DMH
1	08/11/10	SITE RELOCATED	TDH
0	07/28/10	ZONING DRAWING	KJG
REV	DATE	DESCRIPTION	BY

**CH44299G
HIGH POINT PARK**

1704 GLEN LAKE ROAD
HOFFMAN ESTATES, IL 60169

SHEET TITLE
OVERALL SITE PLAN

SHEET NUMBER
OC-1

T-Mobile

T-MOBILE CENTRAL, LLC
8550 WEST BRYN MAWR
1ST FLOOR
CHICAGO, IL 60631

SureSite

3658 GREEN ROAD
SUITE 214
CLEVELAND, OH 44122

R RAMAKER & ASSOCIATES, INC.
1120 Dallas Street
Sauk City, Wisconsin 53583
Voice: (608) 643-4100
Fax: (608) 843-7999
www.ramaker.com

PROJECT NO: 18448 CH44299G
DWN: KJG CKD: FJP APV: MLP

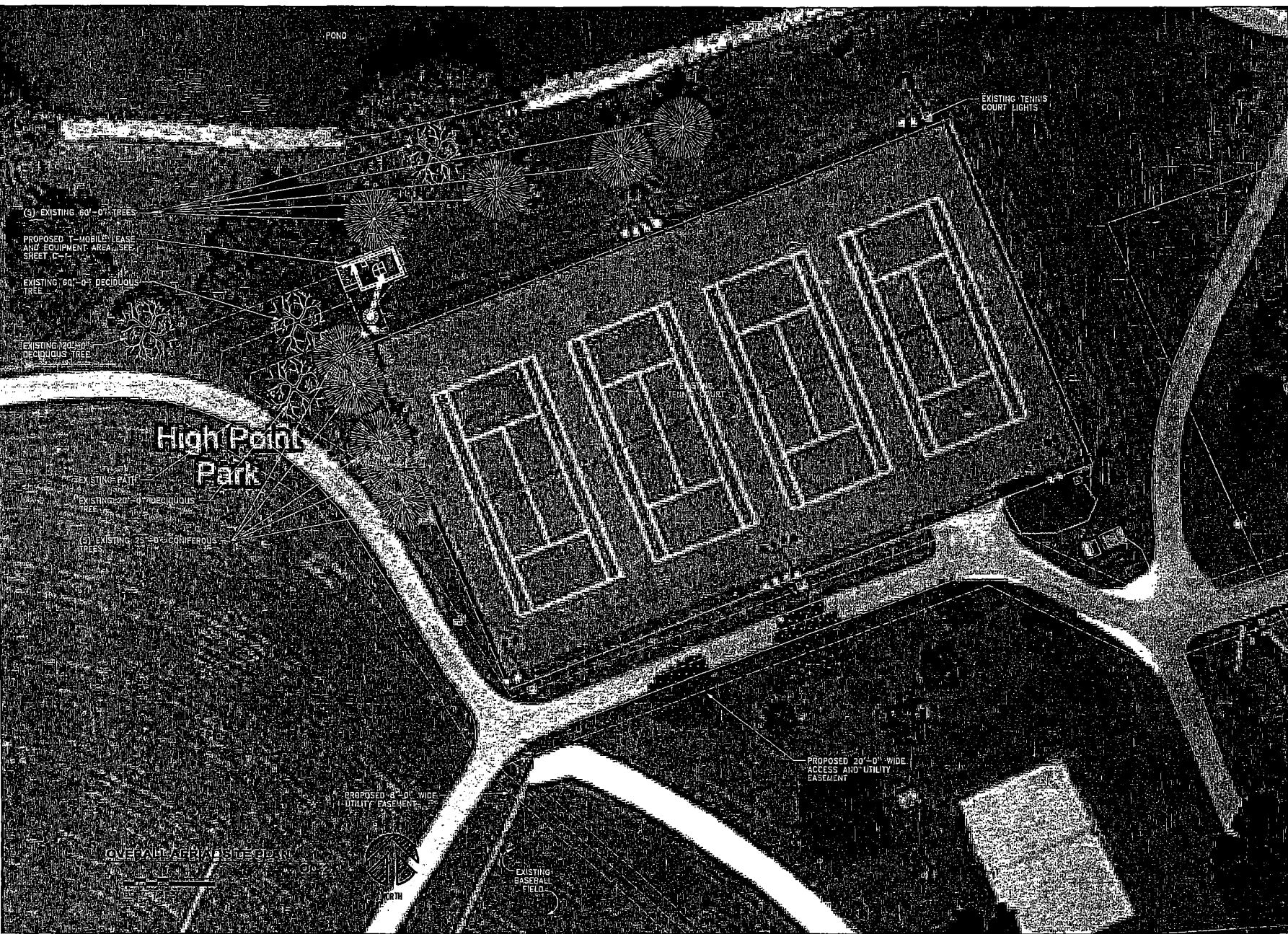
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12	01/24/11	UTILITY & RF REVISIONS	TDM
11	12/02/10	AVAC & LIGHTING SPECS	TDM
10	10/19/10	REVISIONS	CKF
9	10/08/10	REV. PRELIMINARY CD'S	CKF
8	10/07/10	REVISIONS/2D'S	KJG
7	10/01/10	SITE REDSIGN	KJG
6	09/29/10	PRELIMINARY CD'S	TDM
5	08/24/10	REVISIONS/2D'S	TDM
4	08/23/10	REVISIONS/2D'S	TDM
3	08/17/10	TREE HEIGHTS ADDED	TDM
2	08/13/10	REVISIONS	FWK
1	08/11/10	SITE RELOCATED	TDM
0	07/28/10	ZONING DRAWING	KJG

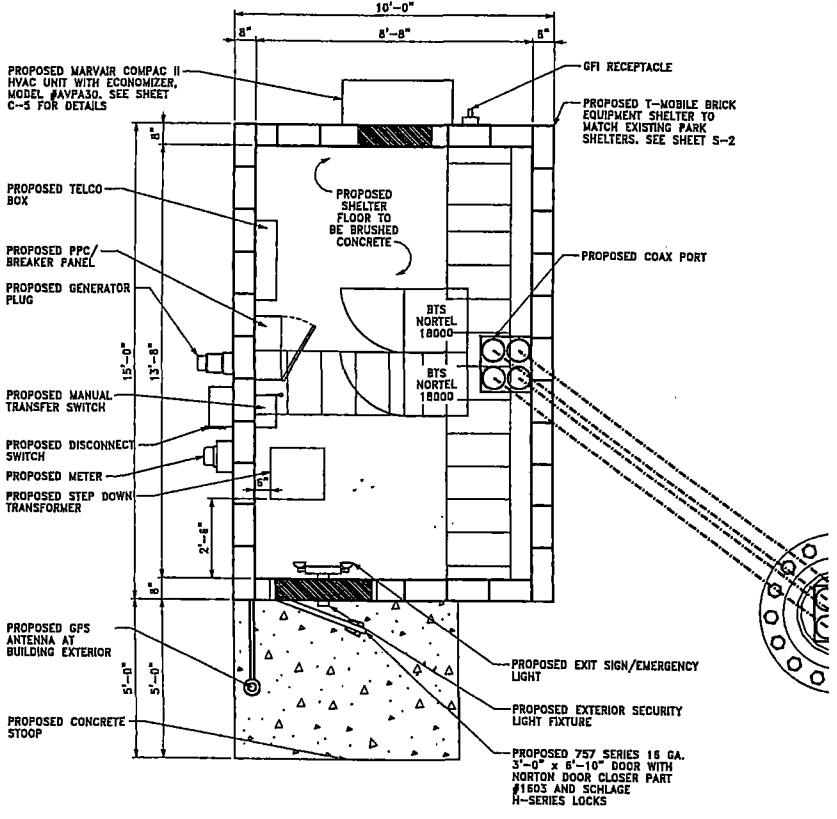
CH44299G
HIGH POINT PARK

1704 GLEN LAKE ROAD
HOFFMAN ESTATES, IL 60169

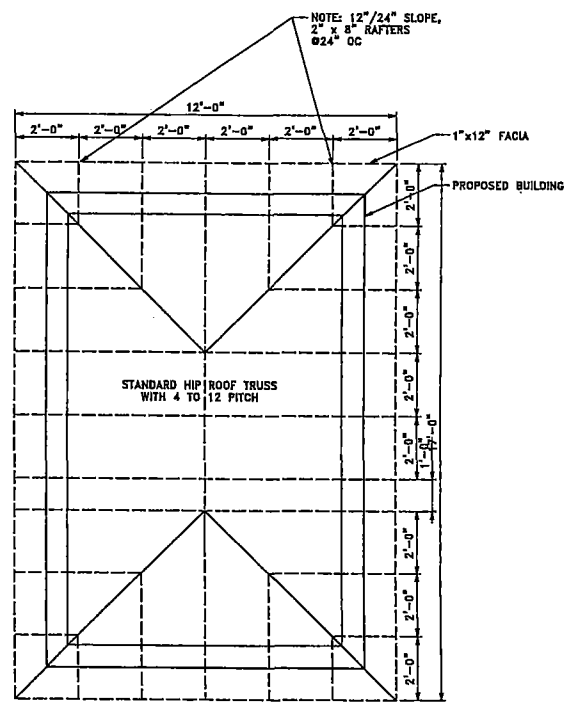
SHEET TITLE
OVERALL AERIAL
SITE PLAN

SHEET NUMBER
OC-2





SHELTER LAYOUT 1
S-1



ROOF TRUSS PLAN 2
S-1

T-Mobile
 T-MOBILE CENTRAL, LLC
 8550 WEST BRYN MAWR
 1ST FLOOR
 CHICAGO, IL 60631

SureSite
 3659 GREEN ROAD
 SUITE 214
 CLEVELAND, OH 44122

RAMAKER & ASSOCIATES, INC.
 1120 Dallas Street
 South City, Wisconsin 53583
 Voice: (800) 643-4100
 Fax: (800) 643-7889
 www.ramaker.com

PROJECT NO: 18448 CH44299G
 DWN: KJG CKD: FJP APV: MLP

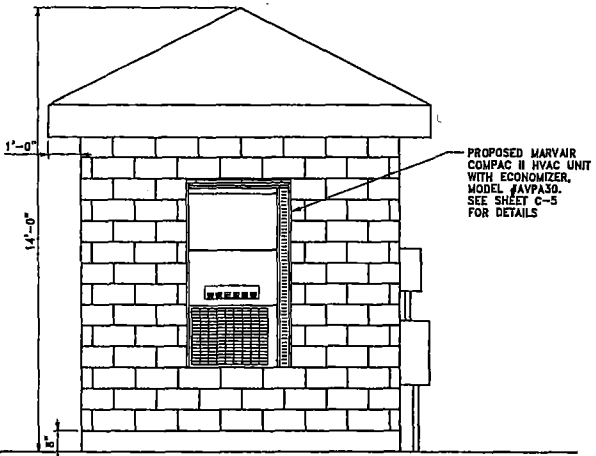
REV	DATE	DESCRIPTION	BY
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12	01/24/11	UTILITY & RF REVISIONS	TDH
11	12/02/10	HVAC & LIGHTING SPECS	TDH
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9	10/08/10	REV. PRELIMINARY CD'S	CKZ
8	10/07/10	REVISIONS/ZD'S	KJG
7	10/01/10	SITE REDESIGN	KJG
6	09/28/10	PRELIMINARY CD'S	TDH
5	08/24/10	REVISIONS/ZD'S	TDH
4	08/23/10	REVISIONS/ZD'S	TDH
3	08/17/10	TREE HEIGHTS ADDED	TDH
2	08/13/10	REVISIONS	RMH
1	08/11/10	SITE RELOCATED	TDH
0	07/28/10	ZONING DRAWING	KJG

**CH44299G
HIGH POINT PARK**

1704 GLEN LAKE ROAD
HOFFMAN ESTATES, IL 60169

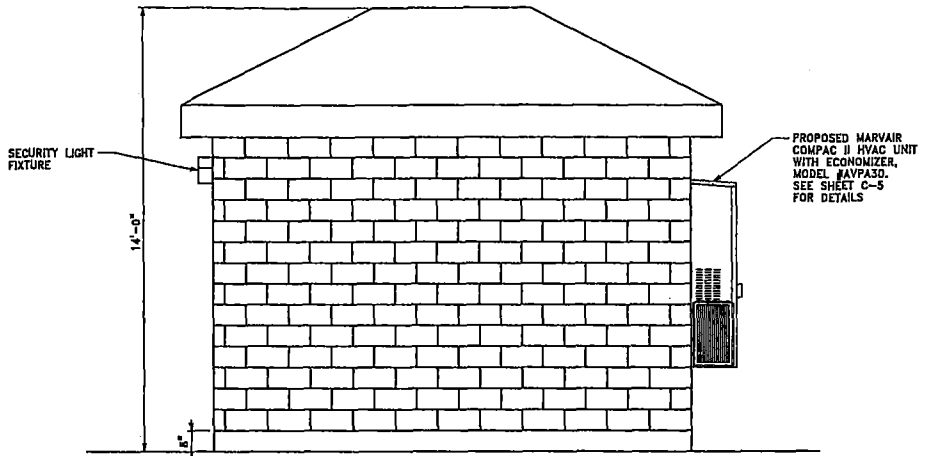
SHEET TITLE
BUILDING PLAN

SHEET NUMBER
S-1



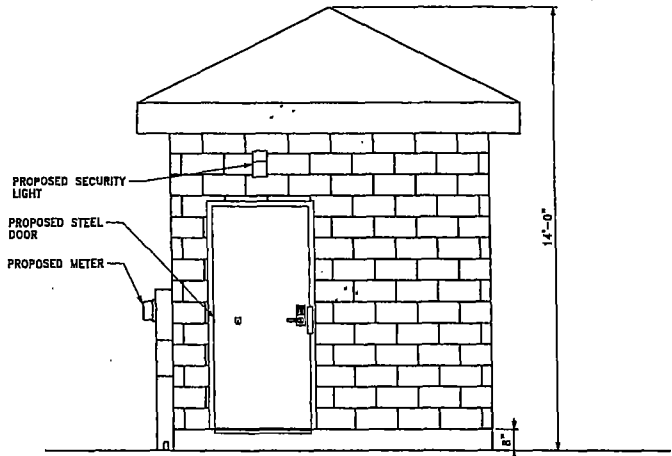
WEST ELEVATION 1
S-2

11' x 17' - 1/4" = 1'
22' x 34' - 1/2" = 1'



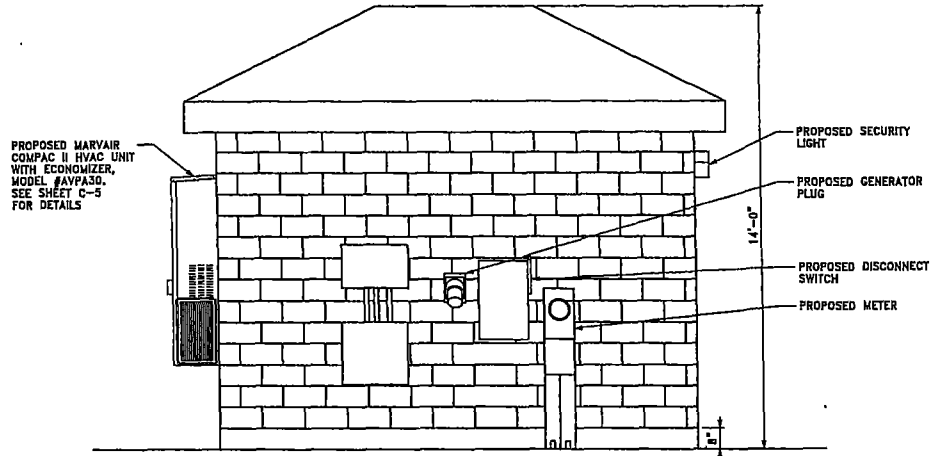
SOUTH ELEVATION 2
S-2

11' x 17' - 1/4" = 1'
22' x 34' - 1/2" = 1'



EAST ELEVATION 3
S-2

11' x 17' - 1/4" = 1'
22' x 34' - 1/2" = 1'



NORTH ELEVATION 4
S-2

11' x 17' - 1/4" = 1'
22' x 34' - 1/2" = 1'

T-Mobile

T-MOBILE CENTRAL, LLC
8550 WEST BRYN MAWR
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SureSite

3659 GREEN ROAD
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PROJECT NO: 18448 CH44299G
DWN: KJG CKD: PJP APV: MLP

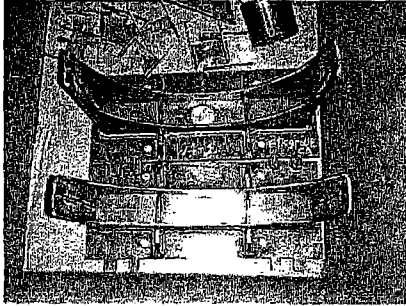
REV	DATE	DESCRIPTION	BY
13	01/25/11	LIGHTING REVISIONS	TON
12	01/24/11	UTILITY & RF REVISIONS	TON
11	12/02/10	HVAC & LIGHTING SPECS	TON
10	10/19/10	REVISIONS	CKF
8	10/08/10	REV. PRELIMINARY CD'S	CKF
8	10/07/10	REVISIONS/2D'S	KJG
7	10/01/10	SITE REDESIGN	KJG
6	09/28/10	PRELIMINARY CD'S	TON
5	09/24/10	REVISIONS/2D'S	TON
4	08/23/10	REVISIONS/2D'S	TON
3	08/17/10	TREE HEIGHTS ADDED	TON
2	08/13/10	REVISIONS	RAM
1	08/11/10	SITE RELOCATED	TON
0	07/28/10	ZONING DRAWING	KJG

CH44299G
HIGH POINT PARK

1704 GLEN LAKE ROAD
HOFFMAN ESTATES, IL 60169

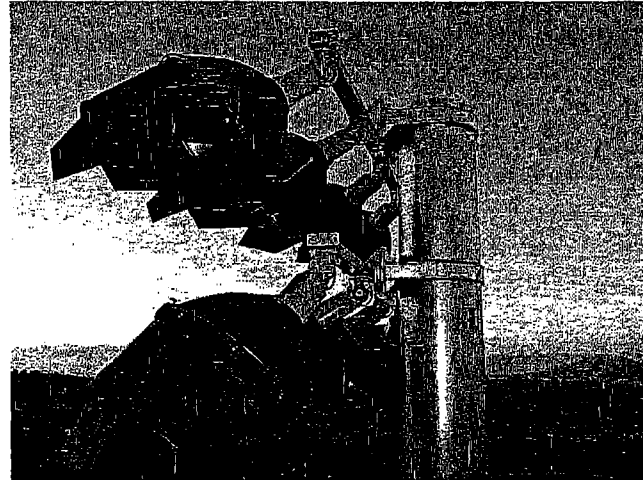
SHEET TITLE
BUILDING ELEVATIONS

SHEET NUMBER
S-2



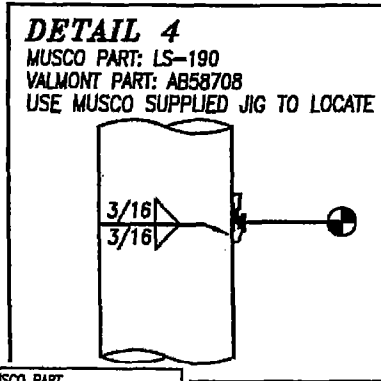
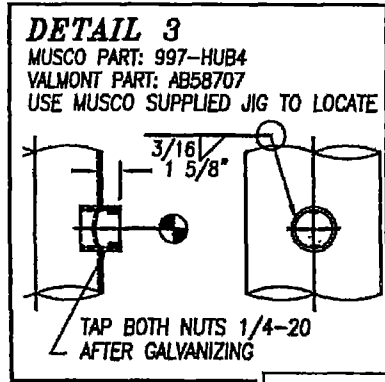
**Weld on parts for Musco
Bolt On Equipment**

Bolt on Bars (shipped to installing contractor)

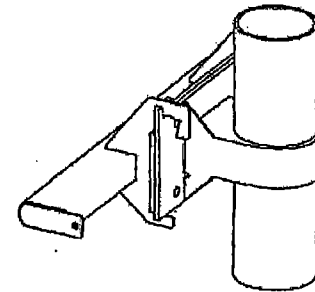
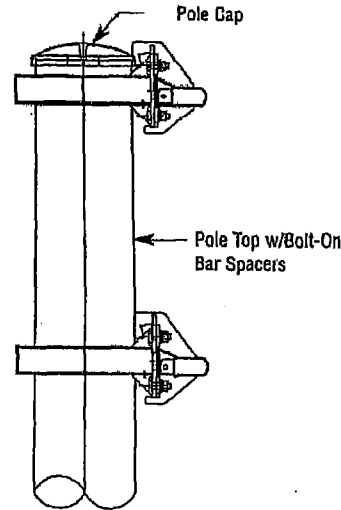
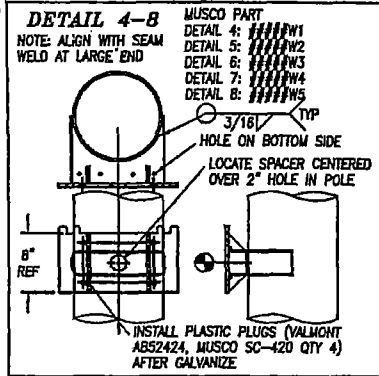


Hub(s) – located approx 8' agl

Hanger(s) – Located above hub



Spacer(s)



T-Mobile

T-MOBILE CENTRAL, LLC
8550 WEST BRYN MAWR
1ST FLOOR
CHICAGO, IL 60631

SureSite

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& ASSOCIATES, INC.

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www.ramaker.com

PROJECT NO: 1844B CH44299G
OWN: KJG CKD: PJP APV: MLP

REV	DATE	DESCRIPTION	BY
13	01/25/11	LIGHTING REVISIONS	TDH
12	01/24/11	UTILITY & RF REVISIONS	TDH
11	12/02/10	HVAC & LIGHTING SPECS	TDH
10	10/19/10	REVISIONS	CKF
9	10/08/10	REV. PRELIMINARY CD'S	CKF
8	10/07/10	REVISIONS/ZD'S	KJC
7	10/01/10	SITE REDESIGN	KJG
6	09/28/10	PRELIMINARY CD'S	TDH
5	09/24/10	REVISIONS/ZD'S	TDH
4	09/23/10	REVISIONS/ZD'S	TDH
3	08/17/10	TREE HEIGHTS ADDED	TDH
2	08/13/10	REVISIONS	RWH
1	08/11/10	SITE RELOCATED	TDH
0	07/28/10	ZONING DRAWING	KJC

CH44299G
HIGH POINT PARK

1704 GLEN LAKE ROAD
HOFFMAN ESTATES, IL 60169

SHEET TITLE
MUSCO ATTACH.
DETAILS

SHEET NUMBER

S-7

**ADDITIONAL
BUSINESS**

VILLAGE OF HOFFMAN ESTATES

AN ORDINANCE AMENDING
SECTION 8-3-22, NUMBER OF LICENSES
OF ARTICLE 3, ALCOHOLIC LIQUORS,
OF THE HOFFMAN ESTATES MUNICIPAL CODE

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: That Section 8-3-22, NUMBER OF LICENSES, of the Hoffman Estates Municipal Code be and the same is hereby amended to read as follows:

The number of licenses issued to persons for the sale of alcoholic liquors by the Village of Hoffman Estates shall be limited to forty-four (44) Class "A" licenses, two (2) Class "AA" licenses, fifteen (15) Class "B" licenses, unlimited Class "C" licenses, three (3) Class "D" licenses, one (1) Class "DD" license, one (1) Class "F" license, one (1) Class "G" license, unlimited Class "H" licenses, and fourteen (14) Class "LC" licenses.

Section 2: That any person, firm or corporation violating any of the provisions of this Ordinance shall be subject to a fine of not less than Ten Dollars (\$10.00) nor more than Five Hundred Dollars (\$500.00) for each offense, and a separate offense shall be deemed committed on each day during or on which a violation occurs or continues.

Section 3: That the Village Clerk is hereby authorized to publish this ordinance in pamphlet form.

Section 4: That this Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2011

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Raymond M. Kincaid	_____	_____	_____	_____
Trustee Jacquelyn Green	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2011

Village President

ATTEST:

Village Clerk

Published in pamphlet form this _____ day of _____, 2011.

MELROSE PYROTECHNICS, INC.

AGREEMENT

This contract entered into this 5th Day of April AD **2011** by and between MELROSE PYROTECHNICS, INC. of Kingsbury, IN and **Village of Hoffman Estates** (Customer) of City **Hoffman Estates** State **Illinois** .

WITNESSETH: MELROSE PYROTECHNICS, INC. for and in consideration of the terms hereinafter mentioned, agrees to furnish to the CUSTOMER **(1) one** Fireworks Display(s) as per agreement made and accepted and made a part hereof, including the services of our Operator to take charge of and fire display under the supervision and direction of the Customer, said display to be given on the evenings of November 19, 2011 and tentatively, November 17, 2012 and tentatively November 23, 2013. Customer Initial _____. The Village of Hoffman Estates shall have the right to confirm the dates for 2012 and 2013 each year prior to April 1. Further, notwithstanding any other provisions of this agreement the Village shall have the right to cancel this agreement with 120 days notice to MELROSE PYROTECHNICS without cost to the village.. These Fireworks Displays shall be held, weather permitting, and it being understood that should inclement weather prevent the giving of this display on the date mentioned herein the parties shall agree to a mutually convenient alternate date, within six (6) months of the original display date. Customer shall remit to the first party an additional 15% of the total contract price for additional expenses in presenting the display on an alternate date. The determination to cancel the show because of inclement or unsafe weather conditions shall rest within the sole discretion of MELROSE PYROTECHNICS, INC. In the event the customer does not choose to reschedule another date or cannot agree to a mutually convenient date, MELROSE PYROTECHNICS, INC. shall be entitled to 40% of the contract price for costs, damages and expenses. If the fireworks exhibition is canceled by CUSTOMER prior to the display, CUSTOMER shall be responsible for and shall pay to MELROSE PYROTECHNICS, INC. on demand, all MELROSE PYROTECHNICS, INC.'s out of pocket expenses incurred in preparation for the show including but not limited to, material purchases, preparation and design costs, deposits, licenses and employee charges. **5% PRODUCT BONUS FROM EACH OF THE FIRST TWO YEARS ADDED TO THE THIRD YEAR AT NO ADDITIONAL CHARGE.**

MELROSE PYROTECHNICS, INC. agrees to furnish all necessary fireworks display materials and personnel for a fireworks display in accordance with the program approved by the parties. Quantities and varieties of products in the program are approximate. After final design, exact specifications will be supplied upon request. MELROSE PYROTECHNICS, INC. enters this agreement contingent upon its ability to secure delivery of product for the display.

It is further agreed and understood that the CUSTOMER is to pay MELROSE PYROTECHNICS, INC. the sum of **\$3,800.00 (Eight thousand and 00/100 dollars) PER DISPLAY DATE**. A service fee of 1 1/2 % per month shall be added, if account is not paid within 30 days of the show date.

MELROSE PYROTECHNICS, INC. will obtain Public Liability and Property Damage and Workers Compensation Insurance.

Customer will provide the following items:

- (a) Sufficient area for the display, including a minimum spectator set back of **350** feet at all points from the discharge area.
- (b) Protection of the display area by roping-off or similar facility.
- (c) Adequate police protection to prevent spectators from entering display area.
- (d) Search of the fallout area at first light following a nighttime display.

It is further agreed and mutually understood that nothing in this contract shall be construed or interpreted to mean a partnership, both parties being hereto responsible for their separate and individual debts and obligations and neither party shall be responsible for any agreements not stipulated in this contract. Customer agrees to pay any and all collection costs, including reasonable attorneys fees and court costs incurred by MELROSE PYROTECHNICS, INC. in the collection or attempted collections of any amount due under this agreement and invoice.

The parties hereto do mutually and severally guarantee terms, conditions, and payments of this contract, these articles to be binding upon the parties, themselves, their heirs, executors, administrators, successors and assigns.

MELROSE PYROTECHNICS, INC.

CUSTOMER

By



By _____

Its duly authorized agent, who represents he/she has full authority to bind the customer.

Date Signed: **March 30, 2011**

Date Signed _____

(PLEASE TYPE OR PRINT)

Les Mayhew, Event Producer

Name _____

P.O. Box 302

Address _____

Kingsbury, IN 46345

(800) 771-7976

Phone _____