

# AGENDA

*Village of Hoffman Estates  
First Meeting of the Month  
Village Board of Trustees*

*1900 Hassell Road  
Hoffman Estates, IL 60169  
847-882-9100*

---

<b>Board Room</b>	<b>August 2, 2010</b>	<b>7:00 p.m.</b>
-------------------	-----------------------	------------------

---

1. **CALL TO ORDER/ROLL CALL**
2. **PLEDGE OF ALLEGIANCE TO THE FLAG**
3. **RECOGNITION OF AUDIENCE**
4. **APPROVAL OF MINUTES – July 6, 2010**
5. **CONSENT AGENDA/OMNIBUS VOTE (Roll Call Vote)**  
*(All items under the Consent Agenda are considered to be routine in nature and will be enacted by one motion. There will be no separate discussion of these items unless a Trustee so requests. In that event, the discussion will be the first item of business after approval of the Consent Agenda).*
  - A. Approval of Agenda
  - B. Approval of the schedule of bills for August 2, 2010: \$4,681,873.98.
  - C. Request Board approval of the Community Development Block Grant (CDBG) Annual Action Plan 2010, for Program Year 5 of the Consolidated Plan 2006-2010.
  - D. Request Board approval of North West Housing Partnership as subrecipient to administer the Community Development Block Grant (CDBG) Single Family Rehabilitation Project and to approve execution of the proposed Subrecipient Agreement.
  - E. Request Board approval of an extension to the interim agreement with Levy Food Service, Chicago, IL, to provide food and beverage service at the Sears Centre Arena through September 2010.
  - F. Request Board approval of Clear Wireless LLC for communication lease agreement amendments to allow the addition of ancillary microwave dish antennas on existing Sprint/Nextel antenna equipment at 4690 Olmstead and 95 Aster.
  - G. Request Board approval of letter of intent from Cook County for IL 59/Shoe Factory Road CMAQ project.
  - H. Request Board approval to enter into a three-year contract for printing, mailing and e-mailing of water bills to Creekside Printing, Inc. at a unit cost of \$0.0949.
  - I. Request Board authorization to extend 2008 contract for 2010 parkway tree planting program to Arthur Weiler Nursery Inc., Zion, IL, in an amount not to exceed \$95,000.

5. **CONSENT AGENDA/OMNIBUS VOTE (Roll Call Vote) - Continued**
- J. Request Board authorization to award contract for State of Illinois joint purchase of 2010-2011 winter road salt to North American Salt Company, Overland Park, KS, at a unit price of \$68.82 per ton in an amount at 120% not to exceed \$619,380.
  - K. Request Board authorization to award contract for Hoffman Boulevard bridge deck crack sealing project to IWS, Inc., Aurora, IL, in an amount not to exceed \$35,290.
  - L. Request Board approval of a temporary Poplar Creek at 59/90 Entertainment District sign on the southwest corner of Hoffman Boulevard and Route 59.

6. **REPORTS**

A. **President's Report**

- 1) Proclamation(s)
  - John Gerc Day (35 Years Service)
  - Ed Dunkelblau (30 Years Service)
  - Craig Griesmaier (30 Years Service)
  - Michael Bosco Day (20 Years Service)
  - Robert DeWelt Day (20 Years Service)
  - Gerard DuMelle Day (20 Years Service)
  - Richard Englund Day (20 Years Service)
  - Patrick Fortunato Day (20 Years Service)
  - James Long Day (20 Years Service)
  - Thomas Mackie Day (20 Years Service)
  - Kevin O'Donnell Day (20 Years Service)
  - Steven Pedersen Day (20 Years Service)
  - Henry Rolowicz Day (20 Years Service)
  - Gordon Eaken Day (15 Years Service)
  - Lawrence Knipp Day (10 Years Service)
  - Michael Lorkowski Day (10 Years Service)
  - Recovery Month
  - Teen Appreciation Month
- 2) ComEd Community Energy Challenge Recognition

B. **Trustee Comments**

C. **Village Manager's Report**

D. **Village Clerk's Report**

E. **Treasurer's Report**

7. **PLAN COMMISSION/ZONING BOARD OF APPEALS REPORTS**

A. **PLAN COMMISSION (Chairman Stanton)**

- 1) Request by St. Alexius Medical Center, 1555 N. Barrington Road, to consider preliminary and final site plan approval for an extension to the west parking deck on the St. Alexius Medical Center campus, with 8 conditions (see packets).

Voting: 9 Ayes, 2 Absent

Motion carried.

7. **PLAN COMMISSION/ZONING BOARD OF APPEALS REPORTS-Continued**

- 2) Request by Kin Properties (owner) and Alexion Properties, LLC (property manager) for approval of a preliminary and final site plan at 5 E. Golf Road, and a site plan amendment for a portion of the property at 35 E. Golf Road, with 11 conditions (see packets).

Voting: 6 Ayes, 2 Nays, 1 Abstain, 2 Absent

Motion carried.

- 3) Request by Heidner Holdings, LLC (owner) for preliminary and final site plan approval to construct a gas station/convenience store and multi-tenant retail building at the southeast corner of Hassell and Barrington Roads, with 15 conditions (see packets).

Voting: 5 Ayes, 2 Nays, 1 Abstain, 3 Absent

Motion carried.

B. **ZONING BOARD OF APPEALS (Chairman Weaver)**

- 1) Request by Heidner Holdings, LLC at the southeast corner of the intersection Hassell and Barrington Roads, for a special use under section 9-8-2-C-1 to permit the construction of an automobile service station with car wash at the southeast corner of the intersection of Hassell and Barrington Roads, with 6 conditions (see packets).

Voting: 5 Ayes, 2 Absent

Motion carried.

*(Immediate authorization to apply for permits is not applicable)*

- 2) Request by Heidner Holdings, LLC at the southeast corner of the intersection Hassell and Barrington Roads, for a 10 foot rear yard setback variation from Section 9-8-2-D-6 to permit a 10 foot setback instead of the minimum required 20 feet, with 1 condition (see packets).

Voting: 5 Ayes, 2 Absent

Motion carried.

*(Immediate authorization to apply for permits is not applicable)*

- 3) Request by John and Laura Zawadzki, 820 Clarendon Street, for a thirteen foot, ten inch (13'10") rear yard setback from Section 9-5-3-D-6 to permit an addition to be six feet, two inches (6'2") from the (northwest) rear property line instead of the minimum required twenty feet (20'), with 2 conditions (see packets).

Voting: 5 Ayes, 2 Absent

Motion carried.

*(Immediate authorization to apply for permits is not applicable)*

7. **PLAN COMMISSION/ZONING BOARD OF APPEALS REPORTS-Continued**

- 4) Request by McShane Corporation and Prairie Pointe Center Development LLC/Prairie Pointe Medical Office Center LLC, for approval of a Master Sign Plan in accordance with Section III.B.6. of the Prairie Stone Sign Requirements for Prairie Pointe (marketing name, Parcel 23) based on the "Gateway to 59/90 Master Sign Plan Package" (dated July 20, 2010) on the property located at the southwest corner of Hoffman Boulevard and Route 59 (including 4885 Hoffman Boulevard in the Prairie Stone Business Park).

Voting: 5 Ayes, 2 Absent

Motion carried.

*(Immediate authorization to apply for permits is not applicable)*

- 5) Request by Sears, Roebuck and Co. (owner) and Insite RE, Inc., as agent for Clear Wireless LLC/Sprint at 3333 Beverly Road, for a special use under Section 9-3-9-A and Section 9-7-5-B-2-h and a fifty two foot (52') height variation from Section 9-3-9-A to permit a maximum of nine (9) cellular antennas and two (2) microwave dish antennas at 112 feet high and associated equipment on the Sears headquarters building at 3333 Beverly Road, with 3 conditions (see packets).

Voting: 5 Ayes, 2 Absent

Motion carried.

*(Immediate authorization to apply for permits is not applicable)*

- 6) Request by Township High School District 211 (owner) and FMHC as agent for Clearwire (lessee), 1100 W. Higgins Road, for a special use under Section 9-3-9-A and Section 9-5-3-C-4 and a thirty four foot (34') height variation from Section 9-3-9-A to permit a maximum of eleven (11) cellular antennas and one (1) microwave dish antenna at ninety four feet (94') high and associated equipment on a light pole on the southwest corner of the football field, with 3 conditions (see packets).

Voting: 5 Ayes, 2 Absent

Motion carried.

*(Immediate authorization to apply for permits is not applicable)*

8. **ADDITIONAL BUSINESS** *(All other new business; those items not recommended by a majority of the Committee)*

- A. Request Board approval of an ordinance granting a variation to premises at 820 Clarendon Street, Hoffman Estates.
- B. Request Board approval of an ordinance approving a Master Sign Plan in accordance with Section III.B.6 of the Prairie Stone Sign Requirements for Prairie Pointe on the property located at the southwest corner of Hoffman Boulevard and Route 59.



8. **ADDITIONAL BUSINESS – Continued**

- C. Request Board approval of an ordinance granting a special use and height variation to Sears, Roebuck and Co. (owner) and Insite RE, Inc. (agent for Clear Wireless LLC/Sprint) at 3333 Beverly Road, Hoffman Estates.
- D. Request Board approval of an ordinance granting a special use and height variation to Township High School District 211 (owner) and FMHC, agent for Clearwire (lessee) (Hoffman Estates High School, 1100 W. Higgins Road).
- E. Request Board approval of an ordinance granting a special use and variation to Heidner Holdings, LLC (2095 Barrington Road).
- F. Request Board approval of an ordinance to declare the former Police Station site at 1200 Gannon Drive as surplus.
- G. Request Board approval of a resolution to authorize the Village President to execute a Purchase and Sale Agreement for the sale of the former Police Station site at 1200 Gannon Drive to Hall Racing LLC.
- H. Request Board approval of a resolution to approve a Cost Recovery Agreement with Hall Enterprises, Inc. for a proposed Audi car dealership at 1200 Gannon Drive.
- I. Request Board approval of Clear Wireless LLC for a communication lease agreement amendment to allow the addition of ancillary microwave dish antennas on existing Sprint/Nextel antenna equipment at 3990 Huntington Boulevard.
- J. Request Board approval of a professional services contract with The Overture Group, Schaumburg, IL, on an hourly basis, in an amount not to exceed \$20,000 for recruitment of a Sears Centre Arena Owner's Representative.

9. **ADJOURNMENT – *Executive Session – Land Acquisition (5 ILCS 120/2-(c)-(6))***

**MEETING: HOFFMAN ESTATES VILLAGE BOARD**  
**DATE: JULY 6, 2010**  
**PLACE: COUNCIL CHAMBERS**  
**MUNICIPAL BUILDING COMPLEX**  
**1900 HASSELL ROAD**  
**HOFFMAN ESTATES, ILLINOIS**

**1. CALL TO ORDER:**

Village President William McLeod called the meeting to order at 7:00 p.m. The Village Clerk called the roll. Trustees present: Gary Pilafas, Karen Mills, Cary Collins, Ray Kincaid, Jackie Green, Anna Newell.

A quorum was present.

**ADMINISTRATIVE PERSONNEL PRESENT:**

J. Norris, Village Manager  
D. O'Malley, Deputy Village Manager  
A. Janura, Corporation Counsel  
B. Gorvett, Fire Chief  
C. Herdegen, Police Chief  
M. Koplín, Asst. Village Manager  
M. DuCharme, Finance Director  
D. Schultz, Community Relations Coordinator  
K. Hari, Director Public Works  
A. Garner, H&HS Director  
B. Anderson, Cable TV Coordinator  
P. Seger, HRM Director  
B. Suhajda, General Government Intern  
P. Gugliotta, Director of Planning  
A. Monroe, Assistant Planner

**2. PLEDGE OF ALLEGIANCE TO THE FLAG:**

The Pledge was led by Trustee Pilafas.

**3. RECOGNITION OF AUDIENCE:**

No one wished to be recognized.

**4. APPROVAL OF MINUTES:**

Motion by Trustee Green, seconded by Trustee Pilafas, to approve Item 4.

Approval of Minutes  
Minutes from June 21, 2010

Roll Call:  
Aye: Pilafas, Mills, Collins, Kincaid, Green, Newell

Nay:  
Mayor McLeod voted aye.

Motion carried.

**5. CONSENT AGENDA/OMNIBUS VOTE:**

Motion by Trustee Mills, seconded by Trustee Green, to approve Item 5.A.

**5.A. Approval of Agenda**

Roll Call:

Aye: Pilafas, Mills, Collins, Kincaid, Green, Newell  
Nay:  
Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Green, to approve Item 5.B.

**5.B. Approval of the schedule of bills for July 6, 2010: \$3,454,504.45.**

Roll Call:

Aye: Pilafas, Mills, Collins, Kincaid, Green, Newell  
Nay:  
Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Green, to approve Item 5.C.

**5.C. Request Board approval of Ordinance No. 4185-2010 granting a special use to 675 West golf Road LLC (owner) and The Hertz Corporation (tenant), 685 W. Golf Road, Hoffman Estates.**

Roll Call:

Aye: Pilafas, Mills, Collins, Kincaid, Green, Newell  
Nay:  
Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Green, to approve Item 5.D.

**5.D. Request Board approval of Ordinance No. 4186-2010 granting a special use to Handelsen Productemaatschappij Deshouw BV (owner) and Advance Preschool (tenant) in the Barrington Square Mall, 2320 W. Higgins Road, Hoffman Estates.**

Roll Call:

Aye: Pilafas, Mills, Collins, Kincaid, Green, Newell  
Nay:  
Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Pilafas, seconded by Trustee Mills, to approve Item 5.E.

**5.E. Request Board approval of Ordinance No. 4187-2010 amending Section 5-5-7, Sworn Personnel, Hoffman Estates Police Department, of the Hoffman Estates Municipal Code.**

Roll Call:

Aye: Pilafas, Mills, Kincaid, Green, Newell

Nay: Collins

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Green, to approve Item 5.F.

**Discussion**

Trustee Collins asked if the reduction in personnel, will we replace the lieutenants and sergeants with police officers. Chief Herdegen replied no, that he would monitor the situation.

**5.F.** Request Board approval of Ordinance No. 4188-2010 amending Article 4-6, Capital Improvements Board, of the Hoffman Estates Municipal Code.

Roll Call:

Aye: Pilafas, Mills, Collins, Kincaid, Green, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Green, to approve Item 5.G.

**5.G.** Request Board approval of a contribution to the natural Gas Model Franchise Agreement Project.

Roll Call:

Aye: Pilafas, Mills, Collins, Kincaid, Green, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Green, to approve Item 5.H.

**5.H.** Request Board authorization to award contract for the purchase of LED Village Hall parking lot fixtures to Electrical Resource Management, Wheaton, IL, in an amount not to exceed \$43,913.

Roll Call:

Aye: Pilafas, Mills, Collins, Kincaid, Green, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Green, to approve Item 5.I.

**5.I.** Request Board authorization to award contract for Engineering Services for the Jones/Higgins drainage analysis to Henderson and Bodwell, Elmhurst, IL, in an amount not to exceed \$14,000.

Roll Call:

Aye: Pilafas, Mills, Collins, Kincaid, Green, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Green, to approve Item 5.J.

**5.J.** Request Board authorization to declare \$447,647.31 as surplus funds in the Barrington-Higgins TIF Tax Allocation Fund and direct Treasurer to remit said funds to the Cook county Treasurer for distribution.

Roll Call:

Aye: Pilafas, Mills, Collins, Kincaid, Green, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Green, to approve Item 5.K.

**5.K.** Request Board authorization to award contract to lease a copy-print-scan-fax work center for the Sears Centre Arena, and refinance the current lease on the Toshiba.

Roll Call:

Aye: Pilafas, Mills, Collins, Kincaid, Green, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Green, to approve Item 5.L.

**5.L.** Request Board authorization to:

- 1) waive formal bidding; and
- 2) award contract for the ongoing annual maintenance of VoIP phone system and related hardware and software to Sentinel Technologies, Inc. in an amount not to exceed \$38,555.

Roll Call:

Aye: Pilafas, Mills, Collins, Kincaid, Green, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

## **6. REPORTS:**

### **6.A. President's Report**

Bob Podgorski, Environmental Commission, presented Joe Pompa, Carpenter's Union Local 839, with an award recognizing his and the Union's involvement with many Village activities.

- 1) Proclamation(s)

Trustee Green read the following proclamation:

Motion by Trustee Pilafas, seconded by Trustee Newell, to concur with the proclamation proclaiming Saturday, July 17, 2010 as David Musiala Day. Voice vote taken. All ayes. Motion carried.

Trustee Pilafas read the following proclamation:

Motion by Trustee Green, seconded by Trustee Pilafas, to concur with the proclamation proclaiming Saturday, July 24, 2010 as John Cumpek Day.

Trustee Newell read the following proclamation:

Motion by Trustee Kincaid, seconded by Trustee Mills, to concur with the proclamation proclaiming Saturday, July 17, 2010 as Vincent Pesavento Day.

Trustee Kincaid read the following proclamation:

Motion by Trustee Collins, seconded by Trustee Pilafas, to concur with the proclamation proclaiming Saturday, July, 17, 2010 as Haileng Xiao Day.

Trustee Mills read the following proclamation:

Motion by Trustee Collins, seconded by Trustee Newell, to concur with the proclamation proclaiming Friday, July 9, 2010 as Rebecca Suhajda Day.

Motion by Trustee Pilafas, seconded by Trustee Newell, to accept the appointment of Carol Murray to the Celebrations Commission. Voice vote taken. All ayes. Motion carried.

Mayor McLeod thanked the 4<sup>th</sup> of July Commission, read an email he received complimenting the Village on the festival, he stated that the Village received the Erwin A. Bock and Gold Community Awards and thanked everyone who help us to get these awards, he stated that he attended the 4<sup>th</sup> of July parade, his son Kelly got married and attended the Boy Scouts 100 Anniversary Pinewood Derby.

#### **6.B. Trustee Comments**

Trustee Collins had no comments.

Trustee Mills thanked the 4<sup>th</sup> of July Commission for the festival and the Arts & Craft Show, wished her best to Becky, and commented that power was out in an area in the Village.

Trustee Kincaid stated that he attended a author discussion at the Heartland Institute, thanked the Arts Commission for the Summer Concert Series, that he attended the 4<sup>th</sup> of July festival and parade and said that people leaving the Sears Centre Arena have a difficult time finding Higgins and request better signage.

Trustee Green stated that she attended the NWMC Dinner, the 4<sup>th</sup> of July craft show and festival.

Trustee Newell stated that she attended the NWMC Dinner, the Summer Concert Series, block parties the arts & craft show, Sunderlage Farm, the parade and thanked everyone involved with the 4<sup>th</sup> of July.

Trustee Pilafas congratulated the Mayor's son and wife and Doug and Shadia Schultz on their weddings, congratulated Ashley Monroe for her part in the awards that the Village received, he stated that he attended the Sears Ad Hoc Committee meeting, the 4<sup>th</sup> of July festivities and bike auction, the Village bike ride and announced that the Veteran's Memorial has been moved to its new location at the new Police Station.

#### **6.C. Village Manager's Report**

Mr. Norris stated that Mori Seki and BIG Kaiser left their parking lots open for the public to view the fireworks

#### **6.D. Village Clerk's Report**

The Village Clerk reported that 53 passports were processed during the month of June and that during the 4<sup>th</sup> of July parade the Celebrations Commission collected \$440 and 6 recycling bins of food for the local food pantries.

#### **6.E. Committee Reports**

##### **General Administration & Personnel Committee**

Trustee Collins stated that they would be meeting to have a discussion regarding the Legislative Update, request acceptance of the Cable TV and Human Resources Management Monthly Reports.

##### **Transportation and Road Improvement Committee**

Trustee Kincaid stated that they would be meeting to request approval of intent from Cook County for the IL 59/Shoe Factory Road CMAQ project and request acceptance of Transportation Division monthly Report.

##### **Planning, Building and Zoning Committee**

Trustee Pilafas stated that they would be meeting to request approval of the Community Development Block Grant (CDBG) Annual Action Plan 2010, for Program Year 5 of the Consolidated Plan 2006-2010; request approval of North West Housing Partnership as subrecipient to administer the Community Development Block Grant (CDBG) Single-Family Rehabilitation Project and to approve execution of the proposal Subrecipient Agreement; request approval of Clear Wireless LLC for communications lease agreement amendments for three separate sites (4690 Olmstead, 95 Aster, 3990 Huntington) to allow the addition of ancillary microwave dish antennas on existing Sprint/Nextel antenna equipment; discuss the recommendations from the Ad Hoc Sears Centre Advisory committee to make that committee a standing committee; request acceptance of the Department of Development Services monthly reports for the Planning Division, Code Enforcement Division and Economic Development and Tourism. Items in review, request approval to expand the number of members on the Economic Development Commission; discussion regarding notification for residential nonconforming driveways; and discussion regarding the functions of the Plan Commission and Zoning Board of Appeals.

##### **Public Works & Utilities**

Trustee Green stated that they would be meeting to request authorization to extend 2008 contract for 2010 Parkway Tree Planting Program to Arthur Weiler Nursery Inc., in an amount not to exceed \$95,000; request authorization to award contract for State of Illinois joint purchase of 2010-2011 winter road salt to North American Salt Company, Overland Park, KS, at a unit price of \$68.82 per ton in an amount at 120% not to exceed \$619,380; request acceptance of the Department of Public Works and Department of Development Services Monthly Report for the Transportation and Engineering Division Monthly Reports.

##### **Public Health & Safety**

Trustee Newell stated that they would be meeting to request acceptance of the Police Department, Health & Human Services, Emergency Management Coordinator and Fire Department monthly Reports.

##### **Finance**

Trustee Mills stated that they would be meeting to review the Capital Improvements Program Quarterly status update for the 2<sup>nd</sup> quarter of 2010; request acceptance of the Finance Department and Information Systems Department Monthly Reports.

**7. PLAN COMMISSION/ZONING BOARD OF APPEALS:**

**A. Plan Commission (Chairman Stanton)**

Motion by Trustee Collins, seconded by Trustee Pilafas, to concur with the Plan Commission and approve the petitioners' request.

**7.A.1.** Request by Robin Realty & Management (owner) and Underground Autosports, Inc. (lessee) for a site plan amendment to allow a custom car repair and parts installation facility located within the rear of Golf Center Shopping Center building, subject to the following conditions:

1. No outdoor storage of materials is granted with this approval. Should the petitioner wish to utilize outdoor storage in the future, they shall be required to secure Village approval, which may include site plan amendment review.
2. All vehicles parked on the site being worked on by the petitioner's business shall be properly licensed and operational and not in any state of disassembly and shall be parked in legally striped parking spaces.

**Discussion**

Trustee Kincaid asked if the Fire Department looked into the fire wall. Chairman Stanton replied that yes they did.

**Roll Call:**

Aye: Pilafas, Mills, Collins, Green, Newell

Nay: Kincaid

Mayor McLeod voted aye.

**Motion carried.**

**B. Zoning Board of Appeals (Chairman Weaver)**

Motion by Trustee Pilafas, seconded by Trustee Green, to concur with the Zoning Board of Appeals and approve the petitioners' request with immediate authorization to apply for permits.

**7.B.1.** Request by Robin Realty & Management Company, as agent for Golf Rose Shopping Center and Underground Autosports, Inc. (Applicant), for a special use under Section 9-8-2-C-1 of the Zoning Code to permit the operation of a custom car repair and parts installation facility on the property located at 19 Golf Center (Golf Center Shopping Center). The following conditions shall apply.

1. No outdoor storage of materials is granted with this approval. Should the petitioner wish to utilize outdoor storage in the future, they shall be required to secure Village approval, which may include site plan amendment review.
2. All vehicles parked on the site being serviced by the petitioner's business shall be properly licensed and operational and not in any state of disassembly and shall be parked in legally striped parking spaces.
3. As proposed by the petitioner, all customer parking shall occur in the main parking lot and no signs shall be installed directing customers to the rear entrances. In accordance with the zoning ordinance, no signs shall be installed on the rear of the building.

**Roll Call:**

Aye: Pilafas, Mills, Collins, Green, Newell

Nay: Kincaid

Mayor McLeod voted aye.

**Motion carried.**



Motion by Trustee Mills, seconded by Trustee Pilafas, to concur with the Zoning Board of Appeals and approve the petitioners' request with immediate authorization to apply for permits.

**7.B.2.** Request by 675 West Golf Road LLC (Owner), for approval of a Master Sign Plan in accordance with Section 9-3-8-M-12 of the Zoning Code for the property located at 675-695 West Golf Road based on the "675-695 West Golf Road Master Sign Plan Package" (dated June 22, 2010) subject to the condition that the Master Sign Plan be revised to include the following:

1. The "cap" of the sign shall be a minimum of 18 inches high or otherwise the panel area and cap shall be proportional to the sign.
2. The base of the tenant sign panel area shall include a decorative base to frame the bottom of the sign panels. This base shall extend across the width of the sign and shall be a minimum 12 inches in height.
3. The maximum height of the ground sign shall be 26 feet including the cap.
4. The material of the sign base shall be masonry.

**Discussion**

Trustee Mills stated that the sign seemed to keep changing at the Committee level and asked if what is represented now really what will be done? Chairman Weaver replied yes.

Roll Call:

Aye: Pilafas, Mills, Collins, Kincaid, Green, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Pilafas, seconded by Trustee Green, to concur with the Zoning Board of Appeals and approve the petitioners' request with immediate authorization to apply for permits.

**7.B.3.** Request by Jagmohan Jayara d.b.a. India House LLC, for approval of a Master Sign Plan in accordance with Section 9-3-8-M-12 of the Zoning Code for the property located at 701-725 West Golf Road based on the "India House Plaza Master Sign Plan Package" (dated May 2010) and revised by the Zoning Board of Appeals at their meeting on June 22, 2010 subject to the condition that the Master Sign Plan be revised to include the following:

1. The maximum height of the ground sign shall be 25 feet.

**Discussion**

Trustee Green asked why are they changing the name. Steve Cannella, petitioners representative, replied that the new owner is changing the branding.

Roll Call:

Aye: Pilafas, Mills, Collins, Kincaid, Green, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Pilafas, seconded by Trustee Green, to concur with the Zoning Board of Appeals and approve the petitioners' request with immediate authorization to apply for permits..

**8. ADDITIONAL BUSINESS:**

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve by omnibus vote Items 8.A. through C. Voice vote taken. All ayes. Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 8.A.

**8.A.** Request Board approval of Ordinance No. 4189-2010 granting a special use to Robin Realty & Management Company, agent for Golf Rose Shopping Center and Underground Sports, Inc. (applicant), 19 Golf Center, Hoffman Estates.

Roll Call:

Aye: Pilafas, Mills, Collins, Kincaid, Green, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 8.B.

**8.B.** Request Board approval of Ordinance No. 4190-2010 approving a Master Sign Plan under Section 9-3-8-M-12 of the Hoffman Estates Municipal Code to provide for signs for India House Plaza, 701-725 W. Golf Road, Hoffman Estates.

Roll Call:

Aye: Pilafas, Mills, Collins, Kincaid, Green, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 8.C.

**8.C.** Request Board approval of Ordinance No. 4191-2010 approving a Master Sign Plan under Section 9-3-8-M-12 of the Hoffman Estates Municipal Code to provide for signs at 675-695 W. Golf Road, Hoffman Estates.

Roll Call:

Aye: Pilafas, Mills, Collins, Kincaid, Green, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Pilafas, seconded by Trustee Mills, to approve Item 8.D.

**8.D.** Request Board approval to appoint Mark Koplín as interim Owner's Representative to the Sears Centre Arena for the Village.

#### Discussion

Trustee Collins stated that he feels we should have someone with more experience in this position.

Roll Call:

Aye: Pilafas, Mills, Kincaid, Green, Newell

Nay: Collins

Mayor McLeod voted aye.

Motion carried.

Mr. Norris reported that the electrical power-outage that Trustee Mills brought up was due to an underground cable fault.

**9. ADJOURNMENT:**

Motion by Trustee Pilafas, seconded by Trustee Green, to adjourn the meeting into Executive Session to discuss Land Acquisition (5 ILCS 120/2-(c)-(6). Time 8:01 p.m.

**Roll Call:**

Aye: Pilafas, Mills, Kincaid, Green, Newell

Nay: Collins

Mayor McLeod voted aye.

**Motion carried.**

Motion by Trustee Mills, seconded by Trustee Pilafas, to adjourn the meeting. Time 8:56 p.m. Voice vote taken. All ayes. **Motion carried.**

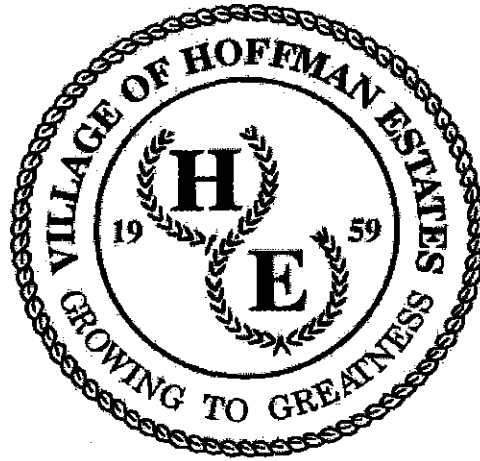
---

Bev Romanoff  
Village Clerk

Date Approved

The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.

**CONSENT AGENDA/  
OMNIBUS VOTE**



## BILL LIST SUMMARY

BILL LIST AS OF 08/02/2010	\$	2,333,370.27
MANUAL CHECK REGISTER	\$	40,778.92
PAYROLL AS OF 07/16/2010	\$	1,140,521.54
PAYROLL AS OF 07/30/2010	\$	1,087,698.08
CREDIT CARD PURCHASES APRIL 2010	\$	43,838.88
CREDIT CARD PURCHASES MAY 2010	\$	<u>35,666.29</u>
<b>TOTAL</b>	<b>\$</b>	<b>4,681,873.98</b>

VILLAGE OF HOFFMAN ESTATES

8/3/2010

ACCOUNT		VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
01	0301	NORTH AMERICAN PRESS INC.	10,000 VILLAGE OF HOFFMAN	929.95
01	0302	BOB ROHRMAN'S SCHAUMBURG FORD	REPAIR PARTS	15.52
01	0302	BOB ROHRMAN'S SCHAUMBURG FORD	REPAIR PARTS	62.88
01	0302	BRETT EQUIPMENT CORP.	SUPPLY PARTS	88.13
01	0302	BRETT EQUIPMENT CORP.	REPAIR PARTS	56.19
01	0302	CARQUEST AUTO PARTS	STOCK REPAIR PARTS	10.41
01	0302	CARQUEST AUTO PARTS	SUPPLY PARTS	166.99
01	0302	CARQUEST AUTO PARTS	SUPPLY PARTS	8.68
01	0302	CARQUEST AUTO PARTS	SUPPLY PARTS	34.34
01	0302	CARQUEST AUTO PARTS	STOCK REPAIR PARTS	74.64
01	0302	CARQUEST AUTO PARTS	STOCK REPAIR PARTS	20.56
01	0302	CATCHING FLUIDPOWER INC	VEHICLE REPAIR PARTS	156.60
01	0302	COMMERCIAL TIRE SERVICE	STOCK REPAIR PARTS	882.00
01	0302	FIRESTONE TRUCK & SERVICE CENTER	STOCK REPAIR PARTS	475.00
01	0302	FIRESTONE TRUCK & SERVICE CENTER	VEHICLE TIRES	910.00
01	0302	LEACH ENTERPRISES INC	STOCK REPAIR PARTS	50.27
01	0302	LEACH ENTERPRISES INC	STOCK REPAIR PARTS	72.40
01	0302	LEACH ENTERPRISES INC	STOCK REPAIR PARTS	110.57
01	0302	LEACH ENTERPRISES INC	REPAIR PARTS	4.57
01	0302	LEACH ENTERPRISES INC	STOCK REPAIR PARTS	21.04
01	0302	LEACH ENTERPRISES INC	STOCK REPAIR PARTS	190.36
01	0302	LEE AUTO SCHAUMBURG	REPAIR PARTS	61.30
01	0302	MIDWAY TRUCK PARTS INC	STOCK REPAIR PARTS	50.27
01	0302	SPRING HILL FORD	STOCK REPAIR PARTS	425.92
01	0302	SPRING HILL FORD	STOCK REPAIR PARTS	185.43
01	0303	UNITED BUSINESS SOLUTIONS	CC COPIER FEES	11.24
01	0303	UNITED BUSINESS SOLUTIONS	CC COPIER CHARGES	333.58
01	0303	UNITED BUSINESS SOLUTIONS	BW COPIER CHARGES	226.18
01	1206	JOHN FITZGERALD	REFUND - MEDICARE TAX	9.27
01	1222	AFLAC	DED:1027 AFLAC-INS	3,697.10
01	1222	AFLAC	DED:1027 AFLAC-INS	3,697.10
01	1223	AFLAC	DED:2027 AFL-AF TAX	718.13
01	1223	AFLAC	DED:2027 AFL-AF TAX	718.13
01	1233	AMERICAN CANCER SOCIETY	DED:2037 AM CANCER	122.13
01	1233	AMERICAN RED CROSS	DED:2998 RED CROSS	34.74
01	1233	NORTHWEST CHAPLAINCY	DED:2997 NCCS	10.50
01	1233	NORTHWEST SUBURBAN UNITED WAY	DED:2999 UNITED WAY	30.88
01	1233	PARADISE CHRISTIAN YOUTH CAMP	DED:2994 UNITED WAY	10.00
01	1234	CENTIER BANK	DED:2051 BOND	1,334.04
01	1234	CENTIER BANK	DED:2051 BOND	1,359.04
01	1445	NEXT GENERATION SCREEN PRINTING	EMBROIDERED UNIFORMS	62.50
01	1445	PEACHTREE BUSINESS PRODUCTS	SIGNS	1,207.00
01	1445	PROFORMA CREATIVE IMPRESSIONS	POLICE UNIFORMS	241.65
01	1450	JAY EVANS	C-PAL	1,022.97
01	1457.1	PACE SUBURBAN BUS SERVICE	MAY RTE 557 BUS SERVICE	4,072.22
01	1458	KUSTOM SIGNALS INC	SIGNAL MAINTENANCE	155.28
<b>TOTAL GENERAL-ASSETS &amp; LIABILITIES</b>				<b>\$24,137.70</b>
01000011	3206	BURAK ERGIN	STICKER REFUND	65.00
01000013	3405	DARLENE ROOD	PARAMEDIC REFUND	7.82
01000013	3405	ILLINOIS TOLLWAY	RFD OVER PYMT KOSSELL 8/5	500.00
01000013	3405	ILLINOIS TOLLWAY	REFERENCE #E 19941	439.09

VILLAGE OF HOFFMAN ESTATES

8/3/2010

ACCOU NT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
01000013 3405	SALLIE CHAPMAN	PARAMEDIC REFUND	87.82
01000013 3453	JAMES HU	ENERGY REBATE	50.00
<b>TOTAL GENERAL-REVENUE ACCOUNTS</b>			<b>\$1,149.73</b>
01101122 4301	ILLINOIS TOLLWAY ACCT	TOLLS	21.25
01101123 4414	ENVIRONMENTAL FUTURES, INC.	WATER COOLER	120.00
01101124 4504	METROPOLITAN MAYOR'S CAUCUS	ANNUAL DUES	1,770.06
<b>TOTAL LEGISLATIVE</b>			<b>\$1,911.31</b>
01101222 4301	ILLINOIS TOLLWAY ACCT	TOLLS	27.25
01101222 4303	ICMA	STUDENT MEMBERSHIP	25.00
01101222 4303	ILCMA	STUDENT MEMBERSHIP	30.00
01101223 4402	OFFICE DEPOT	OFFICE SUPPLIES	52.81
01101223 4402	OFFICE DEPOT	OFFICE SUPPLIES	11.54
01101223 4402	OFFICE DEPOT	OFFICE SUPPLIES	4.71
01101224 4542	LANGUAGE LINE SERVICES	LANGUAGE SERVICES	51.86
<b>TOTAL ADMINISTRATIVE</b>			<b>\$203.17</b>
01101323 4404	MUNICIPAL CODE CORP.	SERVICES	791.93
01101323 4404	MUNICIPAL CODE CORP.	FORMS	791.93
01101324 4547	WEST PAYMENT CENTER/ THOMSON	INFORMATION CHARGES	646.25
01101324 4567	ARNSTEIN & LEHR LLP	PROFESSIONAL SERVICES	13,333.33
01101324 4567	ARNSTEIN & LEHR LLP	PROFESSIONAL SERVICES	237.50
01101324 4567	ARNSTEIN & LEHR LLP	PROFESSIONAL SERVICES	541.10
01101324 4567	ARNSTEIN & LEHR LLP	PROFESSIONAL SERVICES	375.00
01101324 4567	FRANCZEK RADELET & ROSE	PROFESSIONAL SERVICES	3,676.50
01101324 4567	KEVIN PATRICK WENDORF	PROFESSIONAL SERVICES	1,600.00
01101324 4567	SEYFARTH, SHAW ATTORNEYS LLP	LEGAL SERVICES	187.50
<b>TOTAL LEGAL</b>			<b>\$22,181.04</b>
01101423 4401	NEXSORT SERVICES INC	POSTAGE METERS	13.95
01101423 4401	THE UPS STORE	SHIPPING	67.42
01101423 4401	THE UPS STORE	SHIPPING	11.46
01101423 4402	OFFICE DEPOT	OFFICE SUPPLIES	50.38
01101423 4402	OFFICE DEPOT	OFFICE SUPPLIES	39.72
01101423 4402	OFFICE DEPOT	OFFICE SUPPLIES	19.20
01101423 4402	OFFICE DEPOT	OFFICE SUPPLIES	208.80
01101423 4402	OFFICE DEPOT	OFFICE SUPPLIES	6.81
01101423 4402	OFFICE DEPOT	OFFICE SUPPLIES	13.48
01101423 4404	OFFICE DEPOT	OFFICE SUPPLIES	3.28
01101424 4510	NEOPOST INC.	STANDARD MAINT	997.00
01101424 4510	NEOPOST INC.	STAND MAINTENANCE	770.98
01101424 4510	OCE IMAGISTICS INC	MAINT. SERVICE	126.35
01101424 4542	TREASURY MANAGEMENT SERVICES	TREASURY MGMT	47.00
<b>TOTAL FINANCE</b>			<b>\$2,375.83</b>
01101523 4402	OFFICE DEPOT	OFFICE SUPPLIES	129.32
01101523 4402	OFFICE DEPOT	OFFICE SUPPLIES	16.54
01101523 4403	CLASS PRINTING	VENDING LABELS	157.00
01101523 4403	THE IDM GROUP	SCAN TO PRINT	26.38
01101523 4404	PADDOCK PUBLICATIONS	PUBLICATIONS	43.00
<b>TOTAL VILLAGE CLERK</b>			<b>\$372.24</b>
01101623 4405	HOSPICE FOUND. OF NORTHEASTERN IL	ANNIV DONATION	20.00
01101623 4405	NATIONAL BREAST CANCER FOUNDATION	GRIESMAIER ANNV DONATION	200.00

VILLAGE OF HOFFMAN ESTATES

8/3/2010

ACCOUNT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
01101623 4405	PETERSON'S BAKERY	ANNIVESARY CAKE	45.00
01101623 4414	OFFICE DEPOT	OFFICE SUPPLIES	75.69
01101623 4414	OFFICE DEPOT	OFFICE SUPPLIES	21.06
01101623 4414	OFFICE DEPOT	OFFICE SUPPLIES	87.93
01101624 4579	ALEXIAN BROTHERS CORPORATE HEALTH	DRUG SCREENING	48.00
01101624 4579	ALEXIAN BROTHERS CORPORATE HEALTH	DRUG SCREENING	288.00
01101624 4579	ALEXIAN BROTHERS CORPORATE HEALTH	DRUG SCREENING	48.00
01101624 4580	EMPLOYMENT SCREENING ALLIANCE GROUP	EMP VERIFICATION	60.00
01101624 4580	EMPLOYMENT SCREENING ALLIANCE GROUP	EMPLOYEE VERIFICATIONS	20.00
<b>TOTAL HUMAN RESOURCES</b>			<b>\$913.68</b>
01102523 4403	HAGG PRESS INC	CITIZENS NEWS JULY 2010	2,702.70
01102524 4507	MAGIC MOMENTS BY MONA MORRISON	TARTAN DAY PARADES	500.00
<b>TOTAL COMMUNICATIONS</b>			<b>\$3,202.70</b>
01106222 4301	ILLINOIS TOLLWAY ACCT	TOLLS	1.06
01106224 4510	ROSCOR	TIGHTROPE CBL-CABLECAST-B	750.00
01106224 4510	ROSCOR	TIGHTROPE CBL-SX4-SAS	750.00
<b>TOTAL CABLE TELEVISION</b>			<b>\$1,501.06</b>
01107122 4301	ILLINOIS TOLLWAY ACCT	TOLLS	49.59
01107124 4510	FULTON TECHNOLOGIES	LABOR & MATERIAL	737.50
<b>TOTAL EMERGENCY OPERATIONS</b>			<b>\$787.09</b>
<b>GENERAL GOVERNMENT</b>			<b>\$33,448.12</b>
01201223 4402	OFFICE DEPOT	OFFICE SUPPLIES	24.90
01201223 4402	OFFICE DEPOT	OFFICE SUPPLIES	38.64
01201223 4402	UNISOURCE - CHICAGO	COPIER PAPER	194.75
01201223 4417	MCDONALDS BEAR ESTATES #1, LLC	PRISONER MEALS	324.44
01201223 4422	CAMIC JOHNSON LTD	HEARING OFFICER	315.00
01201224 4507	CHERYL AXLEY	HEARING OFFICER	1,000.00
01201224 4507	IN TIME SOLUTIONS	SOFTWARE SUPPORT 1 YEAR	436.00
01201224 4507	SECRETARY OF STATE	LICENSE SUSPENSIONS	50.00
01201224 4507	SECRETARY OF STATE	LICENSE SUSPENSIONS	10.00
<b>TOTAL ADMINISTRATIVE</b>			<b>\$2,393.73</b>
01201924 4591	AT & T	490-9398	40.35
<b>TOTAL PROBLEM ORIENTED POLICING</b>			<b>\$40.35</b>
01202124 4510	CHICAGO COMMUNICATIONS,LLC	SUPPLY PARTS	1,509.50
01202124 4510	CURRENT TECHNOLOGIES CORP	TECHNICIAN & REPAIRS	538.25
01202124 4510	LUND INDUSTRIES	FLASHLIGHT/CHARGER	79.50
01202124 4510	R A ADAMS ENTERPRISES INC	SAFETY STICKERS	75.00
01202124 4542	CURRENT TECHNOLOGIES CORP	TECHNICIAN & REPAIRS	2,782.99
<b>TOTAL PATROL &amp; RESPONSE</b>			<b>\$4,985.24</b>
01202223 4414	PURCHASE ADVANTAGE CARD	WATER POLICE	17.94
<b>TOTAL TRAFFIC CONTROL</b>			<b>\$17.94</b>
01202323 4414	OFFICE DEPOT	OFFICE SUPPLIES	13.49
01202324 4509	DES PLAINES OFFICE EQUIPMENT	COPY SERVICES	75.66
01202324 4542	CERTIFION CORP.	POLICE ONLINE SERVICES	75.00
01202324 4542	LEXISNEXIS	REPORT SERVICES	69.80
<b>TOTAL INVESTIGATIONS</b>			<b>\$233.95</b>
01202524 4542	NORTHWEST CENTRAL DISPATCH SYSTEM	AUG MEMBER ASSESSMENT	46,222.28



VILLAGE OF HOFFMAN ESTATES

8/3/2010

ACCOU NT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
<b>TOTAL COMMUNICATIONS</b>			<b>\$46,222.28</b>
01202623 4414	PETCO ANIMAL SUPPLIES, INC.	CANINE SUPPLIES	83.58
<b>TOTAL CANINE</b>			<b>\$83.58</b>
01202924 4508	ADOPT-A-PET	ANIMAL RESCUE	23.00
01202924 4508	ALMOST HOME FOUNDATION	ANIMAL RESCUE	23.00
01202924 4508	GOLF ROSE BOARDING KENNEL	ANIMAL BOARDING	1,322.50
01202924 4508	STAAR	ANIMAL RESCUE	92.00
<b>TOTAL ADMINISTRATIVE SERVICES</b>			<b>\$1,460.50</b>
<b>POLICE</b>			<b>\$55,437.57</b>
01301223 4402	OFFICE DEPOT	OFFICE SUPPLIES	15.40
01301223 4402	OFFICE DEPOT	OFFICE SUPPLIES	4.82
01301223 4402	OFFICE DEPOT	OFFICE SUPPLIES	83.03
01301223 4402	OFFICE DEPOT	OFFICE SUPPLIES	65.24
<b>TOTAL ADMINISTRATIVE</b>			<b>\$168.49</b>
01303122 4303.17	PADI	INSTRUCTOR DUES PADI	400.00
01303122 4304	TODAYS UNIFORMS	FIRE DEPT UNIFORMS	113.96
01303122 4304	TODAYS UNIFORMS	FIRE DEPT UNIFORMS	151.92
01303122 4304	TODAYS UNIFORMS	FIRE DEPT UNIFORMS	56.98
01303122 4304	TODAYS UNIFORMS	FIRE DEPT UNIFORMS	113.96
01303122 4304	TODAYS UNIFORMS	FIRE DEPT UNIFORMS	56.98
01303122 4304	TODAYS UNIFORMS	FIRE DEPT UNIFORMS	170.94
01303122 4304	TODAYS UNIFORMS	FIRE DEPT UNIFORMS	189.90
01303122 4304.16	CAD TECH	LOGOS ON CLOTHING	33.00
01303122 4304.16	MUNICIPAL EMERGENCY SERVICES	PROTECTIVE CLOTHING	300.00
01303122 4304.16	MUNICIPAL EMERGENCY SERVICES	PROTECTIVE CLOTHING	633.12
01303122 4304.16	MUNICIPAL EMERGENCY SERVICES	STRUCTURAL BOOT	946.09
01303122 4304.16	MUNICIPAL EMERGENCY SERVICES	SAFETY GLASSES	226.34
01303122 4304.16	SAF-T-GARD	SAFETY SUPPLIES	756.94
01303123 4404.17	PADI	INSTRUCTOR DUES PADI	12.00
01303124 4510.12	CHICAGO COMMUNICATIONS,LLC	SUPPLY PARTS	402.06
01303124 4510.14	SENSIT TECHNOLOGIES	VARIOUS SUPPLIES	316.29
01303124 4515.10	AR SUPPLY	ONE GALLON "DASHGARD"	163.02
01303124 4515.10	AR SUPPLY	5 GALLON "WASH AND WAX"	376.00
01303124 4542	DES PLAINES OFFICE EQUIPMENT	COPIER SERVICES	14.30
01303124 4542.12	CHICAGO COMMUNICATIONS,LLC	MAINTENANCE	540.45
01303124 4579	ALEXIAN BROTHERS CORPORATE HEALTH	PHYSICAL J. MARTINO	206.00
01303124 4579	ALEXIAN BROTHERS CORPORATE HEALTH	PHYSICAL P. FORTUNATO	206.00
01303124 4579	ALEXIAN BROTHERS CORPORATE HEALTH	PHYSICAL R. SLAGLE	39.00
01303124 4579	ALEXIAN BROTHERS CORPORATE HEALTH	PHYSICAL K. SANCHEZ	39.00
<b>TOTAL SUPPRESSION</b>			<b>\$6,464.25</b>
01303222 4301	ILLINOIS TOLLWAY ACCT	TOLLS	3.19
01303222 4301	INFECTION CONTROL EMERGING CONCEPTS	DEV CONTROL PLAN	700.00
01303222 4301	INFECTION CONTROL EMERGING CONCEPTS	FORMS - CD	789.00
01303223 4419	AIRGAS	MEDICAL SUPPLIES	135.90
01303223 4419	EMERGENCY MEDICAL PRODUCTS	SUPPLY PARTS	385.29
01303223 4419	GLOVE PLANET	GLOVES	222.00
01303224 4510	STRYKER EMS	REPAIR PARTS	93.43
01303224 4510	ZOLL MEDICAL CORP.	RECORDER PAPER	91.09

VILLAGE OF HOFFMAN ESTATES

8/3/2010

ACCOUNT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
01303224 4542	ILLINOIS DEPT OF PUBLIC HEALTH	ANNUAL LICENSE FEE STATE	175.00
<b>TOTAL EMERGENCY MEDICAL SERVICES</b>			<b>\$2,594.90</b>
01303324 4507	ADT SECURITY SERVICES, INC.	SECURITY MONITORING	19,203.34
01303324 4507	CHICAGO METRO FIRE PREVENTION CO	MAINT AND INSTALL FEES	4,062.00
01303324 4507	FIRE SAFETY CONSULTANTS INC	REVIEW SPRINKLER SYSTEM	435.00
<b>TOTAL PREVENTION</b>			<b>\$23,700.34</b>
<b>FIRE</b>			<b>\$32,927.98</b>
01401222 4301	ILLINOIS TOLLWAY ACCT	TOLLS	2.80
01401223 4402	OFFICE DEPOT	OFFICE SUPPLIES	43.39
01401223 4402	OFFICE DEPOT	OFFICE SUPPLIES	4.80
01401223 4403	PRECISE TIME RECORDER	TIME CARDS	52.50
01401223 4403	PRECISE TIME RECORDER	TIME CARDS	52.50
01401224 4509	RICOH AMERICAS CORP	TONER	110.93
<b>TOTAL ADMINISTRATIVE</b>			<b>\$266.92</b>
01404123 4414	OLSEN DISTRIBUTING CO	LANDSCAPE MATERIALS	150.00
01404124 4507	MURRAY & TRETTEL INC/ WEATHER COMMA	WEATHER FORECAST SERVICES	203.61
<b>TOTAL SNOW &amp; ICE REMOVAL</b>			<b>\$353.61</b>
01404223 4414	SERVICE COMPONENTS	SUPPLY PARTS	53.13
01404224 4545	PRO SAFETY EQUIPMENT	BEVERAGES	36.90
01404224 4545	PRO SAFETY EQUIPMENT	UNIFORMS PW	154.45
<b>TOTAL PAVEMENT MAINTENANCE</b>			<b>\$244.48</b>
01404323 4414	ARLINGTON POWER EQUIPMENT	SUPPLY PARTS	111.92
01404323 4414	ARLINGTON POWER EQUIPMENT	SUPPLY PARTS	382.74
01404323 4414	W W GRAINGER INC	VARIOUS SUPPLIES	167.63
01404324 4507	CLASSIC LANDSCAPE LTD.	WEED CONTROL & FERTILIZAT	5,495.00
01404324 4507	CLASSIC LANDSCAPE LTD.	WEED CONTROL & FERTILIZAT	3,570.00
01404324 4507	LANDSCAPE CONCEPTS MGMT. INC.	TURF MOWING, TRIMMING AND	3,853.03
01404324 4507	SPRING-GREEN LAWN-TREE CARE	WEED CONTROL & FERTILIZAT	3,348.65
01404324 4510	ARLINGTON POWER EQUIPMENT	SUPPLY PARTS	3.44
01404324 4510	JOE'S GARAGE	SERVICE & REPAIRS	230.00
01404324 4545	PRO SAFETY EQUIPMENT	RAINSUITS/EAR PLUGS	217.90
<b>TOTAL FORESTRY</b>			<b>\$17,380.31</b>
01404423 4408	SEARS COMMERCIAL ONE	TOOLS	284.96
01404424 4501	AMAUDIT	AUDIT SERVICES	869.56
01404424 4501	AT & T	885-6452	296.36
01404424 4501	AT & T	884-6846	22.08
01404424 4501	AT&T LONG DISTANCE	839511572	78.68
01404424 4501	AT&T LONG DISTANCE	857519517-6	0.15
01404424 4503	NICOR GAS	GAS SERVICE	2,366.68
01404424 4507	ACCURATE DOCUMENT DESTRUCTION INC	DOCUMENT DESTRUCTION	90.00
01404424 4507	ACCURATE DOCUMENT DESTRUCTION INC	DOCUMENT DESTRUCTION	60.00
01404424 4507	ACCURATE DOCUMENT DESTRUCTION INC	DOCUMENT DESTRUCTION	20.00
01404424 4507	RED HAWK	ALARM MONITORING	165.00
01404424 4507	RED HAWK	MONITORING	134.00
01404424 4507	RED HAWK	MONTHLY MONITORING	799.82
01404424 4507	WEATHERGUARD ROOFING CO.	1900 HASSELL RD	200.00
01404424 4507	WEATHERGUARD ROOFING CO.	2305 PEMBROKE AVE	150.00
01404424 4507	WEATHERGUARD ROOFING CO.	2405 PEMBROKE AVE	150.00

VILLAGE OF HOFFMAN ESTATES

8/3/2010

ACCOU NT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
01404424 4507	WEATHERGUARD ROOFING CO.	225 FLAGSTAFF	150.00
01404424 4507	WEATHERGUARD ROOFING CO.	1700 MOONLAKE	150.00
01404424 4507	WEATHERGUARD ROOFING CO.	1300 WESTBURY	150.00
01404424 4509	UNIFIRST CORP	SAFETY WEAR	36.90
01404424 4509	UNIFIRST CORP	SUPPLY PARTS	36.90
01404424 4509	UNITED BUSINESS SOLUTIONS	SAFETY WEAR	36.90
01404424 4510	ACTION FIRE EQUIPMENT INC.	CLEANING SUPPLIES	97.00
01404424 4510	ACTION FIRE EQUIPMENT INC.	CLEANING SUPPLIES	90.00
01404424 4510	BORNQUIST INC.	REPAIR PARTS	78.37
01404424 4510	BORNQUIST INC.	REPAIR PARTS	85.92
01404424 4510	FREDRIKSEN FIRE EQUIPMENT CO.	EXTINGUISHER SERVICES	143.10
01404424 4510	H-O-H WATER TECHNOLOGY INC	CLEANING SUPPLIES	576.50
01404424 4510	JUST FAUCETS	VARIOUS SUPPLIES	53.30
01404424 4510	MIDWEST AIR PRO, INC.	SERVICE CALL	135.00
01404424 4510	MONARCH FIRE PROTECTION INC	FIRE SPRINKLER TEST	500.00
01404424 4510	W W GRAINGER INC	VARIOUS SUPPLIES	57.24
01404424 4510	W W GRAINGER INC	VARIOUS SUPPLIES	10.68
01404424 4510	W W GRAINGER INC	VARIOUS SUPPLIES	38.97
01404424 4510	W W GRAINGER INC	VARIOUS SUPPLIES	16.61
01404424 4516	AMLINGS INTERIOR LANDSCAPE	MAINTENANCE	395.00
01404424 4516	CLASSIC LANDSCAPE LTD.	LANDSCAPE MAINTENANCE OF	1,200.00
01404424 4516	FLUORECYCLE INC	REPLACEMENT BULBS	59.90
01404424 4516	W W GRAINGER INC	VARIOUS SUPPLIES	67.26
01404424 4516	W W GRAINGER INC	VARIOUS SUPPLIES	302.40
01404424 4516	W W GRAINGER INC	VARIOUS SUPPLIES	16.37
01404424 4517	CLASSIC LANDSCAPE LTD.	LANDSCAPE MAINTENANCE OF	500.00
01404424 4518	ADVANCED APPLIANCE INC.	SERVICE ON DRYER FIRE DEP	159.00
01404424 4518	AURORA TRI STATE FIRE PROTECTION	KITCHEN MAINTENANCE	108.00
01404424 4518	AUTOMATIC DOOR CO NO1	TRUCK 22 REPAIRS	980.00
01404424 4518	B & A PLUMBING,INC.	RODDING	390.00
01404424 4518	CLASSIC LANDSCAPE LTD.	LANDSCAPE MAINTENANCE OF	1,220.00
01404424 4520	W W GRAINGER INC	VARIOUS SUPPLIES	59.69
01404425 4604	GOEBBERT'S FARM MARKET	LANDSCAPE MATERIALS	48.57
01404425 4604	GOEBBERT'S FARM MARKET	LANDSCAPE MATERIALS	48.57
01404425 4604	GOEBBERT'S FARM MARKET	LANDSCAPE MATERIALS	1,271.53
01404425 4604	GOEBBERT'S FARM MARKET	LANDSCAPE MATERIALS	64.76
01404425 4628.31	W W GRAINGER INC	RECYCLING CONTAINERS	1,042.24
<b>TOTAL FACILITIES</b>			<b>\$16,063.97</b>
01404522 4301	MFMA	TRAINING PW	160.00
01404522 4304	UNIFIRST CORP	SAFETY WEAR	43.53
01404522 4304	UNIFIRST CORP	SUPPLY PARTS	37.28
01404522 4304	UNITED BUSINESS SOLUTIONS	SAFETY WEAR	37.28
01404523 4408	LEE AUTO SCHAUMBURG	VEHICLE REPAIR PARTS	10.90
01404523 4411	FLEET SERVICES	FUEL CARD	26.00
01404523 4411	PAULSON OIL CO.	VEHICLE HYDRAULIC FLUIDS	744.40
01404523 4411	TEXOR PETROLEUM /WORLD FUEL SER	FUEL	18,297.47
01404523 4411	TEXOR PETROLEUM /WORLD FUEL SER	FUEL	15,783.85
01404523 4411	TEXOR PETROLEUM /WORLD FUEL SER	FUEL	16,220.13
01404523 4414	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	24.60
01404523 4414	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	23.69
01404523 4414	CARQUEST AUTO PARTS	SUPPLY PARTS	40.08

VILLAGE OF HOFFMAN ESTATES

8/3/2010

ACCOUNT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
01404523 4414	FIRST AYD CORP	CLEANING SUPPLIES	265.85
01404523 4414	LEE AUTO SCHAUMBURG	VEHICLE REPAIR PARTS	58.41
01404523 4414	MCMASTER CARR SUPPLY CO	VARIOUS SUPPLIES	52.13
01404524 4510	AIRGAS	OXYGEN & SUPPLIES	82.95
01404524 4510	HERITAGE-CRYSTAL CLEAN	CLEANING SUPPLIES	399.97
01404524 4510	MENARDS - HNVR PARK	SUPPLY PARTS	65.11
01404524 4510	TERRACE SUPPLY CO	CYLINDER RENTAL	15.30
01404524 4513	ALLSTAR AUTO GLASS INC	VEHICLE REPAIRS	269.00
01404524 4513	BOB ROHRMAN'S SCHAUMBURG FORD	REPAIR PARTS	478.46
01404524 4513	BOB ROHRMAN'S SCHAUMBURG FORD	REPAIR PARTS	59.99
01404524 4513	BOB ROHRMAN'S SCHAUMBURG FORD	REPAIR PARTS	45.92
01404524 4513	BOB ROHRMAN'S SCHAUMBURG FORD	REPAIR PARTS	47.83
01404524 4513	BOB ROHRMAN'S SCHAUMBURG FORD	VEHICLE REPAIR PARTS	15.54
01404524 4513	BOB ROHRMAN'S SCHAUMBURG FORD	VEHICLE REPAIR PARTS	113.44
01404524 4513	BOB ROHRMAN'S SCHAUMBURG FORD	VEHICLE REPAIR PARTS	94.60
01404524 4513	BOB ROHRMAN'S SCHAUMBURG FORD	VEHICLE REPAIR PARTS	24.05
01404524 4513	BOB ROHRMAN'S SCHAUMBURG FORD	VEHICLE REPAIR PARTS	41.30
01404524 4513	GOLF ROSE CAR WASH	CAR WASH	266.50
01404524 4513	INTERSTATE BATTERY SYSTEMS	VEHICLE BATTERIES	89.95
01404524 4513	LEE AUTO SCHAUMBURG	VEHICLE REPAIR PARTS	31.48
01404524 4513	LEE AUTO SCHAUMBURG	VEHICLE REPAIR PARTS	61.29
01404524 4513	LEE AUTO SCHAUMBURG	VEHICLE REPAIR PARTS	32.59
01404524 4513	LEE AUTO SCHAUMBURG	VEHICLE REPAIR PARTS	36.37
01404524 4513	LEE AUTO SCHAUMBURG	REPAIR PARTS	32.59
01404524 4513	LEE AUTO SCHAUMBURG	REPAIR PARTS	158.24
01404524 4513	LEE AUTO SCHAUMBURG	REPAIR PARTS	34.58
01404524 4513	LEE AUTO SCHAUMBURG	RTN REPAIR PARTS	-93.78
01404524 4513	LEE AUTO SCHAUMBURG	VEHICLE REPAIR PARTS	56.24
01404524 4513	LEE AUTO SCHAUMBURG	VEHICLE REPAIR PARTS	58.69
01404524 4513	SECRETARY OF STATE	RENEW PLATE P41	99.00
01404524 4513	SECURE-IDLE INC	VARIOUS SUPPLIES	119.63
01404524 4513	SPRING HILL FORD	VEHICLE REPAIR PARTS	257.57
01404524 4513	SPRING HILL FORD	VEHICLE REPAIR PARTS	130.40
01404524 4513	SPRING HILL FORD	VEHICLE REPAIR PARTS	107.75
01404524 4513	SPRING HILL FORD	VEHICLE REPAIR PARTS	84.19
01404524 4513	SPRING HILL FORD	VEHICLE REPAIR PARTS	53.56
01404524 4513	SPRING HILL FORD	REPAIR PARTS	328.72
01404524 4513	SPRING HILL FORD	CREDIT	-84.19
01404524 4513	SPRING HILL FORD	VEHICLE REPAIR PARTS	328.72
01404524 4514	FEDERAL SIGNAL CORP.	REPAIR PARTS	15.01
01404524 4514	GLOBAL EMERGENCY PRODUCTS	VARIOUS SUPPLIES	53.39
01404524 4514	GLOBAL EMERGENCY PRODUCTS	VARIOUS SUPPLIES	27.06
01404524 4514	GOLF ROSE CAR WASH	CAR WASH	65.00
01404524 4514	KAMMES AUTO & TRUCK REPAIR INC	REPAIR PARTS	116.00
01404524 4514	LEE AUTO SCHAUMBURG	REPAIR PARTS	5.84
01404524 4514	LEE AUTO SCHAUMBURG	REPAIR PARTS	138.97
01404524 4514	LEE AUTO SCHAUMBURG	VEHICLE REPAIR PARTS	1.98
01404524 4533	FIRESTONE TRUCK & SERVICE CENTER	VEHICLE TIRES	284.28
01404524 4533	GOLF ROSE CAR WASH	CAR WASH	6.50
01404524 4534	ACME TRUCK BRAKE & SUPPLY CO.	VEHICLE REPAIR PARTS	131.55
01404524 4534	ALEXANDER EQUIPMENT	REPAIR PARTS	28.45

VILLAGE OF HOFFMAN ESTATES

8/3/2010

ACCOU NT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
01404524 4534	ALEXANDER EQUIPMENT	REPAIR PARTS	33.40
01404524 4534	ATLAS BOBCAT INC	REPAIR PARTS	820.03
01404524 4534	BOB ROHRMAN'S SCHAUMBURG FORD	VEHICLE REPAIR PARTS	125.90
01404524 4534	BOB ROHRMAN'S SCHAUMBURG FORD	VEHICLE REPAIR PARTS	53.98
01404524 4534	BOB ROHRMAN'S SCHAUMBURG FORD	REPAIR PARTS	60.24
01404524 4534	BOB ROHRMAN'S SCHAUMBURG FORD	REPAIR PARTS	108.59
01404524 4534	BOB ROHRMAN'S SCHAUMBURG FORD	REPAIR PARTS	9.73
01404524 4534	CARQUEST AUTO PARTS	SUPPLY PARTS	45.67
01404524 4534	KAMMES AUTO & TRUCK REPAIR INC	REPAIR PARTS	159.00
01404524 4534	LEACH ENTERPRISES INC	VEHICLE REPAIR PARTS	284.94
01404524 4534	LEACH ENTERPRISES INC	RTN REPAIR PARTS	-64.80
01404524 4534	LEE AUTO SCHAUMBURG	VEHICLE REPAIR PARTS	254.53
01404524 4534	LEE AUTO SCHAUMBURG	RTN VEHICLE REPAIR PARTS	-50.00
01404524 4534	LEE AUTO SCHAUMBURG	REPAIR PARTS	3.60
01404524 4534	LEE AUTO SCHAUMBURG	REPAIR PARTS	8.79
01404524 4534	LEE AUTO SCHAUMBURG	REPAIR PARTS	15.02
01404524 4534	LEE AUTO SCHAUMBURG	REPAIR PARTS	3.43
01404524 4534	LEE AUTO SCHAUMBURG	REPAIR PARTS	16.58
01404524 4534	LEE AUTO SCHAUMBURG	REPAIR PARTS	9.05
01404524 4534	LEE AUTO SCHAUMBURG	VEHICLE REPAIR PARTS	261.88
01404524 4534	LEE AUTO SCHAUMBURG	VEHICLE REPAIR PARTS	135.56
01404524 4535	CARQUEST AUTO PARTS	SUPPLY PARTS	86.67
01404524 4535	GOLF ROSE CAR WASH	CAR WASH	26.00
01404524 4535	LEE AUTO SCHAUMBURG	REPAIR PARTS	36.57
01404524 4536	INTERSTATE BATTERY SYSTEMS	VEHICLE BATTERIES	88.95
01404524 4545	FASTENAL INDUSTRIAL & CONST.	VARIOUS SUPPLIES	45.46
01404524 4545	FASTENAL INDUSTRIAL & CONST.	VARIOUS SUPPLIES	101.71
<b>TOTAL FLEET SERVICES</b>			<b>\$59,323.66</b>
01404623 4408	MENARDS - HNVR PARK	VARIOUS SUPPLIES	36.90
01404623 4414	MENARDS - HNVR PARK	VARIOUS SUPPLIES	5.97
01404624 4509	WASTE MANAGEMENT	WASTE MGMT	121.85
01404624 4542	HOVING CLEAN SWEEP	SWEEP PARADE ROUTE	1,214.15
01404624 4545	W W GRAINGER INC	VARIOUS SUPPLIES	68.40
<b>TOTAL F.A.S.T.</b>			<b>\$1,447.27</b>
01404723 4414	USA BLUE BOOK	BATTERY PACK	193.02
01404724 4522	MEYER MATERIAL CO	REPAIR PARTS	110.00
01404724 4522	MEYER MATERIAL CO	ST. REPAIR MATERIALS	420.00
01404724 4522	MEYER MATERIAL CO	ST. REPAIR MATERIALS	475.00
01404724 4522	MULTIPLE CONCRETE	ST. REPAIR MATERIALS	82.10
<b>TOTAL STORM SEWERS</b>			<b>\$1,280.12</b>
01404824 4502	COMMONWEALTH EDISON	ELECTRIC 5510 PRAIRIESTON	47.14
01404824 4502	COMMONWEALTH EDISON	ELECTRIC GLENDALE & RTE25	2,834.33
01404824 4502	COMMONWEALTH EDISON	ELECTRIC PUBLIC WORKS	5,805.35
01404824 4542	FLUORECYCLE INC	REPLACEMENT BULBS	120.36
01404824 4542	THORNE ELECTRIC	BEACON POINTE DR SERVICES	2,912.00
01404824 4544	INDESTRUCTO RENTAL CO., INC.	TENTS	450.00
01404824 4544	TRAFFIC CONTROL & PROTECTION	BARRICADES	544.00
01404824 4545	PRO SAFETY EQUIPMENT	BEVERAGES	36.90
01404824 4545	PRO SAFETY EQUIPMENT	UNIFORMS PW	154.45

VILLAGE OF HOFFMAN ESTATES

8/3/2010

ACCOUNT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
<b>TOTAL TRAFFIC CONTROL</b>			<b>\$12,904.53</b>
<b>PUBLIC WORKS</b>			<b>\$109,264.87</b>
01501223 4402	OFFICE DEPOT	OFFICE SUPPLIES	7.39
01501223 4402	OFFICE DEPOT	OFFICE SUPPLIES	21.48
01501223 4402	OFFICE DEPOT	OFFICE SUPPLIES	17.90
<b>TOTAL ADMINISTRATIVE</b>			<b>\$46.77</b>
01505022 4303	AMERICAN PLANNING ASSOC.	APA DUES - GUGLIOTTA	523.00
01505023 4403	PLUM GROVE PRINTERS INC	BUSINESS CARDS PLANNING	8.88
01505024 4546	PADDOCK PUBLICATIONS, INC.	PUBLIC HEARING NOTICE	357.00
<b>TOTAL PLANNING</b>			<b>\$888.88</b>
01505123 4403	CLASS PRINTING	INSPECTION LABELS	154.00
01505123 4403	PLUM GROVE PRINTERS INC	BUSINESS CARDS	38.66
01505123 4403	PLUM GROVE PRINTERS INC	BUSINESS CARDS CODE	8.88
01505123 4403	RFS GRAPHICS	BUILDING PERMIT FORMS	706.17
01505124 4507	A-MIDWEST BOARD-UP, INC	PLYWOOD & STUDS	366.50
01505124 4507	GILIO LANDSCAPE CONTRACTORS	LAWN MOW CODE	45.00
01505124 4507	GILIO LANDSCAPE CONTRACTORS	LAWN MOW CODE	110.00
01505124 4507	GILIO LANDSCAPE CONTRACTORS	LAWN MOW CODE	675.00
01505124 4507	GILIO LANDSCAPE CONTRACTORS	LAWN MOW CODE	330.00
01505124 4507	GILIO LANDSCAPE CONTRACTORS	MOWING	165.00
01505124 4507	GILIO LANDSCAPE CONTRACTORS	MOWING - CODE	225.00
01505124 4507	GILIO LANDSCAPE CONTRACTORS	MOWING - CODE	160.00
01505124 4507	RED OAK TREE SERVICE	BRANCH REMOVAL	125.00
01505124 4507	THOMPSON ELEVATOR INSPECTION INC	ELEVATOR INSPECTIONS	152.00
01505124 4507	THOMPSON ELEVATOR INSPECTION INC	ELEVATOR INSPECTIONS	2,432.00
01505124 4507	THOMPSON ELEVATOR INSPECTION INC	51 ELEVATOR INSPECTIONS	2,278.00
01505124 4507	THOMPSON ELEVATOR INSPECTION INC	ELEVATOR INSPECTION	38.00
01505124 4507	THOMPSON ELEVATOR INSPECTION INC	ELEVATOR INSPECTION	494.00
<b>TOTAL CODE ENFORCEMENT</b>			<b>\$8,503.21</b>
01505223 4403	PLUM GROVE PRINTERS INC	BUSINESS CARDS	8.89
01505223 4414	AMERICAN BARCODE & RFID	5 PANEL COLOR RIBBON	68.55
01505224 4542	303 TAXI/FLASH CAB	23 TAXI COUPONS/RIDES	115.00
01505224 4542	AMERICAN CHARGE SERVICE	26 TRIPS	130.00
01505224 4542	AMERICAN CHARGE SERVICE	34 TRIPS	170.00
01505224 4542	PACE SUBURBAN BUS SERVICE	MAY RTE 554 BUS SERVICE	1,748.38
<b>TOTAL TRANSPORTATION AND ENGINEERING</b>			<b>\$2,240.82</b>
01505922 4301	GARY SKOOG	REIM TRAVEL EXP	73.00
01505923 4403	PLUM GROVE PRINTERS INC	BUSINESS CARDS	79.57
01505923 4403	PLUM GROVE PRINTERS INC	BUSINESS CARDS	8.89
01505924 4542	LINKS TECHNOLOGY	ANNUAL HOSTING FEE	300.00
01505924 4546	VISION INTERNET PROVIDERS INC	WEB HOSTING FEE	17.85
<b>TOTAL ECONOMIC DEVELOPMENT</b>			<b>\$479.31</b>
<b>DEVELOPMENT SERVICES</b>			<b>\$12,158.99</b>
01556522 4301	TERESA ALCURE	MILEAGE REIM	71.50
01556522 4303	CATHY DAGIAN STANTON	NURSING LICENSE RENEW	61.50
01556524 4507	COMMUNITY NUTRITION NETWORK	DONATION NUTRITION NETWRK	3,000.00
01556524 4507	DELORES VAN LANEN	TRAINING FOR STUDENTS	140.00

VILLAGE OF HOFFMAN ESTATES

8/3/2010

ACCOUNT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
<b>HEALTH &amp; HUMAN SERVICES</b>			<b>\$3,273.00</b>
01605324 4546	PADDOCK PUBLICATIONS, INC	ADS	526.55
01605324 4561	MCDONALD MODULAR SOLUTIONS, INC	RENTAL OF PNE (1) 10X40 O	995.00
01605324 4561	SCS PRODUCTIONS INC.	ADD'L RISER	300.00
01605324 4561.1	PETE OLINGER	MAILING MAYORS CUP	19.48
01605324 4561.2	MELROSE PYROTECHNICS, INC.	FIREWORKS DISPLAY	15,000.00
01605324 4562	HOPKINS GREASE CO	55 GAL - DRUMS TO PROVIDE	200.00
01605324 4562	INDESTRUCTO RENTAL CO., INC.	TENTS	4,534.00
01605324 4562	OHLSON INVESTIGATIVE SECURITY SRVC	GUARD SERVICE	1,025.25
01605324 4562	SERVICE SANITATION, INC.	RENTAL OF PORTABLE TOILET	576.00
01605324 4562	SERVICE SANITATION, INC.	RENTAL OF PORTABLE TOILET	4,520.00
01605324 4562	SERVICE SANITATION, INC.	PORTABLE TOILETS 4TH OF J	624.00
01605324 4563	A1 TROPHIES & AWARDS, INC.	4TH OF JULY 2010 TROPHIES	86.33
01605324 4563.1	PURCHASE ADVANTAGE CARD	ARTS & CRAFTS WATER	20.45
<b>TOTAL FOURTH OF JULY</b>			<b>\$28,427.06</b>
01605824 4575	HI FI EVENTS INC	ARTWORK ARTS COMM & PARK	352.88
01605824 4575	MICHELLE PILAFAS	ARTS COMM REIM	132.54
<b>TOTAL MISCELLANEOUS B &amp; C</b>			<b>\$485.42</b>
<b>BOARDS &amp; COMMISSIONS</b>			<b>\$28,912.48</b>
<b>TOTAL GENERAL FUND</b>			<b>\$300,710.44</b>
03400024 4512	COOK COUNTY HIGHWAY DEPT	TRAFFIC SIGNAL MAINT	1,729.50
<b>TOTAL MFT FUND</b>			<b>\$1,729.50</b>
04000024 4542	NORTH WEST HOUSING PARTNERSHIP	1595 BURN BUSH - REHAB	19,813.00
04000024 4542	NORTH WEST HOUSING PARTNERSHIP	CDBG REHAB 4/01 - 6/30/10	2,750.00
04000024 4542	NORTH WEST HOUSING PARTNERSHIP	1364 BLAIR LANE - REHAB	9,890.00
<b>TOTAL COMMUNITY DEVELOPMENT BLOCK GRANT FUND</b>			<b>\$32,453.00</b>
06200024 4542	NORTHWEST CENTRAL DISPATCH SYSTEM	AUG MEMBER ASSESSMENT	5,135.80
<b>TOTAL POLICE</b>			<b>\$5,135.80</b>
06400024 4513	BOB ROHRMAN'S SCHAUMBURG FORD	REPAIR PARTS	21.83
06400024 4513	INTERSTATE BATTERY SYSTEMS	VEHICLE BATTERIES	89.95
<b>TOTAL PUBLIC WORKS</b>			<b>\$111.78</b>
06750024 4510	OCE IMAGISTICS INC	MAINT. SERVICE	30.00
06750024 4532	COOK COUNTY HIGHWAY DEPT	TRAFFIC SIGNAL MAINT	4.00
06750024 4532	MEADE ELECTRIC CO., INC.	TRAFFIC SIGNAL MAINTENANC	175.00
06750024 4542	ARNSTEIN & LEHR LLP	PROFESSIONAL SERVICES	148.50
06750024 4542	ARNSTEIN & LEHR LLP	PROFESSIONAL SERVICES	6,666.67
06750024 4542	GREENROOM PRODUCTIONS, INC.	VARIOUS SUPPLIES	450.00
06750024 4542	GREENROOM PRODUCTIONS, INC.	WIRELESS SPEAKER SUPPLIES	2,250.00
06750024 4542	HI FI EVENTS INC	SOUND & LIGHTING SERVICES	2,800.00
<b>TOTAL ADMINISTRATION</b>			<b>\$12,524.17</b>

VILLAGE OF HOFFMAN ESTATES

8/3/2010

ACCOUNT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
TOTAL EDA ADMINISTRATION FUND			\$17,771.75
09 1491	GROOT INDUSTRIES, INC.	DELINQUENT GARBAGE BILL	1,188.02
TOTAL MUNICIPAL WASTE SYSTEM FUND			\$1,188.02
11000024 4543	THE BANK OF NEW YORK MELLON	ADMIN FEE	300.00
TOTAL 2001 GO DEBT SERVICE FUND			\$300.00
14000024 4543	THE BANK OF NEW YORK MELLON	BOND SERVICES	300.00
TOTAL 2003 GO DEBT SERVICE FUND			\$300.00
31000025 4604	ANIXTER, INC.	280632 FLUKE NET GLD-DTX	198.25
31000025 4654	ANIXTER, INC.	280632 FLUKE NET GLD-DTX	198.25
31000025 4654	HARGRAVE BUILDERS INC	FIRE STA 24	2,958.00
31000025 4654	JENSEN'S PLUMBING & HEATING	FIRE STA 24	21,119.50
31000025 4654	KELLENBERGER ELECTRIC INC	FIRE STA 24	5,975.50
31000025 4654	MTI CONSTRUCTION SERVICES LLC	FIRE STA 24	10,064.26
31000025 4654	SULLIVAN ROOFING, INC	FIRE STA 24	3,275.00
TOTAL 2008 CAPITAL PROJECT FUND			\$43,788.76
33000025 4653	ABBEY PAVING CO, INC	NEW POLICE STATION	14,660.50
33000025 4653	ABBEY PAVING CO, INC	NEW POLICE FACILITY	6,961.50
33000025 4653	ADMIRAL PLUMBERS INC	NEW POLICE FACILITY	5,320.00
33000025 4653	ADVANCED COMMUNICATIONS, INC.	NEW POLICE FACILITY	21,472.65
33000025 4653	ADVANCED COMMUNICATIONS, INC.	NEW POLICE STATION	16,662.95
33000025 4653	ALUMITAL COPORATION	NEW POLICE FACILITY	132,835.80
33000025 4653	AMBER MECHANICAL CONTRACTORS, INC	NEW POLICE FACILITY	118,114.73
33000025 4653	AMBER MECHANICAL CONTRACTORS, INC	NEW POLICE STATION	17,314.22
33000025 4653	ANIXTER, INC.	NEW PD CABLES	182.47
33000025 4653	ANIXTER, INC.	280632 FLUKE NET GLD-DTX	396.50
33000025 4653	BERGER EXCAVATING CONTRACTORS INC	NEW POLICE FACILITY	4,093.55
33000025 4653	BUILDERS CONCRETE SERVICES LLC	NEW POLICE STATION	15,066.05
33000025 4653	CARROLL SEATING COMPANY	NEW POLICE STATION	27,145.30
33000025 4653	CARROLL SEATING COMPANY	NEW POLICE FACILITY	21,861.25
33000025 4653	CARROLL SEATING COMPANY	NEW POLICE FACILITY	72,535.02
33000025 4653	CDW-GOVERNMENT INC	SUPPLY PARTS	2,068.00
33000025 4653	CDW-GOVERNMENT INC	NEW PD CABLES	82.00
33000025 4653	CDW-GOVERNMENT INC	NEW PD CABLES	20.00
33000025 4653	CHADWICK CONTRACTING COMPANY	NEW POLICE FACILITY	132,057.40
33000025 4653	CHICAGO COMMUNICATIONS,LLC	POLICE STATION SHELVES	420.00
33000025 4653	CHICAGO COMMUNICATIONS,LLC	POLICE QUOTE: 800 PS, AT&	70,165.00
33000025 4653	CHICAGO COMMUNICATIONS,LLC	FIRE QUOTE: NEXTEL, AT&T,	59,635.00
33000025 4653	CHICAGO TITLE INSURANCE CO.	TITLE SEARCH 1200 GANNON	1,150.00
33000025 4653	DOHERTY CONSTRUCTION, INC	NEW POLICE STATION	25,386.00
33000025 4653	DOHERTY CONSTRUCTION, INC	NEW POLICE FACILITY	66,743.00



VILLAGE OF HOFFMAN ESTATES

8/3/2010

ACCOUNT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
33000025 4653	EVANS CONSOLES	FREIGHT	6,132.00
33000025 4653	EVANS CONSOLES	INSTALLATION *ALL PER ATT	4,906.00
33000025 4653	EVANS CONSOLES	MONITOR ARM	3,883.94
33000025 4653	J HAMILTON ELECTRIC CO INC	NEW POLICE STATION	28,357.87
33000025 4653	J HAMILTON ELECTRIC CO INC	NEW POLICE FACILITY	99,845.00
33000025 4653	JOHN CARETTI & CO.	NEW POLICE FACILITY	25,515.00
33000025 4653	L.J. MORSE CONSTRUCTION CO.	NEW POLICE FACILITY	128,304.38
33000025 4653	LPS PAVEMENT COMPANY	NEW POLICE FACILITY	68,467.50
33000025 4653	MAXIM CONSTRUCTION CORPORATION	RELOCATION CONTRACT FOR V	29,200.00
33000025 4653	MEADOWS DOOR LLC	NEW POLICE STATION	770.00
33000025 4653	MENARDS - HNVR PARK	VARIOUS SUPPLIES	23.54
33000025 4653	MENARDS - HNVR PARK	VARIOUS SUPPLIES	3.92
33000025 4653	METALMASTER/ROOFMASTER INC	NEW POLICE STATION	4,934.00
33000025 4653	METALMASTER/ROOFMASTER INC	NEW POLICE FACILITY	60,750.00
33000025 4653	MIDWEST MASONRY INC	NEW POLICE STATION	5,175.60
33000025 4653	MTI CONSTRUCTION SERVICES LLC	NEW POLICE STATION	33,274.20
33000025 4653	MTI CONSTRUCTION SERVICES LLC	NEW POLICE FACILITY	68,802.93
33000025 4653	NIKOLAS PAINTING CONTRACTORS, INC	NEW POLICE FACILITY	4,329.00
33000025 4653	RIEKE OFFICE INTERIORS	NEW POLICE FACILITY	22,764.71
33000025 4653	RUFFALO PAINTING CO, INC.	NEW POLICE FACILITY	8,100.00
33000025 4653	RUFFALO PAINTING CO, INC.	NEW POLICE STATION	2,700.00
33000025 4653	SALSBURY INDUSTRIES	4275 G - PEDESTAL DROP BO	800.00
33000025 4653	SALSBURY INDUSTRIES	4285G - PEDESTAL FOR DROP	200.00
33000025 4653	SALSBURY INDUSTRIES	FREIGHT	180.00
33000025 4653	SCHINDLER ELEVATOR CORPORATION	SECURITY SYSTEMS UPGRADES	2,240.00
33000025 4653	SIGNS NOW	CUSTOM SIGN CABINET FOR V	1,265.00
33000025 4653	SPANCRETE OF ILLINOIS INC	NEW POLICE FACILITY	52,464.08
33000025 4653	STAGE RIGHT	8X12 FR-2403 STAGE SYSTEM	3,490.00
33000025 4653	THE CDC GROUP	NEW POLICE STATION	3,271.85
33000025 4653	THE CDC GROUP	NEW POLICE FACILITY	1,940.37
33000025 4653	THE FINER LINE	VARIOUS SUPPLIES	51.57
33000025 4653	VALLEY FIRE PROTECTION SYSTEMS	NEW POLICE FACILITY	17,449.55
33000025 4653	W W GRAINGER INC	VARIOUS SUPPLIES	264.04
33000025 4653	W W GRAINGER INC	VARIOUS SUPPLIES	452.03
33000025 4653	W W GRAINGER INC	NEW POLICE STATION	3,037.02
33000025 4653	W W GRAINGER INC	RECYCLING CONTAINERS	425.00
33000025 4653	WDSI INC	NEW POLICE STATION	11,180.25
33000025 4653	WDSI INC	NEW POLICE FACILITY	26,705.25
33000025 4653	WESTERN DUPAGE LANDSCAPING	NEW POLICE FACILITY	24,342.79
33000025 4653	YONAN FLOOR COVERINGS, INC	NEW POLICE FACILITY	14,705.00
33000025 4653	YONAN FLOOR COVERINGS, INC	NEW POLICE STATION	9,889.00

<b>TOTAL 2009 CAPITAL PROJECT FUND</b>			<b>\$1,612,941.28</b>
--	--	--	-----------------------

36000025 4606	ARROW ROAD CONSTRUCTION CO	STREET CAPITAL IMPROVEMEN	68,123.06
36000025 4606	ARROW ROAD CONSTRUCTION CO	STREET CAPITAL IMPROVEMEN	13,139.55
36000025 4606	BEVERLY MATERIALS, L.L.C.	SUPPLY PARTS	963.68
36000025 4606	SCHROEDER ASPHALT SERVICES INC	GLEN LANE RECON	5,762.12

<b>TOTAL CAPITAL IMPROVEMENTS FUND</b>			<b>\$87,988.41</b>
--	--	--	--------------------

VILLAGE OF HOFFMAN ESTATES

8/3/2010

ACCOUNT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
40400013 3425	CITI MORTGAGE	1195 COBBLE HILL CT WATER	15.43
40400013 3425	LUIS PEREZ	RFD OVER PYMT WATER	55.45
40400013 3425	MICHAEL PISTO	RFD OVER PYMT 1743 QUEENS	16.04
<b>TOTAL WATER REFUND</b>			<b>\$86.92</b>
40406722 4303	JULIE, INC.	MESSAGING	744.50
40406723 4402	CLASS PRINTING	CODE ENFORCEMENT FORMS	247.00
40406723 4402	CLASS PRINTING	MAINTENANCE FORM	95.00
40406723 4402	OFFICE DEPOT	OFFICE SUPPLIES	43.40
40406723 4402	OFFICE DEPOT	OFFICE SUPPLIES	4.80
40406723 4420	WATER RESOURCES INC	VARIOUS WATER METERS & RE	9,880.00
40406723 4420	WATER RESOURCES INC	ION BATTERIES	237.35
40406724 4501	AMAUDIT	AUDIT SERVICES	372.67
40406724 4501	AT & T	884-6846	9.46
40406724 4501	AT & T	885-6452	127.01
40406724 4501	AT&T LONG DISTANCE	857519517-6	0.07
40406724 4501	AT&T LONG DISTANCE	839511572	33.72
40406724 4501	VERIZON WIRELESS	PHONE CHARGES	95.45
40406724 4502	COMMONWEALTH EDISON	ELECTRIC 2550 BEVERLY	32.61
40406724 4502	COMMONWEALTH EDISON	ELECTRIC 2002 PARKVIEW CI	140.04
40406724 4502	INTEGRYS ENERGY SERVICES INC	ELECTRIC 2150 STONINGTON	2,107.41
40406724 4502	INTEGRYS ENERGY SERVICES INC	ELECTRIC 1775 ABBEYWOOD	1,594.99
40406724 4502	INTEGRYS ENERGY SERVICES INC	95 ASTER LN	848.72
40406724 4502	MIDAMERICAN ENERGY COMPANY	ELECTRIC SERVICES	1,385.82
40406724 4503	NICOR GAS	GAS SERVICE	819.63
40406724 4507	BAXTER & WOODMAN, INC.	SCADA	414.00
40406724 4507	MCHENRY ANALYTICAL WATER LABORATORY	WATER SAMPLES	623.70
40406724 4507	RED HAWK	MONTHLY MONITORING	342.78
40406724 4507	SPRING-GREEN LAWN-TREE CARE	WEED CONTROL & FERTILIZAT	311.12
40406724 4509	ALEXANDER CHEMICAL CORP	CYLINDER RENTAL	132.00
40406724 4509	RICOH AMERICAS CORP	TONER	110.93
40406724 4510	INDUSTRIAL SCIENTIFIC	MULTI GAS MONITOR	315.00
40406724 4510	USA BLUE BOOK	VARIOUS SUPPLIES	130.85
40406724 4526	J.C. LIGHT/EPCO PAINT & DECORATING	LIFT STATION PAINT	446.02
40406724 4526	MENARDS - HNVR PARK	VARIOUS SUPPLIES	73.79
40406724 4528	MENARDS - HNVR PARK	VARIOUS SUPPLIES	18.00
40406724 4528	ZIEBELL WATER SERVICE	VARIOUS SUPPLIES	393.64
40406724 4529	MID AMERICAN WATER OF WAUCONDA INC	REPAIR PARTS	765.80
40406724 4529	TNT LANDSCAPE CONSTRUCTION	WATER & SEWER DIG-UP SITE	444.88
40406724 4529	WATER PRODUCTS CO.	REPAIR PARTS	721.77
40406724 4529	WELCH BROS INC	VARIOUS SUPPLIES	321.00
40406724 4529	WELCH BROS INC	VARIOUS SUPPLIES	228.00
40406724 4531	MENARDS - HNVR PARK	VARIOUS SUPPLIES	19.98
40406724 4585	BOB ROHRMAN'S SCHAUMBURG FORD	REPAIR PARTS	134.40
40406724 4585	EVEREST EMERGENCY VEHICLES	DOOR CHECK SERVICES	44.99
40406724 4585	FIRESTONE TRUCK & SERVICE CENTER	VEHICLE TIRES	445.32
40406724 4585	KAMMES AUTO & TRUCK REPAIR INC	REPAIR PARTS	29.00
40406724 4585	LEE AUTO SCHAUMBURG	REPAIR PARTS	32.69
40406724 4585	LEE AUTO SCHAUMBURG	REPAIR PARTS	101.89
40406724 4585	LEE AUTO SCHAUMBURG	VEHICLE REPAIR PARTS	3.63
40406724 4585	LEE AUTO SCHAUMBURG	VEHICLE REPAIR PARTS	19.00

VILLAGE OF HOFFMAN ESTATES

8/3/2010

ACCOUNT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
<b>TOTAL WATER DIVISION</b>			<b>\$25,443.83</b>
40406824 4502	INTEGRYS ENERGY SERVICES INC	95 ASTER LN	1,273.07
40406824 4502	MIDAMERICAN ENERGY COMPANY	ELECTRIC SERVICES	5,754.91
40406824 4510	CHARLES EQUIPMENT CO.	FREDERICK GEN REPAIR	354.50
40406824 4510	SAFEDAY INC.	RECERTIFICATION OF DBI/SA	1,425.00
40406824 4510	SAFEDAY INC.	SHIPPING	120.00
40406824 4525	BENCHMARK SALES & SERVICE INC.	REBUILD OF PUMP # 1 WDA L	7,825.00
40406824 4525	BENCHMARK SALES & SERVICE INC.	REBUILD OF #2 PUMP & MOTO	3,250.00
40406824 4525	BENCHMARK SALES & SERVICE INC.	REBUILD OF #2 PUMP & MOTO	1,350.00
40406824 4525	CARQUEST AUTO PARTS	VEHICLE REPAIR PARTS	20.56
40406824 4530	BEVERLY MATERIALS, L.L.C.	ST. REPAIR MATERIALS	811.25
40406824 4530	ENVIRONMENTAL LEVERAGE INC.	MICRO CLEAR 207 (25LB PAI	1,376.00
40406824 4530	ENVIRONMENTAL LEVERAGE INC.	SHIP TO 2305 PEMBROKE	133.36
40406824 4530	HEALY ASPHALT CO., LLC.	ST. REPAIR MATERIALS	334.44
40406824 4530	MIDAMERICAN ENERGY COMPANY	ELECTRIC SERVICES	426.72
40406824 4530	PALUMBO MANAGEMENT LLC	ST. REPAIR MATERIALS	60.00
40406824 4530	PALUMBO MANAGEMENT LLC	ST. REPAIR MATERIALS	360.00
40406824 4530	PALUMBO MANAGEMENT LLC	YARD SERVICES	420.00
40406824 4530	TNT LANDSCAPE CONSTRUCTION	WATER & SEWER DIG-UP SITE	87.00
40406824 4530	TNT LANDSCAPE CONSTRUCTION	WATER & SEWER DIG-UP SITE	1,141.00
40406825 4608	G.W. KENNEDY CONSTRUCTION CO, INC.	ABANDONMENT OF 3 SANITARY	152,674.68
<b>TOTAL SEWER DIVISION</b>			<b>\$179,197.49</b>
40407023 4401	CSG SYSTEMS	WATER BILLING SERVICES	5,549.46
40407023 4403	RFS GRAPHICS	10,000 WATER AND SEWER BI	722.78
40407023 4414	BURROUGHS PAYMENT SYSTEMS INC.	INKJET CARTRIDGE	207.12
40407024 4510	NEOPOST INC.	STANDARD MAINTENANCE	55.19
40407024 4510	NEOPOST INC.	STANDARD MAINT.	1,533.00
40407024 4542	CSG SYSTEMS	WATER BILLING SERVICES	2,099.05
<b>TOTAL BILLING DIVISION</b>			<b>\$10,166.60</b>
<b>TOTAL WATERWORKS AND SEWERAGE FUND</b>			<b>\$214,894.84</b>
41000024 4507	THORNTON TOMASETTI	SITE VISIT & MTG	87.90
41000024 4507	VENUE ADVISORY, LLC/ ATTN J.BRIGLIA	CONSULTING SERVICES	5,967.50
<b>TOTAL SEARS CENTRE OPERATING FUND</b>			<b>\$6,055.40</b>
46700024 4552	DUNDEE COLLISION INC	INS REPAIRS	589.60
46700024 4552	EILEEN HELLSTROM	PROPERTY DAMAGE	500.00
46700024 4553	FOSTER COACH SALES INC	STAINLESS FENDERETTE	210.36
<b>TOTAL RISK RETENTION</b>			<b>\$1,299.96</b>
<b>TOTAL INSURANCE FUND</b>			<b>\$1,299.96</b>
47001223 4406	DOCUMENT IMAGING DIMENSIONS, INC.	SUPPLIES TONER	2,108.00
<b>TOTAL ADMINISTRATIVE</b>			<b>\$2,108.00</b>
47008524 4507	DLS INTERNET SERVICES	INTERNET SERVICES	400.00
47008524 4507	VISION INTERNET PROVIDERS INC	WEB HOSTING FEE	200.00

VILLAGE OF HOFFMAN ESTATES

8/3/2010

ACCOUNT	VENDOR NAME	DESCRIPTION	TRANSACTION AMOUNT
47008524 4510	W W GRAINGER INC	VARIOUS SUPPLIES	102.16
<b>TOTAL OPERATIONS</b>			<b>\$702.16</b>
<b>TOTAL INFORMATION SYSTEMS FUND</b>			<b>\$2,810.16</b>
50000024 4504	ILL.PUBLIC PENSION ADVISORY COMM.	POLICE PENSION	500.00
50000024 4574	AHC ADVISORS INC	POLICE PENSION FUND	8,263.75
<b>TOTAL POLICE PENSION FUND</b>			<b>\$8,763.75</b>
62000024 4507	ILLINOIS TAX INCREMENT ASSN.	PROPERTY TAX MEMBERSHIP	375.00
<b>TOTAL ROSELLE ROAD TIF FUND</b>			<b>\$375.00</b>

**BILL LIST TOTAL**

**\$2,333,370.27**

SUNGARD PUBLIC SECTOR  
 DATE: 07/28/2010  
 TIME: 12:43:11

VILLAGE OF HOFFMAN ESTATES  
 CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 1  
 ACCTPA21

SELECTION CRITERIA: transact.t\_c='20' and transact.trans\_date between '20100701 00:00:00.000' and '20100728 00:00:00.000'  
 ACCOUNTING PERIOD: 7/10

FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	BUDGET UNIT	DESCRIPTION	SALES TAX	AMOUNT
0102	66182	07/01/10	8757 SAM'S CLUB	01605324	4TH OF JULY WATER	0.00	232.80
0102	66183	07/01/10	8757 SAM'S CLUB	01556524	YOUTH SERVICES	0.00	76.04
0102	66184	07/06/10	13633 BAKER & MILLER PC	01	08AR295 PAYROLL DEDUC	0.00	528.56
0102	66185	07/08/10	13669 BEATRICE J FALCO	01101423	REIMB FOR MICROWAVE	0.00	86.90
0102	66186	07/08/10	13502 BANDA RIKA	01605824	ARTS COMM CONCERT	0.00	1350.00
0102	66187	07/08/10	12949 GREENROOM PRODUCTIONS, I	01605824	ARTS COMM 7/22&7/23	0.00	2300.00
0102	66188	07/08/10	13670 JOHN CRENSHAW	01605824	ARTS COMM 8/5/10	0.00	1085.00
0102	66189	07/08/10	13671 RICK SAUCEDO	01605824	ARTS COMM 08/05/10	0.00	615.00
0102	66190	07/08/10	13672 CHUCK SENTIES	01605824	ARTS COMM 08/07/10	0.00	425.00
0102	66191	07/08/10	11355 R-GANG	01605824	ARTS COMM 08/12/10	0.00	950.00
0102	66192	07/08/10	2659 JAWA	01	RECAP ORD # 2649	0.00	196.89
0102	66193	07/08/10	8211 RYLAND HOMES	40	RECAP ORD 3502	0.00	1410.82
0102	66194	07/08/10	1683 PASQUINELLI	40	RECAP ORD 2884	0.00	333.69
0102	66195	07/08/10	9874 RICOH AMERICAS CORP	40406724	COPIER LEASING	0.00	173.43
0102	66195	07/08/10	9874 RICOH AMERICAS CORP	01401224		0.00	173.43
TOTAL CHECK						0.00	346.86
0102	66196	07/08/10	4898 JEFF KASPER	01605324	REIM 4TH OF JULY EXP	0.00	321.58
0102	66197	07/08/10	4065 THE HOME DEPOT #1904	01505123	VARIOUS SUPPLIES	0.00	103.85
0102	66197	07/08/10	4065 THE HOME DEPOT #1904	01404323	VARIOUS SUPPLIES	0.00	168.22
0102	66197	07/08/10	4065 THE HOME DEPOT #1904	01303523	VARIOUS SUPPLIES	0.00	79.97
0102	66197	07/08/10	4065 THE HOME DEPOT #1904	01404323	VARIOUS SUPPLIES	0.00	251.82
TOTAL CHECK						0.00	603.86
0102	66198	07/09/10	2226 VILL HOFF EST PETTY CASH	01101422	PETTY CASH	0.00	35.50
0102	66198	07/09/10	2226 VILL HOFF EST PETTY CASH	01101222	PETTY CASH	0.00	39.95
0102	66198	07/09/10	2226 VILL HOFF EST PETTY CASH	01101423	PETTY CASH	0.00	8.19
0102	66198	07/09/10	2226 VILL HOFF EST PETTY CASH	01301223	PETTY CASH	0.00	22.04
0102	66198	07/09/10	2226 VILL HOFF EST PETTY CASH	01501222	PETTY CASH	0.00	22.32
0102	66198	07/09/10	2226 VILL HOFF EST PETTY CASH	01505022	PETTY CASH	0.00	78.00
0102	66198	07/09/10	2226 VILL HOFF EST PETTY CASH	01505122	PETTY CASH	0.00	20.00
0102	66198	07/09/10	2226 VILL HOFF EST PETTY CASH	01505922	PETTY CASH	0.00	42.00
0102	66198	07/09/10	2226 VILL HOFF EST PETTY CASH	01556522	PETTY CASH	0.00	23.00
0102	66198	07/09/10	2226 VILL HOFF EST PETTY CASH	01556523	PETTY CASH	0.00	23.04

SUNGARD PUBLIC SECTOR  
 DATE: 07/28/2010  
 TIME: 12:43:11

VILLAGE OF HOFFMAN ESTATES  
 CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 2  
 ACCTPA21

SELECTION CRITERIA: transact.t\_c='20' and transact.trans\_date between '20100701 00:00:00.000' and '20100728 00:00:00.000'  
 ACCOUNTING PERIOD: 7/10

FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	BUDGET UNIT	DESCRIPTION	SALES TAX	AMOUNT
0102	66198	07/09/10	2226	VILL HOFF EST PETTY CASH 01556524	PETTY CASH	0.00	12.31
0102	66198	07/09/10	2226	VILL HOFF EST PETTY CASH 01556524	PETTY CASH	0.00	5.47
0102	66198	07/09/10	2226	VILL HOFF EST PETTY CASH 01605824	PETTY CASH	0.00	16.49
0102	66198	07/09/10	2226	VILL HOFF EST PETTY CASH 09000016	PETTY CASH	0.00	22.70
0102	66198	07/09/10	2226	VILL HOFF EST PETTY CASH 41008023	PETTY CASH	0.00	45.95
TOTAL CHECK						0.00	416.96
0102	66199	07/07/10	13673	CMR CONTRUCTION & ROOFIN 01	OVER PYMT BUS LIC.	0.00	25.00
0102	66200	07/14/10	1156	AT & T 01404424	LANDLINES	0.00	1763.97
0102	66200	07/14/10	1156	AT & T 40406724	LANDLINES	0.00	720.00
TOTAL CHECK						0.00	2483.97
0102	66201	07/14/10	1981	SHELL CREDIT CARD CENTER 01101122	VEHICLE FUEL	0.00	139.70
0102	66201	07/14/10	1981	SHELL CREDIT CARD CENTER 01101423	VEHICLE FUEL	0.00	100.38
TOTAL CHECK						0.00	240.08
0102	66202	07/14/10	10757	LOWE'S HOME CENTERS INC 01404823	VARIOUS SUPPLIES	0.00	39.84
0102	66203	07/15/10	8757	SAM'S CLUB 01303523	FIRE STATION SUPPLIES	0.00	851.44
0102	66226	07/15/10	4496	VERIZON WIRELESS 01101124	WIRELESS SERVICE	0.00	524.92
0102	66226	07/15/10	4496	VERIZON WIRELESS 01101224	WIRELESS SERVICE	0.00	142.01
0102	66226	07/15/10	4496	VERIZON WIRELESS 01101324	WIRELESS SERVICE	0.00	52.44
0102	66226	07/15/10	4496	VERIZON WIRELESS 01101424	WIRELESS SERVICE	0.00	104.89
0102	66226	07/15/10	4496	VERIZON WIRELESS 01101524	WIRELESS SERVICE	0.00	52.44
0102	66226	07/15/10	4496	VERIZON WIRELESS 01101624	WIRELESS SERVICE	0.00	129.56
0102	66226	07/15/10	4496	VERIZON WIRELESS 01102524	WIRELESS SERVICE	0.00	52.44
0102	66226	07/15/10	4496	VERIZON WIRELESS 01106224	WIRELESS SERVICE	0.00	52.44
0102	66226	07/15/10	4496	VERIZON WIRELESS 01107124	WIRELESS SERVICE	0.00	52.44
0102	66226	07/15/10	4496	VERIZON WIRELESS 01201224	WIRELESS SERVICE	0.00	1107.32
0102	66226	07/15/10	4496	VERIZON WIRELESS 01301224	WIRELESS SERVICE	0.00	250.35
0102	66226	07/15/10	4496	VERIZON WIRELESS 01303124	WIRELESS SERVICE	0.00	157.33
0102	66226	07/15/10	4496	VERIZON WIRELESS 01303124	WIRELESS SERVICE	0.00	34.77
0102	66226	07/15/10	4496	VERIZON WIRELESS 01303124	WIRELESS SERVICE	0.00	57.82
0102	66226	07/15/10	4496	VERIZON WIRELESS 01303224	WIRELESS SERVICE	0.00	418.54
0102	66226	07/15/10	4496	VERIZON WIRELESS 01303324	WIRELESS SERVICE	0.00	106.44
0102	66226	07/15/10	4496	VERIZON WIRELESS 01401224	WIRELESS SERVICE	0.00	103.66
0102	66226	07/15/10	4496	VERIZON WIRELESS 01404124	WIRELESS SERVICE	0.00	139.07
0102	66226	07/15/10	4496	VERIZON WIRELESS 01404224	WIRELESS SERVICE	0.00	39.04
0102	66226	07/15/10	4496	VERIZON WIRELESS 01404324	WIRELESS SERVICE	0.00	85.59
0102	66226	07/15/10	4496	VERIZON WIRELESS 01404424	WIRELESS SERVICE	0.00	191.51
0102	66226	07/15/10	4496	VERIZON WIRELESS 01404524	WIRELESS SERVICE	0.00	36.11
0102	66226	07/15/10	4496	VERIZON WIRELESS 01404824	WIRELESS SERVICE	0.00	34.77
0102	66226	07/15/10	4496	VERIZON WIRELESS 01501224	WIRELESS SERVICE	0.00	52.44
0102	66226	07/15/10	4496	VERIZON WIRELESS 01505024	WIRELESS SERVICE	0.00	52.44
0102	66226	07/15/10	4496	VERIZON WIRELESS 01505124	WIRELESS SERVICE	0.00	302.77
0102	66226	07/15/10	4496	VERIZON WIRELESS 01505224	WIRELESS SERVICE	0.00	280.88

SUNGARD PUBLIC SECTOR  
 DATE: 07/28/2010  
 TIME: 12:43:11

VILLAGE OF HOFFMAN ESTATES  
 CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 3  
 ACCTPA21

SELECTION CRITERIA: transact.t\_c='20' and transact.trans\_date between '20100701 00:00:00.000' and '20100728 00:00:00.000'  
 ACCOUNTING PERIOD: 7/10

FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	BUDGET UNIT	DESCRIPTION	SALES TAX	AMOUNT
0102	66226	07/15/10	4496 VERIZON WIRELESS	01505924	WIRELESS SERVICE	0.00	124.94
0102	66226	07/15/10	4496 VERIZON WIRELESS	01556524	WIRELESS SERVICE	0.00	104.89
0102	66226	07/15/10	4496 VERIZON WIRELESS	06750024	WIRELESS SERVICE	0.00	65.26
0102	66226	07/15/10	4496 VERIZON WIRELESS	40406724	WIRELESS SERVICE	0.00	665.91
0102	66226	07/15/10	4496 VERIZON WIRELESS	47001224	WIRELESS SERVICE	0.00	476.14
0102	66226	07/15/10	4496 VERIZON WIRELESS	47001224	WIRELESS SERVICE	0.00	554.98
0102	66226	07/15/10	4496 VERIZON WIRELESS	47001224	WIRELESS SERVICE	0.00	149.95
TOTAL CHECK						0.00	6756.50
0102	66228	07/16/10	2081 CARY J COLLINS	01101122	REIMB EXPENSE	0.00	726.92
0102	66228 V	07/16/10	2081 CARY J COLLINS	01101122	REIMB EXPENSE	0.00	-726.92
TOTAL CHECK						0.00	0.00
0102	66229	07/16/10	13112 CHECK FREE CORPORATION	40400013	REJECTED WTR BILL PMT	0.00	1543.00
0102	66229 V	07/16/10	13112 CHECK FREE CORPORATION	40400013	REJECTED WTR BILL PMT	0.00	-1543.00
TOTAL CHECK						0.00	0.00
0102	66230	07/16/10	2081 CARY J COLLINS	01101122	REIMB EXPENSES	0.00	726.92
0102	66231	07/16/10	13112 CHECK FREE CORPORATION	40400013	RETURN REJ WTR PMT	0.00	1543.00
0102	66232	07/19/10	11803 GLENBARD TOWNSHIP HS	01	INS PMT - R. LARSON	0.00	1666.95
0102	66233	07/19/10	13686 RITA TACONA	01201224	SIGN LANGUAGE INTERP	0.00	130.00
0102	66234	07/26/10	7220 AT&T	01404424	MASTER PHONE	0.00	5101.84
0102	66234	07/26/10	7220 AT&T	40406724	MASTER PHONE	0.00	2243.68
0102	66234	07/26/10	7220 AT&T	40406824	MASTER PHONE	0.00	32.28
TOTAL CHECK						0.00	7377.80
0102	66235	07/26/10	12166 AARP HEALTH CARE OPTIONS	01	INS DEDUCTION	0.00	157.89
0102	66236	07/26/10	11526 MARLIN LEASING CORP	01202324	COPIER LEASING	0.00	284.38
0102	66236	07/26/10	11526 MARLIN LEASING CORP	01303024	COPIER LEASING	0.00	64.21
0102	66236	07/26/10	11526 MARLIN LEASING CORP	01303224	COPIER LEASING	0.00	64.21
0102	66236	07/26/10	11526 MARLIN LEASING CORP	01303124	COPIER LEASING	0.00	192.65
TOTAL CHECK						0.00	605.45
0102	66237	07/26/10	1156 AT & T	01556524	TEEN CENTER PHONE	0.00	122.98
0102	66237	07/26/10	1156 AT & T	01404424	ELEVATOR LINES POLICE	0.00	82.64
0102	66237	07/26/10	1156 AT & T	01404424	VILLAGE LINES	0.00	34.74
TOTAL CHECK						0.00	240.36
0102	66238	07/26/10	12346 SPRINT	01201224	CELL PHONE LINES	0.00	32.46
0102	66238	07/26/10	12346 SPRINT	01505124	CELL PHONE LINES	0.00	28.08
0102	66238	07/26/10	12346 SPRINT	40406724	CELL PHONE LINES	0.00	97.98
0102	66238	07/26/10	12346 SPRINT	47008524	CELL PHONE LINES	0.00	269.32
TOTAL CHECK						0.00	427.84

SUNGARD PUBLIC SECTOR  
DATE: 07/28/2010  
TIME: 12:43:11

VILLAGE OF HOFFMAN ESTATES  
CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 4  
ACCTPA21

SELECTION CRITERIA: transact.t\_c='20' and transact.trans\_date between '20100701 00:00:00.000' and '20100728 00:00:00.000'  
ACCOUNTING PERIOD: 7/10

FUND - 01 - GENERAL FUND

CASH ACCT CHECK NO	ISSUE DT	VENDOR	BUDGET UNIT	DESCRIPTION	SALES TAX	AMOUNT
TOTAL CASH ACCOUNT					0.00	34553.00
TOTAL FUND					0.00	34553.00



SUNGARD PUBLIC SECTOR  
DATE: 07/28/2010  
TIME: 12:43:11

VILLAGE OF HOFFMAN ESTATES  
CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 5  
ACCTPA21

SELECTION CRITERIA: transact.t\_c='20' and transact.trans\_date between '20100701 00:00:00.000' and '20100728 00:00:00.000'  
ACCOUNTING PERIOD: 7/10

FUND - 51 - FIREFIGHTERS PENSION FUND

CASH ACCT	CHECK NO	ISSUE DT	-----VENDOR-----	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
0102	1128	07/14/10	2651 JAMES OSKROBA	51000022	REIM IPAC SEMINAR	0.00	525.92
0102	1129	07/28/10	7937 STANLEY H. JAKALA, ATTOR	51000024	FIRE PENSION	0.00	5700.00
TOTAL CASH ACCOUNT						0.00	6225.92
TOTAL FUND						0.00	6225.92
TOTAL REPORT						0.00	40778.92

# Account Spending Analysis Detail Report

VILLAGE OF HOFFMAN ESTATES  
RACHEL MUSIALA  
1900 HASSELL RD  
HOFFMAN EST, IL 60169-6302 USA



Posting Date: 05/06/2010 Thru 06/05/2010

**Vehicle Related**

XXXX-XXXX-1954-4729 - DAVID A CHRISTENSEN - EMERGENCY MGMT COORD

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
05/05/2010	05/06/2010	EXXONMOBIL 88906185	HINSDALE IL	5542 - FUEL DISPENSER, AUTOMATED	21.22
05/05/2010	05/06/2010	URBANA EXPRESS #620	URBANA IL	5542 - FUEL DISPENSER, AUTOMATED	27.01
05/19/2010	05/20/2010	EXXONMOBIL 88906185	HINSDALE IL	5542 - FUEL DISPENSER, AUTOMATED	11.88
05/19/2010	05/20/2010	URBANA EXPRESS #620	URBANA IL	5542 - FUEL DISPENSER, AUTOMATED	18.79
05/24/2010	05/25/2010	CIRCLE K 160 QPS	SPRINGFIELD IL	5542 - FUEL DISPENSER, AUTOMATED	29.08
05/26/2010	05/27/2010	SPEEDWAY 05379 381	CHANNAHON IL	5542 - FUEL DISPENSER, AUTOMATED	21.02

**Vehicle Related Total** 129.00

**Restaurant**

XXXX-XXXX-1954-4729 - DAVID A CHRISTENSEN - EMERGENCY MGMT COORD

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
05/05/2010	05/06/2010	THE APPLE DUMPLIN	URBANA IL	5812 - EATING PLACES, RESTAURANTS	18.97
05/05/2010	05/06/2010	DD/BR #338747 Q35	WAUCONDA IL	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	35.25
05/18/2010	05/19/2010	STEAK-N-SHAKE#0211 Q99	URBANA IL	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	12.90
05/24/2010	05/26/2010	JIMMY JOHN'S # 9001Q81	CHAMPAIGN IL	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	8.23
05/26/2010	05/27/2010	THE FEED STORE	SPRINGFIELD IL	5812 - EATING PLACES, RESTAURANTS	11.79
05/25/2010	05/27/2010	IHOP #3123	SPRINGFIELD IL	5812 - EATING PLACES, RESTAURANTS	10.70
05/26/2010	05/28/2010	MCDONALD'S F28783 Q17	WILLIAMSVILLE IL	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	10.16

**Restaurant Total** 108.00

**Vehicle Related**

XXXX-XXXX-1954-4737 - MICHAEL DUCHARME - DIRECTOR OF FINANCE

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
05/07/2010	05/10/2010	EXXONMOBIL 97230QPS	OSCEOLA AR	5541 - GAS / SERVICE STATIONS	52.98

**Vehicle Related Total** 52.98

**Lodging**

XXXX-XXXX-1954-4737 - MICHAEL DUCHARME - DIRECTOR OF FINANCE

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
05/11/2010	05/12/2010	MARRIOTT CHICAGO NORTH	HOFFMAN ESTAT IL	3509 - MARRIOTT HOTELS	353.92

**Lodging Total** 353.92

**Retail Services**

XXXX-XXXX-1954-4737 - MICHAEL DUCHARME - DIRECTOR OF FINANCE

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
05/17/2010	05/18/2010	GROOT INDUSTRIES INC 0	07732421977 IL	4900 - UTILITIES ELECTRIC, GAS, SANITARY, WATER	27,485.92

**Retail Services Total** 27,485.92

**Other**

XXXX-XXXX-1954-4737 - MICHAEL DUCHARME - DIRECTOR OF FINANCE

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
05/24/2010	05/26/2010	METEORLOGIX	800-6100777 NE	5969 - DIRECT MARKETING - OTHER DIRECT MARKETERS	199.00

**Other Total** 199.00

# Account Spending Analysis Detail Report

VILLAGE OF HOFFMAN ESTATES  
RACHEL MUSIALA  
1900 HASSELL RD  
HOFFMAN EST, IL 60169-6302 USA



Posting Date: 05/06/2010 Thru 06/05/2010

Retail Services						
XXXX-XXXX-1954-4786 - KENNETH J HARI - DIRECTOR PUBLIC WORKS						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
05/11/2010	05/13/2010	AMERICAN WATERWORKS	08009267337	CO	8699 - ORGANIZATIONS, MEMBERSHIP	78.50
05/19/2010	05/21/2010	AMERICAN WATERWORKS	08009267337	CO	8699 - ORGANIZATIONS, MEMBERSHIP	75.00
<b>Retail Services Total</b>						<b>153.50</b>
Lodging						
XXXX-XXXX-1954-4810 - MARK A KOPLIN - ASST VILLAGE MANAGER						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
05/26/2010	05/28/2010	FLAMINGO HOTEL LAS VEG	LAS VEGAS	NV	3793 - THE FLAMINGO HOTELS	319.20
<b>Lodging Total</b>						<b>319.20</b>
Retail Services						
XXXX-XXXX-1954-4810 - MARK A KOPLIN - ASST VILLAGE MANAGER						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
05/11/2010	05/13/2010	VERIZON WRLS M7225-01	HOFFMAN ESTAT	IL	4812 - TELECOMMUNICATION EQUIPMENT	27.49
<b>Retail Services Total</b>						<b>27.49</b>
Restaurant						
XXXX-XXXX-1954-4844 - WILLIAM D MCLEOD - VILLAGE PRESIDENT						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
05/08/2010	05/11/2010	APPLE VILLA PANCAKE HO	HOFFMAN ESTAT	IL	5812 - EATING PLACES, RESTAURANTS	33.45
05/17/2010	05/19/2010	APPLE VILLA PANCAKE HO	HOFFMAN ESTAT	IL	5812 - EATING PLACES, RESTAURANTS	31.21
05/26/2010	05/28/2010	APPLE VILLA PANCAKE HO	HOFFMAN ESTAT	IL	5812 - EATING PLACES, RESTAURANTS	30.65
<b>Restaurant Total</b>						<b>95.31</b>
Lodging						
XXXX-XXXX-1954-4844 - WILLIAM D MCLEOD - VILLAGE PRESIDENT						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
05/25/2010	05/27/2010	RESIDENCE INNS-LAS VEG	LAS VEGAS	NV	3703 - RESIDENCE INN	567.84
<b>Lodging Total</b>						<b>567.84</b>
Retail Services						
XXXX-XXXX-1954-4844 - WILLIAM D MCLEOD - VILLAGE PRESIDENT						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
05/23/2010	05/25/2010	TAXI-VEGAS.COM QPS	LAS VEGAS	NV	4121 - LIMOUSINES AND TAXICABS	14.30
05/25/2010	05/27/2010	TAXI-CHARGE.COM	NEW YORK	NY	4121 - LIMOUSINES AND TAXICABS	22.00
<b>Retail Services Total</b>						<b>36.30</b>
Restaurant						
XXXX-XXXX-1954-4869 - RACHEL E MUSIALA - ASST FINANCE DIRECTOR						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
06/03/2010	06/04/2010	JIMMY JOHNS # 650 QPS	HOFFMAN EST	IL	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	57.00
<b>Restaurant Total</b>						<b>57.00</b>

# Account Spending Analysis Detail Report

VILLAGE OF HOFFMAN ESTATES  
 RACHEL MUSIALA  
 1900 HASSELL RD  
 HOFFMAN EST, IL 60169-6302 USA



Posting Date: 05/06/2010 Thru 06/05/2010

Retail Services						
XXXX-XXXX-1954-4869 - RACHEL E MUSIALA - ASST FINANCE DIRECTOR						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
05/14/2010	05/17/2010	PROAUDIOVID	3304942100	OH	5732 - ELECTRONICS SALES	95.54
<b>Retail Services Total</b>						<b>95.54</b>
Other						
XXXX-XXXX-1954-4869 - RACHEL E MUSIALA - ASST FINANCE DIRECTOR						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
05/20/2010	05/21/2010	NEOPOST USA	MILFORD	CT	5046 - COMMERCIAL EQUIPMENT NOT ELSEWHERE CLASSIFIED	215.95
<b>Other Total</b>						<b>215.95</b>
Retail Services						
XXXX-XXXX-1954-4935 - DEBRA SCHOOP - EXECUTIVE ASSISTANT						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
05/23/2010	05/25/2010	RONALD E. HAYWARD	PALATINE	IL	4121 - LIMOUSINES AND TAXICABS	66.00
05/23/2010	05/25/2010	RONALD E. HAYWARD	PALATINE	IL	4121 - LIMOUSINES AND TAXICABS	63.00
<b>Retail Services Total</b>						<b>129.00</b>
Restaurant						
XXXX-XXXX-1954-4968 - GARY L SKOOG - DIRECTOR ECON DEV						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
05/17/2010	05/19/2010	ROOKIES 4	HOFFMAN ESTAT	IL	5812 - EATING PLACES, RESTAURANTS	28.31
<b>Restaurant Total</b>						<b>28.31</b>
Lodging						
XXXX-XXXX-1954-4968 - GARY L SKOOG - DIRECTOR ECON DEV						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
05/22/2010	05/24/2010	FLAMINGO HOTEL LAS VEG	LAS VEGAS	NV	3793 - THE FLAMINGO HOTELS	123.20
05/25/2010	05/27/2010	FLAMINGO HOTEL LAS VEG	LAS VEGAS	NV	3793 - THE FLAMINGO HOTELS	270.59
<b>Lodging Total</b>						<b>393.79</b>
Retail Services						
XXXX-XXXX-1954-4968 - GARY L SKOOG - DIRECTOR ECON DEV						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
05/14/2010	05/17/2010	LBP*REALESTATECOMMGRP	312-416-1860	IL	7399 - BUSINESS SERVICES NOT ELSEWHERE CLASSIFIED	(129.00)
05/21/2010	05/24/2010	SMART SOURCE	SAN DIEGO	CA	7394 - EQUIPMENT RENTAL, LEASING, FURNITURE TOOL RENTAL	681.03
05/26/2010	05/27/2010	AMERICAN TAXI DISPATCH	MT. PROSPECT	IL	4121 - LIMOUSINES AND TAXICABS	43.00
05/28/2010	05/31/2010	SMART SOURCE	SAN DIEGO	CA	7394 - EQUIPMENT RENTAL, LEASING, FURNITURE TOOL RENTAL	270.25
<b>Retail Services Total</b>						<b>865.28</b>

# Account Spending Analysis Detail Report

VILLAGE OF HOFFMAN ESTATES  
 RACHEL MUSIALA  
 1900 HASSELL RD  
 HOFFMAN EST, IL 60169-6302 USA



Posting Date: 05/06/2010 Thru 06/05/2010

**Other**

XXXX-XXXX-1954-4968 - GARY L SKOOG - DIRECTOR ECON DEV

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
05/13/2010	05/14/2010	GLOBAL EXPERIENCE SPEC	08004752098 NV	5969 - DIRECT MARKETING - OTHER DIRECT MARKETERS	160.94
05/25/2010	05/27/2010	INTERNET ACCESS	702-595-2049 NV	4816 - COMPUTER NETWORK/INFORMATION SERVICES	6.95

**Other Total** 167.89

**Passenger Transport**

XXXX-XXXX-1954-4968 - GARY L SKOOG - DIRECTOR ECON DEV

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
05/21/2010	05/24/2010	CONVENTION CNTR MONORA	LAS VEGAS NV	4111 - TRANSPORTATION COMMUTER PASSENGER	28.00
05/23/2010	05/25/2010	FLAMINGO STATION MONOR	LAS VEGAS NV	4111 - TRANSPORTATION COMMUTER PASSENGER	28.00

**Passenger Transport Total** 56.00

**Other**

XXXX-XXXX-2000-9928 - BEVERLY ROMANOFF - VILLAGE CLERK

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
05/27/2010	05/31/2010	ORIENTAL TRADING CO	800-2280475 NE	5964 - DIRECT MARKETING - CATALOG MERCHANTS	67.90

**Other Total** 67.90

**Retail Services**

XXXX-XXXX-2001-2633 - KENNETH GOMOLL - P.W.SUPERINTENDENT

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
05/17/2010	05/18/2010	E Z UP DIRECT COM LLC	909-4332319 CA	5998 - TENT AND AWNING SHOPS	122.99

**Retail Services Total** 122.99

**Restaurant**

XXXX-XXXX-2043-0538 - MONICA SAAVEDRA - ASSISTANT DIRECTOR

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
06/03/2010	06/04/2010	ASTA LA PASTA	HOFFMAN ESTAT IL	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	62.37

**Restaurant Total** 62.37

**Retail Services**

XXXX-XXXX-2043-0538 - MONICA SAAVEDRA - ASSISTANT DIRECTOR

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
06/01/2010	06/02/2010	JEWEL #3316 Q	HOFFMAN ESTAT IL	5411 - GROCERY STORES, SUPERMARKETS	24.32
06/03/2010	06/04/2010	VALLI PRODUCE OF H	HOFFMAN ESTAT IL	5411 - GROCERY STORES, SUPERMARKETS	35.78

**Retail Services Total** 60.10

**Retail Services**

XXXX-XXXX-2049-6752 - GREGORY SCHULDT - ASSISTANT FIRE CHIEF

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
05/11/2010	05/12/2010	NATL FIRE PROTECTION	800-344-3555 MA	8398 - ORGANIZATIONS, CHARITABLE AND SOCIAL SERVICE	37.30
05/18/2010	05/19/2010	DIGITAL COMBUSTION INC	949-3481120 CA	7372 - COMPUTER PROGRAMMING, DATA PROCESSING	435.25

**Retail Services Total** 472.55

# Account Spending Analysis Detail Report

VILLAGE OF HOFFMAN ESTATES  
 RACHEL MUSIALA  
 1900 HASSELL RD  
 HOFFMAN EST, IL 60169-6302 USA



Posting Date: 05/06/2010 Thru 06/05/2010

Restaurant						
XXXX-XXXX-2068-2021 - MICHAEL K BRADY - MCAT DIRECTOR						
Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount	
05/20/2010	05/21/2010	DUNKIN #347245 Q35	E DUNDEE IL	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	36.79	
05/20/2010	05/21/2010	DUNKIN #347245 Q35	E DUNDEE IL	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	13.07	
05/20/2010	05/24/2010	STONEWOOD ALE HOUSE	SCHAUMBERG IL	5812 - EATING PLACES, RESTAURANTS	73.14	
<b>Restaurant Total</b>						<b>123.00</b>
Retail Services						
XXXX-XXXX-2068-8200 - BOB MARKKO - FLEET SERVICES SUPR						
Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount	
05/07/2010	05/10/2010	IL SECRETARY OF STATE	SPRINGFIELD IL	9399 - GOVERNMENT SERVICES NOT ELSEWHERE CLASSIFIED	117.41	
05/20/2010	05/24/2010	IL SECRETARY OF STATE	SPRINGFIELD IL	9399 - GOVERNMENT SERVICES NOT ELSEWHERE CLASSIFIED	10.65	
<b>Retail Services Total</b>						<b>128.06</b>
Restaurant						
XXXX-XXXX-2135-9298 - EMILY A KEROUS - DIR OF OPS MYR & BD						
Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount	
05/10/2010	05/12/2010	ROOKIES 4	HOFFMAN ESTAT IL	5812 - EATING PLACES, RESTAURANTS	67.71	
05/17/2010	05/18/2010	JIMMY JOHNS OF HOFFQPS	HOFFMAN EST IL	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	77.46	
<b>Restaurant Total</b>						<b>145.17</b>
Retail Services						
XXXX-XXXX-2135-9298 - EMILY A KEROUS - DIR OF OPS MYR & BD						
Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount	
05/14/2010	05/17/2010	JEWEL #3316 Q	HOFFMAN ESTAT IL	5411 - GROCERY STORES, SUPERMARKETS	34.41	
05/17/2010	05/18/2010	JEWEL #3316 Q	HOFFMAN ESTAT IL	5411 - GROCERY STORES, SUPERMARKETS	64.92	
05/19/2010	05/21/2010	SEARS ROEBUCK 1570	SCHAUMBERG IL	5311 - DEPARTMENT STORES	32.98	
<b>Retail Services Total</b>						<b>132.31</b>
Restaurant						
XXXX-XXXX-0111-8159 - ALGEAN GARNER - ASST DIR HHS						
Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount	
05/05/2010	05/06/2010	DEE ENTERPRISES INCQPS	ELGIN IL	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	665.00	
05/22/2010	05/24/2010	DD/BR #308336 Q35	HOFFMAN ESTAT IL	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	17.90	
<b>Restaurant Total</b>						<b>682.90</b>
Retail Services						
XXXX-XXXX-0111-8159 - ALGEAN GARNER - ASST DIR HHS						
Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount	
05/22/2010	05/24/2010	DOMINICKS STOR00011QPS	HOFFMAN ESTAT IL	5411 - GROCERY STORES, SUPERMARKETS	14.93	
05/26/2010	05/27/2010	JEWEL #3316 Q	HOFFMAN ESTAT IL	5411 - GROCERY STORES, SUPERMARKETS	157.85	
05/26/2010	05/28/2010	FACTORY CARD OUTLET #2	HOFFMANESTATE IL	5999 - MISCELLANEOUS AND SPECIALTY RETAIL STORES	6.03	
<b>Retail Services Total</b>						<b>178.81</b>

# Account Spending Analysis Detail Report

VILLAGE OF HOFFMAN ESTATES  
 RACHEL MUSIALA  
 1900 HASSELL RD  
 HOFFMAN EST, IL 60169-6302 USA



Posting Date: 05/06/2010 Thru 06/05/2010

Lodging  
 XXXX-XXXX-0156-3768 - JAMES H NORRIS - VILLAGE MANAGER

Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
05/25/2010	05/27/2010	FLAMINGO HOTEL LAS VEG	LAS VEGAS	NV	3793 - THE FLAMINGO HOTELS	61.60

**Lodging Total** 61.60

Retail Services  
 XXXX-XXXX-0156-3784 - CLINT HERDEGEN - POLICE CHIEF

Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
05/20/2010	05/21/2010	CHICAGO CHAPTER OF IFM	03122360900	IL	8244 - SCHOOLS, BUSINESS AND SECRETARIAL	390.00
05/20/2010	05/21/2010	CHICAGO CHAPTER OF IFM	03122360900	IL	8244 - SCHOOLS, BUSINESS AND SECRETARIAL	(390.00)
05/20/2010	05/21/2010	ILL FIRE & POLICE COMM	06305711080	IL	8641 - ASSOCIATIONS CIVIC, SOCIAL, AND FRATERNAL	390.00

**Retail Services Total** 390.00

Other  
 XXXX-XXXX-0156-3784 - CLINT HERDEGEN - POLICE CHIEF

Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
05/14/2010	05/17/2010	MARLOW WHITE UNIFORMS	913-6516358	KS	5969 - DIRECT MARKETING - OTHER DIRECT MARKETERS	202.00

**Other Total** 202.00

Retail Services  
 XXXX-XXXX-0162-7589 - GORDON EAKEN - DIRECTOR OF INFO SYS

Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
05/13/2010	05/14/2010	AMAZON MKTPLACE PMTS	AMZN.COM/BILL	WA	5942 - BOOK STORES	18.94
05/22/2010	05/24/2010	COMCAST CABLE COMM	800-COMCAST	IL	4899 - CABLE AND OTHER PAY TELEVISION SERVICES	64.95
05/25/2010	05/27/2010	IPSWITCH INC	781-6765788	MA	5734 - COMPUTER SOFTWARE STORES	115.00
06/03/2010	06/04/2010	REDYBATTERY	8562283833	NJ	7372 - COMPUTER PROGRAMMING, DATA PROCESSING	31.50

**Retail Services Total** 230.39

Other  
 XXXX-XXXX-0162-7589 - GORDON EAKEN - DIRECTOR OF INFO SYS

Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
05/06/2010	05/06/2010	SYX*TIGERDIRECT.COM	800-888-4437	FL	5045 - COMPUTERS, COMPUTER PERIPHERAL EQUIPMENT, SOFTWARE	61.09
05/13/2010	05/14/2010	CDW GOVERNMENT	800-750-4239	IL	5964 - DIRECT MARKETING - CATALOG MERCHANTS	448.25
05/21/2010	05/24/2010	CDW GOVERNMENT	800-750-4239	IL	5964 - DIRECT MARKETING - CATALOG MERCHANTS	155.60
05/24/2010	05/25/2010	CDW GOVERNMENT	800-750-4239	IL	5964 - DIRECT MARKETING - CATALOG MERCHANTS	53.88
06/02/2010	06/03/2010	CDW GOVERNMENT	800-750-4239	IL	5964 - DIRECT MARKETING - CATALOG MERCHANTS	350.10

**Other Total** 1,068.92

**Total Amount:** 35,666.29

# Account Spending Analysis Detail Report

VILLAGE OF HOFFMAN ESTATES  
 RACHEL MUSIALA  
 1900 HASSELL RD  
 HOFFMAN EST, IL 60169-6302 USA



Posting Date: 04/06/2010 Thru 05/05/2010

Vehicle Related						
XXXX-XXXX-1954-4729 - DAVID A CHRISTENSEN - EMERGENCY MGMT COORD						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
04/05/2010	04/06/2010	EXXONMOBIL 89906185	HINSDALE	IL	5542 - FUEL DISPENSER, AUTOMATED	12.16
04/05/2010	04/06/2010	CASEYS 00016485	URBANA	IL	5542 - FUEL DISPENSER, AUTOMATED	17.73
04/17/2010	04/19/2010	EXXONMOBIL 96041256	MARENGO	IL	5542 - FUEL DISPENSER, AUTOMATED	12.04
04/17/2010	04/19/2010	SHELL OIL 574416897QPS	EL PASO	IL	5541 - GAS / SERVICE STATIONS	20.04
<b>Vehicle Related Total</b>						<b>61.97</b>
Restaurant						
XXXX-XXXX-1954-4729 - DAVID A CHRISTENSEN - EMERGENCY MGMT COORD						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
04/14/2010	04/16/2010	ALEXANDERS STEAKHOUSE	PEORIA	IL	5812 - EATING PLACES, RESTAURANTS	58.46
04/15/2010	04/19/2010	PEPPERTREE	PEORIA	IL	5812 - EATING PLACES, RESTAURANTS	8.76
<b>Restaurant Total</b>						<b>67.22</b>
Other						
XXXX-XXXX-1954-4729 - DAVID A CHRISTENSEN - EMERGENCY MGMT COORD						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
04/26/2010	04/27/2010	LULU PRESS INC QPS	919-459-5858	NC	5192 - BOOKS, PERIODICALS AND NEWSPAPERS	167.65
05/03/2010	05/04/2010	INFORMED PUBLISHING	888-6248014	OR	2741 - MISCELLANEOUS PUBLISHING AND PRINTING	189.79
<b>Other Total</b>						<b>357.48</b>
Vehicle Related						
XXXX-XXXX-1954-4737 - MICHAEL DUCHARME - DIRECTOR OF FINANCE						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
05/02/2010	05/03/2010	EXXONMOBIL 96348QPS	EFFINGHAM	IL	5541 - GAS / SERVICE STATIONS	72.50
<b>Vehicle Related Total</b>						<b>72.50</b>
Restaurant						
XXXX-XXXX-1954-4737 - MICHAEL DUCHARME - DIRECTOR OF FINANCE						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
04/12/2010	04/14/2010	KFC Y200043 12000QPS	HOFFMAN ESTAT	IL	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	44.51
<b>Restaurant Total</b>						<b>44.51</b>
Lodging						
XXXX-XXXX-1954-4737 - MICHAEL DUCHARME - DIRECTOR OF FINANCE						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
04/21/2010	04/22/2010	MARRIOTT CHICAGO NORTH	HOFFMAN ESTAT	IL	3509 - MARRIOTT HOTELS	973.28
<b>Lodging Total</b>						<b>973.28</b>
Retail Services						
XXXX-XXXX-1954-4737 - MICHAEL DUCHARME - DIRECTOR OF FINANCE						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
04/15/2010	04/16/2010	GROOT INDUSTRIES INC O	07732421977	IL	4900 - UTILITIES ELECTRIC, GAS, SANITARY, WATER	27,485.92
<b>Retail Services Total</b>						<b>27,485.92</b>



# Account Spending Analysis Detail Report

VILLAGE OF HOFFMAN ESTATES  
 RACHEL MUSIALA  
 1900 HASSELL RD  
 HOFFMAN EST, IL 60169-6302 USA



Posting Date: 04/06/2010 Thru 05/05/2010

Other  
 XXXX-XXXX-1954-4737 - MICHAEL DUCHARME - DIRECTOR OF FINANCE

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
04/22/2010	04/26/2010	METEORLOGIX	800-6100777 NE	5969 - DIRECT MARKETING - OTHER DIRECT MARKETERS	199.00

Other Total 199.00

Other  
 XXXX-XXXX-1954-4778 - ROBERT GORVETT - FIRE CHIEF

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
04/23/2010	04/26/2010	INFORMED PUBLISHING	888-6248014 OR	2741 - MISCELLANEOUS PUBLISHING AND PRINTING	90.00

Other Total 90.00

Restaurant  
 XXXX-XXXX-1954-4786 - KENNETH J HARI - DIRECTOR PUBLIC WORKS

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
04/15/2010	04/19/2010	SUBWAY 00052QPS	HOFFMAN ESTAT IL	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	370.10

Restaurant Total 370.10

Retail Services  
 XXXX-XXXX-1954-4786 - KENNETH J HARI - DIRECTOR PUBLIC WORKS

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
04/15/2010	04/19/2010	PETERSON'S TASTY DELIG	HOFFMAN ESTAT IL	5462 - BAKERIES	64.00
04/22/2010	04/26/2010	AMERICAN WATERWORKS	08009267337 CO	8699 - ORGANIZATIONS, MEMBERSHIP	182.00

Retail Services Total 246.00

Other  
 XXXX-XXXX-1954-4786 - KENNETH J HARI - DIRECTOR PUBLIC WORKS

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
04/13/2010	04/14/2010	AMERICAN PUBLIC WORKS	08164726100 MO	5969 - DIRECT MARKETING - OTHER DIRECT MARKETERS	151.00
04/23/2010	04/26/2010	AMERICAN PUBLIC WORKS	08164726100 MO	5969 - DIRECT MARKETING - OTHER DIRECT MARKETERS	240.00

Other Total 391.00

Retail Services  
 XXXX-XXXX-1954-4802 - JEFF JORIAN - DEPUTY FIRE CHIEF

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
04/09/2010	04/12/2010	GRILLPARTS COM	850-6505804 FL	5719 - MISCELLANEOUS HOUSE FURNISHING SPECIALTY SHOPS	187.53
04/22/2010	04/22/2010	LABOR RELATIONS INFO S	05032825440 OR	5734 - COMPUTER SOFTWARE STORES	250.00

Retail Services Total 437.53

Restaurant  
 XXXX-XXXX-1954-4810 - MARK A KOPLIN - ASST VILLAGE MANAGER

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
04/13/2010	04/14/2010	JIMMY JOHNS OF HOFFQPS	HOFFMAN EST IL	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	22.66
04/20/2010	04/22/2010	NEIGHBORHOOD INN INC.	847-843-8048 IL	5812 - EATING PLACES, RESTAURANTS	38.52

Restaurant Total 61.18

# Account Spending Analysis Detail Report

VILLAGE OF HOFFMAN ESTATES  
 RACHEL MUSIALA  
 1900 HASSELL RD  
 HOFFMAN EST, IL 60169-6302 USA



Posting Date: 04/06/2010 Thru 05/05/2010

Other  
 XXXX-XXXX-1954-4810 - MARK A KOPLIN - ASST VILLAGE MANAGER

Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
04/13/2010	04/14/2010	NIU OUTREACH	08157530275	IL	8220 - COLLEGES, UNIVERSITIES, PROFESSIONAL SCHOOLS	59.00
04/15/2010	04/16/2010	NIU OUTREACH	08157530275	IL	8220 - COLLEGES, UNIVERSITIES, PROFESSIONAL SCHOOLS	59.00

Other Total 118.00

Retail Services  
 XXXX-XXXX-1954-4810 - MARK A KOPLIN - ASST VILLAGE MANAGER

Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
04/13/2010	04/14/2010	US GREEN BUILD COUNCIL	2028287422	DC	6641 - ASSOCIATIONS CIVIC, SOCIAL, AND FRATERNAL	127.50

Retail Services Total 127.50

Restaurant  
 XXXX-XXXX-1954-4844 - WILLIAM D MCLEOD - VILLAGE PRESIDENT

Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
04/07/2010	04/09/2010	APPLE VILLA PANCAKE HO	HOFFMAN ESTAT	IL	5812 - EATING PLACES, RESTAURANTS	29.19
04/09/2010	04/12/2010	MILLROSE RESTAURANT	BARRINGTON	IL	5812 - EATING PLACES, RESTAURANTS	90.51
04/12/2010	04/14/2010	FIRST PLACE SPORTS BAR	HOFFMAN ESTAT	IL	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	27.78
04/14/2010	04/16/2010	SEBASTIAN'S HIDEOUT	SPRINGFIELD	IL	5812 - EATING PLACES, RESTAURANTS	31.33
04/26/2010	04/28/2010	FIRST PLACE SPORTS BAR	HOFFMAN ESTAT	IL	5812 - EATING PLACES, RESTAURANTS	28.57
04/27/2010	04/28/2010	RED ROBIN 474 HOFFMAN	HOFFMAN EST	IL	5812 - EATING PLACES, RESTAURANTS	39.42

Restaurant Total 246.80

Lodging  
 XXXX-XXXX-1954-4844 - WILLIAM D MCLEOD - VILLAGE PRESIDENT

Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
04/15/2010	04/19/2010	PRESIDENT ABRAHAM LINC	SPRINGFIELD	IL	7011 - LODGING HOTELS, MOTELS, RESORTS	255.36

Lodging Total 255.36

Retail Services  
 XXXX-XXXX-1954-4844 - WILLIAM D MCLEOD - VILLAGE PRESIDENT

Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
04/15/2010	04/19/2010	PRAIRIE CAPITAL CONV C	SPRINGFIELD	IL	7399 - BUSINESS SERVICES NOT ELSEWHERE CLASSIFIED	7.00

Retail Services Total 7.00

Restaurant  
 XXXX-XXXX-1954-4869 - RACHEL E MUSIALA - ASST FINANCE DIRECTOR

Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
04/15/2010	04/16/2010	PANDA EXPRESS 1401	HOFFMAN ESTAT	IL	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	348.00

Restaurant Total 348.00

# Account Spending Analysis Detail Report

VILLAGE OF HOFFMAN ESTATES  
RACHEL MUSIALA  
1900 HASSELL RD  
HOFFMAN EST, IL 60169-6302 USA



Posting Date: 04/06/2010 Thru 05/05/2010

**Retail Services**  
XXXX-XXXX-1954-4869 - RACHEL E MUSIALA - ASST FINANCE DIRECTOR

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
04/14/2010	04/15/2010	DOMINICKS STOR00017905	CARPENTERSVLL IL	5411 - GROCERY STORES, SUPERMARKETS	9.13
04/14/2010	04/16/2010	NATIONAL ASSOCIATION O	703-5198035 VA	8398 - ORGANIZATIONS, CHARITABLE AND SOCIAL SERVICE	260.00
04/22/2010	04/23/2010	USPS 16706401933308QPS	HOFFMAN ESTAT IL	9402 - POSTAL SERVICES-GOVERNMENT ONLY	64.55
05/03/2010	05/05/2010	HOFFMAN ESTATES VILLAG	HOFFMAN ESTAT IL	9399 - GOVERNMENT SERVICES NOT ELSEWHERE CLASSIFIED	10.00

**Retail Services Total** 343.68

**Other**  
XXXX-XXXX-1954-4869 - RACHEL E MUSIALA - ASST FINANCE DIRECTOR

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
04/10/2010	04/12/2010	NEOPOST USA	MILFORD CT	5046 - COMMERCIAL EQUIPMENT NOT ELSEWHERE CLASSIFIED	65.85
04/16/2010	04/19/2010	MITCHELL INSTRUMENTS C	SAN MARCOS CA	5065 - ELECTRICAL PARTS AND EQUIPMENT	1,382.95
04/20/2010	04/21/2010	CHERRYS INDUSTRIAL EQU	03603500200 IL	5969 - DIRECT MARKETING - OTHER DIRECT MARKETERS	200.00
04/23/2010	04/26/2010	ZA INTERNATIONAL	SCOTTSDALE AZ	4816 - COMPUTER NETWORK/INFORMATION SERVICES	149.77
04/28/2010	04/28/2010	BURROUGHS PAY SYSTEMS	07347374000 MI	5046 - COMMERCIAL EQUIPMENT NOT ELSEWHERE CLASSIFIED	102.23

**Other Total** 1,900.80

**Lodging**  
XXXX-XXXX-1954-4935 - DEBRA SCHOOP - EXECUTIVE ASSISTANT

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
04/27/2010	04/29/2010	FLAMINGO HOTEL RSVN	LAS VEGAS NV	3793 - THE FLAMINGO HOTELS	134.40
04/27/2010	04/29/2010	FLAMINGO HOTEL RSVN	LAS VEGAS NV	3793 - THE FLAMINGO HOTELS	134.40
04/27/2010	04/29/2010	FLAMINGO HOTEL RSVN	LAS VEGAS NV	3793 - THE FLAMINGO HOTELS	134.40
04/27/2010	04/29/2010	FLAMINGO HOTEL RSVN	LAS VEGAS NV	3793 - THE FLAMINGO HOTELS	134.40
04/27/2010	04/29/2010	FLAMINGO HOTEL RSVN	LAS VEGAS NV	3793 - THE FLAMINGO HOTELS	61.60
04/27/2010	04/29/2010	FLAMINGO HOTEL RSVN	LAS VEGAS NV	3793 - THE FLAMINGO HOTELS	61.60

**Lodging Total** 660.80

**Restaurant**  
XXXX-XXXX-1954-4950 - PATRICK J SEGER - DIR HUMAN RESOURCES

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
04/08/2010	04/09/2010	PANERA BREAD #913 Q53	STEAMWOOD IL	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	13.35

**Restaurant Total** 13.35

**Lodging**  
XXXX-XXXX-1954-4950 - PATRICK J SEGER - DIR HUMAN RESOURCES

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
04/30/2010	05/03/2010	MARRIOTT 337V6NOCONVCT	NEW ORLEANS LA	3509 - MARRIOTT HOTELS	1,149.30

**Lodging Total** 1,149.30

# Account Spending Analysis Detail Report

VILLAGE OF HOFFMAN ESTATES  
 RACHEL MUSIALA  
 1900 HASSELL RD  
 HOFFMAN EST, IL 60169-6302 USA



Posting Date: 04/06/2010 Thru 05/05/2010

## Retail Services

XXXX-XXXX-1954-4950 - PATRICK J SEGER - DIR HUMAN RESOURCES

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
04/25/2010	04/26/2010	AMERICAN DEPENDABLE	8152454683 IL	4121 - LIMOUSINES AND TAXICABS	42.00
04/24/2010	04/26/2010	AIRPORT SHUTTLE	5042125901 LA	4121 - LIMOUSINES AND TAXICABS	38.00
04/30/2010	05/03/2010	AMERICAN DEPENDABLE	8152454683 IL	4121 - LIMOUSINES AND TAXICABS	47.00

Retail Services Total 127.00

## Passenger Transport

XXXX-XXXX-1954-4950 - PATRICK J SEGER - DIR HUMAN RESOURCES

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
04/24/2010	04/27/2010	UNITED 0164516912236	CHICAGO IL	3000 - UNITED AIRLINES	25.00
04/29/2010	05/04/2010	UNITED 0164516866465	CHICAGO IL	3000 - UNITED AIRLINES	23.00

Passenger Transport Total 48.00

## Restaurant

XXXX-XXXX-1954-4968 - GARY L SKOOG - DIRECTOR ECON DEV

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
04/21/2010	04/23/2010	ROSE GARDEN CAFE	BLK GROVE VIL IL	5812 - EATING PLACES, RESTAURANTS	15.10

Restaurant Total 15.10

## Retail Services

XXXX-XXXX-1954-4968 - GARY L SKOOG - DIRECTOR ECON DEV

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
04/09/2010	04/12/2010	DIVINE SIGNS	SCHAUMBURG IL	7299 - OTHER SERVICES (NOT ELSEWHERE CLASSIFIED)	369.42
04/13/2010	04/14/2010	LBP*REALESTATECOMMGRP	312-416-1860 IL	7399 - BUSINESS SERVICES NOT ELSEWHERE CLASSIFIED	129.00
04/14/2010	04/15/2010	PAYPAL *HE CHAMBER	4029357733 IL	8398 - ORGANIZATIONS, CHARITABLE AND SOCIAL SERVICE	30.00
04/16/2010	04/19/2010	CHICAGO PARKING METERS	CHICAGO IL	7523 - AUTOMOBILE PARKING LOTS AND GARAGES	2.50
04/20/2010	04/21/2010	BT & D AUDIO/VISUAL, I	EAST DUNDEE IL	7399 - BUSINESS SERVICES NOT ELSEWHERE CLASSIFIED	50.00
04/20/2010	04/22/2010	OFFICE MAX	HOFFMAN ESTAT IL	5943 - OFFICE, SCHOOL SUPPLY, AND STATIONERY STORES	51.79
04/21/2010	04/23/2010	HOFFMAN ESTATES CHAMBR	HOFFMAN ESTAT IL	8641 - ASSOCIATIONS CIVIC, SOCIAL, AND FRATERNAL	500.00

Retail Services Total 1,132.71

## Other

XXXX-XXXX-1954-4968 - GARY L SKOOG - DIRECTOR ECON DEV

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
04/05/2010	04/07/2010	MINUTEMAN PRESS	HOFFMAN ESTAT IL	2741 - MISCELLANEOUS PUBLISHING AND PRINTING	138.00
04/09/2010	04/12/2010	ALLEGRA PRINT & IMAGIN	GLENDALE HTS IL	2741 - MISCELLANEOUS PUBLISHING AND PRINTING	236.17
04/09/2010	04/12/2010	GLOBAL EXPERIENCE SPEC	08004752098 NV	5969 - DIRECT MARKETING - OTHER DIRECT MARKETERS	268.40
04/25/2010	04/26/2010	GLOBAL EXPERIENCE SPEC	08004752098 NV	5969 - DIRECT MARKETING - OTHER DIRECT MARKETERS	219.00

Other Total 861.57

## Retail Services

XXXX-XXXX-2000-9894 - STEVEN CASSTEVENS - ASST POLICE CHIEF

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
04/29/2010	05/03/2010	WAL-MART	STREAMWOOD IL	5310 - DISCOUNT STORES	18.00

Retail Services Total 18.00

# Account Spending Analysis Detail Report

VILLAGE OF HOFFMAN ESTATES  
RACHEL MUSIALA  
1900 HASSELL RD  
HOFFMAN EST, IL 60169-6302 USA

Posting Date: 04/06/2010 Thru 05/05/2010



Vehicle Related						
XXXX-XXXX-2001-2591 - MICHAEL HISH - ASST CHIEF						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
04/15/2010	04/19/2010	SHELL OIL 574414869QPS	WENONA	IL	5542 - FUEL DISPENSER, AUTOMATED	30.23
04/17/2010	04/19/2010	SHELL OIL 574414869QPS	WENONA	IL	5542 - FUEL DISPENSER, AUTOMATED	35.50
<b>Vehicle Related Total</b>						<b>65.73</b>
Restaurant						
XXXX-XXXX-2001-2633 - KENNETH GOMOLL - P.W.SUPERINTENDENT						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
04/21/2010	04/23/2010	APPLE VILLA PANCAKE HO	HOFFMAN ESTAT	IL	5812 - EATING PLACES, RESTAURANTS	57.48
<b>Restaurant Total</b>						<b>57.48</b>
Retail Services						
XXXX-XXXX-2001-2633 - KENNETH GOMOLL - P.W.SUPERINTENDENT						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
04/22/2010	04/23/2010	ROCKHURST UNIVERSITY C	913-4327755	KS	8249 - SCHOOLS, TRADE AND VOCATIONAL	149.00
<b>Retail Services Total</b>						<b>149.00</b>
Restaurant						
XXXX-XXXX-2043-0538 - MONICA SAAVEDRA - ASSISTANT DIRECTOR						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
04/19/2010	04/21/2010	GARIBALDIS	HOFFMAN ESTAT	IL	5812 - EATING PLACES, RESTAURANTS	29.05
<b>Restaurant Total</b>						<b>29.05</b>
Retail Services						
XXXX-XXXX-2043-0538 - MONICA SAAVEDRA - ASSISTANT DIRECTOR						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
04/20/2010	04/21/2010	JEWEL #3316 Q	HOFFMAN ESTAT	IL	5411 - GROCERY STORES, SUPERMARKETS	24.32
04/27/2010	04/28/2010	JEWEL #3316 Q	HOFFMAN ESTAT	IL	5411 - GROCERY STORES, SUPERMARKETS	25.42
05/03/2010	05/05/2010	MI ALEGRIA BAKERY	MELROSE PARK	IL	5462 - BAKERIES	18.41
<b>Retail Services Total</b>						<b>68.15</b>
Other						
XXXX-XXXX-2043-0538 - MONICA SAAVEDRA - ASSISTANT DIRECTOR						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
04/07/2010	04/09/2010	ORIENTAL TRADING CO	800-2280475	NE	5964 - DIRECT MARKETING - CATALOG MERCHANTS	36.97
<b>Other Total</b>						<b>36.97</b>
Retail Services						
XXXX-XXXX-2049-6752 - GREGORY SCHULDT - ASSISTANT FIRE CHIEF						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
04/06/2010	04/07/2010	MEDTEQSOLUT	5198220118	ON	8249 - SCHOOLS, TRADE AND VOCATIONAL	295.00
<b>Retail Services Total</b>						<b>295.00</b>

# Account Spending Analysis Detail Report

VILLAGE OF HOFFMAN ESTATES  
 RACHEL MUSIALA  
 1900 HASSELL RD  
 HOFFMAN EST, IL 60169-6302 USA



Posting Date: 04/06/2010 Thru 05/05/2010

Restaurant						
XXXX-XXXX-2068-2021 - MICHAEL K BRADY - MCAI DIRECTOR						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
04/15/2010	04/16/2010	DUNKIN #347245 Q35	E DUNDEE	IL	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	71.63
<b>Restaurant Total</b>						<b>71.63</b>
Retail Services						
XXXX-XXXX-2068-2021 - MICHAEL K BRADY - MCAI DIRECTOR						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
04/18/2010	04/20/2010	OFFICE DEPOT #2418	ARLINGTON HTS	IL	5943 - OFFICE, SCHOOL SUPPLY, AND STATIONERY STORES	91.86
<b>Retail Services Total</b>						<b>91.86</b>
Other						
XXXX-XXXX-2068-8200 - BOB MARKKO - FLEET SERVICES SUPR						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
04/16/2010	04/19/2010	ENERGETICS DIV OF EMS	06082458805	WI	5085 - INDUSTRIAL SUPPLIES NOT ELSEWHERE CLASSIFIED	1,208.48
<b>Other Total</b>						<b>1,208.48</b>
Retail Services						
XXXX-XXXX-2076-9257 - DOUGLAS SCHULTZ - COMMUNICATIONS						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
04/23/2010	04/26/2010	PREMIER SHOWCASE INC	CHICAGO	IL	7311 - ADVERTISING SERVICES	50.00
<b>Retail Services Total</b>						<b>50.00</b>
Restaurant						
XXXX-XXXX-2135-9298 - EMILY A KEROUIS - DIR OF OPS MYR & BD						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
04/06/2010	04/07/2010	JIMMY JOHNS OF HOFFQPS	HOFFMAN EST	IL	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	71.56
04/19/2010	04/21/2010	MACARONI GRILL00000497	HOFFMAN ESTAT	IL	5812 - EATING PLACES, RESTAURANTS	74.98
04/26/2010	04/28/2010	LOS FERNANDEZ RESTAURA	HOFFMAN ESTAT	IL	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	82.25
05/03/2010	05/05/2010	JIMMY JOHN'S # 424 - E	HOFFMAN ESTAT	IL	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	5.00
05/03/2010	05/05/2010	JIMMY JOHN'S # 424 - E	HOFFMAN ESTAT	IL	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	52.75
05/03/2010	05/05/2010	KFC Y200043 12000QPS	HOFFMAN ESTAT	IL	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	49.99
<b>Restaurant Total</b>						<b>336.53</b>
Lodging						
XXXX-XXXX-2135-9298 - EMILY A KEROUIS - DIR OF OPS MYR & BD						
Transaction Date	Posting Date	Merchant	Location		Merchant Category Code	Transaction Amount
04/14/2010	04/16/2010	PRESIDENT ABRAHAM LINC	SPRINGFIELD	IL	7011 - LODGING HOTELS, MOTELS, RESORTS	123.19
04/14/2010	04/16/2010	PRESIDENT ABRAHAM LINC	SPRINGFIELD	IL	7011 - LODGING HOTELS, MOTELS, RESORTS	110.88
<b>Lodging Total</b>						<b>234.07</b>

# Account Spending Analysis Detail Report

VILLAGE OF HOFFMAN ESTATES  
 RACHEL MUSIALA  
 1900 HASSELL RD  
 HOFFMAN EST, IL 60169-6302 USA



Posting Date: 04/06/2010 Thru 05/05/2010

Retail Services						
XXXX-XXXX-2135-9298 - EMILY A KEROUS - DIR OF OPS MYR & BD						
Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount	
04/26/2010	04/27/2010	JEWEL #3316 Q	HOFFMAN ESTAT IL	5411 - GROCERY STORES, SUPERMARKETS	57.48	
<b>Retail Services Total</b>						<b>57.48</b>
Restaurant						
XXXX-XXXX-0111-8159 - ALGEAN GARNER - ASST DIR HHS						
Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount	
04/07/2010	04/08/2010	DD/BR #336651 Q35	SCHAMBURG IL	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	8.72	
<b>Restaurant Total</b>						<b>8.72</b>
Retail Services						
XXXX-XXXX-0111-8159 - ALGEAN GARNER - ASST DIR HHS						
Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount	
04/22/2010	04/23/2010	JEWEL #3316 Q	HOFFMAN ESTAT IL	5411 - GROCERY STORES, SUPERMARKETS	31.56	
<b>Retail Services Total</b>						<b>31.56</b>
Restaurant						
XXXX-XXXX-0156-3768 - JAMES H NORRIS - VILLAGE MANAGER						
Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount	
04/21/2010	04/23/2010	NEIGHBORHOOD INN INC.	847-843-8048 IL	5812 - EATING PLACES, RESTAURANTS	15.03	
<b>Restaurant Total</b>						<b>15.03</b>
Lodging						
XXXX-XXXX-0156-3768 - JAMES H NORRIS - VILLAGE MANAGER						
Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount	
04/23/2010	04/26/2010	HILTON GARDEN INN SPRI	SPRINGFIELD IL	3504 - HILTON HOTELS	110.88	
<b>Lodging Total</b>						<b>110.88</b>
Retail Services						
XXXX-XXXX-0156-3768 - JAMES H NORRIS - VILLAGE MANAGER						
Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount	
04/15/2010	04/19/2010	PRAIRIE CAPITAL CONV C	SPRINGFIELD IL	7399 - BUSINESS SERVICES NOT ELSEWHERE CLASSIFIED	14.00	
<b>Retail Services Total</b>						<b>14.00</b>
Retail Services						
XXXX-XXXX-0156-3776 - DAN OMALLEY - DEPUTY VILLAGE MGR						
Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount	
04/28/2010	04/29/2010	METRO WATER RECLAMATIO	312-7516500 IL	4900 - UTILITIES ELECTRIC, GAS, SANITARY, WATER	50.00	
<b>Retail Services Total</b>						<b>50.00</b>

# Account Spending Analysis Detail Report

VILLAGE OF HOFFMAN ESTATES  
 RACHEL MUSIALA  
 1900 HASSELL RD  
 HOFFMAN EST, IL 60169-6302 USA



Posting Date: 04/06/2010 Thru 05/05/2010

**Vehicle Related**  
 XXXX-XXXX-0156-3784 - CLINT HERDEGEN - POLICE CHIEF

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
04/16/2010	04/19/2010	EXXONMOBIL 42283911	HUBERT NC	5542 - FUEL DISPENSER, AUTOMATED	17.00

**Vehicle Related Total** 17.00

**Vehicle Rental**  
 XXXX-XXXX-0156-3784 - CLINT HERDEGEN - POLICE CHIEF

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
04/16/2010	04/19/2010	NATIONAL CAR RENTAL	RICHLANDS NC	3393 - NATIONAL CAR RENTAL	61.24

**Vehicle Rental Total** 61.24

**Restaurant**  
 XXXX-XXXX-0156-3784 - CLINT HERDEGEN - POLICE CHIEF

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
04/26/2010	04/28/2010	DOMINOS PIZZA #2989	HOFFMAN ESTAT IL	5814 - QUICK PAYMENT SERVICE FAST-FOOD RESTAURANTS	66.00

**Restaurant Total** 66.00

**Lodging**  
 XXXX-XXXX-0156-3784 - CLINT HERDEGEN - POLICE CHIEF

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
04/16/2010	04/19/2010	MCAS BILLETING FUND	HAVELOCK NC	7011 - LODGING HOTELS, MOTELS, RESORTS	35.00
04/16/2010	04/19/2010	MCAS BILLETING FUND	HAVELOCK NC	7011 - LODGING HOTELS, MOTELS, RESORTS	35.00

**Lodging Total** 70.00

**Retail Services**  
 XXXX-XXXX-0156-3784 - CLINT HERDEGEN - POLICE CHIEF

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
04/26/2010	04/28/2010	THE AMERICAN LEGION	317-8603132 IN	7399 - BUSINESS SERVICES NOT ELSEWHERE CLASSIFIED	67.20

**Retail Services Total** 67.20

**Passenger Transport**  
 XXXX-XXXX-0156-3784 - CLINT HERDEGEN - POLICE CHIEF

Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
04/15/2010	04/19/2010	USAIRWAY 03723853999666	CHICAGO IL	3063 - U.S. AIR	25.00
04/15/2010	04/19/2010	USAIRWAY 03723854000613	CHICAGO IL	3063 - U.S. AIR	25.00
04/15/2010	04/19/2010	USAIRWAY 03723853896416	PHOENIX AZ	3063 - U.S. AIR	468.30
04/16/2010	04/19/2010	USAIRWAY 03723855148753	JACKSONVILLE NC	3063 - U.S. AIR	25.00
04/16/2010	04/19/2010	USAIRWAY 03723855147412	JACKSONVILLE NC	3063 - U.S. AIR	25.00
04/15/2010	04/19/2010	USAIRWAY 03723853896405	PHOENIX AZ	3063 - U.S. AIR	468.30
04/15/2010	04/19/2010	USAIRWAY 03723853896545	PHOENIX AZ	3063 - U.S. AIR	25.00
04/15/2010	04/19/2010	USAIRWAY 03723853896556	PHOENIX AZ	3063 - U.S. AIR	25.00

**Passenger Transport Total** 1,086.60



# Account Spending Analysis Detail Report

VILLAGE OF HOFFMAN ESTATES  
 RACHEL MUSIALA  
 1900 HASSELL RD  
 HOFFMAN EST, IL 60169-6302 USA



Posting Date: 04/06/2010 Thru 05/05/2010

Retail Services					
XXXX-XXXX-0162-7589 - GORDON EAKEN - DIRECTOR OF INFO SYS					
Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
04/08/2010	04/09/2010	WWW.NEWEGG.COM	800-390-1119 CA	5732 - ELECTRONICS SALES	118.98
04/14/2010	04/14/2010	DELL SALES & SERVICE	866-393-9460 TX	7399 - BUSINESS SERVICES NOT ELSEWHERE CLASSIFIED	200.81
04/20/2010	04/20/2010	AMAZON MKTPLACE PMTS	AMZN.COM/BILL WA	5942 - BOOK STORES	121.87
04/21/2010	04/21/2010	COMCAST CABLE COMM	800-COMCAST IL	4899 - CABLE AND OTHER PAY TELEVISION SERVICES	62.95
04/29/2010	04/30/2010	ATLAS SYSTEMS INC	02488535700 MI	4812 - TELECOMMUNICATION EQUIPMENT	185.00
<b>Retail Services Total</b>					<b>689.61</b>
Other					
XXXX-XXXX-0162-7589 - GORDON EAKEN - DIRECTOR OF INFO SYS					
Transaction Date	Posting Date	Merchant	Location	Merchant Category Code	Transaction Amount
04/08/2010	04/12/2010	ADOBE SYSTEMS, INC.	800-833-6687 WA	4816 - COMPUTER NETWORK/INFORMATION SERVICES	222.38
04/20/2010	04/21/2010	CDW GOVERNMENT	800-750-4239 IL	5964 - DIRECT MARKETING - CATALOG MERCHANTS	38.28
04/21/2010	04/22/2010	CDW GOVERNMENT	800-750-4239 IL	5964 - DIRECT MARKETING - CATALOG MERCHANTS	28.72
04/22/2010	04/23/2010	CDW GOVERNMENT	800-750-4239 IL	5964 - DIRECT MARKETING - CATALOG MERCHANTS	279.57
<b>Other Total</b>					<b>568.95</b>
<b>Total Amount:</b>					<b>43,838.88</b>



# HOFFMAN ESTATES

GROWING TO GREATNESS

August 2, 2010

To: Mayor and Board of Trustees

## TREASURER'S REPORT

June 2010

Attached hereto is the Treasurer's Report for the month of June 2010, summarizing total cash receipts and disbursements for the various funds of the Village.

Cash disbursements and transfers-out exceeded cash receipts and transfers-in for the operating funds by \$854,703. With these disbursements, the balance of cash and investments for the operating funds came to \$22.2 million. For all of the Village funds, cash disbursements and transfers-out exceeded cash receipts and transfers-in by \$4,963,007 primarily due to \$1.5 million in payments for the new police station in the 2009 Capital Projects Fund and \$1.3 million for Debt Service Payments. Overall, the total for cash and investments for all funds decreased to \$159.2 million.

Respectfully Submitted,

Michael DuCharme  
Director of Finance

Attachment

1900 Hassell Road  
Hoffman Estates, Illinois 60169  
[www.hoffmanestates.org](http://www.hoffmanestates.org)

Phone: 847-882-9100  
Fax: 847-843-4822

William D. McLeod  
MAYOR

Raymond M. Kincaid  
TRUSTEE

Gary J. Pilafas  
TRUSTEE

Karen V. Mills  
TRUSTEE

Jacquelyn Green  
TRUSTEE

Bev Romanoff  
VILLAGE CLERK

Cary J. Collins  
TRUSTEE

Anna Newell  
TRUSTEE

James H. Norris  
VILLAGE MANAGER

**TREASURER'S REPORT**  
FOR THE MONTH ENDING JUNE 30, 2010

Fund	Beginning Balance	Receipts/ Transfers - In	Disbursements/ Transfers - Out	Amount in Cash	Amount Invested	Ending Balance
<b>Operating Funds</b>						
General (incl. Veterans' Mem)	\$ 8,182,853	\$ 1,238,769	\$ 2,198,067	\$ 1,241,014	\$ 5,982,541	\$ 7,223,555
Payroll Account	999	2,275,029	2,263,161	12,866	-	12,866
Petty Cash	2,000	-	-	2,000	-	2,000
Foreign Fire Ins. Board	126,964	-	-	126,964	-	126,964
Cash, Village Foundation	16,814	-	-	16,814	-	16,814
Cash, U.S. Marshal	100,771	17	-	100,788	-	100,788
Motor Fuel Tax	26,973	106,151	96,250	5	36,868	36,873
Comm. Dev. Block Grant	1	6,641	-	6,642	-	6,642
EDA Administration	3,047,341	342	318,525	5	2,729,153	2,729,158
Enhanced 911	670,259	2,217	45,510	5	626,961	626,966
Asset Seizure - Federal	936,012	135	27,550	771,544	137,054	908,598
Asset Seizure - State	161,447	21	1,611	72,884	86,973	159,857
Asset Seizure - KCAT	51,222	7	-	-	51,229	51,229
Municipal Waste System	89,250	115,699	188,486	142	16,321	16,463
Water & Sewer	5,713,071	1,216,456	1,278,030	1,864,321	3,787,176	5,651,497
Sears Centre Operating	1,491,871	1,413,100	944,772	1,960,199	-	1,960,199
Insurance	1,244,340	156,273	10,304	5	1,390,304	1,390,309
Information Systems	108,249	91,268	113,505	5	86,008	86,013
Roselle Road TIF	1,130,966	8,945	-	5	1,139,906	1,139,911
<b>Total Operating Funds</b>	<b>\$ 23,101,404</b>	<b>\$ 6,631,070</b>	<b>\$ 7,485,773</b>	<b>\$ 6,176,207</b>	<b>\$ 16,070,494</b>	<b>\$ 22,246,701</b>
<b>Debt Service</b>						
2001 G.O. Debt Serv.	\$ 130,192	\$ 165,442	\$ 141,900	\$ -	\$ 153,734	\$ 153,734
1997 A&B G.O. Debt Serv.	5,407	1	-	9	5,399	5,408
2003 G.O. Debt Serv.	470,566	94	-	5	470,655	470,660
2004 G.O. Debt Serv.	272,719	57	-	5	272,771	272,776
2005A G.O. Debt Serv.	3,911,276	84	1,362,169	-	2,549,190	2,549,190
2008 G.O. Debt Serv.	369,087	-	-	-	369,087	369,087
2005 EDA TIF Bond	-	-	-	-	-	-
2005 Sr. Lien B & I	39,615	28	-	5	39,638	39,643
2005 Program Expense	624	1,833	2,456	-	-	-
Water & Sewer-Debt Service	122,695	-	-	-	122,695	122,695
2009 G.O. Debt Serv.	3,011,120	25,055	500	5,000	3,030,675	3,035,675
<b>Total Debt Service Funds</b>	<b>\$ 8,333,300</b>	<b>\$ 192,593</b>	<b>\$ 1,507,025</b>	<b>\$ 5,024</b>	<b>\$ 7,013,844</b>	<b>\$ 7,018,868</b>
<b>Capital Projects Funds</b>						
Central Road Imp.	\$ 253,276	\$ 34	\$ -	\$ 5	\$ 253,305	\$ 253,310
Hoffman Blvd Bridge Maintenance	387,347	52	-	5	387,393	387,398
Western Corridor	523,476	894	-	5	524,365	524,370
Traffic Improvement	677,869	406	7,800	5	670,470	670,475
EDA Series 1991 Proj.	4,251,730	2,279	1,230	5	4,252,775	4,252,780
Central Area Road Improve.	493,963	66	-	5	494,024	494,029
2008 Capital Project	90,459	13	800	-	89,673	89,673
2009 Capital Project	8,164,798	172,744	1,519,155	-	6,818,387	6,818,387
Western Area Traff. Impr.	336,255	54	3,261	5	333,043	333,048
West Area Rd Impr. Imp. Fee	2,206,811	341	-	5	2,207,147	2,207,152
Capital Improvements	1,233,839	117,524	608,818	5	742,541	742,546
Capital Vehicle & Equipment	39,766	1,767	2,100	5	39,428	39,433
Capital Replacement	3,449,491	526	-	23	3,449,994	3,450,017
Water & Sewer-Capital Projects	2,015,153	295	342,950	-	1,672,499	1,672,499
<b>Total Capital Proj. Funds</b>	<b>\$ 24,124,233</b>	<b>\$ 296,995</b>	<b>\$ 2,486,113</b>	<b>\$ 73</b>	<b>\$ 21,935,042</b>	<b>\$ 21,935,115</b>
<b>Trust Funds</b>						
Police Pension	\$ 47,337,699	\$ 145,834	\$ 243,589	\$ 5	\$ 47,239,939	\$ 47,239,944
Firefighters Pension	47,921,727	158,761	218,163	1,005	47,861,320	47,862,325
EDA Spec. Tax Alloc.	12,579,356	616	-	11,885	12,568,087	12,579,972
Barrington/Higgins TIF	787,269	58	448,271	5	339,051	339,056
<b>Total Trust Funds</b>	<b>\$ 108,626,051</b>	<b>\$ 305,269</b>	<b>\$ 910,023</b>	<b>\$ 12,900</b>	<b>\$ 108,008,396</b>	<b>\$ 108,021,297</b>
<b>GRAND TOTAL</b>	<b>\$ 164,184,987</b>	<b>\$ 7,425,927</b>	<b>\$ 12,388,933</b>	<b>\$ 6,194,205</b>	<b>\$ 153,027,776</b>	<b>\$ 159,221,981</b>

# VILLAGE OF HOFFMAN ESTATES

## Memo

**TO:** President & Board of Trustees

**FROM:** Gary Stanton, Plan Commission Chairman

**RE:** **REQUEST BY ST. ALEXIUS MEDICAL CENTER (1555 NORTH BARRINGTON ROAD) TO CONSIDER PRELIMINARY AND FINAL SITE PLAN APPROVAL FOR AN EXTENSION TO THE WEST PARKING DECK ON THE ST. ALEXIUS MEDICAL CENTER CAMPUS - FINDING OF FACT**

**DATE:** July 30, 2010

Plan Commission Hearing Date: July 21, 2010

---

### **REQUEST**

Request by St. Alexius Medical Center (1555 North Barrington Road) to consider preliminary and final site plan approval for an extension to the west parking deck on the St. Alexius Medical Center campus.

### **BACKGROUND**

A temporary parking lot on the north side of the ring road was approved by the Village Board on June 7, 2010. St. Alexius is currently in the process of designing two new parking decks and an east pavilion addition to the hospital. In order to accommodate the parking that will be displaced during construction of the two parking decks and the east pavilion, the temporary parking lot will be constructed. This request is for an extension to the existing west parking deck only. The plans for the east parking deck and new east pavilion addition will be reviewed by the Plan Commission and Village Board at a later date. Completion of these improvements will provide an improved parking design throughout the site to support the previously approved building expansions and future east pavilion expansion.

### **PROPOSAL**

The petitioner is proposing to add onto the existing parking deck on the west side of the property. The addition to the deck will be extended toward the north. No additional height will be added to the deck. The continuation of the deck will create an extended upper level that will provide a net gain of 207 parking spaces on the hospital site.

During construction, a large portion of the existing upper and lower levels will still be used because of a temporary entrance to the lower level from the ring road that will be provided. This entrance will be removed once construction of the parking garage expansion has been completed. Displaced parking (primarily employee parking) during construction will be accommodated in the temporary parking lot northeast of the west parking deck site.

### ***Parking***

The expansion to the west parking deck is being proposed to provide additional parking supply in the northwest corner of the hospital campus where the parking demand is higher, as evidenced by the enclosed parking study. This parking deck expansion will provide additional parking to the Bettendorf Pavilion and Doctor's Office Building III and is part of an overall project to provide additional parking supply to the campus.

Conditions of approval are included regarding the ongoing monitoring of parking on the site and during construction, contractor staging and parking will only take place within the construction limits of the west parking deck project. Contractor parking will be prohibited in permanent parking lots on the campus.

### ***Engineering***

Because of the new parking deck expansion, an existing watermain that runs east/west through the existing drive aisle will be abandoned and a new watermain re-routed around the parking deck on the north side and back down to the watermain just north of Doctor's Office Building III.

Stormwater mains will be connected to the existing stormwater system and will be directed to the existing stormwater retention basin.

There are no outstanding engineering issues.

### ***Landscaping***

The existing parking lot E (north of the parking deck) will be completely demolished and resurfaced with the deck extension, including the removal of the existing landscaping within the parking lot islands. Additional trees will be planted on the west side of the ring road and around lot E and the parking deck to replace those trees that will be removed and to meet Village code requirements for landscaping.

Landscaping along the west wall of the parking deck is designed with a naturalistic style that will buffer views of the one-story precast concrete structure. This area includes a mix of 10 to 12 foot tall evergreen trees, single and multi-stem shade trees, ornamental trees and shrubs to create a layered appearance. The design of this area will complement the naturalistic planting design of the detention basin, which is located between the parking deck and Barrington Road. The packets include detail drawings and elevations of this area.

### ***Parking Deck Design***

The parking structure will be constructed of precast concrete to match the existing parking deck. Spandrel panels at the perimeter will also match the existing structure to create a continuous horizontal band. The stairway on the west side of the deck will incorporate glazed windows and face brick to tie in with the iron spot brick used throughout the campus. Views of the deck structure will be minimized by the grade change and naturalistic landscaping will be planted along the west face of the deck extension to further soften its appearance.

### ***Exterior Lighting***

The final site photometric plans include new parking deck lighting in the lower level new lighting on the parking deck upper level. All of the new lighting is consistent with the design and illumination levels approved for the other portions of the campus. All uniformity and minimum light levels meet the code requirements. Lighting for the lower level of the parking deck has been designed to meet Village code standards, which include both daytime and nighttime requirements.

### ***Fire Department***

In past discussions with St. Alexius, the Fire Department had requested a gate with a pressure switch between Doctor's Office Building I and II to keep traffic moving east to west through the area between the two buildings. A gate at this location would keep unauthorized vehicles from traveling east into the ambulance area behind the emergency department. This gate was never installed by St. Alexius. As a part of the west parking deck expansion request, a condition of approval is recommended requiring this gate prior to occupancy of the west parking deck.

All Fire Department issues pertaining to the site layout have been addressed or will be addressed with conditions of approval.

### ***Parking Lot Design Waivers***

In order to provide for proper parking lot circulation, while still maximizing the number of parking spaces within the new parking deck, the width of a few parking spaces on the upper and lower deck have been reduced to 8.5' (9' wide is required by code) for a number of parking spaces to still provide for an adequate end island striping design. To maintain the same number of parking spaces, the radii of end island striping was reduced to 7' for the end islands on the upper level of the deck instead of the code required 9' radius. Based on the proposed design, the petitioner is requesting a waiver to the parking lot design requirements. The following code requirements will not be met.

- ◆ Parking space width will be less than is required (8.5' instead of 9' wide) for spaces in the upper and lower levels of the deck.
- ◆ Parking lot end island radii will be less than is required (7' instead of 9') for the end islands on the upper level of the deck

Village staff is supportive of these waivers. The parking lot design, with the reduced parking space width and reduced end island radii, will still be an adequate design for traffic circulation and parking. Eight and a half foot spaces are used in some parking lots in the area and Village code does permit their use for low turnover employee spaces in office developments. Conditions of approval have been added regarding the requested waivers.

### ***Next Phase***

This expansion to the west parking deck is the first step in an upcoming expansion at the hospital. St. Alexius expects the east parking deck and east pavilion addition to be presented to the Plan Commission and Village Board in the fall of 2010. This project is being completed in phases because only a certain amount of parking can be displaced at one time. The projects are separated from each other on the site and can be completed independently.

### **PLAN COMMISSION DISCUSSION**

On July 21, 2010, St. Alexius Medical Center requested preliminary and final site plan approval for an extension to the west parking deck on the St. Alexius Medical Center campus.

The Plan Commission learned that as a result of the expansion, the parking deck will add 207 spaces. Additionally, after the construction is complete, 77 new shade trees, 55 new evergreens, 400 new shrubs, and 10 new ornamental trees will be planted on-site. Currently, 340 parking spaces exist in the parking deck. While construction of the parking deck is occurring, 280 parking spaces will be moved to the temporary parking lot which was approved by both the Plan Commission and the Village Board earlier this year. Sixty parking spaces will be kept and utilized in the parking deck as the work is phased. Snow removal will remain as it currently exists, which is to push the snow off the top deck to the lower level and push it to designated areas.

The Plan Commission had no major concerns with this project and voted unanimously in favor of it.

### **AUDIENCE PARTICIPATION**

None.

### **RECOMMENDATION**

**Approval of the request by St. Alexius Medical Center (1555 N. Barrington Road) for preliminary and final site plan to construct an extension of the existing west parking deck on the St. Alexius Medical Center campus, subject to the following conditions:**

1. The plans submitted to the Village on July 16, 2010, for Plan Commission and Village Board review shall be the approved set of plans used for construction of the west parking deck, except that minor modifications may be made to the site and/or plans, as approved by the Village.

2. As previously required, a gate with a pressure switch on the east side of the gate is required at the bollards between Doctors Office Building I and Doctors Office Building II. This will keep traffic passing through this area going "one way," east to west. This must be installed prior to occupancy of the west parking deck.
3. With regard to the construction process and phasing, the following conditions shall apply:
  - a) Based on unanticipated field conditions once construction starts, the Village shall have the right to require additions or changes to construction fencing locations, directional signage, traffic signage, parking assignments, and any other physical or operational aspect of the property to ensure adequate circulation is available and safe conditions exist on the property. The hospital and its contractors shall coordinate and obtain Village approval prior to initiating any changes to any aspect of the site operations, signage, parking, construction activities, etc.
  - b) The east/west driveway north of DOB III must remain open when the north/south drive between lot E and F is closed for reconstruction.
  - c) Contractor parking shall be prohibited in any permanent parking lot on the campus. All construction trailers, material storage, staging, equipment parking and contractor parking shall be located within the fenced construction staging area.
4. Any removal of landscaping not shown on the plans due to the watermain relocation or any other aspect of construction shall be replaced, as approved by the Department of Development Services.
5. The following waivers are granted with this approval:
  - a) A waiver is granted from Village Code Section 10-5-2-C-2 to permit parking lot end islands to have 7' corner radii instead of the required 9 feet, only in specific locations as identified on the approved plans. All other end islands on the hospital campus shall meet Village code.
  - b) A waiver is granted from Village Code Section 10-5-2-B-4 to permit parking spaces to be 8.5' wide instead of the required 9', only in specific locations as identified on the approved plans. All other spaces on the hospital campus shall meet Village code.
6. The design of the proposed exterior lighting in the parking lot shall match that of the existing exterior lighting in the parking lots. The lens shall be a flat lens and shall not project lower than the fixture housing.



7. The parking supply and demand must be managed throughout the entire hospital campus during the upcoming construction projects. If parking is determined to be inadequate during any phase of the project, construction staging will need to be altered or additional parking will need to be provided.
8. Fire lanes around the west parking deck and adjacent buildings shall remain open at all times during construction.

**Roll Call Vote:**

- 9 Ayes: Commissioners Porzak, Vandenberg, Zahrebelski, Combs, Krettler, Iozzo,  
Boxenbaum, Vice Chairman Thoren, Chairman Stanton
- 2 Absent: Commissioners Henderson, Danowski

**Motion carried.**

cc: J. Norris  
M. Koplin  
M. Hankey  
G. Salavitch  
S. Neil  
B. Skowronski  
D. Plass  
Petitioner

Brief History of Recent Village Approvals at the St. Alexius Site

**Attachment to July 16, 2010 Plan Commission Staff Memo**

- ◆ *March 2001.* Village approved the front entrance lobby remodeling and a new chapel addition. This approval included reconfiguring the three main visitor parking lots in front of the hospital to provide better circulation and update deteriorated pavement areas. (Ordinance #3281-2001)
- ◆ *June 2001.* Village approved construction of a 144-space temporary parking lot to help alleviate parking problems that developed with the construction of the lobby and chapel.
- ◆ *August 2001.* Village approved the 3-story west wing building addition and preliminary plans for a new parking deck and circulation changes.
- ◆ *January 2002.* St. Alexius presented courtesy review plans for a possible surface parking lot expansion instead of a parking deck, as well as other site changes.
- ◆ *June 2002.* St. Alexius requested additional time to develop the new parking deck plan and other changes to the campus expansions, as well as to update the parking and traffic study. The request also included permission for final occupancy of the lobby and chapel without completing the reorientation plan for one (northern) of the three front visitor lots. The Village extended the parking deck condition and deferred the reorientation of the front parking lot to a new deadline of September 30, 2002.
- ◆ *September 2002.* The Village extended the conditions related to the parking deck, site circulation, and other site changes, as well as the parking lot reorientation condition to a new deadline of October 30, 2002.
- ◆ *October 2002.* Village approved occupancy of the 3-story west wing building addition, subject to parking deck plans being completed by July 30, 2003. Village also approved construction of a temporary gravel contractor parking area, an asphalt "by-pass" lane to set up the future temporary circulation pattern, and a reduction in the size of the temporary parking lot from 144 to 112. Village also extended the timeframe for redeveloping the northern front parking lot to July 30, 2003.
- ◆ *February 2003.* Village approved temporary mobile MRI units, interim modifications to parking Lot G, and the plans for a building expansion to the emergency department, subject to submittal of additional parking and circulation plans by July 30, 2003. (Ordinances #3471-2003 and #3472-2003)
- ◆ *July 2003.* The Village approved an extension of all conditions from July 30, 2003 to October 30, 2003.
- ◆ *October 2003.* Village approved preliminary plans for parking and circulation, and approved a temporary parking lot and extended all conditions from October 30, 2003 to January 30, 2004. (Ordinance #3574-2003) Village also approved preliminary and final plans for expansion to Alexian Brothers Behavioral Health Hospital. (Ordinance #3573-2003)
- ◆ *February 2004.* St. Alexius presented Courtesy Review plans for a hospital expansion, parking deck, and third medical office building. Village approved an extension of all condition deadlines from January 30, 2004 to June 15, 2004.
- ◆ *March/April 2004.* Village approved parking and circulation plans and a temporary contractor parking lot.
- ◆ *March 2007.* Village approved a central plant expansion, which is currently under construction.
- ◆ *June 2010.* Village approved a temporary parking lot on the northeast corner of the property to accommodate the parking that will be displaced by the proposed parking decks and east pavilion addition.

# VILLAGE OF HOFFMAN ESTATES

## Memo

**TO:** President & Board of Trustees

**FROM:** Gary Stanton, Plan Commission Chairman

**RE:** **REQUEST BY KIN PROPERTIES (OWNER) AND ALEXION PROPERTIES, LLC (PROPERTY MANAGER) FOR APPROVAL OF A PRELIMINARY AND FINAL SITE PLAN AT 5 E. GOLF ROAD AND A SITE PLAN AMENDMENT FOR A PORTION OF THE PROPERTY AT 35 E. GOLF ROAD - FINDING OF FACT**

**DATE:** July 30, 2010

Plan Commission Hearing Date: July 21, 2010

---

### **REQUEST**

Request by Kin Properties (Owner) and Alexion Properties LLC (Property Manager) for approval of a preliminary and final site plan at 5 E. Golf Road and a site plan amendment for a portion of the property at 35 E. Golf Road.

### **BACKGROUND**

The property on the southeast corner of Roselle Road and Golf Road at 5 E. Golf Road (the building that includes Caribou Coffee as a tenant) and the adjacent 35 E. Golf Road (American Mattress) are both owned by Kin Properties, which has an office out-of-state. Dino Alex and Steve Alex of Alexion Properties, LLC have a long term lease giving them extensive rights, including the ability to significantly modify the site. Dino Alex has worked with W-T Engineering (Corporate Design + Development Group, LLC) to prepare a site plan amendment to renovate the 5 E. Golf Road building and to make necessary exterior site improvements. The changes are proposed in order to attract new tenants and to improve the general appearance and functionality of the property.

Blockbuster Video and Caribou Coffee were approved along with some site improvements and a new facade in 1997. Blockbuster closed in 2008, and since that time Dino Alex has been actively pursuing tenants to occupy the building. The Village Shopping Center Improvement Program requires exterior site improvements to be made in conjunction with the re-occupancy of a tenant space. Once prospective tenants were selected and a building permit application was submitted, Alexion Properties, LLC provided the Village with a letter of credit as a performance guarantee. The petitioner proposed a set of immediate minor site improvements (property cleanup) before a building permit would be issued. The petitioner was then required to develop a site plan to bring the property closer to subdivision code compliance.

The parking supply was required to be studied relative to the mix of tenants proposed as part of the staff review of the site plan. During the process of evaluating the mix of tenants proposed and the existing limitations of the building and site, the petitioner determined that a more substantial change to the building and property would be needed to accommodate the types of tenants that are under consideration.

The proposed site plan achieves several improvements with regard to the parking lot geometry, parking quantity, parking proximity to higher traffic generating tenants, traffic safety, pavement condition, landscaping, dumpster enclosure, lighting, and the building architecture. Recurring property maintenance concerns will also be corrected, which have related to potholes and the generally poor appearance of the east elevation of the 5 E. Golf Road building (the parking lot will be rebuilt or resurfaced throughout and the east elevation will be expanded upon with a building addition). Currently, there are no outstanding citations for property maintenance violations, but a condition of approval is included that requires any outstanding violations to be corrected prior to issuance of a building permit (should any potholes or too tall grass become an issue between now and that time).

The property is located in a Business Improvement District (BID) and a Tax Increment Financing (TIF) district. As such, there have been discussions between the petitioner and the Village regarding allocating some amount of TIF district funds to help pay some portion of the capital costs of redevelopment of the property. A formal request for use of TIF funds has not been made, however, staff will continue discussions of this possibility with the petitioner. The willingness of the Village to reimburse certain TIF eligible capital costs with TIF funds would be considered by the Planning, Building and Zoning Committee and Village Board.

## **PROPOSAL**

### ***Building Demolition and Expansion***

The petitioner is proposing to demolish a portion of the building and to construct an addition onto the building. The western portion of the former Blockbuster space would be demolished and a new exterior wall would be constructed. This would accommodate two aisles of parking along the Roselle Road frontage instead of the existing one aisle. An approximately 3,500 square foot building addition would be constructed on the east side of the building where more land is available for parking. The remaining vacant building area and the building addition would be divided into four new tenant spaces. The finished building would include potentially five tenants, including the existing Caribou Coffee.

### ***Building Architecture***

The site plan includes a significant upgrade to the building's appearance. A new facade parapet would be constructed on the west, north, and east building elevations. The Caribou Coffee frontage and the south elevation facing a drive aisle and Denny's would not include the new parapet. The petitioner has provided color renderings of the new building facade. Decorative elements on the parapet would add architectural interest to the building and would also screen existing rooftop equipment. The peak height of the tower elements would be 28 feet 4 inches high. The east elevation, in particular, would be vastly improved with the building addition that includes windows and a raised parapet so that it would have the appearance of another "front" of the building. Customers would park and access the building from the east, and as such, the east elevation would be improved like the west and north elevations.

In 2001, the Village approved the document *Revitalization Concepts for the Roselle Road Corridor Business District*, which along with general design principles and land use concepts, includes requirements for architectural standards for the buildings in the Roselle Road BID. The proposed building elevations meet the intent and goals of the standards. The proposed elevations exceed the minimum standards for the use of windows and architectural elements to break the monotony of the walls. Brick is used extensively and EIFS is limited and used in a way that creates the appearance of distinct retail spaces. The code limits EIFS to areas within 10 horizontal feet of an entrance, which means that some small sections of the proposed elevations do not strictly meet this requirement. The Caribou Coffee elevations also include EIFS that would not be removed. However, the intent of the EIFS requirements was to minimize the use of EIFS, and this proposal certainly meets that intent. The areas of EIFS are at typical locations, above storefront windows and on decorative arches and corner tower elements, and are further minimized with proposed decorative awnings. A waiver is necessary from the EIFS requirement to achieve the proposed style of retail architecture.

A Chipotle restaurant is under consideration to occupy a portion of the building addition. Two small areas of outdoor seating would be added near the northeast corner of the Chipotle building addition near the customer doors. The seating would not interfere with the required sidewalk accessibility.

The southeast corner of the building would include an outdoor dumpster enclosure and utility box area made by extensions of the building's brick walls. The gates of the enclosure area would be accessed from the south. This combined dumpster and utility area is a more attractive and space efficient option than a standalone dumpster enclosure.

### ***Parking***

The site plan includes modifications to improve the parking supply, parking proximity to traffic generating tenants, and parking lot geometry.

The number of parking spaces on the 5 E. Golf Road property would increase from 36 (including poorly defined spaces on the east side of the property) to 61 spaces. The overall site plan with 35 E. Golf Road includes 99 spaces. Former parking spaces on the south side of Caribou are on the shopping center property and are not included in the parking study because that owner is no longer permitting the spaces. Both sites were evaluated because the site plan is predicated on the need for shared parking and access and the underlying ownership is the same. Chipotle customers would be able to use the spaces on the 35 E. Golf Road property. The increase in parking spaces is due to the addition of an aisle on the west side of the building, improved geometry and striping on the east side of the building, and the closure of redundant entrances on Golf Road.

Metro Transportation Group, Inc. conducted parking counts and prepared a parking study (enclosed in the packet) concluding that the supply and location of parking spaces will be sufficient for the proposed mix of tenants. Revisions to the plans since the study was prepared reduced the number of spaces to 99 from an earlier iteration of the plan, however, this did not change the conclusions of the study. The color coded parking diagram provided with the parking study helps to illustrate the parking supply and convenient locations of parking for each tenant. The Transportation Division has reviewed the study and industry data and agrees with the conclusions.

The Subdivision Code guidelines recommend 4 spaces per 1,000 square feet of floor area for the three retail tenants and 16.9 spaces per 1,000 square feet of floor area for Chipotle and Caribou Coffee. By these standards, the five businesses would require 98 parking spaces and American Mattress would require 24 spaces, for a total of 122. (The 2,690 square foot Chipotle would not occupy the entire 3,500 square foot building addition.) However, although Chipotle and Caribou Coffee are both "fast food w/o drive-thru", they have very different actual parking demands. American Mattress also does not require 24 spaces in actual demand. This is why the Village requires a case-by-case review of parking based on the expected mix of tenants. The parking study and industry data were necessary to evaluate the parking demand that could be expected. The parking counts conducted at other Chipotle and Caribou Coffee locations concluded that the parking lot would have adequate parking for all six tenants and that shared parking would be necessary, particularly for Chipotle on the American Mattress property.

The site would include two tenants with higher parking demand whose entrances would be located on opposite corners of the building. Caribou Coffee's main entrance is on the southwest corner of the building and would have an increased supply on the west and northwest sides of the building. Chipotle's main entrance would be on the northeast corner of the building and would have a separate supply of spaces on the northeast and east sides of the building. A sidewalk and parking spaces would be added along the east elevation, and the overall design of the parking lot east of the building would be improved. The two tenants would not compete over the same parking spaces. The separation of these two tenants spatially is an added benefit of this proposal, but irrespective of this, the overall site parking supply is adequate for all current and proposed tenants. The other three proposed tenants under consideration have much lower parking demands, as does the existing American Mattress store, and they would have adequate nearby parking available north and west of the building.

The additional parking on the west side of the building would help to alleviate existing illegal double parking issues noted near Caribou Coffee. It would also eliminate an ongoing parking dispute between the subject property and the adjacent shopping center concerning the pavement along the south elevation, which would no longer be used or needed for parking. Adequate parking would be available for Caribou Coffee and possibly another low parking demand tenant entirely on the west side of the building when another row of parking is added.

The parking study was conducted based on a certain mix of tenants with varying parking demands. Should the mix of tenants change, the Village and property owner would need to reevaluate the parking supply. The review of parking supply is a standard consideration with the building permit review for any tenant re-occupancy. A condition of approval is proposed that would require the petitioner to provide supporting documentation or a parking study prior to any future re-occupancy.

The existing parking lot geometry would be corrected and new drive aisle widths, parking space dimensions, and curb radii would be built to meet Subdivision Code standards. Drive aisles would be improved to a standard 24 feet width and parking spaces would be reduced to 16.5 foot depth to accommodate standard double aisles around the building.

#### *Access*

The site is accessible from three driveways along Golf Road and one Roselle Road driveway is located between the site and Denny's to the south. Two north-south drive aisles access the properties to and from the Hoffman Plaza Shopping Center. Multiple other driveways access the shopping center along Roselle Road and Higgins Road.

The two properties include three entrances from Golf Road. The two entrances between 5 E. Golf Road and 35 E. Golf Road are redundant and do not comply with current standards. The existing driveways would not be acceptable to the Village if they were proposed "new" today and would not likely be approved by IDOT. The driveways also do not align with the internal drive aisles. The petitioner is proposing to close both driveways with this project and to construct a new driveway apron that will align with the realigned north-south aisle between the two buildings. This is compliant with modern IDOT standards to reduce the number of driveways along state highways and would increase the distance from the Golf Road and Roselle Road intersection to the western edge of the driveway, thus reducing the risk of crashes for cars entering the property. It would also allow additional parking spaces along the north perimeter of the property. The petitioner is in the process of obtaining IDOT approval for this work, which is expected to be positively received by IDOT. A condition of approval is proposed that would require the IDOT approval to be obtained prior to issuance of a building permit.

Access to the shopping center during the temporary closure of the two Golf Road driveways would be possible via another entrance east of American Mattress or from multiple entrances along Roselle Road or Higgins Road.

### ***35 E. Golf Road***

Significant improvements are proposed for the 5 E. Golf Road parking lot, and in doing so the parking aisles of portions of the neighboring 35 E. Golf Road would also be changed. Conveniently, both properties are owned by Kin Properties. The rear area of the American Mattress property would be improved to current parking lot standards for curb and parking dimensions. The existing islands in the southwest and south perimeter would be rebuilt and aligned with the north-south drive aisle and parking rows between the two buildings. The parking lot pavement on the property would be rebuilt except for portions that are not affected by the construction. The American Mattress building would not be changed.

### ***Plat of Easement***

The site plan changes for the two properties would require cross access across both properties and shared parking, as well as a fire hydrant. A plat of easement is necessary and must be recorded so that it would appear in a title search. The petitioner has prepared a draft plat of easement for both parcels. Language will need to be added to address access, parking, and maintenance. The properties are currently both owned by Kin Properties, but this document would be necessary should either parcel be sold in the future to avoid disputes over parking or access. Such disputes have occurred between these parcels and the adjacent shopping center. A condition of approval is proposed that would require a final plat of easement document to be submitted within 60 days of Village Board approval or before issuance of a certificate of occupancy, whichever is earlier.

### ***Owner Authorization from Shopping Center***

Curb work and removal of pavement is proposed along the south property line of the properties in order to construct the new drive aisles and landscape islands. The site plan would reduce the narrow strips of landscape islands that exist on the shopping center property and work is required on the shopping center property to complete the proposed improvements. The Village has asked the petitioner for documentation from the shopping center owner authorizing the work to occur. The discussions have been ongoing and the Village will assist, as needed, to help move the project forward, if approved. A condition of approval is proposed that requires the written owner authorization to be obtained prior to issuance of a building permit for the site work.

### ***Landscaping***

Shade trees, ornamental trees, shrubs, and grasses would be planted in all practical locations on the property to bring the property closer to Subdivision Code compliance. The existing site is virtually devoid of landscaping. Although there is limited space for landscaping on the property, new shade trees are proposed in new landscape islands at the corners and ends of parking aisles. A variety of shrub species would be planted in the perimeter areas along Golf Road and Roselle Road to help block headlight glare, as required by the Subdivision Code. The proposed shrubs and ornamental grasses on the property are low maintenance varieties, as well as salt tolerant.



The landscaping buffer along Golf Road and Roselle Road would be unchanged and would remain less than the minimum required 10 feet wide. Golf Road and Roselle Road were both widened several years ago causing a loss of parking and a reduction in the site perimeter. The buffer along Golf Road would be approximately 6 feet to the property line and the buffer along Roselle Road would be approximately 5 feet. The buffer area would increase slightly at the intersection corner where new curb would be installed for the new drive aisle alignment. The full buffer width was not possible while also providing two rows of parking, 24 foot drive aisles, and a sidewalk around the building. A waiver is proposed to not provide the 10 foot wide buffer. The buffer area will nonetheless include substantially more landscaping material than the existing condition.

Shade trees are not proposed in the parkway along either Golf Road or Roselle Road due to limited space and complications with overhead wires. An ornamental tree is located along Golf Road in the parkway and no trees exist along Roselle Road. Based on limitations imposed by existing site conditions, Subdivision Code waivers are proposed to not install six shade trees in the parkways along 5 E. Golf Road. Three shade trees are required along each parkway at a rate of one tree per 50 linear feet.

Three site perimeter shade trees are proposed in the northwest corner of the property near the intersection corner. Two of these trees are nearer to Roselle Road and one is nearer to Golf Road. Subdivision Code waivers are proposed for the site perimeter trees. Four shade trees are required along each perimeter at a rate of one tree per 40 linear feet. No perimeter trees are required along the interior parcel lines between the commercial properties.

Four shade trees are required in the parking lot islands of the 5 E. Golf Road property and five are proposed. The new shade trees on the site are of three different species: Gingko, Pear, and Linden.

The amount of landscape area on the site would be increased by 400 square feet. Existing islands will be removed, but new islands and new perimeter curb alignments will cause the overall open space to increase slightly to 9.6% of the land area. Four shrubs and an ornamental tree in the southwest corner of the 35 E. Golf Road property would be removed in order to build a new drive aisle with an improved alignment. The removed landscaping in the existing islands is of poorer quality than the proposed landscaping. Landscaping is proposed in all practical locations on the 5 E. Golf Road property and the overall quantity of trees and shrubs is increasing.

Snow storage would occur in landscape islands as has occurred since the property was originally developed in the 1960s. There have been no known problems with snow removal on the existing site and the new site work will improve conditions.

### ***Engineering***

The Engineering Division has reviewed the site plan and engineering drawings and has no comments or concerns. The grades proposed would be acceptable and would improve the overland flow of stormwater. Public utilities would not be adversely affected. The site would use existing water, storm sewer, and sanitary sewer services. An existing storm sewer structure near the area of the building addition would be removed but the sewer lines would remain unchanged.

The Subdivision Code requires detention for properties greater than 0.5 acres. The petitioner is requesting a waiver from the on-site detention requirement. The Engineering Division is agreeable to such a waiver due to 1) the lack of space on-site to provide detention, 2) the existing conditions of the property which has not incurred significant drainage problems in the past, 3) the acceptable grades of the proposed parking lot design, and 4) the proposed reduction of impervious areas.

An existing electric utility pole and overhead electric lines connecting from Golf Road to the east side of the 5 E. Golf Road building would be removed, because they would interfere with the new drive aisle alignment between the two buildings. The overhead lines and poles along Golf Road and Roselle Road would remain. A condition of approval is proposed that would prohibit new overhead lines for private utilities (electric, phone, etc.) from being reinstalled above ground to the building.

### ***Fire Prevention Bureau***

The Fire Prevention Bureau has reviewed the plans and has no comments or concerns. A fire hydrant located near the existing two affected Golf Road driveways would be removed and relocated to a new landscape island next to the proposed driveway. The hydrant would be included in the new plat of easement document that will be required per the discussion above. The Fire Department Connection (FDC) on the north elevation of the building would face a handicapped accessible aisle, which is acceptable.

### ***Lighting***

The existing nonconforming poles and light fixtures would be replaced with new fixtures that meet Subdivision Code requirements. The fixtures would be downcast to prevent glare. New downcast wall light fixtures would be installed in the dumpster area behind Caribou Coffee. The photometric plan lighting levels would meet Village requirements for exterior lighting.

### ***Project Phasing***

The intention is for American Mattress and Caribou Coffee to remain open and for there to be adequate parking at all times on-site. In addition, the petitioner is working with the ownership of Hoffman Plaza for possible off-site parking during construction, along with the discussions for the work proposed on the edge of the shopping center property. A condition of approval is proposed that would require preconstruction meetings and to ensure Village control over the timing of construction phases.

### ***Signs***

New wall signs would be installed for the new tenants. A new ground sign is also proposed in the northwest corner of the property that would identify the tenants. Approval of the signs will be reviewed in a Master Sign Plan that will be submitted at a later date for review by the Zoning Board of Appeals. A condition of approval is proposed that no signs are approved with this site plan or site plan amendment.

### **PLAN COMMISSION DISCUSSION**

Kin Properties and Alexion Properties, LLC requested approval on July 21, 2010, of a preliminary and final site plan at 5 E. Golf Road and a site plan amendment for a portion of the property at 35 E. Golf Road.

The property on 5 E. Golf Road currently has Caribou Coffee as a tenant and that relationship will remain throughout the reconfiguration and construction of the property. The part of the building that housed Blockbuster Video will be significantly modified so as to accommodate four other tenants, including a Chipotle restaurant and a Sprint telephone store. With the reconfiguration of the building on 5 E. Golf Road, the parking spaces on-site will increase from 36 to 61 and the overall site, including those on 35 E. Golf Road will now have 99 spaces. It is anticipated that the parking spaces will be shared by all prospective tenants.

The new design to the building on 5 E. Golf Road will include tower elements which will be 28 feet-4 inches in height, but there will be no usable second floor as a result of the towers, these will just be facades. The property currently has three entrances off of Golf Road. It is proposed that the two closest entrances on Golf Road from Roselle Road be closed with a new entrance being constructed that will align with the realigned north/south aisle between the two buildings.

A question regarding snow removal came up and it was indicated snow removal has not been a problem in the past 35 years, and with an additional 30 spaces which are not expected to be used, snow removal was not expected to be a problem in the future.

After hearing all the testimony of all parties, the Plan Commission voted in favor of the project by a 6-2 vote, with one abstention.

### **AUDIENCE PARTICIPATION**

James Hall (Winters & Company, Ltd., 140 N. Harrison St., Barrington, IL 60010), manager of the adjacent property to the south was present at the Plan Commission meeting and voiced concerns that there would be more traffic coming into the site off the Roselle Road entrance and the slope of the sidewalk on Roselle Road would be dangerous to pedestrians. Additionally, a meeting between both he and the petitioner was to occur, but negotiations were needed between the parties for cross access easements which had somehow expired a few years ago.

## **RECOMMENDATION**

### **Request by Kin Properties (Owner) and Alexion Properties, LLC (Property Manager) for approval of a preliminary and final site plan at 5 E. Golf Road and a site plan amendment for a portion of the property at 35 E. Golf Road, subject to the following conditions:**

1. All work shall be completed within nine months of the Village Board action on this request.
2. Any outstanding property maintenance violations or outstanding fees or fines shall be corrected prior to issuance of a building permit.
3. As determined necessary by Development Services staff, a parking study or other supporting documentation of adequate parking supply shall be provided prior to re-occupancy of any tenant space in the 5 E. Golf Road building or the 35 E. Golf Road building. Staff will verify that any new use will meet the parking supply on the site.
4. The petitioner shall provide written approval from the Illinois Department of Transportation for the driveway work along Golf Road prior to issuance of a building permit.
5. A plat of easement for 5 E. Golf Road and 35 E. Golf Road providing for utilities, cross access, shared parking, and maintenance between the two properties shall be submitted within 60 days of Village Board approval or before issuance of a certificate of occupancy, whichever is earlier.
6. Written owner authorization, as well as any applicable easements from the Hoffman Plaza ownership shall be provided to the Village prior to issuance of any permits involving work off-site on the shopping center property.
7. No new overhead electric, phone, cable, or similar lines shall be installed above ground and any new lines shall be buried in accordance with the code.
8. Prior to work commencing on the building or property, the petitioner shall set up a pre-construction meeting with the Village to discuss contractor responsibilities/requirements during demolition and redevelopment. A timeframe and construction schedule shall be established as conditions of permit issuance. The owner shall be required to adhere to all conditions of the Village demolition permit and any other permits required to complete the project, including temporary fencing, fire lane signing, traffic control, dust control, etc.
9. No signs are approved with this site plan amendment approval. A Master Sign Plan for the entire site shall be submitted for review and approval.

10. Based on limitations imposed by the existing site conditions, Subdivision Code waivers are hereby granted for the following:
  - a. Section 10-4-4-B-2-a to provide a reduced buffer width along Golf Road and Roselle Road on 5 E. Golf Road, as shown on the landscape plan.
  - b. Section 10-4-4-A-2-a to provide zero shade trees in the parkway along Golf Road on 5 E. Golf Road instead of the minimum required three shade trees.
  - c. Section 10-4-4-A-2-a to provide zero shade trees in the parkway along Roselle Road on 5 E. Golf Road instead of the minimum required three shade trees.
  - d. Section 10-4-4-B-2-c to provide one shade tree in the perimeter along Golf Road on 5 E. Golf Road instead of the minimum required four shade trees.
  - e. Section 10-4-4-B-2-c to provide two shade trees in the perimeter along Roselle Road on 5 E. Golf Road instead of the minimum required four shade trees.
  - f. Section 10-3-12-B-2 to provide no on-site storm water storage or detention on 5 E. Golf Road and 35 E. Golf Road on parcels greater than 0.5 acres.
11. A waiver from the *Revitalization Concepts for the Roselle Road Corridor Business District* is hereby granted to allow EIFS to be placed more than 10 feet from entrance doors on the 5 E. Golf Road building, as shown on the elevation drawings submitted with this site plan.

**Roll Call Vote:**

6 Ayes: Commissioners Combs, Krettler, Iozzo, Boxenbaum, Vice Chairman Thoren,  
Chairman Stanton  
2 Nays: Commissioners Porzak, Zahrebelski  
1 Abstention: Commissioner Vandenberg  
2 Absent: Commissioners Henderson, Danowski

**Motion carried.**

cc: J. Norris  
M. Koplin  
P. Gugliotta  
M. Hankey  
G. Salavitch  
S. Neil  
D. Plass  
B. Skowronski  
Petitioner

# VILLAGE OF HOFFMAN ESTATES

## MEMO

**TO:** President & Board of Trustees

**FROM:** Gary Stanton, Plan Commission Chairman

**RE:** **REQUEST BY HEIDNER HOLDINGS LLC (OWNER) FOR PRELIMINARY AND FINAL SITE PLAN APPROVAL TO CONSTRUCT A GAS STATION/CONVENIENCE STORE WITH A CARWASH AND A MULTI-TENANT RETAIL BUILDING AT THE SOUTHEAST CORNER OF HASSELL AND BARRINGTON ROADS - FINDING OF FACT**

**DATE:** July 30, 2010

**Plan Commission Hearing Date:** July 7, 2010

---

### REQUEST

Request by Heidner Holdings LLC (Owner) for preliminary and final site plan approval to construct a gas station/convenience store with a carwash and a multi-tenant retail building at the southeast corner of Hassell and Barrington Roads.

### BACKGROUND

The north half of the subject property (.91 acres) was previously considered for development in 1998 as an animal hospital. It was not approved by the Board at that time and the current petitioner has since purchased that lot, as well as the lot immediately south of it that was formerly part of the Comfort Inn property. A plat of subdivision was approved by the Village Board in June 2009, that would separate the Comfort Inn lot into two parcels. The plat of subdivision has not been recorded yet due to back taxes being owed on the Comfort Inn property.

The petitioner brought forth his plans for a courtesy review in December 2008. At that time, the idea of either a bank and retail building or gas station and retail building was presented. The feedback from the Committee was that a bank would not be the preferred development and comments regarding the gas station and separate retail building were provided mainly dealing with access and traffic.

The petitioner's proposal is scheduled to go to the Zoning Board of Appeals on July 20, 2010, for a 10 foot setback variation and special use permit for the gas station building on the north side of the site.

## **PROPOSAL**

The petitioner is proposing to construct a 5,773 square foot gas station/retail building with an attached 2,750 square foot carwash and a 5,300 square foot retail building on two lots. The north lot (.91 acres) would have the gas station convenience store/retail building with an attached car wash and south lot (.83 acres) would have a multi-tenant retail building with a drive-thru.

### *North Lot*

The north lot is proposed to be improved with a gas station/convenience store and specialty retail in one building with an attached carwash. The site plan shows the six gas pumps along the Barrington Road side of the site and the building on the east side of the lot. The convenience store will be the typical store associated with gas stations and will sell snacks, drinks, and general grocery items. Per the petitioner, the attached specialty retail is likely to be a sandwich shop.

The carwash would be located on the east side of the building with cars entering it from the south. The proposed drive-thru for the carwash has enough stacking space to accommodate six cars, not including any cars that would already be in the actual carwash. The hours of operation for the carwash are proposed to be from 6:00 a.m. to 10:00 p.m. A condition of approval has been added for this. The petitioner will describe the operations of the carwash at the meeting including timing, noise, and water run-off.

Outdoor product display is allowed for gas stations and must conform to the requirements set forth in Section 9-8-1C.1.i of the Municipal Code. A condition of approval denoting this has been added.

### *South Lot*

The south lot is proposed to be improved with a 5,300 square foot building that would be comprised of a 1,800 square foot coffee/doughnut shop and 3,500 square feet of specialty retail. The site plan identifies the coffee/doughnut shop having a drive-thru with cars entering it on the south side of the building with stacking for 11 cars. The stacking is sufficient for the coffee use, based on data from other similar sites in the Village, including the Starbucks immediately south of this site. Any other future use of the unit other than a coffee shop must have stacking requirements that are equal or less than those for the coffee shop. Any use that creates a greater stacking requirement will require a site plan amendment. There is an area for outdoor seating planned in the landscaped area between the buildings with seating to accommodate customers from either the coffee/doughnut shop or sandwich shop.

Although the buildings will be built on separate lots, it is intended that they function as one unit with cross access. Private agreements allowing this cross access will be executed and recorded and easement language will be added to the required plat of easement for access and utilities. A condition of approval has been added requiring this.

### *Access*

The plans identify a right-in/right-out access off Barrington Road and a full access off Hassell Road. The full access off Hassell Road aligns with the existing entrance to The Assembly Restaurant located immediately north of the site and this access point is planned to be signed with restrictions that would prohibit left turns in and out of the site during peak traffic hours. The restricted left turn hours would be between 7:00 a.m. - 9:00 a.m. and between 4:00 p.m. - 6:00 p.m. on weekdays. The Barrington Road access can only be a right-in/right-out due to the existing raised median on Barrington Road. A deceleration lane is not planned for this entrance as the existing right turn lane for Hassell Road is located there already, precluding another lane. There is an additional future vehicular access shown that would connect with the hotel to the east. That is not being installed as part of this plan, but will be installed in the future once it is agreed to by the hotel owners. A condition of approval has been added that requires the petitioner to build the access at such time as it is agreed upon by the hotel. Security in the form acceptable to the Village will be required and held until the access is built.

Additionally, a future pedestrian connection is anticipated between the hotel and the development and is shown on the plans. This will be installed on the petitioner's property with the anticipation that the future connection will occur once the hotel agrees to it. As with the vehicular access, a condition of approval has been added that requires the petitioner to build the access at such time as it is agreed upon by the hotel. Security in the form acceptable to the Village will be required and held until the access is built.

Both access locations have challenges associated with them that are addressed in the discussion section below.

### *Parking*

The Subdivision Code recommends 4 spaces per 1000 square feet of floor area for retail uses. The site plan for the north lot proposes 13 parking spaces for this building, along with the gas station pumping island spots which will be utilized by some customers gassing up and going inside the convenience store. The south lot is planned to have a 5,300 square foot store that would be comprised of a 1,800 square foot coffee or doughnut shop and 3,500 square foot specialty retail. The total number of parking spaces planned for this building is 31.

Since the properties are being developed and owned by the same entity, shared parking is anticipated, if needed. Based on the information provided by the petitioner and reviewing similar developments in the Village, staff agrees that the proposed 44 parking spaces combined for both sites meets the 4/1,000 guideline and will be adequate to accommodate the anticipated demand of the development.



### ***Engineering***

There are existing watermains on west and north sides of the property. The petitioner is connecting to the 16" main along Barrington Road and bringing water service to each building separately. There is a watermain extension planned on the site to accommodate a new hydrant between the two buildings. An additional new hydrant is shown on the north side of the site adjacent to Hassell Road. The sanitary sewer system for both buildings will connect to an existing sanitary sewer main on the north side of Hassell Road. The pipe will be augured under Hassell Road to eliminate damage to the pavement.

Stormwater for this site will be handled by two separate methods. The north lot is proposing to accommodate the stormwater through underground detention. This underground system would tie into the existing storm sewer on the north side of Hassell Road. As with the sanitary sewer, this would be augured under Hassell Road to eliminate damage to the pavement. The south lot is proposing to tie into the existing storm system that serves the Northwest Corporate Centre. This stormwater detention for this portion of subject property was included in original engineering plans and MWRD permit for the whole Northwest Corporate Centre which also includes the hotel and the retail building immediately south of this site. The Engineering Division has reviewed the runoff volume generated with the current proposal and verified that sufficient capacity will be provided for this project.

The existing grading on the site, particularly the south end, will require the site to be raised up significantly. The plans identify the site being raised via backfill with retaining walls used on the south and east sides of the property. A small section of retaining wall is proposed on the west side of the property, near Hassell Road.

A plat of easement will be prepared by the petitioner to provide easements for all public water lines. This has been added as a condition of approval.

The Engineering Division, Public Works and Fire Departments have reviewed the plans and all of their comments related to utilities have been addressed.

### ***Landscaping***

The site is proposed to be heavily landscaped with a variety of trees, evergreens, shrubs, and perennials. The planting amounts meet code requirements and have been increased in several areas to provide a more complete design.

The plans identify some trees/shrubs being removed along the east and south sides of the property. These low quality smaller caliper plants are likely volunteer trees and not part of any previously approved landscape plan. Their removal is not subject to the tree preservation ordinance due to their small size and poor quality.

The petitioner is requesting a waiver from Section 10-4-4 B.2.a of the Subdivision Code to allow a zero foot landscape buffer instead of the required ten foot setback. Since the sites will function as one cohesive development with cross access and may be consolidated into one lot through a plat in the future; the request is being made.

An additional waiver is requested from Section 10-5-3 M.2 of the Subdivision Code to allow the trash enclosures to encroach into the landscape buffer. The site plans for both buildings are proposing to locate their trash enclosures within the ten foot rear yard landscape setback.

It should be noted that the retail building immediately south of this site that contains the Starbucks, was approved in 2006 with landscape waivers from the Subdivision Code, including a zero foot landscape setback on the south property line.

### ***Exterior Lighting***

The parking lot lighting meets the standards set forth in Section 10-5-3-G of the Subdivision Code. Lighting is designed to adequately illuminate the site and light fixtures are downcast to prevent glare onto adjacent roadways and properties. The proposed lighting for the gas station is consistent with previously approved photometric plans for other previously approved automotive service stations.

### ***Building Design***

The gas station/carwash and convenience store building on the north lot features a preponderance of brick on the south and east sides with metal fascia accents and aluminum composite material. The north and west elevations feature a lot of glass and aluminum composite material, along with some brick as a unifying element. The building does feature a raised parapet to screen any roof top mechanicals and includes a rocket figurine on the roof. This element is considered a sign and will be considered as part of a Mater Sign Plan for the site at a future date. A condition of approval denoting that site approval does not include the rocket or other signage has been included.

The multi-tenant retail building on the south lot features brick on the north, south, and east elevations and glass and aluminum composite material on the west elevation. The building will be architecturally similar to the north building and will repeat many of the same features.

Both buildings have parapet walls to screen any rooftop mechanicals, and a condition has been added requiring these, as well as having them show this fact on the building permit.

## **DISCUSSION**

### ***Hassell Road Traffic***

The lot is entitled to access and is proposing a full access off Hassell Road. Ideally, having only a shared access utilizing the existing driveway access of the Comfort Inn to the east would provide better traffic flow and limit conflicts, but that option is not preferred by the petitioner. A future cross access to the Comfort Inn site is proposed to help distribute traffic from the site, but the proposal currently only offers the two access points.

Options with regard to driveway entrance location on the site are extremely limited, given the size of the parcel. The proposed driveway is as close to the east property line of the lot as is possible to allow the site to function. It is proposed to be aligned with The Assembly entrance to the north.

The public right of way conditions have changed since the site was last considered for development in 1998. IDOT improved the intersection of Hassell and Barrington Roads in 2004-2005, which widened the intersection and provided a right turn lane onto Hassell Road from northbound Barrington Road. Hassell Road was changed to provide separate lanes for each movement of westbound traffic. It also included the addition of dual left turning lanes onto Hassell Road from southbound Barrington Road. These improvements helped traffic flow in the area, but present challenges with an access point on Hassell Road for this site.

These challenges include vehicles turning left onto Hassell Road from southbound Barrington Road and trying to access the site while cars continue to turn behind them. Additionally, the driver who is looking to access the site from westbound Hassell Road will block the rest of the traffic from completing their turn onto southbound Barrington Road as they wait for cars turning right off northbound Barrington Road onto Hassell Road. Left turns from a midpoint in an intersection turn lane also have more limited visibility to gauge conflicting traffic. The right turns from Barrington Road have a green arrow while cars from Hassell Road are turning onto southbound Barrington Road. The westbound queue length on Hassell Road routinely stretches past the proposed driveway, and can go as far back as the Pembroke Drive intersection.

Village transportation staff has observed that a queue of left turn vehicles on westbound Hassell Road does extend to the driveway location contrary to what is stated in the KLOA report. While these queues may be shorter and clear more quickly than during peak periods, the field observations are different than stated in the report and should be noted.

The petitioner is proposing to mitigate these issues by restricting left turns to and from the Hassell Road entrance during peak hours. When cooperation from the adjoining hotel property is received, the cross access will be installed which will help redistribute traffic looking to exit the site.

### ***Barrington Road Traffic***

Barrington Road falls under the jurisdiction of IDOT, who must approve any access points onto their road. IDOT has approved the location of the proposed access pending Village approval of the plan.

Ideally, the site would be accessed by using the existing access road that is immediately adjacent to this site on the south. This access point serves the Northwest Corporate Centre and the retail building south of it. The original plan for the south portion of the site was to be an extension of the hotel which would have access off this road. Since it never developed as such and was sold to the petitioner, the owner of the road and adjoining Northwest Corporate Centre has stated that they will not allow access to the roadway. It is the opinion of the petitioner's attorney that they have legal right to use the roadway for access, but are choosing to not pursue it and instead use the proposed Barrington Road access.

Northbound Barrington Road at this location is a five lane road, including a right turn lane onto Hassell Road, an adjacent lane that leads to the Tollway access north of Hassell Road, two northbound thru lanes, and one westbound turn lane onto the private road leading to the IHOP, Hyatt, and La Quinta hotels, and Barrington Pointe office building. Drivers leaving the site would have to cross over four lanes of traffic to access the left turn lane and if they are continuing northbound on Barrington Road, will have to cross over two lanes of traffic. This will cause a weaving of cars leaving the site as they jockey for positioning to continue their commute.

Additionally, traffic turning from eastbound Higgins Road onto northbound Barrington Road present additional challenges for drivers looking to enter the site. Cars making the dual turn off of Higgins Road jockey for position as the lanes widen for the Tollway and the turning lanes onto Hassell Road. This additional factor, combined with the existing curb cuts for the BP Amoco and Northwest Corporate Centre, present more chances for vehicular conflict as motorists are entering and exiting the driveways.

The petitioner has stated that this access point is critical for their success as the bulk of their business and traffic will be commuters in the morning accessing the Tollway or going northbound on Barrington Road. They believe, as proposed, the access will function within acceptable levels due to the predicted number of vehicles exiting the site during peak periods. The petitioner's traffic analysis states that vehicles are able to safely exit the site within reasonable time due to gaps in traffic on Barrington Road resulting from the platooning of traffic between Higgins and Hassell Roads. The petitioner's response to the concern of cars weaving to get into the eastbound I-90 ramp is that there is 700 feet north of Hassell Road before the ramp, which is sufficient distance for vehicles to make lane changes during peak periods.

### ***Overall Traffic Study***

While traffic studies are based on true data and are analyzed by professionals, they still represent "average" scenarios and provide estimates. Traffic counts do not always reflect every nuance of how an intersection operates. For instance, the westbound Hassell Road queue is actually measured continuously in the model but it does not account for "on the ground" variations in actual traffic arrivals vs. the variability included in the model. Some measures like delay are averages while others like queue lengths are 95th percentile values.

There are several minor points in the traffic study that the Transportation Division does not concur with, however, they would not materially affect the analysis or conclusions of the report and, therefore, are not critical.

### ***Plat of Subdivision***

As mentioned previously, the south portion of the subject property was part of the hotel (now Comfort Inn) property and was sold separately from the hotel property in 2008. The land sale was done without a plat of subdivision, which is required by Village code. As part of the redevelopment of the hotel in 2009, it was required of the current hotel property owner to do a plat of subdivision to legally create and separate the lots. This was approved by the Village Board in June 2009, signed by all parties, and submitted to the county for recording, but has not been recorded due to back taxes owed on the hotel.

The Village has no idea when the taxes will be paid, but believe that they will either be paid by the current owner at some point or by a subsequent owner through a tax sale. Rather than wait and see when they will be paid and after consulting with Corporation Counsel, it was decided that the petitioner's proposal could move forward, subject to him entering into a development agreement with the Village requiring him to subdivide the property if a new owner takes over the hotel. The plat will be recorded in its current state when the taxes are paid on the hotel property and the ownership stays the same. A condition of approval has been added requiring this. This would require a temporary waiver of the Subdivision Code requirements for subdividing land (Section 10-1-2 A.).

The waiver or exception of applicable requirements by the Plan Commission falls under Section 10-2-1 F of the Subdivision Code, which states:

***The Plan Commission, when acting upon any development review applications approval, shall have the power to recommend exceptions from the applicable requirements as may be reasonable and within the general purpose and intent of the provisions for approval of this Code, if the literal enforcement of one or more provisions of the Code is impractical or will exact undue hardship because of unique conditions pertaining to the land in question. When such exceptions are recommended, the Plan Commission shall transmit such recommendations in a Finding of Fact to the Village Board for their consideration and final action.***

### **PLAN COMMISSION DISCUSSION**

The Plan Commission heard a request from Heidner Holdings LLC on July 7, 2010, for preliminary and final site plan approval to construct a gas station/convenience store with a carwash and a multi-tenant retail building at the southeast corner of Hassell and Barrington Roads.

Mr. Heidner, who is co-founder of J.J. Peppers and owner of this and over 100 projects in the area, has dubbed this project "Ricky Rockets". The project is over two years in the making. Marketing ideas include creating soap in the shape of a rocket and giving them to customers who fill up, and having rocket shape cups for drinks and possibly calling them "the blast". The gas station is expected to be open 24 hours a day, while the carwash would be open from 6:00 a.m. to 10:00 p.m. The carwash is able to have four cars in the building at any one time, while six cars can be stacked outside without causing any problems. The carwash is to be state-of-the-art, with all the drying being done within the building with no water leaving the structure on the cars. The

gas station will have a diesel tank so cars can fill up, but no trucks are expected to utilize it as they will not fit at the pump. The petitioner plans to give free full service between 3:00 p.m. to 9:00 p.m. on Fridays. The petitioner wants this station to be affiliated with Shell, but at this point, has no commitment from them. The petitioner indicates before any construction is started, he will have a commitment from either Shell or some other brand. The petitioner has indicated Dunkin Donuts has expressed interest in one of the stores in the multi-tenant retail building and would utilize a drive-up facility.

The Plan Commission voiced concern regarding the snow removal on the premises, specifically that there was insufficient room for snow storage. The petitioner and his experts felt there was more than sufficient room between the landscaping on the Hassell Road side of the project for snow. There was concern for the traffic flow onto Hassell Road, especially for those who needed to make a left hand turn out of the facility. The petitioner proposed restricting left hand turns from 7:00 a.m. to 9:00 a.m. and between 4:00 p.m. and 6:00 p.m., so as to alleviate the problem during heavier traffic. The Plan Commission had no problem with the right-in/right out on Barrington Road.

There was voiced concern regarding the trash enclosure for the multi-tenant building in that if there is a pickup during business hours, it would interfere with the queuing of cars in the drive-up window. The petitioner recognized there could be a problem and indicated there would need to be a specific time worked out with its garbage collector to alleviate any conflict. Concern was also voiced for those people who might utilize the proposed outside seating, as there will be cars coming from the pick-up window of the drive-thru that could forget to turn and cause a severe accident. The petitioner indicated there was a barrier in place that would keep the cars in their lane and prevent any accidents. One last concern was regarding what type of eatery may lease one of the stores. The Village indicated it would determine what type of restaurant/sandwich shop could go in so as to restrict a less stressful traffic flow.

The Plan Commission then heard the concerns of two of the four owners of the Comfort Inn. Both complained they already have traffic problems on their site as a result of Starbucks and were concerned this project would only create further traffic problems and as a result were not willing at this time to agree to access from the gas station to their property. Each owner further complained that the project would block the view of their hotel which they rehabbed at considerable expense. They expressed concern regarding the noise from the station on their guests and of the trash enclosures being located so close to their property.

After hearing from all interested parties, the Plan Commission voted 5-2 in favor of the project, with one abstention.

### **AUDIENCE PARTICIPATION**

Mohammad Allahrakha, Sr. and Mohammad Allahrakha Jr. both voiced their concerns (see comments above).

## **RECOMMENDATION**

**Approval of a request by Heidner Holdings LLC (Owner) for preliminary and final site plan approval to construct a gas station/convenience store and multi-tenant retail building at the southeast corner of Hassell and Barrington Roads, subject to the following conditions:**

1. The petitioner shall be permitted to build either building in phases, subject to a phasing plan being submitted for approval by the Department of Development Services as part of the permit. The plan shall define all improvements to be completed with each phase and shall include a restoration plan for any disturbed areas not developed with the first phase. Both access connections shall be built with any Phase 1.
2. The petitioner shall build the pedestrian and vehicular cross access to the hotel property at such time as it is agreed upon by the hotel and shall commence construction within 90 days notice from the Village. Security (i.e. cash, letter of credit, or bond) shall be provided to the Village prior to building occupancy on either lot to guarantee these future improvements and shall be held by the Village until the access is built.
3. A plat of easement for the public utilities on the site and cross access between the properties shall be submitted to the Village for review, approval, and recording prior to any occupancy of either building.
4. The daily hours of operation for the carwash shall be limited to 6:00 a.m. - 10:00 p.m.
5. The drive thru for the south building is only approved for a coffee shop or other use that will generate the same or less stacking demand, in the opinion of the Village.
6. Subdivision Code waivers are hereby granted for the following:
  - a. Section 10-4-4 B.2.a of the Subdivision Code to allow a zero foot landscape buffer instead of the required ten foot setback on the south side of north lot and the north side of the south lot.
  - b. Section 10-5-3 M.2 of the Subdivision Code to allow the trash enclosures to encroach into the eastern landscape buffer on both the south and north lots.
  - c. A temporary waiver to Section 10-1-2-A of the Subdivision Code is hereby granted to allow this development to occur prior to the recording of a plat of subdivision, subject to the property owner entering into a development agreement with the Village that addresses the following items:
    - (i) The owner, Heidner Holdings LLC, shall not sell or transfer ownership of all or any portion of the LLC or the subject property to a different party during the period in which the temporary waiver is in effect without written authorization from the Village. Any new owner shall be required to sign as a party to the development agreement.

- (ii) Within 60 days of notification by the Village, the owner shall provide a new subdivision plat or sign any updated subdivision plat prepared by another party, creating legal zoning lot(s) for the subject property. The owner shall be obligated to take all actions within his control related to his property to ensure that the subdivision plat can be recorded. This condition shall also apply to any resubdivision, consolidation or other plat in the event one of those is prepared in lieu of a subdivision plat.
7. All rooftop mechanicals shall be screened through the use of parapet walls, as approved by the Village. At time of building permit submittal, the building plans shall show compliance with this requirement.
8. In the event that the sales of gas/fuel at this site is discontinued for more than one year, the canopy structure, gas pumps/islands, and all other improvements related to the sale of fuel shall be removed from the site.

***Fees/Notification/Procedures:***

9. Outdoor display for the gas station site is allowed, but shall conform to the requirements set forth in Section 9-8-1C.1.i of the Municipal Code. This shall not include pay phones, air or vacuum stations, or other similar activities which are subject to site plan approval, if proposed.
10. The rocket figure or any other signs are not approved through the site plan review process. All signs shall conform to the Zoning Code or be subject to a Master Sign Plan.
11. The petitioner acknowledges that an impact fee will be due in accordance with the Village's Road Improvement Impact Fee Program. This fee will be due prior to any certificate of occupancy.
12. The petitioner and all subsequent owners shall be required to enter into an agreement with the Village to permit enforcement of parking regulations on private property. Parking shall only be permitted in designated parking stalls as shown on the latest Village approved site plan.
13. A building permit shall be obtained within nine months of Village Board action on this request.
14. As part of the final detailed Development Services review, a few minor plan review comments were noted. The petitioner shall correct the plans prior to construction of the subject improvements.
15. All excess soils shall be removed from the development site. No stockpiles shall be allowed after occupancy of either building.



**Roll Call Vote:**

Ayes: Commissioners Porzak, Iozzo, Krettler, Boxenbaum, Vice Chairman Thoren  
Nays: Commissioner Combs, Chairman Stanton  
Abstention: Commissioner Vandenberg  
Absent: Commissioners Danowski, Zahrebelski, Henderson

**Motion carried.**

JD/kr

cc: J. Norris                      S. Neil  
M. Koplin                      B. Skowronski  
M. Hankey                      D. Plass  
G. Salavitch                      R. Norton  
Petitioner

VILLAGE OF HOFFMAN ESTATES  
ZONING BOARD OF APPEALS

MULTIPLE MOTION FINDING OF FACT

DATE OF PUBLIC HEARING: July 20, 2010

DATE OF PRESENTATION TO VILLAGE BOARD: August 2, 2010

PETITION: Hearing held at the request of Heidner Holdings, LLC to consider a special use, master sign plan and building setback variation from the Zoning Code to permit the construction of an automobile service station with car wash on the southeast corner of the intersection of Hassell and Barrington Roads.

DISTRICT IN WHICH PROPERTY IS LOCATED: B-2, Community Business District

ZONING CODE SECTION(S) FOR SPECIAL USE: 9-8-2-C-1

FINDING-OF-FACT: The Zoning Board of Appeals (ZBA) found that the Standards for a Special Use (9-1-18-I) were met.

ZONING CODE SECTION(S) FOR VARIATION: 9-8-2-D-6

FINDING-OF-FACT: The Zoning Board of Appeals (ZBA) found that the Standards for a Special Use (9-1-15-C) were met.

**MOTION 1 – SPECIAL USE FOR AUTOMOBILE SERVICE STATION WITH CAR WASH**

MOTION: Request to grant Heidner Holdings, LLC at the southeast corner of the intersection of Hassell and Barrington Roads, *a special use under Section 9-8-2-C-1 to permit the construction of an automobile service station with car wash.* The following conditions shall apply:

1. Any changes to the operation of this gas station beyond those included in this proposal that do not comply with the permitted uses of the Zoning Code shall require a special use amendment.
2. In accordance with Section 9-1-18-L of the Zoning Code, should the automobile service station cease operations for a period of six months, the special use shall be revoked and invalid.
3. In the event that the sales of gas/fuel at this site is discontinued for more than one year, the canopy structure, gas pumps/islands, and all other improvements related to the sale of fuel shall be removed from the site.

4. Approval of this special use shall be subject to final preliminary and final site plan approval for the property, including all conditions of approval.
5. The daily hours of operation for the carwash shall be limited to 6:00 a.m. - 10:00 p.m.
6. All signs shall comply with the Zoning Code or an approved master sign plan.

VOTE: 5 Ayes 2 Absent (Ali, Wilson)

MOTION PASSED

RECOMMENDATION: The Zoning Board of Appeals (ZBA) recommends approval of this request.

MOTION 2 – BUILDING SETBACK VARIATION

MOTION: Request to grant Heidner Holdings, LLC at the southeast corner of the intersection of Hassell and Barrington Roads, *a 10 foot rear yard setback variation from Section 9-8-2-D-6 to permit a 10 foot setback instead of the minimum required 20 feet.* The following condition shall apply:

**This variation approval shall be subject to final preliminary and final site plan approval for the property, including all conditions of approval.**

VOTE: 5 Ayes 2 Absent (Ali, Wilson)

MOTION PASSED

RECOMMENDATION: The Zoning Board of Appeals (ZBA) recommends approval of this request.

Scott Triphahn – President of W-T Engineering, Troy Triphahn – Project Manager with Corporate Design and Development Group, Luay Aboona-with KLOA Traffic, Christopher Goluba attorney for Property Owner, Rick Heidner – Property Owner and Developer, and Christian Kalischefski – President of Corporate Design and Development Group, were present. A power point presentation was led by Scott Triphahn including; traffic, design, construction and landscaping.

The petitioner's team presented plans for a gas station, car wash and retail building on the southeast corner of Barrington Road and Hassell Road. An adjacent parcel to the south is also proposed for a retail building, however it is not part of this hearing. The car wash and gas station require a special use permit, and the car wash building is proposed to have a rear setback of 10 feet versus the minimum required 20 feet.

The petitioner testified that the subject property will have adequate parking and stormwater detention will be provided in an underground system that will connect to the storm sewer on Hassell Road. The petitioner also provided a detailed traffic and access presentation to show that the driveways can work safely as presented. The access on Barrington Road will be limited to right-in, right-out only and is subject to approval by IDOT. The petitioner has submitted a letter from IDOT generally approving the location of the driveway and outlining the additional information needed prior to issuance of a permit (including the need for approval by the Village). The driveway onto Hassell Road will be restricted to right-in, right-out only via signage during peak periods to avoid conflicts with cars stacked at the Barrington/Hassell signal.

The petitioner addressed each of the standards for variation and special use in detail as part of the presentation. The petitioner noted that the rear yard setback variation is necessitated by the previous IDOT taking of 30 feet of right-of-way for the widening of Barrington Road.

This project was presented to the Plan Commission on July 7 and received a favorable recommendation. The Plan Commission review included parking, traffic, access, landscaping, lighting, noise, building architecture and other related issues.

Zoning Board members asked several questions about car wash noise and traffic. The petitioner answered all questions to the satisfaction of the ZBA. It was confirmed that the car wash building is designed to mitigate noise impacts, plus the petitioner agreed to the condition that the car wash will not be open past 10:00 p.m.

During recognition of the audience, the owner of BP Amoco, Mr. Motin, with his attorney, Tom Pontikis and the owner of Comfort Inn, Mohammed Allahrakha, and his attorney, Mike Wolfe, both disagreed with the petitioner's traffic presentations saying that in their opinion the morning rush hour traffic on northbound Barrington Road was much heavier than shown and the proposed additional curb cut would only compound the problem. Comfort Inn also objected to the access on Hassell Road and felt in their opinion that traffic will be heavier than indicated by the petitioner. Mr. Pontikis presented a July 2<sup>nd</sup> Village Staff memo to the Plan Commission noting several traffic concerns. Staff provided additional input noting that their memo also comments on the need to balance limits on traffic access with the legal right of the property to have driveways to serve the property. Staff also noted that the petitioner is proposing measures to mitigate impacts to traffic. Staff summarized that at the July 7<sup>th</sup> meeting, the Plan Commission memo was discussed at length and the Plan Commission made a recommendation of approval. Additionally, IDOT granted approval for the Barrington Road access pending approval by the Village of Hoffman Estates.

Comfort Inn also objected to potential noise from tanker truck delivery, garbage pick up and the car wash. It was noted that the car wash hours are conditioned to operate only between 6:00 a.m. and 10:00 p.m. and that the petitioner is designing the car wash building to mitigate noise concerns.

The master sign plan portion of the ZBA hearing was continued until Tuesday, September 21, 2010 at 7:30 p.m. to allow more time for the details of the plan to be completed. The Comfort Inn raised concerns that their hotel would not be as visible from Barrington Road. Staff clarified

that the hotel purchased property that does not have frontage on Barrington Road. However, Staff has advised that if the petitioner, Rick Heidner, and Comfort Inn can come to an agreement, a Comfort Inn sign visible from Barrington Road could be incorporated into the proposed master sign plan for the gas station/retail development.

Overall the Zoning Board members felt the petitioner adequately addressed all standards for the special use and variation and the request was unanimously recommended for approval.

**ZONING BOARD OF APPEALS**

Chairman William Weaver

Vice-Chairperson Denise Wilson

Michael Ciffone

Masoom Ali

Donna Boomgarden

Michael Gaeta

Gaurav Patel


**\* IMMEDIATE AUTHORIZATION TO APPLY FOR PERMITS IS REQUESTED \***

**THE SPECIAL USE & VARIATION WILL EXPIRE UNLESS ACTED UPON WITHIN  
ONE (1) YEAR OF VILLAGE BOARD APPROVAL**

**FINDING OF FACT WRITTEN JOINTLY BY CHAIRMAN WILLIAM WEAVER AND  
DEVELOPMENT SERVICES STAFF**

# VILLAGE OF HOFFMAN ESTATES

## Memo

**TO:** William Weaver, Zoning Board of Appeals Chairman  
**FROM:** James Donahue, Senior Planner   
**RE:** SOUTHEAST CORNER OF HASSELL AND BARRINGTON ROADS –  
SPECIAL USE, BUILDING SETBACK VARIATION AND MASTER SIGN  
PLAN UNDER THE ZONING CODE TO PERMIT THE  
CONSTRUCTION OF AUTOMOBILE SERVICE STATION WITH CAR  
WASH AND ACCOMPANYING SIGNAGE  
**DATE:** July 16, 2010  
**HEARING DATE:** July 20, 2010

---

### 1. REQUEST SUMMARY

Request by Heidner Holdings, LLC to consider a special use, building setback variation and master sign plan under the Zoning Code to permit the construction of an automobile service station with car wash and accompanying signage on the southeast corner of the intersection of Hassell and Barrington Roads.

### 2. BACKGROUND

Concurrently with this request for special use, variation and master sign plan review; the petitioner appeared before the Plan Commission on July 7, 2010 seeking preliminary and final site plan approval. The Plan Commission recommendation for approval will go before the Village Board on August 2, 2010 along with the ZBA's recommendations.

### 3. PROPOSAL

#### *Special Use*

The petitioner is proposing to build an 8,523 square foot gas station/car wash/convenience store with a small amount of specialty retail at the southeast corner of Barrington & Hassell Roads. The site plan shows the six gas pumps along the Barrington Road side of the site and the building on the east side of the lot. The convenience store will be the typical store

associated with gas stations and will sell snacks, drinks, and general grocery items. Per the petitioner, the attached specialty retail is likely to be a sandwich shop.

The carwash would be located on the east side of the building with cars entering it from the south. The proposed drive-thru for the carwash has enough stacking space to accommodate six cars, not including any cars that would already be in the actual carwash. The hours of operation for the carwash are proposed to be from 6:00 a.m. to 10:00 p.m. The carwash is required to meet all state requirements for noise emission levels and the petitioner has stated that the orientation of the building and construction materials will direct sound away from adjoining properties.

Access to the site is proposed via a full access on Hassell Road and a right-in-right-out entrance on Barrington Road. In addition to the gas station/car wash/convenience store, a separate multi-tenant retail building with a drive-thru is being proposed on the lot immediately south of this site.

The facility will not be used for automotive repair.

#### ***Setback Variation***

The proposed carwash is connected to the main building and is located on the east side of the building. As proposed, it encroaches into the required 20' rear setback by ten (10) feet. As part of the widening and other improvements to the intersection of Hassell and Barrington Roads, 30' of land was taken on both frontages by the Illinois Department of Transportation (IDOT). The petitioner has stated that due to this taking, the site can't conform to all required setback, parking and drive-aisle requirements of the code as well as the functional requirements of the proposed business while yielding a reasonable return. It should be noted that the building would back up to an existing parking lot for the Comfort Inn hotel. The rear of the building will be solid masonry construction with no windows and will be landscaped to help soften the building and buffer some of the noise.

#### ***Master Sign Plan***

The petitioner has not finalized the master sign plan for this property; therefore it is recommended that this be continued to September 21, 2010.

#### **4. SITE CONDITIONS**

- a) The subject site is zoned B-2, Community Business District.
- b) The properties to the east, west, north and south are also zoned B-2, Community Business District.

**5. APPLICABLE REQUIREMENTS**

- a) Section 9-8-2-C-1 (p. CD9:126) states that automobile service stations may be allowed as a special use.
- b) Section 9-8-2-D-6 (p. CD9:126.1) states that the minimum rear yard setback in the B-2 District is 20 feet.
- c) Section 9-3-8-M-12 (p. CD9:58) allows an option for a master sign plan in business districts and requires the use of a master sign plan in lieu of variations.

**6. ADJACENT OWNER COMMENTS**

Standard notification letters have been mailed and as of this writing, no comments have been received.

**7. SPECIAL USE/VARIATION HISTORY**

*Subject Property*

In 1998, a special use request to permit the construction of an animal hospital at this location was denied by the Zoning and Village Boards.

*Similar Special Uses in the Village*

Special use approvals have been granted for all other existing gas stations (with and without car wash) in the Village. In fact, there have been six gas station/carwash/convenience stores approved along the Barrington Road corridor, with four currently in operation.

*Variation History*

There is no variation history for this property.

*Similar Building Setback Variations in the B-2 District*

- a) Ordinance 3586-2003 granted approval of a 10 foot rear yard setback for the construction of Menard's accessory warehouse. (**Never constructed**)
- b) Ordinance 3562-2003 granted approval of a 5'11" rear yard setback for the construction of Walgreens at 1000 N. Roselle Road.

**8. IMMEDIATE AUTHORIZATION TO APPLY FOR PERMITS**

The petitioner has requested Immediate Authorization to Apply for Permits.



## 9. DEVELOPMENT SERVICES COMMENTS

### *Special Use*

The automobile service station is proposed on property that is located along a major state road and is proximate to the tollway interchange. This makes the location and use a logical use of the land. The surrounding uses are all commercial and the proposed use would be well integrated into the existing area.

### *Setback Variation*

The site is relatively small as the result of the land taken by IDOT for the Hassell and Barrington Roads improvements. The requested setback of 10' allows the site to be developed with a gas station that will meet the front and corner side setbacks as well as the required landscape setbacks along the north, east and west sides. The site would be heavily landscaped and the reduced setback is adjacent to the parking lot of the hotel.

## 10. MOTION(S)

Should the Zoning Board of Appeals find that the Standards for a Special Use and Variations are met, the following motions are provided:

### Special Use

**A special use under Section 9-8-2-C-1 to permit the construction of an automobile service station with car wash, subject to the following conditions:**

1. Any changes to the operation of this gas station beyond those included in this proposal that do not comply with the permitted uses of the Zoning Code shall require a special use amendment.
2. In accordance with Section 9-1-18-L of the Zoning Code, should the automobile service station cease operations for a period of six months, the special use shall be revoked and invalid.
3. In the event that the sales of gas/fuel at this site is discontinued for more than one year, the canopy structure, gas pumps/islands, and all other improvements related to the sale of fuel shall be removed from the site..
4. Approval of this special use shall be subject to final preliminary and final site plan approval for the property, including all conditions of approval.
5. The daily hours of operation for the carwash shall be limited to 6:00 a.m. - 10:00 p.m.

6. All signs shall comply with the Zoning Code or an approved master sign plan.

**Setback Variation**

**A 10 foot rear yard setback variation from Section 9-8-2-D-6 to permit a 10 foot setback instead of the minimum required 20 feet, subject to the following condition:**

This variation approval shall be subject to final preliminary and final site plan approval for the property, including all conditions of approval.

**Master Sign Plan**

**To be continued to September 21, 2010.**

cc: Corporation Counsel, D. O'Malley, D. Plass, R. Norton, Petitioner

VILLAGE OF HOFFMAN ESTATES  
ZONING BOARD OF APPEALS

REQUEST FOR SPECIAL USE HEARING

FOR VILLAGE USE ONLY

Hearing Fee \$ 400.00 Date Paid 7/8/10 Received By P. Moore  
Hearing Date: 7/20/10 Time: 7:30 pm Legal Published 7/15/10  
Receipt Number 30637 Check No. 3221 Zoning District B-2

PLEASE PRINT OR TYPE

1. Name of Property Owner(s)\* HEIDNER HOLDINGS, LLC  
E-Mail Address RIKA@HEIDNERLLC.COM Fax 630-894-0485  
Owner's Address 399 WALL ST., UNIT H Phone 630-894-0099  
City GLENDALE HEIGHTS State IL Zip 60139

Subject Property's Address (if different than #1): TBD - SEC BARRINGTON & HASSELL

2. Person applying if other than owner:\*

Name \_\_\_\_\_ Company \_\_\_\_\_  
E-Mail Address \_\_\_\_\_ Fax \_\_\_\_\_  
Address \_\_\_\_\_ Phone \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

3. Property Index Number (PIN) 07-06-101-004-0000, 07-06-101-009-0000

5. Please describe the proposed use, or attach a letter.

FUEL STATION WITH CONVENIENCE STORE  
AND CARWASH.

\* If "owner" is an entity other than an individual(s), then an Economic Disclosure Statement must also be filed.

6. **An Immediate Authorization to Apply for Permits** allows the Code Enforcement Division to begin the building permit review process prior to the adoption of the Ordinance by the Village Board. The Immediate Authorization makes it possible for you to expedite the plan review process by approximately two weeks. Contact the Code Enforcement Division at 847/781-2631 to discuss the building permit application and review process.

Please check one of the following

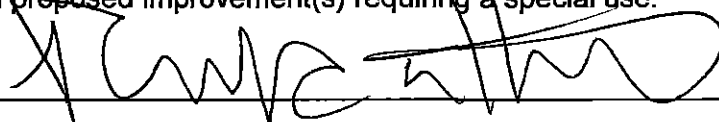
Yes, I request Immediate Authorization to Apply for Permits upon approval of my application by the Village Board, allowing me to begin the building permit review process prior to adoption of the Ordinance approving my special use.

Or

No, I do not request Immediate Authorization to Apply for Permits.

7. I, the undersigned, certify the information and submissions provided accurately represent the current conditions and proposed improvement(s) requiring a special use.

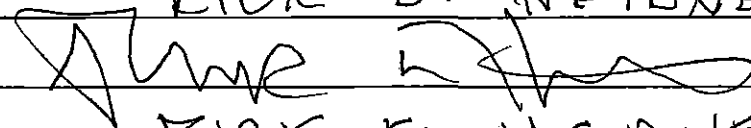
Owner's Signature



Name (Please Print)

RICK E. HEIDNER

Applicant's Signature



Name (Please Print)

RICK E. HEIDNER

All requests for a hearing must be accompanied by the items required according to the nature of the request. All fees must be paid before Zoning Board can hear any case. Any additional fees must be paid before any findings or reports are given to the Village Board.



**CORPORATE  
DESIGN + DEVELOPMENT  
GROUP, LLC**

2675 Pratum Avenue  
Hoffman Estates, IL 60192  
224.293.6960 Office  
224.293.6966 Fax

## **Standards for Special Use**

### **9-1-18. Special Uses**

I.1 The establishment, maintenance, or operation of this project will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare. A very high-quality project is being proposed that fits and complements the existing uses within the surrounding B-2 district. The design of the site meets or exceeds requirements from each appropriate permitting agency including, but not limited to the Village of Hoffman Estates, Illinois Department of Transportation (IDOT), the Metropolitan Water Reclamation District of Greater Chicago (MWRD), and the Office of the State Fire Marshall (OSFM).

Public health with regards to gas stations is enforced by the OSFM which requires safety measures at every step of the fueling process. Current technology includes double-walled tanks and piping, state-of-the-art leak detection systems and containment devices as a precaution.

Safety has been reviewed specifically regarding the impact on traffic, studies have been provided, testimony given and many discussions with Village staff have occurred. Recognized traffic experts for this project have determined that the proposed site provides safe and efficient ingress and egress to protect public safety.

The project will sell typical convenience products and therefore will not impact morals.

The project will function as a very high quality, well maintained facility with state of the art technology pertaining to fueling systems, carwash equipment and site lighting that will provide a more enjoyable and comfortable gas station, carwash and convenience store experience than the competitors.

Overall, this is a great project that is provided a high-quality, well thought out design that will offer customers a friendly, well maintained facility that will be a benefit to the general welfare of the public.

I.2 This use will not be injurious to the use or enjoyment of other properties in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values in the neighborhood. This site is similar in nature to existing B-2 uses in the area, no residential uses are immediately adjacent to this property and the proposed use generally conforms to the applicable ordinances. We consider this use complementary to the surrounding businesses as it will not only provide an additional fuel option and accommodated different traffic patterns, but it will offer more convenience options and higher quality services that are not immediately available in this area.



**CORPORATE  
DESIGN + DEVELOPMENT  
GROUP, LLC**

2675 Pratum Avenue  
Hoffman Estates, IL 60192  
224.293.6960 Office  
224.293.6966 Fax

I.3 The proposed establishment of the special use will not impede the normal and orderly development and improvement of surrounding properties as this parcel is already landlocked by fully developed and improved properties.

I.4 All required utilities, access roads, drainage and/or necessary facilities are available to the site and have been reviewed and approved by the appropriate review agencies.

I.5 The site has been analyzed and designed to provide safe and efficient ingress and egress and to minimize traffic congestion in public streets. Restricted access is being provided to limit movements onto Barrington Road, movements will be restricted on Hassell Road during peak hours and cross-access with the adjacent property to the east is being sought by working with the adjacent property owners and Village staff. In addition, this use is considered a convenience use and traditionally derives a great majority of their business from customers already in the nearby vicinity, therefore this use will not significantly increase traffic volume or affect traffic patterns.

I.6 Generally, this site conforms with the applicable regulations of the B-2 zoning district. In most cases, this site exceeds requirements, specifically FAR ratio, building height restrictions, landscaping provided, etc. One variation is being requested, this request is to allow the rear yard building setback requirement to be reduced from 20 feet to 10 feet, as described in the "Standards for Variation" narrative. Waivers are also being requested to allow reduction in the landscape setback in two limited areas, approximately 10 feet each. Excess landscaping has been provided in other areas in order to help compensate for this variation and waivers. It is understood that similar waivers have been granted in similar projects in the Barrington Road corridor.

**VILLAGE OF HOFFMAN ESTATES  
ZONING BOARD OF APPEALS  
REQUEST FOR NON-RESIDENTIAL VARIATION HEARING**

**FOR VILLAGE USE ONLY**

Hearing Fee \$ 400.00 Date Paid 6/28/10 Received By P. Moore  
 Hearing Date: 7/28/10 Time: 7:30pm Legal Published 7/5/10  
 Receipt Number 30344 Check No. 3213 Zoning District B-2

Front Yard Setback, Side Yard Setback, Rear Yard Setback, Height, or Other Variation	Present Condition	Required	Proposed

**PLEASE PRINT OR TYPE**

1. Name of Property Owner(s)\* HEIDNER HOLDINGS, LLC  
 E-Mail Address RICK@HEIDNERINC.COM Fax #: 630-894-0485  
 Owner's Address 399 WALL ST., UNIT H Phone 630-894-0099  
 City GLENDALE HEIGHTS State IL Zip 60139

Subject Property's Address (if different): TBD, SOUTHEAST CORNER OF BARRINGTON AND HASSELL

2. Person applying if other than owner.\*

Name \_\_\_\_\_ Company \_\_\_\_\_  
 E-Mail Address \_\_\_\_\_ Fax #: \_\_\_\_\_  
 Address \_\_\_\_\_ Phone \_\_\_\_\_  
 City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

3. Property Index Number (PIN) 07-06-101-004, 07-06-101-009

\* If "owner" is an entity other than an individual(s), then an Economic Disclosure Statement must also be filed.

4. Is the applicant the original owner? No Did the condition that instituted this request for a variation exist at the time the applicant purchased this property? If yes, please describe.

YES. ILLINOIS DEPARTMENT OF TRANSPORTATION

HAD TAKEN 30' OF FRONTAGE ALONG BOTH LOTS PER

DOCUMENT # 27422589.

5. Describe the improvement that needs a variation and the reasons a variation would be appropriate using the Standards for Variation (attached) as a guide. (e.g. An addition requires a 5-foot front yard setback variation. A hardship was caused by a street-widening project that reduced the front yard by 10 feet.)

PLEASE SEE ATTACHED.

6. Describe existing construction materials and proposed materials indicating if proposed construction will match or blend with the existing structure.

NEW CONSTRUCTION, HIGH QUALITY MATERIALS ARE PROPOSED

INCLUDING BRICK, GLAZING, ACM AND OTHER ARCHITECTURAL

FEATURES SUCH AS DECORATIVE AWNINGS, CURVED ROOFS AND PARAPET WALLS.

7. Estimated Total Project Cost \$1,900,000

8. Will the proposed construction require removal/relocation of trees, driveway apron, utilities, other? If yes, please describe.

NEW CONSTRUCTION WILL INCLUDE REMOVAL/RELOCATION/ADDITION

OF TREES, NEW DRIVEWAYS, NEW UTILITY SERVICES AND

OTHER REQUIRED IMPROVEMENTS.



9. An Immediate Authorization to Apply for Permits allows the Code Enforcement Division to begin the building permit review process prior to the adoption of the Ordinance by the Village Board. The Immediate Authorization makes it possible for you to expedite the plan review process by approximately two weeks. Contact the Code Enforcement Division at 847/781-2631 to discuss the building permit application and review process.

Please check one of the following

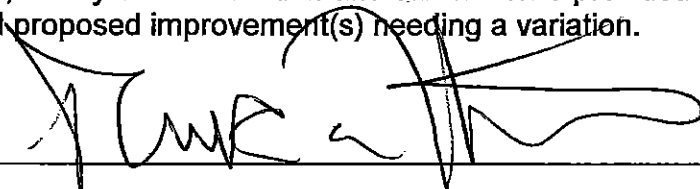
Yes, I request Immediate Authorization to Apply for Permits upon approval of my application by the Village Board, allowing me to begin the building permit review process prior to adoption of the Ordinance approving my variation.

Or

No, I do not request Immediate Authorization to Apply for Permits.

10. I, the undersigned, certify the information and submissions provided accurately represent the current conditions and proposed improvement(s) needing a variation.

Owner's Signature



Name (Please Print)

RIK HEIDNER

Applicant's Signature

Name (Please Print)



**CORPORATE  
DESIGN + DEVELOPMENT  
GROUP, LLC**

2675 Pratum Avenue  
Hoffman Estates, IL 60192  
224.293.6960 Office  
224.293.6966 Fax

**Standards for Variations**

C.1.a. This site is 30' smaller east-to-west than when originally zoned B2 as it was subject to an Illinois Department of Transportation right-of-way taking. Due to this constraint, the site cannot conform to all required landscape setbacks, building setbacks, parking requirements, drive-aisle requirements and functional requirements of the business while yielding a reasonable return.

C.1.b. The variance is being requested due to unique circumstances. This is a prime corner for this use and without the ROW taking, or even a lesser ROW taking, the variance would not be needed. However, due to minimum code requirements and ensuring safe and efficient circulation for the site for both customers and fuel delivery trucks, one variance is being requested.

C.1.c. This variation will not alter the essential character of the locality. The proposed use conforms with the B2 district, all other code requirements are met and/or exceeded and the project proposes a convenience service whose customer base is mainly existing traffic, local businesses and local residents. In addition, the structures are being designed utilizing high-quality materials that will complement the area and meet or exceed the standards other nearby structures.

C.2.a. The hardship is due to the reduced dimension of this property in an E-W dimension. As one of the last properties developed in this area, it is constrained by existing development to the east and south, and roadways to the north and west. In particular, ROW takings have reduced the east-west dimension to a point that all applicable landscape setbacks, building setbacks, parking requirements, drive-aisle requirements and functional requirements of the business cannot be met, thus creating a hardship.

C.2.b. The conditions upon which the petition is based would not generally apply to other B2 properties as this variance is due to the shape and size of this particular parcel.

June 25, 2010

Page 2 of 2

C.2.c. The purpose of the variation is not being requested exclusively to increase the value of the property. The variation is being requested in order to meet the intent of the applicable codes to the fullest extent possible while considering the hardship of this parcel constrained by its east-west dimension.

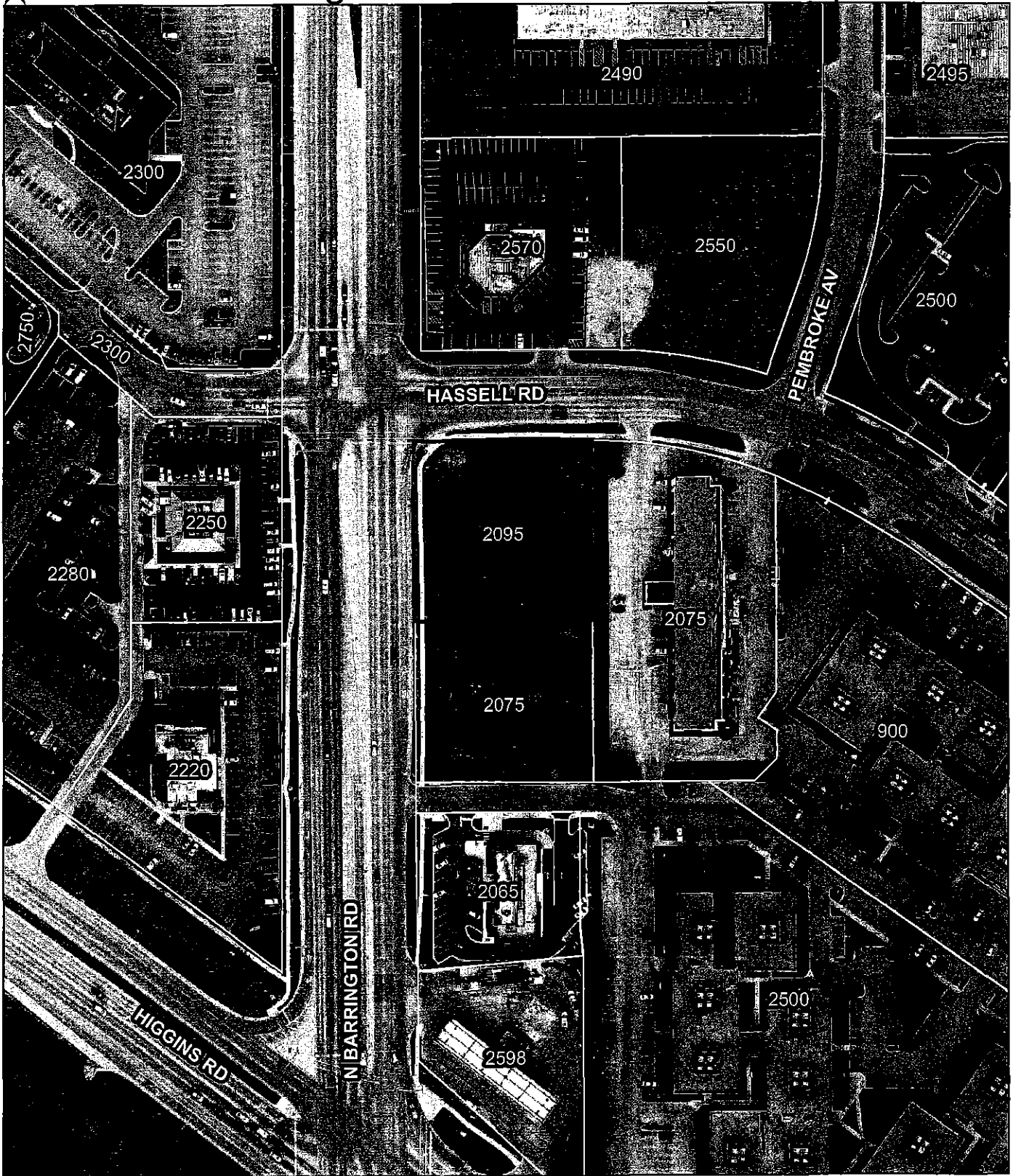
C.2.d. The difficulty or hardship has not been based exclusively on a desire to increase the value of the property. The difficulty or hardship is being requested in order to meet the intent of the applicable codes to the fullest extent possible while considering the hardship of this parcel constrained by its east-west dimension.

C.2.e. The granting of the variation is not detrimental to the public welfare or injurious to other property or improvements in the local neighborhood. As this use is allowable in the B2 district as a special use, it will not alter the essential character of the area. The requested variance is minimized and other codes are met and/or exceeded.

C.2.f. The proposed variation will not impair an adequate supply of light and air to the adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood. The requested variation is being requested at a rear building set-back, therefore it will not affect any public right-of-way or streets. The landscape setback is being met in the subject area and will therefore provide for adequate light and air to the adjacent property. There is no increased risk of fire as the structure is still 10' away from the property line which does not require increased fire protection ratings per the International Building Code.



# 2095 N. Barrington Road - Heidner Development



1 inch = 150 feet

Planning Division  
Village of Hoffman Estates  
July 2010

REVISIONS	DATE	BY
1	10-1-06	[Name]
2	10-1-06	[Name]
3	10-1-06	[Name]
4	10-1-06	[Name]
5	10-1-06	[Name]
6	10-1-06	[Name]
7	10-1-06	[Name]
8	10-1-06	[Name]
9	10-1-06	[Name]
10	10-1-06	[Name]

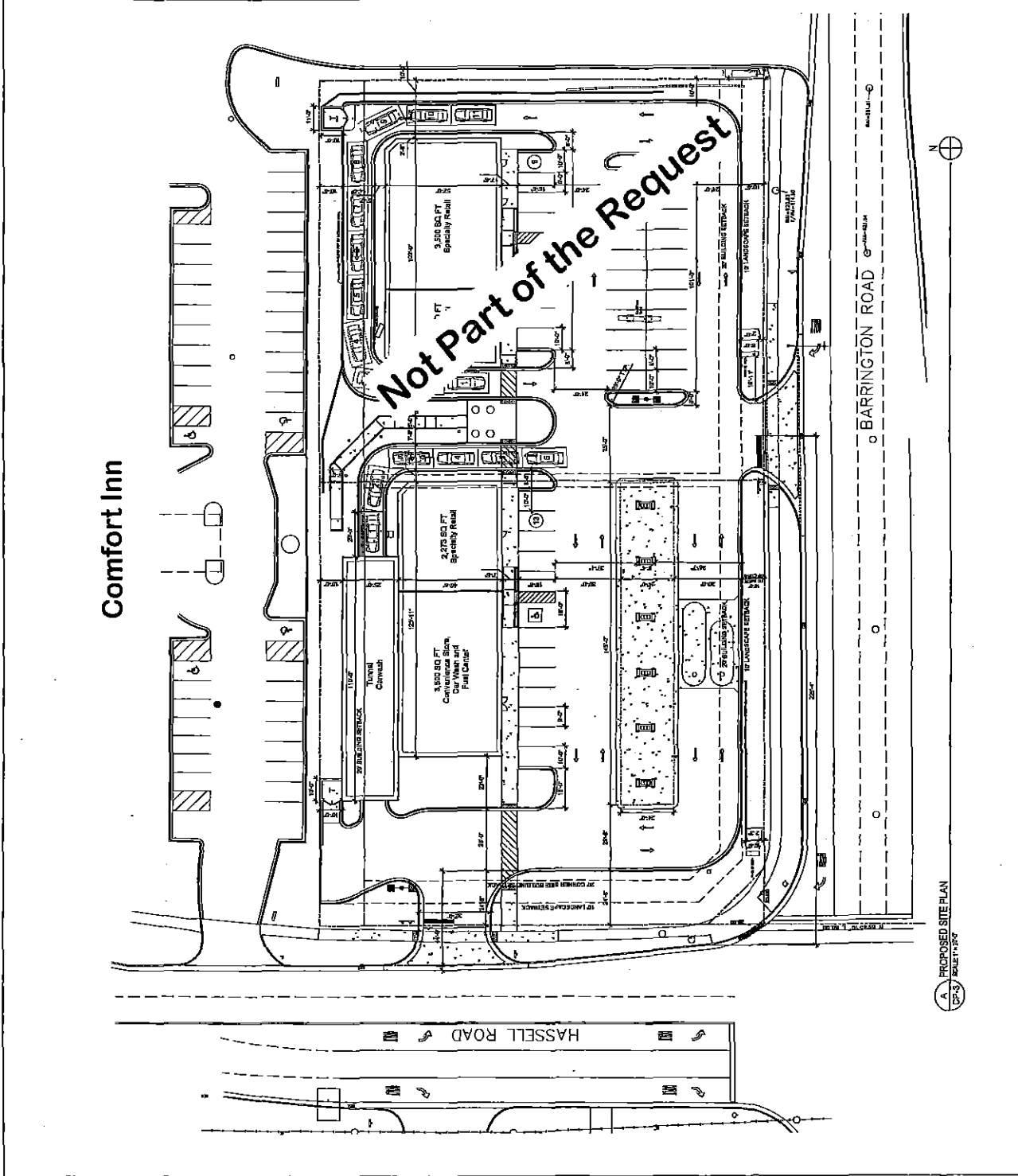
DATE	DESCRIPTION
10-1-06	PRELIMINARY COMMENTS
10-1-06	ISSUE TO ZONING
10-1-06	REPLY FROM VILLAGE & COMMENT
10-1-06	ISSUE TO ZONING
10-1-06	REPLY FROM ZONING
10-1-06	ISSUE TO ZONING
10-1-06	REPLY FROM ZONING
10-1-06	ISSUE TO ZONING
10-1-06	REPLY FROM ZONING

DATE	DESCRIPTION
10-1-06	PRELIMINARY COMMENTS
10-1-06	ISSUE TO ZONING
10-1-06	REPLY FROM VILLAGE & COMMENT
10-1-06	ISSUE TO ZONING
10-1-06	REPLY FROM ZONING
10-1-06	ISSUE TO ZONING
10-1-06	REPLY FROM ZONING
10-1-06	ISSUE TO ZONING
10-1-06	REPLY FROM ZONING

DATE	DESCRIPTION
10-1-06	PRELIMINARY COMMENTS
10-1-06	ISSUE TO ZONING
10-1-06	REPLY FROM VILLAGE & COMMENT
10-1-06	ISSUE TO ZONING
10-1-06	REPLY FROM ZONING
10-1-06	ISSUE TO ZONING
10-1-06	REPLY FROM ZONING
10-1-06	ISSUE TO ZONING
10-1-06	REPLY FROM ZONING



Not Part of the Request

NOTE: ALL DIMENSIONS TO FACE OF CURB UNLESS NOTED OTHERWISE

A PROPOSED SITE PLAN  
 10-1-06

Comfort Inn

BARRINGTON ROAD

HASSSELL ROAD

DATE	REVISIONS
08-08-09 RT	PER STAFF COMMENTS
10-09-09 RT	ISSUE TO ZONING
11-24-09 RT	RE-ISSUE TO ZONING
02-25-10 CRT	RESPONSE TO LACE & CLIENT
04-19-10 RT	ISSUE TO ZONING
05-05-10 RT	PER ZONING COMMENTS

NO. \_\_\_\_\_  
 COMPANY  
 DESIGN & DEVELOPMENT GROUP, LLC  
 10000 Westpark Drive, Suite 100  
 Dallas, TX 75243  
 (214) 343-7000  
 www.dggroup.com



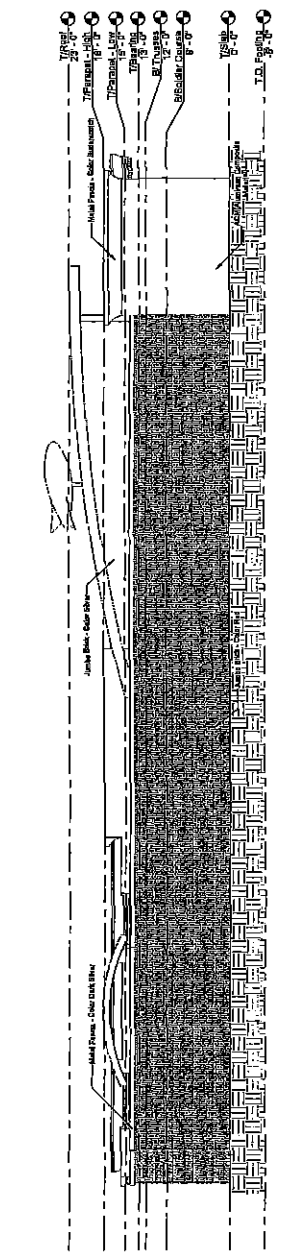
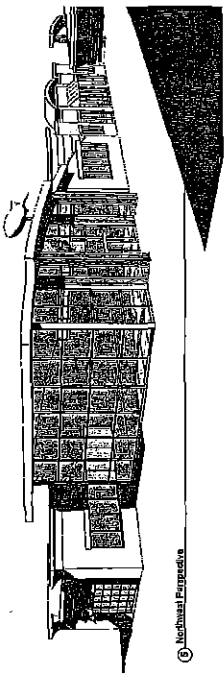
**HOFFMAN ESTATES, IL**  
 SEC BARRINGTON ROAD  
 & HASSELL ROAD

HELDNER PROPERTIES, INC.

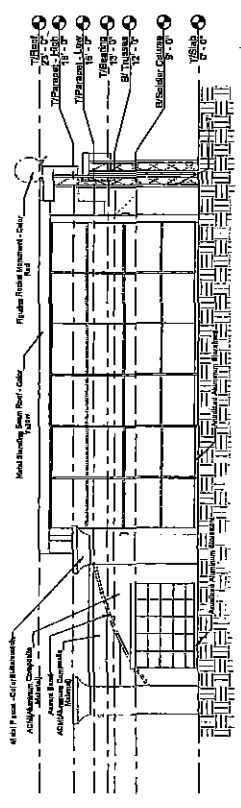
Elevations

NO.	DATE	BY	CHKD.	APP.
1	08-08-09	RT		
2	10-09-09	RT		
3	11-24-09	RT		
4	02-25-10	CRT		
5	04-19-10	RT		
6	05-05-10	RT		

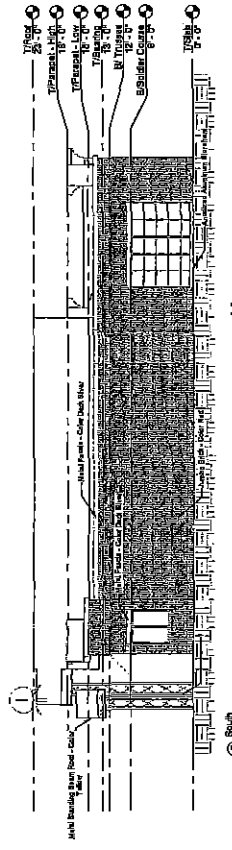
A401



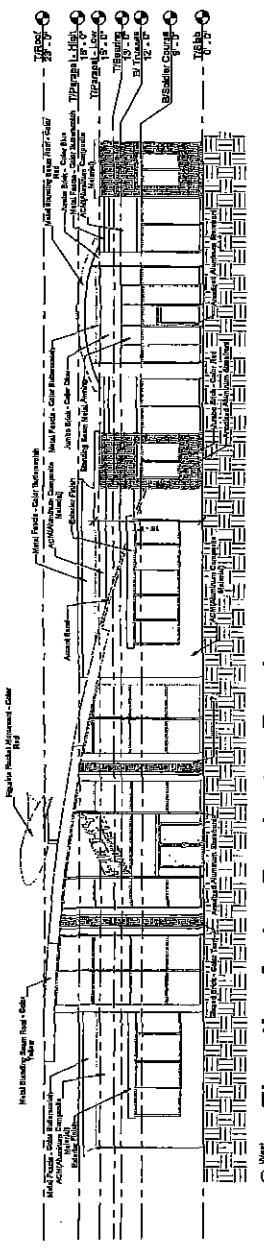
Elevation facing Comfort Inn



Elevation facing Hassell Road



Elevation facing south



Elevation facing Barrington Road



VILLAGE OF HOFFMAN ESTATES  
ZONING BOARD OF APPEALS

FINDING OF FACT

DATE OF PUBLIC HEARING: July 20, 2010

DATE OF PRESENTATION TO VILLAGE BOARD: August 2, 2010

PETITION: Hearing held at the request of John and Laura Zawadzki to consider variations from the Zoning Code to permit the construction of a garage addition on the property located at 820 Clarendon Street.

DISTRICT IN WHICH PROPERTY IS LOCATED: R-3, One Family Residential District

ZONING CODE SECTION(S) FOR VARIATION(S): 9-5-3-D-6

FINDING-OF-FACT: The Zoning Board of Appeals (ZBA) found that the Standards for a Variation (9-1-15-C) were met.

MOTION: Request to grant John and Laura Zawadzki of 820 Clarendon Street, *a 13 foot 10 inch rear yard setback variation from Section 9-5-3-D-6 to permit an addition to be 6 feet 2 inches from the (northwest) rear property line instead of the minimum required 20 feet.* The following conditions shall apply:

1. **Per Section 9-3-6-K-2 of the Zoning Code the existing garage shall be converted to living space, including removal of the garage door, and per Section 9-3-2-C-2 of the Zoning Code the existing driveway shall be removed. The garage conversion and driveway removal shall occur prior to issuance of a certificate of occupancy for the new garage addition.**
2. **No lights or doors shall be installed on the northwest side of the new garage addition facing the neighboring property.**

RECOMMENDATION: The Zoning Board of Appeals (ZBA) recommends **approval** of this request.

The Petitioner is requesting to convert their present garage into living space and to build a new garage in the rear yard of the property. Since the new garage will be a two car garage, the Petitioner applied for a rear yard setback variation of 13'6" from the 20' setback requirement.

The petitioner plans to convert the existing garage into living space. The plan is to expand the kitchen area, however no drawings had been done as of the date of the hearing because their plans would change should the variation request be denied. The Petitioner will be putting in a new driveway which will lead to the new garage structure. The existing one car driveway and



apron will be removed. Staff advised that the Engineering Department determined that the depressed curb could remain.

The two conditions which were part of the motion met with approval of the Petitioner.

AUDIENCE COMMENTS

None.

VOTE:

5 Ayes

0 Nay

2 Absent (Ali, Wilson)

ZONING BOARD OF APPEALS

Chairman William Weaver

Vice-Chairperson Denise Wilson

Michael Ciffone

Masoom Ali

Donna Boomgarden

Michael Gaeta

Gaurav Patel

**\* IMMEDIATE AUTHORIZATION TO APPLY FOR PERMITS IS REQUESTED \***

**THIS VARIATION WILL EXPIRE UNLESS ACTED UPON WITHIN  
ONE (1) YEAR OF VILLAGE BOARD APPROVAL**

FINDING OF FACT WRITTEN BY DONNA BOOMGARDEN

# VILLAGE OF HOFFMAN ESTATES

## Memo

**TO:** William Weaver, Zoning Board of Appeals Chairman  
**FROM:** Josh Edwards, Assistant Planner JAE  
**RE:** 820 CLARENDON STREET - REAR YARD SETBACK VARIATION FOR A GARAGE ADDITION  
**DATE:** July 15, 2010  
**HEARING DATE:** July 20, 2010

---

### 1. REQUEST SUMMARY

Request by John and Laura Zawadzki for a rear yard setback variation to permit the construction of an attached garage addition.

### 2. PETITIONER PROPOSAL

The petitioner is requesting a rear yard setback variation to permit the construction of an attached garage addition. The existing house is set back approximately 20.22 feet from the rear property line. The garage addition would encroach approximately 13 feet 10 inches into the minimum required 20 foot rear yard setback. A new driveway would be constructed leading to the new garage from Carthage Lane. The proposed setback in this memo and the motion is rounded down to 6 feet 2 inches from the proposed 6 feet 2.64 inches (6.22 feet).

The addition would include a tandem, L-shaped garage for two standard cars plus a storage area that could also be used for a sub compact car. The new garage would be 616 square feet and the new driveway would be 24 feet wide. The house would comply with the FAR requirement for this district.

The house includes an existing attached one-car garage and driveway leading from Clarendon Street. The petitioner is proposing to convert the existing garage into living space that would be used as expanded kitchen and laundry areas. With the conversion of the old garage into living space, the driveway would be removed as part of this project, as required by code.

The new garage would include two single-car garage doors. The siding and brick of the addition would match the existing house.

The petitioner has noted in their application materials that a roof pitch deficiency will be corrected as part of this project. The improved roof pitch is not relevant to the setback variation and is not a hardship for the required setback in question (a roof can be corrected without expanding the house footprint, and is unrelated to the zoning code).

**3. SITE CONDITIONS**

- a) The subject property is zoned R-3, One-Family Residential District.
- b) The surrounding properties are also zoned R-3.
- c) The subject property is located in the Parcel B subdivision.

**4. APPLICABLE REQUIREMENTS**

- a) Section 9-5-2-D-6 (p. CD9:71) states that the minimum rear yard setback shall be 20 feet.
- b) Section 9-3-2-B-1 (p. CD9:28.1) states that a property must include garage parking to accommodate no less than two automobiles. The existing garage is one-car, but with this proposal the property will comply with this code section.
- c) Section 9-3-2-C-2 (p. CD9:28:1) states that a driveway shall be permitted in a front yard provided that it leads to an approved parking structure (i.e. garage). The petitioner proposes to comply with this code section and remove the existing driveway leading to Clarendon Street.
- d) Section 9-3-6-K-2 (p. CD9:32) states that the combined garage areas must not exceed 750 square feet. The petitioner proposes to comply with this code section and convert the existing garage into living space.

**5. ADJACENT OWNERS COMMENTS**

- a) Standard notification letters have been mailed with no written comments received at the time of this writing.
- b) Statements of Awareness from neighboring properties were received from 165 Carthage Lane, 155 Carthage Lane, 140 Carthage Lane, 840 Clarendon Street, and 825 Clarendon Street.

**6. VARIATION HISTORY**

*Subject property*

There is no variation history.

*Similar variations in the Village*

- a) Ordinance No. 3407-2002 – 535 Illinios Boulevard – A **17 foot** variation was granted to permit a two-story garage and room addition to be 3 feet from the rear lot line instead of the minimum required 20 feet. This property is a corner lot and is zoned R-3, One-Family Residential District.
- b) Ordinance No. 4061-2008 – 4095 New Britton Drive – A **10 foot** variation was granted to permit an addition to be 10 feet from the rear lot line instead of the minimum required 20 feet. This property is a corner lot and is zoned R-9 Subzone A, which has the same rear yard setback requirement of the R-3 district.

**7. ENGINEERING COMMENTS**

The Engineering Division has reviewed the petitioner's proposal and noted that the curb depression of the removed driveway may remain and does not need to be replaced with a new curb. This will be noted as part of the demolition permit as well.

**8. IMMEDIATE AUTHORIZATION TO APPLY FOR PERMIT**

The petitioner requests immediate authorization to apply for permits.

**9. DEVELOPMENT SERVICES COMMENTS**

The garage addition is adjacent to the side yard of the neighboring property. The separation between the houses is approximately 30 feet and would be reduced to approximately 16 feet.

The petitioner intends to gain additional kitchen and laundry room space by converting the existing garage and constructing a new, larger garage. The existing garage is legal nonconforming, but with the addition of a 616 square foot garage the existing garage must be converted to living space.

If the variation is denied, the garage could not be constructed in the rear yard.

A condition is proposed that reiterates that the existing garage must be converted and that the existing garage into living space that the existing driveway must be removed, as the petitioner's plans indicate.

10. **MOTION**

Should the Zoning Board find that the Standards for a Variation are met the following motion is provided with two conditions:

**A 13 foot 10 inch rear yard setback variation from Section 9-5-3-D-6 to permit an addition to be 6 feet 2 inches from the (northwest) rear property line instead of the minimum required 20 feet.**

1. Per Section 9-3-6-K-2 of the Zoning Code the existing garage shall be converted to living space, including removal of the garage door, and per Section 9-3-2-C-2 of the Zoning Code the existing driveway shall be removed. The garage conversion and driveway removal shall occur prior to issuance of a certificate of occupancy for the new garage addition.
2. No lights or doors shall be installed on the northwest side of the new garage addition facing the neighboring property.

cc: Corporation Counsel, D. O'Malley, D. Plass, R. Norton, Petitioner

VILLAGE OF HOFFMAN ESTATES  
ZONING BOARD OF APPEALS

REQUEST FOR RESIDENTIAL VARIATION HEARING

FOR VILLAGE USE ONLY

Hearing Fee \$ 150.00 Date Paid 7/19/10 Received By J EDWARDS  
Hearing Date: 7/20/10 Time: 7:30pm Legal Published \_\_\_\_\_  
Receipt Number \_\_\_\_\_ Check No. \_\_\_\_\_ Zoning District R-3

PLEASE PRINT OR TYPE

Use additional sheets as necessary

1. Property Owner(s) Name\* JOHN AND LAURA ZAWADZKI  
E-Mail Address lazawadzki@yahoo.com Fax 847-310-9427  
Owner's Address 820 CLARENDON STREET Phone 847-310-9427  
City HOFFMAN ESTATES State IL Zip 60169

Subject Property's Address (if different):

SAME

2. Person applying if other than owner\*:

Name SAME Company \_\_\_\_\_  
E-Mail Address \_\_\_\_\_ Fax \_\_\_\_\_  
Address \_\_\_\_\_ Phone \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

3. Property Index Number (PIN) 07-15-404-023-0000

4. Zoning District R3

5. Briefly describe the improvement that needs a variation.

WE NEED A REAR YARD SETBACK VARIATION TO  
CONSTRUCT A NEW GARAGE AND GAIN STORAGE SPACE

\* If "owner" is an entity other than an individual(s), then an Economic Disclosure Statement must also be filed.

6. Other options that would not require a variation?

NONE

7. Is the applicant the original owner? NO How long has the applicant resided at this address? 24 YRS Did the condition that instituted this request for a variation exist at the time the applicant purchased this property? If yes, please describe.

BEING ON A CORNER LOT, WE DO NOT HAVE ROOM ON THE LOT TO EXPAND OUR GARAGE. ADDITIONALLY, WE NEED TO CORRECT A BAD ROOF LINE, THAT WAS ADDED BEFORE WE MOVED IN, AND LEAKS.

8. Describe existing materials and proposed construction materials indicating if proposed construction will match or blend with the existing structure.

HOUSE IS BRICK ON THE BOTTOM WITH SIDING ABOVE. PROPOSED CONSTRUCTION IS TO USE THE SAME SIDING AND RE-USE THE BRICK TO MATCH.

9. Estimated total project cost 30,000

10. Removal/ relocation of trees, driveway approaches, utilities required? Will the proposed construction require removal/ relocation of trees, driveway apron, utilities, other? If yes, please describe.

A NEW DRIVEWAY AND APRON ARE REQUIRED. A NEW ELECTRIC LINE TO THE GARAGE IS ALSO REQUIRED.

11. An Immediate Authorization to Apply for Permits allows the Code Enforcement Division to begin the building permit review process prior to the adoption of the Ordinance by the Village Board. The Immediate Authorization makes it possible for you to expedite the plan review process by approximately two weeks. Contact the Code Enforcement Division at 847/781-2631 to discuss the building permit application and review process.

Please check one of the following

Yes, I request Immediate Authorization to Apply for Permits upon approval of my application by the Village Board, allowing me to begin the building permit review process prior to adoption of the Ordinance approving my variation.

Or

No, I do not request Immediate Authorization to Apply for Permits.

12. Existing Conditions

Front, Side, Rear Yard Setback, Height, or Other Variation	Present Condition	Required	Proposed
REAR YARD SETBACK	20.22 FEET	20 FEET	6.22 FEET

13. I, the undersigned, certify the information and submissions provided accurately represent the current conditions and proposed improvement(s) requiring a variation.

Owner's Signature Laura Zawadzki John Zawadzki  
 Name (Please Print) LAURA ZAWADZKI JOHN ZAWADZKI  
 Applicant's Signature Laura Zawadzki John Zawadzki  
 Name (Please Print) LAURA ZAWADZKI JOHN ZAWADZKI



June 23, 2010

Dear Village Zoning Board,

We are requesting your review and approval of a variance for 820 Clarendon Street. We've lived in our house for 24 years and we like the village and our neighborhood and our two children are doing well in the schools.

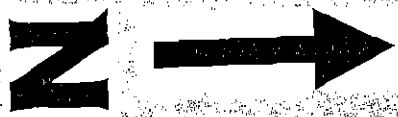
Over the years, our needs have grown as our family has grown and our one-car garage no longer provides sufficient storage space. Our corner lot with large front and side yard setbacks does not allow enough space to expand our current garage. We are requesting a rear yard setback variance to construct a new garage and gain our much needed additional storage space.

Additionally, we need to correct a bad roof line that existed when we purchased the house. Our site plan includes constructing the new garage and correcting the bad roof by removing the existing valley in our roof.

Please see the site plan provided. Thank you for your review.

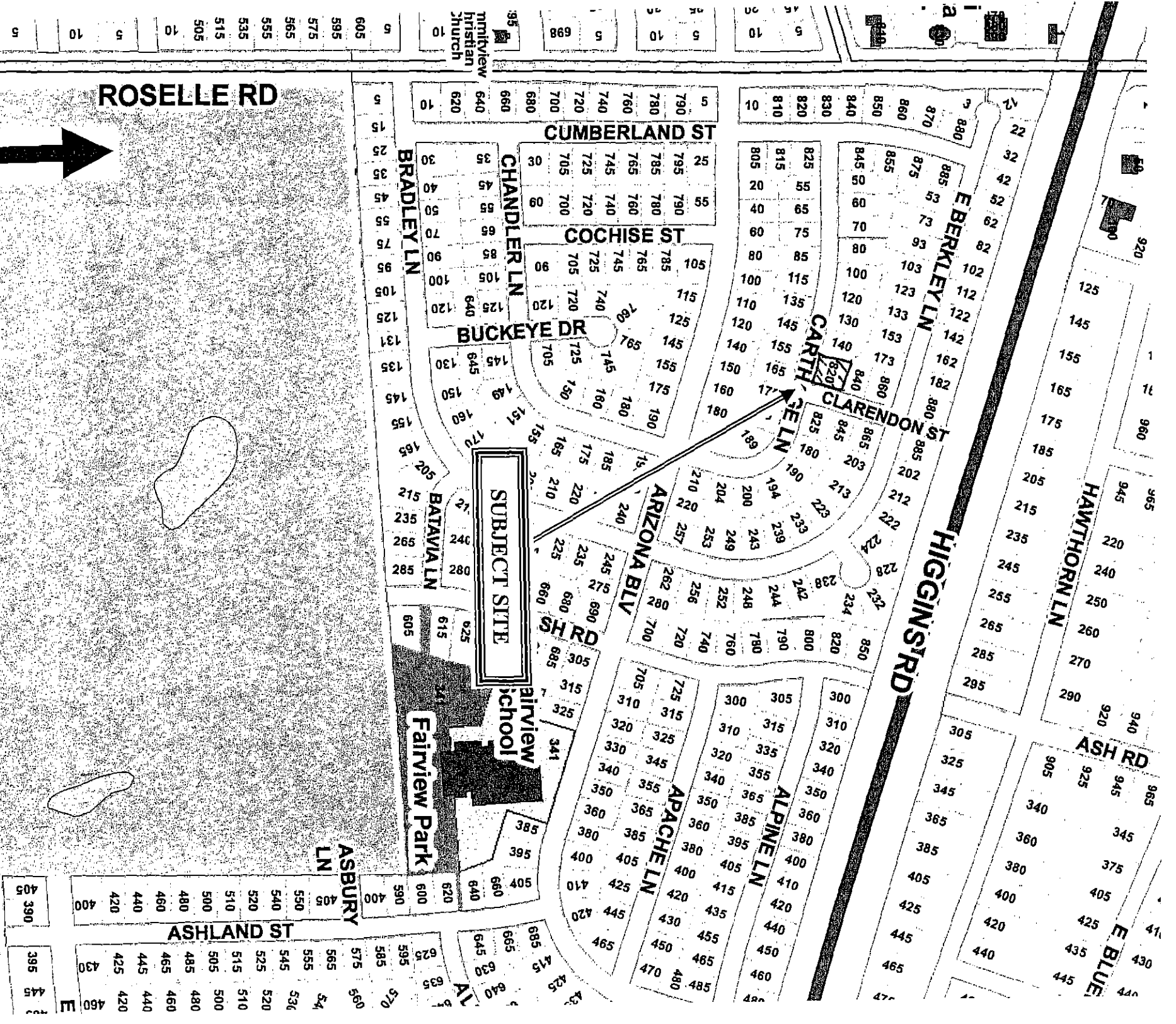
Sincerely,

John and Laura Zawadzki  
820 Clarendon Street  
Hoffman Estates, IL 60169



ROSELLE RD

Schaumburg Golf Club



SUBJECT SITE

Fairview School

Fairview Park

HAWTHORN LN

ASH RD

E BLUE

HIGGINS RD

CLARENDON ST

BERKLEY LN

CARTHAGE LN

ARIZONA BLVD

APACHE LN

ALPINE LN

SH RD

ASBURY LN

ASHLAND ST

CUMBERLAND ST

COCHISE ST

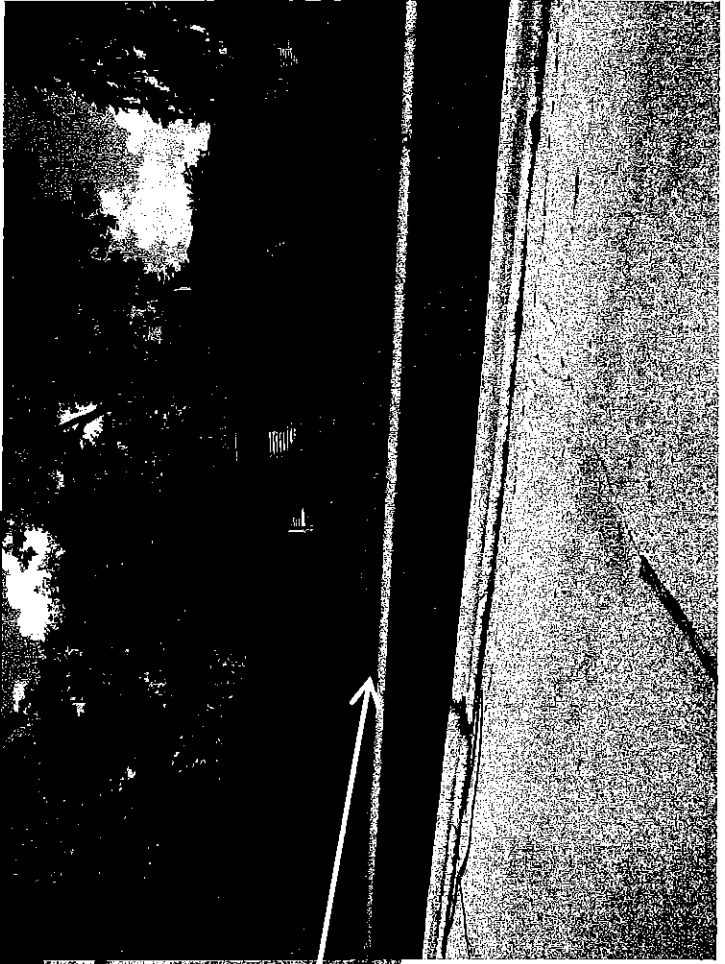
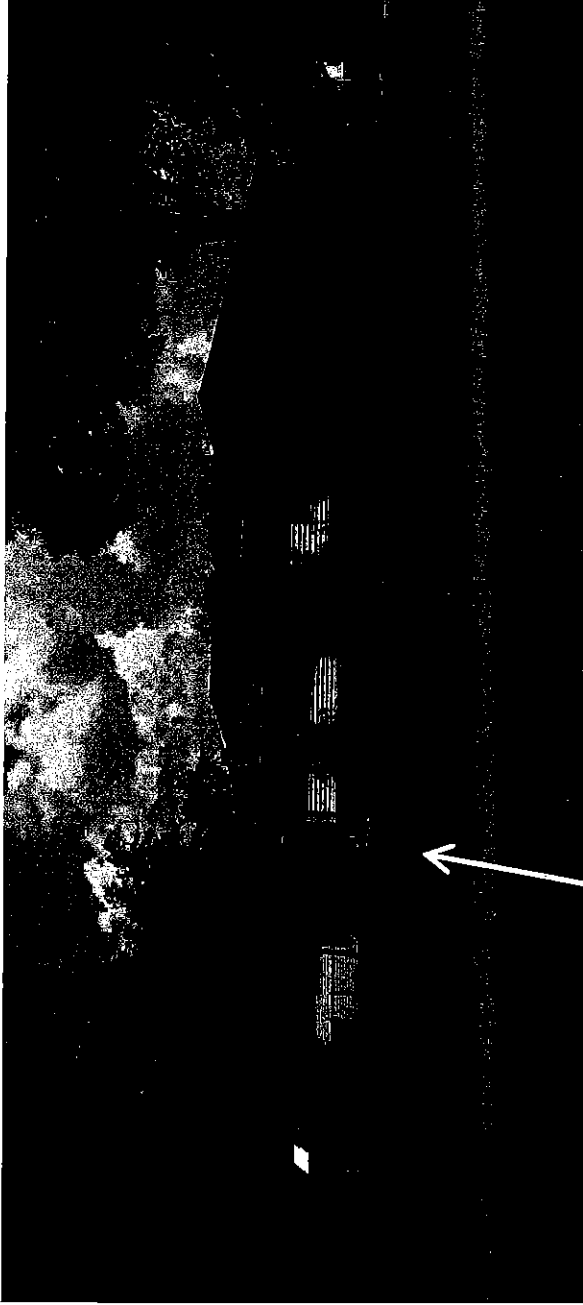
BUCKEYE DR

CHANDLER LN

BRADLEY LN

BATAVIA LN

820  
Clarendon  
Street



Location of  
Addition and  
Driveway

# 820 Clarendon Street

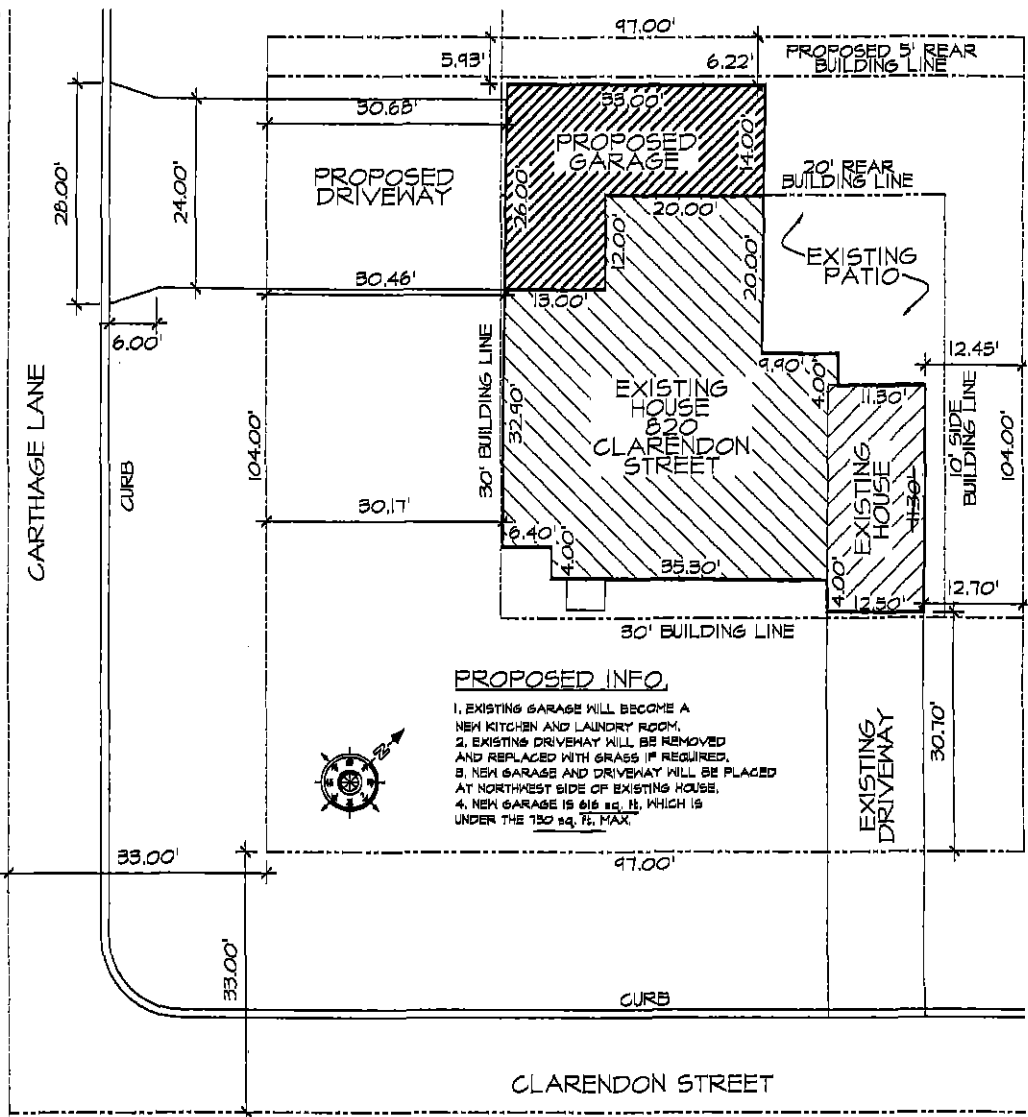
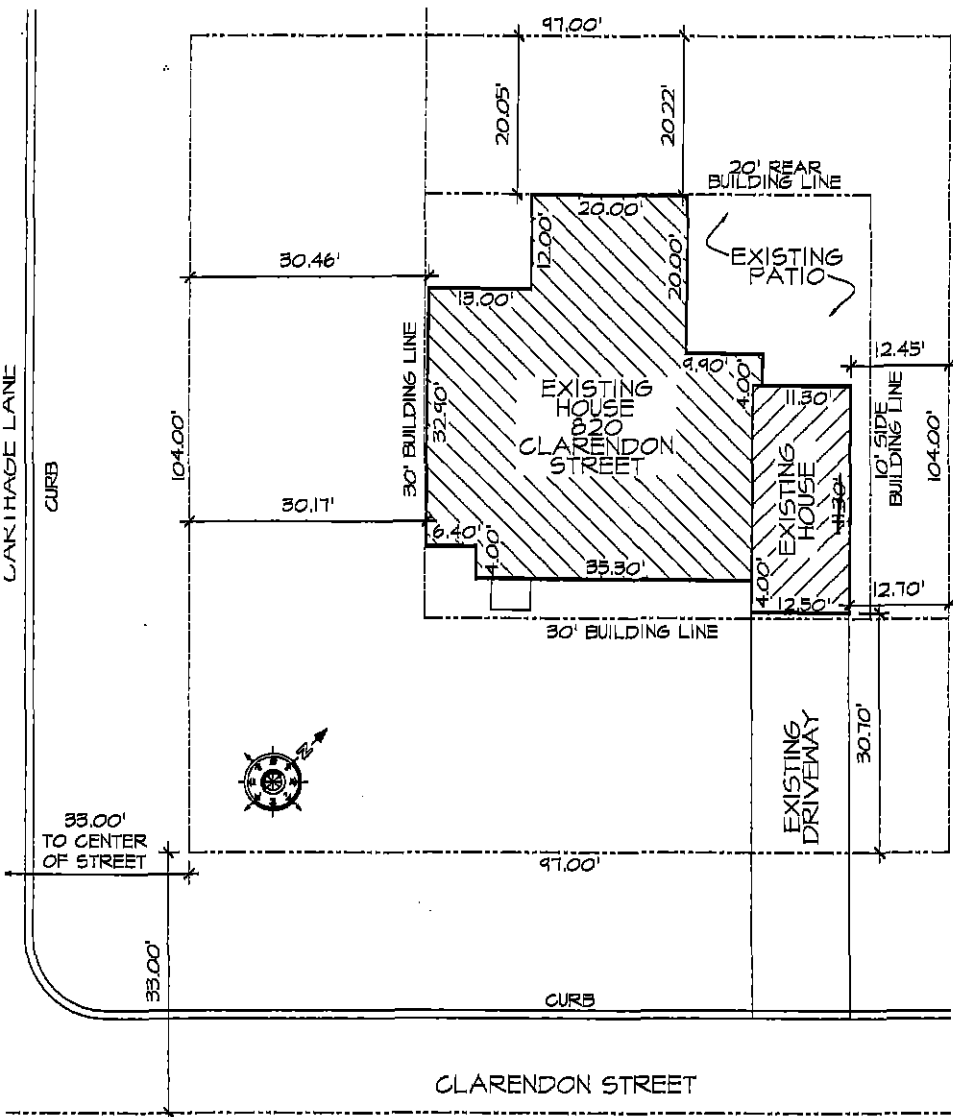


# 820 Clarendon Street



1 inch = 40 feet

Planning Division  
Village of Hoffman Estates  
June 2010



**PROPOSED INFO.**

1. EXISTING GARAGE WILL BECOME A NEW KITCHEN AND LAUNDRY ROOM.
2. EXISTING DRIVEWAY WILL BE REMOVED AND REPLACED WITH GRASS IF REQUIRED.
3. NEW GARAGE AND DRIVEWAY WILL BE PLACED AT NORTHWEST SIDE OF EXISTING HOUSE.
4. NEW GARAGE IS 616 sq. ft. WHICH IS UNDER THE 750 sq. ft. MAX.

**SITE PLAN**

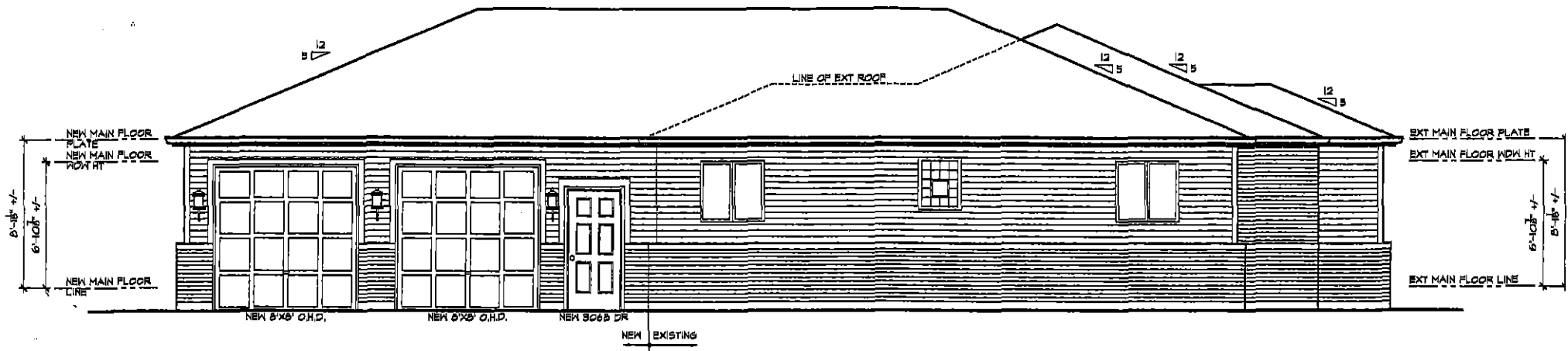
Blueprints by Design Inc. expressly reserves its copyright and other property rights in these plans. These plans are not to be reproduced, altered, or copied in any form or by any means, nor are they to be assigned to a third party without first obtaining the written permission and consent of Blueprints by Design Inc. In the event of an accidental reuse of these plans by a third party, the user shall hold Blueprints by Design Inc. harmless.

A NEW CUSTOM ADDITION for  
**JOHN AND LAURIE ZAWADZKI**

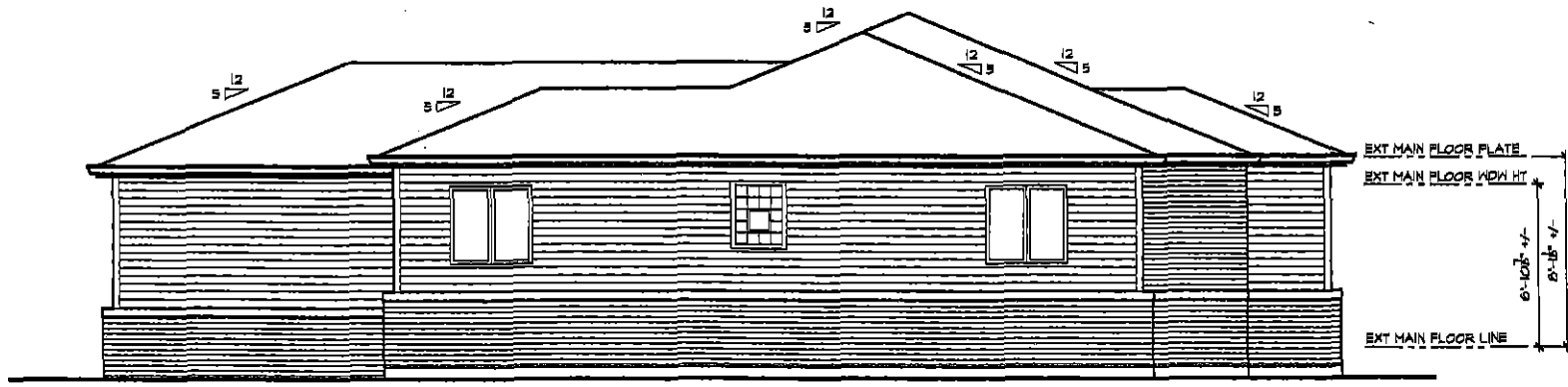
820 CLARENDON STREET  
 Hoffman Estates IL. 60169

ARCHITECTURAL CONSULTANT  
**BLUEPRINTS by DESIGN Inc.**

1066 Ash Road  
 Hoffman Estates,  
 IL. 60169  
 ph: 847-417-8668



**NEW PROPOSED LEFT SIDE ELEVATION**  
SCALE: 3/16" = 1'-0"

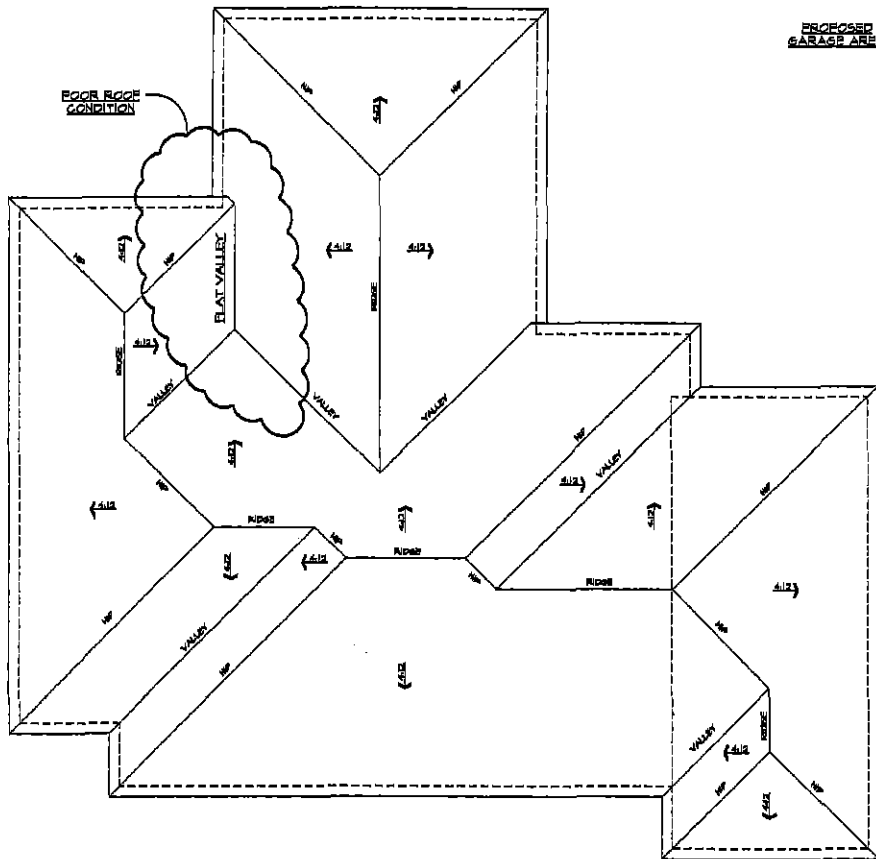


**EXISTING LEFT SIDE ELEVATION**  
SCALE: 3/16" = 1'-0"

**ELEVATION**  
All rights by Design Inc. expressly reserves its copyright and other proprietary rights in these plans. These plans are not to be reproduced, stored, or made in any form or manner whatsoever, nor are they to be disclosed in any way without first obtaining the written permission and consent of Design Inc. in the event of construction of these plans by a third party, the third party shall indemnify and hold Design Inc. harmless.

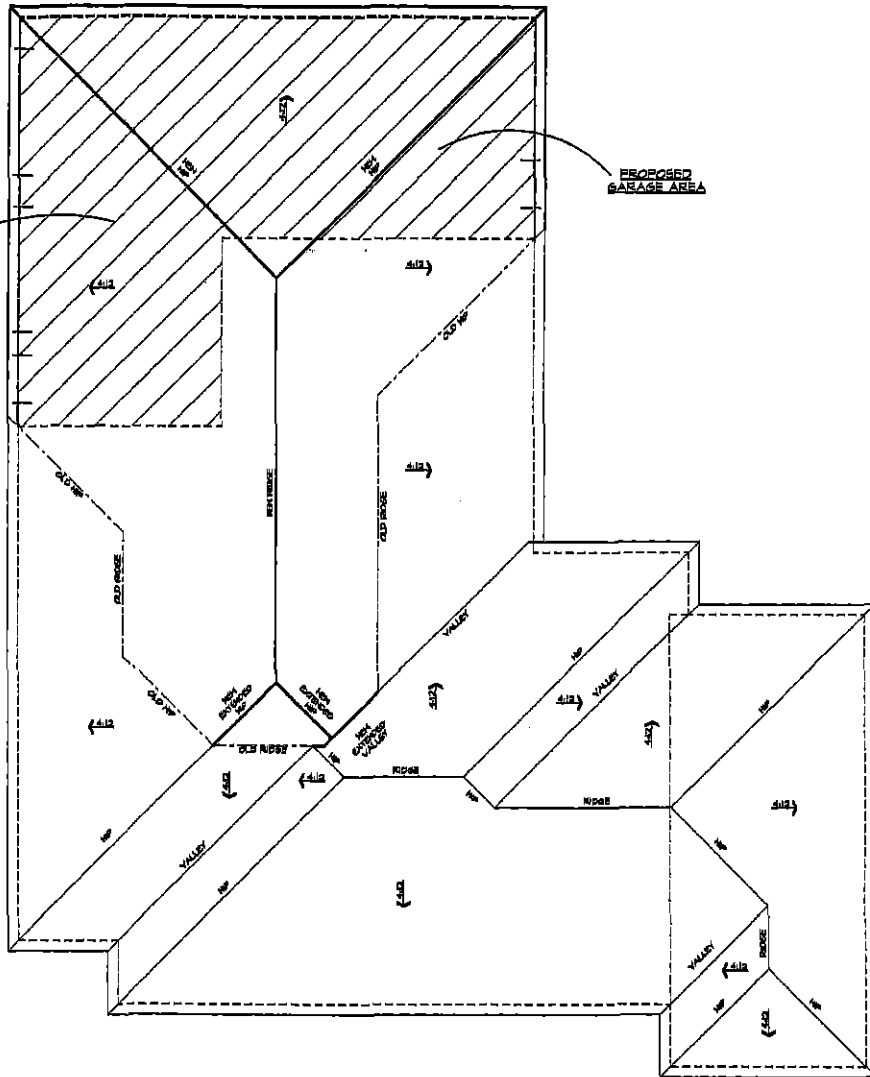
A NEW CUSTOM ADDITION for  
**JOHN AND LAURIE ZAWADZKI**  
 820 CLARENDON STREET  
 Hoffman Estates IL, 60189

ARCHITECTURAL CONSULTANT  
**BLUEPRINTS by DESIGN Inc.**  
 1080 Ash Road  
 Hoffman Estates, IL, 60189  
 ph: 847-417-8383



**EXISTING ROOF PLAN**

SCALE: 1/8" = 1'-0"



**NEW PROPOSED ROOF PLAN**

SCALE: 1/8" = 1'-0"

**ROOF PLAN**

Blueprints by Design Inc. expressly reserves its copyright and other proprietary rights in these plans. These plans are not to be reproduced, changed, or copied in any form or manner whatsoever, nor are they to be assigned to a third party without first obtaining the written permission and consent of Blueprints by Design Inc. In the event of unauthorized reuse of these plans by a third party, the third party shall hold Blueprints by Design Inc. harmless.

A NEW CUSTOM ADDITION for  
**JOHN AND LAURIE ZAWADZKI**  
820 CLARENDON STREET  
Hoffman Estates IL. 60169

ARCHITECTURAL CONSULTANT  
**BLUEPRINTS by DESIGN Inc.**  
1065 Ash Road  
Hoffman Estates,  
IL. 60169  
ph: 847-417-0668



VILLAGE OF HOFFMAN ESTATES  
ZONING BOARD OF APPEALS

FINDING OF FACT

DATE OF PUBLIC HEARING: June 22 and July 20, 2010

DATE OF PRESENTATION TO VILLAGE BOARD: August 2, 2010

PETITION: Hearing held at the request of McShane Corporation and Prairie Pointe Center Development LLC/Prairie Pointe Medical Office Center LLC to consider a master sign plan under the Zoning Code to permit signage on the property located at the southwest corner of Hoffman Boulevard and Route 59 (including 4885 Hoffman Boulevard in the Prairie Stone Business Park).

DISTRICT IN WHICH PROPERTY IS LOCATED: EDA, Economic Development Area District

ZONING CODE SECTION(S) FOR MASTER SIGN PLAN: EDA Sign Code Section III.B.6. (DEVELOPMENT OR SITE SIGNS)

FINDING-OF-FACT: The Zoning Board of Appeals (ZBA) found that the Standards for a Master Sign Plan in the EDA District (9-7-5-III.B.6.) were met.

MOTION: Request to grant McShane Corporation and Prairie Pointe Center Development LLC/Prairie Pointe Medical Office Center LLC, *approval of a Master Sign Plan in accordance with Section III.B.6. of the PRAIRIE STONE SIGN REQUIREMENTS for Prairie Pointe (marketing name, Parcel 23) based on the "Gateway to 59/90 Master Sign Plan Package" (dated July 20, 2010) on the property located at the southwest corner of Hoffman Boulevard and Route 59 (including 4885 Hoffman Boulevard in the Prairie Stone Business Park).*

RECOMMENDATION: The Zoning Board of Appeals (ZBA) recommends approval of this request.

The Petitioner presented the master sign plan for the property located at the southwest corner of Hoffman Boulevard and Route 59 (including 4885 Hoffman Boulevard in the Prairie Stone Business Park).

Mr. Scott Freres with the Lakota Group, Dr. James Kane with the Suburban Surgical, and Teresa Ferris with McShane Development were the presenters.

The Petitioner is asking for temporary marketing banner style sign and permanent signage for Lot 23, a 22 acre parcel that fronts the I-90 tollway. The allowable signage for their project is 12 marketing signs and they are proposing only 4. The permitted size of the ground marketing signs per lot is 75 square feet and they need them to be 150 square feet.

The temporary banner style sign to be attached to the south building wall of the Prairie Pointe medical building will be of three different sizes, they will be decreased in size over the next 3 years. After the 1<sup>st</sup> year, the size of the sign is reduced and for the 2<sup>nd</sup> and 3<sup>rd</sup> year, the sign will reduced again to a smaller size.

The internal directional signs will focus on the locations of the individual tenants and how to get to places on the campus.

Dr. James Kane, one of the owners of the medical building, stated that with the temporary banner signs, it will inform people that there is available space in his medical facility. He also anticipates that when the building is full of tenants, it will draw roughly 60,000 to 100,000 patients a year when they are driving down Hoffman Boulevard.

The Board saw no problems with this petition.

AUDIENCE COMMENTS

None.

VOTE:

5 Ayes

0 Nay

2 Absent (Ali, Wilson)

ZONING BOARD OF APPEALS

Chairman William Weaver

Vice-Chairperson Denise Wilson

Michael Ciffone

Masoom Ali

Donna Boomgarden

Michael Gaeta

Gaurav Patel

**THIS MASTER SIGN PLAN WILL EXPIRE UNLESS ACTED UPON WITHIN  
ONE (1) YEAR OF VILLAGE BOARD APPROVAL**

FINDING OF FACT WRITTEN BY MICHAEL GAETA

# VILLAGE OF HOFFMAN ESTATES

## Memo

**TO:** William Weaver, Zoning Board of Appeals Chairman

**FROM:** Brian S. Portz, Associate Planner *bsp*

**RE:** REQUEST BY MCSHANE DEVELOPMENT COMPANY, DBA PRAIRIE POINTE CENTER DEVELOPMENT, LLC, FOR APPROVAL OF A MASTER SIGN PLAN FOR PRAIRIE POINTE (MARKETING NAME, PARCEL 23) IN THE PRAIRIE STONE BUSINESS PARK

**DATE:** July 15, 2010

**HEARING DATE:** July 20, 2010

---

### 1. REQUEST

Request by McShane Development Company, d.b.a. Prairie Pointe Center Development LLC, for approval of a master sign plan for Prairie Pointe (marketing name, Parcel 23) in the Prairie Stone Business Park.

### 2. BACKGROUND

In 2007, the petitioner received approval for a 4-story medical office building on the 22 acre site along with conceptual approval for possible retail and restaurant uses on the remainder of the site. The medical office building has been built and infrastructure (roads and utilities) have been installed, but no other development has occurred on the site. The existing wall signs on the medical office building and the freestanding sign in front of the building, along Hoffman Boulevard, meet the Prairie Stone sign regulations.

As mentioned, the remainder of the site is envisioned to be a hotel, retail and restaurant development. The Prairie Stone sign regulations were not designed for retail development; therefore, the petitioner is seeking approval of a master sign plan for the property to allow retail types of signs that would not be permitted in the regular Prairie Stone sign regulations.

### **3. PROPERTY CHARACTERISTICS**

The petitioner's 22 acre site is a long and narrow piece of property. In fact, the frontage along Hoffman Boulevard stretches for about 3,000 feet. The frontage along the Tollway is nearly that long at about 2,800 feet. In order to market such a large property, the petitioner is proposing freestanding marketing signs of varying sizes and text. In addition to the size of the property, the property has been subdivided into six different lots and may be subdivided further in the future based on a specific development. The Prairie Stone sign regulations would permit one marketing sign per street frontage for each of the lots, which would mean that there could be as many as 11 marketing signs on this property or more if the property were to be subdivided further in the future. The proposed master sign plan limits that number to three freestanding signs and one temporary sign on the building to market the entire property.

In addition to the size of the petitioner's property, the property itself is located at a lower grade than the Tollway, which makes it more difficult to see the property from the Tollway, especially for westbound traffic. In addition, the on-ramp from Route 59 is located right in front of this property, which also makes it difficult to see this site for westbound traffic. And, there is a Tollway maintenance building, with a tall antenna next to it, which is located between the Tollway and the medical office building. This maintenance building also acts as a barrier to views into the site from the Tollway. The petitioner is proposing to install a temporary marketing sign on the south wall of the medical office building in different sizes and types over a 5-year period to market the space available in the building. There will be no more than one temporary sign at a time. This has not been proposed with any other master sign plan approved in the Village; however, the location of the medical office building and the site on which it is built do create unique conditions to possibly warrant this type of sign on the building for a limited time. Due to the large grade difference between the site and the Tollway, any ground mounted marketing sign near the office building would not be visible from the Tollway.

### **4. TIMING**

At this time, the petitioner is only proposing to install the marketing signs on the property. The permanent signage will not be installed on the property until there is a specific development proposed on the site. There is no specific development planned for the site at this time. In order to attract potential development to the site, the petitioner wishes to install the marketing signs as soon as possible to promote sales and/or leasing of the property. The master sign plan and the marketing signs proposed as a part of it will set the stage for the future development of this site.

### **5. PROPOSAL**

The proposed master sign plan is included in the packets for review. The master sign plan is generally divided into the different categories of signs proposed: ground signs, wall signs, temporary signs, and miscellaneous signs.

### ***Ground Signs***

Sign types A and A1, as shown in the master sign plan, will be the primary gateway/entrance signs to identify the property and the major tenants. The signs will be located at the corner of Route 59 and Hoffman Boulevard (Sign Type A-1) and on the west side of the subject property (Sign Type A) to anchor the two ends of the property. These signs will be approximately 2,500 to 3,000 feet apart. Sign Type A will be a maximum of 30 feet tall and 15 feet wide. Sign Type A-1 may be a similar size, however its ultimate design and size will have to be coordinated with signage for the Village's Poplar Creek at 59/90 Entertainment District signage. It is possible that the 59/90 signage and the project signage may be merged into one larger monument sign, or they may be separate signs. The master sign plan provides a written statement that the design, size, placement, etc. of this sign will be coordinated with the Village and the property owner and the actual sign location and size will require approval by the Village.

Sign type B will be located at each major street entrance to the subject property. These signs will identify the subject property, including space for tenants and will be approximately 700 feet apart. These signs will be a maximum of 15 feet tall and the sign copy will be a maximum of 200 square feet in size.

Sign type B-1 will be located between the Route 59/Hoffman Boulevard corner and the Old Sutton Road aligned entrance to the site. This sign will identify the specific business(es) located between Route 59 and the Old Sutton Road aligned entrance. The specific size of this sign is unknown at this time.

Although, a specific design for the ground signs has yet to be determined, it is required that all five signs will be constructed with a stone or brick base with aluminum or steel sign panels, or other similar materials.

### ***Wall Signs***

Identical to other master sign plans approved by the Village for retail developments, the petitioner is proposing to permit each tenant on the property one sign per building face, up to a maximum of four signs per tenant. For tenants with less than 15,000 square feet of floor space, each sign can be up to 200 square feet in area. For tenants with greater than 15,000 square feet of floor space, each sign can be up to 300 square feet in area. Each sign will be centered horizontally within the front façade of the building or over an architectural entry feature of such façade.

In addition to the primary wall signs permitted, one secondary sign per wall will also be permitted for primary anchor tenants and for freestanding buildings. Secondary signs shall be a maximum of 25 square feet in size and shall identify additional services offered or identify a secondary entrance.

Freestanding office buildings will be required to meet the Prairie Stone sign regulations for wall signs, since those regulations were developed for freestanding office buildings.

### ***Temporary Signs***

Provisions for temporary marketing signs are included in the master sign plan. The master sign plan proposes ground mounted temporary marketing signs to be located along Hoffman Boulevard and facing I-90. The existing marketing signs on the property will be removed and replaced by the signs as depicted in the master sign plan. One of the proposed signs (Marketing Sign A) will be located near the existing medical office building and will advertise medical space in the building. Another sign along Hoffman Boulevard (Marketing Sign B) will be located near the intersection of Old Sutton Road and Hoffman Boulevard and will advertise land sites for purchase. This sign will be located about 1,000 feet from the other marketing sign along Hoffman Boulevard. These two signs will be a total of 125 square feet in size each. Another ground mounted marketing sign (Marketing Sign C) will face the I-90 Tollway and will advertise both land sites and space in the medical office building. This sign will be 150 square feet in size.

The master sign plan also proposes temporary marketing signs to be affixed to the medical office building (Marketing Sign D) to advertise space in the building to the 140,000 + vehicles per day that travel on I-90. The proposal is to permit a 30' X 30' banner sign to be attached to the south side of the building (see page 12 of the master sign plan). This sign would remain on the building for a period of 12 months. At the conclusion of 12 months, a second, smaller banner sign would be installed for an additional 12 months (see page 12 of the master sign plan). At the conclusion of those 12 months, a more permanent channel lettered temporary marketing sign would be affixed to the south wall of the building. This sign would read, "Available" and would list the contact website (see page 12 of the master sign plan). This sign is proposed to be displayed for an additional 3 years. So, all together, the temporary marketing signs on the medical office building will be up for a total of 5 years and then will be removed.

The reasoning for the phased approach to the wall mounted temporary marketing signs is to give the appearance that the signs are ever-changing and that they will not be up for an undefined period of time. The phased approach will ensure that the signs do not become tattered and weathered from being exposed to the elements for years.

The temporary sign section of the master sign plan provides information as to when each marketing sign is to be removed. For instance Marketing Sign A will be removed once the medical office building has reached 90% occupancy or within 5 years, whichever occurs first. Marketing Signs B & C will be removed when the last lot on the property has been sold. Marketing Sign D will be removed as outlined above.

Because of the unique characteristics of this property and its relationship to the Tollway, the petitioner has a need to provide more visibility of their site/building to the traffic passing by on the Tollway. Since this property sits at a lower elevation than the Tollway, extra height is needed to identify to the passing public that space is available in the medical office building.

In the petitioner's opinion, the proposed 150 square foot ground mounted marketing sign that is proposed to face the Tollway won't be enough to convey the message that there is still space available in the medical office building. Thus, they are requesting the extra temporary signage on the building.

### ***Miscellaneous Signs***

The proposed master sign plan provides regulations for directional signs on the property. Directional signs will be a maximum of 4 feet tall and will be 8 square feet in size per side. The directional signs permitted may be illuminated and may contain a logo. An example of the design of the directional signs is included in the master sign plan.

All the proposed signs within the master sign plan will conform to Tollway sign restrictions.

### ***Entertainment District Signs (Reviewed by PB&Z, not ZBA)***

This master sign plan incorporates a group of signs at the corner of Route 59 and Hoffman Boulevard. These signs will advertise the entertainment district in Prairie Stone and market space available on the petitioner's property. These signs will collectively be considered as entertainment district signs according to Village Code. Please see pages 7 & 8 of the master sign plan.

Section V-1-k of the Prairie Stone Sign Requirements provides for Village Entertainment District signs to be approved with a size, location, and design determined appropriate by the Village Board. The signs are still referenced as part of this master sign plan; however, the formal Village approval process for entertainment district signs is through the Village Board.

The Planning, Building, & Zoning Committee reviewed these signs at their meeting on June 14, 2010 and voted to recommend approval to the Village Board. The Village Board will consider the 59/90 Entertainment District signage along with this master sign plan request on August 2, 2010.

## **6. SITE CONDITIONS**

- a) The subject site is zoned EDA, Economic Development Area District.
- b) The surrounding properties to the west and north are zoned EDA, Economic Development Area District. East of the property, across Route 59, is vacant property that is zoned O-3, Office and Research Tollway District. South of the property is the I-90 Tollway.

## **7. APPLICABLE REQUIREMENTS**

As part of the request for the Sears Centre development, the EDA sign regulations were amended to allow an option for a master sign plan. This amendment was approved to

accommodate the changing nature of development in the Prairie Stone Business Park. The regulations are as follows.

**Section III.B.6. (DEVELOPMENT OR SITE SIGNS)**

6. (a) The Master Sign Plan may be proposed for an individual property being ten (10) acres or more in size, for sites with multiple buildings, or for multiple adjacent parcels (which may be less than ten (10) acres) that are part of a subdivision plat which is greater than ten (10) acres. The application for approval of a Master Sign Plan shall include a narrative and graphic explanation of the following:
  - i. Number, location, type and placement of signs on the subject property;
  - ii. Sign materials and methods of illumination;
  - iii. Height and size of signs and sign band areas; and
  - iv. Colors and letter/graphic styles.
- (b) The Village Board of Trustees shall act to approve, approve with conditions or deny the application for Master Sign Plan approval.
- (c) The Village Board of Trustees is authorized to approve the Master Sign Plan if it is determined that implementation of the Master Sign Plan will:
  - i. Result in architecture and graphics of a scale appropriate for the subject development, the Prairie Stone Business Park and the surrounding area;
  - ii. Provide signage consistent with the site plan and architecture of the project;
  - iii. Avoid visual clutter;
  - iv. Allow visitors, employees, and consumers to readily identify the business entrances, while addressing the community's need for attractive, unobtrusive architecture and commercial graphics; and
  - v. Result in a unified theme of signage for the project.
- (d) Changes to the content of a sign may be approved pursuant to the sign permit process provided for in Section 9-3-8-A. No other change to a sign included in a Master Sign Plan shall be made except as prescribed in the approved Master Sign Plan.

**8. ADJACENT OWNER COMMENTS**

Standard notification letters have been mailed. As of this writing, no comments have been received.

**9. RELEVANT MASTER SIGN PLAN HISTORY**

- a) Ordinance No. 3906-2007 approved the master sign plan for Cabela's jointly with the



ownership of the adjacent property (parcel 12, the southeast corner of Pratum Avenue and Prairie Stone Parkway).

- b) Ordinance No. 3857-2006 approved the master sign plan for the Sears Centre at 5333 Prairie Stone Parkway.
- c) Ordinance No. 4068-2008 approved the master sign plan for Prairie Stone Crossing at the northwest corner of Route 59 and Hoffman Boulevard.
- d) Outside of Prairie Stone, master signs plans have been approved for the Poplar Creek Crossing Shopping Center, Barrington Square Mall, Huntington Woods Corporate Center and the St. Alexius Medical Center.

**10. IMMEDIATE AUTHORIZATION TO APPLY FOR PERMIT(S)**

The petitioner has requested an Immediate Authorization to Apply for Permits.

**11. MOTION**

Should the Zoning Board find that the Standards for a master sign plan are met, the following motion is provided:

**Approval of a Master Sign Plan in accordance with Section III.B.6. of the PRAIRIE STONE SIGN REQUIREMENTS for Prairie Pointe (marketing name, Parcel 23) based on the "Gateway to 59/90 Master Sign Plan Package" (dated July 20, 2010).**

cc: M. Koplín, A. Janura, D. O'Malley, D. Plass, R. Norton, Petitioner



July 15, 2010

Village of Hoffman Estates  
Zoning Board of Appeals  
1900 Hassell Road  
Hoffman Estates, Illinois 60169

RE: Request approval of a master and temporary sign plan for Prairie Pointe (marketing name, Parcel 23) in the Prairie Stone Business Park.

Dear Zoning Board of Appeals:

McShane Development Company respectfully submits the documents included in this package in order to receive approval of both a master and temporary sign plan for Prairie Pointe (marketing name, Parcel 23) in the Prairie Stone Business Park.

In 2007 we bought the 22 acre site just west of the Southwest corner of Route 59 and Hoffman Boulevard. We received permission to build our medical office building, along with conceptual approval for possible retail and restaurant uses on the remainder of the site. The medical office building has been built and infrastructure (roads and utilities) have been installed, but no other development has occurred on the site.

Further successful development of the remainder of our parcel is contingent upon maximum exposure to attract potential tenants. Such exposure can only be obtained through better marketing of the site, including ensuring that the 140,400 cars per day audience on I-90 is aware of the opportunities available both at the Prairie Pointe Medical Office Building and the land sites within Prairie Pointe Center. The more rapidly this land site is developed and the medical office building is filled, the sooner all parties will benefit, including each resident of Hoffman Estates via an increased tax base, and the businesses in the entertainment district as more people travel to new businesses on the site.

Our site is long and narrow – approximately 3000 feet of linear frontage on Hoffman Boulevard, and a little less on I-90 – envision 30 football fields end to end – with a very low elevation relative to the Tollway. Our temporary marketing sign plan is very simple: it adds two signs to the highway frontage and updates the two existing marketing signs on Hoffman Boulevard. While we are allowed many more marketing signs by current code, we believe in quality over quantity; we've consolidated our request down to a limited sign package that presents a less cluttered look and feel, utilizing a cohesive sign package design.

Village of Hoffman Estates  
Zoning Board of Appeals  
Page Two

Over several meetings with the staff of Hoffman Estates we realized that our old branding ("Prairie Pointe") was in competition with and created confusion with the Village's new branding. As our property is uniquely positioned at the very junction of highways that gave birth the overall 59/90 branding, we also are incorporating the concept of the 59/90 Gateway into our branding. This consistent and streamlined branding at a key geography reinforces the overall entertainment district marketing. Our property also has a similar mixed-use, entertainment focus as all of 59/90 and we want to embrace the momentum created by the new re-branding and marketing campaign.

Once site tenants begin to take occupancy of future developments on our site, we will want to move to a permanent sign package. To set the stage for that time, we are also presenting a master sign plan for future installation. The master sign plan proposed includes different categories of signs, such as ground signs, building signs, and directional signs. Although a specific design for these signs has yet to be determined, we envision them to have a stone or brick base with metal panels

This Sign Plan package is presented with the anticipation that it will be submitted to the Zoning Board of Appeals on Tuesday evening, July 20<sup>th</sup>.

There has been much recent positive press coverage on the positive changes in the overall 59/90 corridor and the better than expected results of the Sears Centre and its new management. We are happy to be a part of this wave of opportunity and hope that our plans meet with the approval of this Board.

Thank you for your consideration of this request and please contact me directly at (847)-692-8830 or via email at [sdoyle@mcshane.com](mailto:sdoyle@mcshane.com) if I can provide any additional material.

Sincerely,



Stephen Doyle  
Vice President  
McShane Development Company

Enclosure

VILLAGE OF HOFFMAN ESTATES  
ZONING BOARD OF APPEALS

APPLICATION FOR MASTER SIGN PLAN REVIEW

FOR VILLAGE USE ONLY

Hearing Fee \$ 1,500.00 Date Paid 6-28-10 Received By P. Moore  
Hearing Date: 6/22 + 7/20/10 Time: 7:30 pm Legal Published 6/7/10  
Receipt Number 30345 Check No. 14929 Zoning District EDA  
15957

APPLICANT (PLEASE PRINT OR TYPE)

Use additional sheets as necessary

McShane Development Company (dba Prairie Pointe Center Development, LLC)

1. Name of Property Owner(s) Attn: Stephen Doyle

E-Mail Address sdoyle@mcshane.com Fax 847-292-4313

Owner's Address 9550 W. Higgins Rd Phone 847-292-4300

City Rosemont State IL Zip 60018

4885 Hoffman Boulevard, Hoffman Estates, IL

Subject Property's Address (if different): (Aka Prairie Stone Lot 23, Hoffman Estates, parcel 5C3E)

2. Person applying if other than owner:

Name \_\_\_\_\_ Company \_\_\_\_\_

E-Mail Address \_\_\_\_\_ Fax \_\_\_\_\_

Address \_\_\_\_\_ Phone \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

3. Property Index Number(s) (PIN) 01-33-304-001; 01-33-305-001

4. Name and Location of Subject Property

The Gateway to 59|90 Development, 4885 Hoffman Boulevard, Hoffman Estates, IL

\* If "owner" is an entity other than an individual(s), then an Economic Disclosure Statement must also be filed.

5. I, the undersigned, certify the information and submissions provided accurately represent the current conditions and proposed improvement(s) requiring a master sign plan.

Applicant's Signature \_\_\_\_\_



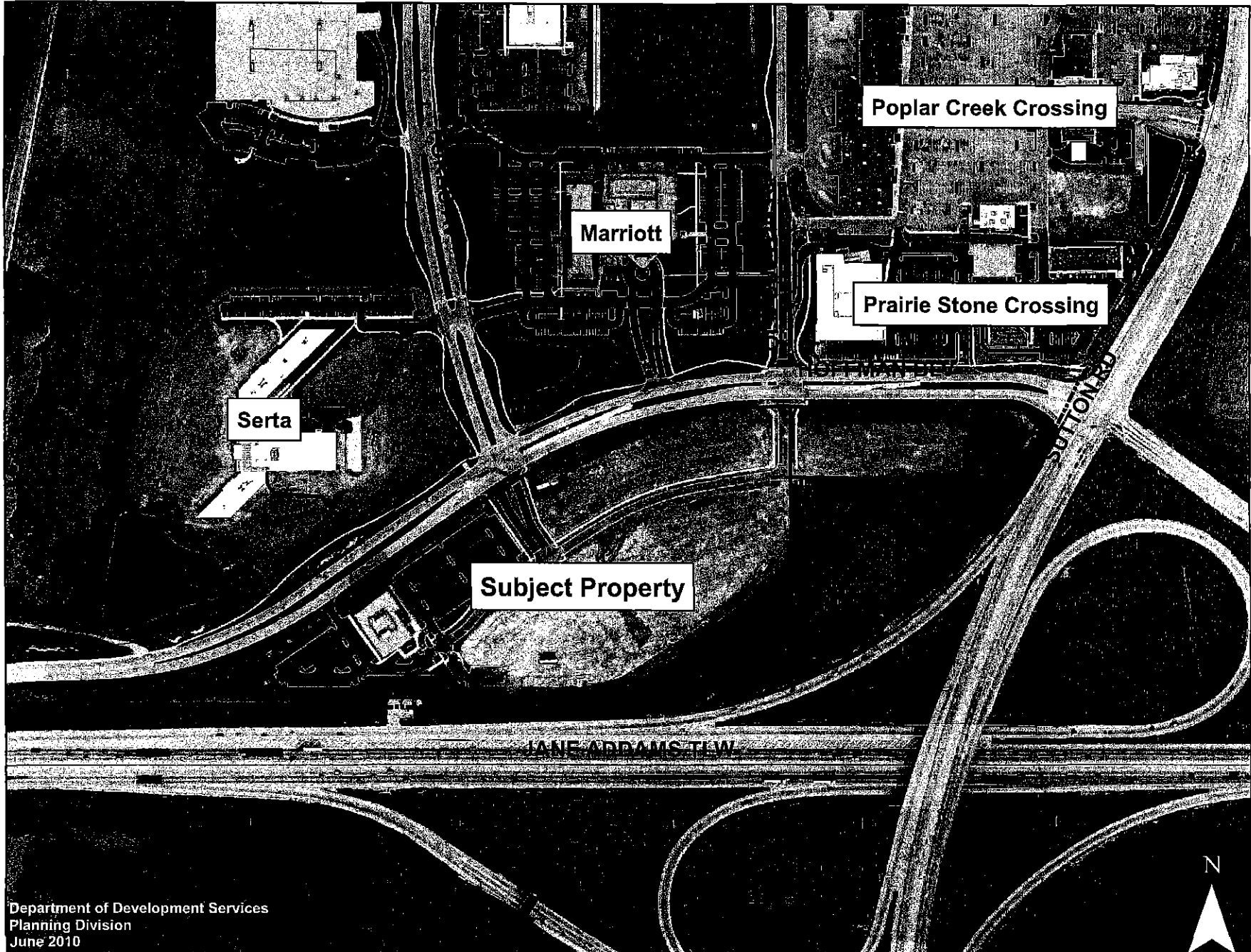
Name (Please Print) Stephen Doyle

**The application fee for a Master Sign Plan is \$500.00 plus \$250.00 per sign type. Checks should be made payable to the Village of Hoffman Estates.**

**Only complete application packets will be accepted.**

Should you have questions regarding the master sign plan application process, please call the Planning Division at 847/781-2660.

# Prairie Pointe Development



Department of Development Services  
Planning Division  
June 2010

----- Municipal Boundary

1 inch = 375 feet

# THE GATEWAY TO 59 | 90 SIGNAGE MASTER PLAN

## Project Location:

Southwest Corner Route 59 and Hoffman Boulevard  
Hoffman Estates, Illinois

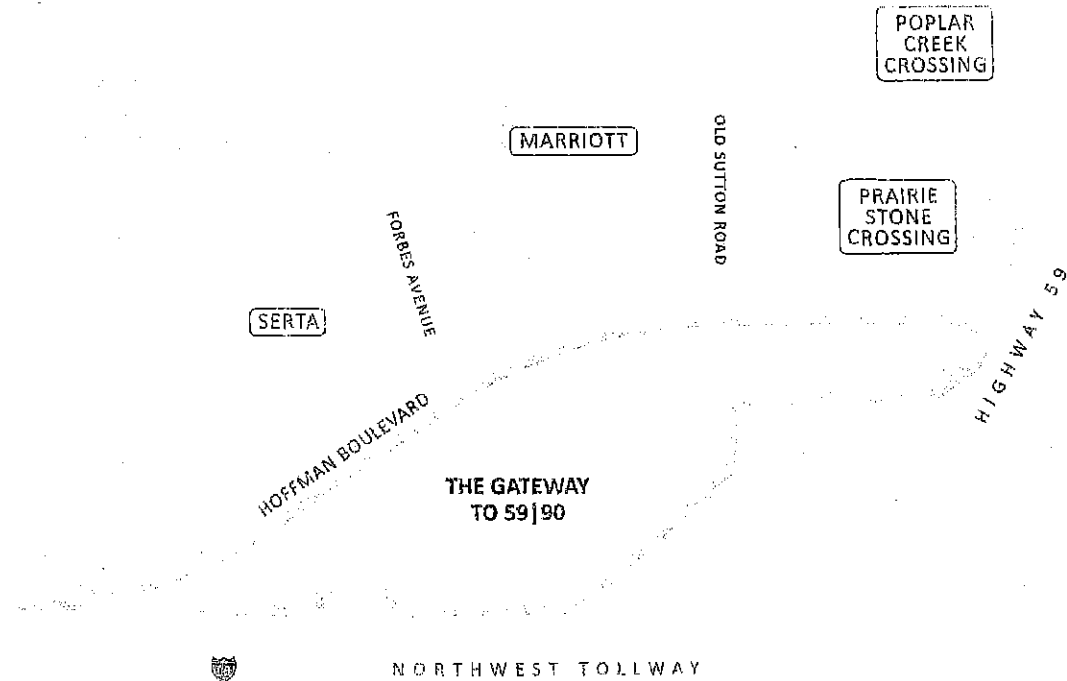
## Prepared By:

**LAKOTA**  
THE LAKOTA GROUP, INC.

212 West Kinzie Street, 3<sup>rd</sup> Floor  
Chicago, Illinois 60654  
p 312.467.5445  
f 312.467.5484

**PRESTON ESCOBAR**

230 West Superior Street, Suite 700  
Chicago, Illinois 60654  
p 312.640.0679  
f 312.640.0689



RECEIVED  
JUL 14 2010  
PLANNING DIVISION

## TABLE OF CONTENTS

<u>Item</u>	<u>Sheet</u>
Written Criteria:	1
Existing Signage Conditions:	5
Temporary Marketing Signage Plan:	6
59/90 Entertainment District Signage: Vendor Discs	7
Gateway to 59/90: Land Site Marketing Board:	8
Marketing Sign A:	9
Marketing Sign B:	10
Marketing Sign C:	11
Marketing Sign D:	12
Schematic Signage Plan:	13
Ground Sign - Sign Type A:	14
Ground Sign - Sign Type B:	15
Internal Directional Sign:	16

McShane  
Development Corporation

**THE GATEWAY TO  
59|90  
SIGNAGE  
MASTER PLAN**  
Hoffman Estates, Illinois

Prepared By:

**LAKOTA**

212 West Kinzie Street, 3rd Floor  
Chicago, Illinois 60654  
p 312.467.5446  
f 312.467.5484  
info@thelakotagroup.com

Planning  
Urban Design  
Landscape Architecture  
Historic Preservation  
Community Relations

A DESIGN PARTNERSHIP

July 20, 2010

**TOC**



**A: AREA INCLUDED IN MASTER SIGN PLAN**

This Master Sign Plan applies to Parcel 23 in Prairie Stone (including the existing medical office building), which is located on the southwest corner of Route 59 and Hoffman Boulevard, north of I-90 and any new buildings constructed on the property. The property consists of approximately 22 acres. The development of the property is expected to be a mix of office, retail, restaurant, hotel, and entertainment uses to be compatible with the 59/90 Entertainment District.

The property is legally described as:  
LOT 5C IN FINAL PLAT OF RESUBDIVISION OF LOTS 5 AND 6 IN SEARS BUSINESS PARK AMENDED PLAT OF SUBDIVISION, BEING A RESUBDIVISION OF PART OF SECTIONS 32 AND 33, TOWNSHIP 42 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 20, 2001 AS DOCUMENT NUMBER 0010323867, IN COOK COUNTY, ILLINOIS

**B: PURPOSE AND INTENT**

The purpose of this master sign plan is to ensure that the signage on Parcel 23 reflects the integrity and overall aesthetic values of the property owner and the Village of Hoffman Estates and coordinated with the 59/90 Entertainment District. Conformity with these criteria will be strictly enforced, and any non-conforming signs will be removed by the property owner at the expense of the Tenant.

It is the intent that any signage within Parcel 23 that is not specifically addressed by this Program must adhere to the sign code of the Village of Hoffman Estates and EDA sign code as applicable.

**C: GENERAL PROVISIONS**

(applicable to all property governed by this master sign plan)

1. **Definitions.** For the purposes of this master sign plan, the following definition is hereby incorporated.
  - a. **Property** – "Property" shall mean the entire 22 +/- acres of Parcel 23, including any subdivisions of said Parcel, as described in section A above.
2. **Setbacks.** All signs shall be set back a minimum of 5 feet from any paved driving surface.
3. **Driver Sight Visibility.** No sign shall be placed in a manner that will obstruct driver or pedestrian sight lines and create an unsafe condition based on analysis by the Village Transportation Division.
4. **Landscaping.** Landscaping shall be provided at the base of all signs, unless determined to be unsafe or not feasible by the Village Department of Development Services. All ground signs on the property will be subject to site plan approval for the location of the sign and the landscaping around it. This site plan approval can occur in conjunction with the site plan review of any proposed development on the property.

5. **Illumination.** All signs permitted by this master sign plan may be illuminated in accordance with Section 9-3-8-F of the Zoning Code unless otherwise indicated in this master sign plan.
6. **Sign Design.** Colors and letter graphic styles on the signs shall be determined by the owners of the property, however, signs on a parcel that are of a similar type (Ground signs, marketing signs, directional signs) shall be of a consistent design. For example, all marketing signs shall be designed in the same way (materials, colors, etc.) to be consistent throughout the property.
7. **Calculation of Sign Area.** Such signs shall meet the requirements of Section 9-3-8-D, except that the architectural cornice, base and support structure of a ground sign shall not be included in the total sign area if these areas do not contain text, logos or any other graphics.
8. **Permits.** Sign permits shall be required in accordance with Section 9-3-8-A of the Zoning Code.
9. **Coordination with Village Sign Code.** All regulations of the EDA sign regulations and the Village Zoning Code shall apply unless specifically stated otherwise in this master sign plan. In the event of a conflict between this master sign plan and the EDA sign regulations or the Zoning Code, the master sign plan regulations shall apply.
10. **Master Sign Plan.** This document, any exhibits, and the final approved master sign plan drawings represents the entire master sign plan.

**D: SCHEMATIC SITE SIGNAGE**

The schematic site signage program is the proposed signage elements that will be fabricated and installed in the future as development occurs. The design scheme or family shown is preliminary and all quantities, location, type, final placement/location, methods of illumination and final graphics of signs on this property will be defined further at the time of tenant occupation and as needed by the property owner.

Please see the schematic site signage plan for the potential locations of each sign type and specifications sheets for potential sizes, heights, color and construction materials.

**E: GROUND SIGNS**

All ground signs shall be constructed with an architecturally designed top and a masonry or stone base along with architecturally appropriate sides.

1. **Sign Type A**
  - a) **Type.** Monument sign with project identity, major tenants and multiple tenant identification, which may include tenants within "The Gateway to 59/90" development.

McShane  
Development Corporation

**THE GATEWAY TO  
59|90**

**SIGNAGE  
MASTER PLAN**

Hoffman Estates, Illinois

Prepared By:

**LAKOTA**  
Group

212 West Kinzie Street, 3rd Floor  
Chicago, Illinois 60654  
p 312.487.5454  
f 312.487.5484  
info@thelakotagroup.com

Planning  
Urban Design  
Landscape Architecture  
Interior Architecture  
Community Relations

A DESIGN PARTNERSHIP

July 20, 2010

Written  
Criteria

b) **Number and size.** One Sign Type A shall be permitted on the property. The sign copy itself shall be a maximum of 20 feet in height, but the sign structure shall be a maximum of 30 feet tall. The maximum square footage of the sign copy shall not exceed 200 square feet per side,

c) **Location.** Sign Type A shall be located on the west side of the property, west of the medical office building and shall be a minimum of 10 feet from any property line and 5 feet from any interior roadway or pedestrian walkway.

2. **Sign Type A-1.** This sign shall be located at the corner of Route 59 and Hoffman Boulevard. The specific design, size and location of this sign shall be determined at a later date and will be coordinated with signage for the 59/90 Entertainment District and approved by the Village of Hoffman Estates.

3. **Sign Type B**

a) **Type.** Monument sign with project identity, major tenants and multiple tenant identification of tenants within "The Gateway to 59/90" development.

b) **Number and size.** Two Sign Type B signs shall be permitted on the property. The entire sign structure shall be a maximum of 15 feet in height. The sign copy itself shall not exceed 200 square feet per side.

c) **Location.** The two permitted Sign Type B signs shall be located at each main entrance to the development (see plan). The signs shall be a minimum of 10 feet from any property line and 5 feet from any interior roadway or pedestrian walkway.

4. **Sign Type B-1.** This sign shall be located between the corner sign A-1 and the first entrance to the site that is aligned with Old Sutton Road. The specific design, size and location of this sign shall be determined at a later date and will be coordinated with 59/90 Entertainment District and approved by the Village of Hoffman Estates.

5. **Ground Signs.** The ground signs on the property shall be maintained by the property owners association that maintains the common areas on the subject property.

**F: WALL SIGNS**

The Village site plan approval of the façade of any new building construction shall define the general wall sign locations.

1. **Primary Anchor(s)**

For anchor tenant spaces (freestanding or attached) equal to or larger than 15,000 square feet, the following shall apply:

a) **Type.** Wall signs for anchor stores shall be individually mounted, internally lighted channel letters or logos mounted directly to the building wall surface.

b) **Number and Size.** One primary wall sign shall be permitted per wall. Each primary wall sign shall not exceed 300 square feet in area. Awning signs shall also be permitted as a wall sign.

c) **Location.** Each wall sign shall be centered horizontally within the

façade of the portion of the building leased by the tenant; or over an architectural entry feature of such front façade.

d) **Secondary Signs.** One secondary sign shall be permitted per wall that identifies additional services, secondary entrances, etc. Such signs shall be a maximum of 25 square feet in size and shall be located over a secondary entrance or architectural feature of the building.

2. **Individual Tenant Spaces Within Multi-Tenant Buildings (that are primarily retail).** For individual tenant spaces less than 15,000 square feet, the following shall apply:

a) **Type.** Tenant wall signs shall be individually mounted, internally lighted channel letters or logos mounted directly to the building wall surface.

b) **Number and Size.** One wall sign shall be permitted for each exterior wall per tenant. Each wall sign shall not exceed 3 square feet per 1 foot of lineal tenant storefront, or a maximum of 200 square feet per sign.

c) **Location.** Each wall sign shall be centered horizontally within the front façade of the portion of the building leased by the tenant; or over an architectural entry feature of such front façade; provided, however, that if there are multiple tenant wall signs on the same façade, then they shall be located on the façade so that they are visually proportional in relation to each other and in relation to the architectural features of the building.

3. **Freestanding Retail Stores, Restaurants, Entertainment Uses, and Hotels (under 15,000 square feet).**

a) **Type.** Wall signs shall be individually mounted, internally lighted channel letters or logos mounted directly to the building wall surface.

b) **Number and Size.** One primary wall sign shall be permitted on each building elevation. Awning signs shall be permitted as a wall sign. The size shall be limited to a maximum of 200 square feet per sign.

c) **Secondary Signs.** One secondary sign shall be permitted per wall that identifies additional services, secondary entrances, etc. Such signs shall be a maximum of 25 square feet in size and shall be located over a secondary entrance or architectural feature of the building.

4. **Offices.** All freestanding office buildings shall meet the EDA Sign Code regulations for wall signs.

**G: TEMPORARY SIGNS**

1. **Marketing Signs.** The two marketing signs located at the intersection of Route 59 and Hoffman Boulevard are considered part of the Village of Hoffman Estates endorsed 59/90 Entertainment District signage and shall be exempt from this section of the master sign plan.

a) **Marketing Sign A.** This sign shall be located on the medical office building parcel along Hoffman Boulevard and shall advertise space available within the building. The sign shall be a maximum of 150 square feet in area and may be illuminated as long as the lighting doesn't cause glare

McShane  
Development Corporation

**THE GATEWAY TO  
59/90  
SIGNAGE  
MASTER PLAN**  
Hoffman Estates, Illinois

Prepared By:

**LAKOTA**  
1212 West Kinzie Street, 3rd Floor  
Chicago, Illinois 60654  
p 312.467.5484  
f 312.467.5484  
info@thelakotagroup.com  
Planning  
Urban Design  
Landscape Architecture  
Interior Architecture  
Community Relations

A DESIGN PARTNERSHIP

July 20, 2010

Written  
Criteria

Page 2

onto adjacent properties and roadways. This sign shall be removed once the medical office building has reached 90% occupancy or within 5 years, whichever occurs first. At which time the sign is required to be removed, the leasing information for the building can be incorporated into the permanent signage on the property.

c) **Marketing Sign B.** This sign shall be located along the frontage of Hoffman Boulevard. The sign shall be a maximum of 150 square feet in area and may be illuminated as long as the lighting doesn't cause glare onto adjacent properties and roadways. This sign may remain on the property until the last lot on the property is sold. At which time, the sign must be removed. In the event the lot on which the sign is located is sold, the sign may be moved to any other lot that has frontage along Hoffman Boulevard.

b) **Marketing Sign C.** This sign shall be located along Tollway frontage on the south side of the property facing the Tollway and shall advertise space within the medical office building and the availability of land sites. The sign shall be a maximum of 150 square feet in area and may be illuminated as long as the lighting doesn't cause glare onto adjacent properties and roadways. This sign may remain on the property until the last lot on the property is sold. At which time, the sign must be removed. In the event the lot on which the sign is located is sold, the sign may be moved to any other lot that has frontage along the Tollway.

d) **Marketing Sign D.** Marketing Signs Attached to the Medical Office Building. A series of 3 different wall mounted marketing signs shall be permitted on the medical office building to advertise space available within that building. The first sign shall be 30' X 30' in size and shall be on the building for 12 months from the issuance of a sign permit and shall be made of weather resistant material. The second sign shall be 12' X 30' and shall be permitted for 12 months from the issuance of a sign permit and shall be made of weather resistant material. The third sign shall be 6' X 30' and shall be permitted for 36 months from the issuance of a sign permit. This sign shall consist of aluminum pin-mounted channel letters. Each temporary sign shall be securely affixed to the building.

e) **Marketing for Vacant Space within Buildings.** Other than the marketing signs as outlined above, no additional freestanding marketing signs shall be permitted on the property. Marketing signs for vacant space within a building shall be incorporated into the permanent freestanding signs on the property (Signs A, A-1, B, & B-1).

2. **Special Event Signs.** Special event signs shall meet the requirements of Section 9-3-8-K of the Village Zoning Code. Such signs shall only be permitted for retail stores, restaurants, entertainment businesses and hotels, as determined by the Village.
3. **Construction Signs.** During construction of any portion of this property, temporary signs may be permitted as determined necessary by the Village Department of Development Services. These signs shall be used to identify altered traffic routes, closed drives or parking lots, relocated building entrances, etc. Such signs shall not be subject to the requirements of the directional signage section of this plan.

#### H: MISCELLANEOUS SIGNS

1. **Light Pole Banners.** Light pole banners shall be permitted as provided in Zoning Code section 9-3-8-L-5, except that the minimum distance between light pole banners shall not apply.
2. **Directional Signs.** Directional signs shall be permitted on the property, not to exceed 4 feet in height and a maximum of 8 square feet in area per side. Directional signs may contain the names of businesses on the property and may contain logos. The signs may be illuminated and shall be located a minimum of 25 feet from a public right of way and a minimum of 5 feet from any property line, roadway or pedestrian walkway.
3. **Menu Boards.** Restaurant menu boards shall be permitted as provided in Zoning Code section 9-3-8-M-10-e-1.

#### I: PROHIBITED SIGNS

1. **Signs On/Over Public Property:**

No person, firm or corporation shall hereafter erect, construct, relocate, structurally or graphically alter, or maintain any sign, billboard or advertising device as defined herein, on or over public property.

2. **Signs on Fences and Other Accessory Structures:**

Signs which are attached, affixed or painted on a chimney or a building, on an antenna or satellite dish, on a fence or fence type wall, on benches, fence posts, trash receptacles, utility poles, utility boxes, storage sheds, bus shelters or other accessory structures shall be prohibited, except for signs on a Detached Car Wash as specified in Section 9-3-8-M-11-c and signs and fences as specified in Section 9-3-8-K-5-c-2-b.

3. **Roof Signs**

4. **Portable Signs:**

Any sign, which is designed to be moved from place to place, shall be prohibited.

5. **Signs on Parked Vehicles:**

Signs placed on or affixed to vehicles and/or trailers (herein defined as a Sign, Motor Vehicle) which are parked on a public right-of-way, public property or private property so as to be visible from a public right-of-way where the purpose of such sign placement is to advertise a product or direct the public to a business or activity located on the same or nearby property shall be prohibited, except for signs placed upon the windshield or other windows of a vehicle in an Automobile Dealership Lot, or construction trailer contractor signs.

6. **Moving and Flashing Signs and Devices:**

Revolving, rotating, intermittent or flashing signs and devices are prohibited except as provided for as window signs or stationary signs indicating time and temperature in the Business, Office and Manufacturing Districts of this Code and Beacon Light Signs.

McShane  
Development Corporation

## THE GATEWAY TO 59|90 SIGNAGE MASTER PLAN Hoffman Estates, Illinois

Prepared By:

**LAKOTA**

212 West Kinzie Street, 3rd Floor  
Chicago, Illinois 60654  
p 312.467.5445  
f 312.467.5484  
info@thelakotagroup.com  
Planning  
Urban Design  
Landscape Architecture  
Historic Preservation  
Community Relations

A DESIGN PARTNERSHIP

July 20, 2010

Written  
Criteria

Page 3

Prepared By:

**LAKOTA**  
212 West Kinzie Street, 3rd Floor  
Chicago, Illinois 60654  
p 312.467.5445  
f 312.467.5484  
info@thelakotagroup.com  
Planning  
Urban Design  
Architecture and Interiors  
Interior Design  
Community Planning  
**A DESIGN PARTNERSHIP**

July 20, 2010

Written  
Criteria

- 7. **"A" Frame or Sandwich Board Signs:**  
"A" frame or sandwich board signs shall be prohibited.
- 8. **Signs Which Imitate Traffic Control Devices:**  
Signs, which contain arrows, the words "stop" or "danger" or otherwise resemble or simulate official traffic control signs, shall be prohibited.
- 9. **Balloons and Inflatable Signs.**
- 10. **Signs Obstructing Traffic Sight Lines, Traffic Control Signals or Public Signs:**  
Signs, which obstruct traffic sight lines, traffic control signals or public signs at street intersections or railroad crossings, shall be prohibited.
- 11. **Exterior Neon Tubing and Light Bulbs:**  
Exposed exterior neon tubing and/or exposed light bulbs shall be prohibited.
- 12. **Pennant Signs:**  
Pennant signs shall be prohibited under all circumstances, including, but not limited to, pennants attached to building, canopies, light poles, or any other object.
- 13. **Advertising Flags:**  
Advertising flags as defined by the Village Code shall be prohibited.

**K: AMENDMENTS**

- 1. **Changes.** Changes to the text, colors, or graphic style of the signs shall not require a formal amendment to this plan, provided the size and all other requirements of this plan are met.
- 2. **New Signs.** The addition of new signs or relocation of existing signs shall not require a formal amendment to this plan, provided the signs meet all requirements of this plan. Any amendment to add additional signs or make substantial changes to the approved signs in this plan shall be subject to review by the Zoning Board of Appeals and approval by the Village Board through the process outlined in the Zoning Code for variations.

McShane  
Development Corporation

**THE GATEWAY TO  
59|90**

**SIGNAGE  
MASTER PLAN**  
Hoffman Estates, Illinois

Prepared By:

**LAKOTA**  
212 West Kinzie Street, 3rd Floor  
Chicago, Illinois 60654  
p 312.467.5446  
f 312.487.5484  
info@thelakotagroup.com

Lakota Design  
Landscape Architecture  
Interior Architecture  
Community Architecture

A DESIGN PARTNERSHIP

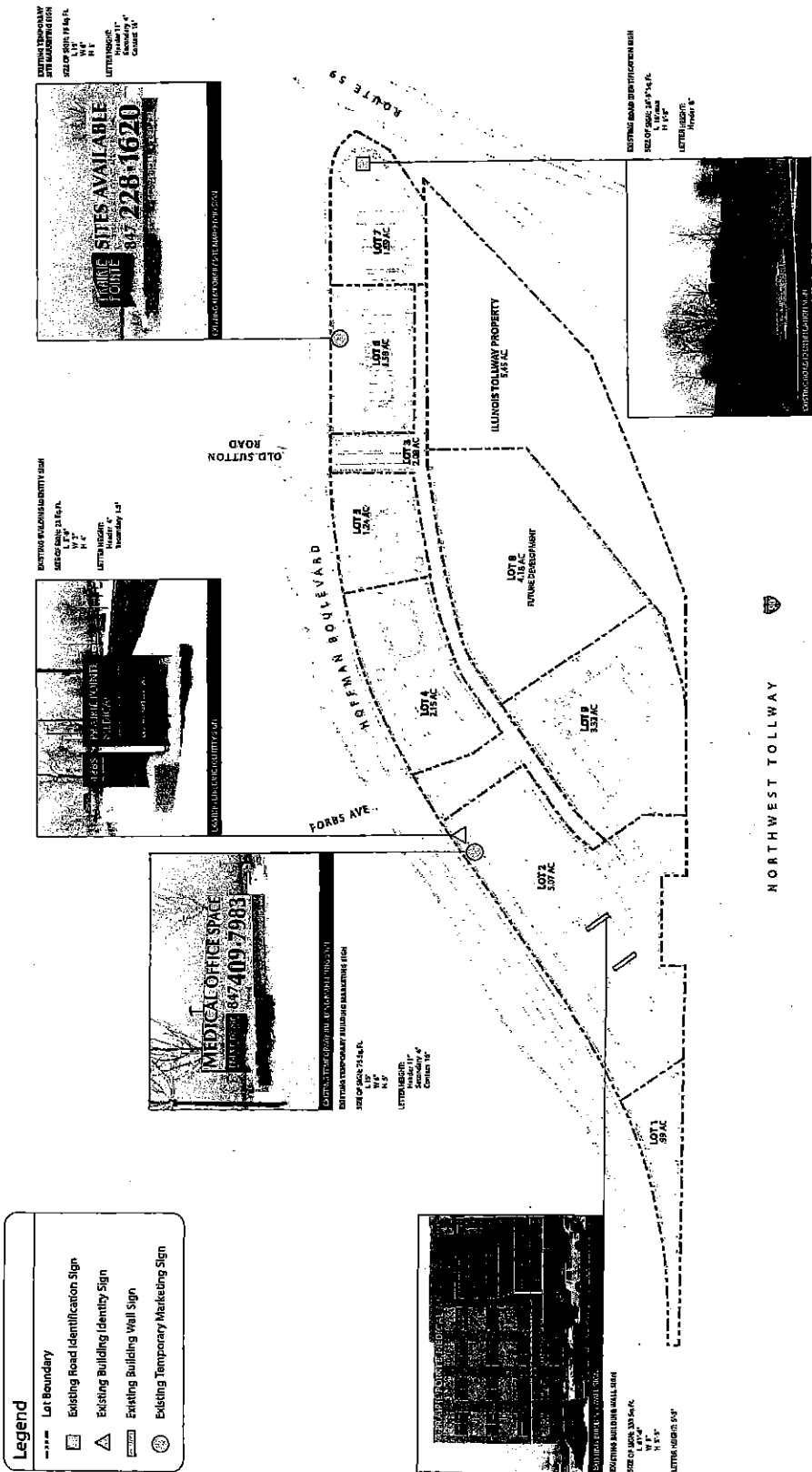
July 20, 2010

**Existing  
Signage Plan  
Conditions**



0' 125' 250'

Page 5

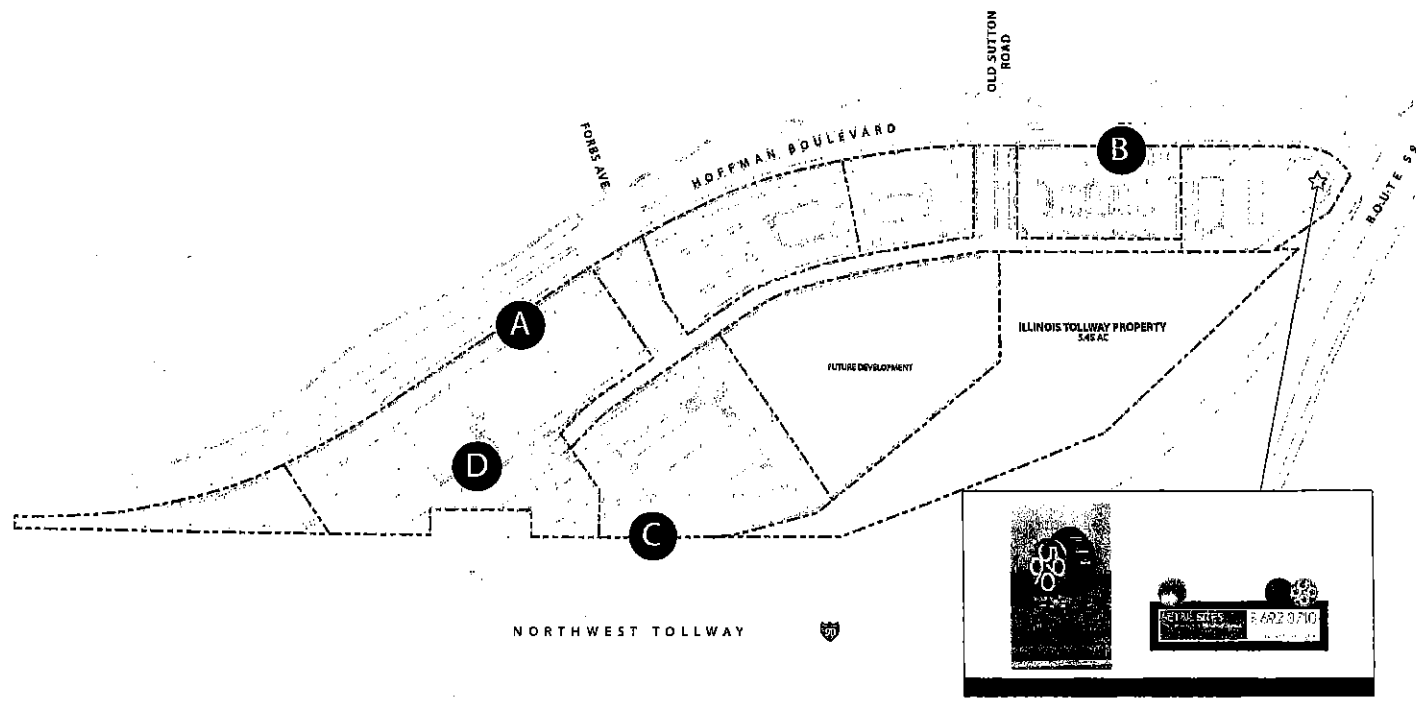


**Legend**

- - - - Lot Boundary
- ☐ Existing Road Identification Sign
- ☐ Existing Building Identification Sign
- ☐ Existing Building Wall Sign
- ⊙ Existing Temporary Marketing Sign

**Legend**

- Lot Boundary
- ☆ 59/90 Entertainment District Signage (Endorsed by the Village of Hoffman Estates)



McShane  
Development Corporation

**THE GATEWAY TO  
59|90  
SIGNAGE  
MASTER PLAN**  
Hoffman Estates, Illinois

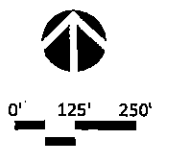
Prepared By:

**LAKOTA**  
212 West Kinzie Street, 3rd Floor  
Chicago, Illinois 60654  
p 312.487.5445  
f 312.487.5484  
info@thelakotagroup.com  
Planning  
Urban Design  
Landscape Architecture  
Interior Architecture  
Sustainability Strategies

A DESIGN PARTNERSHIP

July 20, 2010

Temporary  
Marketing  
Signage Plan





# 59/90 Entertainment District Signage: Vendor Discs - Corner of Hoffman Boulevard and Route 59

Quantity: 1  
 Sign Area: 59/90 Disc: 132 Square Feet (display area only) - 13' Diameter  
 Vendor Disc: 175 Square Feet (display area only) - 15' Diameter  
 Sign Panel Height: 15 feet (Black Vendor Disc)  
 Sign Panel Depth: 6 inches  
 Construction: Aluminum frame with stretched vinyl cover  
 Illumination: Ground Illuminated



3-Tenant Display  
"Short-Term"



5-Tenant Display  
"Expansion"

Single-Faced Sign  
Front Elevation

Note: Sign design shown is for illustration of size and area only. Actual design and materials may vary.

McShare  
 Development Corporation  
**THE GATEWAY TO  
 59|90**  
**SIGNAGE  
 MASTER PLAN**  
 Hoffman Estates, Illinois

Prepared By:

**LAKOTA**

212 West Kinzie Street, 3rd Floor  
 Chicago, Illinois 60654  
 p 312.467.5445  
 f 312.467.6484  
 info@thelakotagroup.com

Planning  
 Urban Design  
 Landscape Architecture  
 Historic Preservation  
 Community Planning

A DESIGN PARTNERSHIP

July 20, 2010

Temporary District  
Gateway  
Monument

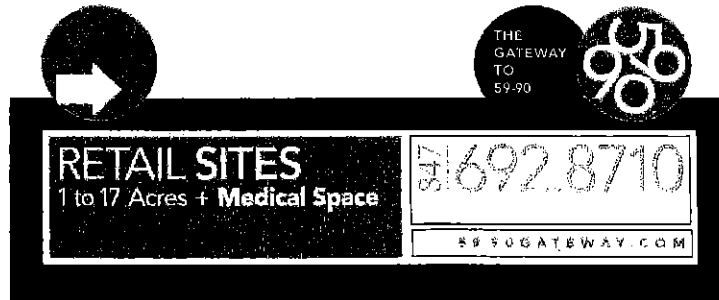
Scale: 1"=4'

Page 7



# Gateway to 59/90 Marketing Boards - Corner of Hoffman Boulevard and Route 59

Quantity: 2  
 Locations: (1) Hoffman Boulevard  
 (1) Route 59  
 Sign Area: 210 square feet (display areas only)  
 Sign Panel Height: 10 feet  
 Sign Panel Depth: 6 inches  
 Overall Sign Dimensions: 25' x 10'  
 Construction: Aluminum Composite Material (ACM)  
 Illumination: Ground Illuminated  
 Duration of Installation: 36-60 Months; Signs to be removed at time of leasing of property or space.



Single-Faced Sign  
Front Elevation

Note: Sign design shown is for illustration of size and area only.  
Actual design and materials may vary.

McShane  
 Development Corporation  
**THE GATEWAY TO  
 59|90**  
 SIGNAGE  
 MASTER PLAN  
 Hoffman Estates, Illinois

Prepared By:

### LAKOTA

212 West Kinzie Street, 3rd Floor  
 Chicago, Illinois 60654  
 P 312.467.5445  
 F 312.467.5484  
 Info@thelakotagroup.com  
 Planning  
 Outdoor Design  
 Landmarks Architecture  
 Historic Preservation  
 Community Relations

A DESIGN PARTNERSHIP

July 20, 2010

Gateway 59/90  
 Marketing  
 Boards-Corner  
 of  
 Hoffman Blvd  
 and Route 59

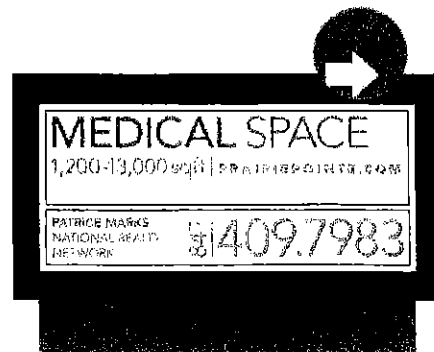
Scale: 1"=4'

Page 8



**A Marketing Sign A**

Quantity: 1  
Sign Area: 125 square feet (display areas only)  
Sign Panel Height: 10 feet  
Sign Panel Depth: 6 inches  
Overall Sign Dimensions: 15' x 10'  
Construction: Aluminum Composite Material (ACM)  
Illumination: Ground Illuminated



**Single-Faced Sign  
Front Elevation**

Note: Sign design shown is for illustration of size and area only.  
Actual design and materials may vary.

McShane  
Development Corporation  
**THE GATEWAY TO  
59|90  
SIGNAGE  
MASTER PLAN**  
Hoffman Estates, Illinois

Prepared By:

**LAKOTA**

212 West Kinzie Street, 3rd Floor  
Chicago, Illinois 60654  
p 312.467.5445  
f 312.467.5484  
info@thelakotagroup.com  
Chicago  
Urban Design  
Architecture & Interiors  
Interior Presentation  
Construction Practices

A DESIGN PARTNERSHIP

July 20, 2010

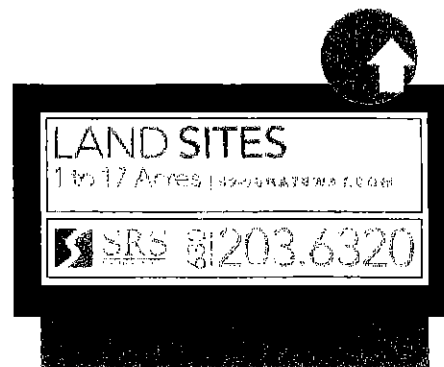
**Marketing  
Sign A**

Scale: 1"=4'

**Page 9**

**B Marketing Sign B**

Quantity: 1  
Sign Area: 125 square feet (display areas only)  
Sign Panel Height: 10 feet  
Sign Panel Depth: 6 inches  
Overall Sign Dimensions: 15' x 10'  
Construction: Aluminum Composite Material (ACM)  
Illumination: Ground Illuminated



**Single-Faced Sign  
Front Elevation**

Note: Sign design shown is for illustration of size and area only  
Actual design and materials may vary.

McShane  
Development Corporation  
**THE GATEWAY TO  
59|90  
SIGNAGE  
MASTER PLAN**  
Hoffman Estates, Illinois

Prepared By:

**LAKOTA**

212 West Kinzie Street, 3rd Floor  
Chicago, Illinois 60654  
p 312.467.5445  
f 312.467.5484  
info@thelakotagroup.com

Planning  
Urban Design  
Landscape Architecture  
Interior Architecture  
Community Relations

A DESIGN PARTNERSHIP

July 20, 2010

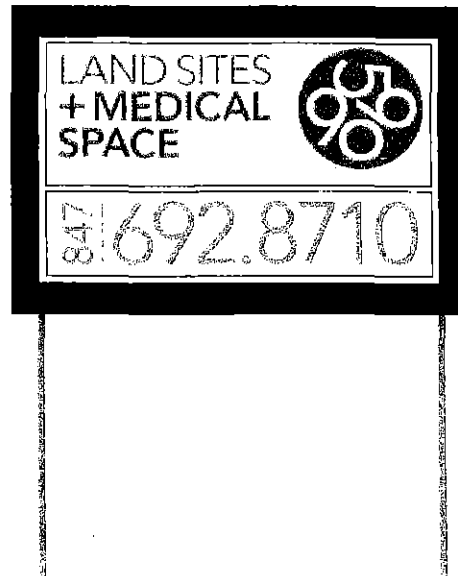
**Marketing  
Sign B**

Scale: 1"=4'

**Page 10**

**C Marketing Sign C**

Quantity: 1  
Sign Area: 150 square feet (display areas only)  
Sign Panel Height: 10 feet  
Sign Panel Depth: 6 inches  
Overall Sign Dimensions: 15' x 10'  
Construction: Aluminum Composite Material (ACM)  
Illumination: Ground Illuminated



**Single-Faced Sign  
Front Elevation**

Note: Sign design shown is for illustration of size and area only.  
Actual design and materials may vary

McShane  
Development Corporation

**THE GATEWAY TO  
59|90  
SIGNAGE  
MASTER PLAN**  
Hoffman Estates, Illinois

Prepared By:

**LAKOTA**  
212 West Kinzie Street, 3rd Floor  
Chicago, Illinois 60654  
p 312.487.5445  
f 312.487.5484  
info@thelakotagroup.com  
Planning  
Urban Design  
Landscape Architecture  
Historic Preservation  
Community Relations

A DESIGN PARTNERSHIP

July 20, 2010

**Marketing  
Sign C**

Scale: 1"=4'

**Page 11**

**D Marketing Sign D**

Quantity: 1 Location (Total of 3 separate signs)  
 Sign Area: Varies, see written criteria  
 Banner Size: Varies, see written criteria  
 Construction: Weather resistant vinyl



**AVAILABLE**  
**PRAIRIEPOINTE.com**



**Banner Style Sign  
 Building Mounted**

Note: Sign design shown is for illustration of size and area only.  
 Actual design and materials may vary.

McShane  
 Development Corporation  
**THE GATEWAY TO  
 59|90**  
**SIGNAGE  
 MASTER PLAN**  
 Hoffman Estates, Illinois

Prepared By:  
**LAKOTA**  
 212 West Kinzie Street, 3rd Floor  
 Chicago, Illinois 60654  
 p 312.467.5446  
 f 312.467.5484  
 info@thelakotagroup.com  
 Planning  
 Urban Design  
 Landscape Architecture  
 Historic Preservation  
 Community Relations

A DESIGN PARTNERSHIP

July 20, 2010

**Marketing  
 Sign D**

NOT TO SCALE

**Page 12**

**THE GATEWAY TO  
59|90  
SIGNAGE  
MASTER PLAN**  
Hoffman Estates, Illinois

Prepared By:

**LAKOTA**

212 West Kinzie Street, 3rd floor  
Chicago, Illinois 60654  
p 312.467.5445  
f 312.467.5484  
info@thelakotagroup.com

Planning  
Urban Design  
Landscape Architecture  
Interior Architecture  
Community Relations

A DESIGN PARTNERSHIP

July 20, 2010

**Schematic  
Signage Plan**

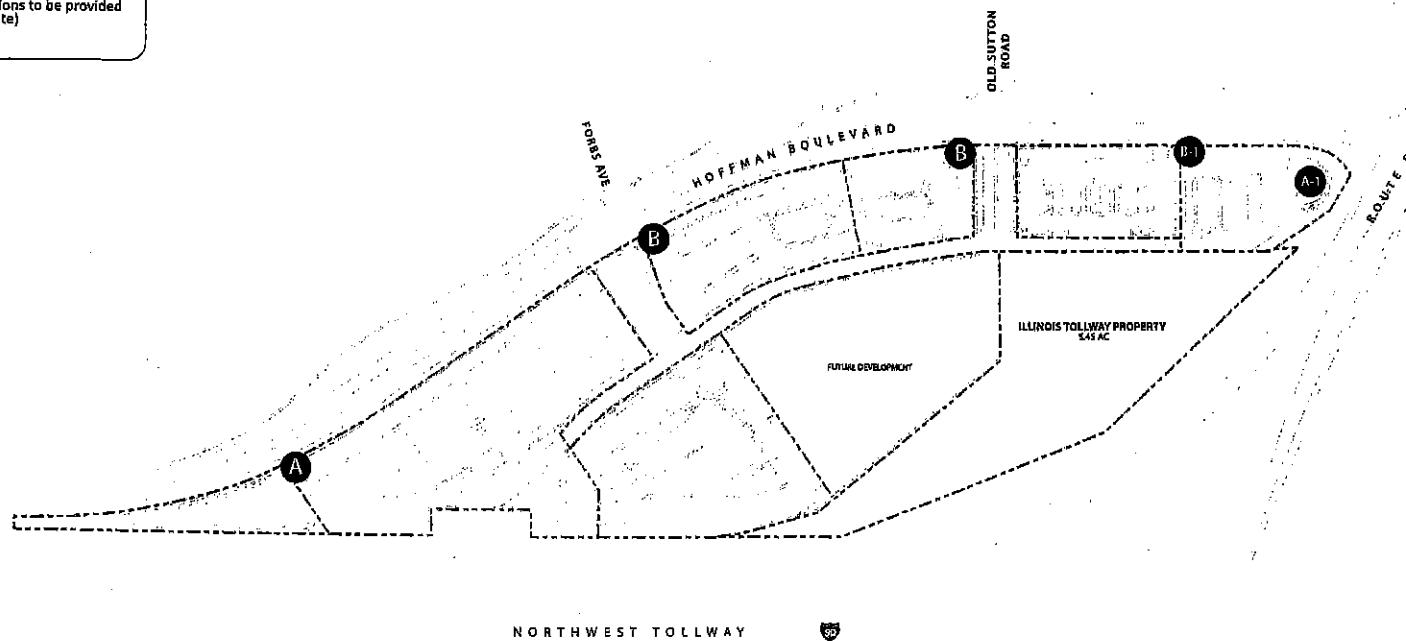


0' 125' 250'

**Page 13**

**Legend**

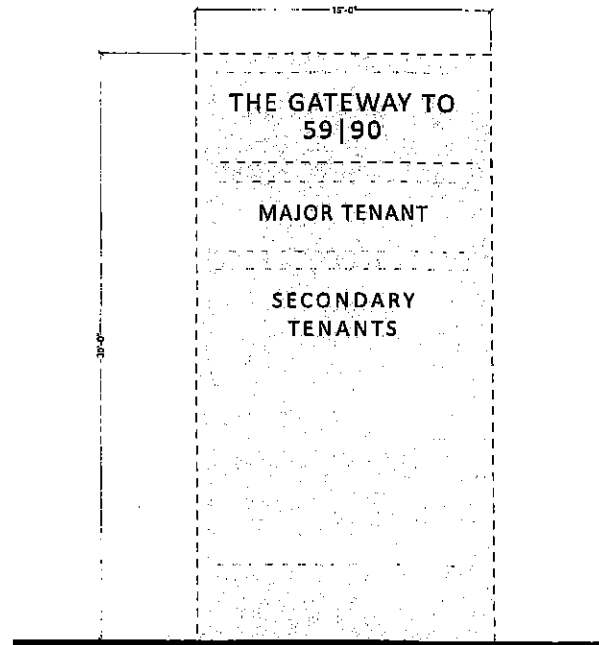
- A** Ground Sign-Type A  
(Specifications Included)
- B** Ground Sign-Type B  
(Specifications Included)
- A-1** Ground Sign-Type A-1  
(Specifications to be provided  
at later date)
- B-1** Ground Sign-Type B-1  
(Specifications to be provided  
at later date)



Note: Sign design shown is for illustration of size and area only.  
Actual design and materials may vary.

## Ground Sign - Sign Type A

- Description:** Freestanding ground sign with project identity, major tenants and multiple tenant identification, which may include tenants within "The Gateway to 59|90" development.
- Quantity:** 1
- Sign Copy Area:** 200 square feet per side per side
- Sign Height:** 30 feet
- Sign Width:** 15 feet
- Sign Setback:** Minimum 10 feet from any property line  
Minimum 5 feet from any interior roadway or pedestrian walkway
- Construction:** Aluminum sign panels with painted/vinyl applied surfaces  
Stone base, varying sized stones
- Illumination:** Internal/Ground Illumination



Note: Sign design shown is for illustration of size and area only  
Actual design and materials may vary.

McShane  
Development Corporation

**THE GATEWAY TO  
59|90  
SIGNAGE  
MASTER PLAN**  
Hoffman Estates, Illinois

Prepared By:

**LAKOTA**

212 West Kinzie Street, 3rd Floor  
Chicago, Illinois 60654  
p 312.467.5445  
f 312.467.5484  
Info@thelakotagroup.com  
Planning  
Urban Design  
Landscape Architecture  
Interior Architecture  
Community Development

A DESIGN PARTNERSHIP

July 20, 2010

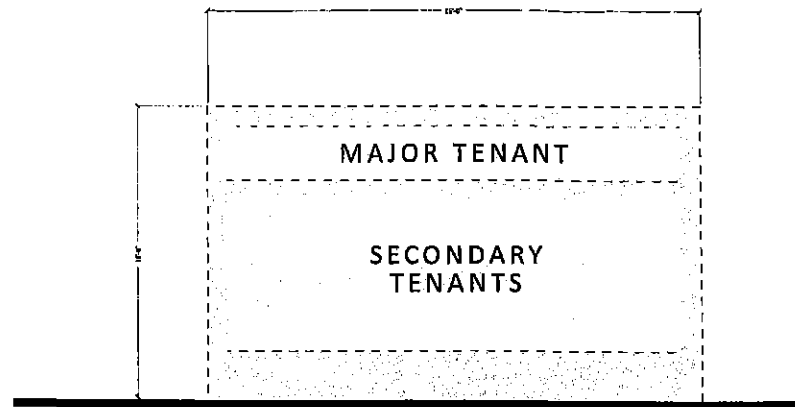
**Ground Sign:  
Sign Type A**

Scale: 1"=4'

**Page 14**

## Ground Sign - Sign Type B

- Description:** Freestanding ground sign with project identity, major tenant and multiple tenant identification, which may include tenants within "The Gateway to 59|90" development.
- Quantity:** 2
- Sign Copy Area:** 200 square feet per side
- Sign Height:** 15 feet
- Sign Width:** 25 feet
- Sign Setback:** Minimum 10 feet from any property line  
Minimum 5 feet from any interior roadway or pedestrian walkway
- Construction:** Aluminum sign panels with painted/vinyl applied surfaces  
Stone base, varying sized stones
- Illumination:** Internal/Ground Illumination



Note: Sign design shown is for illustration of size and area only  
Actual design and materials may vary.

McShane  
Development Corporation  
**THE GATEWAY TO  
59|90  
SIGNAGE  
MASTER PLAN**  
Hoffman Estates, Illinois

Prepared By:

**LAKOTA**

212 West Kinzie Street, 3rd Floor  
Chicago, Illinois 60664  
p 312.467.5445  
f 312.467.5484  
info@thelakotagroup.com  
Interior Design  
Landscape Architecture  
Public Relations  
Community Relations

A DESIGN PARTNERSHIP

July 20, 2010

Ground Sign:  
Sign Type B

Scale: 1"=4'

Page 15

## Internal Directional Sign

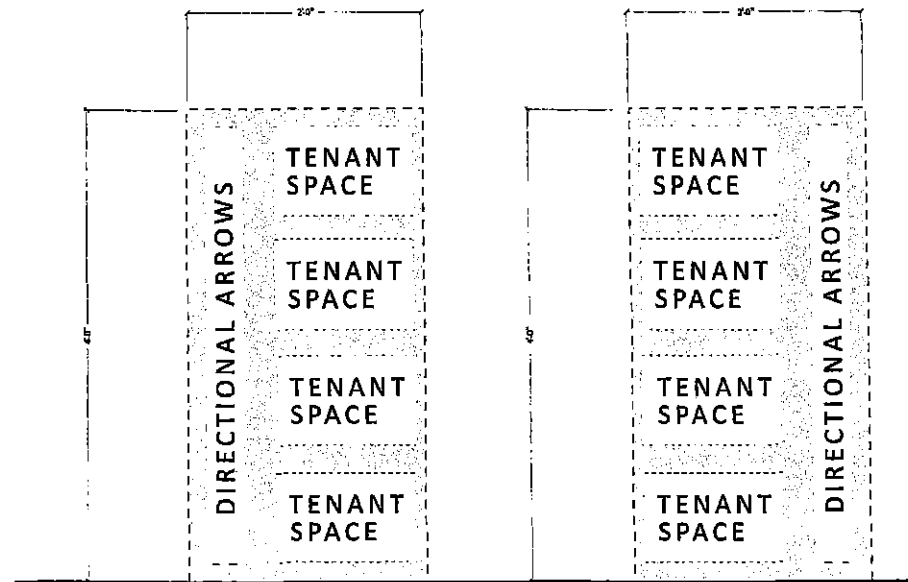
Description: Freestanding ground sign directing users to major or multiple tenants.

Quantity: TBD  
 Sign Copy Area: 8 square feet per side  
 Sign Height: 4 feet  
 Sign Width: 2 feet

Sign Setback: Minimum 5 feet from any property line, internal roadway or pedestrian walkway  
 Minimum 25 feet from any public right-of-way

Construction: Aluminum sign panels with painted/vinyl applied surfaces  
 Stone base, varying sized stones

Illumination: Internal/Ground Illumination



Note: Sign design shown is for illustration of size and area only.  
 Actual design and materials may vary.

McShane  
 Development Corporation  
**THE GATEWAY TO  
 59|90**  
**SIGNAGE  
 MASTER PLAN**  
 Hoffman Estates, Illinois

Prepared By:

**LAKOTA**

212 West Kinzie Street, 3rd Floor  
 Chicago, Illinois 60654  
 P 312.467.5445  
 F 312.467.5484  
 info@thelakotagroup.com

Planning  
 Urban Design  
 Landscape Architecture  
 Historic Preservation  
 Community Relations

A DESIGN PARTNERSHIP

July 20, 2010

Internal  
 Directional  
 Sign

Scale: 1"=2'

Page 16



VILLAGE OF HOFFMAN ESTATES  
ZONING BOARD OF APPEALS

**FINDING OF FACT**

DATE OF PUBLIC HEARINGS: July 20, 2010

DATE OF PRESENTATION TO VILLAGE BOARD: August 2, 2010

PETITION: Hearing held at the request of Sears, Roebuck and Co. (Owner) and Insite RE, Inc., as agent for Clear Wireless LLC/Sprint to consider a special use and height variation from the Zoning Code to permit the installation of communication antennas and accompanying equipment on the property located at 3333 Beverly Road.

DISTRICT IN WHICH PROPERTY IS LOCATED: EDA, Economic Development Area District

ZONING CODE SECTION(S) FOR VARIATION: 9-3-9-A and 9-7-5-B-2

ZONING CODE SECTION(S) FOR SPECIAL USE: 9-3-9-A

FINDING-OF-FACT: The ZBA found that the Standards for a Variation (9-1-15-C) and Standards for a Special Use (9-1-18-I) were met.

MOTION: Request to grant Sears, Roebuck and Co. (Owner) and Insite RE, Inc., as agent for Clear Wireless LLC/Sprint, *a special use under Section 9-3-9-A and Section 9-7-5-B-2-h and a fifty two (52) foot height variation from Section 9-3-9-A to permit a maximum of nine (9) cellular antennas and two (2) microwave dish antennas at one hundred and twelve (112) feet high and associated equipment on the Sears Headquarters building at 3333 Beverly Road.* The following conditions shall apply:

1. **Ordinance No. 3223-2000 is hereby repealed and the new 2010 ordinance shall hereafter apply to the subject special use and height variations.**
2. **Per Zoning Code Section 9-1-18-L, should the operation of this cellular facility cease for a period of six (6) months, the antennas shall be removed.**
3. **To minimize the visual impact of the antennas, the antennas and mounting hardware shall be painted to match the color of the penthouse on the building.**

**The petitioner was agreeable to the above listed conditions.**

RECOMMENDATION: The Zoning Board of Appeals (ZBA) recommends **approval** of this request.

Scott Garcia of Insite, Inc. representing Sprint-Clearwire and the property owner presented the proposal to add two small microwave dish antennas onto the penthouse of the Sears headquarters building. Nine cellular panel style antennas exist on the building and the microwave dishes would be strictly to add capacity for data streaming on mobile devices, such as streaming video, internet, email, etc. The dishes allow for data to be transferred without having to bury fiber optic or T-1 lines, which is more expensive. The ZBA clarified that these dishes do not increase the cell phone or voice capacity around the site. The dishes would be on opposite sides of the building and would be small and painted to match the building. A certified structural report was included in the packet for reference. The ZBA had no concerns about this request and recommended approval.

AUDIENCE COMMENTS

None.

VOTE:

5 Ayes

0 Nay

2 Absent (Ali, Wilson)

ZONING BOARD OF APPEALS

Chairman William Weaver

Vice-Chairperson Denise Wilson

Michael Ciffone

Masoom Ali

Donna Boomgarden

Michael Gaeta

Gaurav Patel

**\* IMMEDIATE AUTHORIZATION TO APPLY FOR PERMITS IS REQUESTED \***

**THIS SPECIAL USE AND VARIATION WILL EXPIRE UNLESS  
ACTED UPON WITHIN ONE (1) YEAR OF VILLAGE BOARD APPROVAL**

FINDING OF FACT WRITTEN BY DEVELOPMENT SERVICES STAFF

# VILLAGE OF HOFFMAN ESTATES

## Memo

**TO:** William Weaver, Zoning Board of Appeals Chairman  
**FROM:** Josh Edwards, Assistant Planner JAE  
**RE:** 3333 BEVERLY ROAD - SEARS HEADQUARTERS - SPECIAL USE AND VARIATION - INSITE, INC. AS AGENT FOR CLEAR WIRELESS LLC AND SEARS HOLDINGS MANAGEMENT CORPORATION - COMMUNICATION ANTENNAS & ASSOCIATED EQUIPMENT  
**DATE:** July 15, 2010  
**HEARING DATE:** July 20, 2010

---

### 1. REQUEST SUMMARY

Request by Insite, Inc. as agent for Clear Wireless LLC and Sears Holdings Management Corporation for a special use and variation to permit 2 microwave dish antennas and associated equipment to be installed on the roof of the Sears Headquarters building at 3333 Beverly Road.

### 2. PETITIONER PROPOSAL

Clear Wireless, LLC (Clearwire or "Clear") is an affiliate of Clearwire Corporation, which is an affiliate of Sprint. Sprint is the majority owner of Clearwire, and Sprint will operate the wireless internet component of Clearwire's business.

The petitioner is proposing to install 2 microwave dish antennas to provide improved data streaming capability for the Sprint-Clearwire network. The existing Sprint installation includes 9 cellular antennas centered at a height of approximately 103.5 feet above grade on the penthouse roof of the Sears Headquarters building. The installation of new antennas requires a special use approval. The proposed maximum height for the new antenna is 112 feet above grade to the top of the antenna. A 52 foot height variation is required from the maximum permitted 60 feet. The antennas would be installed on Building "D" of the complex; one near the southwest corner of the building and the other near the southeast corner.

No separate building or equipment is proposed on the ground. New equipment would be installed near the existing Sprint equipment on the roof and would be entirely screened behind the penthouse screen wall and would be blocked from view from the ground. Wiring would be installed on the roof from the equipment cabinets to the antennas, which would also be screened from view. The antennas would be painted to match the building. The petitioner has provided photo simulations of the proposed installation.

### **3. SITE CONDITIONS**

- a) The subject property is zoned Economic Development District (EDA).
- b) A six story, 2.4 million square foot office building is located on the  $\pm$  200 acre property.
- c) To the north is Higgins Road and unincorporated Cook County. To the east and south across Trillium Blvd are several one- and two-story office buildings, zoned EDA. Immediately west across Beverly Rd is undeveloped property zoned A-1 and R-10, currently used for gravel mining and a golf driving range.

### **4. APPLICABLE REQUIREMENTS**

- a) Section 9-3-9 (p. CD9:58) states that a special use is required for antennas mounted over 45 feet to 60 feet. A height variation is required for an antenna to be higher than 60 feet.
- b) Section 9-7-5-B-2-h (p. CD9:117) states that public utility and public service uses are a special use in the Office Use in the EDA District.
- c) Section 9-7-5-E (p. CD9:121) *Height Regulations in the EDA District* refers to Section 9-3-9 for the maximum height for antennas and communication towers.

### **5. ADJACENT OWNER COMMENTS**

Standard notification letters have been mailed and no comments have been received.

### **6. SPECIAL USE/VARIATION HISTORY**

- a) As part of the Sears Corporate Headquarters Complex, a special use was granted for a helipad and a Sears daycare center, both in 1991, and both at different addresses within the 200-acre Sears site.
- b) Ordinance No. 3223-2000 - In September of 2000, a special use and height variation was granted to Sears and Sprint for 9 communications antennas at 108 feet high on the building and equipment.

- c) Ordinance No. 3321-2001 - In July of 2001, a special use and height variation was granted to Sears and SkyTel Corp. for 4 communication antennas at 113 feet high on the building and equipment.
- d) Ordinance No. 4077-2008 - In December of 2008, a special use and height variation was granted to Cricket Communication for 3 communication antennas at 101 feet high on the building and equipment.

**7. IMMEDIATE AUTHORIZATION TO APPLY FOR PERMIT**

The petitioner has requested an immediate authorization to apply for permit.

**8. DEVELOPMENT SERVICES COMMENTS**

The proposal to install antennas onto an existing building rather than erecting a separate antenna tower will minimize visual clutter. The height of the building and proposed camouflaged painting and small size of the dishes will reduce the visibility of the antennas from Beverly Road or the surrounding properties. The dishes are approximately 2 feet in diameter. A condition is proposed to ensure that the antennas match the color of the building penthouse.

The motion has been written for a consistent height of 112 feet above grade to allow flexibility. The motion is also specific to 9 panel style cellular antennas and 2 microwave dish style antennas. Future changes to this configuration would require a new special use and height variation review.

The petitioner has provided a copy of a structural report documenting the structural integrity of the installation.

This approval would repeal and override the 2000 ordinance. The conditions from the 2000 ordinance are repeated below, which have been standard conditions for this and other similar sites.

The Federal Telecommunications Act of 1996 expressly preempts local governments from regulating the placement, construction, or modification of personal wireless services on the basis of environmental or health concerns. Such concerns cannot be used as a basis of the decision whether to grant a special use.

9. **MOTION**

Should the Zoning Board find that the Standards for a Special Use and Standards for a Variation are met, the following motion is provided with conditions:

A special use under Section 9-3-9-A and Section 9-7-5-B-2-h and a fifty two (52) foot height variation from Section 9-3-9-A to permit a maximum of nine (9) cellular antennas and two (2) microwave dish antennas at one hundred and twelve (112) feet high and associated equipment on the Sears Headquarters building at 3333 Beverly Road.

*The following conditions shall be applied to the above motion:*

1. *Ordinance No. 3223-2000 is hereby repealed and the new 2010 ordinance shall hereafter apply to the subject special use and height variations.*
2. *Per Zoning Code Section 9-1-18-L, should the operation of this cellular facility cease for a period of six (6) months, the antennas shall be removed.*
3. *To minimize the visual impact of the antennas, the antennas and mounting hardware shall be painted to match the color of the penthouse on the building.*

cc: Corporation Counsel, D. O'Malley, D. Plass, R. Norton, Petitioner

**CLEAR WIRELESS  
WIRELESS COMMUNICATIONS FACILITY**

**APPLICATION FOR ANTENNA SPECIAL USE/HEIGHT  
VARIATION HEARING**

**SEARS HEADQUARTERS  
3333 BEVERLY ROAD  
HOFFMAN ESTATES, ILLINOIS**

VILLAGE OF HOFFMAN ESTATES  
ZONING BOARD OF APPEALS

APPLICATION FOR ANTENNA SPECIAL USE/HEIGHT VARIATION HEARING

FOR VILLAGE USE ONLY

Special Use Hearing Fee \$400.00 Height Variation Required: Yes \_\_\_ No \_\_\_ Fee \$400.00  
Amount Paid \_\_\_\_\_ Date Paid \_\_\_\_\_ Received By \_\_\_\_\_  
Hearing Date: \_\_\_\_\_ Time: \_\_\_\_\_ Legal Published \_\_\_\_\_  
Receipt Number \_\_\_\_\_ Check No. \_\_\_\_\_ Zoning District \_\_\_\_\_  
Complete application received on \_\_\_\_\_ by \_\_\_\_\_

**\*\* ONLY COMPLETE APPLICATIONS WILL BE ACCEPTED \*\***

ADDRESS OF SUBJECT PROPERTY: 3333 BEVERLY ROAD, HOFFMAN  
ESTATES  
PROPERTY INDEX NUMBER (PIN): 01-32-100-004

PLEASE PRINT OR TYPE

1. NAME OF PROPERTY OWNER(S) SEARS Holdings Mgmt Corp. <sup>contact: Bridget Lee</sup>  
*This must be the legal owner. Written owner authorization is required from the owner in order for a representative to proceed with process. An Economic Disclosure Statement (attached) must be filed by the Owner.*

E-Mail Address Bridget.Lee@searshe.com Fax N/A

Owner's Address 3333 BEVERLY ROAD Phone 847-649-2222  
City Hoffman Estates State IL Zip \_\_\_\_\_

2. PERSON APPLYING IF OTHER THAN OWNER

Name Scott Garcia Company INSITE KE, Inc, as agent for Clear Wireless LLC  
E-Mail Address garcia@insite Fax 630-242-6445  
Address 2210 Midwest Road Phone 630-742-3000  
City Oak Brook State IL Zip 60523

3. CARRIER INFORMATION

Name of Carrier: Clear Wireless LLC

New installation \_\_\_\_\_ Co-Location  (Check One)

Number of Existing Antennas: 0 sprint antennas Number of Proposed Antennas: 2 Backhaul dish antennas

Type of Antenna(s): Backhaul antennas Height to Top of Antennas(s): 110'



**4. OWNER'S RIGHT TO PROVIDE A COURT REPORTER**

A property owner may provide a court reporter for the hearing. It is required that the property owner specifically waive the right to provide a court reporter if the property owner chooses not to provide a court reporter. (Please check appropriate box)

I understand I have the right to provide a court reporter to transcribe the hearing.

I hereby advise that a court reporter will be provided.

I hereby waive the right to provide a court reporter.

**5. ACKNOWLEDGEMENT**

Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Plan Commission member or Chair, or any Zoning Board of Appeals member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village.

Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.

**6. OWNER AUTHORIZATION FOR VARIATION/SPECIAL USE HEARINGS**

I understand the requirement for the owner or an authorized representative to be present at the hearing with full authority to commit to requests, conditions and make decisions on behalf of the owner. If I am unable to attend the hearing I hereby authorize Insite PE, Inc. to act on my behalf and advise that he/she has full authority to act as my/our representative.

7. The Owner and Applicant, by signing the Special Use/Variation Application, certifies to the correctness of the application and all submittals.

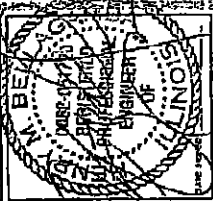
Owner's Signature Jon Bredemeier  
Name (Please Print) Jon Bredemeier  
Applicant's Signature Scott Garcia  
Name (Please Print) Scott Garcia, Insite PE, Inc.  
Date 5/30/10



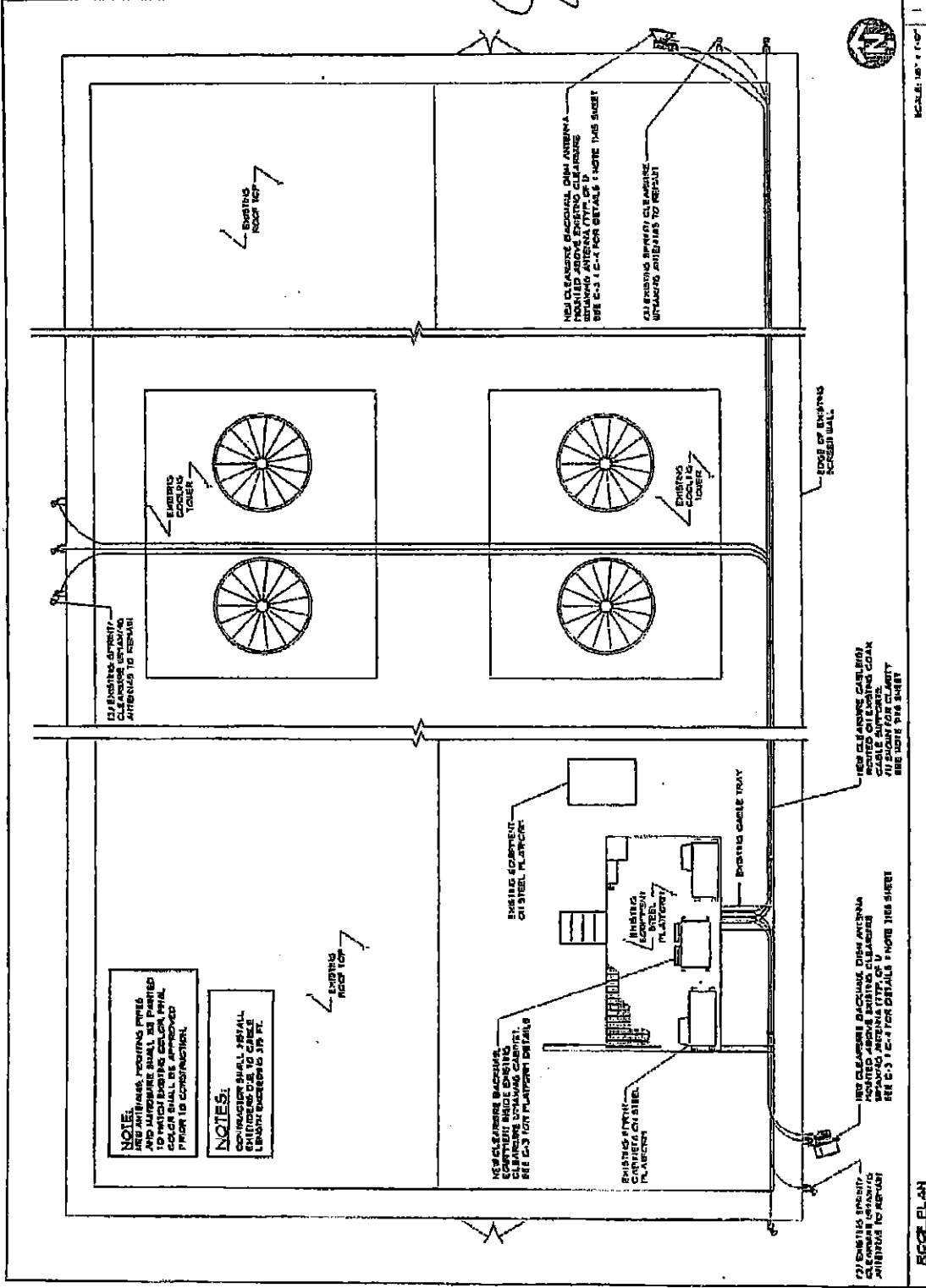
clear wireless LLC  
 a National Cellular Company, a Sprint affiliate  
 1625 N. WILSON ROAD  
 ROCKFORD, IL 61107  
 TEL: 815.398.3333  
 FAX: 815.398.3338

Professional Engineer  
 JOHN J. HARRIS, P.E.  
 REGISTERED PROFESSIONAL ENGINEER  
 LICENSE NO. 1210  
 STATE OF ILLINOIS  
 1625 N. WILSON ROAD  
 ROCKFORD, IL 61107  
 TEL: 815.398.3333  
 FAX: 815.398.3338  
 DIRECT: 815.398.3333

DATE	DESCRIPTION	BY	CHKD
	ISSUED FOR PERMIT	JH	
	REVISED	JH	
	REVISED	JH	
	REVISED	JH	
	REVISED	JH	



PROJECT NAME  
 SEARG HEADQUARTERS  
 SITE NO.  
 IL-CHIB414  
 SHEET ADDRESS  
 3333 BELLEVUE ROAD  
 WILSONVILLE, IL 61890  
 SHEET TITLE  
 ENLARGED ROOF PLAN  
 SHEET NUMBER  
 C-2



**NOTES:**  
 1. EXISTING ANTENNA, TOWERING SPERS, AND SUPPORTS SHALL BE PAINTED TO MATCH EXISTING COLOR. FINAL COLOR SHALL BE APPROVED PRIOR TO CONSTRUCTION.  
 2. CONTRACTOR SHALL INSTALL BRACKETS FOR CABLE SUPPORTS TO REMAIN UNLESS OTHERWISE NOTED.  
**NOTES:**  
 1. CONTRACTOR SHALL INSTALL BRACKETS FOR CABLE SUPPORTS TO REMAIN UNLESS OTHERWISE NOTED.

EXISTING ROOF TOP

EXISTING EQUIPMENT ON STEEL PLATFORM

EXISTING COOLING TOWER

EDGE OF EXISTING SCREEN WALL

NEW CLEARANCE BACKSAIL DISH ANTENNA  
 MOUNTED ABOVE EXISTING CLEARANCE BACKSAIL ANTENNA  
 SEE C-3 FOR DETAILS - NOTE THIS SHEET

EXISTING EQUIPMENT ON STEEL PLATFORM

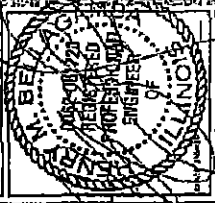
EXISTING COOLING TOWER

*Handwritten signature or initials*

**clear wireless LLC**  
 a limited liability company  
 25501 15th Street  
 Suite 100, Lincoln, NE 68504  
 TEL: 402.479.2551  
 FAX: 402.479.2552

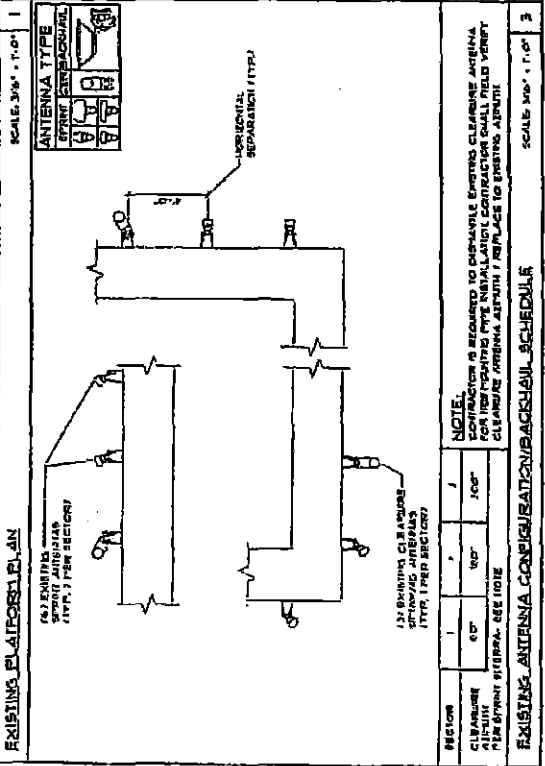
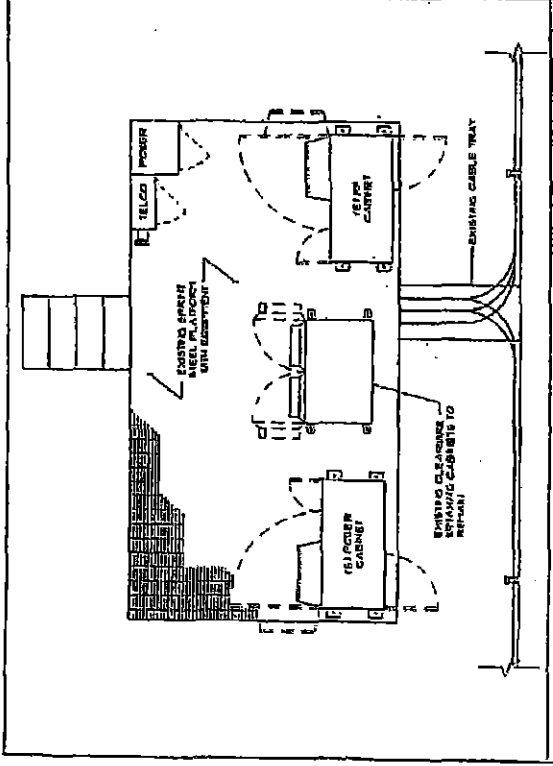
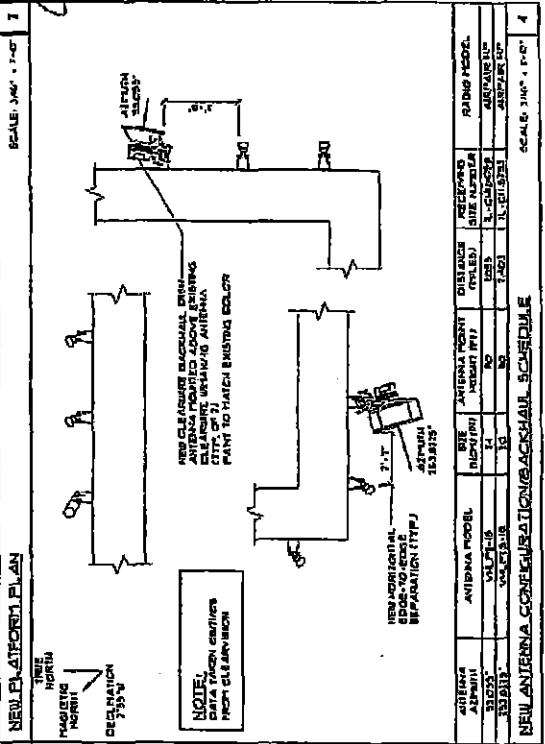
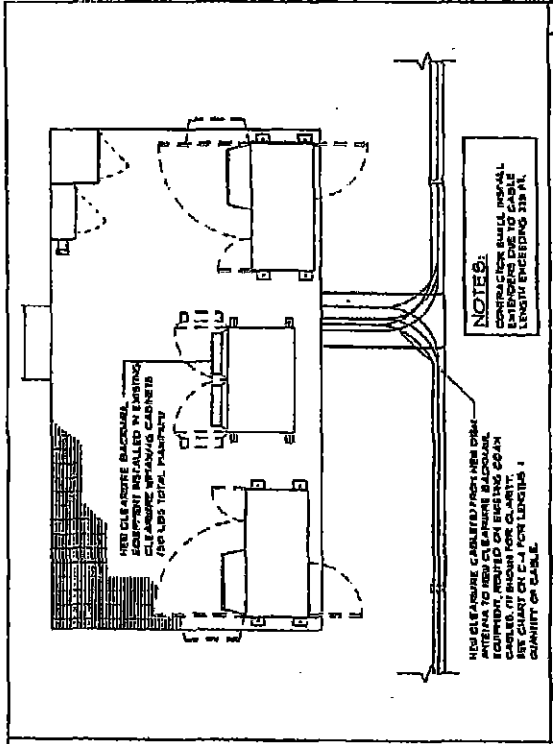
**SEAS ENGINEERS**  
 3333 DECATUR ROAD  
 SUITE 100  
 LINCOLN, NE 68504  
 TEL: 402.479.2551  
 FAX: 402.479.2552

NO.	DATE	DESCRIPTION	BY
1	08/15/11	ISSUED FOR PERMITS	SEAS
2	08/15/11	REVISED PER COMMENTS	SEAS
3	08/15/11	REVISED PER COMMENTS	SEAS
4	08/15/11	REVISED PER COMMENTS	SEAS



**SEAS ENGINEERS**  
 HEADQUARTERS  
 3333 DECATUR ROAD  
 SUITE 100  
 LINCOLN, NE 68504  
 TEL: 402.479.2551  
 FAX: 402.479.2552

**PLATFORM/ANTENNA PLAN**  
 SHEET NO. C-3



**NEW ANTENNA CONNECTION SCHEDULE**

ANTENNA	ANTENNA MODEL	SIZE (HxWxD)	HEIGHT (FT)	DISTANCE (FT)	RECEIVER	DATE	REVISION
1	2.1T	18" x 18" x 18"	15	15	15	15	15
2	2.1T	18" x 18" x 18"	15	15	15	15	15

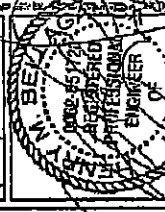
**EXISTING ANTENNA CONNECTION SCHEDULE**

ANTENNA	ANTENNA MODEL	SIZE (HxWxD)	HEIGHT (FT)	DISTANCE (FT)	RECEIVER	DATE	REVISION
1	2.1T	18" x 18" x 18"	15	15	15	15	15
2	2.1T	18" x 18" x 18"	15	15	15	15	15

**clear**  
**W'reless LLC**  
 a Sprint affiliate  
 3130 DEWEY ROAD  
 SCHAUMBURG, IL 60196  
 TEL: 630-211-3800  
 FAX: 630-211-3832

**NOTICE:**  
 NEW ANTENNA TOWERED PIPES  
 AND ACCESSORIES SHALL BE PLANNED  
 AND INSTALLED TO AVOID  
 COLLISIONS WITH EXISTING  
 UTILITIES. ALL WORK SHALL BE  
 APPROVED BY THE CITY OF  
 SCHAUMBURG PRIOR TO CONSTRUCTION.

DATE	DESCRIPTION	BY
11/11/10	ISSUED FOR PERMIT	MM
11/11/10	REVISION	MM
11/11/10	REVISION	MM
11/11/10	REVISION	MM
11/11/10	REVISION	MM



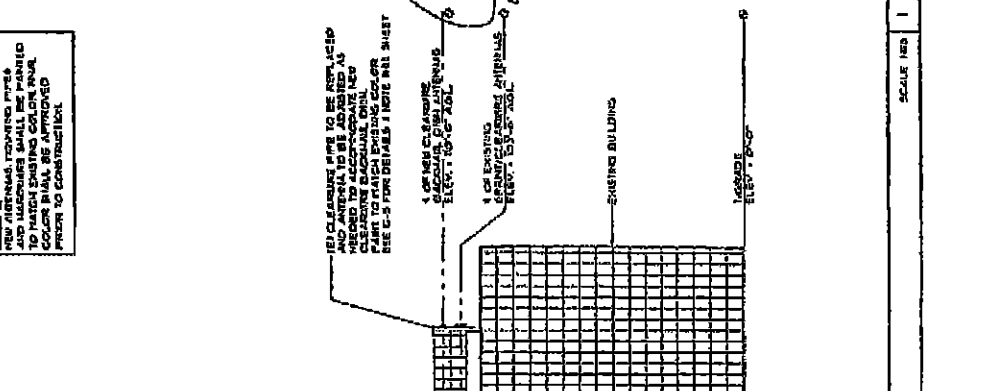
**HEADQUARTERS**  
**SEAS**  
 3130 DEWEY ROAD  
 SCHAUMBURG, IL 60196

**PROJECT NO.**  
**IL-CH15474**

**SHEET NO.**  
**C-4**

**STRUCTURAL NOTES:**  
 STRUCTURAL CALCULATIONS REQUIRED BY ALL NEW OR MODIFIED  
 REPRESENTATIONS TO OBTAIN A COPY.

**ANTENNA NOTES:**  
 1. THE HIZ, VERT, AND DIRECTION OF THE ANTENNA  
 SHALL BE ADJUSTED TO MEET THE FREQUENCY  
 REQUIREMENTS OF THE SERVICE WITH  
 CLEARANCE REPRESENTATIVE.  
 2. ALL ANTENNA AIRWAYS TO BE FACT WIND HORROR.



**BACKHAUL CABLE SCHEDULE**

QUANTITY	CITY	ESTIMATED LENGTH	WAVE MODE	TITLE	SIZE
REQD					IN.
1	CHICAGO	300 FT.	10G	10G	12"
1	CHICAGO	300 FT.	10G	10G	12"
<b>TOTAL</b>					
2		600 FT.			12"

**NOTES:**  
 1. ACTUAL LENGTHS SHALL BE DETERMINED PER SITE CONDITIONS BY THE CONTRACTOR.  
 2. THE CONTRACTOR SHALL VERIFY THE ACTUAL LENGTHS BEFORE INSTALLATION.

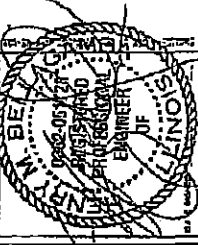
**ELEVATION** SCALE 1/8" = 1'-0" **1**

Handwritten initials/signature.

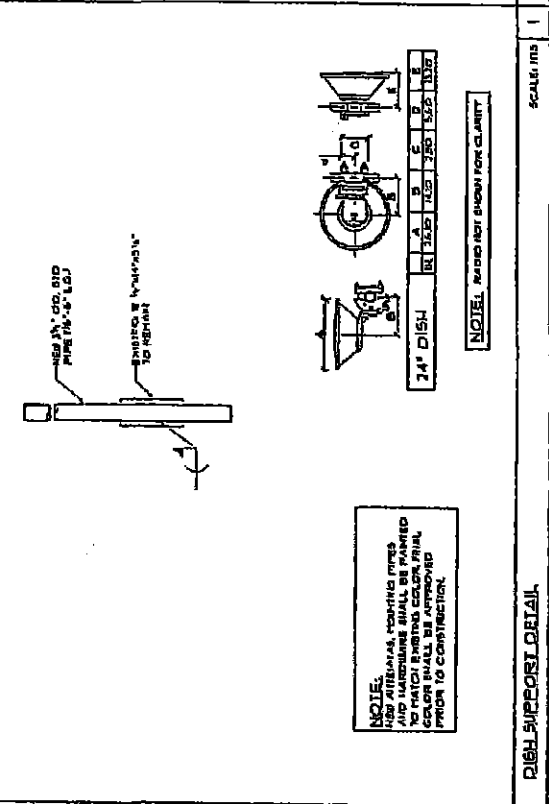
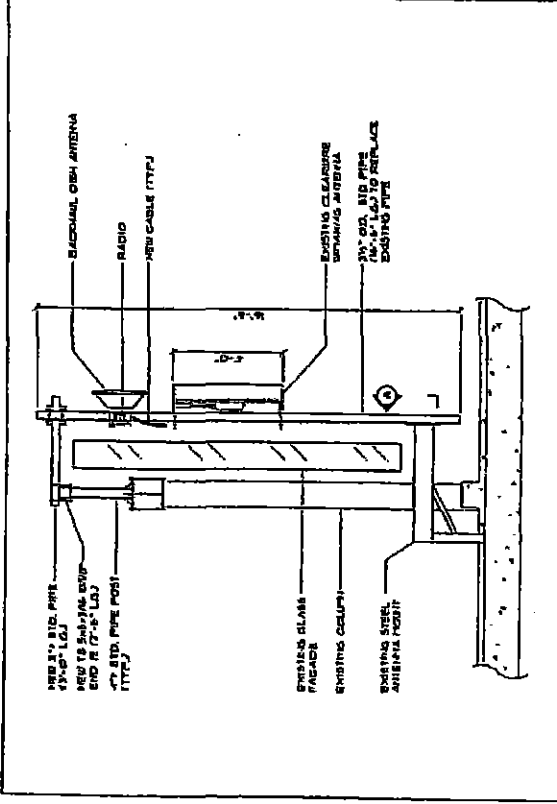
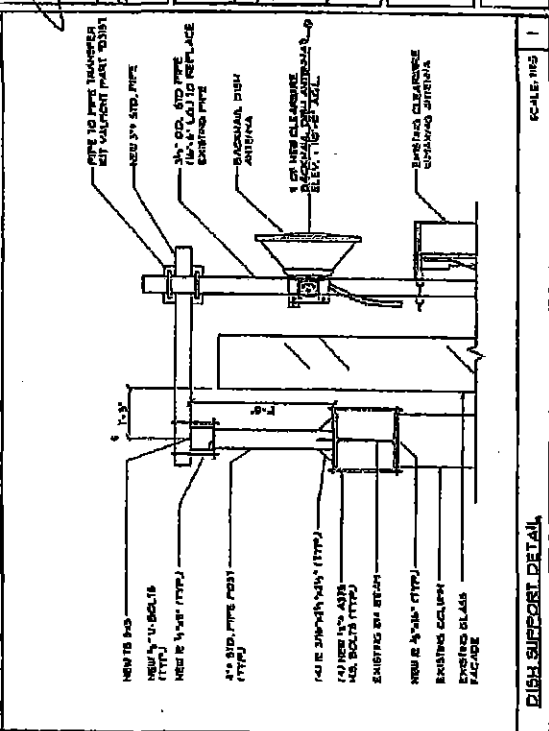
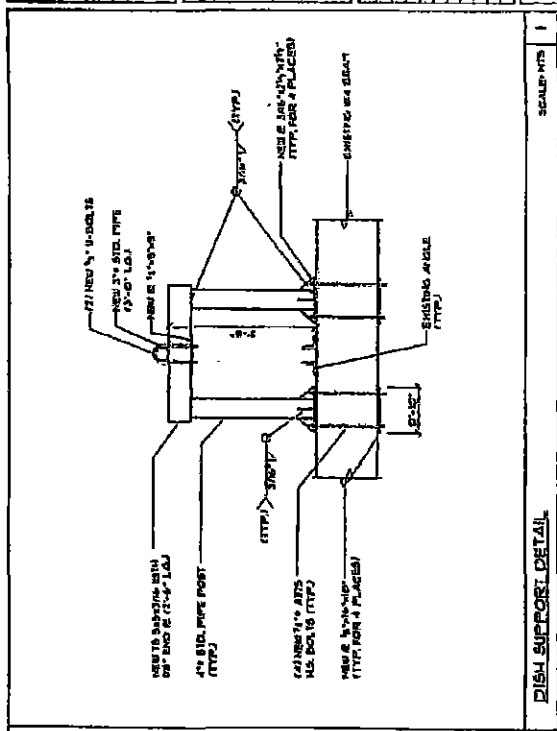
**clear wireless LLC**  
 a Nevada Limited Liability Company  
 3501 S. HARRIS RD.  
 SUITE 100  
 LAS VEGAS, NV 89119  
 PHONE 702.732.3853

**SEARS ENGINEERING**  
 1100 N. 2ND ST.  
 SUITE 200  
 CHICAGO, ILLINOIS 60610  
 PHONE 312.541.7200  
 DESIGN PART NO. 14-000088

APPROVED BY:	DATE:	REVISED:	BY:



**HEADQUARTERS SEARS**  
 SITE NO. IL-CH15474  
 SITE ADDRESS: 3333 BEVERLY ROAD, NORTH BAYVIEW, IL 60069  
 SHEET TITLE: SITE DETAILS  
 SHEET NUMBER: C-5



**NOTE:**  
 NEW ANTENNAS, MOUNTING TUBES  
 AND HARDWARE SHALL BE PAINTED  
 TO MATCH EXISTING COLOR. FINAL  
 COLOR SHALL BE APPROVED  
 PRIOR TO CONSTRUCTION.

NOTE: NOTED NOT SHOWN FOR CLARITY

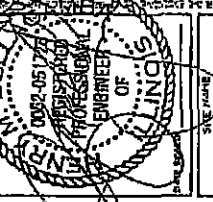
DISH SUPPORT DETAIL 1 SCALE: NTS 1  
 DISH SUPPORT DETAIL 1 SCALE: NTS 1

*Handwritten initials/signature*

**clear wireless LLC**  
 a Florida limited liability company,  
 a Special District  
 2701 N. US Highway 1  
 Suite 100  
 Ft. Lauderdale, Florida 33309  
 TEL (954) 271-7373  
 FAX (954) 271-2808

**REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS**  
 STATE NO. 00997005  
 PROFESSIONAL ADDRESS  
 SEARS HEADQUARTERS  
 1100 WEST 19TH STREET  
 CHICAGO, ILLINOIS 60616  
 OFFICE PHONE NO. 312-487-4174

NO.	DATE	DESCRIPTION	BY	APP'D BY



**SEARS HEADQUARTERS**  
 SITE NO. IL-CH19-474  
 SITE ADDRESS  
 1100 WEST 19TH STREET  
 CHICAGO, ILLINOIS 60616  
 SHEET NAME  
**SINGLE LINE NOTES**  
 SHEET NUMBER  
**E-1**

**ANTENNA INSTALLATION NOTES**

1. ANTENNA INSTALLATION SHALL BE CONDUCTED BY FIELD CREW EMPLOYED IN THE ASSEMBLY AND ERECTION OF STRUCTURES, TRANSMISSION LINES, AND SUPPORT STRUCTURES.
2. CONTRACTOR AND THEIR EMPLOYEES SHALL BE PROMPTLY NOTIFIED OF SAFETY HAZARDS OR CONDITIONS WHICH MAY AFFECT THE INSTALLATION OF ANTENNAS WHILE PERFORMING SERVICES FOR CLEAR WIRELESS.
3. CONTRACTOR AND THEIR EMPLOYEES SHALL BE PROMPTLY NOTIFIED OF ANY ELECTRICAL WORK WHICH MAY BE NEARBY OR WHICH MAY AFFECT THE INSTALLATION OF ANTENNAS WHILE PERFORMING SERVICES FOR CLEAR WIRELESS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CLEARANCE TO INSTALL ANTENNAS AND TO CONDUCT ALL WORK ACTIVITIES. CLEARANCE LEASES OR COPIES OF CLEARANCE LEASES SHOULD BE PROMPTLY NOTIFIED OF SAFETY HAZARDS OR CONDITIONS WHICH MAY AFFECT THE INSTALLATION OF ANTENNAS. ALL WORK SHALL BE HALTED UNTIL SUCH TIME AS THE HAZARD IS ELIMINATED OR THE NECESSARY CLEARANCE IS OBTAINED BY THE CONTRACTOR. CALLS ON SITE AFTER THE CONTRACTOR HAS NOTIFIED CLEARANCE TO PROCEED ARE NOT ALLOWED.

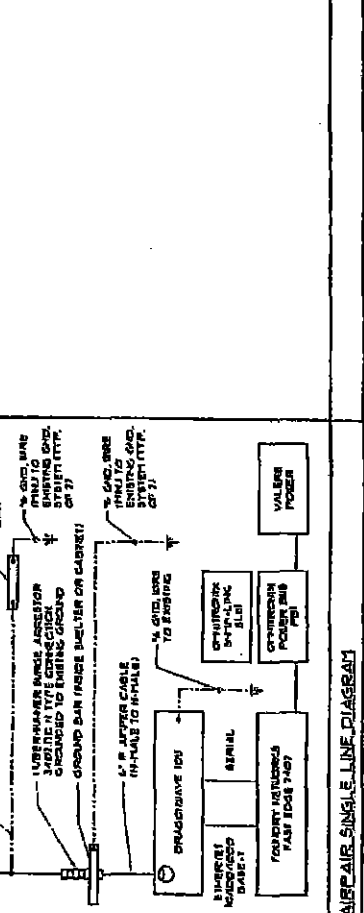
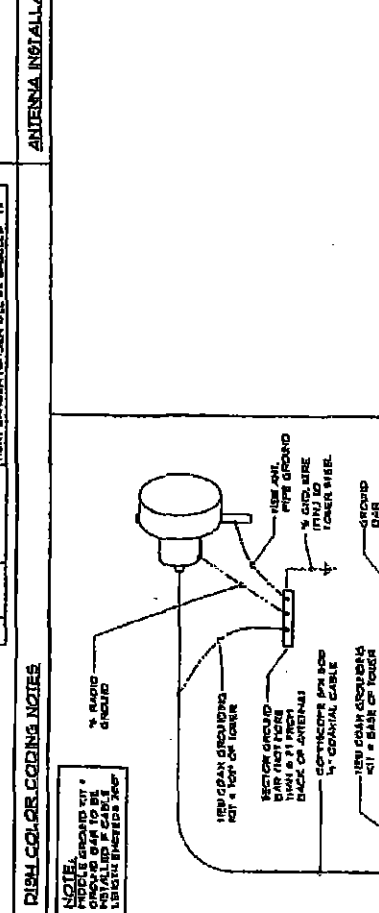
1. ALL WIRE TRANSCEIVER SITE COMPONENTS SHALL BE GROUNDING IN ACCORDANCE WITH THE MANUFACTURER'S AND ALL OTHER ELECTRICAL CODES WHICH APPLY TO THE INSTALLATION CODE (NFPA, NETA, IEC) AND ALL LOCAL STANDARDS.
2. THE ELECTRICAL SERVICES TO THIS SITE SHALL BE GROUNDING AS THE NATIONAL ELECTRICAL CODE AND IN ACCORDANCE WITH ANY LOCAL CODE.
3. ALL GROUNDING (ELECTROLYTIC CORROSION) CONNECTIONS SHALL BE MADE BY THE CONTRACTOR IN ACCORDANCE WITH ALL LOCAL ELECTRICAL CODES. ALL GROUNDING CONNECTIONS SHALL INCLUDE ALL CABLE TO CABLE JOINTS, WELDED CONNECTIONS TO GROUND RODS, GROUND RIGS, AND ALL OTHER CONNECTIONS. ALL WIRE SHALL BE PROTECTED WITH SUFFICIENT MEANS TO PREVENT MECHANICAL DAMAGE TO THE WIRE. ALL WIRE SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATION AND PROCEDURES.
4. ALL GROUNDING AND BONDING CONNECTIONS THAT ARE CONNECTED ABOVE GROUND OR INTERIOR TO A BUILDING SHALL BE CONNECTED USING THE MOST CORRUPTIVE CONNECTION CONNECTIONS FOR 1) AND 1/2" INSULATED CARRIER CONNECTIONS.
5. ALL GROUNDING CONNECTIONS, INTERIOR AND EXTERIOR, SHALL THROUGHOUT THIS DOCUMENT SHALL BE MADE USING AN ANTI-OXIDATION COMPOUND TO PREVENT CORROSION OF THE CONNECTION. THE COMPOUND SHALL BE APPLIED TO ALL SURFACES OF ALL APPROVED EQUAL CONTACT SURFACES BEFORE CONNECTIONS.
6. ALL CONNECTIONS SHALL BE MADE TO BARE METAL. ALL PAINTED SURFACES SHALL BE FIELD REMOVED AND COURED TO EXPOSE BARE METAL. FIELD REMOVED SURFACES SHALL BE REPAIRED WITH THE SAME TYPE AND COLOR OF PAINT AS THE ORIGINAL SURFACE. ALL METAL SHALL BE TREATED WITH A CORROSION RESISTANT COATING AFTER CONNECTION HAS BEEN MADE.
7. PREVIOUS METAL CLIPS WHICH COMPLETELY SURROUND THE GROUNDING CONDUCTOR SHALL NOT BE USED. CLIPS OF THE FOLLOWING MATERIALS AND TYPES MAY BE USED TO SUPPORT GROUNDING CONDUCTORS:  
 STAINLESS STEEL CLIPS WHICH DO NOT COMPLETELY SURROUND THE GROUNDING CONDUCTOR.  
 BRASS CLIPS WHICH DO NOT COMPLETELY SURROUND THE GROUNDING CONDUCTOR.
8. ALL METAL BOLTS, NUTS, WASHERS, AND LOCK WASHERS SHALL BE MADE OF STAINLESS STEEL OR BRASS. ALL METAL BOLTS, NUTS, WASHERS, AND LOCK WASHERS SHALL BE MADE OF STAINLESS STEEL OR BRASS. ALL METAL BOLTS, NUTS, WASHERS, AND LOCK WASHERS SHALL BE MADE OF STAINLESS STEEL OR BRASS. ALL METAL BOLTS, NUTS, WASHERS, AND LOCK WASHERS SHALL BE MADE OF STAINLESS STEEL OR BRASS.

**GROUNDING NOTES**

**NOTES COLOR CODING:**

1. THE SCHEME OF THE RED TO BLUE HEADPOST FOLLOWS THE NATIONAL ANTENNA COLOR CODING SYSTEM. THE FIRST EQUIPPED SECTION IN AN ANTENNA ORIENTATION FOR EXAMPLE, THE FIRST EQUIPPED SECTION IN RED. IN A SITUATION WHERE THE RED SECTION IS NOT EQUIPPED WITH AN ANTENNA, THE NEXT SECTION SHALL BE LABELED RED EVEN IF IT IS UN-EQUIPPED. ALL OTHER SECTIONS SHALL BE LABELED WITH THEIR RESPECTIVE COLOR. ALL UN-EQUIPPED SECTIONS SHALL BE LABELED WITH THEIR RESPECTIVE COLOR. ALL UN-EQUIPPED SECTIONS SHALL BE LABELED WITH THEIR RESPECTIVE COLOR. ALL UN-EQUIPPED SECTIONS SHALL BE LABELED WITH THEIR RESPECTIVE COLOR.
2. THE CONTRACTOR SHALL USE RED SECTION APPROPRIATE COLORED TAPE TO IDENTIFY THE RED SECTION. THE CONTRACTOR SHALL USE BLUE TAPE TO IDENTIFY THE BLUE SECTION. THE CONTRACTOR SHALL USE YELLOW TAPE TO IDENTIFY THE YELLOW SECTION. THE CONTRACTOR SHALL USE RED TAPE TO IDENTIFY THE RED SECTION. THE CONTRACTOR SHALL USE BLUE TAPE TO IDENTIFY THE BLUE SECTION. THE CONTRACTOR SHALL USE YELLOW TAPE TO IDENTIFY THE YELLOW SECTION.

SECTION NUMBER	COLOR	MARKING METHOD	NUMBER OF BANDS
1	RED	SMALLEST NUMBER WILL BE LABELED "1"	1
2	BLUE	NEXT LARGEST NUMBER WILL BE LABELED "2"	2
3	YELLOW	SMALLEST NUMBER WILL BE LABELED "1"	1



*Handwritten initials or signature.*

**CLEAR WIRELESS  
WIRELESS COMMUNICATIONS FACILITY  
(Backhaul Dish Antennas)  
Sears Headquarters  
3333 Beverly Rd.  
Hoffman Estates**

**Petitioner**

Clear Wireless has entered into a lease agreement with Sears Roebuck, owner of the property located at 3333 Beverly Road in Hoffman Estates, to upgrade its existing rooftop communications facility.

**Property Description**

The proposed upgrades include the installation of two (2) new backhaul dish antennas to be mounted above existing Clear Wireless WIMAX/4G antennas at a height of 110' and the installation of related equipment inside the existing Clear Wireless WIMAX/4G cabinets, located behind existing screen wall on building's rooftop. Additionally, the clear Wireless pipe will be replaced and the existing antennas will be adjusted as needed to accommodate the new backhaul dish antennas, and the new backhaul dish antennas will be painted to match the existing antennas. Access will remain via the inside of the building located at 3333 Beverly Road. The site is located within the EDA Zoning District.

**Nature of Request/Zoning Analysis**

The Village of Hoffman Estates Zoning Board of Appeals Antenna Application Process states in relevant part:

**1. SPECIAL USE AND HEIGHT VARIATION REQUIREMENTS**

**In addition to Special Use approval, a Non-Residential Height Variation is required for antennas located higher than 60 feet.**

Clear Wireless therefore, seeks a special use permit, height variation and any other permit necessary to accommodate the installation of the proposed upgrades (the addition of backhaul dish antennas and related equipment) to its existing rooftop wireless antenna facility.

**Components and Operations**

The proposed facility will be unstaffed and, upon completion, will require only infrequent maintenance visits (approximately once a month) by a service technician. Access will be via the inside of the building at 3333 Beverly Road. Hence, the facility will not have any material impact on traffic, parking or storm water control.

The proposed facility is entirely self-monitored by sophisticated computers which connect directly to a central office and which alert personnel to equipment malfunction or breach of security. Moreover, no material noise, glare, smoke, debris, traffic flow or any other nuisance will be generated by the proposed facility.



The proposed facility will be designed and constructed to meet applicable governmental and industry safety standards. Specifically, Clear Wireless will comply with FCC and FAA rules governing construction requirements, technical standards, interference protection, power and height limitations and radio frequency standards.

**Requested Action**

Clear Wireless respectfully requests a special use permit, a height variation and any other relief necessary to accommodate the installation of the upgrades (addition of backhaul dishes and related equipment) to its existing rooftop wireless communications facility located at 3333 Beverly Road (Sears Headquarters) in Hoffman Estates.

Clear Wireless expressly reserves all of its rights, including those available to it under the Village of Hoffman Estates Code of Ordinances or any other state, local or federal law.

# EXHIBIT 6

10  
11/1/11

**ZONING CODE  
VILLAGE OF HOFFMAN ESTATES  
STANDARDS FOR A SPECIAL USE**

**Section 9-1-18. SPECIAL USES**

**Standards – No special use shall be recommended by the Zoning Board of Appeals unless said Board shall find:**

- 1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;**

The establishment, maintenance and operation of this communications facility will be wholly contained on the rooftop of the Sears Headquarters building located at 3333 Beverly Rd. It will not be injurious to or endanger the public health, safety, morals, comfort, or general welfare of the community. Wireless communication technology does not interfere with any form of communication, whether public or private. To the contrary, wireless technology provides vital communications in emergency situations and will commonly be used by local residents in emergency situations and by emergency personnel to protect the general public's welfare. Additionally, the proposed facility will be designed and constructed to meet applicable governmental and industry safety standards.

- 2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values.**

There have been numerous independent third-party property valuation studies nationwide to address whether facilities such as the proposed facility will have an adverse affect on use and value of adjacent properties. These studies have found that the use and value of adjoining properties are not adversely affected by facilities like the proposed facility. Clear Wireless has been sensitive in selecting and designing this site as to minimize the visual impact on surrounding property. The Additionally, no material noise, glare, smoke, debris or traffic flow or any other nuisance shall not be generated by the proposed facility; nor will the proposed facility require lighting under any FAA rule or regulation. Therefore, the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values.

- 3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.**

As noted above, Clear Wireless has been sensitive in the selection and design of the proposed facility as to minimize the impact on the surrounding property. Since the proposed facility is unmanned, there will be no material effect on sewer, water, parking or traffic. Granting the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. To the contrary, reliable utility networks such as electric, gas, water and wireless networks are essential to the development of any community.

- 4. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided.**

A wireless facility is unstaffed. The only utilities which will be required are telephone and electricity, both of which are available on site. No drainage, sanitation, refuse removal, parks, library, or school services will be necessary for this facility. This site is entirely self-monitored and connects directly to a central office where sophisticated computers alert personnel to any equipment malfunction or breach of security. Existing police and fire protection are more than adequate to provide security for this facility.

- 5. That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in the public streets; and**

Access will be via the inside of the Sears Headquarters located at 3333 Beverly Rd. Typically, once a site is built and operational, it is visited by a technician for routine system checks once or twice monthly during normal business hours. There will be NO traffic congestion that will result from the proposed installation.

- 6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Zoning Board of Appeals.**

The special use conforms, in all other aspects, to the applicable regulations of the EDA Zoning District except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Zoning Board of Appeals.

# EXHIBIT 7

**Zoning Code  
Village of Hoffman Estates**

**STANDARDS FOR A VARIATION**

Section 9-1-15. Variations

**C. Standards for Variations**

**1. The Zoning Board of Appeals shall not recommend the variation of the regulations of the Code unless it shall first make a finding based upon the evidence presented to it in each specific case that:**

- a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district which it is located;**

In order for the installation of the backhaul dish antennas to function at this location, they must be located at certain height. If permitted to be used only under the conditions allowed by the regulations of the Hoffman Estate Zoning Ordinance regarding height limitations for antennas, Clear Wireless could not install the antennas at this location.

- b. The plight of the owner is due to the unique circumstances;**

The plight of the owner is due to the nature of the wireless industry and the need to place its antennas at a particular height and location.

- c. The variation, if granted, will not alter the essential character of the locality;**

The establishment, maintenance and operation of the proposed addition of the backhaul dish antennas and related equipment will be wholly contained on the rooftop of the Sears Headquarters building located at 3333 Beverly Road and will therefore, not alter the essential character of the locality. The dish antennas will be mounted above the existing WIMAX/4G antennas and the equipment will be located within the existing cabinets which are behind a screen wall.

**2. For the purpose of implementing the above rules, the Board shall also, on making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the applicant have been established by evidence.**

- a. The particular physical surroundings, shape or topographical condition of the specific property involved would result in a particular hardship upon the**

**owner, as distinguished from a mere inconvenience, it the strict letter of the regulations were carried out.**

The existing facility was designed to fill a coverage gap in the Applicant's network. The network operates on a "grid" system, whereby overlapping "cells" (geographic wireless coverage areas) mesh to form a continuous wireless network. In order to provide wireless coverage within the geographic confines of each cell, a wireless facility ("cell site") must be located within or near the center of that cell. If the wireless facility is not located within or near the center or the height of the antennas is inadequate, then coverage gaps exist. Coverage gaps result in a weak wireless signal which, to the end user, means a dropped call or inability to make or receive a call.

Although the backhaul dish antennas do not serve to fill in coverage gaps, it is important to place them at a height and location where they are able to transmit to other backhaul antenna sites within the network. Further more, landlords traditionally only allow additional equipment to be installed within existing antenna facility lease areas as opposed to randomly placing them on other areas of the property. Therefore carrying out the strict letter of the provision of this Ordinance which limits the placement of antennas at 60' or below would create a practical difficulty and particular hardship which would prevent the proposed installation.

**b. The conditions upon which the petition for a variation is based would not be applicable, generally, to other properties with the same zoning classification;**

As described above, the need to install the backhaul dish antennas within the existing lease area on the Sears Headquarters rooftop and at a height necessary to transmit to other backhaul antenna sites within the network has created a situation where the conditions upon which the petition for a variation is based would not be applicable, generally, to other properties with the same zoning classification.

**c. The purpose of the variation is not based exclusively upon a desire to increase the value of the property; and d. The alleged difficulty or hardship has not been based exclusively upon a desire to increase the value of the property.**

In answer to both c and d above, the purpose of the variation is to accommodate the need to place the backhaul dish antennas at a particular height and location to successfully transmit and receive signals. It is a result of the nature of the wireless industry and not based exclusively upon a desire to increase the value of the property.

**e. The granting of the variation will not be detrimental to the public welfare or injurious to other improvements in the neighborhood in which the property is located.**

The two (2) new backhaul antennas will be mounted above existing Clear Wireless WIMAX/4G antennas, and will be painted to match existing antennas with the new backhaul equipment installed inside existing WIMAX/4G cabinets. These cabinets are located behind a screen wall. With such a small footprint, the proposed installation will not be detrimental to the public welfare or injurious to other improvements in the neighborhood in which the property is located. To the contrary, wireless technology provides vital communications to the community. Additionally, the proposed additions to the existing facility will be constructed to meet applicable governmental and industry safety standards.

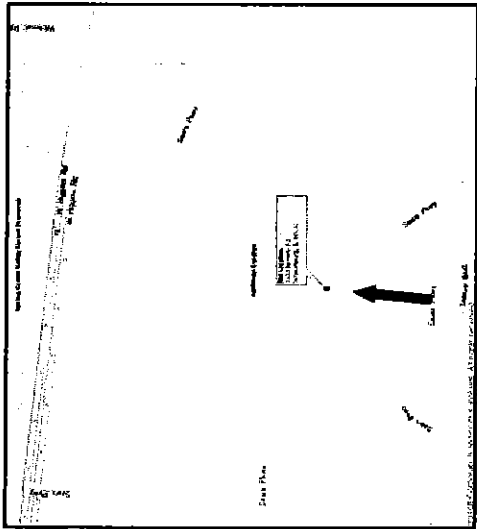
**f. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood.**

No material noise, glare, smoke, debris or traffic flow or any other nuisance will be generated at the proposed facility or by the proposed variation. The new backhaul equipment will be located within existing cabinets, which are behind a screen wall and the variation will not require any lighting under any FAA rule or regulation. Additionally, the variation will not impair property values in the neighborhood as studies have found that the use, enjoyment and value of adjoining properties are not adversely affected by facilities such as the proposed facility.

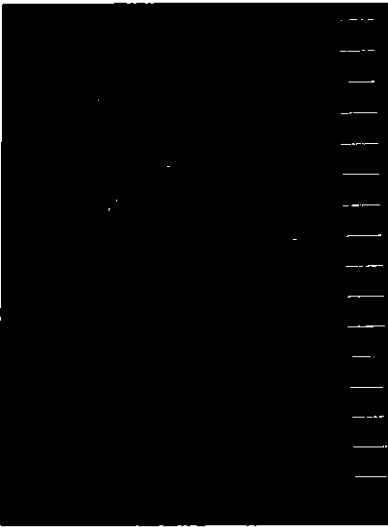


# EXHIBIT 8

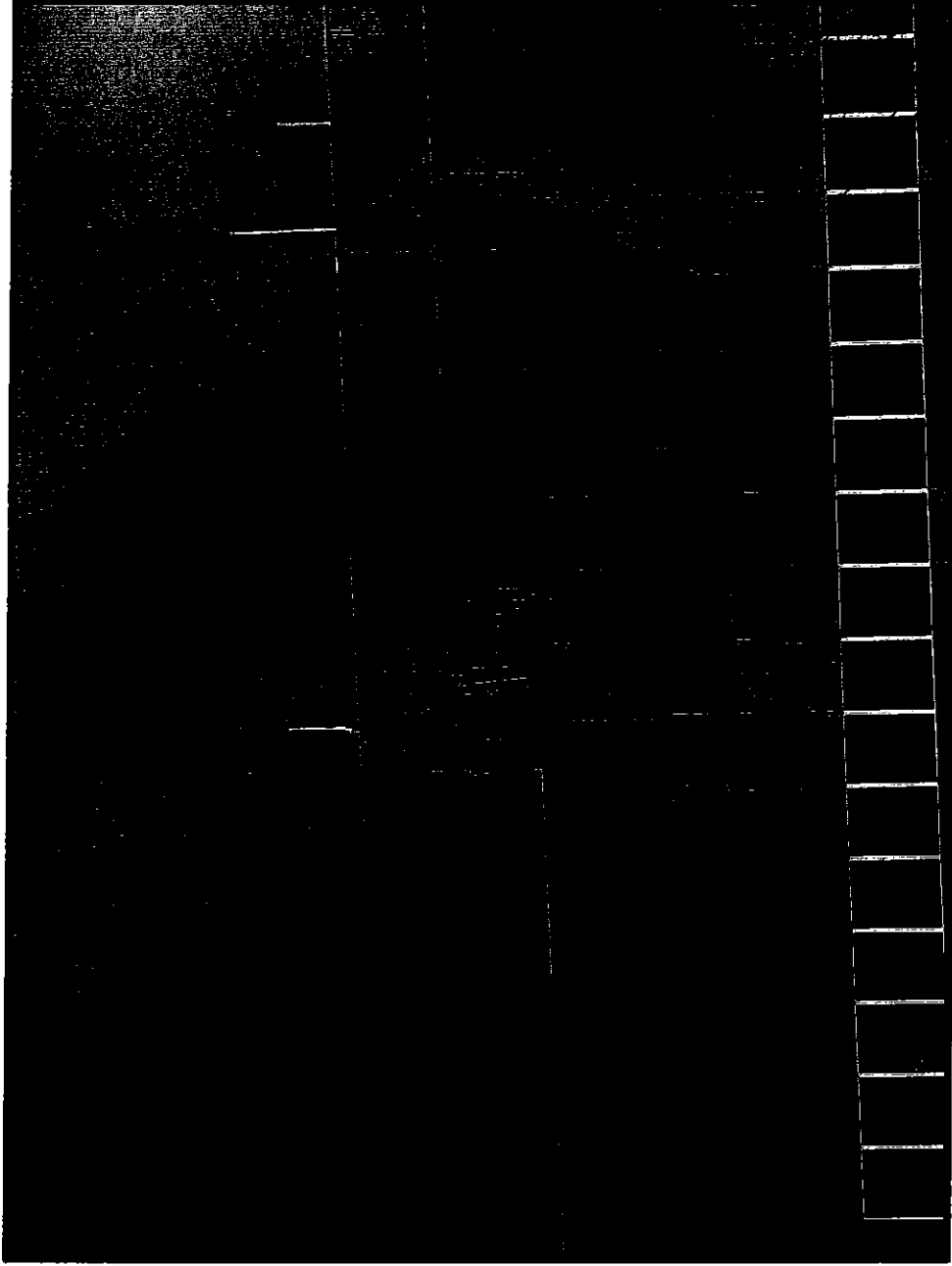
**clearw're**



Site Location



Before



After

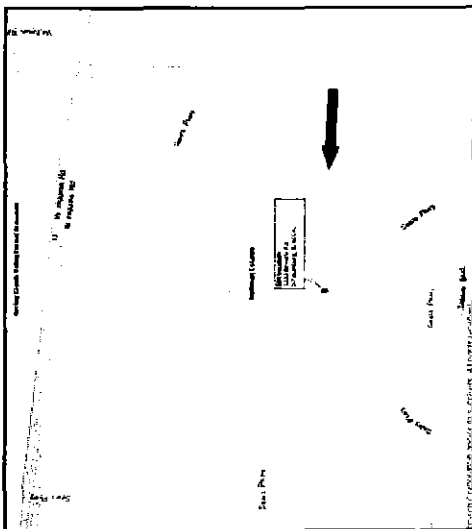
These depictions are for demonstrative purposes only. They are to be used in addition to the engineering drawings for an accurate representation of site.



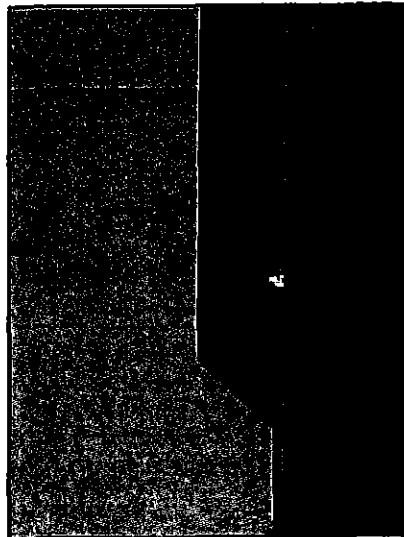
Sears Headquarters - IL-CHI5474  
3333 Beverly Rd., Hoffman Estates, IL 60192

Looking North

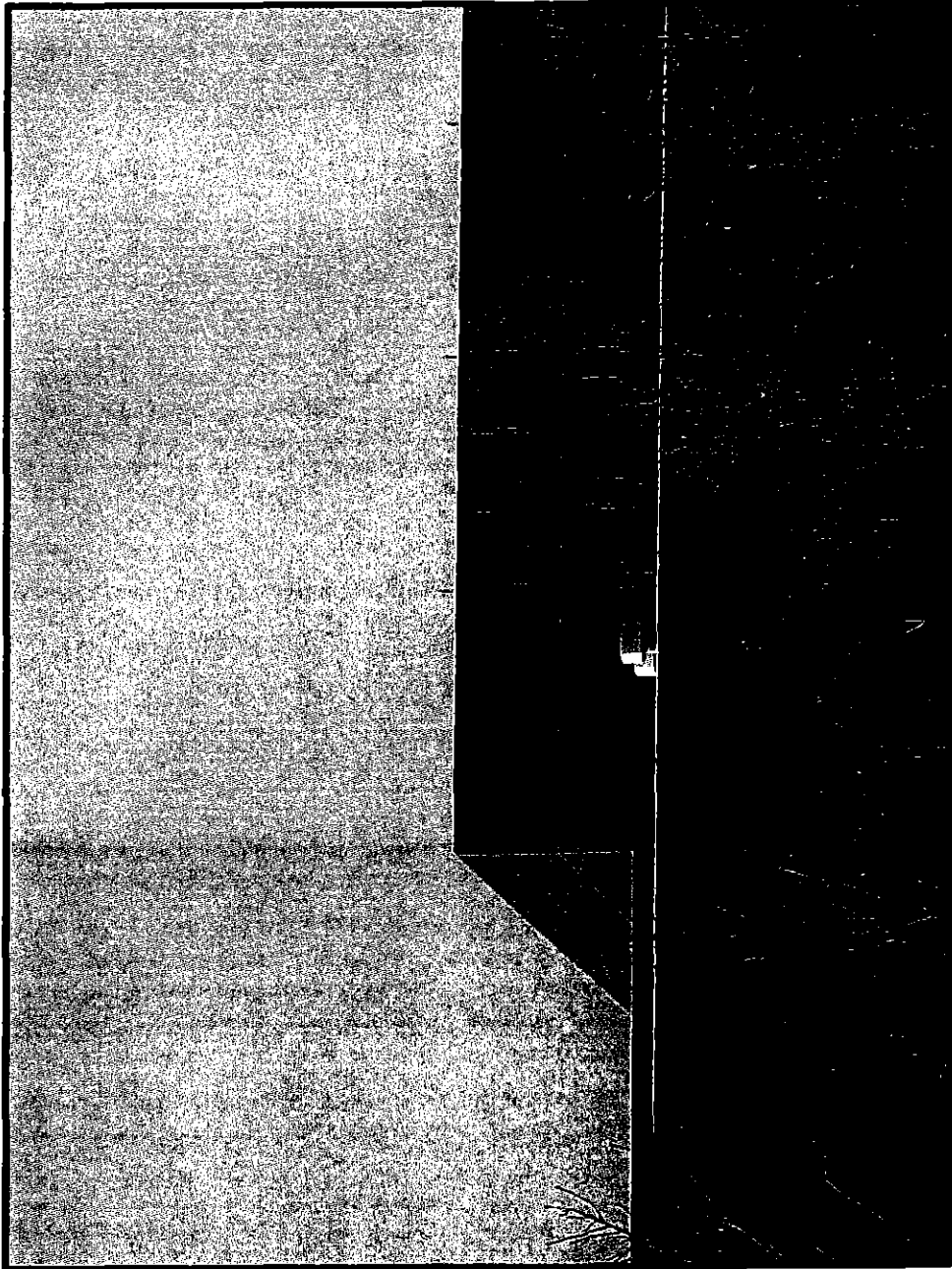
**clearwire**



**Site Location**



**Before**



**After**

These depictions are for demonstrative purposes only. They are to be used in addition to the engineering drawings for an accurate representation of site.



Sears Headquarters - IL-CHI5474  
3333 Beverly Rd., Hoffman Estates, IL 60192

**Looking West**

# EXHIBIT 9

---

# Structural Mapping Report

Prepared for: Clear Wireless LLC

Site Number: IL-CHI5474  
Site Name: Sears Headquarters  
3333 Beverly Road  
Hoffman Estates, IL 60192

July 2, 2009



**Fullerton**  
Engineering Consultants

9700 West Higgins Road, Suite 800, Rosemont, IL 60018  
Phone: (847) 292 0200 Fax: (847) 292 0205

---

## **Table of Contents**

<b>Site Visit Report</b>	.....	<b>R.1</b>
<b>Site Sketch</b>	.....	<b>S.1</b>
<b>Site Photographs</b>	.....	<b>P.1</b>

---

## **Site Visit Report**

The Sears Headquarter building was visited on **July 2, 2009** by:

**Sargiz Mirzaei**

**Project Manager**

**Fullerton Engineering Consultants, Inc.**

### **DESCRIPTION OF THE EXISTING BUILDING / SITE:**

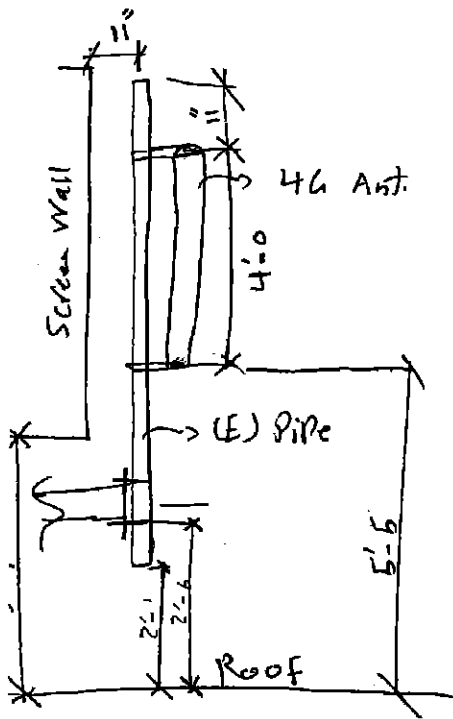
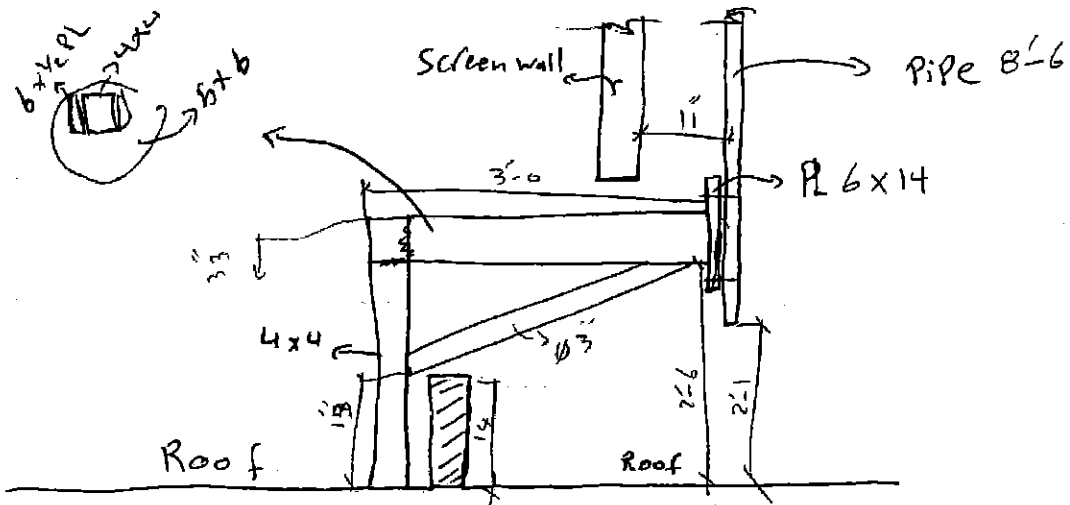
From our observations, the Sears headquarter building is a six-story building with steel and concrete structure. The proposed antennas and backhaul dishes will be mounted on the beams and columns that support the screen walls on the rooftop.

### **MATERIAL AND CODES USED:**

- 2003 International Building Code
- Structural Steel: AISC Specification, Allowable Stress Design, 9<sup>TH</sup> Edition
- Structural Concrete: ACI 318-89

### **VISUAL INSPECTION & MAPPING**

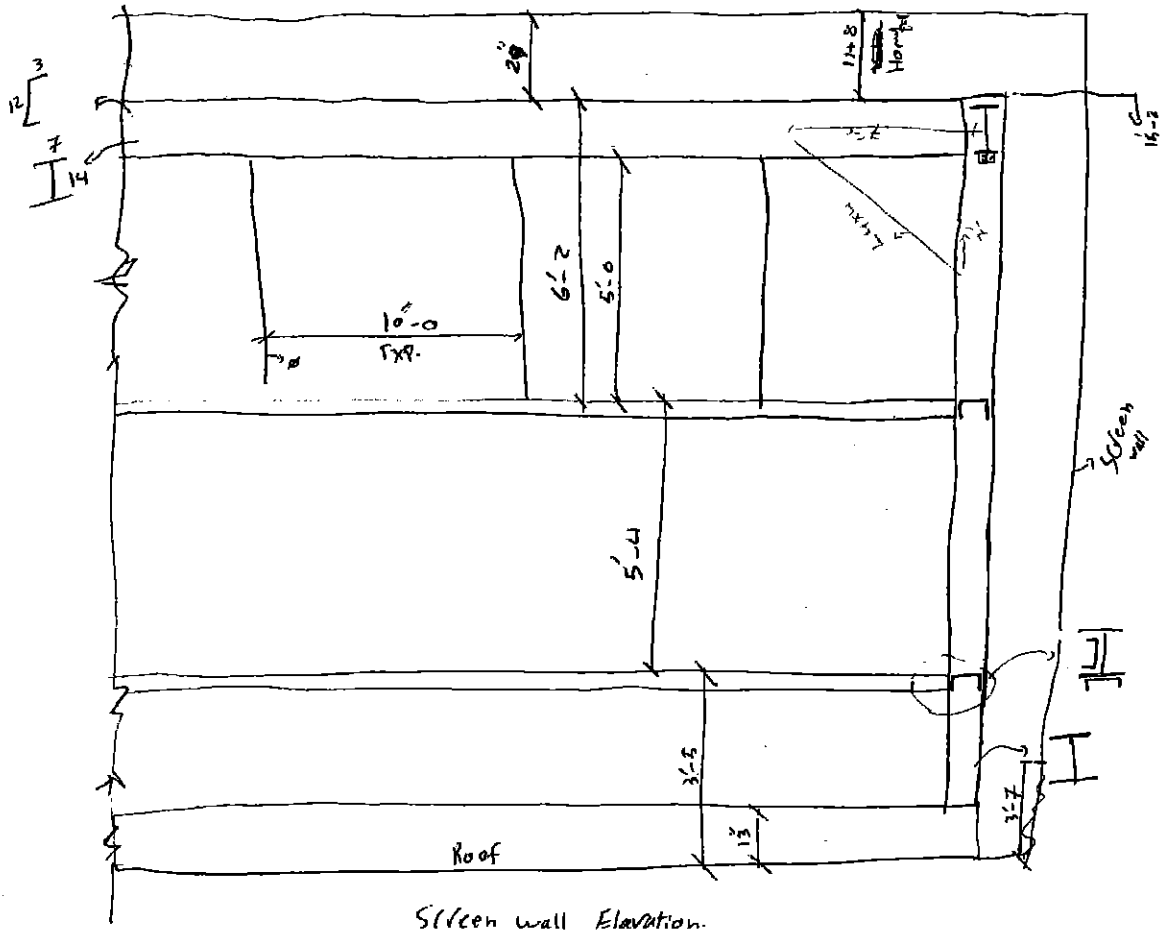
We performed a field verification of the rooftop location of the proposed antenna and backhaul dish installation. We were able to map the existing steel beams and columns that support the screen walls on the rooftop. The antennas and the backhaul dishes will be installed outside the screen walls. All structural areas affected by the proposed installation of antennas and backhaul dishes were found to be in satisfactory condition (see attached photographs).

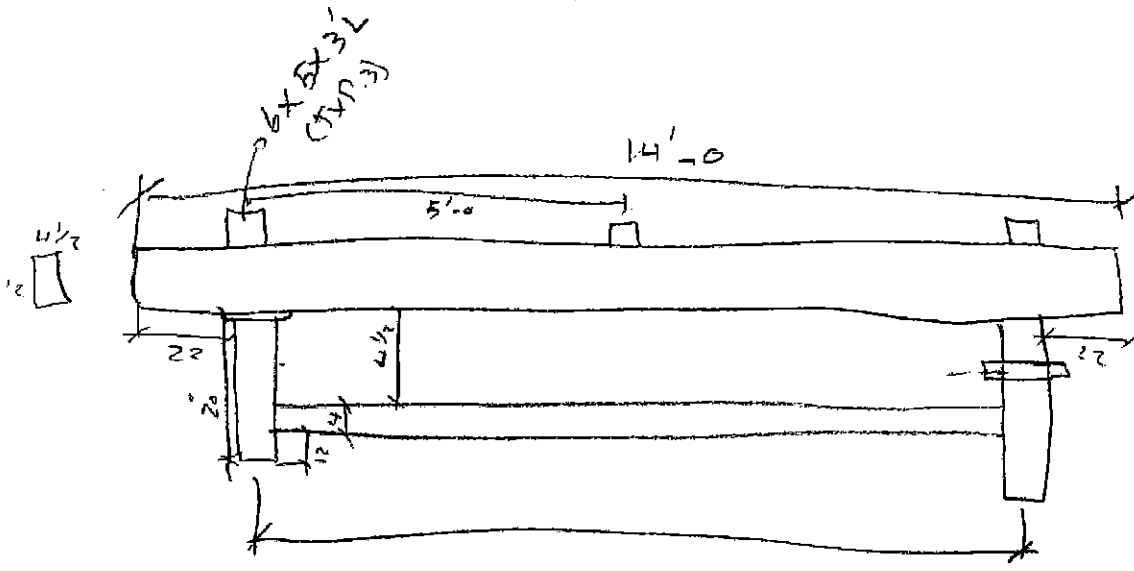


Site # 5474

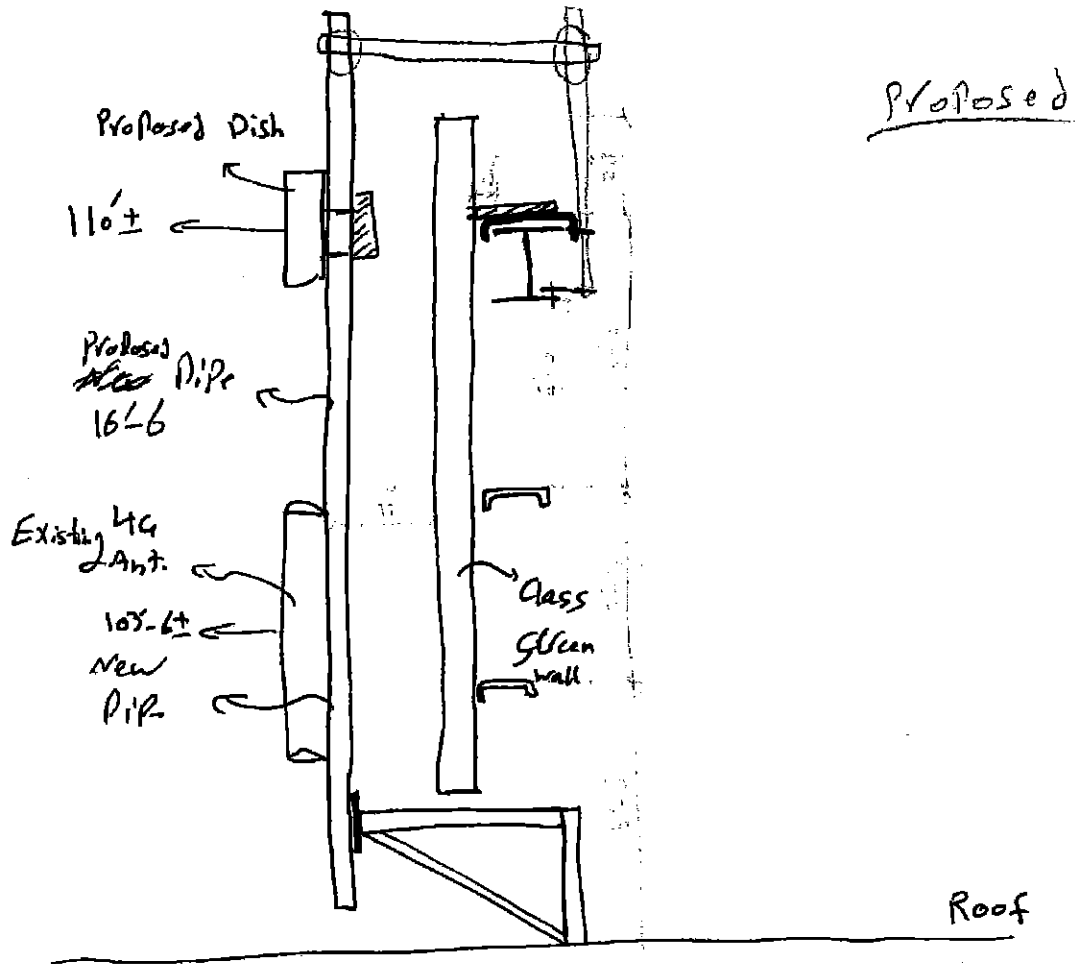
need 16-6 ± pipe

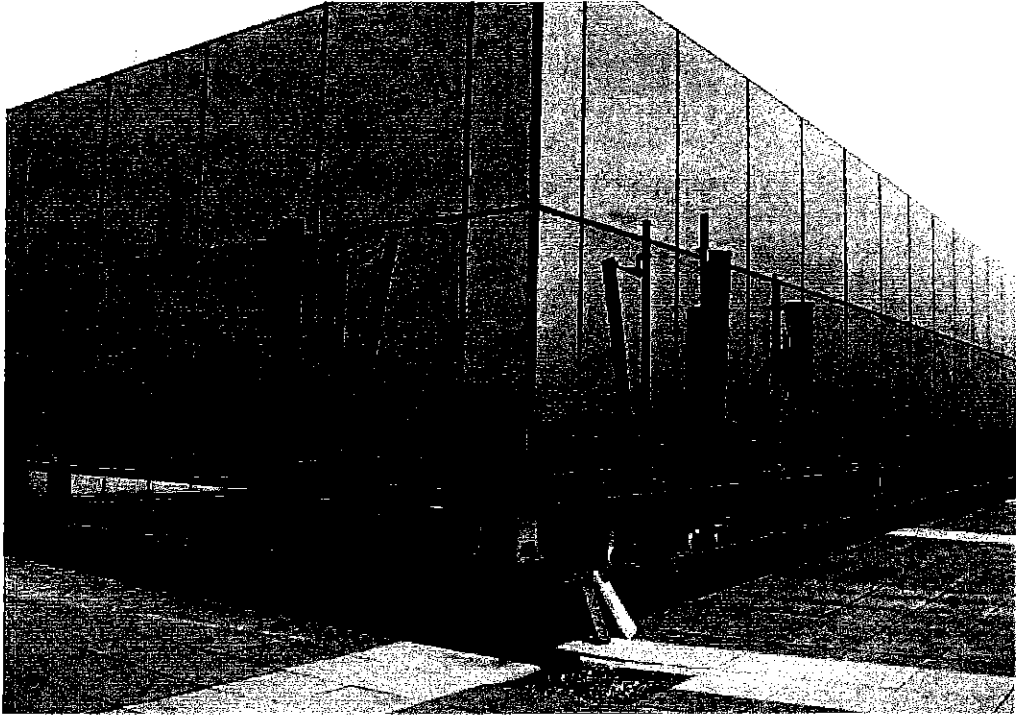


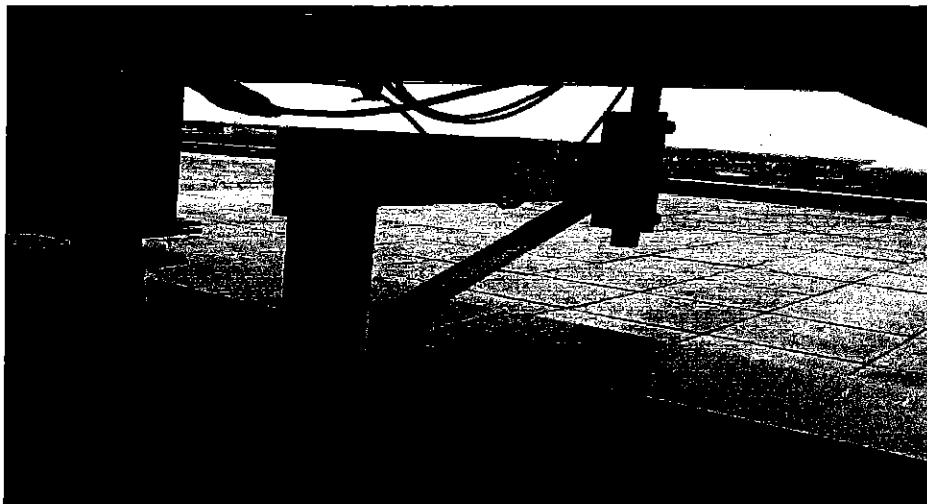
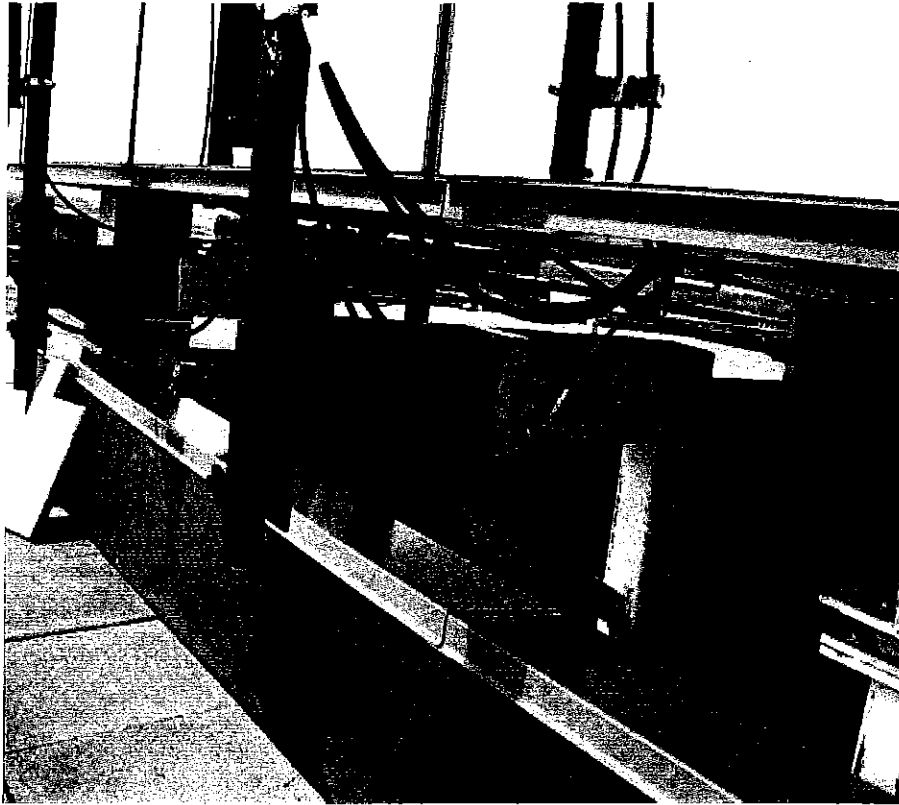


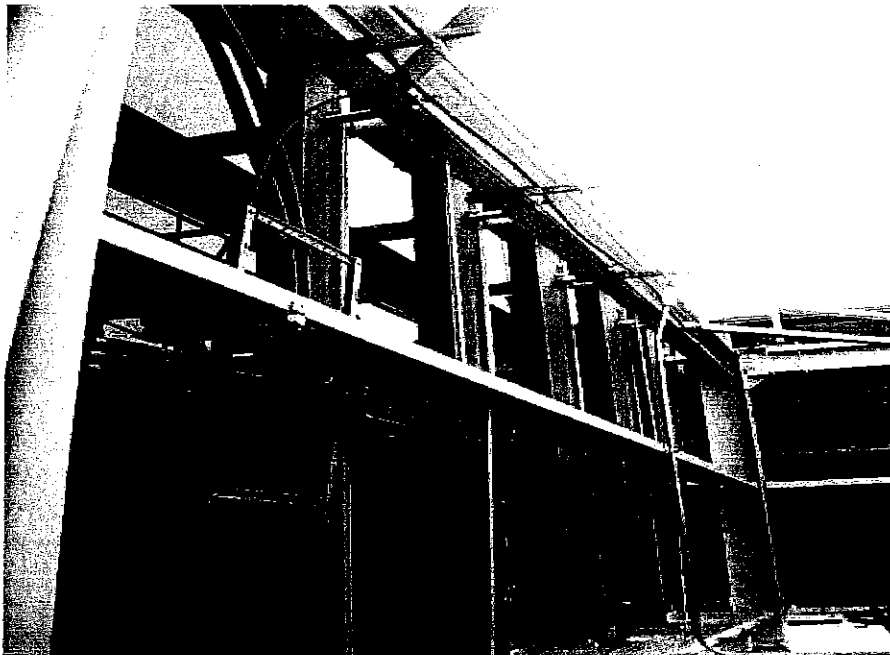
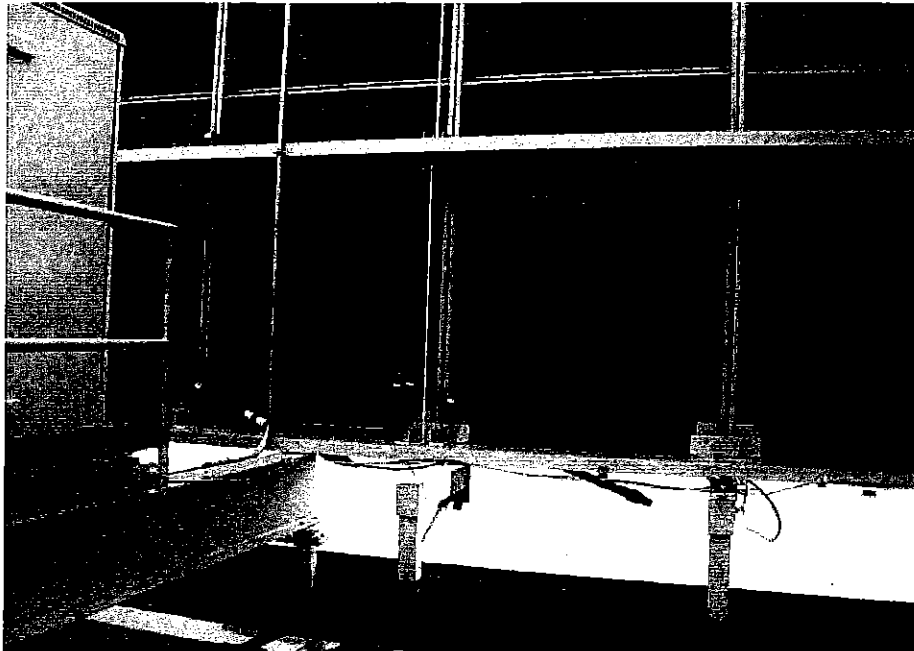


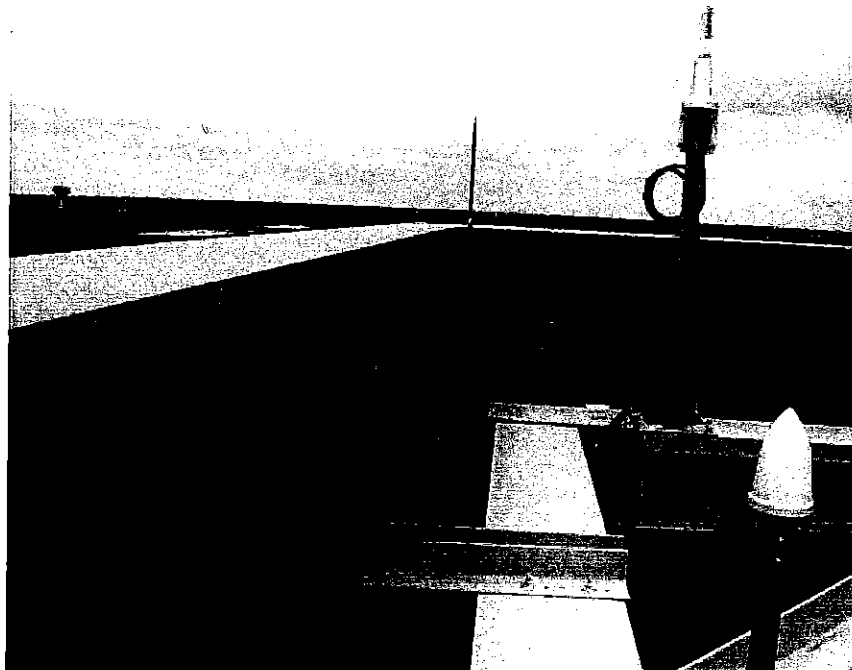
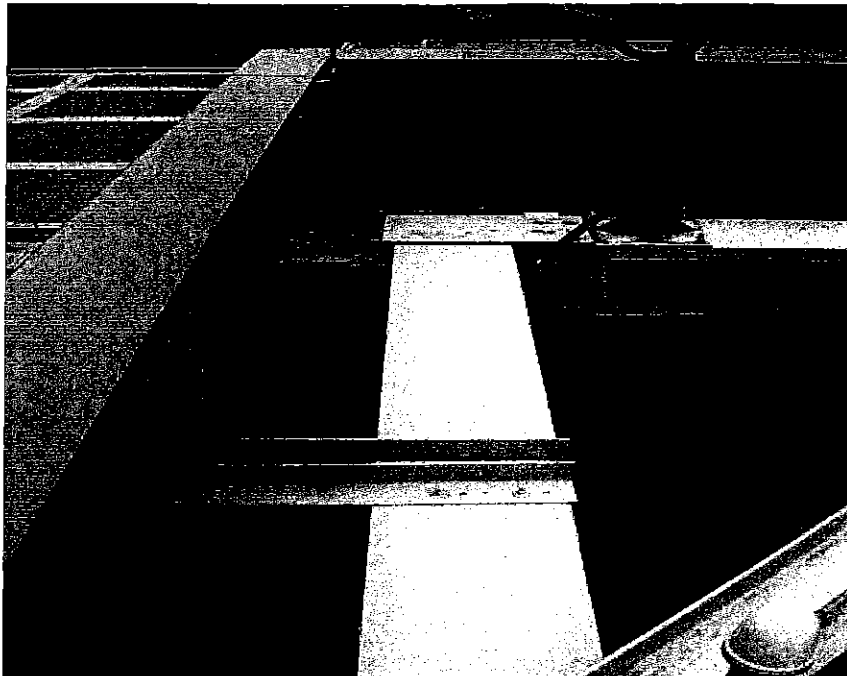
Sector-2 Flam

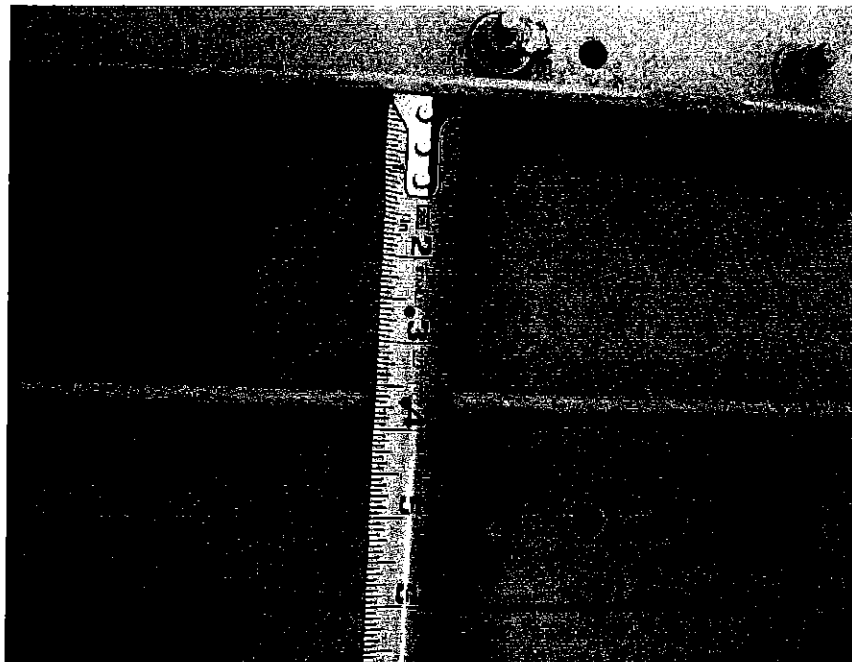
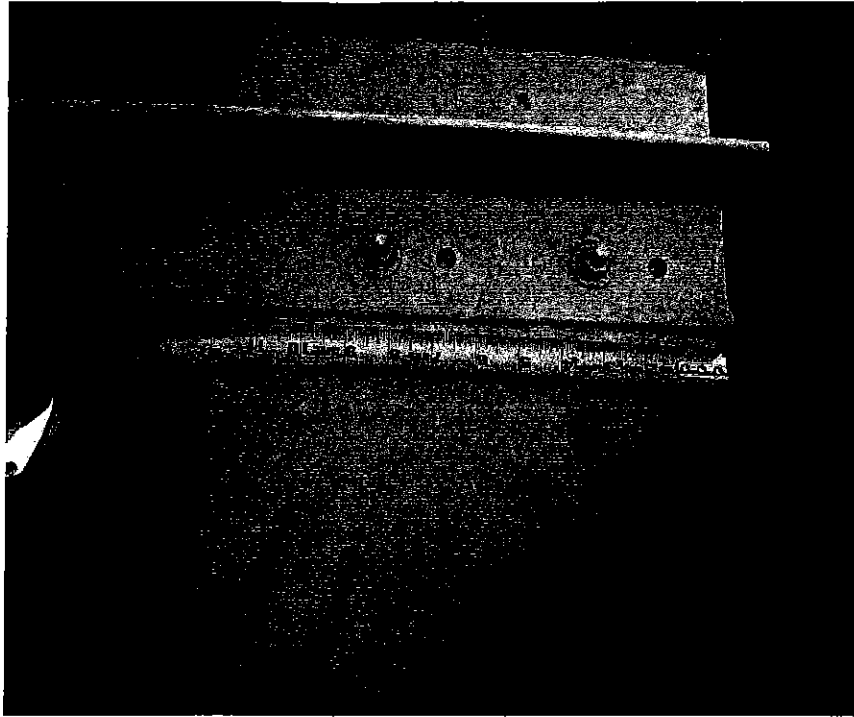




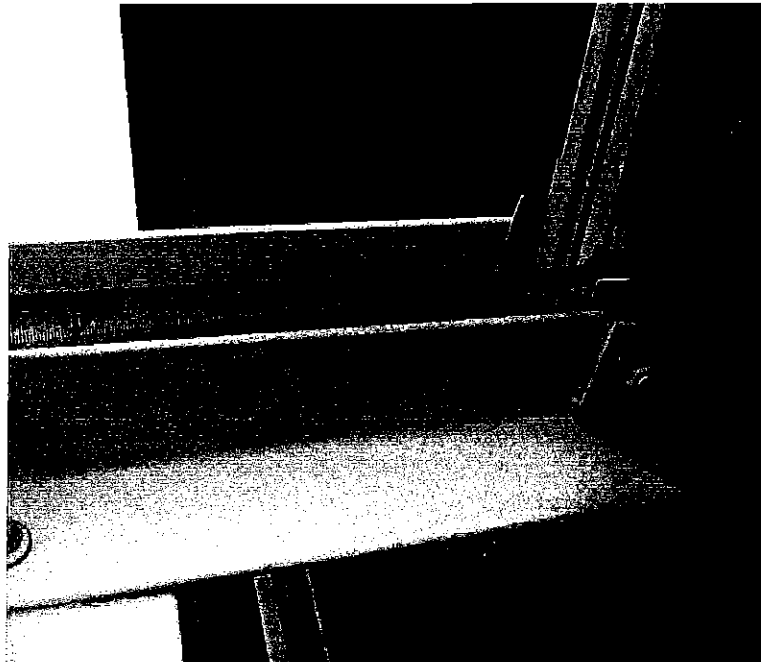
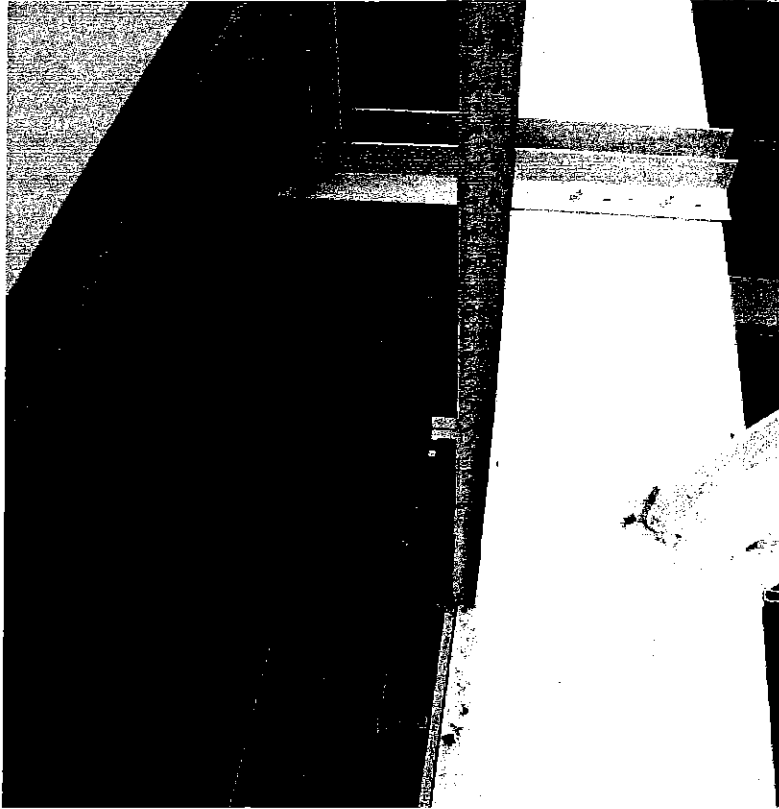




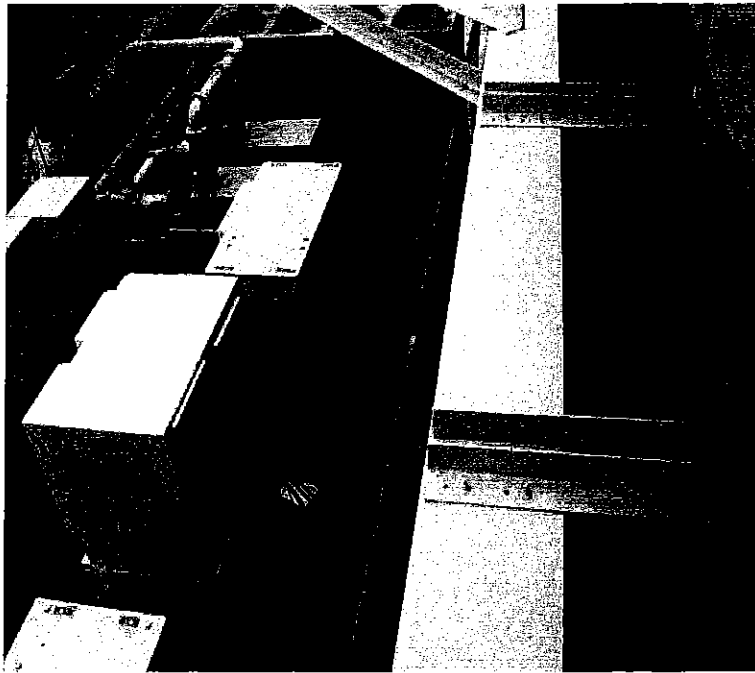


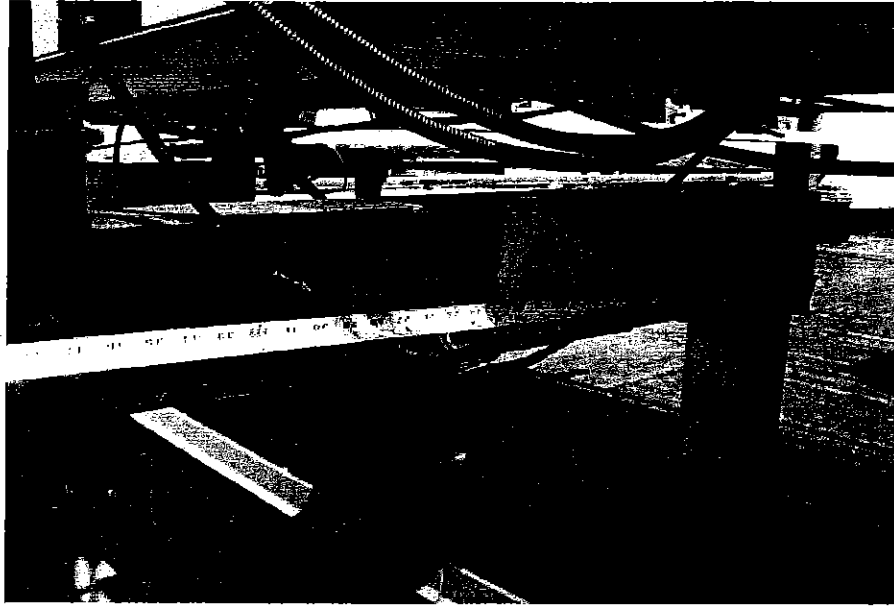


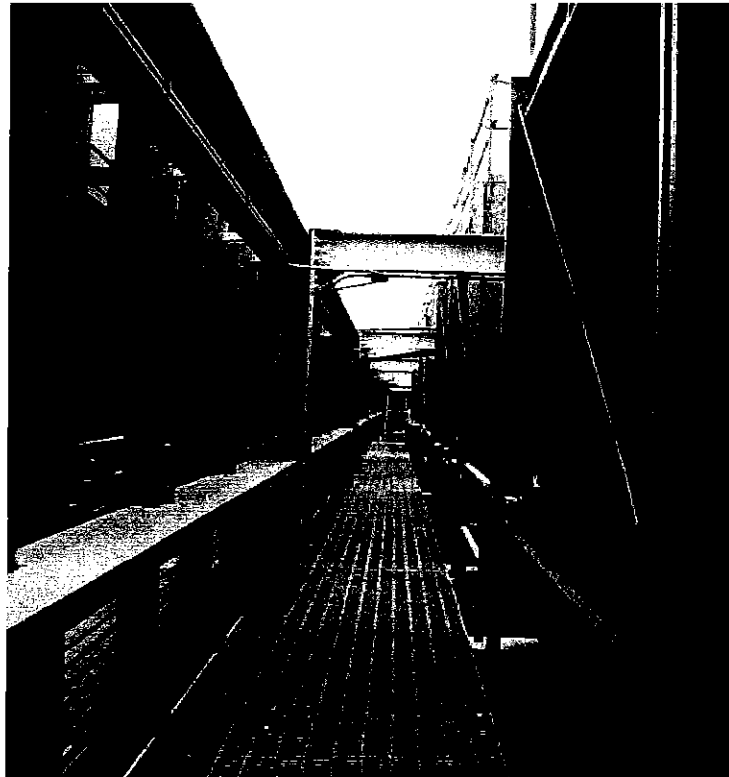
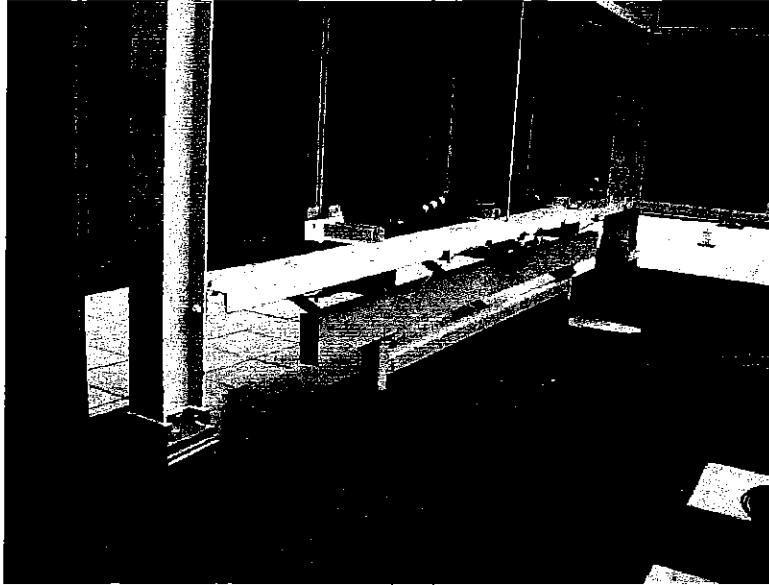












# FULLERTON ENGINEERING CONSULTANTS, INC

## *Engineering • Planning • Consulting*

9700 W. Higgins Rd., Ste. 800, Rosemont, Illinois 60018

Phone (847) 292-0200 Fax (847) 292-0205

June 19, 2009

Mr. Thomas Kearney  
Clear Wireless LLC  
5600 N. River Road  
Rosemont, IL 60018

Re: **New backhaul dish installation**  
Site Number: IL-CHI5474  
Site Name: Sears Headquarters  
Site Address: 3333 Beverly Road  
Hoffman Estates, IL 60192

Dear Mr. Kearney:

Per your request, we have reviewed the adequacy of existing structures that will support the new backhaul dish installation. The purpose was to determine conformance of the new backhaul dish and existing WiMAX/4G antenna installation under the governing International Building Code (2003 Edition) and the industry standard TIA/EIA-222-F 1996 (Structural Standards for Steel Antenna Towers and Antenna Supporting Structures).

The new backhaul dishes will be installed above the existing WiMAX/4G antennas as follows:

### **Dish 1 (Az.: 99.0550 deg.)**

Location:	Southeast side of penthouse
Mount type:	Mounted on an existing steel mounting frame
New dish elevation:	107.5 ft.
New dish data:	(1) Andrew VHLP2-18 (24" diameter)
Existing antenna data:	(1) KMW HB-X-WM-17-65-00T (48" L x 7.32" diameter)
Proposed installation:	Remove existing pipe and replace with a new 10'-0" L x 3" diameter Sch. 40 mounting pipe

### **Dish 2 (Az.: 240.9483 deg.)**

Location:	Southwest side of penthouse
Mount type:	Mounted on an existing steel mounting frame
New dish elevation:	107.5 ft.
New dish data:	(1) Andrew VHLP2-23 (24" diameter)
Existing antenna data:	(1) KMW HB-X-WM-17-65-00T (48" L x 7.32" diameter)
Proposed installation:	Remove existing pipe and replace with a new 10'-0" L x 3" diameter Sch. 40 mounting pipe

Site Number: IL-CHI5474  
Site Name: Sears Headquarters  
Date: June 19, 2009

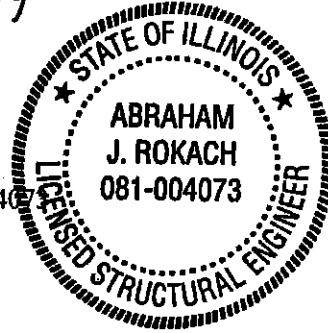
The existing structures and proposed modifications to the antenna/dish support are adequate and in conformance with the applicable codes.

Very truly yours,

6/19/09



Abraham J. Rokach, S.E.  
Illinois SE License No. 081-004073  
Expires 11/30/2010





# HOFFMAN ESTATES

GROWING TO GREATNESS

July 8, 2010

To All Interested Parties:

Please be advised the Zoning Board of Appeals of the Village of Hoffman Estates will conduct a public hearing at the request of Sears, Roebuck and Co. (Owner) and Insite RE, Inc., as agent for Clear Wireless LLC/Sprint to consider a special use and height variation from the Zoning Code to permit the installation of communication antennas and accompanying equipment on the property located at 3333 Beverly Road.

The hearing will be held in the Municipal Building, 1900 Hassell Road, Hoffman Estates, Illinois, **Tuesday, July 20, 2010 at 7:30 p.m.**

A map designating the subject site is included on the back of this letter. Appropriate time will be available for questions/comments from interested parties. Should you wish any additional information, please feel free to contact the Planning Division at 847/781-2660. Material is available at the office for review.

Should it become necessary to continue this hearing to an additional date, it will be announced at the conclusion of testimony at the hearings. No further notification of this review will be sent.

Sincerely,

Josh Edwards, Assistant Planner  
Department of Development Services

JE/pm

1900 Hassell Road  
Hoffman Estates, Illinois 60169  
[www.hoffmanestates.org](http://www.hoffmanestates.org)

Phone: 847-882-9100  
Fax: 847-843-4822

William D. McLeod  
MAYOR

Raymond M. Kincaid  
TRUSTEE

Gary J. Pilafas  
TRUSTEE

Karen V. Mills  
TRUSTEE

Jacquelyn Green  
TRUSTEE

Bev Romanoff  
VILLAGE CLERK

Cary J. Collins  
TRUSTEE

Anna Newell  
TRUSTEE

James H. Norris  
VILLAGE MANAGER



Higgins Road

SEARS PARKWAY



SUBJECT SITE



Sears Roebuck and Co.

Elm Building

SEARS PARKWAY

BEVERLY ROAD

TRILLIUM BLV

5601

5011

GE Commercial Finance

NIU

5407

Park Center

AT&T

Pace Engineer

Two Park Center

Village Green

5550

Sears

7

5570

2850

5401

5399

2777

2675

2650

2650

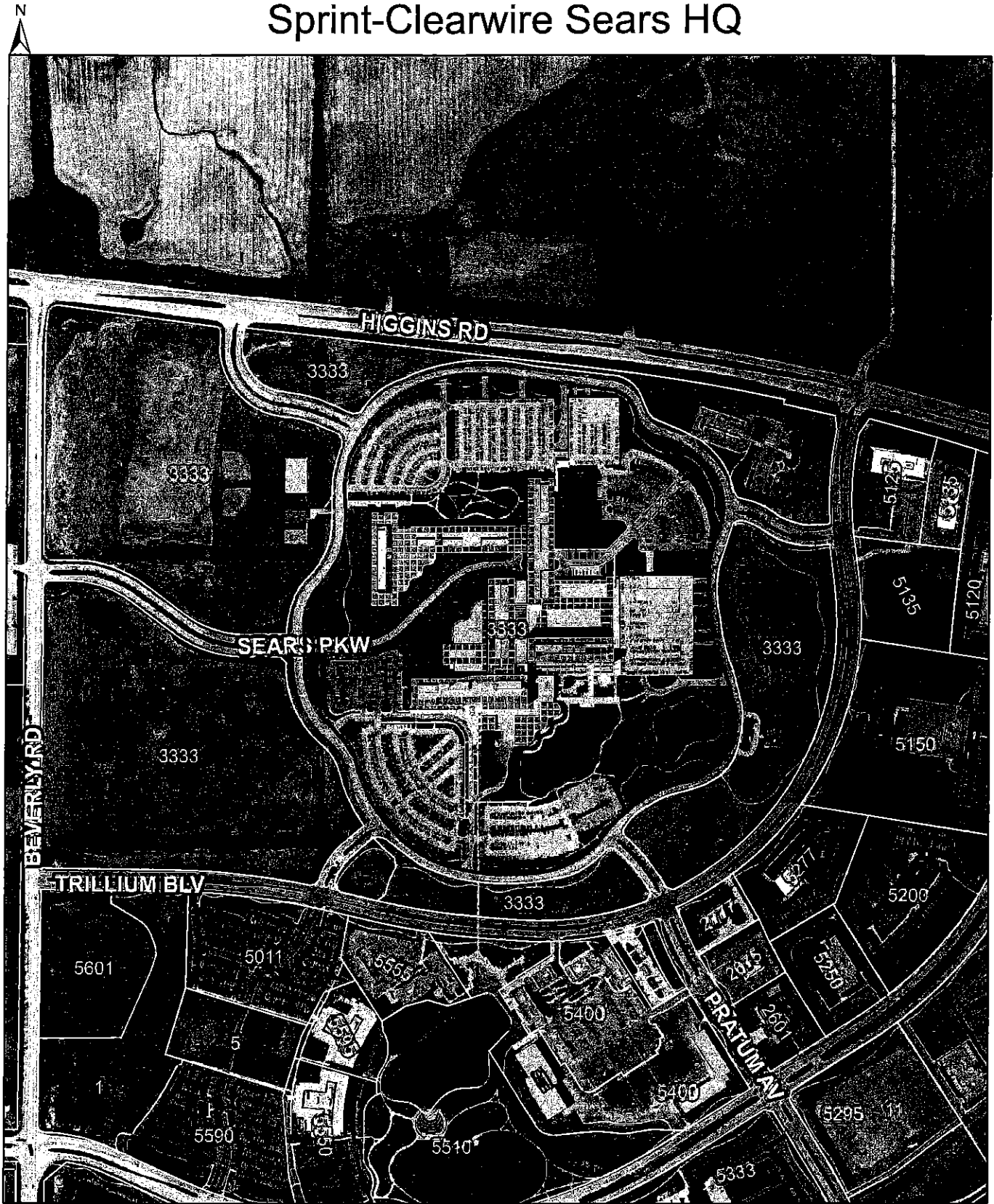
Ch

F

F

SEARS PARKWAY

# Sprint-Clearwire Sears HQ



1 inch = 600 feet

Planning Division  
Village of Hoffman Estates  
August 2009

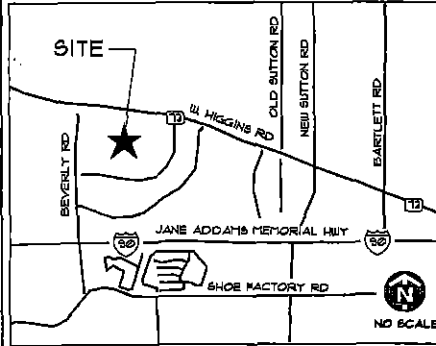
**SHEET INDEX**

NO.	DESCRIPTION
T-1	TITLE SHEET
C-1	SITE PLAN
C-2	ENLARGED ROOF PLAN
C-3	PLATFORM/ANTENNA PLAN
C-4	SITE ELEVATION
C-5	SITE DETAILS
E-1	SINGLE LINE NOTES

**DRIVING DIRECTIONS**

DEPART FROM CLEARWIRE OFFICE:  
 9801 W. HIGGINS RD., ROSEMONT, IL 62018  
 DEPART ON ON SR-12 (W. HIGGINS RD.) (WEST). TURN RIGHT ONTO RAMP (TOLL ROAD). MERGE ONTO I-55 (NORTHWEST TOLLWAY). TURN RIGHT ONTO RAMP. KEEP RIGHT TO STAY ON RAMP. TURN RIGHT (NORTH) ONTO BEVERLY RD. ARRIVE 3333 BEVERLY RD, SCHLAUBURG, IL 62019

**VICINITY MAP**



# clear w'reless LLC<sup>®</sup>

a Nevada limited liability company, a Sprint affiliate

SITE NAME

**SEARS HEADQUARTERS**

SITE NUMBER

**IL-CHI5474**

SITE ADDRESS

**3333 BEVERLY ROAD  
 HOFFMAN ESTATES, IL 60192**

PROJECT TYPE

**BACKHAUL PROJECT**

PROJECT TEAM

**clear w'reless LLC<sup>®</sup>**  
 a Nevada limited liability company,  
 a Sprint affiliate  
 9801 W. HIGGINS RD.  
 SUITE 1502  
 ROSEMONT, IL 62018  
 TEL: (847) 292-9957  
 FAX: (847) 292-9958  
**APPLICANT**

**EVEREST GROUP**  
 THE EVEREST GROUP, LLC  
 1215 W. 11TH ST.  
 WORTH, IL 60482  
 TEL: (708) 923-1963  
**REAL ESTATE**

**FEC**  
 Fulleren Engineering Consultants  
 9100 W. HIGGINS RD.  
 SUITE 800  
 ROSEMONT, ILLINOIS 62018  
 TEL: 847-292-0200  
 FAX: 847-292-0209  
**ENGINEER/STRUCTURAL**

- HANDICAP ACCESS REQUIREMENTS ARE NOT REQUIRED
- FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION
- FACILITY HAS NO PLUMBING OR REFRIGERANTS
- THIS FACILITY SHALL MEET OR EXCEED ALL FAA AND FCC REGULATORY REQUIREMENTS
- ALL WORK MUST CONFORM TO CLEARWIRE "CLEARWIRE CONSTRUCTION INSTALLATION GUIDE - UMAX"

**SCOPE OF WORK:**

- NEW CLEARWIRE BACKHAUL DISH ANTENNAS INSTALLED ON EXISTING ROOFTOP.
- NEW CLEARWIRE BACKHAUL EQUIPMENT INSTALLED IN EXISTING CLEARWIRE UMAX/4G CABINETS.

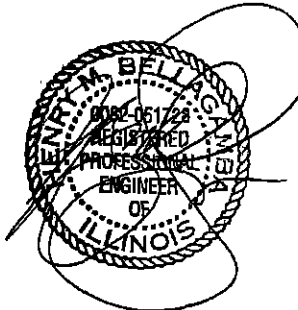
**PROJECT SUMMARY**

SITE NAME: SEARS HEADQUARTERS  
SITE NO.: IL-CHI5474  
SPRINT HOST NO.: CH13XC067  
SITE ADDRESS: 3333 BEVERLY ROAD  
 HOFFMAN ESTATES, IL 60192  
COUNTY: COOK  
LANDLORD ADDRESS: SEARS ROEBUCK  
 3333 BEVERLY ROAD  
 HOFFMAN ESTATES, IL 60192  
 (847) 648-2272  
SITE COORDINATES (FROM CLEARVISION):  
LATITUDE: N 42.27667° (NAD 83)  
LONGITUDE: W 88.218° (NAD 83)  
ZONING: -  
JURISDICTION: HOFFMAN ESTATES  
BUILDING CODE: INTERNATIONAL BUSINESS CODE  
 2003 EDITION  
ELECTRICAL CODE: NATIONAL ELECTRIC CODE  
 2005 EDITION

**ENGINEER'S LICENSE**

I CERTIFY THAT THESE DRAWING WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE, 2003 EDITION

LICENSED ENGINEER - STATE OF ILLINOIS



EXPIRES: 11/30/09  
 SIGNED: 8/21/09

**APPROVALS**

CLEARWIRE CONST.	DATE
CLEARWIRE RF	DATE
CLEARWIRE OPS	DATE
LANDLORD	DATE

**DRAWING SCALED TO 11"x17"**

**clear w'reless LLC<sup>®</sup>**  
 a Nevada limited liability company,  
 a Sprint affiliate  
 9801 W. HIGGINS RD.  
 SUITE 1502  
 ROSEMONT, IL 62018  
 TEL: (847) 292-9957  
 FAX: (847) 292-9958

**FEC**  
 Fulleren Engineering Consultants  
 9100 W. HIGGINS RD.  
 SUITE 800  
 ROSEMONT, ILLINOIS 62018  
 TEL: 847-292-0200  
 FAX: 847-292-0209  
 DESIGN FIRM NO. 184-022458

CHECKED BY:	JP	
APPROVED BY:	MS	
DATE	DESCRIPTION	INT.
08/20/09	DATE REVIEW	CC
08/20/09	FINAL	CC
08/20/09	REV. FINAL	CC

DATE BOKED: \_\_\_\_\_

SITE NAME  
**SEARS HEADQUARTERS**

SITE NO.  
**IL-CHI5474**

SITE ADDRESS  
**3333 BEVERLY ROAD  
 HOFFMAN ESTATES, IL 60192**

SHEET NAME  
**TITLE SHEET**

SHEET NUMBER  
**T-1**

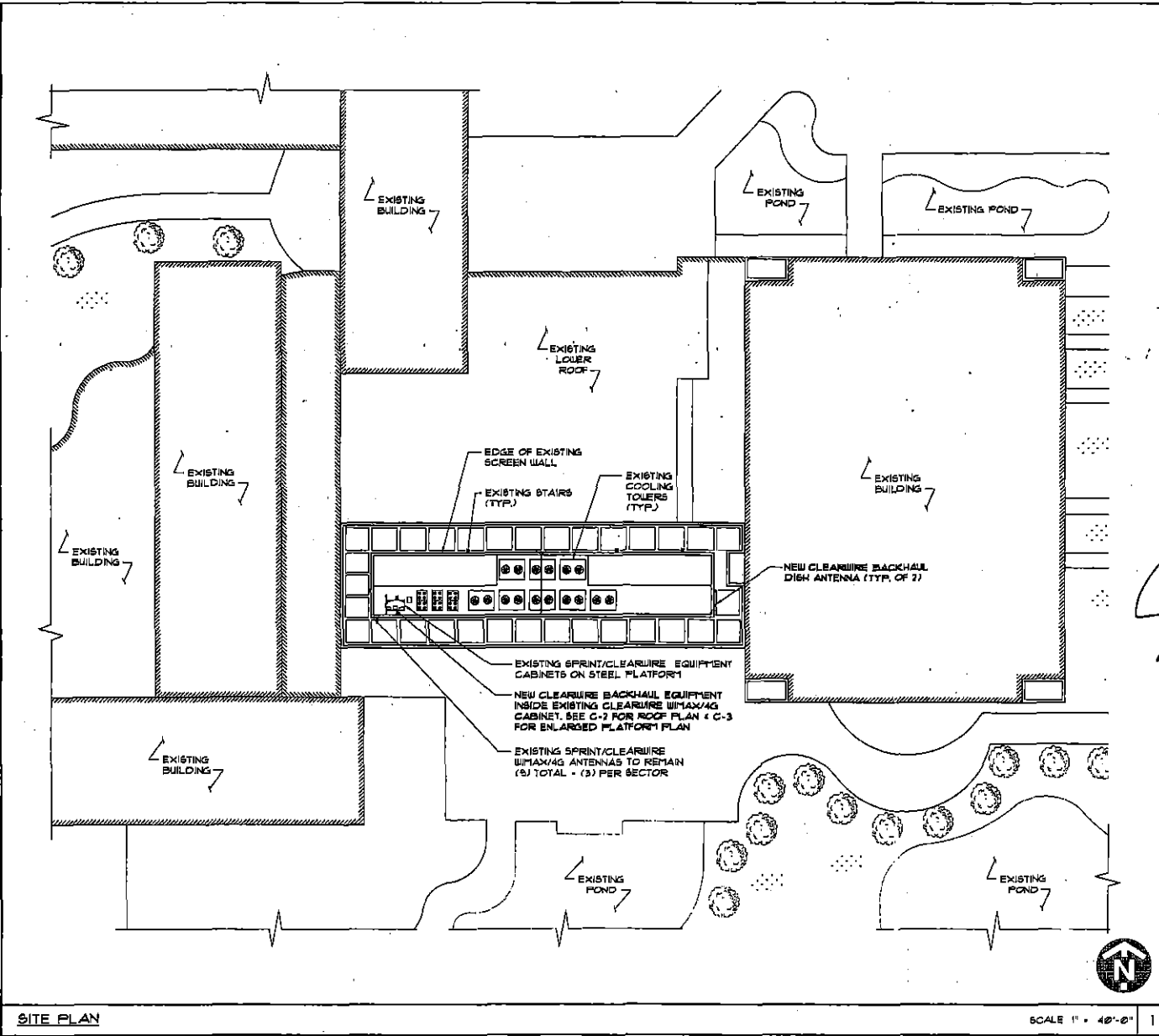
THIS DRAWING IS THE PROPERTY OF FULLEREN ENGINEERING CONSULTANTS, INC. IT IS FOR THE EXCLUSIVE USE OF THIS PROJECT. ANY REUSE OF THIS PROJECT, ANY REUSE OF THIS DRAWING WITHOUT THE EXPRESS WRITTEN CONSENT OF FULLEREN ENGINEERING CONSULTANTS, INC. IS PROHIBITED.

**ABBREVIATIONS**

- A/C AIR CONDITIONER
- AFB ABOVE FINISHED FLOOR
- AGL ABOVE GRADE LEVEL
- AMSL ABOVE MEAN SEA LEVEL
- APPROX APPROXIMATE
- AWG AMERICAN WIRE GAUGE
- BLDG BUILDING
- BTS BASE TRANSMISSION STATION
- CAB CABINET
- COL COLUMN
- CONC CONCRETE
- CND CONDUIT
- DAP DIVERSE ACCESS POINT
- DWG DRAWING
- FT FOOT (FEET)
- EGG EQUIPMENT GROUND BAR
- ELEC ELECTRICAL
- ELEV ELEVATION
- EMT ELECTRICAL METALLIC TUBING
- EQUIP EQUIPMENT
- EX EXISTING
- FD FOUNDATION
- GALV GALVANIZED
- GRD GROUND
- GPS GLOBAL POSITIONING SYSTEM
- IN INCH(ES)
- LB (LBS) POUND(S)
- MAX MAXIMUM
- MFR MANUFACTURER
- MGB MASTER GROUND BAR
- MIN MINIMUM
- NU NEW
- NEC NATIONAL ELECTRICAL CODE
- NOM NOMINAL
- NTS NOT TO SCALE
- OE/OT OVERHEAD ELECTRIC/TELECO
- POS POSITION
- RGS RIGID GALVANIZED STEEL
- SF SQUARE FOOT
- STL STEEL
- T & B TOP & BOTTOM
- T/ TOP
- TBD TO BE DETERMINED
- TYP TYPICAL
- UE/UT UNDERGROUND ELECTRIC/TELECO
- UNO UNLESS NOTED OTHERWISE
- VF VERIFY IN FIELD
- W/ WITH
- XFR TRANSFORMER

**SYMBOLS**

- +— CENTERLINE
- ▭ PLATE
- △ REVISION
- ⊕ WORK POINT
- ⊙ UTILITY POLE
- ▨ BRICK
- ▨ COMPRESSED STONE
- ▨ CONCRETE
- ▨ EARTH
- ▨ GRAVEL
- ▨ MASONRY
- ▨ STEEL
- +— CENTERLINE
- - - PROPERTY LINE
- - - LEASE LINE
- - - BASEMENT LINE
- x-x CHAIN LINK FENCE
- o-o WOOD FENCE
- ue- BELOW GRADE ELECTRIC
- ut- BELOW GRADE TELEPHONE
- oe/ot- OVERHEAD ELECTRIC/TELEPHONE
- L A SECTION REFERENCE



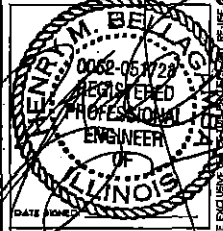
**SITE PLAN**

SCALE 1" = 40'-0" 1

**clear wireless LLC**  
 a Nevada limited liability company,  
 a Sprint affiliate  
 9801 W. HIGGINS RD.  
 SUITE 150  
 ROSEMONT, IL 60018  
 TEL: (847) 292-9209  
 FAX: (847) 292-9209  
 DESIGN FIRM NO. 184-0202458

**Fullerton Engineering Consultants**  
 9100 W. HIGGINS RD.  
 SUITE 600  
 ROSEMONT, ILLINOIS 60018  
 TEL: 847-292-0200  
 FAX: 847-292-0200  
 DESIGN FIRM NO. 184-0202458

CHECKED BY:	JP	
APPROVED BY:	MD	
DATE	DESCRIPTION	BY
05/02/09	SUB REVIEW	CB
05/29/09	FINAL	SC
06/11/09	REV. FINAL	SC



SITE NAME  
**SEARS HEADQUARTERS**

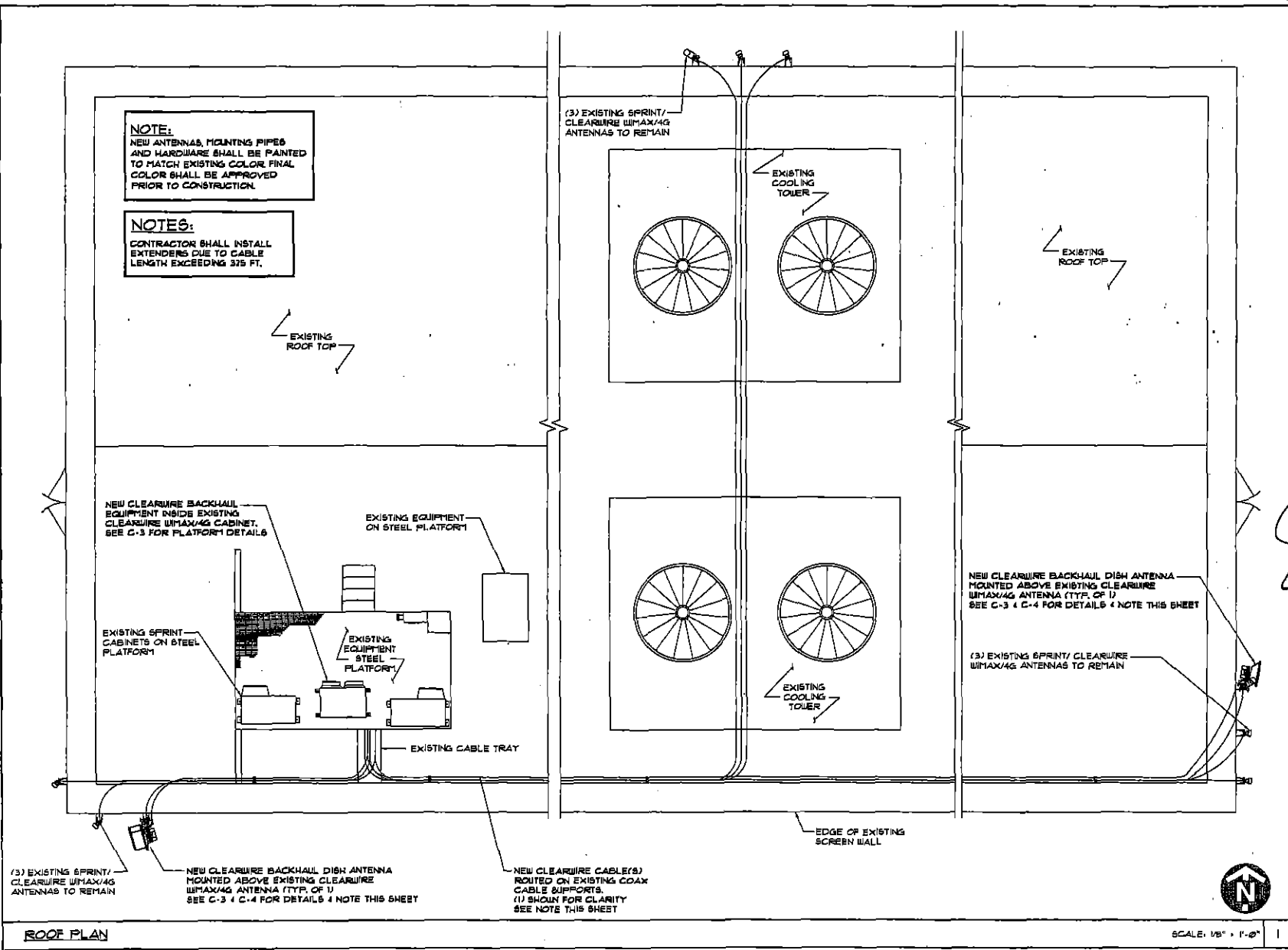
SITE NO.  
**IL-CHI5474**

SITE ADDRESS  
 3333 BEVERLY ROAD  
 HOFFMAN ESTATES, IL 60132

SHEET NAME  
**SITE PLAN**

SHEET NUMBER  
**C-1**

THIS DRAWING IS THE PROPERTY OF FULLERTON ENGINEERING CONSULTANTS, INC. IT IS FOR THE EXCLUSIVE USE OF THE CLIENT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN CONSENT OF FULLERTON ENGINEERING CONSULTANTS, INC. IT IS PROHIBITED.



ROOF PLAN

SCALE: 1/8" = 1'-0"

**clear wireless LLC**  
a Nevada limited liability company,  
a Sprint affiliate  
8801 W. HIGGINS RD.  
SUITE 100  
ROSEMONT, IL 60018  
TEL: (647) 793-9951  
FAX: (647) 793-9958

**FEI**  
Fullerton Engineering Consultants  
9100 W. HIGGINS RD.  
SUITE 800  
ROSEMONT, ILLINOIS 60018  
TEL: 647-793-0700  
FAX: 647-793-0200  
DESIGN FIRM NO. 184-007498

CHECKED BY:	JP	
APPROVED BY:	MB	
DATE	DESCRIPTION	INT.
02/07/09	S&B REVIEW	CB
05/26/09	FINAL	SG
08/21/09	REV. FINAL	SG

DATE ISSUED: \_\_\_\_\_

**SEARS HEADQUARTERS**

SITE NO.  
IL-CHI5474

SITE ADDRESS  
3333 BEVERLY ROAD  
HOFFMAN ESTATES, IL 60132

SHEET NAME  
ENLARGED ROOF PLAN

SHEET NUMBER  
C-2

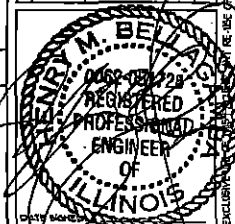
**Professional Engineer Seal:**  
M. BEAVER  
0062-04778  
REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS

THIS DRAWING IS THE PROPERTY OF FULLERTON ENGINEERING CONSULTANTS, INC. IT IS FOR THE EXCLUSIVE USE OF THE CLIENT. ANY REUSE OR REPRODUCTION OF THIS DRAWING WITHOUT THE EXPRESSED WRITTEN CONSENT OF FULLERTON ENGINEERING CONSULTANTS, INC. IS PROHIBITED.

**clear wireless LLC**  
 a Nevada limited liability company,  
 a Sprint affiliate  
 9801 W. HIGGINS RD.  
 SUITE 500  
 ROSEMONT, IL 60018  
 TEL: (641) 293-0200  
 TEL: (641) 293-0557  
 FAX: (641) 293-0558

**Fullerton Engineering Consultants**  
 3120 W. HIGGINS RD.  
 SUITE 200  
 ROSEMONT, ILLINOIS 60018  
 TEL: 641-293-0200  
 FAX: 641-293-0205  
 DESIGN FIRM NO. 184-007498

CHECKED BY:	JP	
APPROVED BY:	MB	
DATE	DESCRIPTION	INT.
05/07/09	30% REVIEW	CD
06/09/09	FINAL	EG
08/01/09	REV. FINAL	EG



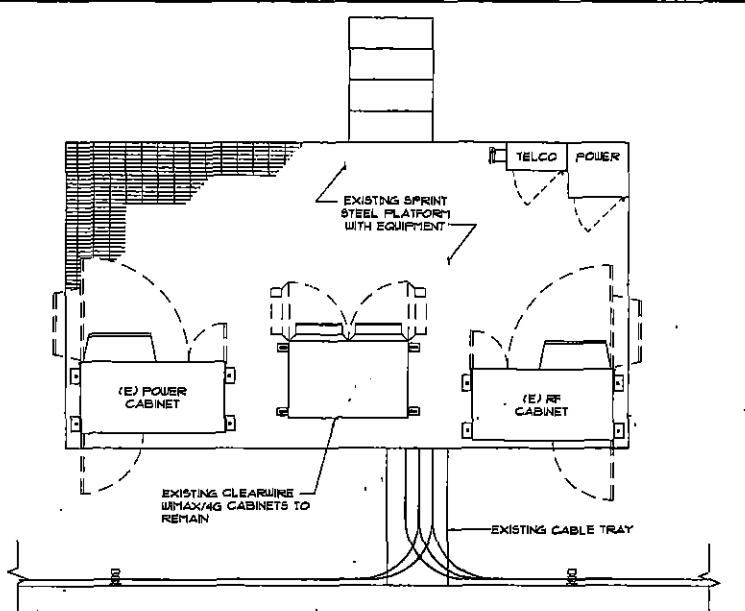
SITE NAME  
**SEARS HEADQUARTERS**

SITE NO  
**IL-CHI5474**

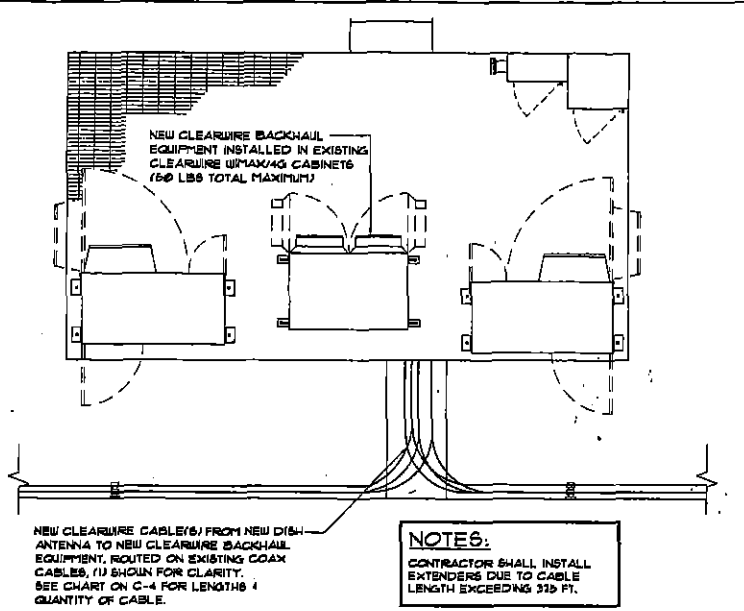
SITE ADDRESS  
**3333 BEVERLY ROAD  
MORRIS ESTATES, IL 60092**

SHEET NAME  
**PLATFORM/  
ANTENNA  
PLAN**

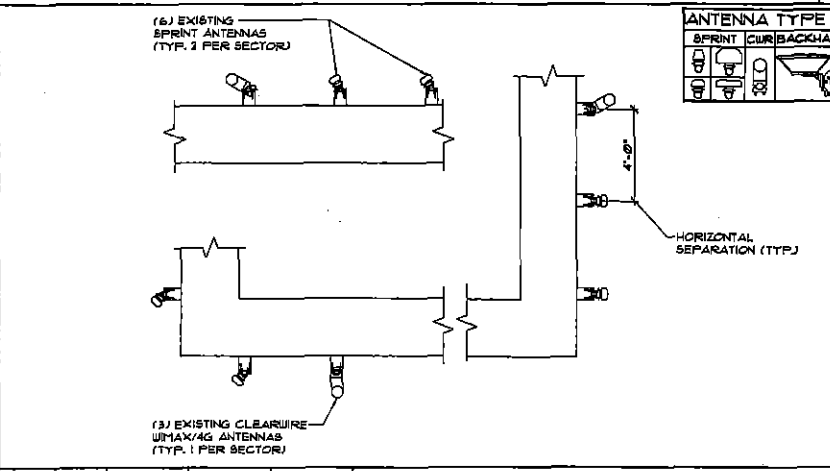
SHEET NUMBER  
**C-3**



**EXISTING PLATFORM PLAN** SCALE: 3/16" = 1'-0" 1

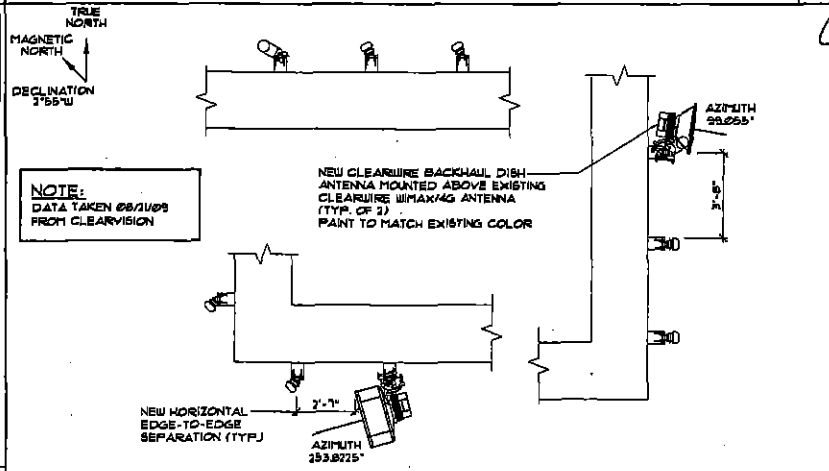


**NEW PLATFORM PLAN** SCALE: 3/16" = 1'-0" 2



SECTOR	1	2	3	NOTE:
CLEARWIRE AZIMUTH PER SPRINT 6TERRA - SEE NOTE	60°	150°	300°	CONTRACTOR IS REQUIRED TO DISMANTLE EXISTING CLEARWIRE ANTENNA FOR NEW MOUNTING PIPE INSTALLATION, CONTRACTOR SHALL FIELD VERIFY CLEARWIRE ANTENNA AZIMUTH & REPLACE TO EXISTING AZIMUTH.

**EXISTING ANTENNA CONFIGURATION/BACKHAUL SCHEDULE** SCALE: 3/16" = 1'-0" 3



ANTENNA AZIMUTH	ANTENNA MODEL	SIZE (INCH) (IN)	ANTENNA MOUNT HEIGHT (FT)	DISTANCE (MILES)	RECEIVING SITE NUMBER	RADIO MODEL
93.055°	VHL P2-1B	24	112	1.895	IL-CHI6053	AIRPAIR HP
253.0225°	VHL P2.5-1B	30	112	2.403	IL-CHI5293	AIRPAIR HP

**NEW ANTENNA CONFIGURATION/BACKHAUL SCHEDULE** SCALE: 3/16" = 1'-0" 4

THIS DRAWING IS THE PROPERTY OF FULLERTON ENGINEERING CONSULTANTS, INC. IT IS FOR THE EXCLUSIVE USE OF THIS CLIENT. ANY REUSE OR REPRODUCTION WITHOUT THE WRITTEN CONSENT OF FULLERTON ENGINEERING CONSULTANTS, INC. IS PROHIBITED.

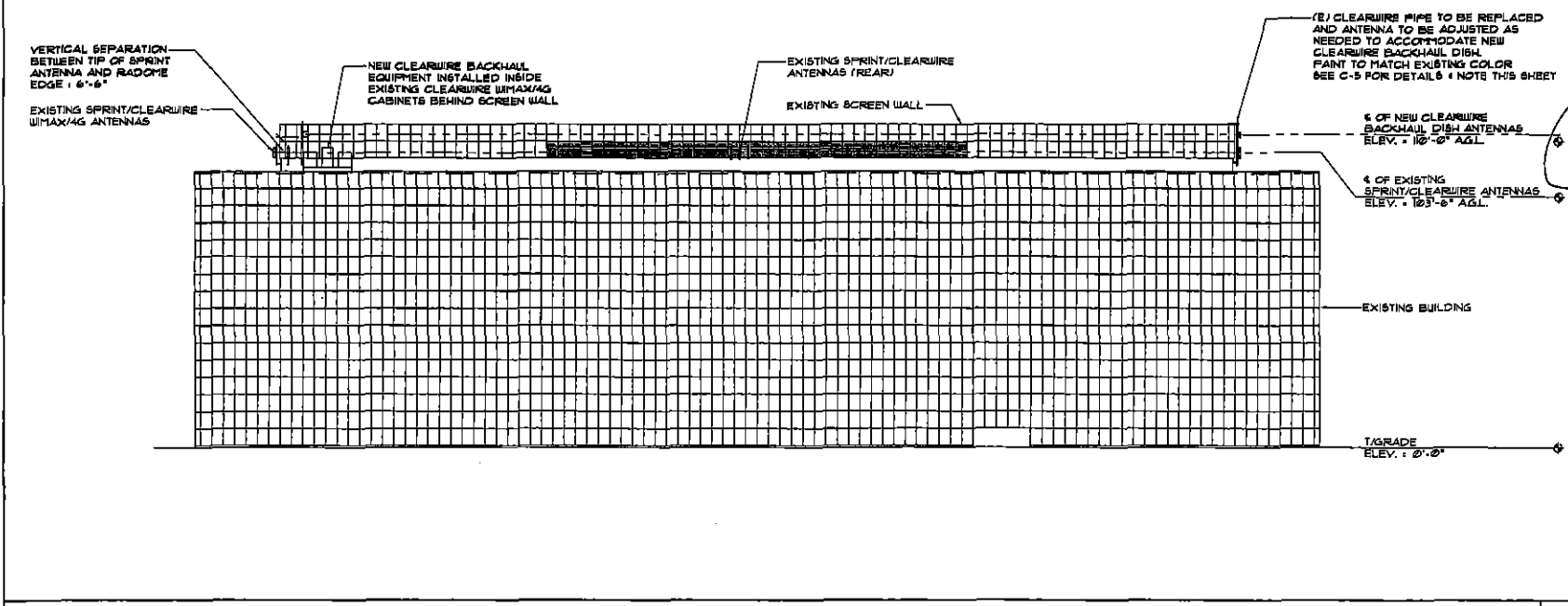
BACKHAUL CABLE SCHEDULE						
ANTENNA TYPE	AZIMUTH	QTY.	ESTIMATED LENGTH	RADIO MODEL	TYPE	SIZE
DISH	95.055°	1	380' FT.	AIRPAIR HP	SFX500	12" *
DISH	793.8225°	1	60' FT.	AIRPAIR	SFX300	12" *
TOTAL			440' FT.	0"	SFX500	12" *

**NOTES:**  
 1. ACTUAL LENGTHS SHALL BE DETERMINED PER SITE CONDITION BY THE CONTRACTOR  
 2. THE CONTRACTOR SHALL VERIFY THE ACTUAL LENGTHS BEFORE INSTALLATION.

- ANTENNA NOTES:**
1. THE SIZE, HEIGHT, AND DIRECTION OF THE ANTENNA SHALL BE ADJUSTED TO MEET SYSTEM REQUIREMENTS.
  2. CONTRACTOR SHALL VERIFY HEIGHT OF ANTENNA WITH CLEARWIRE REPRESENTATIVE.
  3. ALL ANTENNA AZIMUTH TO BE FROM TRUE NORTH.

**STRUCTURAL NOTES:**  
 STRUCTURAL CALCULATION PREPARED BY FULLERTON ENGINEERING CONSULTANTS. CONTRACTOR TO COORDINATE WITH CLEARWIRE REPRESENTATIVE TO OBTAIN A COPY.

**NOTE:**  
 NEW ANTENNAS, MOUNTING PIPES AND HARDWARE SHALL BE PAINTED TO MATCH EXISTING COLOR. FINAL COLOR SHALL BE APPROVED PRIOR TO CONSTRUCTION.



**clear wireless LLC**  
 a Nevada limited liability company,  
 a Sprint affiliate  
 9801 W. HIGGINS RD.  
 SUITE 150  
 ROSEMONT, IL 60018  
 TEL (847) 292-9951  
 FAX (847) 292-2958

**Fullerton Engineering Consultants**  
 9100 W. HIGGINS RD.  
 SUITE 800  
 ROSEMONT, ILLINOIS 60018  
 TEL: 847-737-0200  
 FAX: 847-292-0205  
 DESIGN FIRM NO. 184-002498

CHECKED BY:	JP		
APPROVED BY:	MB		
#	DATE	DESCRIPTION	INT.
	05/07/09	DPA REVIEW	CD
	05/07/09	FINAL	SO
	06/01/09	REV. FINAL	SO

**SEARS M. BEVERLY**  
 0062-05172  
 REGISTERED PROFESSIONAL ENGINEER  
 OF ILLINOIS  
 DATE MONDAY

SITE NAME  
**SEARS HEADQUARTERS**

SITE NO.  
**IL-CHI5474**

SITE ADDRESS  
**3333 BEVERLY ROAD  
HOFFMAN ESTATES, IL 60132**

SHEET NAME  
**SITE ELEVATION**

SHEET NUMBER  
**C-4**

ELEVATION


SCALE NTS |

THIS DRAWING IS THE PROPERTY OF FULLERTON ENGINEERING CONSULTANTS, INC. IT IS FOR THE EXCLUSIVE USE OF THE CLIENT AND NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF FULLERTON ENGINEERING CONSULTANTS, INC. IT IS PROHIBITED.

THIS DRAWING IS THE PROPERTY OF FULLERTON ENGINEERING CONSULTANTS, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF FULLERTON ENGINEERING CONSULTANTS, INC. IS PROHIBITED.

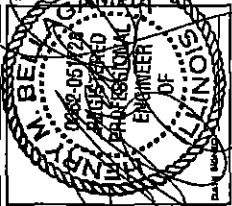
**clear**  
**wireless LLC**  
 a Nevada limited liability company,  
 a Sprint affiliate

9800 W. HICKS RD.  
 SUITE 150  
 ROSEMONT, IL 60018  
 TEL: (641) 231-3851  
 FAX: (641) 231-3855



**FEC**  
 Fullerton Engineering Consultants  
 9100 W. HICKS RD.  
 SUITE 200  
 ROSEMONT, IL 60018  
 TEL: (641) 231-2700  
 FAX: (641) 231-2705  
 DESIGN FIRM NO. 184-002498

REV	DATE	DESCRIPTION	BY	CHKD



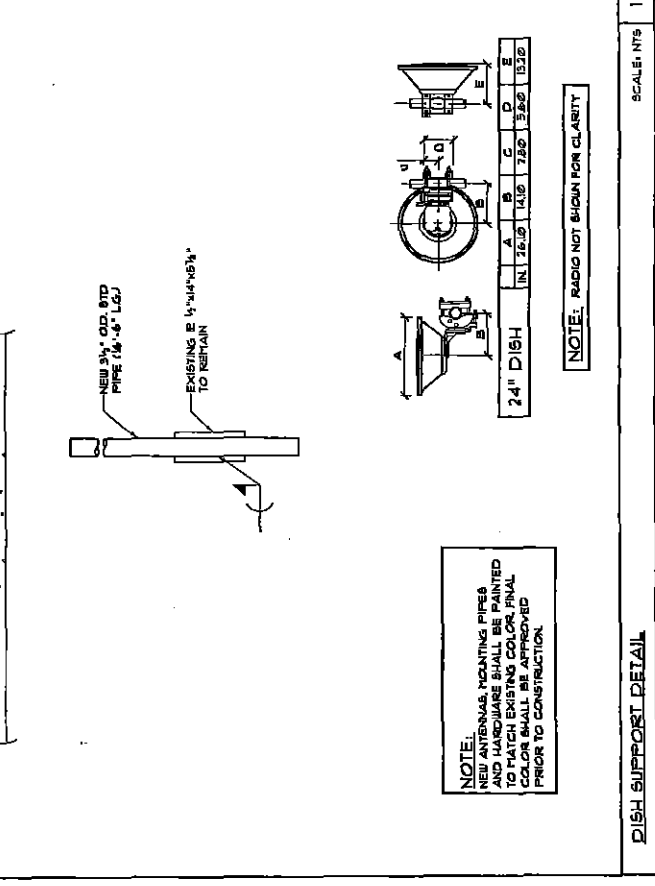
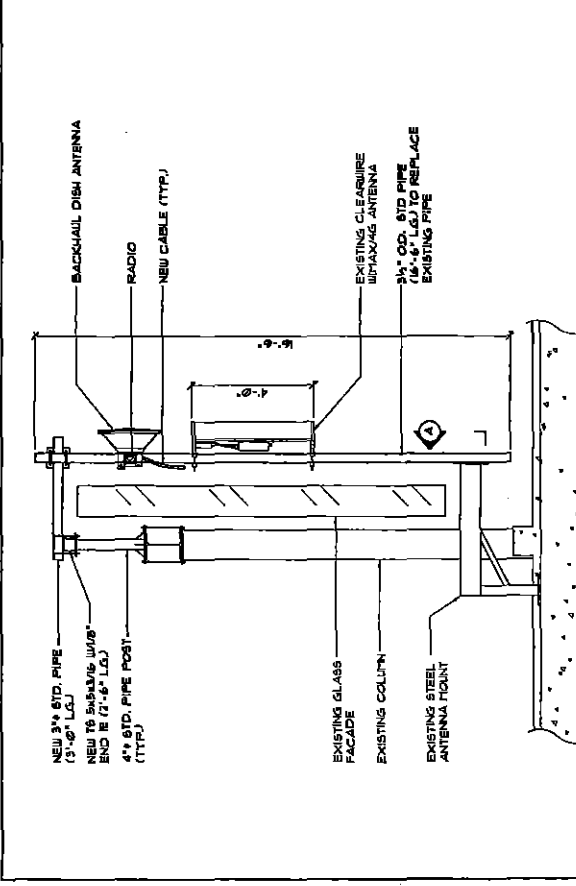
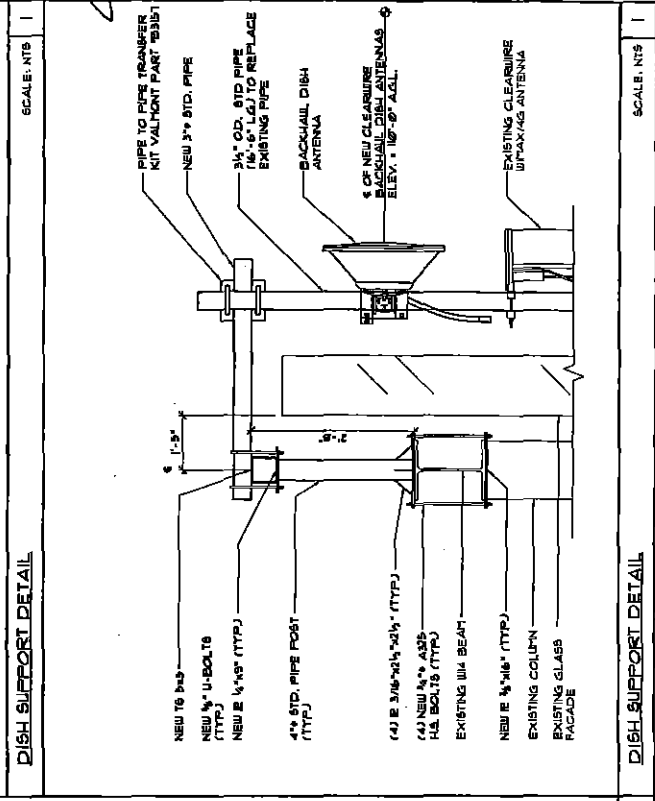
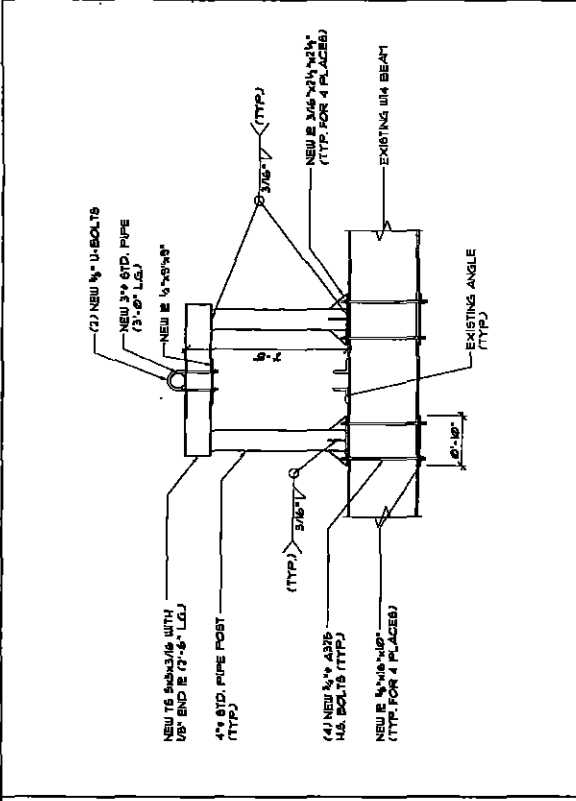
SITE NAME  
**SEARS HEADQUARTERS**

SITE NO.  
**IL-CHI5474**

SITE ADDRESS  
**3933 BEVERLY ROAD  
 NORTHARINGTON, IL 60062**

SHEET NAME  
**SITE DETAILS**

SHEET NUMBER  
**C-5**



**NOTE:**  
 NEW ANTENNAS MOUNTING PIPES AND HARDWARE SHALL BE PAINTED TO MATCH EXISTING COLOR. FINAL COLOR SHALL BE APPROVED PRIOR TO CONSTRUCTION.

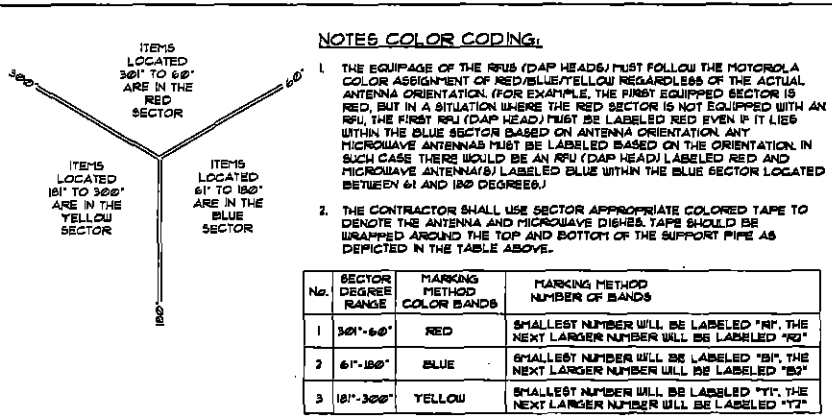
**NOTE:** RADIO NOT SHOWN FOR CLARITY

24" DISH	A	B	C	D	E
IN	16.0	14.0	7.0	3.0	13.0

**DISH SUPPORT DETAIL**

**DISH SUPPORT DETAIL**

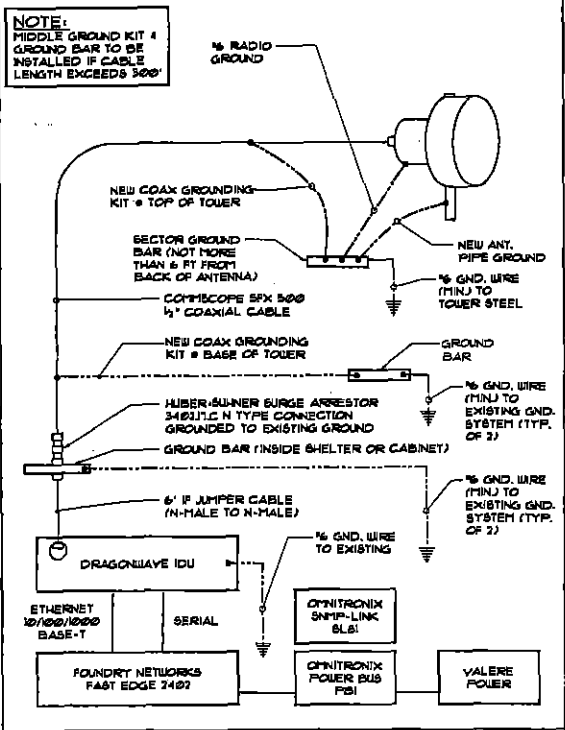




- ANTENNA INSTALLATION SHALL BE CONDUCTED BY FIELD CREWS EXPERIENCED IN THE ASSEMBLY AND ERECTION OF RADIO ANTENNAS, TRANSMISSION LINES, AND SUPPORT STRUCTURES.
- CONTRACT COMPANIES AND THEIR EMPLOYEES SHALL OBSERVE AND PRACTICE ALL OSHA SAFETY GUIDELINES WHILE PERFORMING SERVICE FOR CLEARWIRE.
- CONTRACT COMPANIES AND THEIR EMPLOYEES SHALL OBSERVE AND PRACTICE ALL OSHA SAFETY GUIDELINES WHILE PERFORMING SERVICE FOR CLEARWIRE.
- CONTRACTOR SHALL PERFORM A SAFETY INSPECTION PRIOR TO COMMENCING ALL WORK ACTIVITIES AT A CLEARWIRE, I-BASED OR OWNED SITE. CLEARWIRE SHOULD BE IMMEDIATELY NOTIFIED OF SAFETY HAZARD(S) FOUND DURING THE INSPECTION THAT COULD CAUSE DAMAGE TO PROPERTY. ALL WORK SHALL BE HALTED UNTIL SUCH TIME THE REPORTED SAFETY HAZARD IS CORRECTED. THE SAFETY HAZARD, IF POSSIBLE, SHOULD BE CORRECTED BY THE CONTRACTOR WHILE ON SITE. AFTER THE CONTRACTOR HAS NOTIFIED CLEARWIRE TO PERFORM THE CORRECTION.

**DISH COLOR CODING NOTES**

**ANTENNA INSTALLATION NOTES**



**AIRPAIR SINGLE LINE DIAGRAM**

- ALL BASE TRANSCEIVER SITE EQUIPMENT SHALL BE GROUNDED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC), LIGHTNING PROTECTION CODE (NFPA 780) AND CLEARWIRE STANDARDS.
- THE ELECTRICAL SERVICE TO THE SITE SHALL BE GROUNDED AT THE SERVICE DISCONNECTING MEANS AS REQUIRED IN ARTICLE 750 OF THE NATIONAL ELECTRICAL CODE AND IN ACCORDANCE WITH ANY LOCAL CODE.
- ALL UNDERGROUND (BELOW GRADE) GROUNDING CONNECTIONS SHALL BE MADE BY THE EXOTHERMIC PROCESS (MECHANICAL LUG ATTACHMENTS BELOW GRADE ARE NOT ACCEPTABLE). CONNECTIONS SHALL INCLUDE ALL CABLE TO CABLE SPLICES (TEES, Xs, ETC.) ALL CABLE CONNECTIONS TO GROUND RODS, GROUND ROD SPLICES, AND LIGHTNING PROTECTION SYSTEM AS INDICATED. ALL MATERIALS USED (TIG WELDING METAL TOOLS, ETC.) SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATION AND PROCEDURES.
- ALL GROUNDING AND BONDING CONDUCTORS THAT ARE CONNECTED ABOVE GRADE OR INTERIOR TO A BUILDING SHALL BE CONNECTED USING TWO HOLE CRIMP TYPE (COMPRESSION) CONNECTIONS FOR 1/2" AND 3/4" AWG INSULATED COPPER CONDUCTOR.
- ALL GROUNDING CONNECTIONS, INTERIOR AND EXTERIOR MADE THROUGHOUT THIS DOCUMENT SHALL BE MADE USING AN ANTI-OXIDATION COMPOUND. THE ANTI-OXIDATION COMPOUND MUST BE THOMAS AND BETTS KOPR-SHIELD (TM OF JET LUBE INC) OR APPROVED EQUAL. COAT ALL WIRES BEFORE CONNECTING.
- ALL CONNECTIONS SHALL BE MADE TO BARE METAL. ALL PAINTED SURFACES SHALL BE FIELD INSPECTED AND MODIFIED TO ENSURE PROPER CONTACT. PRIOR TO EXOTHERMICALLY CONNECTING, GALVANIZING SHALL BE REMOVED BY GRINDING SURFACE TO BARE METAL. "SLAG" FROM EXOTHERMIC CONNECTION MUST BE REMOVED AND SHALL BE SPRAYED WITH COLD GALVANIZE AFTER COMPLETION.
- FERROUS METAL CLIPS WHICH COMPLETELY SURROUND THE GROUNDING CONDUCTOR SHALL NOT BE USED. CLIPS OF THE FOLLOWING MATERIALS AND TYPES MAY BE USED TO SUPPORT GROUNDING CONDUCTORS.
  - PLASTIC CLIPS
  - STAINLESS STEEL CLIPS WHICH DO NOT COMPLETELY SURROUND THE GROUNDING CONDUCTOR.
  - FERROUS METAL CLIPS WHICH DO NOT COMPLETELY SURROUND THE GROUNDING CONDUCTOR.
- ALL HARDWARE, BOLTS, NUTS, WASHERS AND LOCK WASHERS SHALL BE 1/8" STAINLESS STEEL. EVERY CONNECTION SHALL BE BOLT-FLAT WASHER-BUSS-LUG-FLAT WASHER-LOCK WASHER-NUT IN THAT EXACT ORDER. WITH NUT FACING OUTWARD, BACK-TO-BACK LUGGING, BOLT-FLAT WASHER-LUG-FLAT WASHER-LUG-BUSS-LUG-FLAT WASHER-LOCK WASHER-NUT, IN THAT EXACT ORDER IS ACCEPTED WHERE NECESSARY TO CONNECT MANY LUGS TO A BUSS BAR. STACKING OF LUGS, BUSS-LUG-LUG, IS NOT ACCEPTABLE.

**GROUNDING NOTES**

**clear wireless LLC**  
 a Nevada limited liability company, a Sprint affiliate  
 5801 W. HIGGINS RD. SUITE 500  
 ROSEMONT, IL 60018  
 TEL: (847) 297-9951  
 FAX: (847) 297-9958

**FEED**  
 Fallston Engineering Consultants  
 9700 W. HIGGINS RD. SUITE 500  
 ROSEMONT, ILLINOIS 60018  
 TEL: 847-297-0200  
 FAX: 847-297-0205  
 DESIGN FIRM NO. 184-027498

CHECKED BY:	JP		
APPROVED BY:	MB		
#	DATE	DESCRIPTION	INT.
	05/07/09	50% REVIEW	CB
	05/27/09	FINAL	BA
	06/27/09	REV. FINAL	BA



CLIENT NAME  
**SEARS HEADQUARTERS**

SITE NO  
**IL-CH15474**

SITE ADDRESS  
 3333 BEVERLY ROAD  
 HOFFMAN ESTATES, IL 60132

SHEET NAME  
**SINGLE LINE & NOTES**

SHEET NUMBER  
**E-1**

THIS DRAWING IS THE PROPERTY OF FALLSTON ENGINEERING CONSULTANTS, INC. IT IS FOR THE EXCLUSIVE USE OF THE CLIENT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

VILLAGE OF HOFFMAN ESTATES  
ZONING BOARD OF APPEALS

FINDING OF FACT

DATE OF PUBLIC HEARINGS: July 20, 2010

DATE OF PRESENTATION TO VILLAGE BOARD: August 2, 2010

PETITION: Hearing held at the request of Township High School District 211 (Owner) and FMHC as agent for Clearwire (Lessee) to consider a variation and special use under the Zoning Code to permit the installation of communication antennas and accompanying equipment on the property located at 1100 W. Higgins Road (Hoffman Estates High School).

DISTRICT IN WHICH PROPERTY IS LOCATED: R-3, One Family Residential

ZONING CODE SECTION(S) FOR VARIATION: 9-3-9-A

ZONING CODE SECTION(S) FOR SPECIAL USE: 9-3-9-A and 9-5-3-C-4

FINDING-OF-FACT: The ZBA found that the Standards for a Variation (9-1-15-C) and Standards for a Special Use (9-1-18-I) **were met.**

MOTION: Request to grant Township High School District 211 (Owner) and FMHC as agent for Clearwire (Lessee) at 1100 W. Higgins Road, *a special use under Section 9-3-9-A and Section 9-5-3-C-4 and a thirty four (34) foot height variation from Section 9-3-9-A to permit a maximum of eleven (11) cellular antennas and one (1) microwave dish antenna at ninety four (94) feet high and associated equipment on a light pole on the southwest corner of the football field.* The following conditions shall apply:

1. Ordinance No. 3955-2007 is hereby repealed and the new 2010 ordinance shall hereafter apply to the subject special use and height variations.
2. Per Zoning Code Section 9-1-18-L, should the operation of this cellular facility cease for a period of six (6) months, the antennas shall be removed.
3. No signs, cabinets, conduits, or other fixtures shall be installed on the exterior of the shelter beyond those shown on the approved building plans.

**The petitioner was agreeable to the above listed conditions.**

RECOMMENDATION: The Zoning Board of Appeals (ZBA) recommends **approval** of this request.

Josh Metzger of FMHC (agent for Clear Wireless, LLC) requested that the Zoning Board of Appeals allow Clear Wireless, LLC to remove two (2) antennas to be replaced by one (1)

microwave dish antenna (24" diameter) and one (1) cellular antenna and associated equipment on a stadium light pole at the Hoffman Estates High School athletic field at 1100 W. Higgins Road. The new dish antenna would be installed at 92 feet above grade. The new Clearwire equipment would be installed within the existing shelter. Electrical conduits would be run through existing underground conduit between the pole and shelter and would run through the interior of the light pole.

The Zoning Board had no questions.

AUDIENCE COMMENTS

None.

VOTE:

5 Ayes

0 Nay

2 Absent (Ali, Wilson)

ZONING BOARD OF APPEALS

Chairman William Weaver

Vice-Chairperson Denise Wilson

Michael Ciffone

Masoom Ali

Donna Boomgarden

Michael Gaeta

Gaurav Patel

**\* IMMEDIATE AUTHORIZATION TO APPLY FOR PERMITS IS REQUESTED \***

**THIS SPECIAL USE AND VARIATION WILL EXPIRE UNLESS  
ACTED UPON WITHIN ONE (1) YEAR OF VILLAGE BOARD APPROVAL**

FINDING OF FACT WRITTEN BY GAURAV PATEL

# VILLAGE OF HOFFMAN ESTATES

## Memo

**TO:** William Weaver, Zoning Board of Appeals Chairman  
**FROM:** Josh Edwards, Assistant Planner *JAE*  
**RE:** 1100 W. HIGGINS ROAD (HOFFMAN ESTATES HIGH SCHOOL)  
- SPECIAL USE & VARIATION - FMHC AS AGENT FOR CLEAR  
WIRELESS LLC AND TOWNSHIP HIGH SCHOOL DISTRICT 211  
- COMMUNICATION ANTENNAS & ASSOCIATED EQUIPMENT

**DATE:** July 15, 2010  
**HEARING DATE:** July 20, 2010

---

1. REQUEST SUMMARY

Request by FMHC as agent for Clear Wireless LLC and Township High School District 211 for a special use and variation to permit the replacement of existing antennas to include the addition of 1 microwave dish antenna and associated equipment on a stadium light pole at the Hoffman Estates High School athletic field at 1100 W. Higgins Road.

2. PETITIONER PROPOSAL

Clear Wireless, LLC (Clearwire or "Clear") is an affiliate of Clearwire Corporation, which is an affiliate of Sprint. Sprint is the majority owner of Clearwire, and Sprint will operate the wireless internet component of Clearwire's business.

The petitioner is proposing to replace 2 existing cellular antennas with 1 slightly larger and more powerful cellular antenna and to install 1 microwave dish antenna. The total number of antennas would remain at 12. The cellular antennas would remain centered at a height of 88 feet above grade (as previously approved), and the new dish antenna would be installed above them at 92 feet above grade. The proposed maximum height for the antennas is 94 feet above grade to the top of the antennas. The antennas are located on the southwestern athletic field light pole. The four field light poles were constructed by Sprint in 2001 with the intent to be used for antennas as well as athletic field illumination.

An existing 11 foot by 19 foot equipment shelter is located next to the light pole. The new Clearwire equipment would be installed within the existing shelter. Electrical conduits would be run through existing underground conduit between the pole and shelter and would run through the interior of the light pole.

**3. SITE CONDITIONS**

- a) The subject property is zoned R-3, One Family Residential.
- b) The properties to the north are zoned R-4, One Family Residential. The properties to the west are zoned B-2, Community Business District and R-4, One Family Residential. The properties to the south are zoned B-2, Community Business District and O-1, Office district. The properties to the east are single family homes and a church within the Village of Schaumburg.

**4. APPLICABLE REQUIREMENTS**

- a) Section 9-3-9 (p. CD9:58) states that a special use is required for antennas mounted over 45 feet to 60 feet. A height variation is required for an antenna to be higher than 60 feet.
- b) Section 9-5-3-C-4 (p. CD9:71) states that public utilities and services are a special use in the R-3 district.

**5. ADJACENT OWNERS COMMENTS**

Standard notification letters have been mailed with no written comments received at the time of this writing.

**6. VARIATION HISTORY**

*Subject Property*

- a) Ordinance 3054-1999 was granted to allow Southwestern Mobile Bell (Cellular One), to install two micro-cellular antennas on top of a 30-foot high parking light pole on the south side of the parking lot and associated equipment along Higgins Road.
- b) Ordinance 3316-2001 was granted to allow Sprint PCS to install 9 antennas, 90 feet high on the southwestern football field light pole and an equipment shelter.
- c) Ordinance 3555-2003 was granted to allow U.S. Cellular to install 9 antennas, 90 feet high on the southeastern football field light pole and an equipment shelter.

- d) Ordinance 3955-2007 was granted to allow Sprint to install 3 additional antennas for a total of 12 antennas, 90 feet high on the southwestern football field light pole with associated equipment housed inside the existing shelter.
- e) Ordinance 4050-2008 was granted to allow Cricket Communications to install 3 antennas, 104 feet high on the northeastern football field light pole and an equipment shelter.
- f) Ordinance 4141-2009 was granted to allow Verizon to install 12 antennas, 91 feet high on the northwestern football field light pole and an equipment shelter.

***Similar Property***

- g) Ordinance 3830-2006 - 700 Cougar Trail (Conant High School) - was granted to allow Nextel to install 12 antennas, 92 feet high on the northeastern football field light pole and an equipment shelter.
- h) Ordinance 4051-2008 - 700 Cougar Trail (Conant High School) - was granted to allow Cricket Communications to install 3 antennas, 104 feet high on the western football field light pole and an equipment shelter.
- i) DENIED - 2009 - 700 Cougar Trail (Conant High School) - A proposal to install Sprint-Clearwire dish antennas onto an existing Sprint antenna installation was denied.

**7. IMMEDIATE AUTHORIZATION TO APPLY FOR PERMIT**

The petitioner has requested immediate authorization to apply for permits.

**8. DEVELOPMENT SERVICES COMMENTS**

The proposal to upgrade and add one dish antenna to an existing light pole installation rather than erecting a separate antenna tower will minimize visual clutter. The height above grade and the relatively small size of the dish antenna (approximately 2 feet in diameter) will reduce its visibility from surrounding properties. The dish is smaller than standard cellular antennas. The visual change from the existing installation will be the addition of one dish a few feet above the existing antenna array.

The motion has been written for a consistent height of 94 feet above grade to allow flexibility. The motion is also specific to 11 panel style cellular antennas and 1 microwave dish style antenna. Future changes to this configuration would require a new special use and height variation review.

The rear yards of the neighboring residents include mature trees that help to screen their view to the athletic field and light poles, and this proposed installation is on the high school parking lot side of the athletic field. A chain link fence exists around the

perimeter of the athletic field facility. The equipment cabinets associated with the antenna installation will be housed entirely within an existing shelter.

The petitioner has provided a copy of a structural report documenting the structural integrity of the installation.

The original ordinance in 2001 was repealed through passage of the 2007 ordinance. This approval would repeal and override the 2007 ordinance. The conditions from the 2007 ordinance are repeated below, which have been standard conditions for this and other similar sites.

The Federal Telecommunications Act of 1996 expressly preempts local governments from regulating the placement, construction, or modification of personal wireless services on the basis of environmental or health concerns. Such concerns cannot be used as a basis of the decision whether to grant a special use.

## 9. MOTION

Should the Zoning Board find that the Standards for a Special Use and Standards for a Variation are met, the following motion is provided with conditions:

**A special use under Section 9-3-9-A and Section 9-5-3-C-4 and a thirty four(34) foot height variation from Section 9-3-9-A to permit a maximum of eleven (11) cellular antennas and one (1) microwave dish antenna at ninety four (94) feet high and associated equipment on a light pole on the southwest corner of the football field.**

*The following conditions shall be applied to the above motion:*

- 1. Ordinance No. 3955-2007 is hereby repealed and the new 2010 ordinance shall hereafter apply to the subject special use and height variations.*
- 2. Per Zoning Code Section 9-1-18-L, should the operation of this cellular facility cease for a period of six (6) months, the antennas shall be removed.*
- 3. No signs, cabinets, conduits, or other fixtures shall be installed on the exterior of the shelter beyond those shown on the approved building plans.*

cc: Corporation Counsel, D. O'Malley, D. Plass, R. Norton, Petitioner

VILLAGE OF HOFFMAN ESTATES  
ZONING BOARD OF APPEALS

APPLICATION FOR ANTENNA SPECIAL USE/HEIGHT VARIATION HEARING

FOR VILLAGE USE ONLY

Special Use Hearing Fee **\$400.00** Height Variation Required: Yes  No  Fee **\$400.00**  
Amount Paid 800.00 Date Paid 6/29/10 Received By J. EDWARDS  
Hearing Date: 7/20/10 Time: 7:30pm Legal Published 7/5/10  
Receipt Number 299282 Check No. 00215455 Zoning District R-3  
Complete application received on \_\_\_\_\_ by \_\_\_\_\_

**\*\* ONLY COMPLETE APPLICATIONS WILL BE ACCEPTED \*\***

ADDRESS OF SUBJECT PROPERTY: 1100  
1000 W. Higgins Rd

PROPERTY INDEX NUMBER (PIN): 07-09-300-008-0000

PLEASE PRINT OR TYPE

1. NAME OF PROPERTY OWNER(S) Township High School District 211  
*This must be the legal owner. Written owner authorization is required from the owner in order for a representative to proceed with process. An Economic Disclosure Statement (attached) must be filed by the Owner.*

E-Mail Address \_\_\_\_\_ Fax \_\_\_\_\_

Owner's Address 1750 S. Roselle Rd Phone 847-755-6650 (Steve East)  
City Palatine State IL Zip 60067

2. PERSON APPLYING IF OTHER THAN OWNER

Name Josh Metzger Company FMHC  
E-Mail Address jmetzger@fmhc.com Fax 773-693-0850  
Address 8600 W. Bryn Mawr Ave, Ste 600N Phone 773-380-3800 office  
612-229-2144 cell  
City Chicago State IL Zip 60631

3. CARRIER INFORMATION

Name of Carrier: Clearwire

New installation \_\_\_\_\_ Co-Location  (Check One)

Number of Existing Antennas: 12 Number of Proposed Antennas: 11 (total)

Type of Antenna(s): Backhaul Dish Height to Top of Antennas(s): 92 (proposed)  
90 (existing)



**4. OWNER'S RIGHT TO PROVIDE A COURT REPORTER**

A property owner may provide a court reporter for the hearing. It is required that the property owner specifically waive the right to provide a court reporter if the property owner chooses not to provide a court reporter. (Please check appropriate box)

I understand I have the right to provide a court reporter to transcribe the hearing.

I hereby advise that a court reporter will be provided.

I hereby waive the right to provide a court reporter.

**5. ACKNOWLEDGEMENT**

Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Plan Commission member or Chair, or any Zoning Board of Appeals member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village.

Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.

**6. OWNER AUTHORIZATION FOR VARIATION/SPECIAL USE HEARINGS**

I understand the requirement for the owner or an authorized representative to be present at the hearing with full authority to commit to requests, conditions and make decisions on behalf of the owner. If I am unable to attend the hearing I hereby authorize \_\_\_\_\_ to act on my behalf and advise that he/she has full authority to act as my/our representative.

**7. The Owner and Applicant**, by signing the Special Use/Variation Application, certifies to the correctness of the application and all submittals.

Owner's Signature See attached letter

Name (Please Print) \_\_\_\_\_

Applicant's Signature [Signature]

Name (Please Print) Josh Metzger

Date 06/29/2010

IL-CHI 5456

TOWNSHIP HIGH SCHOOL DISTRICT 211

1750 South Roselle Road Nancy N. Robb  
Palatine, Illinois 60067-7336 Superintendent  
Telephone (847) 755-6600  
Web Site www.d211.org

UNITED STATES DEPARTMENT OF EDUCATION  
BLUE RIBBON SCHOOLS OF EXCELLENCE  
James B. Conant High School  
William Fremd High School  
Hoffman Estates High School  
Palatine High School  
Schaumburg High School  
  
ALTERNATIVE SCHOOLS  
District 211 Academy-North  
District 211 Academy-South

June 29, 2010



Village of Hoffman Estates  
1900 Hassell Road  
Hoffman Estates, IL 60169

**RE: Sprint/Clearwire Special Use for telecommunications facility at 1100 W. Higgins Road, Hoffman Estates, IL 60169 & 700 E. Cougar Trail, Hoffman Estates, IL 60169**

Josh Metzger/Sprint Clearwire/FMHC Corporation, has authority to request Special Use and all necessary zoning permits on behalf of the Township High School District 211, for modification of the telecommunications facility at James B. Conant and Hoffman Estates High Schools.

Sincerely,

Steven M. East  
Director of Purchasing & Facilities  
Township High School District 211  
1750 S. Roselle Road  
Palatine, IL 60067

SME/cjc



FMHC Corporation  
8600 W. Bryn Mawr Ave.  
Suite 600N  
Chicago, IL 60631

www.fmhc.com  
phone 773 380 3800  
fax 773 693 0850

June 29, 2010

Village of Hoffman Estates - Zoning Board of Appeals  
1900 Hassell Road  
Hoffman Estates, IL 60169

To Whom It May Concern:

My name is Josh Metzger of FMHC (agent for Clear Wireless, LLC). Please accept this letter as application for Special Use and Height Variation for the collocation of a 14.6-inch microwave antenna on the existing monopole at Hoffman Estates High School Athletic Field. The purpose of the proposed antenna is to support the communication functionality of the existing antennas. Also proposed is the removal of two (2) antennas to be replaced by one (1) antenna, thus reducing the total number of antennas from twelve (12) to eleven (11).

Standards for a Special Use

1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

**The proposed microwave antenna and equipment comply with FCC regulations and will be firmly anchored to the monopole (as shown in the construction drawings) and, therefore, will not be a detriment to or endanger the public health, safety, morals, comfort or general welfare.**

2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;

**The proposed use will not affect the use and function of the lights and antenna equipment located on the existing pole. The proposed use will generate revenue for the school district.**

3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;

**The proposed use will not impede the development of surrounding property as the proposed microwave antenna will be collocated with existing antennas on the existing monopole and associated ground equipment will be placed within the existing shelter.**

4. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;

**Adequate infrastructure is available on site for the proposed use.**

5. That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets; and

**Direct vehicular access from Higgins Road to the subject site is provided by an access drive and bituminous parking area.**

6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Zoning Board of Appeals.

**The subject property is zoned R-3 (One-family Residential District). Antennas and Communication Towers are permitted as an Accessory Use in the R-3 zoning district. As part of this application we are requesting a Height Variation to collocate a 14.6-inch microwave antenna on the existing monopole.**

#### Standards for Variations

1. The Zoning Board of Appeals shall not recommend the variation of the regulations of the Code unless it shall first make a finding based upon the evidence presented to it in each specific case that:

- a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located;
- b. The plight of the owner is due to unique circumstances;
- c. The variation, if granted, will not alter the essential character of the locality.

**The proposed use will generate revenue for the school district. The proposed 14.6-inch microwave antenna will be collocated with existing antennas on the existing monopole and associated ground equipment will be placed within the existing shelter, therefore, the variation will not alter the essential character of the locality.**

2. For the purpose of implementing the above rules, the Board shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the applicant have been established by the evidence;

- a. The particular physical surroundings, shape of topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;

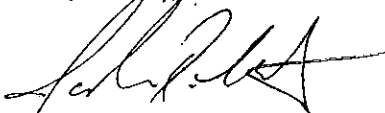
- b. The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning classification;
- c. The purpose of the variation is not based exclusively upon a desire to increase the value of the property;
- d. The alleged difficulty or hardship has not been based exclusively upon a desire to increase the value of property;
- e. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
- f. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood.

**Clear Wireless is an affiliate of Sprint and will be operating the wireless internet aspect of the business. Sprint already has an existing antenna facility at this location. However, the T-1 lines that service the facility do not provide the speed or capacity necessary for the site to deliver internet service that meets the expectations of its customers. Therefore, Clear Wireless proposes to improve internet service in the area by replacing the existing T-1 service with a microwave backhaul network. As shown in the propagation maps, the subject property was specifically selected to fill a gap in the internet coverage of the surrounding area; therefore, the purpose of the variation is not based exclusively upon a desire to increase the value of the property.**

**The proposed variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood, or impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood.**

Thank you for your time and consideration of our request. Please contact me if you have any question.

Respectfully,



**Josh Metzger**

FMHC Corporation  
8600 W Bryn Mawr Avenue  
Suite 600N  
Chicago, IL 60631  
773-380-3824  
773-693-0850 (fax)  
[jmetzer@fmhc.com](mailto:jmetzer@fmhc.com)

Date: March 20, 2009

Andrew Fandozzi  
Crown Castle USA Inc.  
2000 Corporate Drive  
Canonsburg, PA 15317



Crown Castle USA Inc.  
2000 Corporate Drive  
Canonsburg, PA  
724-416-2000

Subject: Structural Analysis Report

**Carrier Designation:** Clearwire Corp Co-Locate  
Carrier Site Number: IL-CHI5456  
Carrier Site Name: CROWN-F2-4812 ET HOFFMAN ESTAT

**Crown Castle Designation:** Crown Castle BU Number: 875447  
Crown Castle Site Name: F2- 4812 ET- HOFFMAN ESTATES H  
Crown Castle JDE Job Number: 116349  
Crown Castle Work Order Number: 260215

**Engineering Firm Designation:** Crown Castle USA Inc. Project Number: 260215

**Site Data:** 1000 W HIGGINS RD, HOFFMAN ESTATES, Cook County, IL  
Latitude 42° 3' 9.03", Longitude -88° 6' 20.67"  
88 Foot - Monopole Tower

Dear Andrew Fandozzi,

Crown Castle USA Inc. is pleased to submit this "Structural Analysis Report" to determine the structural integrity of the above mentioned tower. This analysis has been performed in accordance with the Crown Castle Structural 'Statement of Work' and the terms of Crown Castle Purchase Order Number 260183, in accordance with application 76471, revision 2.

The purpose of the analysis is to determine acceptability of the tower stress level. Based on our analysis we have determined the tower stress level for the structure and foundation, under the following load case, to be:

LC1: Existing + Reserved + Proposed Equipment Sufficient Capacity  
Note: See Table I and Table II for the proposed and existing/reserved loading, respectively.

The analysis has been performed in accordance with the TIA/EIA-222-F standard and local code requirements based upon a wind speed of 75 mph fastest mile.

All modifications and equipment proposed in this report shall be installed in accordance with the attached drawings for the determined available structural capacity to be effective.

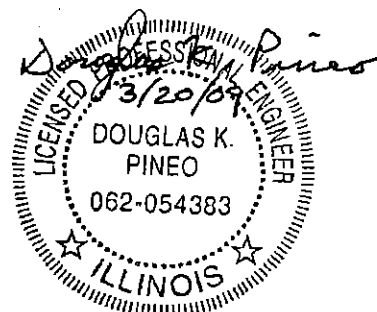
We at Crown Castle USA Inc. appreciate the opportunity of providing our continuing professional services to you and Crown Castle USA Inc.. If you have any questions or need further assistance on this or any other projects please give us a call.

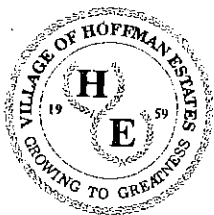
Structural analysis prepared by: Jon W. McElroy, Engineer I

Respectfully submitted by:

*Douglas K. Pineo*

Douglas K. Pineo, P.E.  
Manager Structural Design





# HOFFMAN ESTATES

GROWING TO GREATNESS

July 8, 2010

To All Interested Parties:

Please be advised the Zoning Board of Appeals of the Village of Hoffman Estates will conduct a public hearing at the request of Township High School District 211 (Owner) and FMHC as agent for Clearwire (Lessee) to consider a variation and special use under the Zoning Code to permit the installation of communication antennas and accompanying equipment on the property located at 1100 W. Higgins Road (Hoffman Estates High School).

The hearing will be held in the Municipal Building, 1900 Hassell Road, Hoffman Estates, Illinois, **Tuesday, July 20, 2010 at 7:30 p.m.**

A map designating the subject site is included on the back of this letter. Appropriate time will be available for questions/comments from interested parties. Should you wish any additional information, please feel free to contact the Planning Division at 847/781-2660. Material is available at the office for review.

Should it become necessary to continue this hearing to an additional date, it will be announced at the conclusion of testimony at the hearings. No further notification of this review will be sent.

Sincerely,

Josh Edwards, Assistant Planner  
Department of Development Services

JE/pm

1900 Hassell Road  
Hoffman Estates, Illinois 60169  
[www.hoffmanestates.org](http://www.hoffmanestates.org)

Phone: 847-882-9100  
Fax: 847-843-4822

William D. McLeod  
MAYOR

Raymond M. Kincaid  
TRUSTEE

Gary J. Pilafas  
TRUSTEE

Karen V. Mills  
TRUSTEE

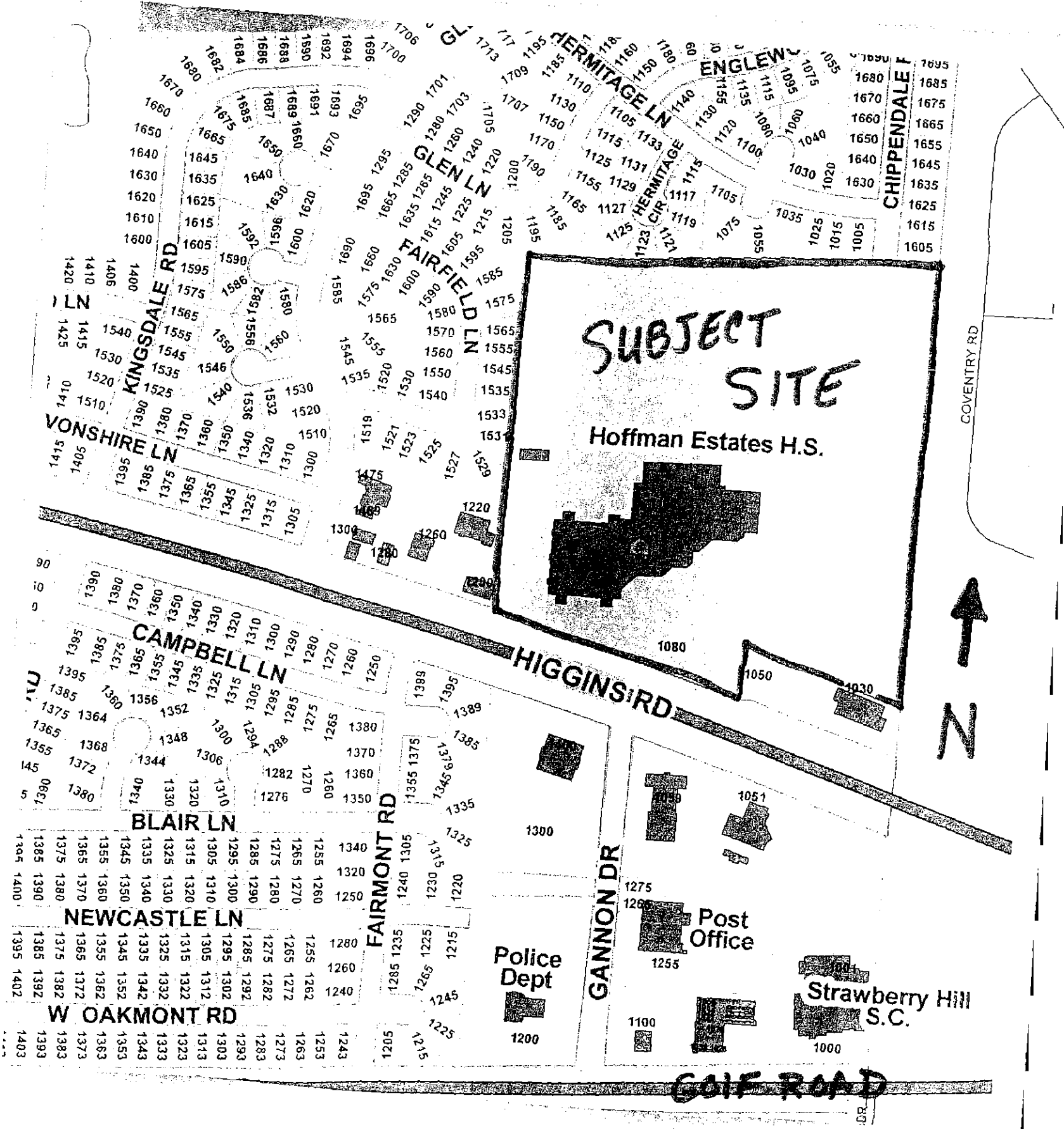
Jacquelyn Green  
TRUSTEE

Bev Romanoff  
VILLAGE CLERK

Cary J. Collins  
TRUSTEE

Anna Newell  
TRUSTEE

James H. Norris  
VILLAGE MANAGER



**SUBJECT SITE**

Hoffman Estates H.S.



**GOLF ROAD**

COVENTRY RD

GANNAN DR

Police Dept

Post Office

Strawberry Hill S.C.

CHIPPENDALE F

ENGLEWY

HERMITAGE LN

GLLEN LN

TARFIELD LN

KINGSDALE RD

VONSHIRE LN

CAMPBELL LN

BLAIR LN

NEWCASTLE LN

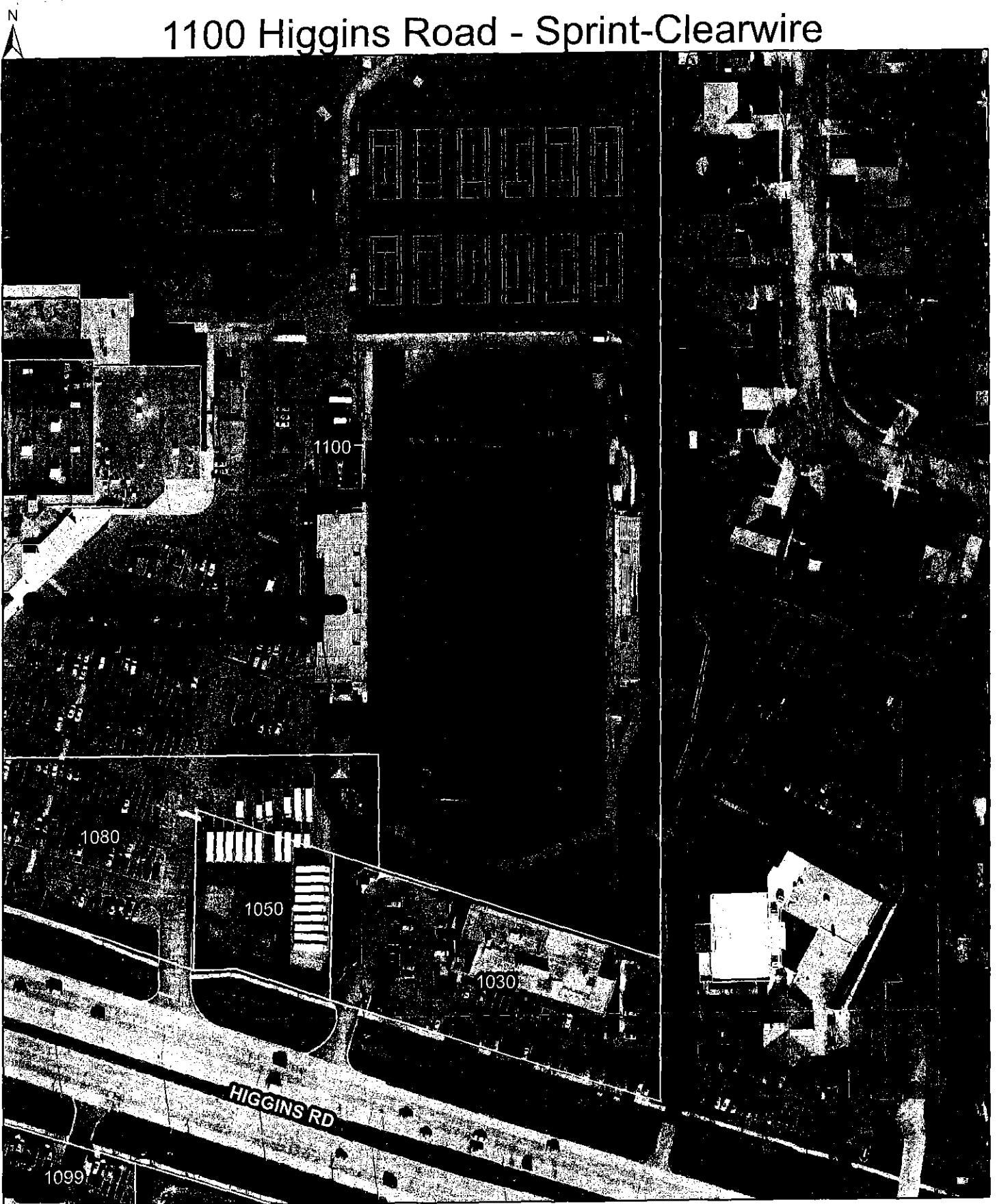
W OAKMONT RD

HIGGINS RD

FAIRMONT RD



# 1100 Higgins Road - Sprint-Clearwire



1 inch = 150 feet

Planning Division  
Village of Hoffman Estates  
July 2010

Date: March 20, 2009

Andrew Fandozzi  
Crown Castle USA Inc.  
2000 Corporate Drive  
Canonsburg, PA 15317



Subject: Structural Analysis Report

**Carrier Designation:** Clearwire Corp Co-Locate  
Carrier Site Number: IL-CHI5456  
Carrier Site Name: CROWN-F2-4812 ET HOFFMAN ESTAT

**Crown Castle Designation:** Crown Castle BU Number: 875447  
Crown Castle Site Name: F2- 4812 ET- HOFFMAN ESTATES H  
Crown Castle JDE Job Number: 116349  
Crown Castle Work Order Number: 260215

**Engineering Firm Designation:** Crown Castle USA Inc. Project Number: 260215

**Site Data:** 1000 W HIGGINS RD, HOFFMAN ESTATES, Cook County, IL  
Latitude 42° 3' 9.03", Longitude -88° 6' 20.67"  
88 Foot - Monopole Tower

Dear Andrew Fandozzi,

Crown Castle USA Inc. is pleased to submit this "Structural Analysis Report" to determine the structural integrity of the above mentioned tower. This analysis has been performed in accordance with the Crown Castle Structural 'Statement of Work' and the terms of Crown Castle Purchase Order Number 260183, in accordance with application 76471, revision 2.

The purpose of the analysis is to determine acceptability of the tower stress level. Based on our analysis we have determined the tower stress level for the structure and foundation, under the following load case, to be:

LC1: Existing + Reserved + Proposed Equipment **Sufficient Capacity**  
Note: See Table I and Table II for the proposed and existing/reserved loading, respectively.

The analysis has been performed in accordance with the TIA/EIA-222-F standard and local code requirements based upon a wind speed of 75 mph fastest mile.

All modifications and equipment proposed in this report shall be installed in accordance with the attached drawings for the determined available structural capacity to be effective.

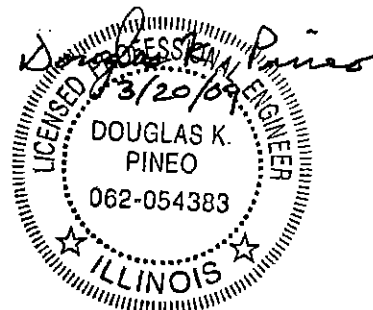
We at Crown Castle USA Inc. appreciate the opportunity of providing our continuing professional services to you and Crown Castle USA Inc.. If you have any questions or need further assistance on this or any other projects please give us a call.

Structural analysis prepared by: Jon W. McElroy, Engineer I

Respectfully submitted by:

*Douglas K. Pineo*

Douglas K. Pineo, P.E.  
Manager Structural Design



## TABLE OF CONTENTS

- 1) INTRODUCTION
- 2) ANALYSIS CRITERIA
  - Table 1 - Proposed Antenna and Cable Information
  - Table 2 - Existing and Reserved Antenna and Cable Information
  - Table 3 - Design Antenna and Cable Information
- 3) ANALYSIS PROCEDURE
  - Table 4 - Documents Provided
  - 3.1) Analysis Method
  - 3.2) Assumptions
- 4) ANALYSIS RESULTS
  - Table 5 - Tower Component Stresses vs. Capacity
  - 4.1) Recommendations
- 5) APPENDIX A
  - RISATower Output
- 6) APPENDIX B
  - Base Level Drawing
- 7) APPENDIX C
  - Additional Calculations

## 1) INTRODUCTION

This tower is a 88 ft Monopole tower designed by SUMMIT in October of 2001. The tower was originally designed for a wind speed of 80 mph per TIA/EIA-222-F.

## 2) ANALYSIS CRITERIA

The structural analysis was performed for this tower in accordance with the requirements of TIA/EIA-222-F Structural Standards for Steel Antenna Towers and Antenna Supporting Structures using a fastest mile wind speed of 75 mph with no ice, 65 mph with 0.5 inch ice thickness and 50 mph under service loads.

**Table 1 - Proposed Antenna and Cable Information**

Mounting Level (ft)	Center Line Elevation (ft)	Number of Antennas	Antenna Manufacturer	Antenna Model	Number of Feed Lines	Feed Line Size (in)	Note
88	94	1	dragonvave	A-ANT-18G-2-C	6	1-5/8	-
		1	dragonwave	A-ANT-18G-2-C			
	88	2	dragonwave	HORIZON DUO	1	1/2	

**Table 2 - Existing and Reserved Antenna and Cable Information**

Mounting Level (ft)	Center Line Elevation (ft)	Number of Antennas	Antenna Manufacturer	Antenna Model	Number of Feed Lines	Feed Line Size (in)	Note	
88	90	3	kmw communications	HB-X-WM-17-65-00T w/ Mount Pipe	-	-	2	
	89	6	ems wireless	RR90-11-05DBL w/ Mount Pipe	21	7/8	1	
		3	ems wireless	RV65-18-02DPL2 w/ Mount Pipe				
	88	88	-	-	-	6	7/8	4
			3	kmw communications	KMDAPS2050000	-	-	2
			9	mia	MLA_ANTENNA w/ Mount Pipe	9	1-5/8	3
			1	tower mounts	Platform Mount [LP 301-1]	-	-	1
79	79	1	misc	Stadium Light Rack	-	-	1	

Notes:

- 1) Existing Equipment Carrier 1
- 2) Existing Equipment Carrier 2
- 3) MLA Equipment Controlling Carrier 1
- 4) Equipment to be Removed Carrier 2

**Table 3 - Design Antenna and Cable Information**

Mounting Level (ft)	Center Line Elevation (ft)	Number of Antennas	Antenna Manufacturer	Antenna Model	Number of Feed Lines	Feed Line Size (in)
88	88	12	DAPA	48000 PCS	-	-
79	79	-	Lighting	CAA= 68 Sq Ft	-	-

### 3) ANALYSIS PROCEDURE

**Table 4 - Documents Provided**

Document	Remarks	Reference	Source
4-GEOTECHNICAL REPORTS	A E & T	1521099	CCISITES
4-TOWER FOUNDATION DRAWINGS/DESIGN/SPECS	Summit	1434630	CCISITES
4-TOWER MANUFACTURER DRAWINGS	Summit	1521123	CCISITES
4-TOWER STRUCTURAL ANALYSIS REPORTS	Summit	1433959	CCISITES

#### 3.1) Analysis Method

RISATower (version 5.3.1.0), a commercially available analysis software package, was used to create a three-dimensional model of the tower and calculate member stresses for various loading cases. Selected output from the analysis is included in Appendix A.

#### 3.2) Assumptions

- 1) Tower and structures were built in accordance with the manufacturer's specifications.
- 2) The tower and structures have been maintained in accordance with the manufacturer's specification.
- 3) The configuration of antennas, transmission cables, mounts and other appurtenances are as specified in Tables 1 and 2 and the referenced drawings.
- 4) When applicable, transmission cables are considered as structural components for calculating wind loads as allowed by TIA/EIA-222-F.

This analysis may be affected if any assumptions are not valid or have been made in error. Crown Castle USA Inc. should be notified to determine the effect on the structural integrity of the tower.

### 4) ANALYSIS RESULTS

**Table 5 - Section Capacity (Summary)**

Section No.	Elevation (ft)	Component Type	Size	Critical Element	P (K)	SF*P_allow (K)	% Capacity	Pass / Fail
L1	88 - 48	Pole	TP23.461x16.5x0.1875	1	-5.40	703.90	75.5	Pass
L2	48 - 0	Pole	TP31.44x22.5639x0.2188	2	-9.86	1126.94	93.9	Pass
							Summary	
						Pole (L2)	93.9	Pass
						Rating =	93.9	Pass

**Table 6 - Tower Component Stresses vs. Capacity - LC1**

Notes	Component	Elevation (ft)	% Capacity	Pass / Fail
1	Anchor Rods	0	53.9	Pass
1	Base Plate	0	45.1	Pass
1	Base Foundation	0	47.5	Pass
1	Base Foundation Soil Interaction	0	54.4	Pass

<b>Structure Rating (max from all components) =</b>	<b>93.9%</b>
---	--------------

Notes:

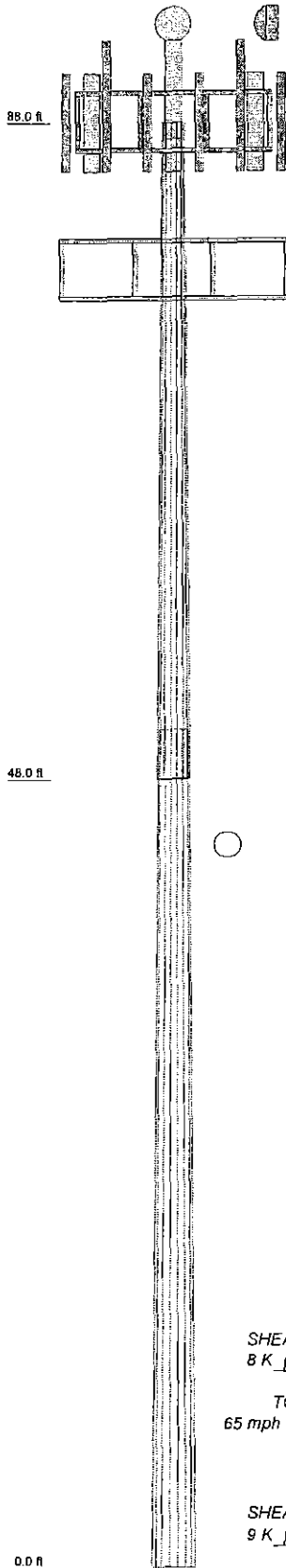
- 1) See additional documentation in "Appendix C – Additional Calculations" for calculations supporting the % capacity consumed.

#### 4.1) Recommendations

The tower and its foundation have sufficient capacity to carry the existing, reserved, and proposed loads. No modifications are required at this time.

**APPENDIX A**  
**RISA TOWER OUTPUT**

Section	1	2
Length (ft)	40.00	51.00
Number of Sides	18	18
Thickness (in)	0.1875	0.2188
Lap Splice (ft)	3.00	
Top Dia (in)	18.5000	22.5639
Bot Dia (in)	23.4610	31.4400
Grade	A507-65	
Weight (K)	1.8	3.3



### DESIGNED APPURTENANCE LOADING

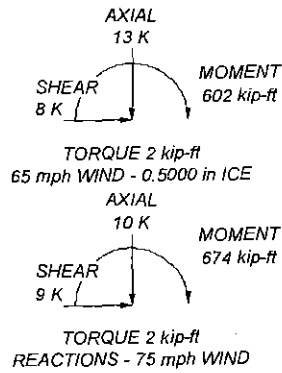
TYPE	ELEVATION	TYPE	ELEVATION
HB-X-WM-17-65-00T w/ Mount Pipe	88	HB-X-WM-17-65-00T w/ Mount Pipe	88
KMDAPS2050000	88	KMDAPS2050000	88
HORIZON DUO	88	(3) MLA_ANTENNA w/ Mount Pipe	88
(3) MLA_ANTENNA w/ Mount Pipe	88	Platform Mount [LP 301-1]	88
HB-X-WM-17-65-00T w/ Mount Pipe	88	A-ANT-18G-2-C	88
KMDAPS2050000	88	A-ANT-18G-2-C	88
HORIZON DUO	88	Stadium Light Rack	79
(3) MLA_ANTENNA w/ Mount Pipe	88		


### MATERIAL STRENGTH

GRADE	Fy	Fu	GRADE	Fy	Fu
A507-65	65 ksi	80 ksi			

### TOWER DESIGN NOTES

1. Tower is located in Cook County, Illinois.
2. Tower designed for a 75 mph basic wind in accordance with the TIA/EIA-222-F Standard.
3. Tower is also designed for a 65 mph basic wind with 0.50 in ice.
4. Deflections are based upon a 50 mph wind.
5. TOWER RATING: 93.9%



 <b>Crown Castle USA Inc.</b> 2000 Corporate Drive Canonsburg, PA 15317 Phone: (724) 416-2091 FAX: (724) 416-4091		<b>Job BU #875447</b>	
Project	Crown Castle USA	Drawn by	jkim
Client	TIA/EIA-222-F	Date	03/20/09
Code		Scale	NTS
Path	R:\ISA Models - Letters\Work Area\Mac\875447\875447.dwg	Dwg No.	E-1



<b>RISATower</b>  Crown Castle USA Inc. 2000 Corporate Drive Canonsburg, PA Phone: 724-416-2000 FAX: 724-416-2254	Job	BU #875447	Page	1 of 10
	Project		Date	13:18:15 03/20/09
	Client	Crown Castle USA	Designed by	jmcelroy

## Tower Input Data

There is a pole section.

This tower is designed using the TIA/EIA-222-F standard.

The following design criteria apply:

Tower is located in Cook County, Illinois.

Basic wind speed of 75 mph.

Nominal ice thickness of 0.5000 in.

Ice density of 56 pcf.

A wind speed of 65 mph is used in combination with ice.

Temperature drop of 50 °F.

Deflections calculated using a wind speed of 50 mph.

A non-linear (P-delta) analysis was used.

Pressures are calculated at each section.

Stress ratio used in pole design is 1.333.

Local bending stresses due to climbing loads, feedline supports, and appurtenance mounts are not considered.

## Options

<ul style="list-style-type: none"> <li>Consider Moments - Legs</li> <li>Consider Moments - Horizontals</li> <li>Consider Moments - Diagonals</li> <li>Use Moment Magnification</li> <li>√ Use Code Stress Ratios</li> <li>√ Use Code Safety Factors - Guys</li> <li>Escalate Ice</li> <li>Always Use Max Kz</li> <li>Use Special Wind Profile</li> <li>Include Bolts In Member Capacity</li> <li>Leg Bolts Are At Top Of Section</li> <li>Secondary Horizontal Braces Leg</li> <li>Use Diamond Inner Bracing (4 Sided)</li> <li>Add IBC 6D+W Combination</li> </ul>	<ul style="list-style-type: none"> <li>Distribute Leg Loads As Uniform</li> <li>Assume Legs Pinned</li> <li>√ Assume Rigid Index Plate</li> <li>√ Use Clear Spans For Wind Area</li> <li>Use Clear Spans For KL/r</li> <li>Retention Guys To Initial Tension</li> <li>√ Bypass Mast Stability Checks</li> <li>√ Use Azimuth Dish Coefficients</li> <li>√ Project Wind Area of Appurt.</li> <li>Autocalc Torque Arm Areas</li> <li>SR Members Have Cut Ends</li> <li>Sort Capacity Reports By Component</li> <li>Triangulate Diamond Inner Bracing</li> </ul>	<ul style="list-style-type: none"> <li>Treat Feedline Bundles As Cylinder</li> <li>Use ASCE 10 X-Brace Ly Rules</li> <li>Calculate Redundant Bracing Forces</li> <li>Ignore Redundant Members in FEA</li> <li>SR Leg Bolts Resist Compression</li> <li>All Leg Panels Have Same Allowable</li> <li>Offset Girt At Foundation</li> <li>√ Consider Feedline Torque</li> <li>Include Angle Block Shear Check</li> <li>Include Shear-Torsion Interaction</li> <li>Always Use Sub-Critical Flow</li> <li>Use Top Mounted Sockets</li> </ul>
---	--	--

## Tapered Pole Section Geometry

Section	Elevation	Section Length	Splice Length	Number of Sides	Top Diameter	Bottom Diameter	Wall Thickness	Bend Radius	Pole Grade
	ft	ft	ft		in	in	in	in	
L1	88.00-48.00	40.00	3.00	18	16.5000	23.4610	0.1875	0.7500	A607-65 (65 ksi)
L2	48.00-0.00	51.00		18	22.5639	31.4400	0.2188	0.8750	A607-65 (65 ksi)

## Tapered Pole Properties

<b>RISATower</b>  <b>Crown Castle USA Inc.</b> 2000 Corporate Drive Canonsburg, PA Phone: 724-416-2000 FAX: 724-416-2254	Job	BU #875447	Page	2 of 10
	Project		Date	13:18:15 03/20/09
	Client	Crown Castle USA	Designed by	jmcclroy

Section	Tip Dia. in	Area in <sup>2</sup>	I in <sup>4</sup>	r in	C in	I/C in <sup>3</sup>	J in <sup>4</sup>	I/O in <sup>2</sup>	w in	w/t
L1	16.7545	9.7080	326.3677	5.7909	8.3820	38.9367	653.1649	4.8549	2.5740	13.728
	23.8229	13.8506	947.8306	8.2621	11.9182	79.5281	1896.9085	6.9266	3.7991	20.262
L2	23.4422	15.5145	978.6868	7.9325	11.4625	85.3818	1958.6613	7.7587	3.5863	16.394
	31.9250	21.6773	2669.5822	11.0835	15.9715	167.1464	5342.6771	10.8407	5.1484	23.536

Tower Elevation	Gusset Area (per face)	Gusset Thickness	Gusset Grade	Adjust. Factor A <sub>f</sub>	Adjust. Factor A <sub>r</sub>	Weight Mult.	Double Angle Stitch Bolt Spacing Diagonals	Double Angle Stitch Bolt Spacing Horizontals
ft	ft <sup>2</sup>	in					in	in
L1 88.00-48.00				1	1	1.02		
L2 48.00-0.00				1	1	1.02		

### Feed Line/Linear Appurtenances - Entered As Area

Description	Face or Shield Leg	Allow Shield	Component Type	Placement ft	Total Number	C <sub>s</sub> A <sub>s</sub> ft <sup>2</sup> /ft	Weight plf
AL7-50(1-5/8")	B	No	Inside Pole	88.00 - 0.00	6	No Ice 1/2" Ice	0.00 0.52
FXL 540 PE(1/2")	B	No	Inside Pole	88.00 - 0.00	2	No Ice 1/2" Ice	0.00 0.12
LDF7-50A(1-5/8")	B	No	Inside Pole	88.00 - 0.00	9	No Ice 1/2" Ice	0.00 0.82

### Feed Line/Linear Appurtenances Section Areas

Tower Section	Tower Elevation ft	Face	A <sub>R</sub> ft <sup>2</sup>	A <sub>F</sub> ft <sup>2</sup>	C <sub>s</sub> A <sub>s</sub> In Face ft <sup>2</sup>	C <sub>s</sub> A <sub>s</sub> Out Face ft <sup>2</sup>	Weight K
L1	88.00-48.00	A	0.000	0.000	0.000	0.000	0.00
		B	0.000	0.000	0.000	0.000	0.43
		C	0.000	0.000	0.000	0.000	0.00
L2	48.00-0.00	A	0.000	0.000	0.000	0.000	0.00
		B	0.000	0.000	0.000	0.000	0.52
		C	0.000	0.000	0.000	0.000	0.00

### Feed Line/Linear Appurtenances Section Areas - With Ice

Tower Section	Tower Elevation ft	Face or Leg	Ice Thickness in	A <sub>R</sub> ft <sup>2</sup>	A <sub>F</sub> ft <sup>2</sup>	C <sub>s</sub> A <sub>s</sub> In Face ft <sup>2</sup>	C <sub>s</sub> A <sub>s</sub> Out Face ft <sup>2</sup>	Weight K
L1	88.00-48.00	A	0.500	0.000	0.000	0.000	0.000	0.00
		B		0.000	0.000	0.000	0.000	0.43
		C		0.000	0.000	0.000	0.000	0.00
L2	48.00-0.00	A	0.500	0.000	0.000	0.000	0.000	0.00
		B		0.000	0.000	0.000	0.000	0.52
		C		0.000	0.000	0.000	0.000	0.00

<b>RISATower</b>  <b>Crown Castle USA Inc.</b> 2000 Corporate Drive Canonsburg, PA Phone: 724-416-2000 FAX: 724-416-2254	Job	BU #875447	Page	3 of 10
	Project		Date	13:18:15 03/20/09
	Client	Crown Castle USA	Designed by	jmcelroy

### Feed Line Center of Pressure

Section	Elevation	CP <sub>1</sub>	CP <sub>2</sub>	CP <sub>1</sub> Ice	CP <sub>2</sub> Ice
	ft	in	in	in	in
L1	88.00-48.00	0.0000	0.0000	0.0000	0.0000
L2	48.00-0.00	0.0000	0.0000	0.0000	0.0000

### Discrete Tower Loads

Description	Face or Leg	Offset Type	Offsets: Horz Lateral Vert	Azimuth Adjustment	Placement	C <sub>A</sub> A <sub>1</sub> Front	C <sub>A</sub> A <sub>1</sub> Side	Weight	
			ft ft ft	°	ft	ft <sup>2</sup>	ft <sup>2</sup>	K	
**									
HB-X-WM-17-65-00T w/ Mount Pipe	A	From Leg	4.00 0.00 2.00	0.0000	88.00	No Ice 1/2" Ice	3.65 4.08	4.60 5.27	0.05 0.09
KMDAPS2050000	A	From Leg	4.00 0.00 0.00	0.0000	88.00	No Ice 1/2" Ice	0.85 0.98	0.38 0.48	0.02 0.02
HORIZON DUO	A	From Leg	4.00 0.00 0.00	0.0000	88.00	No Ice 1/2" Ice	0.55 0.65	0.34 0.43	0.01 0.01
(3) MLA_ANTENNA w/ Mount Pipe	A	From Leg	4.00 0.00 0.00	0.0000	88.00	No Ice 1/2" Ice	8.64 9.29	6.95 8.13	0.07 0.13
HB-X-WM-17-65-00T w/ Mount Pipe	B	From Leg	4.00 0.00 2.00	0.0000	88.00	No Ice 1/2" Ice	3.65 4.08	4.60 5.27	0.05 0.09
KMDAPS2050000	B	From Leg	4.00 0.00 0.00	0.0000	88.00	No Ice 1/2" Ice	0.85 0.98	0.38 0.48	0.02 0.02
HORIZON DUO	B	From Leg	4.00 0.00 0.00	0.0000	88.00	No Ice 1/2" Ice	0.55 0.65	0.34 0.43	0.01 0.01
(3) MLA_ANTENNA w/ Mount Pipe	B	From Leg	4.00 0.00 0.00	0.0000	88.00	No Ice 1/2" Ice	8.64 9.29	6.95 8.13	0.07 0.13
HB-X-WM-17-65-00T w/ Mount Pipe	C	From Leg	4.00 0.00 2.00	0.0000	88.00	No Ice 1/2" Ice	3.65 4.08	4.60 5.27	0.05 0.09
KMDAPS2050000	C	From Leg	4.00 0.00 0.00	0.0000	88.00	No Ice 1/2" Ice	0.85 0.98	0.38 0.48	0.02 0.02
(3) MLA_ANTENNA w/ Mount Pipe	C	From Leg	4.00 0.00 0.00	0.0000	88.00	No Ice 1/2" Ice	8.64 9.29	6.95 8.13	0.07 0.13
Platform Mount [LP 301-1]	C	None		0.0000	88.00	No Ice 1/2" Ice	30.10 40.80	30.10 40.80	1.59 2.03
**									
Stadium Light Rack	A	From Leg	2.00 0.00 0.00	0.0000	79.00	No Ice 1/2" Ice	70.00 85.00	23.00 28.00	1.50 2.50

<b>RISATower</b>  <b>Crown Castle USA Inc.</b> 2000 Corporate Drive Canonsburg, PA Phone: 724-416-2000 FAX: 724-416-2254	Job	BU #875447	Page	4 of 10
	Project		Date	13:18:15 03/20/09
	Client	Crown Castle USA	Designed by	jmcclroy

### Dishes

Description	Face or Leg	Dish Type	Offset Type	Offsets		Azimuth Adjustment	3 dB Beam Width	Elevation	Outside Diameter	Aperture Area	Weight	
				Horz Lateral	Vert							
				ft	°	°	ft	ft	ft <sup>2</sup>	K		
A-ANT-18G-2-C	A	Paraboloid w/Shroud (HP)	From Leg	5.00	-40.0000			88.00	2.17	No Ice	3.72	0.03
				0.00				1/2" Ice	4.01	0.03		
				6.00								
A-ANT-18G-2-C	B	Paraboloid w/Shroud (HP)	From Leg	5.00	-40.0000			88.00	2.17	No Ice	3.72	0.03
				0.00				1/2" Ice	4.01	0.03		
				6.00								

### Load Combinations

Comb. No.	Description
1	Dead Only
2	Dead+Wind 0 deg - No Ice
3	Dead+Wind 30 deg - No Ice
4	Dead+Wind 60 deg - No Ice
5	Dead+Wind 90 deg - No Ice
6	Dead+Wind 120 deg - No Ice
7	Dead+Wind 150 deg - No Ice
8	Dead+Wind 180 deg - No Ice
9	Dead+Wind 210 deg - No Ice
10	Dead+Wind 240 deg - No Ice
11	Dead+Wind 270 deg - No Ice
12	Dead+Wind 300 deg - No Ice
13	Dead+Wind 330 deg - No Ice
14	Dead+Ice+Temp
15	Dead+Wind 0 deg+Ice+Temp
16	Dead+Wind 30 deg+Ice+Temp
17	Dead+Wind 60 deg+Ice+Temp
18	Dead+Wind 90 deg+Ice+Temp
19	Dead+Wind 120 deg+Ice+Temp
20	Dead+Wind 150 deg+Ice+Temp
21	Dead+Wind 180 deg+Ice+Temp
22	Dead+Wind 210 deg+Ice+Temp
23	Dead+Wind 240 deg+Ice+Temp
24	Dead+Wind 270 deg+Ice+Temp
25	Dead+Wind 300 deg+Ice+Temp
26	Dead+Wind 330 deg+Ice+Temp
27	Dead+Wind 0 deg - Service
28	Dead+Wind 30 deg - Service
29	Dead+Wind 60 deg - Service
30	Dead+Wind 90 deg - Service
31	Dead+Wind 120 deg - Service
32	Dead+Wind 150 deg - Service
33	Dead+Wind 180 deg - Service
34	Dead+Wind 210 deg - Service
35	Dead+Wind 240 deg - Service
36	Dead+Wind 270 deg - Service

<b>RISATower</b>  Crown Castle USA Inc. 2000 Corporate Drive Canonsburg, PA Phone: 724-416-2000 FAX: 724-416-2254	Job	BU #875447	Page	5 of 10
	Project		Date	13:18:15 03/20/09
	Client	Crown Castle USA	Designed by	jmcclroy

Comb. No.	Description
37	Dead+Wind 300 deg - Service
38	Dead+Wind 330 deg - Service

### Maximum Member Forces

Section No.	Elevation ft	Component Type	Condition	Gov. Load Comb.	Force K	Major Axis Moment kip-ft	Minor Axis Moment kip-ft
L1	88 - 48	Pole	Max Tension	1	0.00	0.00	0.00
			Max. Compression	14	-8.47	-0.21	7.49
			Max. M <sub>x</sub>	11	-5.57	201.04	6.34
			Max. M <sub>y</sub>	2	-5.40	0.99	245.97
			Max. V <sub>y</sub>	11	-6.17	201.04	6.34
			Max. V <sub>x</sub>	8	7.66	-2.26	-238.16
			Max. Torque	5			2.09
L2	48 - 0	Pole	Max Tension	1	0.00	0.00	0.00
			Max. Compression	14	-13.31	-0.22	7.74
			Max. M <sub>x</sub>	11	-9.86	555.12	8.78
			Max. M <sub>y</sub>	2	-9.86	2.35	673.81
			Max. V <sub>y</sub>	11	-7.73	555.12	8.78
			Max. V <sub>x</sub>	8	9.16	-4.75	-666.90
			Max. Torque	5			2.09

### Maximum Reactions

Location	Condition	Gov. Load Comb.	Vertical K	Horizontal X K	Horizontal Z K
Pole	Max. Vert	15	13.31	0.02	7.81
	Max. H <sub>x</sub>	11	9.87	7.71	0.04
	Max. H <sub>z</sub>	2	9.87	0.03	9.12
	Max. M <sub>x</sub>	2	673.81	0.03	9.12
	Max. M <sub>z</sub>	5	554.04	-7.70	-0.07
	Max. Torsion	5	2.08	-7.70	-0.07
	Min. Vert	1	9.87	0.00	0.00
	Min. H <sub>x</sub>	5	9.87	-7.70	-0.07
	Min. H <sub>z</sub>	8	9.87	-0.05	-9.14
	Min. M <sub>x</sub>	8	-666.90	-0.05	-9.14
	Min. M <sub>z</sub>	11	-555.12	7.71	0.04
	Min. Torsion	11	-1.92	7.71	0.04

### Tower Mast Reaction Summary

Load Combination	Vertical K	Shear <sub>x</sub> K	Shear <sub>z</sub> K	Overturning Moment M <sub>x</sub> kip-ft	Overturning Moment M <sub>z</sub> kip-ft	Torque kip-ft
Dead Only	9.87	0.00	-0.00	-4.53	-0.19	0.00
Dead+Wind 0 deg - No Ice	9.87	-0.03	-9.12	-673.81	2.35	0.81
Dead+Wind 30 deg - No Ice	9.87	3.83	-7.88	-582.89	-275.43	-0.36
Dead+Wind 60 deg - No Ice	9.87	6.65	-4.52	-335.75	-478.25	-1.47
Dead+Wind 90 deg - No Ice	9.87	7.70	0.07	2.46	-554.04	-2.08

<b>RISATower</b>  <b>Crown Castle USA Inc.</b> 2000 Corporate Drive Canonsburg, PA Phone: 724-416-2000 FAX: 724-416-2254	Job	BU #875447	Page	6 of 10
	Project		Date	13:18:15 03/20/09
	Client	Crown Castle USA	Designed by	jmcloy

Load Combination	Vertical K	Shear <sub>x</sub> K	Shear <sub>y</sub> K	Overturning Moment, M <sub>x</sub> kip-ft	Overturning Moment, M <sub>y</sub> kip-ft	Torque kip-ft
Dead+Wind 120 deg - No Ice	9.87	6.70	4.58	332.34	-482.62	-2.01
Dead+Wind 150 deg - No Ice	9.87	3.90	7.92	577.12	-281.95	-1.57
Dead+Wind 180 deg - No Ice	9.87	0.05	9.14	666.90	-4.75	-0.87
Dead+Wind 210 deg - No Ice	9.87	-3.84	7.90	575.08	276.23	0.21
Dead+Wind 240 deg - No Ice	9.87	-6.69	4.53	327.15	481.81	1.44
Dead+Wind 270 deg - No Ice	9.87	-7.71	-0.04	-8.77	555.12	1.92
Dead+Wind 300 deg - No Ice	9.87	-6.70	-4.56	-339.14	482.58	1.75
Dead+Wind 330 deg - No Ice	9.87	-3.89	-7.88	-582.74	280.99	1.28
Dead+Ice+Temp	13.31	0.00	-0.00	-7.74	-0.22	0.00
Dead+Wind 0 deg+Ice+Temp	13.31	-0.02	-7.81	-601.57	1.88	0.66
Dead+Wind 30 deg+Ice+Temp	13.31	3.24	-6.75	-520.97	-242.05	-0.34
Dead+Wind 60 deg+Ice+Temp	13.31	5.63	-3.87	-301.81	-420.17	-1.29
Dead+Wind 90 deg+Ice+Temp	13.31	6.51	0.06	-1.95	-486.66	-1.81
Dead+Wind 120 deg+Ice+Temp	13.31	5.66	3.92	291.05	-423.79	-1.74
Dead+Wind 150 deg+Ice+Temp	13.31	3.30	6.78	508.27	-247.44	-1.33
Dead+Wind 180 deg+Ice+Temp	13.31	0.04	7.83	587.93	-3.98	-0.71
Dead+Wind 210 deg+Ice+Temp	13.31	-3.25	6.76	506.59	242.60	0.22
Dead+Wind 240 deg+Ice+Temp	13.31	-5.66	3.88	286.76	423.00	1.27
Dead+Wind 270 deg+Ice+Temp	13.31	-6.52	-0.04	-11.23	487.43	1.67
Dead+Wind 300 deg+Ice+Temp	13.31	-5.67	-3.90	-304.62	423.63	1.53
Dead+Wind 330 deg+Ice+Temp	13.31	-3.29	-6.75	-520.85	246.52	1.10
Dead+Wind 0 deg - Service	9.87	-0.01	-4.05	-302.41	0.94	0.37
Dead+Wind 30 deg - Service	9.87	1.70	-3.50	-261.92	-122.68	-0.16
Dead+Wind 60 deg - Service	9.87	2.96	-2.01	-151.90	-212.88	-0.66
Dead+Wind 90 deg - Service	9.87	3.42	0.03	-1.43	-246.58	-0.94
Dead+Wind 120 deg - Service	9.87	2.98	2.04	145.33	-214.83	-0.90
Dead+Wind 150 deg - Service	9.87	1.73	3.52	254.30	-125.58	-0.69
Dead+Wind 180 deg - Service	9.87	0.02	4.06	294.27	-2.22	-0.39
Dead+Wind 210 deg - Service	9.87	-1.71	3.51	253.38	122.82	0.09
Dead+Wind 240 deg - Service	9.87	-2.97	2.01	143.02	214.26	0.64
Dead+Wind 270 deg - Service	9.87	-3.43	-0.02	-6.43	246.85	0.85
Dead+Wind 300 deg - Service	9.87	-2.98	-2.03	-153.42	214.61	0.79
Dead+Wind 330 deg - Service	9.87	-1.73	-3.50	-261.86	124.94	0.58

### Solution Summary

Load Comb.	Sum of Applied Forces			Sum of Reactions			% Error
	PX K	PY K	PZ K	PX K	PY K	PZ K	
1	0.00	-9.87	0.00	0.00	9.87	0.00	0.000%
2	-0.03	-9.87	-9.12	0.03	9.87	9.12	0.000%
3	3.83	-9.87	-7.88	-3.83	9.87	7.88	0.000%
4	6.65	-9.87	-4.52	-6.65	9.87	4.52	0.000%
5	7.70	-9.87	0.07	-7.70	9.87	-0.07	0.000%
6	6.70	-9.87	4.58	-6.70	9.87	-4.58	0.000%
7	3.90	-9.87	7.92	-3.90	9.87	-7.92	0.000%
8	0.05	-9.87	9.14	-0.05	9.87	-9.14	0.000%
9	-3.84	-9.87	7.90	3.84	9.87	-7.90	0.000%
10	-6.69	-9.87	4.53	6.69	9.87	-4.53	0.000%
11	-7.71	-9.87	-0.04	7.71	9.87	0.04	0.000%
12	-6.70	-9.87	-4.56	6.70	9.87	4.56	0.000%
13	-3.89	-9.87	-7.88	3.89	9.87	7.88	0.000%
14	0.00	-13.31	0.00	-0.00	13.31	0.00	0.000%
15	-0.02	-13.31	-7.81	0.02	13.31	7.81	0.000%
16	3.24	-13.31	-6.75	-3.24	13.31	6.75	0.000%
17	5.63	-13.31	-3.87	-5.63	13.31	3.87	0.000%
18	6.51	-13.31	0.06	-6.51	13.31	-0.06	0.000%
19	5.66	-13.31	3.92	-5.66	13.31	-3.92	0.000%

<b>RISATower</b>  <b>Crown Castle USA Inc.</b> 2000 Corporate Drive Canonsburg, PA Phone: 724-416-2000 FAX: 724-416-2254	Job	BU #875447	Page	7 of 10
	Project		Date	13:18:15 03/20/09
	Client	Crown Castle USA	Designed by	jmcloy

Load Comb.	Sum of Applied Forces			Sum of Reactions			% Error
	PX K	PY K	PZ K	PX K	PY K	PZ K	
20	3.30	-13.31	6.78	-3.30	13.31	-6.78	0.000%
21	0.04	-13.31	7.83	-0.04	13.31	-7.83	0.000%
22	-3.25	-13.31	6.76	3.25	13.31	-6.76	0.000%
23	-5.66	-13.31	3.88	5.66	13.31	-3.88	0.000%
24	-6.52	-13.31	-0.04	6.52	13.31	0.04	0.000%
25	-5.67	-13.31	-3.90	5.67	13.31	3.90	0.000%
26	-3.29	-13.31	-6.75	3.29	13.31	6.75	0.000%
27	-0.01	-9.87	-4.05	0.01	9.87	4.05	0.000%
28	1.70	-9.87	-3.50	-1.70	9.87	3.50	0.000%
29	2.96	-9.87	-2.01	-2.96	9.87	2.01	0.000%
30	3.42	-9.87	0.03	-3.42	9.87	-0.03	0.000%
31	2.98	-9.87	2.04	-2.98	9.87	-2.04	0.000%
32	1.73	-9.87	3.52	-1.73	9.87	-3.52	0.000%
33	0.02	-9.87	4.06	-0.02	9.87	-4.06	0.000%
34	-1.71	-9.87	3.51	1.71	9.87	-3.51	0.000%
35	-2.97	-9.87	2.01	2.97	9.87	-2.01	0.000%
36	-3.43	-9.87	-0.02	3.43	9.87	0.02	0.000%
37	-2.98	-9.87	-2.03	2.98	9.87	2.03	0.000%
38	-1.73	-9.87	-3.50	1.73	9.87	3.50	0.000%

### Non-Linear Convergence Results

Load Combination	Converged?	Number of Cycles	Displacement Tolerance	Force Tolerance
1	Yes	4	0.0000001	0.0000001
2	Yes	5	0.0000001	0.00005480
3	Yes	5	0.0000001	0.00044984
4	Yes	5	0.0000001	0.00050528
5	Yes	5	0.0000001	0.00014538
6	Yes	5	0.0000001	0.00041293
7	Yes	5	0.0000001	0.00054324
8	Yes	5	0.0000001	0.00007557
9	Yes	5	0.0000001	0.00045678
10	Yes	5	0.0000001	0.00040618
11	Yes	5	0.0000001	0.00015453
12	Yes	5	0.0000001	0.00052730
13	Yes	5	0.0000001	0.00041932
14	Yes	4	0.0000001	0.0008863
15	Yes	5	0.0000001	0.00022166
16	Yes	6	0.0000001	0.00007114
17	Yes	6	0.0000001	0.00007773
18	Yes	5	0.0000001	0.00035537
19	Yes	5	0.0000001	0.00094350
20	Yes	6	0.0000001	0.00008001
21	Yes	5	0.0000001	0.00023810
22	Yes	6	0.0000001	0.00006954
23	Yes	5	0.0000001	0.00092645
24	Yes	5	0.0000001	0.00036828
25	Yes	6	0.0000001	0.00008050
26	Yes	6	0.0000001	0.00006782
27	Yes	4	0.0000001	0.00041073
28	Yes	5	0.0000001	0.00006694
29	Yes	5	0.0000001	0.00008213
30	Yes	4	0.0000001	0.00088906
31	Yes	5	0.0000001	0.00005717
32	Yes	5	0.0000001	0.00008997

<b>RISATower</b>  <b>Crown Castle USA Inc.</b> 2000 Corporate Drive Canonsburg, PA Phone: 724-416-2000 FAX: 724-416-2254	Job	BU #875447	Page	8 of 10
	Project		Date	13:18:15 03/20/09
	Client	Crown Castle USA	Designed by	jmcclroy

33	Yes	4	0.00000001	0.00045330
34	Yes	5	0.00000001	0.00006510
35	Yes	5	0.00000001	0.00005270
36	Yes	4	0.00000001	0.00086322
37	Yes	5	0.00000001	0.00008788
38	Yes	5	0.00000001	0.00005883

### Maximum Tower Deflections - Service Wind

Section No.	Elevation ft	Horz. Deflection in	Gov. Load Comb.	Tilt °	Twist °
L1	88 - 48	26.241	27	2.5260	0.0231
L2	51 - 0	9.120	27	1.6717	0.0095

### Critical Deflections and Radius of Curvature - Service Wind

Elevation ft	Appurtenance	Gov. Load Comb.	Deflection in	Tilt °	Twist °	Radius of Curvature ft
94.00	A-ANT-18G-2-C	27	26.241	2.5260	0.0264	9201
88.00	HB-X-WM-17-65-00T w/ Mount Pipe	27	26.241	2.5260	0.0264	9201
79.00	Stadium Light Rack	27	21.571	2.2771	0.0218	5111

### Maximum Tower Deflections - Design Wind

Section No.	Elevation ft	Horz. Deflection in	Gov. Load Comb.	Tilt °	Twist °
L1	88 - 48	57.950	2	5.5495	0.0517
L2	51 - 0	20.249	2	3.7049	0.0212

### Critical Deflections and Radius of Curvature - Design Wind

Elevation ft	Appurtenance	Gov. Load Comb.	Deflection in	Tilt °	Twist °	Radius of Curvature ft
94.00	A-ANT-18G-2-C	2	57.950	5.5495	0.0589	4245
88.00	HB-X-WM-17-65-00T w/ Mount Pipe	2	57.950	5.5495	0.0589	4245
79.00	Stadium Light Rack	2	47.673	5.0830	0.0490	2358



<b>RISATower</b>  Crown Castle USA Inc. 2000 Corporate Drive Canonsburg, PA Phone: 724-416-2000 FAX: 724-416-2254	Job	BU #875447	Page	9 of 10
	Project		Date	13:18:15 03/20/09
	Client	Crown Castle USA	Designed by	jmcclroy

### Compression Checks

### Pole Design Data

Section No.	Elevation ft	Size	L ft	L <sub>w</sub> ft	K/r	F <sub>a</sub> ksi	A in <sup>2</sup>	Actual P K	Allow. P <sub>a</sub> K	Ratio P/P <sub>a</sub>
L1	88 - 48 (1)	TP23.461x16.5x0.1875	40.00	0.00	0.0	39.000	13.5399	-5.40	528.06	0.010
L2	48 - 0 (2)	TP31.44x22.5639x0.2188	51.00	0.00	0.0	39.000	21.6773	-9.86	845.41	0.012

### Pole Bending Design Data

Section No.	Elevation ft	Size	Actual M <sub>x</sub> kip-ft	Actual f <sub>bx</sub> ksi	Allow. F <sub>bx</sub> ksi	Ratio f <sub>bx</sub> /F <sub>bx</sub>	Actual M <sub>y</sub> kip-ft	Actual f <sub>by</sub> ksi	Allow. F <sub>by</sub> ksi	Ratio f <sub>by</sub> /F <sub>by</sub>
L1	88 - 48 (1)	TP23.461x16.5x0.1875	245.98	38.846	39.000	0.996	0.00	0.000	39.000	0.000
L2	48 - 0 (2)	TP31.44x22.5639x0.2188	673.81	48.375	39.000	1.240	0.00	0.000	39.000	0.000

### Pole Shear Design Data

Section No.	Elevation ft	Size	Actual V K	Actual f <sub>v</sub> ksi	Allow. F <sub>v</sub> ksi	Ratio f <sub>v</sub> /F <sub>v</sub>	Actual T kip-ft	Actual f <sub>vt</sub> ksi	Allow. F <sub>vt</sub> ksi	Ratio f <sub>vt</sub> /F <sub>vt</sub>
L1	88 - 48 (1)	TP23.461x16.5x0.1875	7.64	0.564	26.000	0.043	0.81	0.062	26.000	0.002
L2	48 - 0 (2)	TP31.44x22.5639x0.2188	9.13	0.421	26.000	0.032	0.81	0.028	26.000	0.001

### Pole Interaction Design Data

Section No.	Elevation ft	Ratio P P <sub>a</sub>	Ratio f <sub>bx</sub> F <sub>bx</sub>	Ratio f <sub>by</sub> F <sub>by</sub>	Ratio f <sub>v</sub> F <sub>v</sub>	Ratio f <sub>vt</sub> F <sub>vt</sub>	Comb. Stress Ratio	Allow. Stress Ratio	Criteria
L1	88 - 48 (1)	0.010	0.996	0.000	0.043	0.002	1.007	1.333	H1-3+VT ✓
L2	48 - 0 (2)	0.012	1.240	0.000	0.032	0.001	1.252	1.333	H1-3+VT ✓

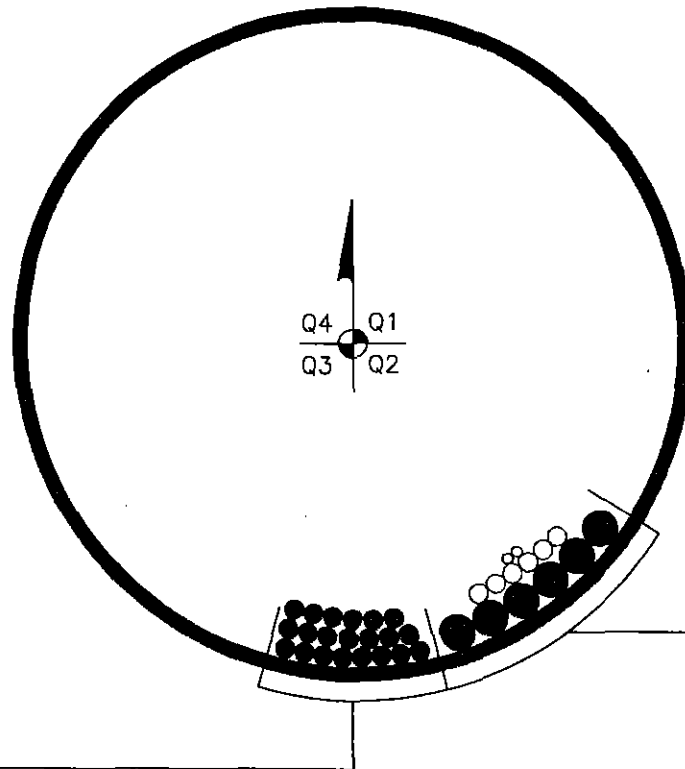
### Section Capacity Table

Section No.	Elevation ft	Component Type	Size	Critical Element	P K	SF*P <sub>allow</sub> K	% Capacity	Pass Fail
-------------	-----------------	----------------	------	------------------	--------	----------------------------	------------	-----------

<b>RISATower</b>  <b>Crown Castle USA Inc.</b> 2000 Corporate Drive Canonsburg, PA Phone: 724-416-2000 FAX: 724-416-2254	<b>Job</b> BU #875447	<b>Page</b> 10 of 10
	<b>Project</b>	<b>Date</b> 13:18:15 03/20/09
	<b>Client</b> Crown Castle USA	<b>Designed by</b> jmcclroy

Section No.	Elevation ft	Component Type	Size	Critical Element	P K	SF*P <sub>allow</sub> K	% Capacity	Pass Fail	
L1	88 - 48	Pole	TP23.461x16.5x0.1875	1	-5.40	703.90	75.5	Pass	
L2	48 - 0	Pole	TP31.44x22.5639x0.2188	2	-9.86	1126.94	93.9	Pass	
							Summary		
							Pole (L2)	93.9	Pass
							RATING =	93.9	Pass

**APPENDIX B**  
**BASE LEVEL DRAWING**



(MLA)  
 (9) 1-5/8" TO 88 FT LEVEL  
 (INSTALLED)  
 (21) 7/8" TO 88 FT LEVEL

(PROPOSED-REPLACING INSTALLED)  
 (2) 1/2" TO 88 FT LEVEL  
 (6) 1-5/8" TO 88 FT LEVEL  
 (INSTALLED-TO BE REMOVED)  
 (6) 7/8" TO 88 FT LEVEL

BUSINESS UNIT: 875447 TOWER ID: C\_BASELEVEL

**APPENDIX C**  
**ADDITIONAL CALCULATIONS**

CAISSON Version 8.10 1:13:20 PM Friday, March 20, 2009  
 Crown Castle USA

\*\*\*\*\*  
 \* PIER FOUNDATIONS ANALYSIS AND DESIGN - (C) 1995,2002 POWER LINE SYSTEMS, INC.\*  
 \*\*\*\*\*

\*\*\* ANALYSIS IDENTIFICATION : BU #260215  
 NOTES :

\*\*\* PIER PROPERTIES CONCRETE STRENGTH (ksi) = 3.00 STEEL STRENGTH (ksi) = 60.00  
 DIAMETER (ft) = 5.000 DISTANCE FROM TOP OF PIER TO GROUND LEVEL (ft) = 0.50

\*\*\* SOIL PROPERTIES

LAYER	TYPE	THICKNESS (ft)	DEPTH AT TOP OF LAYER (ft)	DENSITY (pcf)	CU (pcf)	KP	PHI (degrees)
1	C	5.00	0.00	114.0	0.0		
2	C	6.00	5.00	116.0	3000.0		
3	C	4.50	11.00	55.0	2500.0		

\*\*\* DESIGN (FACTORED) LOADS AT TOP OF PIER MOMENT (ft-k) = 674.0 VERTICAL (k) = 10.0 SHEAR (k) = 9.0  
 ADDITIONAL SAFETY FACTOR AGAINST SOIL FAILURE = 2.00

\*\*\* CALCULATED PIER LENGTH (ft) = 13.000

\*\*\* CHECK OF SOILS PROPERTIES AND ULTIMATE RESISTING FORCES ALONG PIER

TYPE	TOP OF LAYER BELOW TOP OF PIER (ft)	THICKNESS (ft)	DENSITY (pcf)	CU (pcf)	KP	FORCE (k)	ARM (ft)
C	0.50	5.00	114.0	0.0		0.00	3.00
C	5.50	3.70	116.0	3000.0		444.19	7.35
C	9.20	2.30	116.0	3000.0		-275.81	10.35
C	11.50	1.50	55.0	2500.0		-150.00	12.25

\*\*\* SHEAR AND MOMENTS ALONG PIER

DISTANCE BELOW TOP OF PIER (ft)	WITH THE ADDITIONAL SAFETY FACTOR		WITHOUT ADDITIONAL SAFETY FACTOR	
	SHEAR (k)	MOMENT (ft-k)	SHEAR (k)	MOMENT (ft-k)
0.00	18.4	1427.2	9.2	713.6
1.30	18.4	1451.1	9.2	725.6
2.60	18.4	1475.0	9.2	737.5
3.90	18.4	1498.9	9.2	749.5
5.20	18.4	1522.8	9.2	761.4
6.50	-101.6	1486.7	-50.8	743.3
7.80	-257.6	1253.2	-128.8	626.6
9.10	-413.6	816.9	-206.8	408.4
10.40	-282.0	350.1	-141.0	175.0
11.70	-130.0	84.5	-65.0	42.2

	13.00	0.0	875447Steel		
			0.0	0.0	
***	TOTAL REINFORCEMENT PCT = 0.30	REINFORCEMENT AREA (in <sup>2</sup> ) = 8.48			
***	USABLE AXIAL CAP. (k) = 10.0	USABLE MOMENT CAP. (ft-k) = 945.4			
***	US Standard Re-Bars (Select one of the following):				
43	BARS #4 (AREA = 0.20 in <sup>2</sup>	DIA = 0.500 in)	AT SPACING (in) = 3.65		
28	BARS #5 (AREA = 0.31 in <sup>2</sup>	DIA = 0.625 in)	AT SPACING (in) = 5.61		
20	BARS #6 (AREA = 0.44 in <sup>2</sup>	DIA = 0.750 in)	AT SPACING (in) = 7.85		
15	BARS #7 (AREA = 0.60 in <sup>2</sup>	DIA = 0.875 in)	AT SPACING (in) = 10.47		
11	BARS #8 (AREA = 0.79 in <sup>2</sup>	DIA = 1.000 in)	AT SPACING (in) = 14.28		
9	BARS #9 (AREA = 1.00 in <sup>2</sup>	DIA = 1.128 in)	AT SPACING (in) = 17.45		
7	BARS #10 (AREA = 1.27 in <sup>2</sup>	DIA = 1.270 in)	AT SPACING (in) = 22.44		
6	BARS #11 (AREA = 1.56 in <sup>2</sup>	DIA = 1.410 in)	AT SPACING (in) = 26.18		
4	BARS #14 (AREA = 2.25 in <sup>2</sup>	DIA = 1.693 in)	AT SPACING (in) = 39.27		
***	WEIGHT OF CAISSON (kips) = 38.288				
***	PRESSURE UNDER CAISSON DUE TO INPUT DESIGN AXIAL LOAD (psf) = 509.3				

CAISSON Version 8.10 2:46:55 PM Thursday, March 19, 2009  
 Crown Castle USA

\*\*\*\*\*  
 \* PIER FOUNDATIONS ANALYSIS AND DESIGN - (C) 1995,2002 POWER LINE SYSTEMS, INC.\*  
 \*\*\*\*\*

\*\*\* ANALYSIS IDENTIFICATION : BU #260215  
 NOTES :

\*\*\* PIER PROPERTIES CONCRETE STRENGTH (ksi) = 3.00 STEEL STRENGTH (ksi) = 60.00  
 DIAMETER (ft) = 5.000 DISTANCE FROM TOP OF PIER TO GROUND LEVEL (ft) = 0.50

\*\*\* SOIL PROPERTIES

LAYER	TYPE	THICKNESS (ft)	DEPTH AT TOP OF LAYER (ft)	DENSITY (pcf)	CU (psf)	KP	PHI (degrees)
1	C	5.00	0.00	114.0	0.0		
2	C	6.00	5.00	116.0	3000.0		
3	C	4.50	11.00	55.0	2500.0		

\*\*\* DESIGN (FACTORED) LOADS AT TOP OF PIER MOMENT (ft-k) = 1238.4 VERTICAL (k) = 10.0 SHEAR (k) = 16.2  
 ADDITIONAL SAFETY FACTOR AGAINST SOIL FAILURE = 2.00

\*\*\* CALCULATED PIER LENGTH (ft) = 16.000

\*\*\* CHECK OF SOILS PROPERTIES AND ULTIMATE RESISTING FORCES ALONG PIER

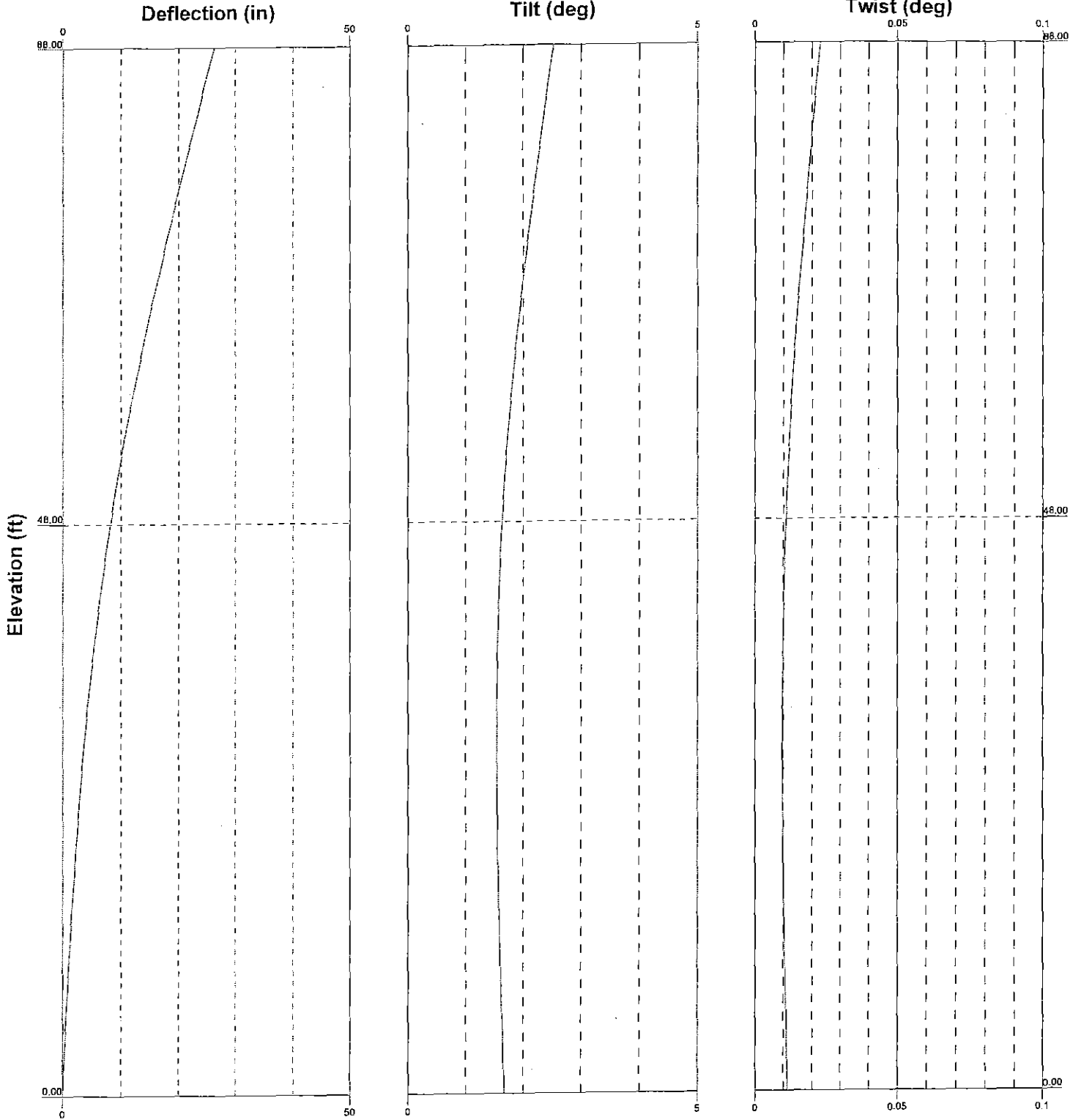
TYPE	TOP OF LAYER BELOW TOP OF PIER (ft)	THICKNESS (ft)	DENSITY (pcf)	CU (psf)	KP	FORCE (k)	ARM (ft)
C	0.50	5.00	114.0	0.0		0.00	3.00
C	5.50	5.01	116.0	3000.0		601.50	8.01
C	10.51	0.99	116.0	3000.0		-118.50	11.01
C	11.50	4.50	55.0	2500.0		-450.00	13.75


\*\*\* SHEAR AND MOMENTS ALONG PIER

DISTANCE BELOW TOP OF PIER (ft)	WITH THE ADDITIONAL SAFETY FACTOR		WITHOUT ADDITIONAL SAFETY FACTOR	
	SHEAR (k)	MOMENT (ft-k)	SHEAR (k)	MOMENT (ft-k)
0.00	33.0	2676.0	16.5	1338.0
1.60	33.0	2728.8	16.5	1364.4
3.20	33.0	2781.6	16.5	1390.8
4.80	33.0	2834.4	16.5	1417.2
6.40	-75.0	2838.6	-37.5	1419.3
8.00	-267.0	2565.0	-133.5	1282.5
9.60	-459.0	1984.2	-229.5	992.1
11.20	-486.0	1152.9	-243.0	576.4
12.80	-320.0	512.0	-160.0	256.0
14.40	-160.0	128.0	-80.0	64.0



	16.00	0.0	875447soil		
			-0.0		
***	TOTAL REINFORCEMENT PCT = 0.48	REINFORCEMENT AREA (in <sup>2</sup> ) = 13.57		0.0	-0.0
***	USABLE AXIAL CAP. (k) = 10.0	USABLE MOMENT CAP. (ft-k) = 1434.2			
***	US Standard Re-Bars (Select one of the following):				
68	BARS #4 (AREA = 0.20 in <sup>2</sup>	DIA = 0.500 in)	AT SPACING (in) =	2.31	
44	BARS #5 (AREA = 0.31 in <sup>2</sup>	DIA = 0.625 in)	AT SPACING (in) =	3.57	
31	BARS #6 (AREA = 0.44 in <sup>2</sup>	DIA = 0.750 in)	AT SPACING (in) =	5.07	
23	BARS #7 (AREA = 0.60 in <sup>2</sup>	DIA = 0.875 in)	AT SPACING (in) =	6.83	
18	BARS #8 (AREA = 0.79 in <sup>2</sup>	DIA = 1.000 in)	AT SPACING (in) =	8.73	
14	BARS #9 (AREA = 1.00 in <sup>2</sup>	DIA = 1.128 in)	AT SPACING (in) =	11.22	
11	BARS #10 (AREA = 1.27 in <sup>2</sup>	DIA = 1.270 in)	AT SPACING (in) =	14.28	
9	BARS #11 (AREA = 1.56 in <sup>2</sup>	DIA = 1.410 in)	AT SPACING (in) =	17.45	
7	BARS #14 (AREA = 2.25 in <sup>2</sup>	DIA = 1.693 in)	AT SPACING (in) =	22.44	
***	WEIGHT OF CAISSON (kips) = 47.124				
***	PRESSURE UNDER CAISSON DUE TO INPUT DESIGN AXIAL LOAD (psf) = 509.3				



 Crown Castle USA	<b>Crown Castle USA Inc.</b> 2000 Corporate Drive Canonsburg, PA Phone: 724-416-2000 FAX: 724-416-2254		Job: <b>BU #875447</b>	
	Project:		Client: Crown Castle USA	Drawn by: jmcclroy
	Code: TIA/EIA-222-F		Date: 03/20/09	App'd:
	Path: R:\ISA Models - Letters\Work Area\Mac675447\675447.en		Scale: NTS	Dwg No: E-5

## Square, Unstiffened Base Plate, Any Rod Material - Rev. F

**Assumptions:** Rod groups at corners. Total # rods divisible by 4. Maximum total # of rods = 48.  
 Rod Spacing = Straight Center-to-Center distance between any (2) adjacent rods (same corner)

### Site Data

BU#: 875447  
 Site Name: F2-4812 ET Hoffman Estates H  
 App #: 76471 Rev #2

### Reactions

Moment:	674	ft-kips
Axial:	10	kips
Shear:	9	kips

### Connection Type: Bolt

### Anchor Rod Data

Qty:	8	
Diam:	2.25	in
Rod Material:	A615-J	
Grade(Fy):	75	ksi
Circle:	38	in
Bolt Spacing, D:	6	in

### Anchor Rod Results

Maximum Rod Tension: 105.2 Kips  
 Allowable Tension: 195.0 Kips  
 Anchor Rod Stress Ratio: 53.9% Pass

### Plate Data

W=Side:	36	in
Thick:	2.25	in
Grade:	55	ksi
B effective:	19.47	in

### Base Plate Results

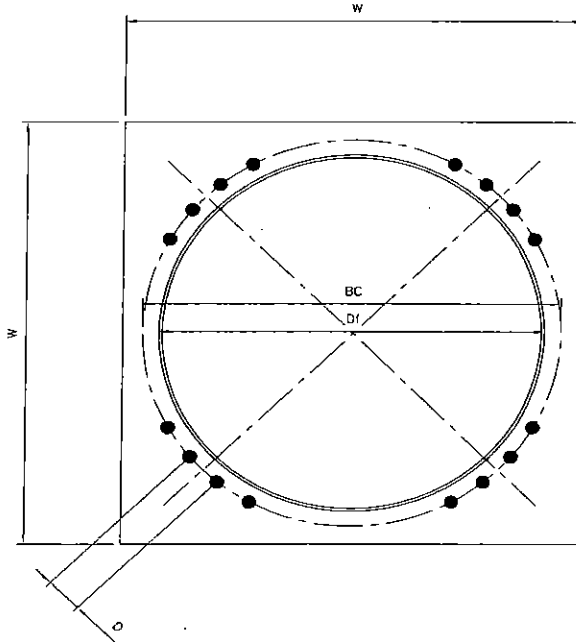
Base Plate Stress: 24.8 ksi  
 Allowable Plate Stress: 55.0 ksi  
 Base Plate Stress Ratio: 45.1% Pass

### Pole Data

Diam:	31.44	in
Thick:	0.2188	in
Grade:	65	ksi

### Stress Increase Factor

ASIF:	1.333	
-------	-------	--



## Monopole Drilled Pier

Checks capacity of a single drilled shaft foundation for a monopole

BU#: 875447

Site Name: F2-4812 ET-Hoffman Estates H

App Number: 76471 Rev #2



Design Reactions		
Shear, S:	9.00	kips
Moment, Mt:	674.00	ft-kips
Tower Weight, Wt:	10.00	kips
Tower Height, H:	88	ft
Base Diameter, BD:	31.4	in

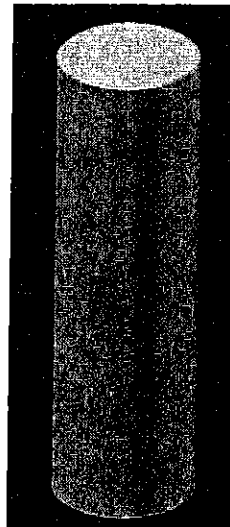
Foundation Dimensions		
Caisson Diameter, CD:	5.0	ft
Ext. Above Grade, E:	0.5	ft
Depth Below Grade, L:	15.5	ft
Neglected Depth, N:	5.0	ft
Rebar Size, Sp:	11	
Rebar Quantity, mp:	12	

Material Properties		
Rebar Tensile, Fy:	60000	psi
Concrete Strength, F'c:	3000	psi
Concrete Density, $\delta_c$ :	133	pcf
Clear Cover, cc:	3	in

Soil Properties		
Soil Unit Weight, $\gamma$ :	98	pcf
Allowable Bearing, Bc:	4.000	ksf
Seismic Zone, z:	1	

Caisson Analysis		
Depth to Zero Shear	5.4	ft
Max Moment	763.22	ft-kips
Required Length	13	ft
Max Soil Moment	1238.4	ft-kips

Design Checks			
	Capacity/ Availability	Demand/ Limits	Check
Minimum Req'd Dia. 1 (ft):	5.00	1.78	OK
Minimum Req'd Dia. 2 (ft):	5.00	4.12	OK
Bearing (ksf):	4.00	0.51	OK
Rebar Area (in <sup>2</sup> ):	18.72	14.14	OK
Pier moment capacity (k-ft):	1608.05	763.22	OK
Rebar spacing (in):	12.73	4.5 < Bs < 12	No Good!
Development Length (in)	118.21	68.36	OK
Required Length (ft):	16.00	13.00	OK
Soil moment capacity(k-ft):	1238.40	674.00	OK



# **Propagation Maps**

**(IL-CHI5456 )**

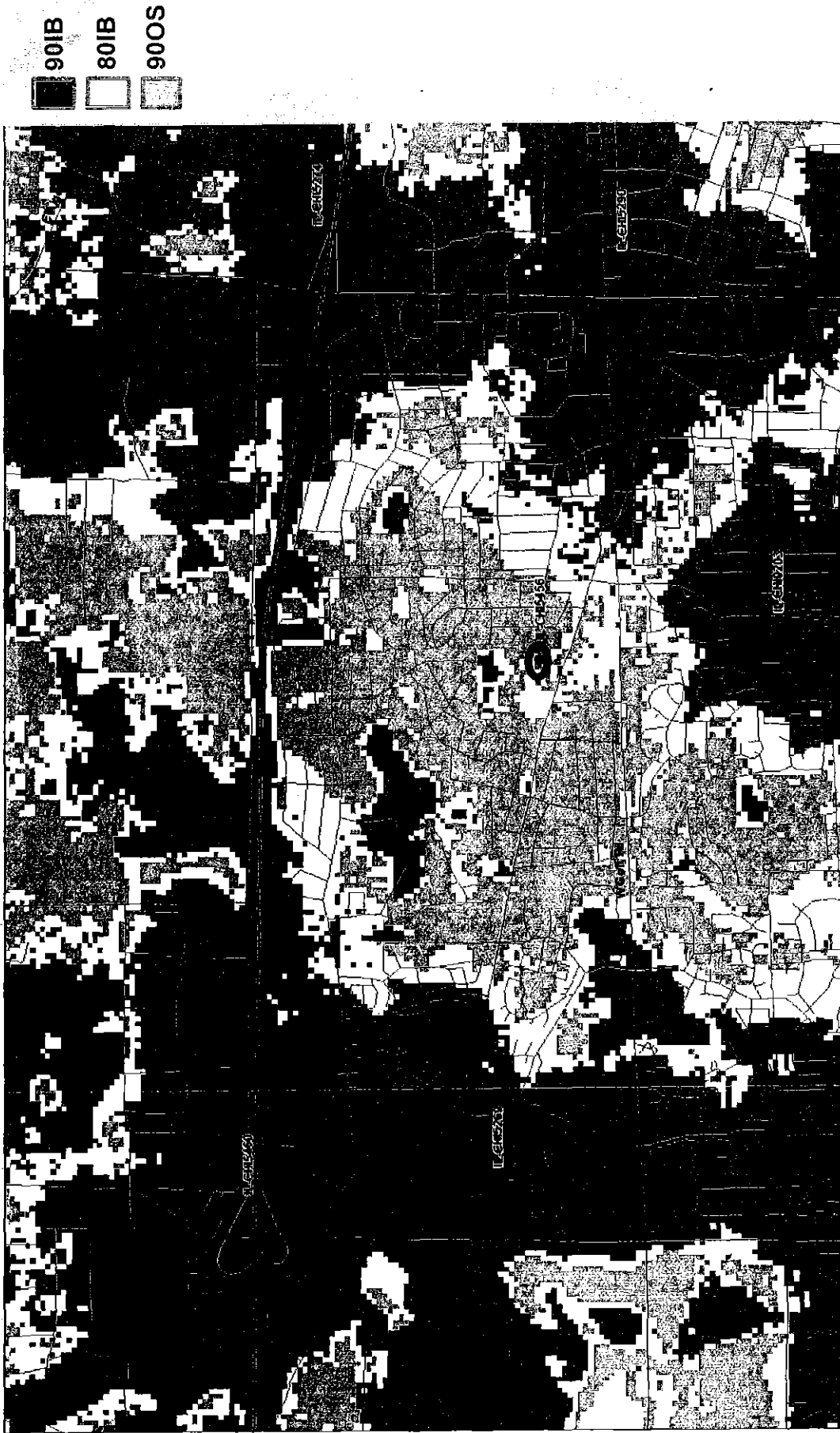
**Market: Chicago**

**Date: 04/14/2010**

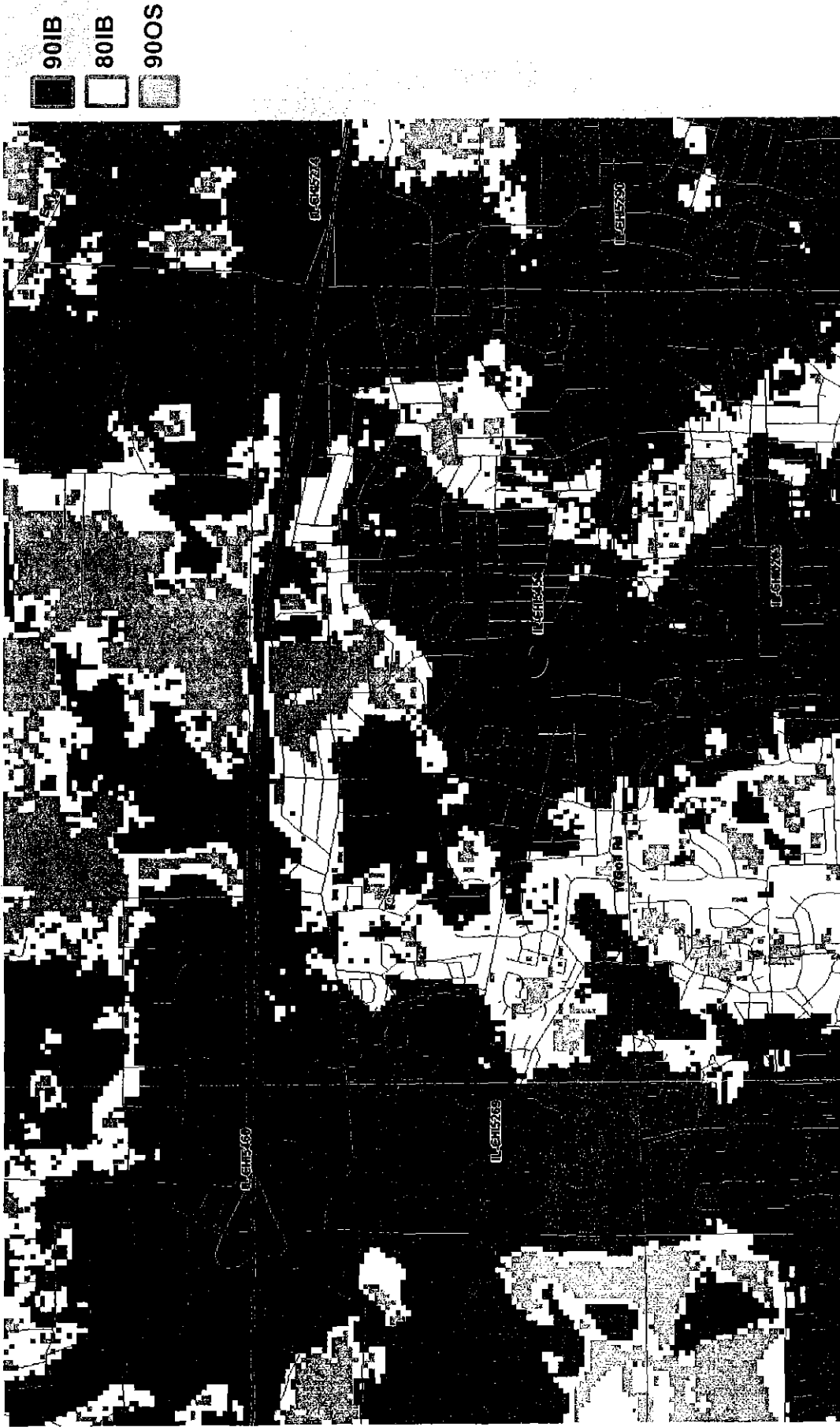
# CHI5456 Site Location - Google View



# Before - Without CH15456



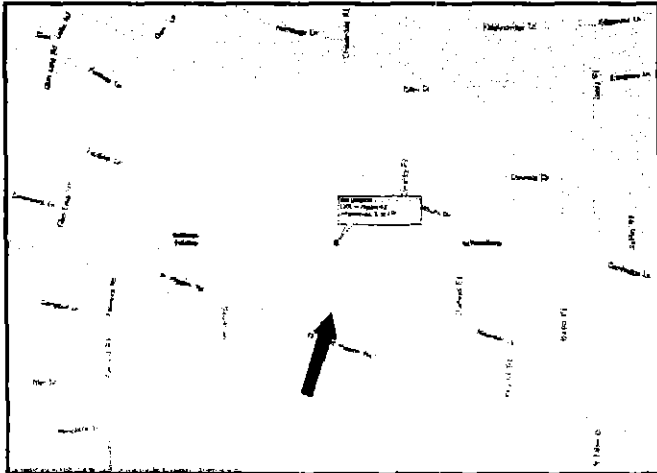
After - With CHI5456



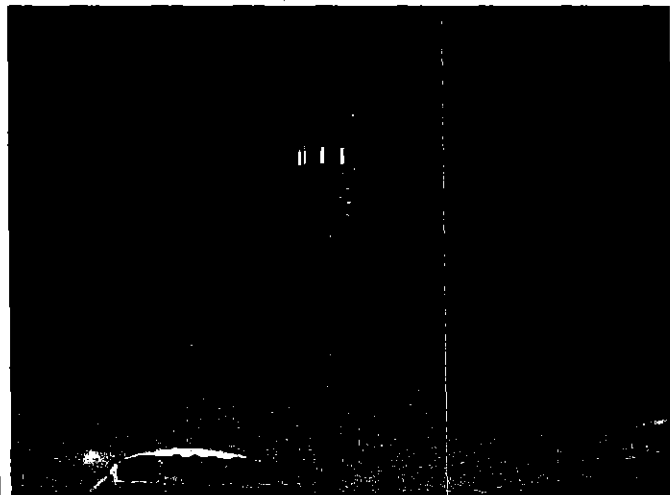


**clearwire**

These depictions are for demonstrative purposes only. They are to be used in addition to the engineering drawings for an accurate representation of site.



**Map of Area**



**Before**

Looking North



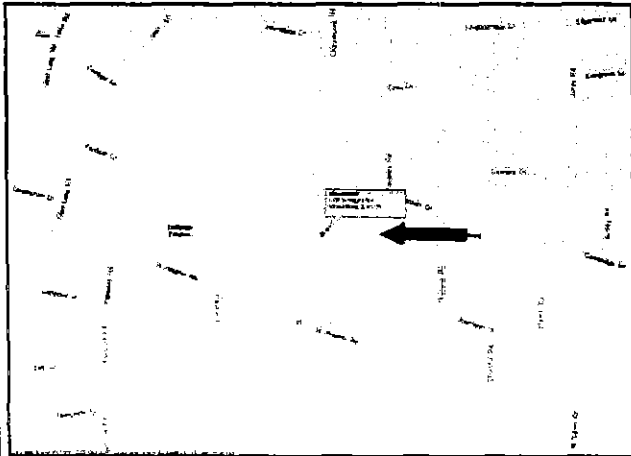
**After**

IL-CHI5456  
Hoffman Estates HS  
1000 W. Higgins Rd.  
Hoffman Estates, IL 60195

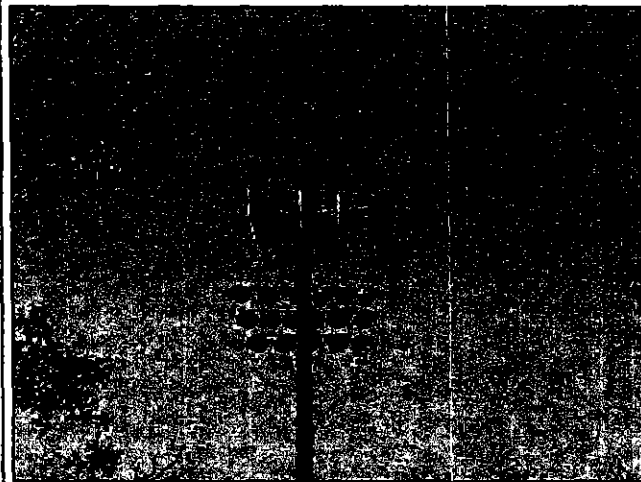
clearwire

These depictions are for demonstrative purposes only. They are to be used in addition to the engineering drawings for an accurate representation of site.

**Fullerton**  
Engineering Consultants



**Map of Area**



**Before**

Looking West



**After**

IL-CHI5456  
Hoffman Estates HS  
1000 W. Higgins Rd.  
Hoffman Estates, IL 60195

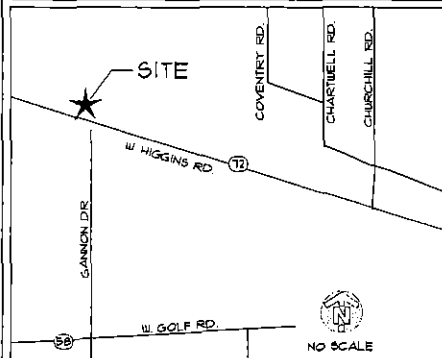
### SHEET INDEX

NO.	DESCRIPTION
T-1	TITLE SHEET
LS-1	SITE SURVEY
C-1	SITE PLAN
C-2	ENLARGED SITE PLAN
C-3	SHELTER/ANTENNA PLAN
C-4	SITE ELEVATION AND DETAILS
E-1	SINGLE LINE AND NOTES

### DRIVING DIRECTIONS

DEPART FROM CLEARWIRE OFFICE:  
 9800 W. HIGGINS RD., ROSEMONT, IL 62018  
 DEPART ON SR-17 (W HIGGINS RD) (WEST)  
 TURN RIGHT ONTO RAMP  
 \*TOLL ROAD\* MERGE ONTO I-50  
 TURN RIGHT ONTO RAMP  
 KEEP LEFT TO STAY ON RAMP  
 BEAR LEFT (SOUTH) ONTO N ROSELLE RD  
 TURN RIGHT (WEST) ONTO SR-58 (W GOLF RD)  
 BEAR RIGHT (NORTH-WEST) ONTO SR-17 (W HIGGINS RD)  
 ARRIVE AT SITE

### VICINITY MAP



# clearw're® wireless broadband

SITE NAME

HOFFMAN H.S.

SITE NUMBER

IL-CHI5456

SITE ADDRESS

1000 W. HIGGINS RD.  
SCHAUMBURG, IL 60193

PROJECT TYPE

BACKHAUL PROJECT

PROJECT TEAM

clearw're®  
wireless broadband  
9800 W. HIGGINS RD.  
SUITE 150  
ROSEMONT, IL 62018  
TEL: (847) 297-9951  
FAX: (847) 297-9958  
**APPLICANT**

EVEREST GROUP  
THE EVEREST GROUP, LLC  
7013 W. 111TH ST.  
WORTH, IL 60482  
TEL: (708) 573-1363  
**REAL ESTATE**

Fullerton Engineering Consultants  
9600 W. BRYN MAUR AVE.  
SUITE 100  
ROSEMONT, ILLINOIS 62018  
TEL: 847-297-0100  
FAX: 847-297-0106  
DESIGN FIRM NO. 184-007458  
**ENGINEER**

- HANDICAP ACCESS REQUIREMENTS ARE NOT REQUIRED
- FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION
- FACILITY HAS NO PLUMBING OR REFRIGERANTS
- THIS FACILITY SHALL MEET OR EXCEED ALL FAA AND FCC REGULATORY REQUIREMENTS
- ALL WORK MUST CONFORM TO CLEARWIRE "CLEARWIRE CONSTRUCTION INSTALLATION GUIDE - UPMAX"

#### SCOPE OF WORK:

- NEW CLEARWIRE BACKHAUL DISH ANTENNAS INSTALLED ON EXISTING MONOPOLE
- NEW CLEARWIRE BACKHAUL EQUIPMENT INSTALLED INSIDE EXISTING SHELTER

### PROJECT SUMMARY

**SITE NAME:** HOFFMAN H.S.  
**SITE NO.:** IL-CHI5456  
**SPRINT HOST NO.:** ILB14  
**TOWER NO.:** CC# 075447  
**SITE ADDRESS:** 1000 W. HIGGINS RD. SCHAUMBURG, IL 60193  
**COUNTY:** COOK  
**LANDLORD ADDRESS:** CROWN CASTLE INTERNATIONAL 3450 W. BRYN MAUR AVE, STE 340 ROSEMONT, IL 62018  
**SITE COORDINATES (FROM CLEARVISION):**  
 LATITUDE: N 42°05'25" (NAD 83)  
 LONGITUDE: W 88°10'46" (NAD 83)  
**ZONING:**  
**JURISDICTION:**  
**BUILDING CODE:** INTERNATIONAL BUILDING CODE 2006 EDITION  
**ELECTRICAL CODE:** NATIONAL ELECTRIC CODE 2005 EDITION

### ENGINEER'S LICENSE

I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE, 2006 EDITION.

LICENSED ENGINEER - STATE OF ILLINOIS



EXPIRES: 11/30/11

SIGNED: 10/22/10

### APPROVALS

CLEARWIRE CONST.	DATE
CLEARWIRE RF	DATE
CLEARWIRE OPS	DATE
LANDLORD	DATE

DRAWING SCALED TO 11"x17"

clearw're®  
wireless broadband

9800 W. HIGGINS RD.  
SUITE 150  
ROSEMONT, IL 62018  
TEL: (847) 297-9951  
FAX: (847) 297-9958



Fullerton Engineering Consultants  
9600 W. BRYN MAUR AVE.  
SUITE 100  
ROSEMONT, ILLINOIS 62018  
TEL: 847-297-0100  
FAX: 847-297-0106  
DESIGN FIRM NO. 184-007458

CHECKED BY: JF			
APPROVED BY: MB			
#	DATE	DESCRIPTION	INT.
05/08/09	02A	REVIEW	RO
05/13/09		FINAL	RA
05/10/10		REVISIONS	JC
06/11/10		REVISIONS	JC

DATE SIGNED: \_\_\_\_\_

SITE NAME

HOFFMAN H.S.

SITE NO.

IL-CHI5456

SITE ADDRESS  
1000 W. HIGGINS RD.  
HOFFMAN ESTATES, IL 60193

SHEET NAME

TITLE SHEET

SHEET NUMBER

T-1

THIS DRAWING IS THE PROPERTY OF FULLERTON ENGINEERING CONSULTANTS, INC. IT IS FOR THE EXCLUSIVE USE OF THIS PROJECT. ANY REUSE OF THIS DRAWING WITHOUT THE EXPRESSED WRITTEN CONSENT OF FULLERTON ENGINEERING CONSULTANTS, INC. IS PROHIBITED.

### SURVEYOR'S NOTE

THE PARENT PARCEL BOUNDARY OF THIS DRAWING IS ILLUSTRATED FROM RECORD INFORMATION AND IS APPROXIMATE. THE TOPOGRAPHICAL SURVEY FOR THIS MAP WAS PERFORMED ON APRIL 22, 2010. NOT TO BE USED AS CONSTRUCTION DRAWINGS

### ELEVATION DATUM

ALL ELEVATIONS ARE BASED ON NAVD 88 DATUM. CONTOURS ARE ILLUSTRATED AT 1.0 INTERVALS. BENCHMARK ELEVATION: 831.78' OUT WEST SIDE OF CONCRETE BASE TO MONUMENT

### ZONING DATA

ACCORDING TO THE VILLAGE OF HOFFMAN ESTATES ZONING MAP ORDNANCE THE PROJECT SITE IS ZONED R3 (ONE FAMILY RESIDENTIAL 10,000 SQ. FT.)

FRONT: 30'  
REAR: 20'  
SIDE: 30'

### FLOOD PLAIN INFORMATION

MANAGED FLOODING AND FLOOD DAMAGE PREVENTION MAP AS PREPARED FOR THE VILLAGE OF HOFFMAN ESTATES, COOK COUNTY, ILLINOIS, COMMUNITY PANEL NUMBER 77031C0185J DATED AUGUST, 2008 AND FIND THAT THE PROJECT SITE IS BE OUTSIDE THE 500-YR FLOODPLAIN.

### BASIS OF BEARINGS

LATITUDE AND LONGITUDE OF SITE REFERENCE POINT ARE BASED ON THE HARN (HIGH ACCURACY NETWORK) MARKS (CORDS 96) BEARINGS ARE BASED ON TRUE NORTH AS DETERMINED BY HARN (HIGH ACCURACY REFERENCE NETWORK) MARKS (CORDS 95)

### PROPRIETOR

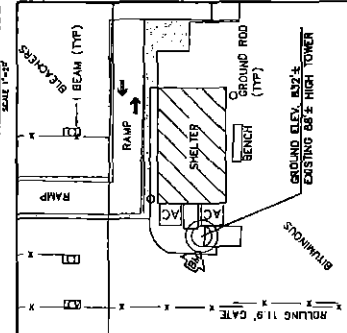
HOFFMAN ESTATES SCHOOL DISTRICT  
1100 W HIGGINS RD  
HOFFMAN ESTATES, IL 60135

### EASEMENTS, COVENANTS, CONDITIONS, AND RESTRICTIONS

THE TITLE SEARCH ISSUED BY ? AS FILE NO. ? DATED ? ? ? ? LISTS THE FOLLOWING EASEMENTS, COVENANTS, CONDITIONS, AND RESTRICTIONS, THAT ARE MATTERS OF SURVEY, AFFECTING THE PARENT PARCEL UNDER ?????????? ?

NO NETWORK PROVIDED

### LEASE AREA DETAIL



### SCALE IN FEET

NOTE: THE ORIGINAL SCALE (1"=60') OF THIS DRAWING WAS PREPARED AS A 11"X17" DRAWING ANY OTHER SIZE DRAWING IS AT A REDUCED SCALE.

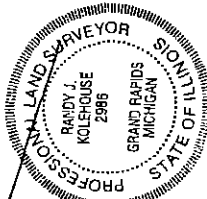
### LEGEND

- ▲ TRAVERSE POINT
- △ AC UNIT
- U.G. UTILITY MARKER
- FIRE HYDRANT
- PI - POST INDICATOR VALUE
- MONUMENT BOX
- RIGHT OF WAY MARKER
- SET WOODSTAKE
- SET
- SET
- WATER METER
- T-ROAD IRON STAKE
- SET IRON STAKE
- BSH
- BR BOX
- CIV POLE
- CIV POLE
- UTILITY POLE
- UTILITY POLE
- ORNAMENTAL LIGHT POLE
- POST
- U.G. UTILITY MARKER
- 50K BOWING
- MALDEN
- SATELLITE DISH
- HAND HOLE
- PINE TREE
- TREE
- CASTING COILINGS
- TELEPHONE UTILITY LINE
- ELECTRIC UTILITY LINE
- WATER UTILITY LINE
- GAS UTILITY LINE
- STEAM UTILITY LINE
- SANITARY UTILITY LINE
- FIBER OPTIC UTILITY LINE
- OVERHEAD UTILITY LINE
- FENCE LINE
- GUARD RAIL
- HAWKCAP PARKING SPACE
- BRUSH
- TREE

I, Randy J. Kohlehouse, do hereby certify that the drawing shows the true and correct location of a survey performed at and under my direction. All dimensions shown are in feet and decimal parts thereof. Given under my hand and seal this 30th day of April, 2008.

*Randy J. Kohlehouse*  
Randy J. Kohlehouse  
Professional Land Surveyor No. 2986  
Expires November 30, 2010

Note: This certification only applies to improvements within the lease site and easements as shown hereon.



LEGAL DESCRIPTION  
PARENT PARCEL  
NO DESCRIPTION PROVIDED

**wireless LLC**  
a Nevada limited liability company,  
Spartan office,  
5600 N. River Rd.  
Rosemont, IL 60018  
(847) 318-3000

**ACEE**  
Fullerton Engineering Consultants  
5800 W. Bryn Mawr,  
Suite 200  
Rosemont, Illinois 60018  
TEL: 847-292-0200  
FAX: 847-292-0205

THIS DRAWING IS THE PROPERTY OF FULLERTON ENGINEERING CONSULTANTS AND IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE EXPRESS WRITTEN CONSENT OF FULLERTON ENGINEERING CONSULTANTS. ANY REPRODUCTION OR USE OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF FULLERTON ENGINEERING CONSULTANTS IS PROHIBITED AND WILL BE CONSIDERED A VIOLATION OF THE PROFESSIONAL SURVEYOR'S ETHICS AND CODE OF CONDUCT.

CHECKED BY: JP  
APPROVED BY: JH  
DATE: 4/30/08  
PROJECT NO: 0018-2008

**Williams & Works**  
5150 S. Main Ave. • Chicago, IL 60631  
A Division of Williams & Morrow

SUBMITTED BY:  
**HOFFMAN H.S.**

SITE NO  
**IL-CHIS456**

SITE ADDRESS  
**1100 W HIGGINS RD  
HOFFMAN ESTATES, IL  
60135**

SHEET TITLE  
**SITE SURVEY**

SHEET NUMBER  
**LS-1**

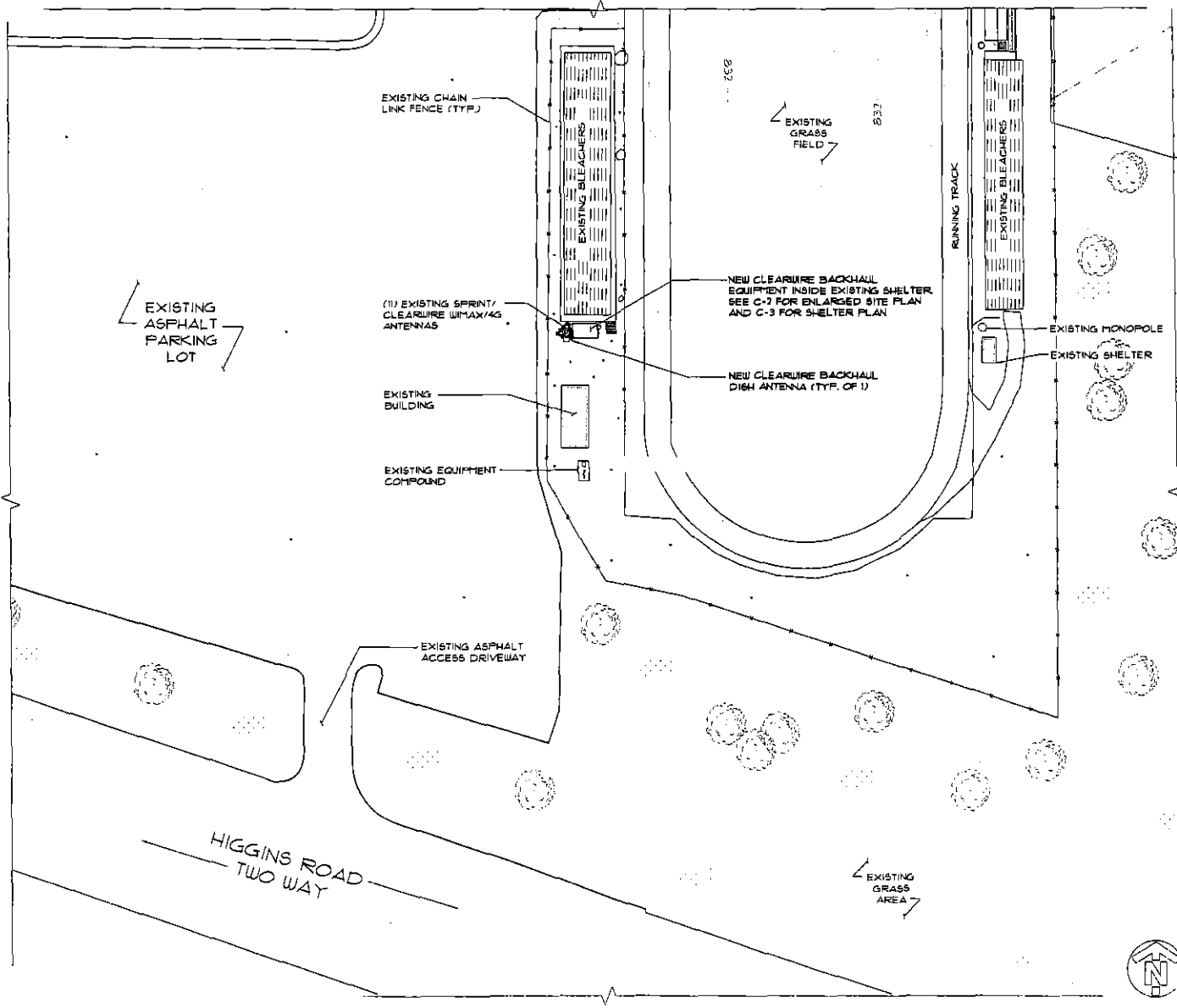
DATE PLOTTED: 04/30/08  
SCALE: 1"=60'  
DRAWN BY: JH  
CHECKED BY: JP  
PROJECT NO: 0018-2008

**ABBREVIATIONS**

A/C	AIR CONDITIONER
AF	ABOVE FINISHED FLOOR
AGL	ABOVE GRADE LEVEL
AMSL	ABOVE MEAN SEA LEVEL
APPROX	APPROXIMATE
AWG	AMERICAN WIRE GAUGE
BLDG	BUILDING
BTS	BASE TRANSMISSION STATION
CAB	CABINET
COL	COLUMN
CONC	CONCRETE
CND	CONDUIT
DAP	DIVERSE ACCESS POINT
DWG	DRAWING
FT	FOOT (FEET)
ESB	EQUIPMENT GROUND BAR
ELEC	ELECTRICAL
ELEV	ELEVATION
EMT	ELECTRICAL METALLIC TUBING
EQUIP	EQUIPMENT
(E)	EXISTING
FND	FOUNDATION
GALV	GALVANIZED
GND	GROUND
GPS	GLOBAL POSITIONING SYSTEM
IN	INCH(ES)
LB (L)	POUND(S)
MAX	MAXIMUM
MFR	MANUFACTURER
MGB	MASTER GROUND BAR
MIN	MINIMUM
(N)	NEW
NEC	NATIONAL ELECTRICAL CODE
NOM	NOMINAL
NTS	NOT TO SCALE
OE/OT	OVERHEAD ELECTRIC/TELCO
POS	POSITION
RGS	RIGID GALVANIZED STEEL
SF	SQUARE FOOT
STL	STEEL
T & B	TOP & BOTTOM
T	TOP
TBD	TO BE DETERMINED
TYP	TYPICAL
UE/UT	UNDERGROUND ELECTRIC/TELCO
UNO	UNLESS NOTED OTHERWISE
VF	VERIFY IN FIELD
W	WITH
XFR	TRANSFORMER

**SYMBOLS**

—+—	CENTERLINE
—E—	PLATE
△	REVISION
⊙	WORK POINT
⊕	UTILITY POLE
[BRICK PATTERN]	BRICK
[COMPRESSED STONE PATTERN]	COMPRESSED STONE
[CONCRETE PATTERN]	CONCRETE
[EARTH PATTERN]	EARTH
[GRAVEL PATTERN]	GRAVEL
[MASONRY PATTERN]	MASONRY
[STEEL PATTERN]	STEEL
—+—	CENTERLINE
—P—	PROPERTY LINE
—L—	LEASE LINE
—E—	EASEMENT LINE
—X—X—	CHAIN LINK FENCE
—□—□—	WOOD FENCE
—UE—	BELOW GRADE ELECTRIC
—UT—	BELOW GRADE TELEPHONE
—OE/OT—	OVERHEAD ELECTRIC/TELEPHONE
L A	SECTION REFERENCE



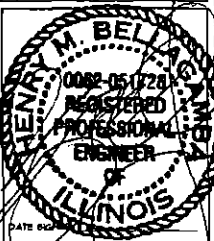
**SITE PLAN**

SCALE: 1" = 80'-0" 1

**clearw're**  
 wireless broadband  
 9800 W. HIGGINS RD.  
 SUITE 150  
 ROSEMONT, IL 60018  
 TEL: (847) 292-9351  
 FAX: (847) 292-9358

**AMEC**  
 Fullerton Engineering Consultants  
 9800 W. BIRN HALL AVE.  
 SUITE 300  
 ROSEMONT, ILLINOIS 60018  
 TEL: 847-292-0700  
 FAX: 847-292-0200  
 DESIGN FIRM NO. 184-007498

CHECKED BY:	JP		
APPROVED BY:	MTB		
#	DATE	DESCRIPTION	INT
	05/26/09	NOX REVIEW	RO
	05/23/09	FINAL	RA
	05/04/09	REVISIONS	JK
	06/27/08	REVISIONS	JK



SITE NAME  
**HOFFMAN H.S.**

SITE NO  
**IL-CHI5456**

SITE ADDRESS  
 12000 W. HIGGINS RD.  
 HOFFMAN ESTATES, IL 60135

SHEET NAME  
**SITE PLAN**

SHEET NUMBER  
**C-1**

THIS DRAWING IS THE PROPERTY OF FULLERTON ENGINEERING CONSULTANTS, INC. IT IS FOR THE EXCLUSIVE USE OF THIS DRAWING WITHOUT THE EXPRESSED WRITTEN CONSENT OF FULLERTON ENGINEERING CONSULTANTS, INC. IS PROHIBITED.

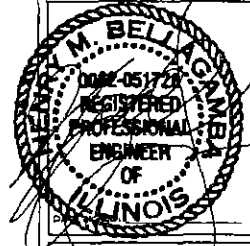
**clearw're**  
wireless broadband

9801 W. HIGGINS RD.  
SUITE 150  
ROSEMONT, IL 60018  
TEL (847) 292-9551  
FAX (847) 292-9558



Fullerton Engineering Consultants  
5600 W. BRYN MAUR AVE.  
SUITE 300  
ROSEMONT, ILLINOIS 60018  
TEL: 847-292-0700  
FAX: 847-292-0706  
DESIGN FIRM NO. 024-002498

CHECKED BY:	JP	
APPROVED BY:	MB	
DATE	DESCRIPTION	BY
05/08/09	50% REVIEW	MB
05/23/09	FINAL	MB
05/24/09	REVISIONS	JC
06/07/09	REVISIONS	JC



SITE NAME

HOFFMAN H.S.

SITE NO

IL-CH15456

SITE ADDRESS

1000 W. HIGGINS RD.  
HOFFMAN ESTATES, IL 60185

SHEET NAME

ENLARGED  
SITE PLAN

SHEET NUMBER

C-2

EXISTING CONCRETE AREA

EXISTING BLEACHER AREA

(3) EXISTING CLEARWIRE WIMAX/4G ANTENNA TO REMAIN

NEW 2" INNERDUCT W/NEW CLEARWIRE CABLE(6) AND (1) FULL STRING ROUTED ON EXISTING COAX CABLE. (1) SHOWN FOR CLARITY

NEW CLEARWIRE BACKHAUL EQUIPMENT INSIDE EXISTING SHELTER SEE C-3 FOR SHELTER DETAILS

(1) EXISTING SPRINT ANTENNA TO REMAIN

EXISTING MONOPOLE FOUNDATION

(2) EXISTING IDEN ANTENNAS TO BE REMOVED AND REPLACED WITH (1) NEW IDEN QUAD POLE ANTENNA

EXISTING MONOPOLE

EXISTING COAX CABLE ENCLOSURE

EXISTING GPS ANTENNA (TTP)

NEW CLEARWIRE BACKHAUL DISH ANTENNA MOUNTED ABOVE EXISTING CLEARWIRE WIMAX/4G ANTENNA (TTP OF 1) SEE C-3 AND C-4 FOR DETAILS

REMOVE AND REINSTALL EXISTING METAL ENCLOSURE AS REQUIRED

EXISTING CHAIN LINK FENCE

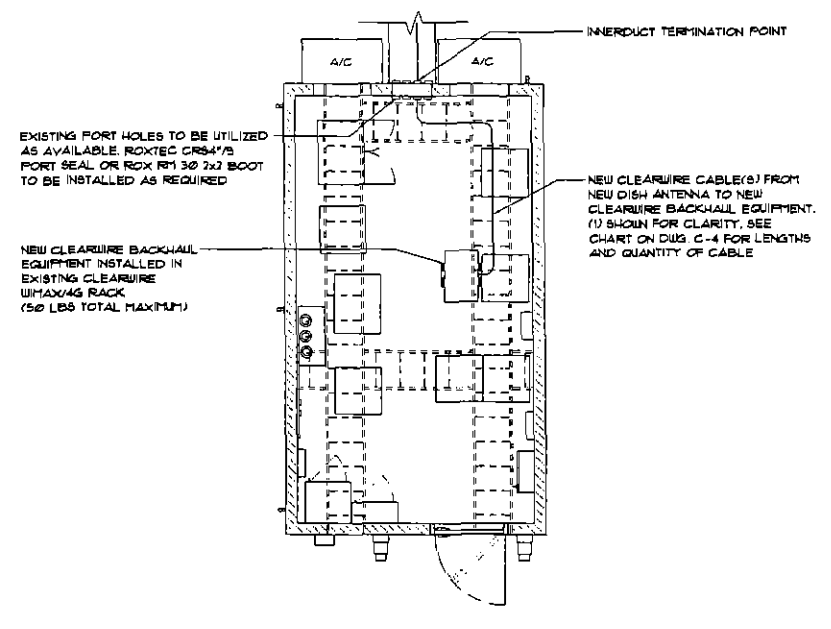
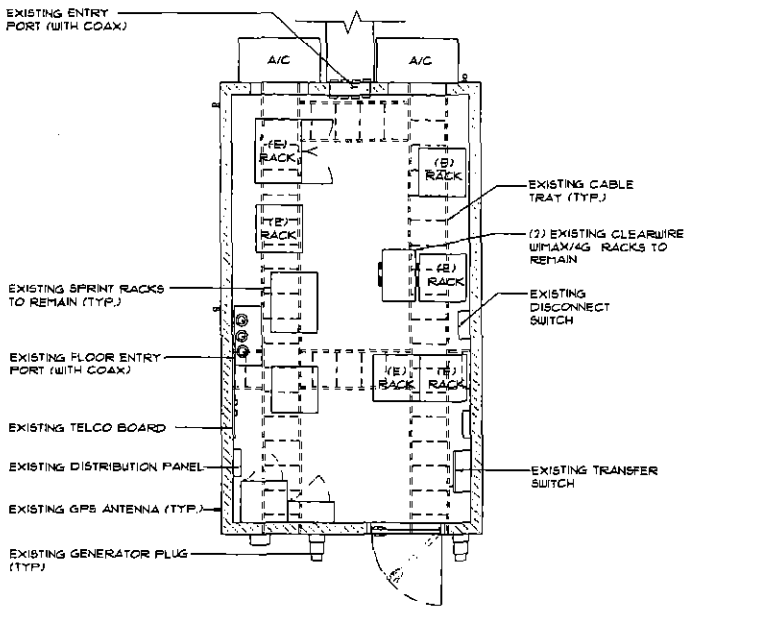
EXISTING ASPHALT AREA



ENLARGED SITE PLAN

SCALE: 3/16" = 1'-0" |

THIS DRAWING IS THE PROPERTY OF FULLERTON ENGINEERING CONSULTANTS, INC. IT IS FOR THE EXCLUSIVE USE OF THIS PROJECT AND IS SUBJECT TO THE DRAWING WITHOUT THE EXPRESSED WRITTEN CONSENT OF FULLERTON ENGINEERING CONSULTANTS, INC. IS PROHIBITED.



**clearwire**  
 9800 W HIGGINS RD.  
 SUITE 100  
 ROSEMONT, IL 60018  
 TEL: (647) 797-9951  
 FAX: (647) 797-9958

**Fuller Engineering Consultants**  
 9600 W BRYN MAWR AVE  
 SUITE 100  
 ROSEMONT, ILLINOIS 60018  
 TEL: 647-297-0100  
 FAX: 647-297-0106  
 DESIGN FIRM NO. 184-0291438

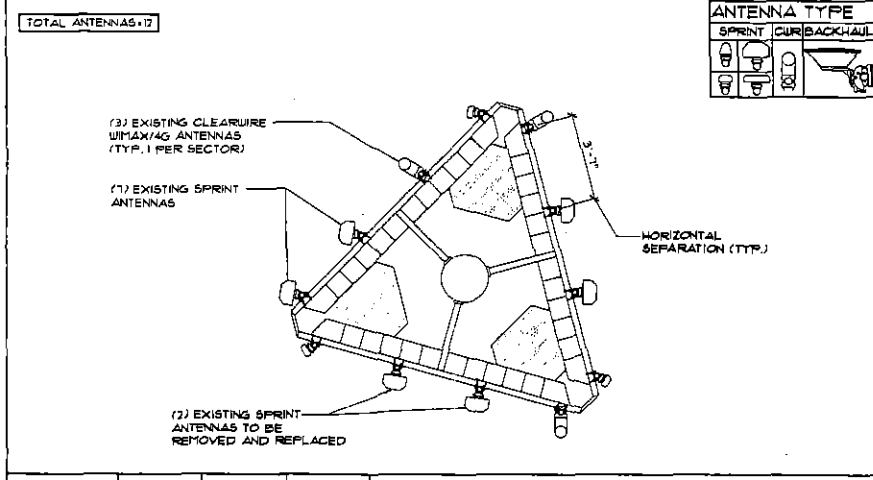
CHECKED BY:	JJP	
APPROVED BY:	MB	
DATE	DESCRIPTION	BY
05/06/10	50% REVIEW	MB
05/13/10	FINAL	MB
05/04/10	REVISIONS	KC
06/17/10	REVISIONS	KC

EXISTING SHELTER PLAN

SCALE: 3/16" = 1'-0"

NEW SHELTER PLAN

SCALE: 3/16" = 1'-0"

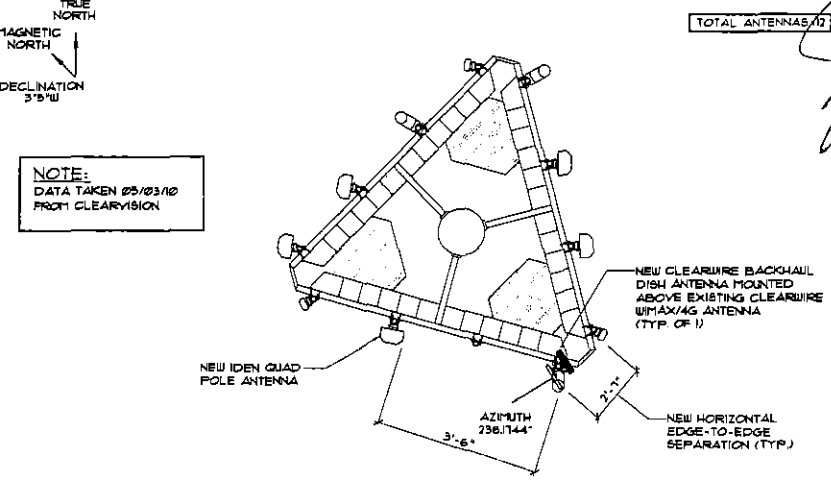


SECTOR	1	2	3
CLEARWIRE AZIMUTH PER SPRINT SITERRA- SEE NOTE	60°	180°	300°

**NOTE:**  
 CONTRACTOR IS REQUIRED TO DISMANTLE EXISTING CLEARWIRE ANTENNA FOR NEW MOUNTING PIPE INSTALLATION, CONTRACTOR SHALL FIELD VERIFY CLEARWIRE ANTENNA AZIMUTH & REPLACE TO EXISTING AZIMUTH.

EXISTING ANTENNA CONFIGURATION/BACKHAUL SCHEDULE

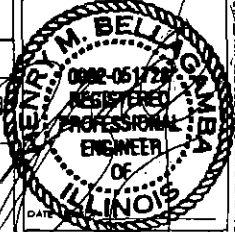
SCALE: 3/16" = 1'-0"



ANTENNA AZIMUTH	ANTENNA MODEL	SIZE (NO) (IN)	ANTENNA MOUNT HEIGHT (FT)	DISTANCE (MILES)	RECEIVING SITE NUMBER	RADIO MODEL
738.1744°	MT-485025	14"	9'	7.489	IL-CH15462	PTP600

NEW ANTENNA CONFIGURATION/BACKHAUL SCHEDULE

SCALE: 3/16" = 1'-0"



SITE NAME

HOFFMAN H.S.

SITE NO.

IL-CH15456

SITE ADDRESS

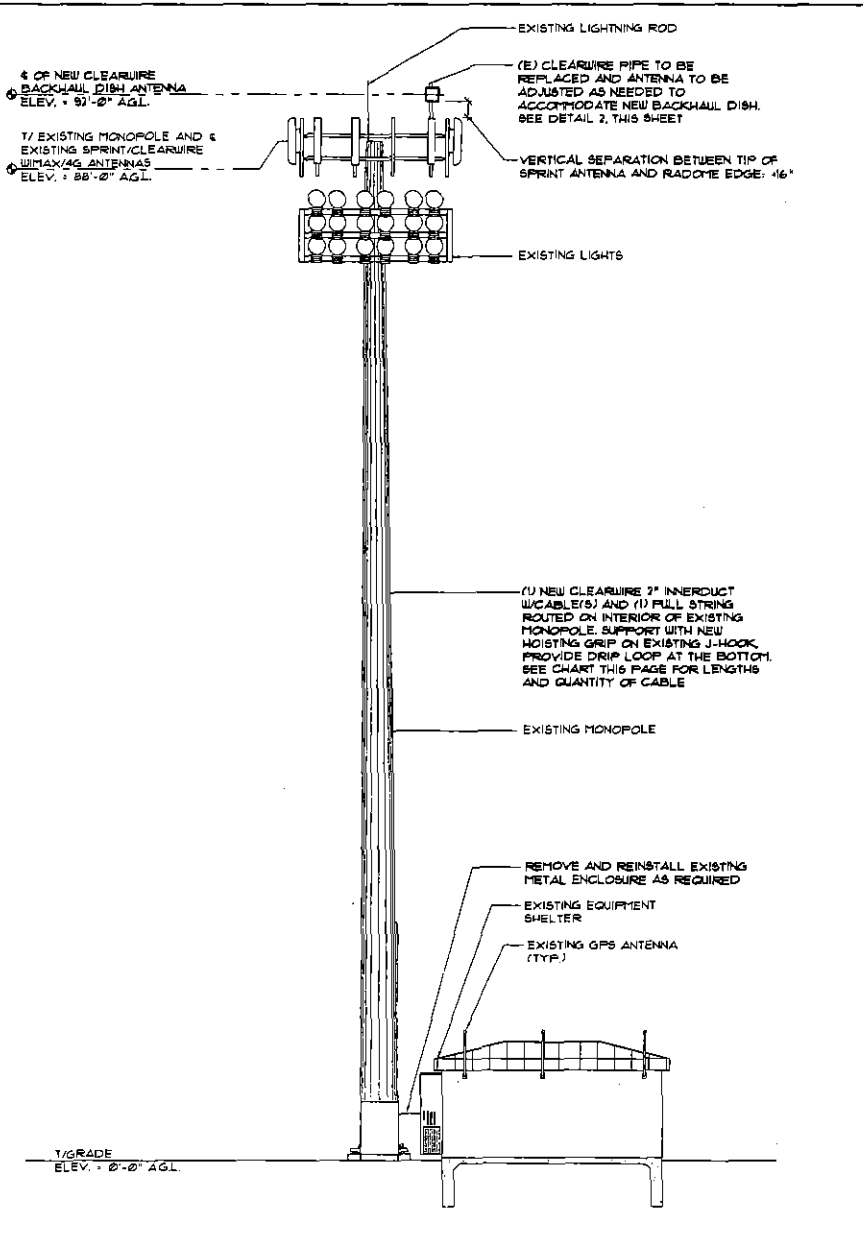
1000 W. HIGGINS RD.  
 HOFFMAN ESTATES, IL 60135

SHEET NAME  
 SHELTER/  
 ANTENNA  
 PLAN

SHEET NUMBER

C-3

THIS DRAWING IS THE PROPERTY OF FULLER ENGINEERING CONSULTANTS, INC. IT IS FOR THE EXCLUSIVE USE OF THIS PROJECT. ANY REUSE OF THIS DRAWING WITHOUT THE EXPRESSED WRITTEN CONSENT OF FULLER ENGINEERING CONSULTANTS, INC. IS PROHIBITED.

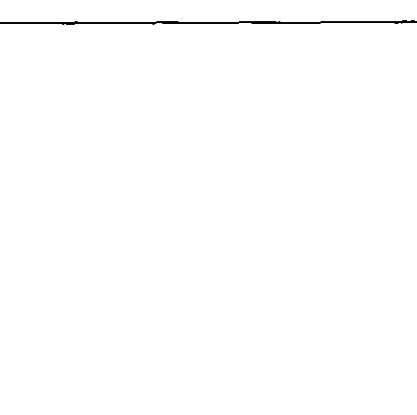
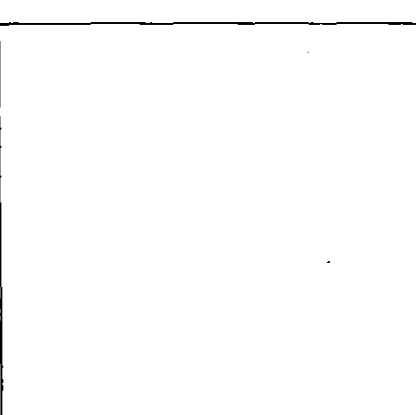


- ANTENNA NOTES:**
1. THE SIZE, HEIGHT, AND DIRECTION OF THE ANTENNA SHALL BE ADJUSTED TO MEET SYSTEM REQUIREMENTS.
  2. CONTRACTOR SHALL VERIFY HEIGHT OF ANTENNA WITH CLEARWIRE REPRESENTATIVE.
  3. ALL ANTENNA AZIMUTH TO BE FROM TRUE NORTH.

- STRUCTURAL NOTES:**
1. STRUCTURAL CALCULATION PREPARED BY FULLERTON ENGINEERING CONSULTANTS. CONTRACTOR TO COORDINATE WITH CLEARWIRE REPRESENTATIVE TO OBTAIN A COPY.
  2. CONTRACTOR TO REFER TO TOWER STRUCTURAL CALCULATIONS FOR ADDITIONAL LOADS. NO ERECTION OR MODIFICATION OF TOWER SHALL BE MADE WITHOUT APPROVAL OF STRUCTURAL ENGINEER.

**BACKHAUL CABLE SCHEDULE**

ANTENNA TYPE	AZIMUTH	QTY.	ESTIMATED LENGTH	RADIO MODEL	TYPE	SIZE
DISH	238.144°	1 x 130	130 FT.	FTF600	CAT-5E	5/16" #
		<b>TOTAL</b>	<b>260 FT.</b>	<b>OF</b>	<b>CAT-5E</b>	<b>5/16" #</b>



ELEVATION SCALE: N.T.S. | DISH SUPPORT DETAIL SCALE: N.T.S. 2 | BACKHAUL ANTENNA DETAIL SCALE: N.T.S. 3

**clearw're**  
Engineering & Consulting

9801 W. HIGGINS RD.  
SUITE 150  
ROSEMONT, IL 60018  
TEL: (847) 292-9557  
FAX: (847) 297-9558

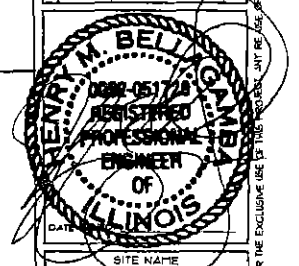
**AFEC**

Fullerton Engineering Consultants  
9600 W. BRYN MAWR AVE.  
SUITE 200  
ROSEMONT, ILLINOIS 60018  
TEL: 847-297-0200  
FAX: 847-292-0206  
DESIGN FIRM NO. 184-002498

CHECKED BY: JP

APPROVED BY: MB

#	DATE	DESCRIPTION	INT.
	05/06/09	SDA REVIEW	RD
	05/03/09	FINAL	RA
	05/04/09	REVISIONS	JK
	06/17/10	REVISIONS	JT



SITE NAME  
HOFFMAN H.S.

SITE NO.  
IL-CHI5456

SITE ADDRESS  
1000 W. HIGGINS RD.  
HOFFMAN ESTATES, IL 60195

SHEET NAME  
SITE ELEVATION AND DETAILS

SHEET NUMBER  
C-4

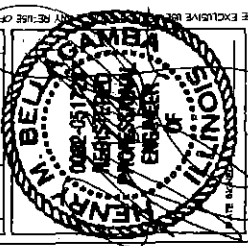
THIS DRAWING IS THE PROPERTY OF FULLERTON ENGINEERING CONSULTANTS, INC. IT IS FOR THE EXCLUSIVE USE OF THIS PROJECT. IT BE REUSED OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF FULLERTON ENGINEERING CONSULTANTS, INC. IS PROHIBITED.



**clearwire**  
wireless broadband  
9800 W. HIGGINS RD.  
SUITE 100  
ROSEMONT, IL 60018  
TEL (847) 797-9397  
FAX (847) 797-9398

**Fullerton Engineering Consultants**  
9600 W. BRINT PAUR AVE.  
SUITE 200  
ROSEMONT, ILLINOIS 60018  
TEL (847) 797-0700  
FAX (847) 797-0701  
DESIGN FIRST NO. 84-002198

APPROVED BY:	DATE:	DESCRIPTION:	BY:
JP	08/08/09	50% REVIEW	JP
	08/23/09	FINAL	JP
	08/24/09	REVISIONS	JP
	08/27/09	REVISIONS	JP



SITE NAME  
**HOFFMAN H.S.**

SITE NO.  
**IL-CH15456**

SITE ADDRESS  
**10000 W. HIGGINS RD.  
HOFFMAN ESTATES, IL 60138**

SHEET NAME  
**SINGLE LINE AND NOTES**

SHEET NUMBER  
**E-1**

- ANTENNA INSTALLATION SHALL BE CONDUCTED BY FIELD CREWS EXPERIENCED IN THE ASSEMBLY AND ERECTION OF RADIO ANTENNAS, TRANSMISSION LINES, AND SUPPORT STRUCTURES.
- CONTRACT COMPANIES AND THEIR EMPLOYEES SHALL OBSERVE AND PRACTICE ALL OSHA SAFETY GUIDELINES WHILE PERFORMING SERVICE FOR CLEARWIRE.
- CONTRACTOR SHALL PERFORM A SAFETY INSPECTION PRIOR TO COMMENCING WORK AND OBTAIN A SAFETY CLEARANCE. LEASED OR OWNED SITE CLEARANCE SHOULD BE IMMEDIATELY NOTIFIED OF SAFETY HAZARD(S) FOUND DURING THE INSPECTION THAT COULD CAUSE DAMAGE TO PROPERTY. ALL WORK SHALL BE HALTED UNTIL SUCH THE HAZARD(S) IS/ARE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE.

SCALE: N.T.S. 2

**ANTENNA INSTALLATION NOTES**

- ALL BASE TRANSMITTER SITE EQUIPMENT SHALL BE GROUNDED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC), LIGHTNING PROTECTION CODE (NFA 700) AND CLEARWIRE STANDARDS.
- ALL UNDERGROUND (BELOW GRADE) GROUNDING CONNECTIONS SHALL BE MADE TO THE MAIN ELECTRICAL SERVICE PANEL. ALL ATTACHMENTS BELOW GRADE ARE NOT ACCEPTABLE. CONNECTIONS SHALL INCLUDE ALL CABLE TO CABLE SPLICES (TEES, Xs, ETC.), ALL CABLE CONNECTIONS TO GROUND RODS, GROUND ROD SPLICES, AND LIGHTNING PROTECTION SYSTEMS AS INDICATED. ALL MATERIALS USED (WELDS, WELDING METAL, TOOLS, ETC.) SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATION AND PROCEDURES.
- ALL GROUNDING AND BONDING CONDUCTORS THAT ARE CONNECTED ABOVE GRADE OR INTERIOR TO A BUILDING SHALL BE CONNECTED USING TUD HOLE CRIMP TYPE (COMPRESSION) CONNECTIONS FOR 7 AND 1/8 AWG INSULATED COPPER CONDUCTOR.
- ALL GROUNDING CONNECTIONS, INTERIOR AND EXTERIOR MADE THROUGHOUT THIS DOCUMENT SHALL BE MADE USING AN ANTI-OXIDATION COMPOUND. THE ANTI-OXIDATION COMPOUND SHALL BE THOMAS AND BETTS NORS-SHIELD (1% OF JET LUBE INC.) OR APPROVED EQUAL. COAT ALL WIRES BEFORE CONNECTING.
- ALL CONNECTIONS SHALL BE MADE TO BARE METAL. ALL PAINTED SURFACES SHALL BE FIELD INSPECTED AND MODIFIED TO ENSURE PROPER CONTACT. PRIOR TO EXOTHERMICALLY CONNECTING METALS, THE SURFACES SHALL BE REMOVED OF ALL SURFACE OXIDE. METALS SHALL BE PROTECTED FROM CORROSION BY SPRAYING AND SHALL BE SPRAYED WITH COLD GALVANIZING AFTER COMPLETION.
- FERRUS METAL CLIPS WHICH COMPLETELY SURROUND THE GROUNDING CONDUCTOR SHALL NOT BE USED. CLIPS OF THE FOLLOWING MATERIALS AND TYPES SHALL BE USED TO SUPPORT GROUNDING CONDUCTORS:  
 STAINLESS STEEL CLIPS WHICH DO NOT COMPLETELY SURROUND THE GROUNDING CONDUCTOR.  
 FERRUS METAL CLIPS WHICH DO NOT COMPLETELY SURROUND THE GROUNDING CONDUCTOR.  
 ALL HARDWARE BOLTS, NUTS, WASHERS AND LOCK WASHERS SHALL BE 1/8" STAINLESS STEEL. EVERY CONNECTION SHALL BE BOLT-FLAT WASHER-BUSS-LUG-FLAT WASHER-LOCK WASHER-NUT IN THAT EXACT ORDER WITH NUT FACING OUTWARD. BACK-TO-BACK LUGGINGS, BOLT-FLAT WASHER-LUG-FLAT WASHER-LUG-BUSS-LUG-FLAT WASHER-LOCK WASHER-NUT SHALL BE USED TO CONNECT MANY LUGS TO A BUS BAR STACKING OF LUGS. BUSS-LUGS-1,US,18 IS NOT ACCEPTABLE.

SCALE: N.T.S. 5

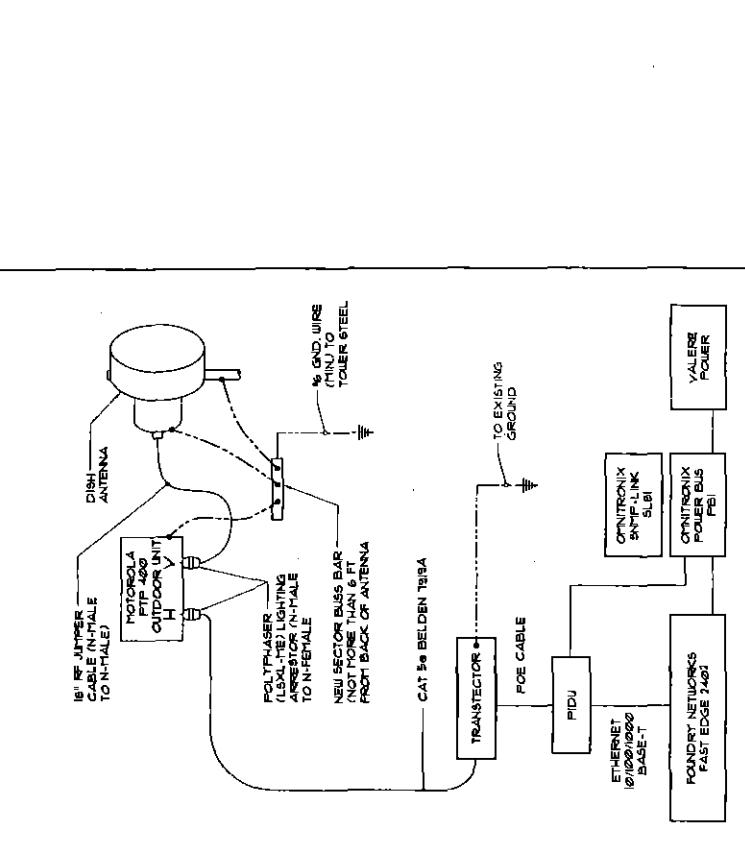
**GROUNDING NOTES**

- THE EQUIPAGE OF THE IRIS (DAP HEADS) MUST FOLLOW THE MOTOROLA COLOR ASSIGNMENT OF RED/BUS/YELLOW REGARDLESS OF THE ACTUAL COLOR OF THE IRIS. THE RED/BUS/YELLOW IRIS MUST BE EQUIPPED WITH AN IRIS. IN A SITUATION WHERE THE RED/BUS/YELLOW IRIS IS NOT EQUIPPED WITH AN IRIS, THE FIRST IRIS (DAP HEAD) MUST BE LABELED RED EVEN IF IT LIES WITHIN THE BLUE SECTOR BASED ON ANTENNA ORIENTATION. ANY MICROVAVE ANTENNAS MUST BE LABELED BASED ON THE ORIENTATION. IN SUCH CASE THERE WOULD BE AN IRIS (DAP HEAD) LABELED RED AND THE OTHER IRIS (DAP HEAD) LABELED BLUE WITHIN THE BLUE SECTOR LOCATED BETWEEN 61 AND 180 DEGREES.
- THE CONTRACTOR SHALL USE SECTOR APPROPRIATE COLORED TAPE TO DENOTE THE ANTENNA AND MICROVAVE DICES. TAPE SHOULD BE WRAPPED AROUND THE TOP AND BOTTOM OF THE SUPPORT PIPE AS DEPICTED IN THE TABLE ABOVE.

SECTOR DEGREE RANGE	MARKING METHOD COLOR BANDS	MARKING METHOD NUMBER OF BANDS
1 30°-60°	RED	SMALLEST NUMBER WILL BE LABELED 'R'. THE NEXT LARGER NUMBER WILL BE LABELED 'R1'.
2 61°-180°	BLUE	SMALLEST NUMBER WILL BE LABELED 'B'. THE NEXT LARGER NUMBER WILL BE LABELED 'B1'.
3 181°-300°	YELLOW	SMALLEST NUMBER WILL BE LABELED 'Y'. THE NEXT LARGER NUMBER WILL BE LABELED 'Y1'.

SCALE: N.T.S. 1

**DISH/ANTENNA COLOR CODING NOTES**



SCALE: N.T.S. 3

**MOTOROLA SINGLE LINE DIAGRAM**

SCALE: N.T.S. 4

**GROUNDING NOTES**

SCALE: N.T.S. 5

**ADDITIONAL  
BUSINESS**

VILLAGE OF HOFFMAN ESTATES

**AN ORDINANCE GRANTING A VARIATION TO  
PREMISES AT 820 CLARENDON STREET, HOFFMAN ESTATES, ILLINOIS**

WHEREAS, the Zoning Board of Appeals, at a public meeting duly called and held according to law on July 20, 2010, considered the request by John and Laura Zawadzki, 820 Clarendon Street, the owner of record of property legally described on Exhibit "A" and attached hereto and made a part hereof, to consider the request of a variation to permit the construction of a garage addition on the property located at 820 Clarendon Street; and

WHEREAS, the Zoning Board of Appeals made certain Finding of Fact attached hereto and made a part hereof as Exhibit "B" and recommended approval of a variation to the Board of Trustees; and

WHEREAS, it appears that there are particular hardships and unique circumstances from the application of the strict letter of the Zoning Ordinance to the property in question and that the proposed setback variation has met the standards of Section 9-1-15-C of the Hoffman Estates Municipal Code; and

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: The Zoning Ordinance of the Village of Hoffman Estates be so varied as to permit the granting of a thirteen foot, ten inch (13'10") setback variation under Section 9-5-3-D-6 of the Hoffman Estates Municipal Code to permit an addition to be six feet, two inches (6'2") from the (northwest) rear property line instead of the minimum required twenty feet (20') on the property commonly known as 820 Clarendon Street.

Section 2: This variation is subject to the conditions that per Section 9-3-6-K-2 of the Zoning Code, the existing garage shall be converted to living space, including removal of the garage door, and per Section 9-3-2-C-2 of the Zoning Code, the existing driveway shall be removed. The garage conversion and driveway removal shall occur prior to issuance of a certificate of occupancy for the new garage addition. No lights or doors shall be installed on the northwest side of the new garage addition facing the neighboring property.

Section 3: The Village Clerk is hereby authorized to publish this ordinance in pamphlet form.

Section 4: This Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS \_\_\_\_\_ day of \_\_\_\_\_, 2010

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Cary J. Collins	_____	_____	_____	_____
Trustee Raymond M. Kincaid	_____	_____	_____	_____
Trustee Jacquelyn Green	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2010

\_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk

Published in pamphlet form this \_\_\_\_\_ day of \_\_\_\_\_, 2010.

**EXHIBIT "A"**

**LEGAL DESCRIPTION:**

**P.I.N. 07-15-404-023**

Lot 13 in Block 35 in Hoffman Estates II being a subdivision of that part lying south of Higgins Road (as that road existed on August 30, 1926) of the north west quarter of the south west quarter of Section 14 and of the north east quarter of Section 15 and of the north half of the south east quarter of Section 15, all in Township 41 North, Range 10 East of the Third Principal Meridian, according to the plat thereof recorded March 8, 1956 as Document No. 16515708, in Cook County, Illinois.

VILLAGE OF HOFFMAN ESTATES  
ZONING BOARD OF APPEALS  
FINDING OF FACT

DATE OF PUBLIC HEARING: July 20, 2010

DATE OF PRESENTATION TO VILLAGE BOARD: August 2, 2010

PETITION: Hearing held at the request of John and Laura Zawadzki to consider variations from the Zoning Code to permit the construction of a garage addition on the property located at 820 Clarendon Street.

DISTRICT IN WHICH PROPERTY IS LOCATED: R-3, One Family Residential District

ZONING CODE SECTION(S) FOR VARIATION(S): 9-5-3-D-6

FINDING-OF-FACT: The Zoning Board of Appeals (ZBA) found that the Standards for a Variation (9-1-15-C) were met.

MOTION: Request to grant John and Laura Zawadzki of 820 Clarendon Street, *a 13 foot 10 inch rear yard setback variation from Section 9-5-3-D-6 to permit an addition to be 6 feet 2 inches from the (northwest) rear property line instead of the minimum required 20 feet.* The following conditions shall apply:

1. Per Section 9-3-6-K-2 of the Zoning Code the existing garage shall be converted to living space, including removal of the garage door, and per Section 9-3-2-C-2 of the Zoning Code the existing driveway shall be removed. The garage conversion and driveway removal shall occur prior to issuance of a certificate of occupancy for the new garage addition.
2. No lights or doors shall be installed on the northwest side of the new garage addition facing the neighboring property.

RECOMMENDATION: The Zoning Board of Appeals (ZBA) recommends **approval** of this request.

AUDIENCE COMMENTS

None.

VOTE:

5 Ayes

0 Nay

2 Absent (Ali, Wilson)

ZONING BOARD OF APPEALS

Chairman William Weaver

Vice-Chairperson Denise Wilson

Michael Ciffone

Masoom Ali

Donna Boomgarden

Michael Gaeta

Gaurav Patel

**\* IMMEDIATE AUTHORIZATION TO APPLY FOR PERMITS IS REQUESTED \***

**THIS VARIATION WILL EXPIRE UNLESS ACTED UPON WITHIN  
ONE (1) YEAR OF VILLAGE BOARD APPROVAL**

FINDING OF FACT WRITTEN BY DONNA BOOMGARDEN

VILLAGE OF HOFFMAN ESTATES

**AN ORDINANCE APPROVING A MASTER SIGN PLAN IN ACCORDANCE WITH SECTION III.B.6 OF THE PRAIRIE STONE SIGN REQUIREMENTS FOR PRAIRIE POINTE ON THE PROPERTY LOCATED AT THE SOUTHWEST CORNER OF HOFFMAN BOULEVARD AND ROUTE 59**

WHEREAS, the Zoning Board of Appeals of the Village of Hoffman Estates, at public hearings called and held according to law on June 22 and July 20, 2010, considered the request of McShane Corporation and Prairie Pointe Center Development LLC/Prairie Pointe Medical Office Center LLC for a Master Sign Plan on property located at the southwest corner of Hoffman Boulevard and Route 59 (including 4885 Hoffman Boulevard in the Prairie Stone Business Park); and

WHEREAS, the Zoning Board of Appeals made a certain Finding of Fact attached hereto and made a part hereof as Exhibit "B" and recommended approval of said amendment to the Board of Trustees.

WHEREAS, the President and Board of Trustees of the Village of Hoffman Estates, after reviewing the recommendation of said Zoning Board of Appeals, find and believe it to be in the best interest of the Village that amendment to the Hoffman Estates Municipal Code be granted.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: That the Master Sign Plan attached hereto as Exhibit "A" shall be the approved Master Sign Plan for signage on the property located at the southwest corner of Hoffman Boulevard and Route 59 (including 4885 Hoffman Boulevard in the Prairie Stone Business Park), in accordance with Section III.B.6 of the Prairie Stone Sign Requirements for Prairie Pointe (marketing name, Parcel 23) based on the "Gateway to 59/90 Master Sign Plan Package" (dated July 20, 2010).

Section 2: That this Master Sign Plan shall apply to the property legally described in Exhibit "C" attached hereto.

Section 3: That the Village Clerk is hereby authorized to publish this ordinance in pamphlet form.

Section 4: That this Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS \_\_\_\_\_ day of \_\_\_\_\_, 2010

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Cary J. Collins	_____	_____	_____	_____
Trustee Raymond M. Kincaid	_____	_____	_____	_____
Trustee Jacquelyn Green	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2010

\_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk

Published in pamphlet form this \_\_\_\_\_ day of \_\_\_\_\_, 2010.

**EXHIBIT "C"**

**LEGAL DESCRIPTION:**

**P.I.N. 01-32-403-001, 01-33-304-004, 005, 006, 007, 008, 009 and 01-33-305-003**

ALL LOTS IN THE FINAL PLAT OF RESUBDIVISION OF LOT 5C3 IN SEARS BUSINESS PARK AMENDED PLAT OF SUBDIVISION PHASE 2, BEING A RESUBDIVISION OF PART OF SECTIONS 32 AND 33, TOWNSHIP 42 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 17, 2008 AS DOCUMENT 0819934058



VILLAGE OF HOFFMAN ESTATES  
ZONING BOARD OF APPEALS

FINDING OF FACT

DATE OF PUBLIC HEARING: June 22 and July 20, 2010

DATE OF PRESENTATION TO VILLAGE BOARD: August 2, 2010

PETITION: Hearing held at the request of McShane Corporation and Prairie Pointe Center Development LLC/Prairie Pointe Medical Office Center LLC to consider a master sign plan under the Zoning Code to permit signage on the property located at the southwest corner of Hoffman Boulevard and Route 59 (including 4885 Hoffman Boulevard in the Prairie Stone Business Park).

DISTRICT IN WHICH PROPERTY IS LOCATED: EDA, Economic Development Area District

ZONING CODE SECTION(S) FOR MASTER SIGN PLAN: EDA Sign Code Section III.B.6. (DEVELOPMENT OR SITE SIGNS)

FINDING-OF-FACT: The Zoning Board of Appeals (ZBA) found that the Standards for a Master Sign Plan in the EDA District (9-7-5-III.B.6.) were met.

MOTION: Request to grant McShane Corporation and Prairie Pointe Center Development LLC/Prairie Pointe Medical Office Center LLC, *approval of a Master Sign Plan in accordance with Section III.B.6. of the PRAIRIE STONE SIGN REQUIREMENTS for Prairie Pointe (marketing name, Parcel 23) based on the "Gateway to 59/90 Master Sign Plan Package" (dated July 20, 2010) on the property located at the southwest corner of Hoffman Boulevard and Route 59 (including 4885 Hoffman Boulevard in the Prairie Stone Business Park).*

RECOMMENDATION: The Zoning Board of Appeals (ZBA) recommends approval of this request.

AUDIENCE COMMENTS

None.

VOTE:  
5 Ayes  
0 Nay  
2 Absent (Ali, Wilson)

ZONING BOARD OF APPEALS  
Chairman William Weaver  
Vice-Chairperson Denise Wilson  
Michael Ciffone  
Masoom Ali  
Donna Boomgarden  
Michael Gaeta  
Gaurav Patel

**THIS MASTER SIGN PLAN WILL EXPIRE UNLESS ACTED UPON WITHIN  
ONE (1) YEAR OF VILLAGE BOARD APPROVAL**

FINDING OF FACT WRITTEN BY MICHAEL GAETA

VILLAGE OF HOFFMAN ESTATES

AN ORDINANCE GRANTING A SPECIAL USE AND HEIGHT VARIATION  
TO SEARS, ROEBUCK AND CO. (OWNER),  
AND INSITE RE, INC., AGENT FOR CLEAR WIRELESS LLC/SPRINT,  
(3333 BEVERLY ROAD, HOFFMAN ESTATES)

WHEREAS, the Zoning Board of Appeals of the Village of Hoffman Estates, at a public hearing duly called and held according to law on July 20, 2010 considered the request of a special use and a height variation to Sears, Roebuck and Co. (owner) and Insite RE, Inc., agent for Clear Wireless LLC/Sprint, to permit the installation of a maximum of nine (9) cellular antennas and two (2) microwave dish antennas to be no greater than 112 feet high and associated equipment on the Sears Headquarters building at 3333 Beverly Road, and legally described hereinafter; and

WHEREAS, the Zoning Board of Appeals made certain Finding of Fact attached hereto and made a part hereof as Exhibit "B" and recommended approval of said special use and height variation to the Board of Trustees; and

WHEREAS, the President and Board of Trustees of the Village of Hoffman Estates, after reviewing the recommendation of said Zoning Board of Appeals, find and believe it to be in the best interest of the Village that such special use and height variation be granted.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: That there be granted a special use under Sections 9-3-9-A and 9-7-5-B-2-h to Sears, Roebuck and Co. (owner) and Insite RE, Inc., agent for Clear Wireless LLC/Sprint, to permit the installation of a maximum of nine (9) cellular antennas and two (2) microwave dish antennas to be no greater than 112 feet high and associated equipment on the Sears Headquarters building at 3333 Beverly Road.

Section 2: That a fifty-two foot (52') height variation of Hoffman Estates Municipal Code Section 9-3-9-A be granted to Sears, Roebuck and Co. (owner) and Insite RE, Inc., agent for Clear Wireless LLC/Sprint, to permit the installation of a maximum of nine (9) cellular antennas and two (2) microwave dish antennas to be no greater than 112 feet high and associated equipment on the Sears Headquarters building at 3333 Beverly Road.

Section 3: That this special use and variation is granted upon the conditions that Ordinance No. 3223-2000 is hereby repealed and the new 2010 ordinance shall hereafter apply to the subject special use and height variations, and per Zoning Code Section 9-1-18-L, should the operation of this cellular facility cease for a period of six (6) months, the antennas shall be removed, and to minimize the visual impact of the antennas, the antennas and mounting hardware shall be painted to match the color of the penthouse on the building.

Section 4: That property benefiting from the special use and variation is legally described on the attached Exhibit "A".

Section 5: That the Village Clerk is hereby authorized to publish this ordinance in pamphlet form.

Section 6: That this Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS \_\_\_\_\_ day of \_\_\_\_\_, 2010

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Cary J. Collins	_____	_____	_____	_____
Trustee Raymond M. Kincaid	_____	_____	_____	_____
Trustee Jacquelyn Green	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2010

\_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk

Published in pamphlet form this \_\_\_\_\_ day of \_\_\_\_\_, 2010.

**EXHIBIT "A"**

**LEGAL DESCRIPTION:**

P.I.N.: 01-32-100-004

THAT PART OF THE NORTH EAST  $\frac{1}{4}$  OF SECTION 31, TOWNSHIP 42 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING SOUTH OF THE CENTER OF THE STATE ROAD LEADING FROM DUNDEE TO CHICAGO (NOW KNOWN AS HIGGINS ROAD), DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE EAST LINE OF SAID SECTION WITH THE CENTER LINE OF THE STATE ROAD LEADING FROM DUNDEE TO CHICAGO (NOW KNOWN AS HIGGINS ROAD); THENCE SOUTH ON THE SECTION LINE 1114.08 FEET; THENCE WEST 1314.06 FEET TO THE CENTER OF THE ROAD RUNNING NORTH AND SOUTH; THENCE NORTH ALONG THE CENTER OF SAID ROAD 1259.28 FEET TO THE CENTER OF THE STATE ROAD; THENCE SOUTH EASTERLY ALONG THE CENTER OF SAID ROAD, 1321.98 FEET TO THE PLACE OF BEGINNING, (EXCEPT THEREFROM THAT PART LYING NORTHEASTERLY OF THE SOUTH WESTERLY LINE OF HIGGINS ROAD AS WIDENED BY WARRANTY DEED RECORDED NOVEMBER 8, 1937 AS DOCUMENT NUMBER 12079013):

ALSO

THE WEST  $\frac{1}{2}$  OF THE NORTH WEST  $\frac{1}{4}$  SECTION OF SECTION 32, TOWNSHIP 42 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPTING THEREFROM THAT PART THEREOF LYING NORTHEASTERLY OF THE SOUTHWESTERLY LINE OF HIGGINS ROAD AS WIDENED BY WARRANTY DEED RECORDED NOVEMBER 8, 1937 AS DOCUMENT NUMBER 12079013):

ALSO

THAT PART OF THE EAST  $\frac{1}{2}$  OF THE NORTH WEST  $\frac{1}{4}$  OF SECTION 32, TOWNSHIP 42 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE WEST LINE OF SAID EAST  $\frac{1}{2}$  OF THE NORTH WEST  $\frac{1}{4}$ , 826.3 FEET NORTH OF THE SOUTH WEST CORNER OF SAID EAST  $\frac{1}{2}$ ; THENCE NORTH ALONG SAID WEST LINE 1468.2 FEET TO A POINT IN THE CENTER LINE OF HIGHWAY (NOW KNOWN AS HIGGINS ROAD); THENCE SOUTH 83 DEGREES 39 MINUTES EAST ALONG SAID CENTER LINE 150 FEET; THENCE SOUTH PARALLEL TO SAID WEST LINE 1451.7 FEET; THENCE WEST 149.1 FEET TO THE PLACE OF BEGINNING (EXCEPT THEREFROM THAT PART THEREOF LYING NORTHEASTERLY OF THE SOUTHWESTERLY LINE OF HIGGINS ROAD AS WIDENED BY WARRANTY DEED DATED MAY 28, 1938 AND RECORDED MARCH 20, 1939 AS DOCUMENT NUMBER 12284905), ALL IN COOK COUNTY, ILLINOIS.

VILLAGE OF HOFFMAN ESTATES  
ZONING BOARD OF APPEALS

FINDING OF FACT

DATE OF PUBLIC HEARINGS: July 20, 2010

DATE OF PRESENTATION TO VILLAGE BOARD: August 2, 2010

PETITION: Hearing held at the request of Sears, Roebuck and Co. (Owner) and Insite RE, Inc., as agent for Clear Wireless LLC/Sprint to consider a special use and height variation from the Zoning Code to permit the installation of communication antennas and accompanying equipment on the property located at 3333 Beverly Road.

DISTRICT IN WHICH PROPERTY IS LOCATED: EDA, Economic Development Area District

ZONING CODE SECTION(S) FOR VARIATION: 9-3-9-A

ZONING CODE SECTION(S) FOR SPECIAL USE: 9-3-9-A and 9-7-5-B-2-h

FINDING-OF-FACT: The ZBA found that the Standards for a Variation (9-1-15-C) and Standards for a Special Use (9-1-18-I) were met.

MOTION: Request to grant Sears, Roebuck and Co. (Owner) and Insite RE, Inc., as agent for Clear Wireless LLC/Sprint, *a special use under Section 9-3-9-A and Section 9-7-5-B-2-h and a fifty two (52) foot height variation from Section 9-3-9-A to permit a maximum of nine (9) cellular antennas and two (2) microwave dish antennas at one hundred and twelve (112) feet high and associated equipment on the Sears Headquarters building at 3333 Beverly Road.* The following conditions shall apply:

1. **Ordinance No. 3223-2000 is hereby repealed and the new 2010 ordinance shall hereafter apply to the subject special use and height variations.**
2. **Per Zoning Code Section 9-1-18-L, should the operation of this cellular facility cease for a period of six (6) months, the antennas shall be removed.**
3. **To minimize the visual impact of the antennas, the antennas and mounting hardware shall be painted to match the color of the penthouse on the building.**

**The petitioner was agreeable to the above listed conditions.**

RECOMMENDATION: The Zoning Board of Appeals (ZBA) recommends approval of this request.

AUDIENCE COMMENTS

None.

VOTE:

5 Ayes

0 Nay

2 Absent (Ali, Wilson)

ZONING BOARD OF APPEALS

Chairman William Weaver

Vice-Chairperson Denise Wilson

Michael Ciffone

Masoom Ali

Donna Boomgarden

Michael Gaeta

Gaurav Patel

**\* IMMEDIATE AUTHORIZATION TO APPLY FOR PERMITS IS REQUESTED \***

**THIS SPECIAL USE AND VARIATION WILL EXPIRE UNLESS  
ACTED UPON WITHIN ONE (1) YEAR OF VILLAGE BOARD APPROVAL**

FINDING OF FACT WRITTEN BY GAURAV PATEL

VILLAGE OF HOFFMAN ESTATES

AN ORDINANCE GRANTING A SPECIAL USE AND HEIGHT VARIATION  
TO TOWNSHIP HIGH SCHOOL DISTRICT 211 (OWNER),  
AND FMHC, AGENT FOR CLEARWIRE (LESSEE),  
(HOFFMAN ESTATES HIGH SCHOOL)

WHEREAS, the Zoning Board of Appeals of the Village of Hoffman Estates, at a public hearing duly called and held according to law on July 20, 2010 considered the request of a special use and a height variation to Township High School District 211 (owner) and FMHC, as agent for Clearwire (lessee), to permit the installation of a maximum of eleven (11) cellular antennas and one (1) microwave dish antenna to be no greater than 94 feet high and associated equipment at Hoffman Estates High School, 1100 W. Higgins Road, on one (1) light pole on the southwest corner of the football field, and legally described hereinafter; and

WHEREAS, the Zoning Board of Appeals made certain Finding of Fact attached hereto and made a part hereof as Exhibit "B" and recommended approval of said special use and height variation to the Board of Trustees; and

WHEREAS, the President and Board of Trustees of the Village of Hoffman Estates, after reviewing the recommendation of said Zoning Board of Appeals, find and believe it to be in the best interest of the Village that such special use and height variation be granted.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: That there be granted a special use under Sections 9-3-9-A and 9-5-3-C-4 to Township High School District 211 (owner) and FMHC as agent for Clearwire (lessee), to permit the installation of a maximum of eleven (11) cellular antennas and one (1) microwave dish antenna to be no greater than 94 feet high and associated equipment at Hoffman Estates High School, 1100 W. Higgins Road, on one (1) light pole on the southwest corner of the football field.

Section 2: That a thirty-four foot (34') height variation of Hoffman Estates Municipal Code Section 9-3-9-A be granted to Township High School District 211 (owner) and FMHC as agent for Clearwire (lessee), to permit the installation of a maximum of eleven (11) cellular antennas and one (1) microwave dish antenna to be no greater than 94 feet high and associated equipment at Hoffman Estates High School, 1100 W. Higgins Road, on one (1) light pole on the southwest corner of the football field.

Section 3: That this special use and variation is granted upon the conditions that Ordinance No. 3955-2007 is hereby repealed and the new 2010 ordinance shall hereafter apply to the subject special use and height variations, and per Zoning Code Section 9-1-18-L, should the operation of this cellular facility cease for a period of six (6) months, the antennas shall be removed, and that no signs, cabinets, conduits, or other fixtures shall be installed on the exterior of the shelter beyond those shown on the approved building plans.

Section 4: That property benefiting from the special use and variation is legally described on the attached Exhibit "A".

Section 5: That the Village Clerk is hereby authorized to publish this ordinance in pamphlet form.

Section 6: That this Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS \_\_\_\_\_ day of \_\_\_\_\_, 2010

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Cary J. Collins	_____	_____	_____	_____
Trustee Raymond M. Kincaid	_____	_____	_____	_____
Trustee Jacquelyn Green	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2010

\_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk

Published in pamphlet form this \_\_\_\_\_ day of \_\_\_\_\_, 2010.



**EXHIBIT "A"**

**LEGAL DESCRIPTION:**

**P.I.N.: 07-09-300-008**

THAT PART OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION NINE, TOWNSHIP FORTY-ONE NORTH, RANGE TEN, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF THE NORTHERLY LINE OF HIGGINS ROAD, (EXCEPT THAT PART DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE NORTHERLY LINE OF HIGGINS ROAD AND THE EAST LINE OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION; THENCE WESTERLY ALONG SAID NORTHERLY LINE OF HIGGINS ROAD, A DISTANCE OF 536.0 FT.; THENCE NORTH PARALLEL WITH THE EAST LINE OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION, A DISTANCE OF 170.29 FT.; THENCE EASTERLY, PARALLEL WITH THE NORTHERLY LINE OF SAID ROAD, EASTERLY OF A POINT OF CURVE IN SAID ROAD, A DISTANCE OF 536.0 FT. TO THE EAST LINE OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION; THENCE SOUTH, 170.29 FT. TO THE POINT OF BEGINNING), IN COOK COUNTY, ILLINOIS.

VILLAGE OF HOFFMAN ESTATES  
ZONING BOARD OF APPEALS

FINDING OF FACT

DATE OF PUBLIC HEARINGS: July 20, 2010

DATE OF PRESENTATION TO VILLAGE BOARD: August 2, 2010

PETITION: Hearing held at the request of Township High School District 211 (Owner) and FMHC as agent for Clearwire (Lessee) to consider a variation and special use under the Zoning Code to permit the installation of communication antennas and accompanying equipment on the property located at 1100 W. Higgins Road (Hoffman Estates High School).

DISTRICT IN WHICH PROPERTY IS LOCATED: R-3, One Family Residential

ZONING CODE SECTION(S) FOR VARIATION: 9-3-9-A

ZONING CODE SECTION(S) FOR SPECIAL USE: 9-3-9-A and 9-5-3-C-4

FINDING-OF-FACT: The ZBA found that the Standards for a Variation (9-1-15-C) and Standards for a Special Use (9-1-18-I) were met.

MOTION: Request to grant Township High School District 211 (Owner) and FMHC as agent for Clearwire (Lessee) at 1100 W. Higgins Road, *a special use under Section 9-3-9-A and Section 9-5-3-C-4 and a thirty four(34) foot height variation from Section 9-3-9-A to permit a maximum of eleven (11) cellular antennas and one (1) microwave dish antenna at ninety four (94) feet high and associated equipment on a light pole on the southwest corner of the football field.* The following conditions shall apply:

1. Ordinance No. 3955-2007 is hereby repealed and the new 2010 ordinance shall hereafter apply to the subject special use and height variations.
2. Per Zoning Code Section 9-1-18-L, should the operation of this cellular facility cease for a period of six (6) months, the antennas shall be removed.
3. No signs, cabinets, conduits, or other fixtures shall be installed on the exterior of the shelter beyond those shown on the approved building plans.

The petitioner was agreeable to the above listed conditions.

RECOMMENDATION: The Zoning Board of Appeals (ZBA) recommends approval of this request.

AUDIENCE COMMENTS

None.

VOTE:

5 Ayes

0 Nay

2 Absent (Ali, Wilson)

ZONING BOARD OF APPEALS

Chairman William Weaver

Vice-Chairperson Denise Wilson

Michael Ciffone

Masoom Ali

Donna Boomgarden

Michael Gaeta

Gaurav Patel

**\* IMMEDIATE AUTHORIZATION TO APPLY FOR PERMITS IS REQUESTED \***

**THIS SPECIAL USE AND VARIATION WILL EXPIRE UNLESS  
ACTED UPON WITHIN ONE (1) YEAR OF VILLAGE BOARD APPROVAL**

FINDING OF FACT WRITTEN BY DEVELOPMENT SERVICES STAFF

VILLAGE OF HOFFMAN ESTATES

**AN ORDINANCE GRANTING A SPECIAL USE  
AND VARIATION TO HEIDNER HOLDINGS, LLC  
(2095 BARRINGTON ROAD, HOFFMAN ESTATES, IL)**

WHEREAS, the Zoning Board of Appeals, at a public meeting duly called and held according to law on July 20, 2010, considered the request for a special use and rear yard setback variation to Heidner Holdings, LLC to permit the construction of an automobile service station with car wash on the southeast corner of the intersection of Hassell and Barrington Roads (2095 Barrington Road); and

WHEREAS, the Zoning Board of Appeals made certain Finding of Fact attached hereto and made a part hereof as Exhibit "B" and recommended approval of a special use and variation to the Board of Trustees; and

WHEREAS, it appears that there are particular hardships and unique circumstances from the application of the strict letter of the Zoning Ordinance to the property in question and that the proposed special use has met the standards of 9-1-18-I of the Hoffman Estates Municipal Code; and

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: There shall be granted a special use under Section 9-8-2-C-1 to Heidner Holdings, LLC to permit the construction of an automobile service station with car wash on the southeast corner of the intersection of Hassell and Barrington Roads (2095 Barrington Road).

Section 2: This special use is subject to the conditions that any changes to the operation of this gas station beyond those included in this proposal that do not comply with the permitted uses of the Zoning Code shall require a special use amendment, and that in accordance with Section 9-1-18-L of the Zoning Code, should the automobile service station cease operations for a period of six (6) months, the special use shall be revoked and invalid, and that in the event that the sales of gas/fuel at this site is discontinued for more than one (1) year, the canopy structure, gas pumps/islands, and all other improvements related to the sale of fuel shall be removed from the site, and that approval of this special use shall be subject to final preliminary and final site plan approval for the property, including all conditions of approval, and that daily hours of operations for the car wash shall be limited to 6:00 a.m. to 10:00 p.m., and that all signs shall comply with the Zoning Code or an approved master sign plan.

Section 3: There shall be granted a ten foot (10') rear yard setback variation from Section 9-8-2-D-6 to Heidner Holdings, LLC to permit a ten foot (10') setback instead of the minimum required twenty feet (20') to permit the construction of an automobile service station with car wash on the southeast corner of the intersection of Hassell and Barrington Roads (2095 Barrington Road).

Section 4: This variation is subject to final preliminary and final site plan approval for the property, including all conditions of approval.

Section 5: That property benefiting from the special use and variation is legally described on the attached Exhibit "A".

Section 6: The Village Clerk is hereby authorized to publish this ordinance in pamphlet form.

Section 7: This Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS \_\_\_\_\_ day of \_\_\_\_\_, 2010

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Cary J. Collins	_____	_____	_____	_____
Trustee Raymond M. Kincaid	_____	_____	_____	_____
Trustee Jacquelyn Green	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2010

\_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk

Published in pamphlet form this \_\_\_\_\_ day of \_\_\_\_\_, 2010.

**EXHIBIT "A"**

**LEGAL DESCRIPTION:**

**NORTH LOT - PIN: 07-06-101-004**

THAT PART OF FRACTIONAL SECTION 6, TOWNSHIP 41 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID FRACTIONAL SECTION 6, THENCE NORTH 0 DEGREES 14 MINUTES 50 SECONDS WEST ALONG THE WEST LINE OF SAID FRACTIONAL SECTION 6, A DISTANCE OF 598.83 FEET, THENCE NORTH 89 DEGREES 45 MINUTES 10 SECONDS EAST, AT RIGHT ANGLES TO THE LAST DESCRIBED LINE, A DISTANCE OF 80.00 FEET TO A POINT ON THE EAST LINE OF A PERPETUAL EASEMENT FOR HIGHWAY PURPOSES GRANTED TO THE ILLINOIS STATE TOLL HIGHWAY COMMISSION PER WARRANTY DEED RECORDED MAY 16, 1957 AS DOCUMENT NUMBER 16906072, SAID POINT BEING ALSO THE SOUTHWEST CORNER OF HASSELL ROAD 100 FEET WIDE, AS DEDICATED IN BARRINGTON SQUARE INDUSTRIAL CENTER UNIT 1, BEING A SUBDIVISION OF PART OF SAID FRACTIONAL SECTION 6, AS PER PLAT THEREOF RECORDED NOVEMBER 20, 1970 PER DOCUMENT NUMBER 21323708 AND THE PLACE OF BEGINNING, THENCE NORTH 89 DEGREES 45 MINUTES 10 SECONDS EAST ALONG THE SOUTH LINE OF HASSELL ROAD, AS DEDICATED PER DOCUMENT NUMBER 21323708, A DISTANCE OF 188.72 FEET TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY ALONG SAID SOUTH LINE OF HASSELL ROAD, BEING AN ARC OF A CIRCLE, HAVING A RADIUS OF 580 FEET, BEING CONVEX TO THE NORTHEAST, THE CHORD THEREOF HAVING A BEARING SOUTH 89 DEGREES 41 MINUTES 22 SECONDS EAST, A CHORD AND ARC DISTANCE OF 11.28 FEET THENCE SOUTH 0 DEGREES 14 MINUTES 50 SECONDS EAST, A DISTANCE OF 199.89 FEET THENCE SOUTH 89 DEGREES 45 MINUTES 10 SECONDS WEST, AT RIGHT ANGLES TO THE LAST DESCRIBED LINE, A DISTANCE OF 230 FEET TO A POINT ON THE EAST LINE OF BARRINGTON ROAD, AS DEDICATED PER DOCUMENT NUMBER 11113016. THENCE IN A NORTHERLY DIRECTION ALONG SAID EAST LINE OF BARRINGTON ROAD AND ALONG THE SOUTH LINE AND EAST LINE OF SAID PERPETUAL EASEMENT FOR HIGHWAY PURPOSES RECORDED PER DOCUMENT NUMBER 16906072 THE FOLLOWING THREE COURSES AND DISTANCE, (1) NORTH 0 DEGREES 14 MINUTES 50 SECONDS WEST, A DISTANCE OF 27 FEET, (2) THENCE NORTH 89 DEGREES 45 MINUTES 10 SECONDS EAST, A DISTANCE OF 30 FEET AND (3) THENCE NORTH 0 DEGREES 14 MINUTES 50 SECONDS WEST, A DISTANCE OF 173.00 FEET TO THE PLACE OF BEGINNING, (AND ALSO EXCEPTING THAT PART TAKEN FOR WIDENING BARRINGTON ROAD IN CASE 02 1 051381), ALL IN COOK COUNTY, ILLINOIS.

VILLAGE OF HOFFMAN ESTATES  
ZONING BOARD OF APPEALS

MULTIPLE MOTION FINDING OF FACT

DATE OF PUBLIC HEARING: June 8, 2010

DATE OF PRESENTATION TO VILLAGE BOARD: June 21, 2010

PETITION: Hearing held at the request of Heidner Holdings, LLC to consider a special use, master sign plan and building setback variation from the Zoning Code to permit the construction of an automobile service station with car wash on the southeast corner of the intersection of Hassell and Barrington Roads.

DISTRICT IN WHICH PROPERTY IS LOCATED: B-2, Community Business District

ZONING CODE SECTION(S) FOR SPECIAL USE: 9-8-2-C-1

FINDING-OF-FACT: The Zoning Board of Appeals (ZBA) found that the Standards for a Special Use (9-1-18-I) were met.

ZONING CODE SECTION(S) FOR VARIATION: 9-8-2-D-6

FINDING-OF-FACT: The Zoning Board of Appeals (ZBA) found that the Standards for a Special Use (9-1-15-C) were met.

**MOTION 1 – SPECIAL USE FOR AUTOMOBILE SERVICE STATION WITH CAR WASH**

MOTION: Request to grant Heidner Holdings, LLC at the southeast corner of the intersection of Hassell and Barrington Roads, *a special use under Section 9-8-2-C-1 to permit the construction of an automobile service station with car wash.* The following conditions shall apply:

1. Any changes to the operation of this gas station beyond those included in this proposal that do not comply with the permitted uses of the Zoning Code shall require a special use amendment.
2. In accordance with Section 9-1-18-L of the Zoning Code, should the automobile service station cease operations for a period of six months, the special use shall be revoked and invalid.
3. In the event that the sales of gas/fuel at this site is discontinued for more than one year, the canopy structure, gas pumps/islands, and all other improvements related to the sale of fuel shall be removed from the site..
4. Approval of this special use shall be subject to final preliminary and final site plan approval for the property, including all conditions of approval.
5. The daily hours of operation for the carwash shall be limited to 6:00 a.m. - 10:00 p.m.

**6. All signs shall comply with the Zoning Code or an approved master sign plan.**

VOTE: 5 Ayes 2 Absent (Ali, Wilson)

MOTION PASSED

RECOMMENDATION: The Zoning Board of Appeals (ZBA) recommends approval of this request.

MOTION 2 – BUILDING SETBACK VARIATION

MOTION: Request to grant Heidner Holdings, LLC at the southeast corner of the intersection of Hassell and Barrington Roads, *a 10 foot rear yard setback variation from Section 9-8-2-D-6 to permit a 10 foot setback instead of the minimum required 20 feet.* The following condition shall apply:

**This variation approval shall be subject to final preliminary and final site plan approval for the property, including all conditions of approval.**

VOTE: 5 Ayes 2 Absent (Ali, Wilson)

MOTION PASSED

RECOMMENDATION: The Zoning Board of Appeals (ZBA) recommends approval of this request.

AUDIENCE COMMENTS

None.

ZONING BOARD OF APPEALS

Chairman William Weaver  
Vice-Chairperson Denise Wilson  
Michael Ciffone  
Masoom Ali  
Donna Boomgarden  
Michael Gaeta  
Gaurav Patel

**\* IMMEDIATE AUTHORIZATION TO APPLY FOR PERMITS IS REQUESTED \***

**THE SPECIAL USE & VARIATION WILL EXPIRE UNLESS ACTED UPON WITHIN  
ONE (1) YEAR OF VILLAGE BOARD APPROVAL**

FINDING OF FACT WRITTEN BY CHAIRMAN WILLIAM WEAVER



VILLAGE OF HOFFMAN ESTATES

**AN ORDINANCE TO DECLARE PROPERTY AT  
1200 GANNON DRIVE, HOFFMAN ESTATES, AS SURPLUS**

WHEREAS, the Village of Hoffman Estates (the "Village") is the owner of a certain real estate located at 1200 Gannon Drive; and

WHEREAS, said real estates is legally described as attached hereto as Exhibit "A"; and

WHEREAS, said real estate has previously been used as a Village Police Station; and

WHEREAS, the Village is constructing a new Police Station at a different location and will no longer use the old Police Station at 1200 Gannon Drive; and

WHEREAS, the Village is a Home Rule Municipality as defined in the Illinois Constitution and hereby exercises the powers granted therein.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: The Corporate Authorities find that the statements in the foregoing preamble are correct and the same are incorporated herein as if fully set forth.

Section 2: The Corporate Authorities find said real estate is no longer necessary, appropriate, required for the use of, profitable to, or for the best interest of the Village.

Section 3: The Corporate Authorities by majority vote hereby declare said real estate to be surplus.

Section 4: The Village Clerk is hereby authorized to publish this ordinance in pamphlet form.

Section 5: This Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS \_\_\_\_\_ day of \_\_\_\_\_, 2010

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Cary J. Collins	_____	_____	_____	_____
Trustee Raymond M. Kincaid	_____	_____	_____	_____
Trustee Jacquelyn Green	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2010

\_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk  
Published in pamphlet form this \_\_\_\_\_ day of \_\_\_\_\_, 2010.

**EXHIBIT "A"**

**LEGAL DESCRIPTION**

THAT PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 9; THENCE NORTHWARD ALONG THE WEST LINE OF SAID SECTION 9, NORTH 00 DEGREES 10 MINUTES 00 SECONDS EAST, A DISTANCE OF 9.68 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF GOLF ROAD (100 FEET WIDE) AND BEING THE POINT OF BEGINNING; THENCE CONTINUING NORTHWARD ALONG THE SAID WEST LINE OF SECTION 9, NORTH 00 DEGREES 10 MINUTES 00 SECONDS EAST, A DISTANCE OF 650 FEET; THENCE SOUTH 89 DEGREES 50 MINUTES 00 SECONDS EAST, A DISTANCE OF 400 FEET TO A POINT ON THE EAST LINE OF THE WEST 400 FEET, AS MEASURED PERPENDICULAR TO THE WEST LINE OF THE SAID SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 9; THENCE NORTHWARD ALONG THE SAID EAST LINE NORTH 00 DEGREES 10 MINUTES 00 SECONDS EAST, A DISTANCE OF 496.71 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY OF HIGGINS ROAD (240 FEET WIDE); THENCE EASTERLY ALONG THE SAID SOUTHERLY LINE, BEING A CURVED LINE, CONVEXED TO THE NORTH, OF 21,339.94 FEET IN RADIUS HAVING A CHORD LENGTH OF 34.37 FEET ON A BEARING OF SOUTH 73 DEGREES 36 MINUTES 49.4 SECONDS EAST, FOR AN ARC LENGTH OF 34.37 FEET TO A POINT ON THE EAST LINE OF THE WEST 433 FEET, AS MEASURED PERPENDICULAR TO THE WEST LINE OF THE SAID SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 9; THENCE SOUTHWARD ALONG THE SAID EAST LINE, SOUTH 00 DEGREES 10 MINUTES 00 SECONDS WEST, A DISTANCE OF 1110.09 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF GOLF ROAD; THENCE WESTWARD ALONG THE SAID NORTH RIGHT OF WAY LINE, SOUTH 86 DEGREES 35 MINUTES 45 SECONDS WEST, A DISTANCE OF 433.84 FEET TO THE POINT OF BEGINNING, (EXCEPT THEREFROM THAT PORTION CONVEYED TO THE STATE OF ILLINOIS BY DEED RECORDED AS DOCUMENT 21603293 DESCRIBED AS FOLLOWS: THAT PART OF THE WEST 433 FEET OF THE SOUTHWEST 1/4 OF SECTION 9, LYING NORTH OF THE NORTH LINE OF GOLF ROAD AS PER DOCUMENT NO. 10550564 AND SOUTH OF A LINE DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE EAST LINE OF THE WEST 433 FEET OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 9 LYING NORMALLY DISTANCE 6.427 FEET NORTH OF THE NORTH LINE OF GOLF ROAD; THENCE SOUTHWESTERLY ALONG A STRAIGHT LINE TO THE POINT OF INTERSECTION OF THE WEST LINE OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 9 AND SAID NORTH LINE OF GOLF ROAD) IN COOK COUNTY, ILLINOIS.

VILLAGE OF HOFFMAN ESTATES

**A RESOLUTION TO AUTHORIZE THE VILLAGE PRESIDENT  
TO EXECUTE A PURCHASE AND SALE AGREEMENT FOR THE SALE  
OF THE FORMER POLICE STATION SITE AT  
1200 GANNON DRIVE, HOFFMAN ESTATES, TO HALL RACING LLC.**

WHEREAS, the Village of Hoffman Estates (the "Village") is the owner of a certain parcel of real estate consisting of approximately 5.85 acres of property located at the northwest corner of Golf Road and Gannon Drive in the B-2 Community Business District (the "Parcel"); and

WHEREAS, said real estate is legally described as attached hereto as Exhibit "A"; and

WHEREAS, the Village has declared said Parcel surplus real estate and desires to sell said Parcel; and

WHEREAS, an MAI appraisal for the Parcel (the "Appraisal") was conducted by Thomas E. Holcer, Holcer & Company Inc., an MAI appraiser, and the Appraisal has been submitted to the Village, and said Appraisal is available for public inspection at the Village Hall; and

WHEREAS, the Corporate Authorities have reviewed the Appraisal which concluded that the fair market value of the Parcel was \$3,000,000.00 as of March 9, 2010; and

WHEREAS, the Corporate Authorities have received an offer to purchase the Parcel for \$2,650,000 from Hall Racing LLC; and

WHEREAS, the offer to purchase the parcel for \$2,650,000 is more than 80% of the fair market value of \$3,000,000; and

WHEREAS, the Village is a Home Rule Municipality as defined in the Illinois Constitution and hereby exercises the powers granted therein.

NOW, THEREFORE, BE IT RESOLVED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: The Corporate Authorities find that the statements in the foregoing preamble are correct and the same are incorporated herein as if fully set forth.

Section 2: The Corporate Authorities hereby accept the offer to purchase the Parcel submitted by Hall Racing LLC in the amount of \$2,650,000.00 subject to the conditions and restrictions set forth in the Purchase and Sale Agreement attached hereto as Exhibit "B".

Section 3: The Village Manager and Corporation Counsel are directed to prepare a deed and related conveyance documents and proceed to finalize the sale of the Parcel by the Village to Hall Racing LLC.

Section 4: That the Village President and Village Clerk are duly authorized to execute a Purchase and Sale Agreement for the sale of 1200 Gannon Drive between Hall Racing LLC and the Village of Hoffman Estates.

Section 5: This Resolution shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS \_\_\_\_\_ day of \_\_\_\_\_, 2010

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Cary J. Collins	_____	_____	_____	_____
Trustee Raymond M. Kincaid	_____	_____	_____	_____
Trustee Jacquelyn Green	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2010

\_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk

**EXHIBIT "A"**

**LEGAL DESCRIPTION**

THAT PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 9; THENCE NORTHWARD ALONG THE WEST LINE OF SAID SECTION 9, NORTH 00 DEGREES 10 MINUTES 00 SECONDS EAST, A DISTANCE OF 9.68 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF GOLF ROAD (100 FEET WIDE) AND BEING THE POINT OF BEGINNING; THENCE CONTINUING NORTHWARD ALONG THE SAID WEST LINE OF SECTION 9, NORTH 00 DEGREES 10 MINUTES 00 SECONDS EAST, A DISTANCE OF 650 FEET; THENCE SOUTH 89 DEGREES 50 MINUTES 00 SECONDS EAST, A DISTANCE OF 400 FEET TO A POINT ON THE EAST LINE OF THE WEST 400 FEET, AS MEASURED PERPENDICULAR TO THE WEST LINE OF THE SAID SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 9; THENCE NORTHWARD ALONG THE SAID EAST LINE NORTH 00 DEGREES 10 MINUTES 00 SECONDS EAST, A DISTANCE OF 496.71 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY OF HIGGINS ROAD (240 FEET WIDE); THENCE EASTERLY ALONG THE SAID SOUTHERLY LINE, BEING A CURVED LINE, CONVEXED TO THE NORTH, OF 21,339.94 FEET IN RADIUS HAVING A CHORD LENGTH OF 34.37 FEET ON A BEARING OF SOUTH 73 DEGREES 36 MINUTES 49.4 SECONDS EAST, FOR AN ARC LENGTH OF 34.37 FEET TO A POINT ON THE EAST LINE OF THE WEST 433 FEET, AS MEASURED PERPENDICULAR TO THE WEST LINE OF THE SAID SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 9; THENCE SOUTHWARD ALONG THE SAID EAST LINE, SOUTH 00 DEGREES 10 MINUTES 00 SECONDS WEST, A DISTANCE OF 1110.09 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF GOLF ROAD; THENCE WESTWARD ALONG THE SAID NORTH RIGHT OF WAY LINE, SOUTH 86 DEGREES 35 MINUTES 45 SECONDS WEST, A DISTANCE OF 433.84 FEET TO THE POINT OF BEGINNING, (EXCEPT THEREFROM THAT PORTION CONVEYED TO THE STATE OF ILLINOIS BY DEED RECORDED AS DOCUMENT 21603293 DESCRIBED AS FOLLOWS: THAT PART OF THE WEST 433 FEET OF THE SOUTHWEST OF THE SOUTHWEST 1/4 OF SECTION 9, LYING NORTH OF THE NORTH LINE OF GOLF ROAD AS PER DOCUMENT NO. 10550564 AND SOUTH OF A LINE DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE EAST LINE OF THE WEST 433 FEET OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 9 LYING NORMALLY DISTANCE 6.427 FEET NORTH OF THE NORTH LINE OF GOLF ROAD; THENCE SOUTHWESTERLY ALONG A STRAIGHT LINE TO THE POINT OF INTERSECTION OF THE WEST LINE OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 9 AND SAID NORTH LINE OF GOLF ROAD) IN COOK COUNTY, ILLINOIS.

RESOLUTION NO. \_\_\_\_\_ - 2010

VILLAGE OF HOFFMAN ESTATES

**A RESOLUTION AUTHORIZING APPROVAL OF A  
COST RECOVERY AGREEMENT BETWEEN  
HALL ENTERPRISES, INC. AND THE VILLAGE OF HOFFMAN ESTATES**

WHEREAS, it is in the best interests of the Village of Hoffman Estates to enter into a Cost Recovery Agreement with Hall Enterprises, Inc. for a proposed Audi car dealership at 1200 Gannon Drive.

NOW, THEREFORE, BE IT RESOLVED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: That the Village President and Village Clerk are duly authorized to execute a Cost Recovery Agreement, attached as Exhibit "A", between Hall Enterprise, Inc. and the Village of Hoffman Estates for a proposed Audi car dealership at 1200 Gannon Drive.

Section 2: That this Resolution shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS \_\_\_\_\_ day of \_\_\_\_\_, 2010

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Cary J. Collins	_____	_____	_____	_____
Trustee Raymond M. Kincaid	_____	_____	_____	_____
Trustee Jacquelyn Green	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2010

\_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk