

Meeting Members:
Karen Arnet, Chairperson
Patrick Kinnane, Vice-Chairperson
Gary Stanton, Trustee
Karen Mills, Trustee
Anna Newell, Trustee
Gary Pilafas, Trustee
William McLeod, Mayor

Village of Hoffman Estates

Transportation and Road Improvement Committee Meeting Agenda

July 1, 2024

Immediately following General Administration & Personnel
Village Hall, 1900 Hassell Road, Hoffman Estates, IL 60169

If online, insert URL.

- I. Roll Call
- II. Approval of Minutes - June 10, 2024
- III. Public Comment

NEW BUSINESS

1. Request approval of Change Order #1 to the contract with Hey & Associates, Inc. of Chicago, IL for design engineering services for the Village Hall Parking Lot project in the amount of \$127,100 for a total not to exceed cost of \$167,100.

REPORTS (INFORMATION ONLY)

1. Transportation Division Monthly Report
- IV. President's Report
 - V. Other
 - VI. Items in Review
 - VII. Adjournment

**TRANSPORTATION & ROAD IMPROVEMENT
COMMITTEE MEETING MINUTES**

June 10, 2024

I. Roll Call

Members in Attendance:

**Karen Arnet, Chair
Patrick Kinnane, Vice-Chair
Gary Stanton, Trustee
Anna Newell, Trustee
Gary Pilafas, Trustee
Mayor William D. McLeod**

Members Absent:

Karen Mills, Trustee

**Management Team Members
in Attendance:**

**Eric Palm, Village Manager
Dan O'Malley, Deputy Village Manager
Jon Pape, Assistant Village Manager
Arthur Janura, Corporation Counsel
Rachel Musiala, Finance Director
Alan Wax, Fire Chief
Kathryn Cawley, Police Chief
John Bending, Assistant Police Chief
Peter Gugliotta, Director of Dev. Services
Jennifer Horn, Dir. Planning and Trans.
Patrick Seger, Director of HRM
Dr. Audra Marks, Assistant Director HHS
Darek Raszka, Director of IS
Joe Nebel, Director of Public Works
Bev Romanoff, Village Clerk
Missy Brito, Communications Director
Ric Signorella, Multimedia Production Mgr.**

The Transportation & Road Improvement Committee meeting was called to order at 7:02 p.m.

II. Approval of Minutes – May 13, 2024

Motion by Trustee Kinnane, seconded by Trustee Stanton, to approve the Transportation & Road Improvement Committee meeting minutes from May 13, 2024. Voice vote taken. All ayes. Motion carried.

III. Public Comment

REPORTS (INFORMATION ONLY)

1. Transportation Division Monthly Report.

The Transportation Division Monthly Report was received and filed.

IV. President's Report

V. Other

VI. Items in Review

VII. Adjournment

Motion by Trustee Pilafas seconded by Trustee Stanton, to adjourn the meeting at 7:04 p.m. Voice vote taken. All ayes. Motion carried.

Minutes submitted by:

Jennifer Djordjevic, Director of Operations /
Outreach, Office of the Mayor & Board

Date

**COMMITTEE AGENDA ITEM
VILLAGE OF HOFFMAN ESTATES**

SUBJECT: Request approval of Change Order #1 to the contract with Hey & Associates, Inc., of Chicago, IL for design engineering services for the Village Hall Parking Lot Improvements project in the amount of \$127,100 for a total not to exceed cost of \$167,100

MEETING DATE: July 1, 2024

COMMITTEE: Transportation and Road Improvement

FROM: Alan Wenderski, Director of Engineering

PURPOSE: Recommend approval of supplement to the contract engineering services for the Village Hall Parking Lot Improvements project.

BACKGROUND: In November 2023 a preliminary engineering services agreement with Hey & Associates was approved. The scope of services included conceptual project design and stormwater planning to support the Village's application to the Metropolitan Water Reclamation District of Greater Chicago (MWRD) for the Green Infrastructure Partnership Program.

After completion of a pre-application in December 2023, the Village submitted a full application for the program in March 2024. In May 2024, the Village was notified that the application was successful, and the project was selected for the partnership program.

The concept plan submittal included in the partnership program application is attached for reference.

DISCUSSION: An Intergovernmental Agreement (IGA) with MWRD will be required to be executed by the end of 2024. The IGA is being drafted by MWRD. Final project design must be completed and submitted by the end of 2024 with various intermediate submittals required prior. Construction is required to be completed by the end of 2025.

The program will provide the Village with 50% funding for green infrastructure related construction costs for a maximum amount of \$460,000.

In order to meet the required schedule for completion of design for the partnership program, staff received and reviewed a design engineering supplement from Hey & Associates. The supplement

DISCUSSION: (Continued).

(attached) includes all items necessary to fully complete design and comply with MWRD requirements. In summary, the additional scope includes:

1. Topographic Survey
2. Geotechnical Investigation
3. MWRD Coordination
4. Final Engineering Plans
5. Permitting
6. Designer support during construction

The scope, hours, and fee were reviewed by staff and determined to be appropriate given the scope of the proposed improvements.

FINANCIAL IMPACT:

No funds were budgeted for design engineering in 2024. With the selection by MWRD into the Green Infrastructure Partnership Program, it is necessary to advance all design engineering in 2024. Road Improvement Fund Balance is available for the \$127,100 cost of the supplement.

Proposed funding for construction and construction engineering will be included in the 2025 budget. MWRD will provide construction funding for 50% of the related green infrastructure costs to a maximum amount of \$460,000, pending approval of an IGA.

RECOMMENDATION:

Request approval of Change Order #1 to the contract with Hey & Associates, Inc., of Chicago, IL for design engineering services for the Village Hall Parking Lot Improvements project in the amount of \$127,100 for a total not to exceed cost of \$167,100.

Attachments

Village Hall Parking Lot Improvements Hoffman Estates, IL

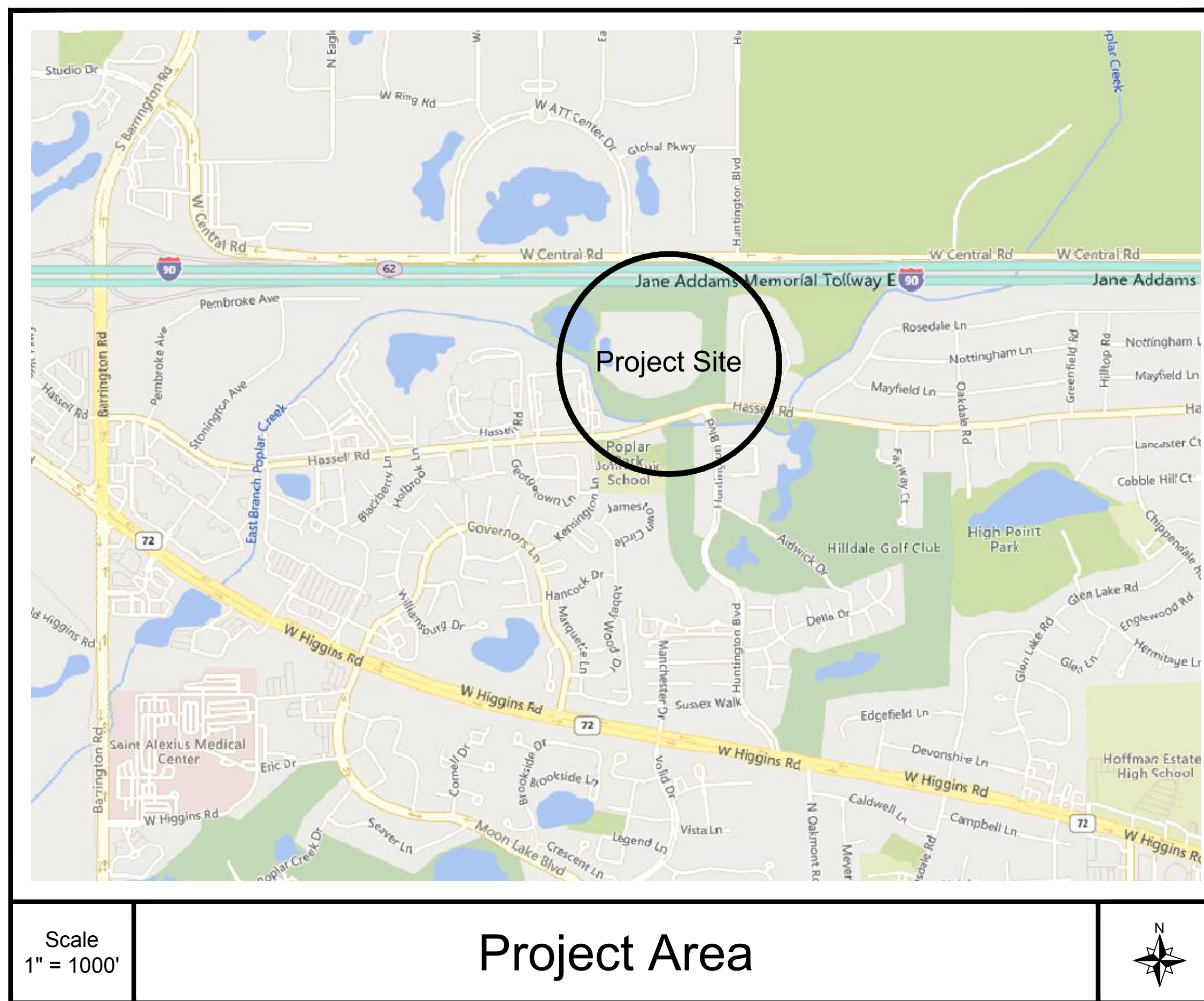
Client:

Village of Hoffman Estates
Mr. Alan Wenderski
1900 Hassel Road
Hoffman Estates, IL 60169
Office (847) 252-5802

Engineer:

Hey and Associates, Inc.
8755 West Higgins Road, Suite 835
Chicago, IL 60631
Office (773) 693-9200
Fax (847) 740-2888

Benchmark:



Sheet Index:

(Page # / Sheet # / Title)

1. C1.0 Cover Sheet
2. C1.1 Overall Plan
3. C2.0 Demolition Plan West
4. C2.1 Demolition Plan East
5. C3.0 Restoration Plan West
6. C3.1 Restoration Plan East
7. C4.0 Grading and Drainage Plan West
8. C4.1 Grading and Drainage Plan East
9. C5.0 Details

Call J.U.L.I.E. 1-800-892-0123 at least 48 hours before start of construction with the following:

County: Cook
City or Township: Village of Hoffman Estates
Tier, Range & Section: T41N, R10E, Sec. 05

The information shown on this drawing concerning type and location of underground utilities is not guaranteed to be accurate or all inclusive. The Contractor is responsible for making his own determinations as to the type and location of underground utilities as may be necessary to avoid damage thereto.

PROFESSIONAL SEAL

Signature: _____
Date: _____
License Expires: _____

This document shall not be considered a valid technical submittal unless it bears an original seal and signature.

Base Survey Information provided by:

No.	Revision/Issue	Date

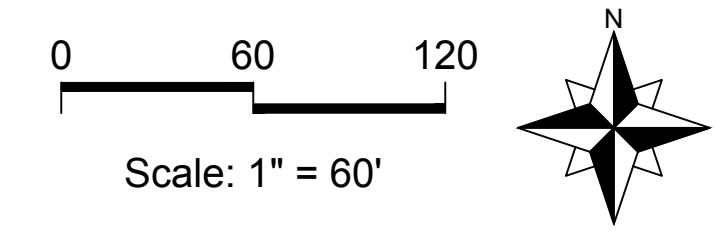
Hey and Associates, Inc.
Engineering, Ecology and Landscape Architecture
8755 W. HIGGINS ROAD, SUITE 835
CHICAGO, ILLINOIS 60631
OFFICE (773) 693-9200
FAX (847) 740-2888
CHICAGO@HEYASSOC.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-002429

Village Hall Parking Lot Improvements
Hoffman Estates, IL

Cover Sheet

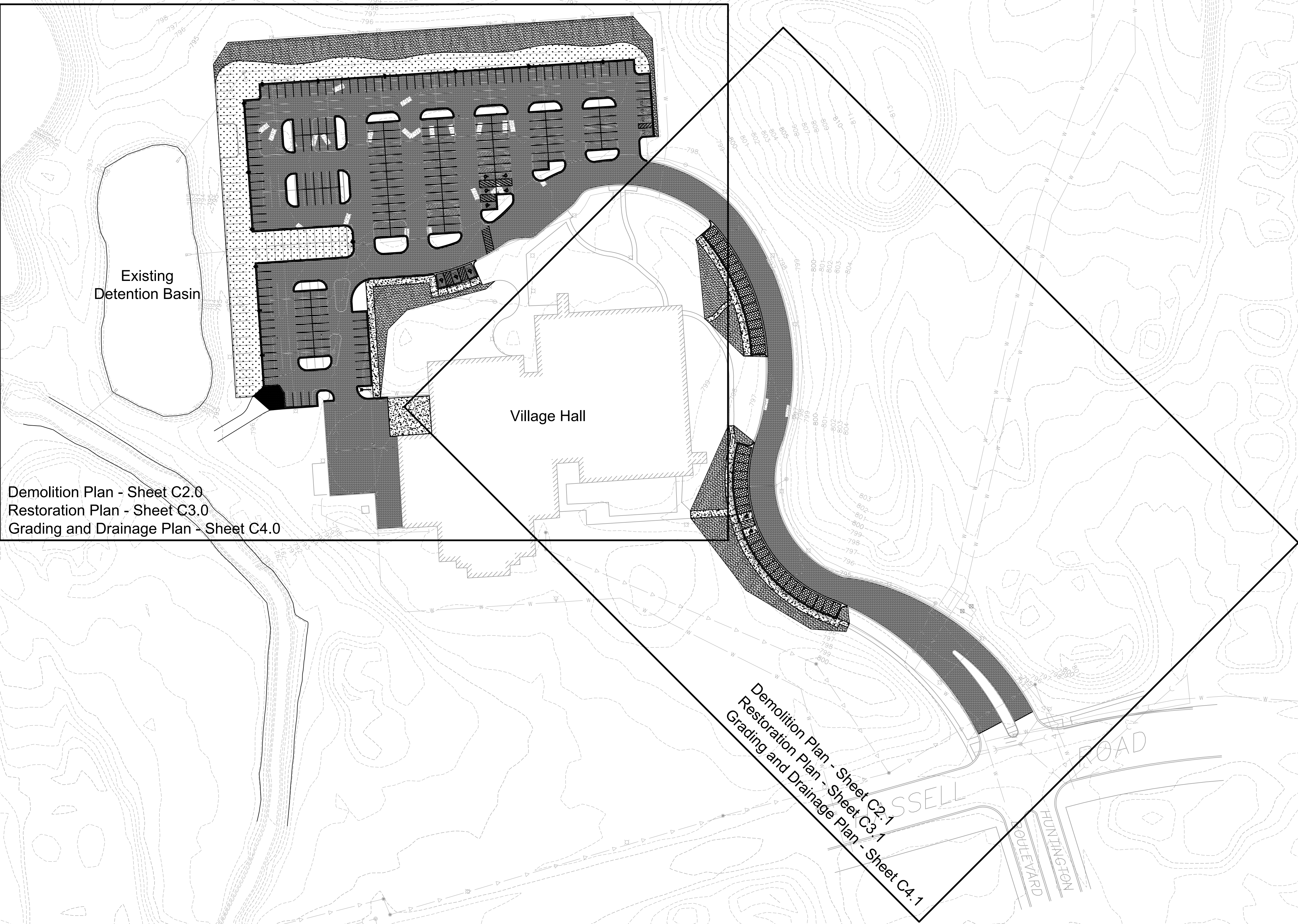
PROJECT NO:	23-0348	SHEET NO:	C1.0
DESIGNED BY:	TCT		
DRAWN BY:	TCT		
CHECKED BY:	PML		
APPROVED BY:	PML	PAGE NO:	
ISSUE DATE:	3/6/2024		1 of 9

Preliminary Plan



Existing Parking Spaces = 342
 Required Parking Spaces = 275
 Proposed Parking Spaces = 281

Required Accessible Spaces = 7
 Proposed Accessible Spaces = 10



Demolition Plan - Sheet C2.0
 Restoration Plan - Sheet C3.0
 Grading and Drainage Plan - Sheet C4.0

Demolition Plan - Sheet C2.1
 Restoration Plan - Sheet C3.1
 Grading and Drainage Plan - Sheet C4.1

LEGEND		
	Proposed Asphalt Pavement	
	Proposed Concrete Pavement/Sidewalk	
	Proposed Permeable Pavement	
	Proposed Bioswale	
	Mill & Overlay	

No.	Revision/Issue	Date

Hey and Associates, Inc.
 Engineering, Ecology and Landscape Architecture
 8755 W. HIGGINS ROAD, SUITE 835
 CHICAGO, ILLINOIS 60631
 OFFICE (773) 693-9200
 FAX (847) 740-2888
 CHICAGO@HEYASSOC.COM

PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-002429

Village Hall Parking Lot
 Improvements

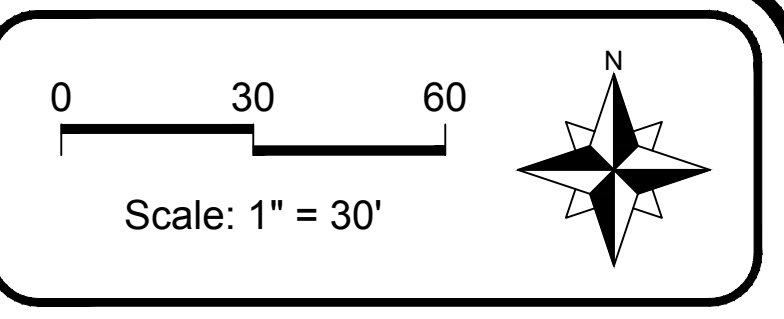
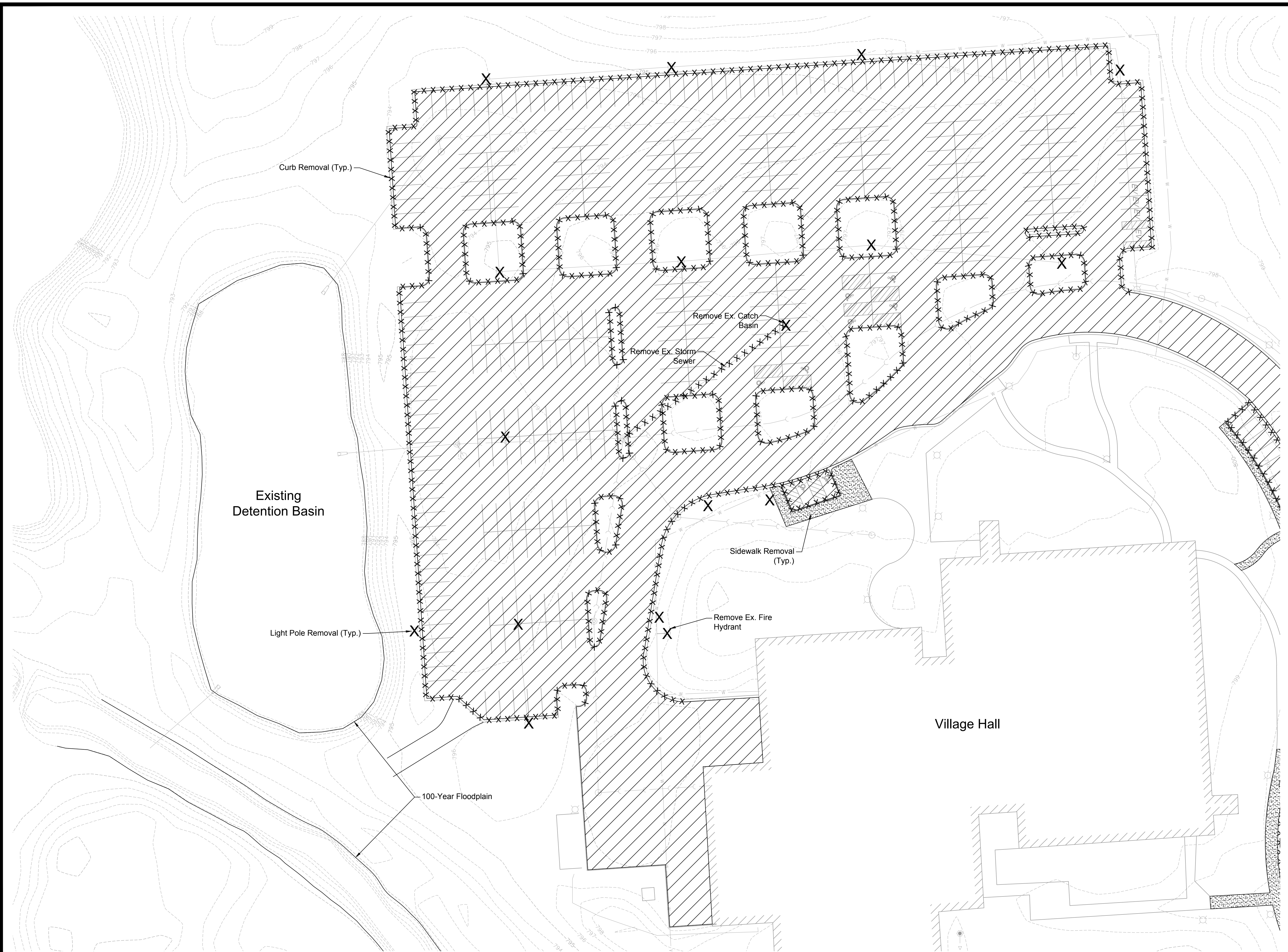
Hoffman Estates, IL

Overall Plan

PROJECT NO:	23-0348	SHEET NO:	C1.1
DESIGNED BY:	TCT		
DRAWN BY:	TCT		
CHECKED BY:	PML		
APPROVED BY:	PML	PAGE NO:	
ISSUE DATE:	3/6/2024	2	of 9

Preliminary Plan

File: P:\23000\23-0348 Hoffman Estates - Village Hall Parking Lot Preliminary.dwg Plot Date: March 6, 2024 Plotted by: Todd Thornton



LEGEND		
Sidewalk Removal		
Pavement Removal		
No.	Revision/Issue	Date

Hey and Associates, Inc.
 Engineering, Ecology and Landscape Architecture
 8755 W. HIGGINS ROAD, SUITE 835
 CHICAGO, ILLINOIS 60631
 OFFICE (773) 693-9200
 FAX (847) 740-2888
 CHICAGO@HEYASSOC.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-002429

Village Hall Parking Lot
 Improvements
 Hoffman Estates, IL

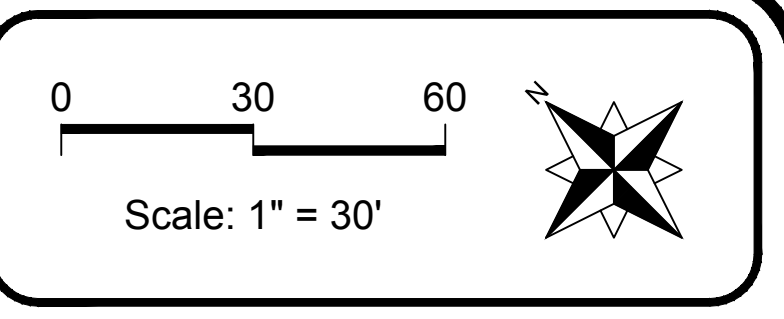
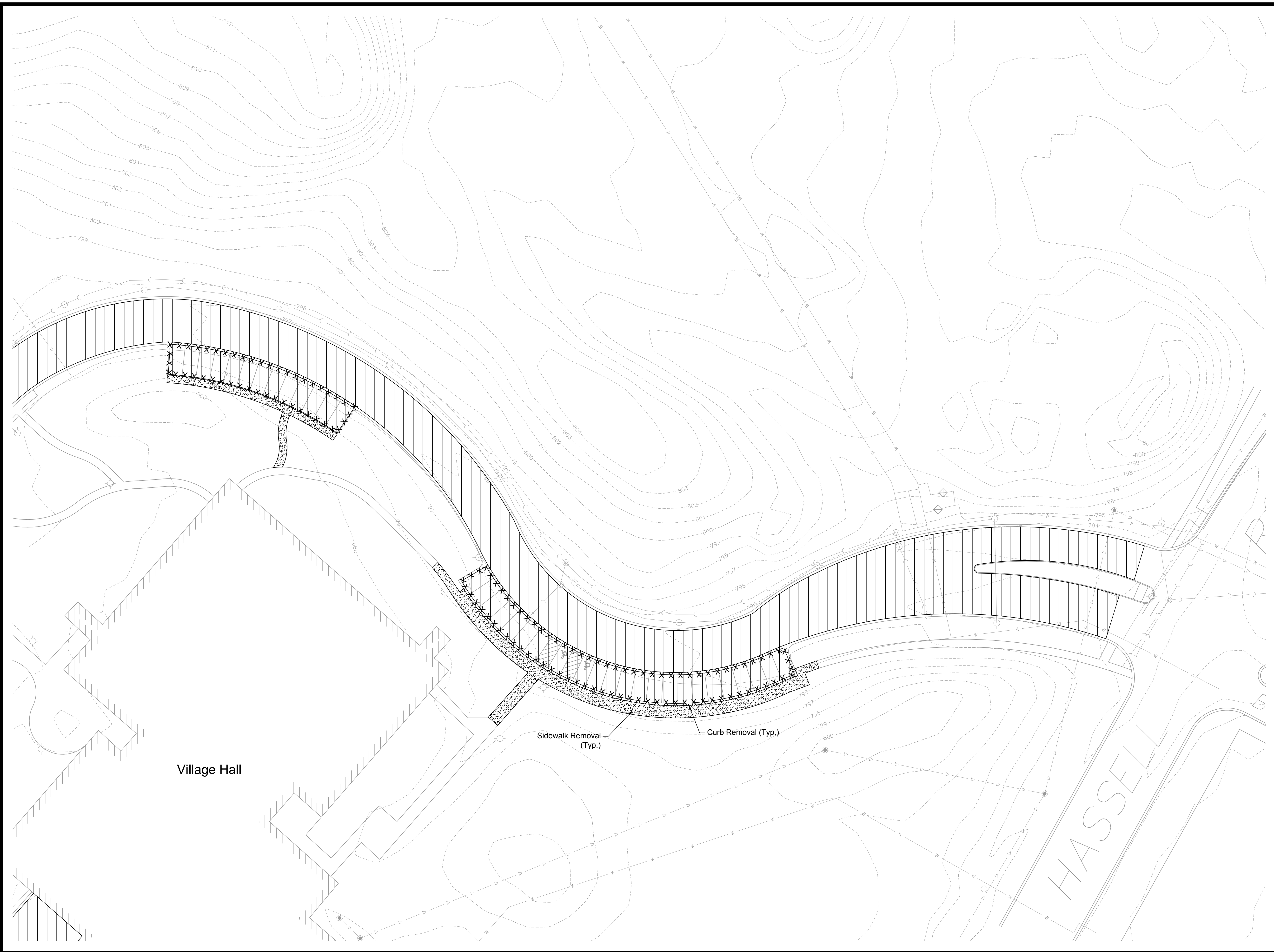
Demolition Plan
 West

PROJECT NO:	23-0348	SHEET NO:	C2.0
DESIGNED BY:	TCT		
DRAWN BY:	TCT		
CHECKED BY:	PML		
APPROVED BY:	PML	PAGE NO:	
ISSUE DATE:	3/6/2024		3 of 9

Preliminary Plan

Copyright © 2023 Hey and Associates, Inc.

File: P:\23000\23-0348 Hoffman Estates - Village Hall Parking Lot Preliminary.dwg Plot Date: March 6, 2024 Plotted by: Todd Thornton



LEGEND		
Sidewalk Removal		
Pavement Removal		
No.	Revision/Issue	Date

Hey and Associates, Inc.
 Engineering, Ecology and Landscape Architecture
 8755 W. HIGGINS ROAD, SUITE 835
 CHICAGO, ILLINOIS 60631
 OFFICE (773) 693-9200
 FAX (847) 740-2888
 CHICAGO@HEYASSOC.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-002429

Village Hall Parking Lot
 Improvements
 Hoffman Estates, IL

Demolition Plan
 East

PROJECT NO:	23-0348	SHEET NO:	C2.1
DESIGNED BY	TCT		
DRAWN BY	TCT		
CHECKED BY	PML		
APPROVED BY	PML	PAGE NO:	
ISSUE DATE	3/6/2024	4	of 9

Preliminary Plan

Copyright © 2023 Hey and Associates, Inc.

File: P:\23000\23-0348 Hoffman Estates - Village Hall Parking Lot Preliminary.dwg Plot Date: March 6, 2024 Plotted by: Todd Thornton



0 30 60
Scale: 1" = 30'

LEGEND

- Proposed Asphalt Pavement
- Proposed Concrete Pavement/Sidewalk
- Proposed Permeable Pavement
- Proposed Bioswale
- 6" Topsoil and Class 2 Seeding

No.	Revision/Issue	Date

Hey and Associates, Inc.
 Engineering, Ecology and Landscape Architecture
 8755 W. HIGGINS ROAD, SUITE 835
 CHICAGO, ILLINOIS 60631
 OFFICE (773) 693-9200
 FAX (847) 740-2888
 CHICAGO@HEYASSOC.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-002429

Village Hall Parking Lot Improvements
 Hoffman Estates, IL

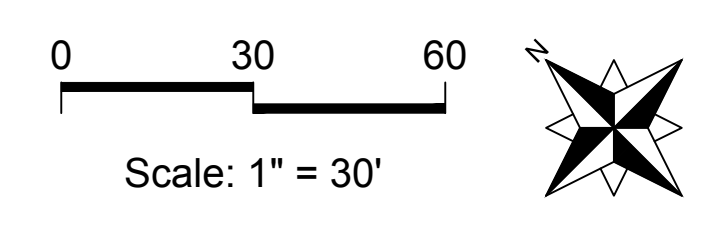
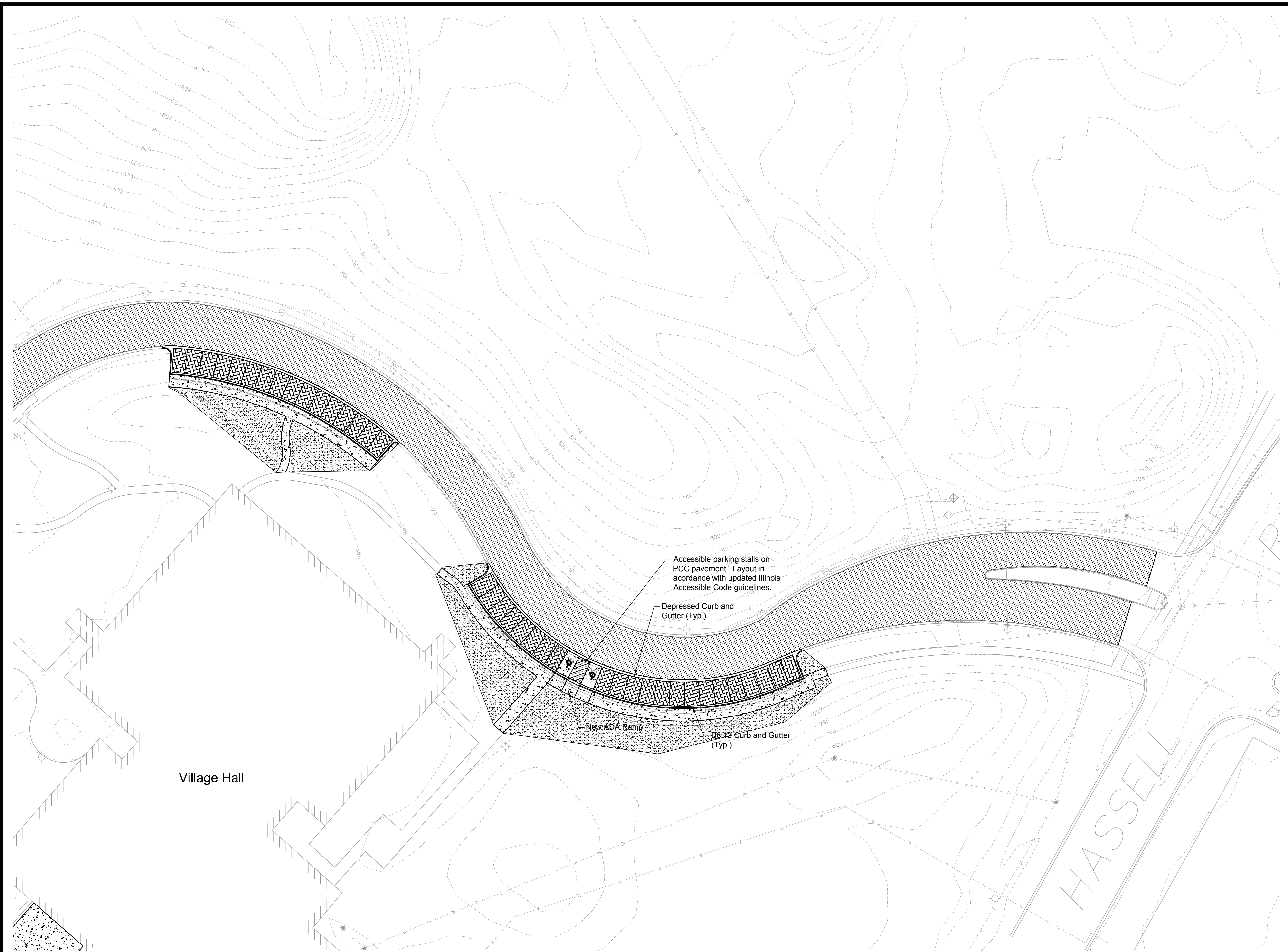
Restoration Plan West

PROJECT NO:	23-0348	SHEET NO:	C3.0
DESIGNED BY:	TCT		
DRAWN BY:	TCT		
CHECKED BY:	PML		
APPROVED BY:	PML	PAGE NO:	
ISSUE DATE:	3/6/2024	5 of 9	

Preliminary Plan

Copyright © 2023 Hey and Associates, Inc.

File: P:\2300023-0348 Hoffman Estates - Village Hall Parking Lot Preliminary.dwg Plot Date: March 6, 2024 Plotted by: Todd Thornton



LEGEND		
Proposed Asphalt Pavement		
Proposed Concrete Pavement/Sidewalk		
Proposed Permeable Pavement		
Proposed Bioswale		
6" Topsoil and Class 2 Seeding		
No.	Revision/Issue	Date

Hey and Associates, Inc.
 Engineering, Ecology and Landscape Architecture
 8755 W. HIGGINS ROAD, SUITE 835
 CHICAGO, ILLINOIS 60631
 OFFICE (773) 693-9200
 FAX (847) 740-2888
 CHICAGO@HEYASSOC.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-002429

Village Hall Parking Lot
 Improvements
 Hoffman Estates, IL

Restoration Plan
 East

PROJECT NO: 23-0348		SHEET NO:
DESIGNED BY	TCT	C3.1
DRAWN BY	TCT	
CHECKED BY	PML	
APPROVED BY	PML	
ISSUE DATE	3/6/2024	PAGE NO: 6 of 9

Preliminary Plan

Copyright © 2023 Hey and Associates, Inc.

File: P:\23000\23-0348 Hoffman Estates - Village Hall Parking Lot Preliminary.dwg Plot Date: March 6, 2024 Plotted by: Todd Thornton



0 30 60
Scale: 1" = 30'

LEGEND

- Proposed Storm Sewer
- Proposed Underdrain
- Proposed Storm Manhole (MH)
- Proposed Catch Basin (CB)
- Proposed Fire Hydrant (HYD)
- Proposed Spot Elevation
- ME Match Existing Elevation
- G Ground Elevation
- P Pavement Elevation
- SW Sidewalk Elevation
- TC Top of Curb Elevation
- 2.00% Swale Drainage Arrow and Slope
- 2.00% Surface Drainage Arrow and Slope

No.	Revision/Issue	Date

Hey and Associates, Inc.
 Engineering, Ecology and Landscape Architecture
 8755 W. HIGGINS ROAD, SUITE 835
 CHICAGO, ILLINOIS 60631
 OFFICE (773) 693-9200
 FAX (847) 740-2888
 CHICAGO@HEYASSOC.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-002429

Village Hall Parking Lot Improvements
 Hoffman Estates, IL

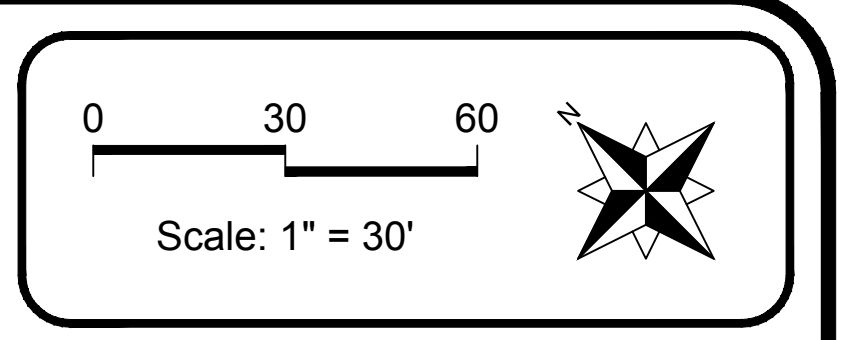
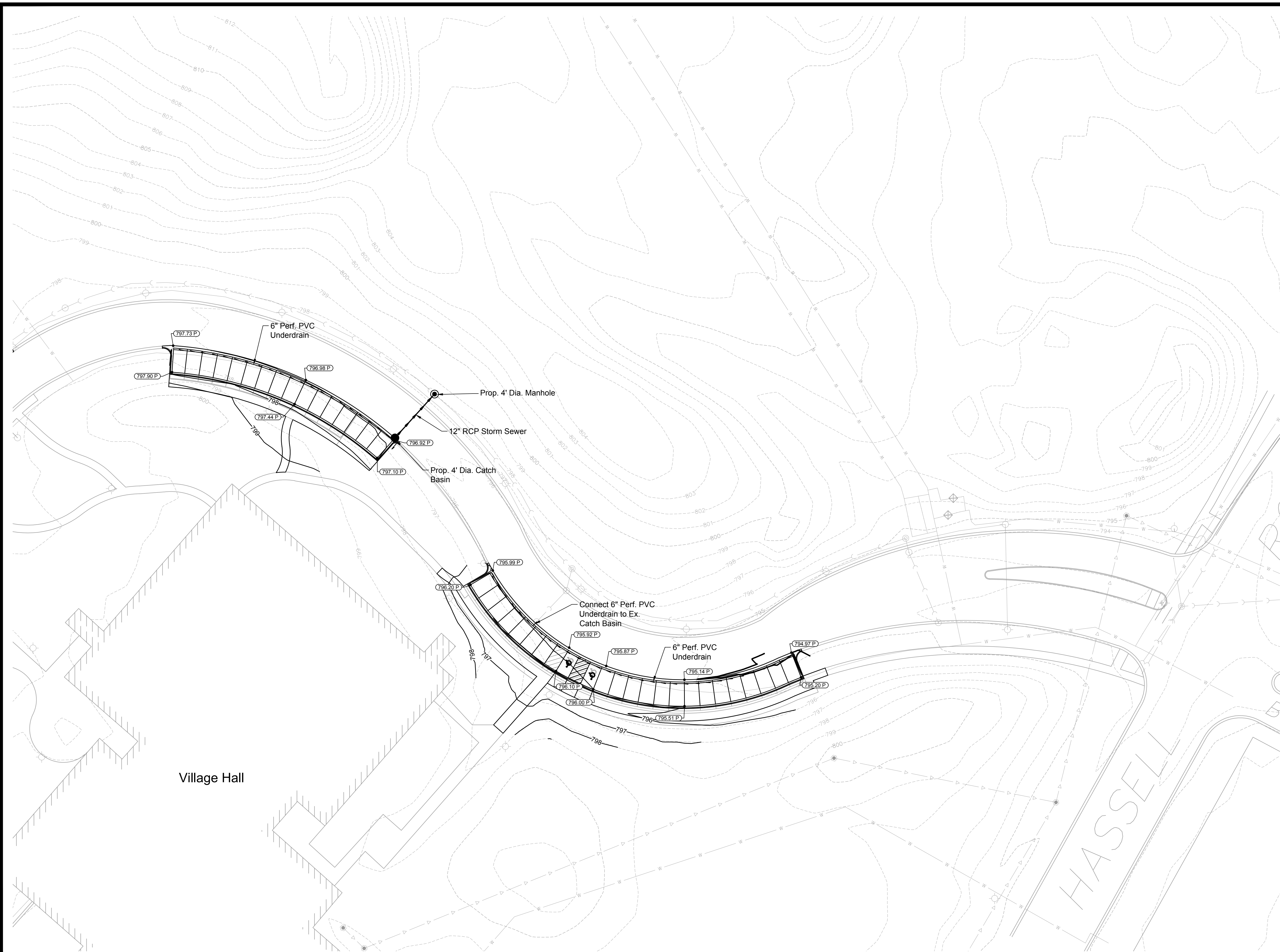
Grading and Drainage Plan West

PROJECT NO: 23-0348		SHEET NO:
DESIGNED BY	TCT	C4.0
DRAWN BY	TCT	
CHECKED BY	PML	
APPROVED BY	PML	
ISSUE DATE	3/6/2024	PAGE NO: 7 of 9

Preliminary Plan

Copyright © 2023 Hey and Associates, Inc.

File: P:\23000\23-0348 Hoffman Estates - Village Hall Parking Lot Preliminary.dwg Plot Date: March 6, 2024 Plotted by: Todd Thornton



LEGEND	
	Proposed Storm Sewer
	Proposed Underdrain
	Proposed Storm Manhole (MH)
	Proposed Catch Basin (CB)
	Proposed Fire Hydrant (HYD)
	Proposed Spot Elevation
	ME Match Existing Elevation
	G Ground Elevation
	P Pavement Elevation
	SW Sidewalk Elevation
	TC Top of Curb Elevation
	2.00% Swale Drainage Arrow and Slope
	2.00% Surface Drainage Arrow and Slope

No.	Revision/Issue	Date

Hey and Associates, Inc.
 Engineering, Ecology and Landscape Architecture
 8755 W. HIGGINS ROAD, SUITE 835
 CHICAGO, ILLINOIS 60631
 OFFICE (773) 693-9200
 FAX (847) 740-2888
 CHICAGO@HEYASSOC.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-002429

Village Hall Parking Lot Improvements
 Hoffman Estates, IL

Grading and Drainage Plan East

PROJECT NO: 23-0348		SHEET NO:
DESIGNED BY	TCT	C4.1
DRAWN BY	TCT	
CHECKED BY	PML	PAGE NO:
APPROVED BY	PML	8 OF 9
ISSUE DATE	3/6/2024	

Preliminary Plan

Copyright © 2023 Hey and Associates, Inc.

Scale bar measures 1" at full scale



LEGEND

No.	Revision/Issue	Date

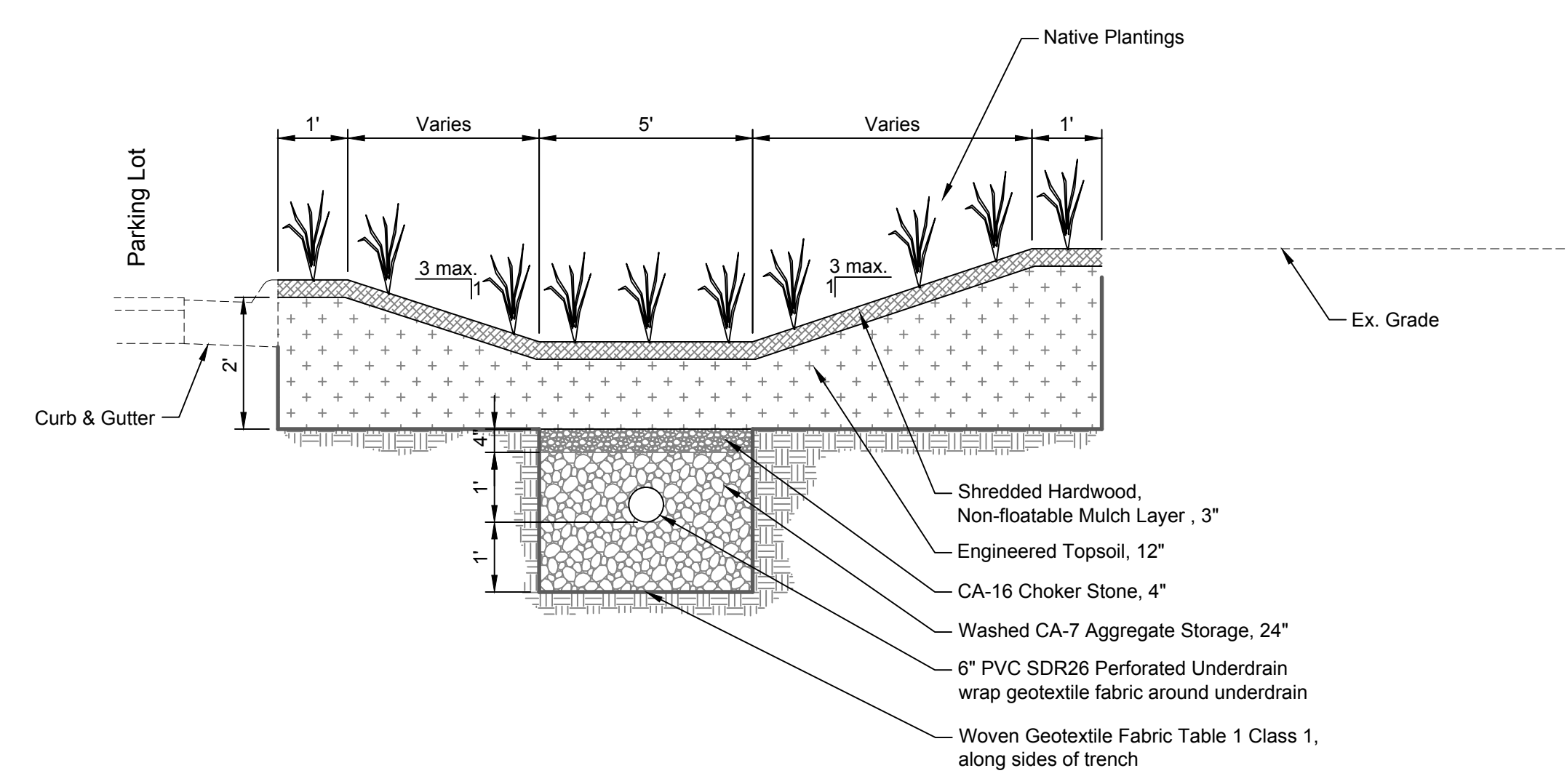
Hey and Associates, Inc.
 Engineering, Ecology and Landscape Architecture
 8755 W. HIGGINS ROAD, SUITE 835
 CHICAGO, ILLINOIS 60631
 OFFICE (773) 693-9200
 FAX (847) 740-2888
 CHICAGO@HEYASSOC.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-002429

Village Hall Parking Lot
 Improvements
 Hoffman Estates, IL

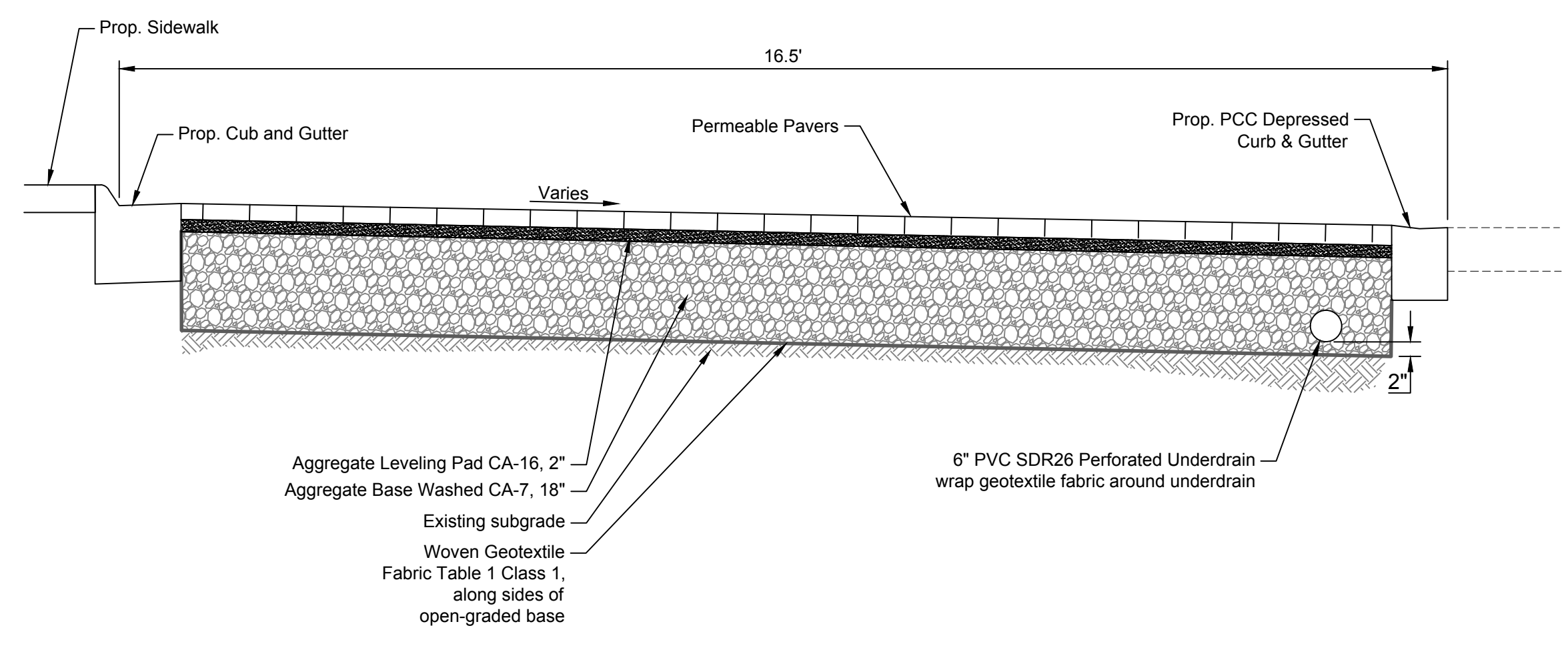
Details

PROJECT NO:	23-0348	SHEET NO:	C5.0
DESIGNED BY	TCT	PAGE NO:	
DRAWN BY	TCT	9 of 9	
CHECKED BY	PML		
APPROVED BY	PML		
ISSUE DATE	3/6/2024		

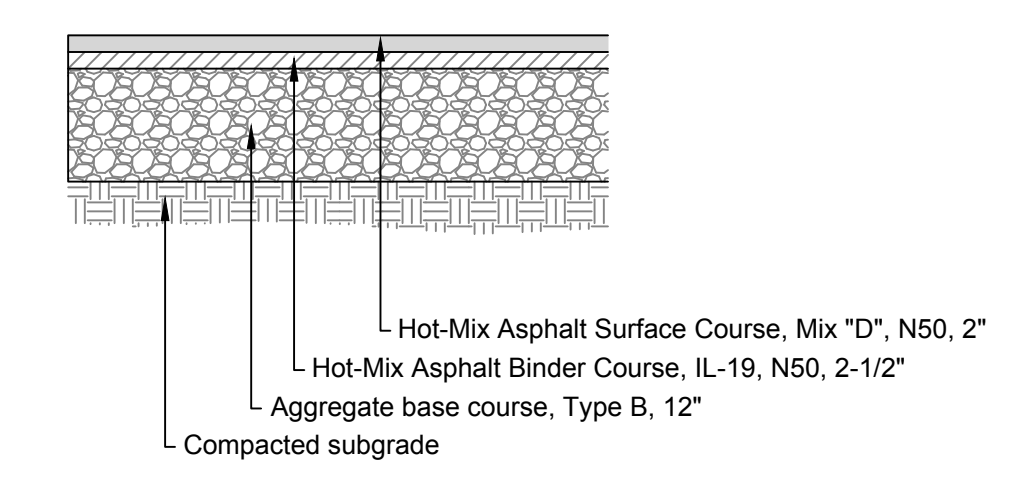
Preliminary Plan



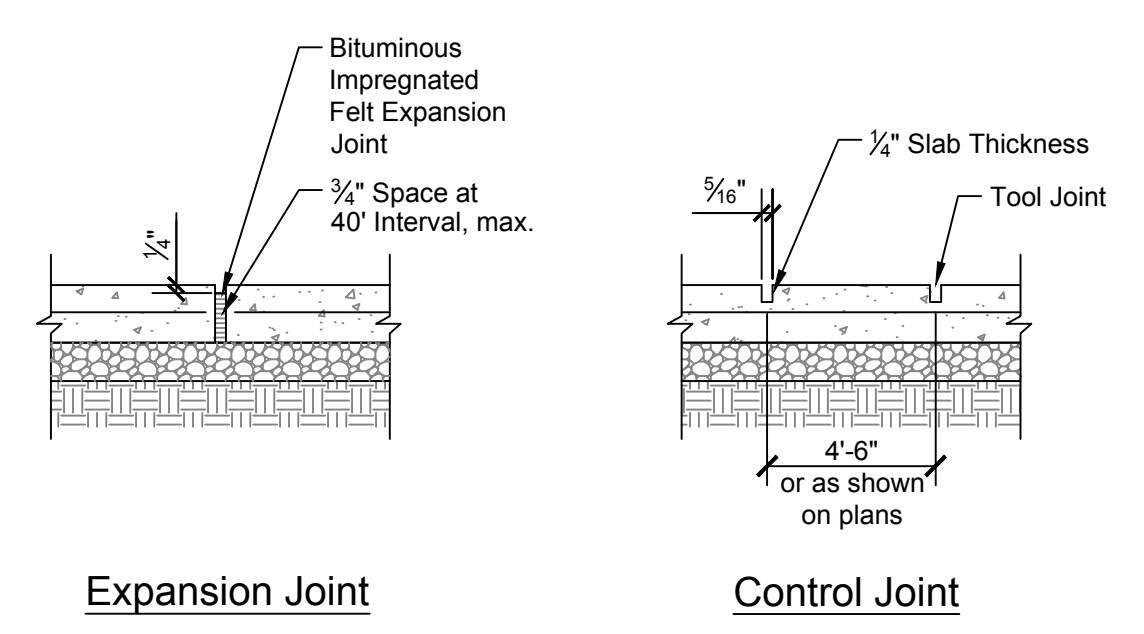
1 Typical Bioswale Section
(Not to Scale)



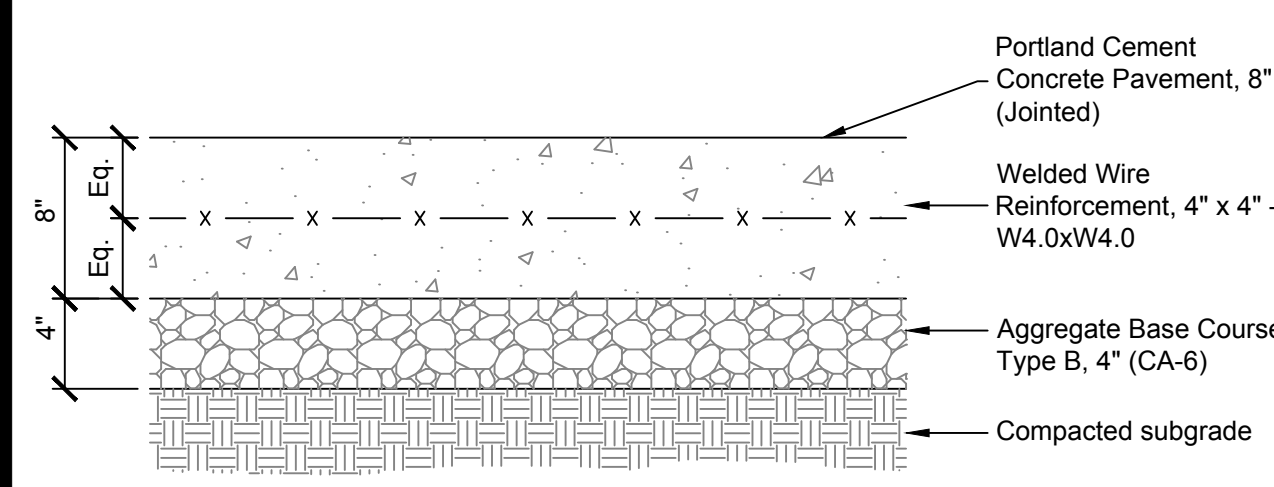
2 Typical Permeable Paver Pavement Section
(Not to Scale)



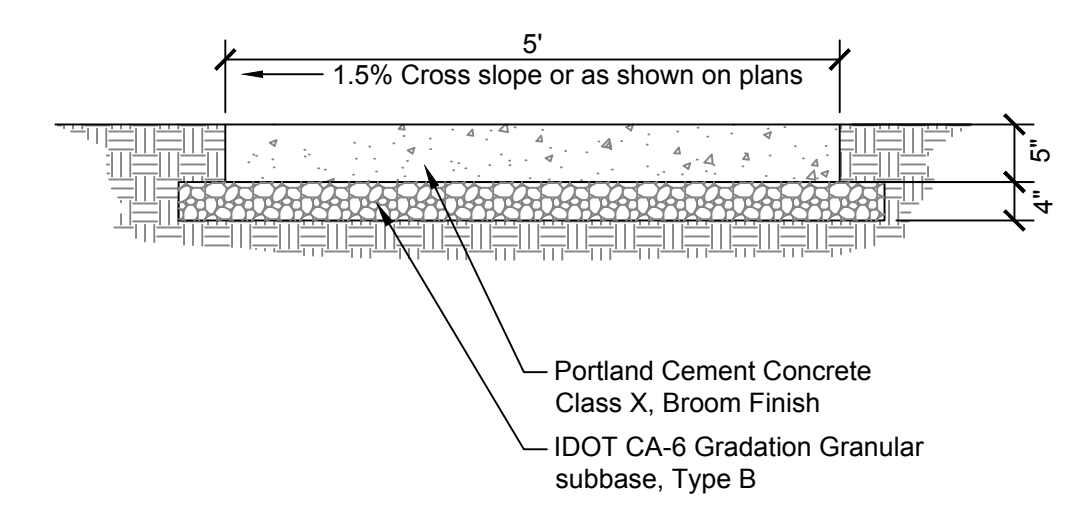
3 Parking Lot Pavement Section
(Not to Scale)



4 Expansion Joint
5 Control Joint



4 Concrete Pavement Section
(Not to Scale)



5 Portland Cement Concrete Sidewalk Detail
(Not to Scale)

File: P:\23000\23-0348 Hoffman Estates - Village Hall Parking Lot\05 CAD\23-0348 Village Hall Parking Lot Preliminary.dwg Plot Date: March 6, 2024 Plotted by: Todd Thornton

Copyright © 2023 Hey and Associates, Inc.

**Agreement for Engineering Services
Village of Hoffman Estates
Supplement 1 to Engineering Services Agreement**

This supplemental Professional Services Agreement (the “Agreement”) is made and entered into this ____ day of July, 2024, by and between the VILLAGE OF HOFFMAN ESTATES, ILLINOIS, a municipal corporation located at 1900 Hassell Road, Hoffman Estates, IL (“Village”) and Hey & Associates, Inc., with a principal place of business at 8755 W. Higgins Road, Chicago, IL (“Contractor”) and sets forth the terms and conditions under which Contractor agrees to perform certain land surveying services as set forth below.

This Agreement is made pursuant to Contractor’s Proposals dated June 13, 2024 attached hereto as Exhibit A and incorporated herein by reference.

1. SERVICES

Contractor shall perform engineering services detailed in scope of services, attached hereto as Exhibit A and incorporated herein by reference, at various locations within the Village of Hoffman Estates, Illinois.

Other than what is provided in Paragraph 3 below, Village shall not be responsible for the cost of materials and equipment necessary for the performance of the Services.

No claim for services furnished by Contractor, not specifically provided for in this Agreement, shall be allowed by the Village nor shall Contractor perform any services or furnish any material not covered by this Agreement without prior written approval by Village. Such approval shall be considered a modification of this Agreement.

2. TERM AND TERMINATION

This Agreement shall be effective and binding upon execution. The parties agree that the time for completion of the services outlined in Exhibit A is December 31, 2024, for 100% design and December 31, 2025 for construction support services. Failure to complete the services outlined in Exhibit A by the completion date shall be considered a breach of this Agreement unless an extension is agreed to in writing by both parties.

3. FEES AND PAYMENT TERMS

The total cost for supplemental services be \$127,100 for a total not to exceed cost of \$167,100.

Costs include all mobilization, equipment and labor charges incurred throughout the duration of the services. Traffic control, heavy clearing, root cutting, waste hauling and disposal, structure location, municipal water usage license, fees, permits, and or deposits are not considered part of the fee.

Any fee for additional services must be agreed to in writing by the Village.

Contractor shall not incur any expenses or costs on behalf of the Village or in performing the Services, other than what is provided for above, unless Village specifically authorizes in advance such expenses or costs in writing. Such additional expenses may include, but are not limited to, travel and lodging expenses.

4. RELATIONSHIP OF THE PARTIES

In performing Services hereunder, Contractor shall at all times act as an independent contractor and not as an agent or employee of Village. The Services shall be completed to the satisfaction of Village; however the actual details of the Services shall be under Contractor's control. Contractor agrees to comply with all applicable state and federal statutes and the Municipal Code of the Village. Contractor further agrees to indemnify and hold Village harmless for any and all claims made arising out of Contractor's breach of the obligations contained in this paragraph.

Contractor is in no way authorized to make any agreement, warranty or representation on behalf of Village or to incur any expenses or implied obligation on behalf of Village without first obtaining Village's prior written consent.

5. INSURANCE

At Contractor's sole expense, Contractor shall be required to maintain at all times insurance of such types and such amounts, as are necessary to cover responsibilities and liabilities on a project of the character contemplated under this proposal. The Consultant shall meet all insurance requirements as stated in Article 107.27 of the "Standard Specifications for Road and Bridge Construction" adopted January 1, 2022. All insurance policies obtained for the project shall include the Village of Hoffman Estates and its duly authorized representatives as an additional insured.

Village shall be named as an additional insured and the address for certificate holder must read exactly as:

Village of Hoffman Estates
1900 Hassell Rd.
Hoffman Estates, IL

6. THIRD PARTY MATERIALS

Contractor will not prepare any deliverables or other material for Village that contains any limitations by third parties on its use without first securing either (i) Village's prior written approval of such limitations, or (ii) the third party's prior written waiver of such limitations. Contractor will not use any materials produced or provided by any third party ("Third Party Materials") having said limitations without having secured the appropriate licenses or prior

written approval of each said third party. In addition, Contractor will not, without Village's prior written approval, use any Third Party Materials pursuant to licenses or agreements that limit or prohibit the assignment of Contractor's rights in and to such Third Party Materials to Village or Village's designee. Contractor shall maintain a copy of all such licenses and agreements and provide copies to Village upon Village's request.

7. OWNERSHIP OF WORK PRODUCT

Contractor agrees that all work product produced by Contractor hereunder, including, without limitation, all reports and other documents ("Work Product") shall be deemed to be works made for hire under U.S. copyright laws and that all right, title, and interest in and to the Work Product shall be the sole property of Village and Village shall have the exclusive right to the copyrights on the Work Product. To the extent that the Work Product is not deemed to satisfy the requirements for a work made for hire under U.S. copyright laws, Contractor hereby assigns to Village all copyrights the Work Product and agrees to execute any additional documents requested by Village to further such assignment at no additional cost to Village. Contractor warrants that the Work Product shall not infringe the patent, copyright or other intellectual property or proprietary right of any third party and agrees to defend, indemnify and hold Village harmless against any such third party claim.

8. ASSIGNMENT AND SUBCONTRACTING

This Agreement shall not be assigned by Contractor without prior written approval of the Village, subject to such conditions and provisions as the Village may deem necessary in its sole and absolute discretion. No such approval by the Village of any assignment shall be deemed in any event or in any manner to provide for the incurrence of any obligation of the Village in addition to the total agreed upon price. Approval by the Village of an assignment shall not be deemed a waiver of any right accrued or accruing against Contractor. No assignee of Contractor shall assign this Agreement without prior written approval of the Village. This Agreement shall be binding upon the parties and their respective heirs, successors, and assigns. Furthermore, Contractor shall not enter into any subcontract with any agency or individual with respect to the performance of Services under this Agreement without the written consent of the Village. Such consent Village may grant, condition or withhold in Village's sole discretion.

9. NOTICE

All notices and other communications required to be given under the Agreement shall be in writing and shall be deemed to have been given (i) when personally delivered; (ii) three (3) business days after sending certified mail, or (iii) sending via email to the addresses below.

If to Village:

Village of Hoffman Estates
Eric Palm, Village Manager
1900 Hassell Rd.
Hoffman Estates, IL 60169

If to Contractor: Jeff Wickenkamp
 Hey & Associates, Inc.
 8755 W. Higgins Road, Suite 835
 Chicago, IL 60631
 Email: jwickenkamp@heyassoc.com

10. GOVERNING LAW AND VENUE

The parties agree this Agreement has been executed and delivered in Illinois and that their relationship and any and all disputes, controversies or claims arising under this Agreement shall be governed by the laws of the State of Illinois, without regard to conflicts of laws principles. The parties further agree that the exclusive venue for all such disputes shall be the Circuit Court in Cook Village, Illinois, and the parties hereby consent to the personal jurisdiction thereof.

11. COMPLIANCE WITH LAWS

Each party hereto covenants and agrees to comply with all applicable federal, state, and local laws, codes, ordinances, rules and regulations.

12. SEVERABILITY

The invalidity or unenforceability of any particular word, phrase, sentence, paragraph or provision of this Agreement shall not affect the other words, phrases, sentences, paragraphs or provisions hereof. This Agreement shall be construed in all respects as if such invalid or unenforceable provisions were omitted and the remainder construed so as to give them meaningful and valid effect. It is the intention of the parties that if any particular provision of this Agreement is capable of two constructions, one of which would render the provision void and the other of which would render the provision valid, the provision shall have the meaning which renders it valid.

13. WAIVER

Either Party's failure to insist upon strict compliance with any provision hereof or its failure to enforce any rights or remedy in any instance shall not constitute or be deemed to be a waiver of any provision, right or remedy.

14. ENTIRE AGREEMENT

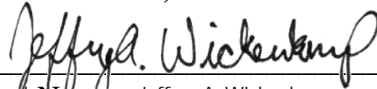
This Agreement constitutes the entire agreement and understanding of the parties with regard to the subject matter contained herein and supersedes all prior agreements and understandings between the parties dealing with such subject matter, whether written or oral. No agreement hereafter made between the parties shall be binding on either party unless reduced in writing and signed by the party sought to be bound thereby.

IN WITNESS WHEREOF, the Parties have executed this contract as of the date first written above.

The Village of Hoffman Estates

By: _____
Printed Name: _____
Title: _____
Date: _____

Hey & Associates, Inc.

By:  _____
Printed Name: Jeffrey A. Wickenkamp _____
Title: President _____
Date: June 17, 2024 _____

Hey and Associates, Inc.

Engineering, Ecology and Landscape Architecture

RICHLAND CENTER, WISCONSIN

26575 W. COMMERCE DRIVE, SUITE 601

VOLO, ILLINOIS 60073

PHONE (847) 740-0888

FAX (847) 740-2888

CHICAGO, ILLINOIS

June 13, 2024

Alan Wenderski, P.E.
Village of Hoffman Estates
1900 Hassell Road
Hoffman Estates, Illinois 60169

Proposal No.: 23-0348

Re: Final Engineering Supplemental Proposal
Village Hall Parking Lot Improvements
1900 Hassell Road
Hoffman Estates, Illinois

Dear Alan:

Hey and Associates, Inc. (Hey) will be pleased to provide final civil engineering services for the proposed improvements to the Hoffman Estates Village Hall Parking Lot. This proposal will be based on the Preliminary Engineering Plans dated March 6, 2024 prepared by Hey for the application for the MWRD Green Infrastructure (GI) Partnership.

Tasks 1 through 4 have been completed as part of the preliminary engineering design phase and grant application to the MWRD. We propose the following scope of services for final engineering:

Task 5: Topographic Survey

JLH Land Surveying (JLH) will provide land surveying services. JLH will conduct a topographic survey of the site including the existing parking lot, access drive to Hassell Road, detention basin, underground utilities, sidewalk, building corners, trees, and landscaping. The topographic survey will be prepared in AutoCAD and will be used as a base drawing for site geometrics, preliminary engineering, and Green Infrastructure design. Hey will contact JULIE prior to the survey to mark utility locations. Preparation of a boundary survey and plat of survey/easements are not included as part of this proposal.

Task 6: Geotechnical Investigation

Midland Standard Engineering & Testing, Inc. (MSET) will provide geotechnical investigation services for this project. In accordance with the GI partnership requirements, we will obtain soil borings, the elevation of groundwater, and conduct infiltration testing. There will be a total of six 15-foot borings, two located within the proposed bioswale west of the parking lot,

two located within the proposed bioswale north of the parking lot, one for each of the two proposed permeable pavement parking areas. The results of the geotechnical investigation will be required for submittal to the MWRD for the 60% design stage.

Task 7: IGA Assistance

They will assist the Village in preparing the Intergovernmental Agreement with the MWRD. Based on our project kick-off meeting with the MWRD, we will assist with the following tasks that will be required for full execution and approval of the IGA.

- Submittal of the preliminary engineering plans to the MWRD Local Sewer Systems Section for a permit determination.
- Prepare and submit a Maintenance and Operations Plan.

Task 8: Final Engineering

We will perform all necessary work to prepare a plan set, specifications, special provisions, and cost estimates for the work based on the preliminary engineering plans and topographic survey.

Final Engineering Plans

The MWRD will consider the preliminary engineering plans submitted for the application for the GI Partnership Program as the 30% design submittal. We will prepare final engineering plans with deliverables for the 60%, 98%, and 100% design phases. The anticipated sheets in the final engineering plan set are expected to be as follows:

- Cover Sheet
- General Notes and Legend
- MWRDGC Notes (if WMO permit is required)
- Summary of Quantities
- Existing Conditions, Utilities, and Boring locations
- Demolition Plan
- Soil Erosion and Sediment Control (SESC) Plan
- Grading and Drainage Plan
- Cross sections for proposed BMP's.
- Detailed ADA Grading Plan
- Restoration Plan
- Planting Plan
- Lighting Plan
- Details

Stormwater Calculations

Hey will utilize the current Stormwater Design Retention Capacity (DRC) spreadsheet to determine the design retention volumes for the 60% and 98% design phases. We will complete the groundwater check and infiltration volume sections of the spreadsheet from the results of the geotechnical report. We will also complete the CN & Runoff Volume tab of the DRC spreadsheet and include an exhibit

Engineer's Opinion of Probable Cost

An Engineer's Opinion of Probable Cost (EOPC) has been prepared for the application to the GI partnership program which shows the breakdown between the GI and non-GI costs. Quantities will be calculated and the EOPC will be updated for the 60%, 98%, and 100% design phases. We will be utilizing IDOT pay items to the extent practicable. There has been major volatility in construction pricing over the past few years. Hey will do its due diligence to research construction pricing to develop an EOPC. Research may include IDOT bid tabs, municipal bid tabs as available, and discussion with vendors.

Specifications and Special Provisions

We will prepare Specifications and Special Provisions for work items included in the final plans, to be used in conjunction with the IDOT Standard Specifications for Road and Bridge Construction (incorporating the 2024 Supplemental Specifications and relevant recurring special provisions) and the Village's front end contract documents. We assume that the Village's front end documents and all administrative, bidding and contracting requirements included in any project funding agreements will be prepared by the Village.

Electrical and Lighting Design

Nova Engineering, PC will provide electrical and parking lot lighting design services. The services include design of parking lot lighting and drive lighting and providing power to EV charging stations. The scope of work will involve performing a site visit to verify existing conditions, attend virtual meetings, prepare electrical plans, riser and schedules, specification notes on the drawings, cost estimates, and respond to code review comments.

Task 9: Stormwater Pollution Prevention Plan (SWPPP) and NPDES Permitting

There is a 30-day lead time required for obtaining authorization for the ILR10 “SWPPP” permit. Recent changes to the SWPPP permitting process includes document submittal of the permit application Notice of Intent and Storm Water Pollution Prevention Plan (NOI and SWPPP) using the Central Data Exchange (CDX) system. The CDX portal is scheduled to be replaced with another system in August 2024, and Hey will be updated and will have mastered the updated procedures. We are registered in the system and can prepare and edit NOIs and SWPPPs. We can flag prepared documents for the permittee’s review and submittal. Our ability will ensure that preparing the required NOI and finalized SWPPP is not delayed by having to learn permit document management procedures.

The SWPPP permitting assistance task includes preparing one Hoffman Estates Village Hall Parking Lot SWPPP. We can prepare the SESC plan and details, as well as smoothly coordinate with your project teams in the production of an efficient SESC plan. The SESC plan is the backbone of the SWPPP, but it far from complete in addressing the full requirements of a SWPPP. With the site-specific SESC plan and details, we assemble a complete SWPPP document.

Task 10: WMO Permitting, Detention, and Volume Control Design (If Necessary)

If the permit determination submitted as part of execution of the IGA results in the requirement for a WMO permit, we will prepare a design for stormwater detention and volume control in accordance with the Cook County Watershed Management Ordinance (WMO). Work in this task includes incorporating the detention and volume control design in the plan set, preparation of a stormwater management report, preparing WMO permit applications, submittal to the Local Sewer Systems Section, and plan and report revisions based on review comments received.

Task 11: Construction Administration

Services include submittal review, field site visits during construction, participation in a post-construction walkthrough with MWRD, review of record drawings, and completion of the final constructed DRC spreadsheet. We assume that the Contractor bears responsibility for project means and methods, job site safety, and compliance with the construction drawings.

JLH Survey will prepare the record drawings in accordance with MWRD GI Partnership and WMO requirements. The record drawings will include 1-foot contours for use to calculate final stormwater storage volumes. Hey will calculate the final volumes and update the DRC spreadsheet for the final constructed phase.

Resident engineering and construction administration services for electrical work are not included in this proposal.

Task 12: Project Management and Meetings

We assume a total of six meetings, with at least 2 in-person meetings throughout the duration of the design phase of the project.

Schedule

The design phase of the project will be completed according to the following milestones:

- August 30, 2024 30% Design (MWRD will allow plan submitted at application)
- October 11, 2024 60% Design and Geotechnical Report to MWRD
- November 22, 2024 98% Design
- December 31, 2024 100% Design and IGA fully executed
- Spring 2025 Construction Start
- Fall 2025 Construction Complete

Fees

Our standard terms are attached. If this agreement is acceptable, please sign below and return this proposal to our office. Upon receipt, we will sign and return a fully executed copy for your records. This proposal is valid for 60 days from the date of this letter. Should you have any questions, please contact the project manager, Todd Thorholm at our Chicago office.

Task	Description	Fee
5	Topographic Survey	\$8,400
6	Geotechnical Investigation	\$8,700
7	IGA Assistance	\$3,800
8	Final Engineering	\$73,200
9	SWPPP and NPDES Permitting	\$3,200
10	WMO Permitting (if necessary)	\$9,500
11	Construction Administration	\$15,000
12	Project Management and Meetings	\$5,300
	Total	\$117,600
	Total (including WMO Permitting)	\$127,100



**VILLAGE OF HOFFMAN ESTATES
DEPARTMENT OF DEVELOPMENT SERVICES**

TRANSPORTATION DIVISION MONTHLY REPORT

SUBMITTED TO: TRANSPORTATION & ROAD IMPROVEMENT COMMITTEE

BY: Jennifer Horn, Director of Planning & Transportation

July 2024

GENERAL UPDATES

- ◆ Staff attended the 2024 Transport Chicago conference, including keynotes on sustainability and mass transit, and an interactive session on EV Charger planning.
- ◆ Staff participated in the NWMC Bike and Pedestrian Committee meeting. The Committee is now on summer hiatus and will return in September.
- ◆ Pace held a municipal briefing for their ReVision planning effort on 6/18. Transportation & Long-Range Planner Phil Green attended on behalf of the Village. The ReVision plan will make recommendations for a sustainable service model for Pace, as they make decisions on whether to expand service to more areas or focus on improving service in key locations.

TRANSPORTATION PROJECT UPDATES

Roadway and Bike/Ped Projects in Design

PROJECT	STATUS
Barrington Road Widening - Algonquin to Central Road <i>Lead Agency: IDOT</i>	IDOT MYP for 2024-2028. <i>IDOT construction timing undetermined.</i>
Central Road Off-Street Bike Facility (Access to Transit / CMAQ) <i>Lead Agency: Cook County</i> <i>Scope: Off-street path along the north side of Central Rd. between Paul Douglas Forest Preserve path and Pace Park-n-Ride at Barrington Rd.</i>	Phase II Engineering in progress (Ciorba Group). ROW and easements process underway. <i>Construction expected to begin in 2025.</i>
Gannon Drive Bicycle and Roadway Resurfacing Project (Invest in Cook) <i>Lead Agency: VOHE</i> <i>Scope: Resurfacing Gannon Dr. with bike lane between Higgins and Golf.</i>	Phase I Engineering in progress (TranSystems). Phase 1 design approval expected in October 2024. <i>Construction expected in 2026.</i>
Golf Road / Barrington Road Intersection Improvement Study <i>Lead Agency: IDOT</i>	Phase II Engineering in progress. Awaiting draft IGA. <i>IDOT construction timing undetermined.</i>
Hassell Road Ped/Bike Enhancement Project (ITEP) <i>Lead Agency: VOHE</i> <i>Scope: Ped/bike streetscape and safety enhancements along Hassell Rd., Pembroke and Stonington, leading to Pace Barrington Rd. transit station.</i>	Phase I Engineering in progress (Baxter & Woodman). Project Development Report submitted to IDOT on 6/10. Phase II RFP released, proposals due July 10. <i>Construction expected in 2026.</i>
Higgins Road / Huntington Blvd. Intersection Study <i>Lead Agency: IDOT</i> <i>Scope: WB right-turn lane, ped crossing on the east leg, traffic signal, ADA ramps, and bike push button at the SEC of intersection.</i>	Phase I Engineering completed. <i>IDOT construction timing undetermined.</i>

PROJECT	STATUS
<p>Shoe Factory Road Reconstruction and Off-Street Path <i>Lead Agency: Cook County</i> <i>Scope: Widen and reconstruct Shoe Factory Road from Beverly Road to Essex Drive with off-road path north of Shoe Factory Road, west of Beverly.</i></p>	<p>Phase II Engineering in progress (Civiltech). ROW and utility relocations in progress. <i>Construction expected in 2025.</i></p>

Roadway and Bike/Ped Projects – 2024 Construction

PROJECT	STATUS
<p>2024 Village Street Revitalization Project <i>Lead Agency: VOHE</i></p>	<p>Construction underway. Regular project updates are being sent out.</p>
<p>Beverly Road Bicycle Facility and Resurfacing (Invest in Cook, STP-L) <i>Lead Agency: VOHE</i> <i>Scope: Resurfacing from Prairie Stone Pkwy to Beacon Pointe Dr. and construction of a barrier-separated off-street path on the west side of Beverly Rd.</i></p>	<p>Median and bridge deck work ongoing. NB/SB lane closures to be ongoing. <i>Construction is expected to be completed in November 2024.</i></p>

TRANSIT UPDATES

Northwest Cook County Transit Plan

CMAP selected SRF, Sam Schwartz, and Metro Strategies to complete this plan which will provide recommendations for more effective, efficient, coordinated transit services among and across the Hoffman Estates and Schaumburg area. Participating communities and organizations include the Villages of Hoffman Estates and Schaumburg, Townships of Hanover, Palatine and Schaumburg, Pace Suburban Bus, and Harper Community College. Public engagement is ongoing. Staff are participating on multiple fronts, including as a member of the steering committee, and the partner group.

Taxi Discount Program

Program registration is ongoing with identification cards and coupons sent to residents. Since its inception, 825 residents have registered for the program, with 350 current eligible registrants. The graph below shows historical, year-to-date use, and an estimate of the 2024 usage. The most recent coupons turned in covered through the end of May.

