

AGENDA

*Village of Hoffman Estates
Second Meeting of the Month
Village Board of Trustees*

*1900 Hassell Road
Hoffman Estates, IL 60169
847/882-9100*

Board Room

September 18, 2023

(Immediately Following Special Finance Committee)

1. **CALL TO ORDER/ROLL CALL**
2. **PLEDGE OF ALLEGIANCE TO THE FLAG**
3. **RECOGNITION OF AUDIENCE**
4. **APPROVAL OF MINUTES – September 5, 2023**
5. **CONSENT AGENDA/OMNIBUS VOTE (Roll Call Vote)**
(All items under the Consent Agenda are considered to be routine in nature and will be enacted by one motion. There will be no separate discussion of these items unless a Trustee so requests. In that event, the discussion will be the first item of business after approval of the Consent Agenda.)
 - A. Approval of Agenda.
 - B. Approval of the schedule of bills for September 18, 2023 - \$7,061,370.09.
 - C. Request Board approval of Barrington Square Town Center TIF Reimbursement Request #8 in the amount of \$351,504.87.
 - D. Request Board consideration of a request from the Children’s Advocacy Center of North and Northwest Cook County for an extension of the existing Lease for the property located at 640 Illinois Boulevard.
 - E. Request Board approval of an Ordinance amending Section 6-2-1-HE-11-1302-A of the Hoffman Estates Municipal Code (handicapped parking – Chelmsford Place).
 - F. Request Board approval of Change Order #1 to the contract with TranSystems of Schaumburg, IL, for Phase 1 engineering services for the Gannon Drive Resurfacing and Bicycle Facility project in the amount of \$44,646 for a total not to exceed cost of \$158,883.
6. **REPORTS**
 - A. **President’s Report**
 - ... Proclamation(s)
 - Sharon Lawson Day (45 Years’ Service)
 - Gregory Poulos Day (30 Years’ Service)
 - National Rail Safety Week
 - Constitution Week
 - ... Boards & Commissions Appointment(s)
 - Sarah McClarey (Planning & Zoning Commission Term Ending April 2027)
 - B. **Trustee Comments**
 - C. **Village Manager’s Report**
 - D. **Village Clerk’s Report**

6. **REPORTS – Continued**
 - E. **Treasurer's Report**
 - F. **Committee Reports**
 - Public Works & Utilities
 - Public Health & Safety
 - Finance

7. **PLANNING & ZONING COMMISSION RECOMMENDATIONS**
 - A. Request Board concurrence with the Planning and Zoning Commission recommendation and Board approval of an Ordinance granting a Master Sign Plan Amendment to the Hoffman Village Master Sign Plan for the property located at 1165–1199 N. Barrington Road and 2501–2599 W. Golf Road.
Voting: 9 Ayes, 1 absent
Motion carried.

8. **ADDITIONAL BUSINESS**
 - A. Request Board authorization to award a contract for the 2023-2024 NOW Arena Landscaping Project to Mark 1 Landscaping, Bartlett, Illinois in an amount not to exceed \$99,998.
 - B. Request Board approval of an Ordinance amending Section 8-3-22, Number of Licenses of Article 3, Alcoholic Liquors, of the Hoffman Estates Municipal Code (decrease the number of Class A licenses for Baby Vegas Café LLC dba Baby Vegas, 138 A W. Higgins Road, Hoffman Estates, IL and increase the number of Class A licenses for Anna's Café-Hoffman LLC dba Baby Vegas, 138 A W. Higgins Road, Hoffman Estates, IL).

9. **ADJOURNMENT -- *Executive Session - Land Acquisition (5 ILCS 120/2-(c)-(5))***

Further details and information can be found in the agenda packet attached hereto and incorporated herein and can also be viewed online at www.hoffmanestates.org and/or in person in the Village Clerk's office. The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.

MEETING:
DATE:
PLACE:

HOFFMAN ESTATES VILLAGE BOARD
SEPTEMBER 5, 2023
COUNCIL CHAMBERS
MUNICIPAL BUILDING COMPLEX
1900 HASSELL ROAD
HOFFMAN ESTATES, ILLINOIS

1. CALL TO ORDER:

Village President William McLeod called the meeting to order at 6:36 p.m. The Village Clerk called the roll. Trustees present: Gary Stanton, Karen Arnet, Patrick Kinnane, Karen Mills, Anna Newell, Gary Pilafas.

A quorum was present.

ADMINISTRATIVE PERSONNEL PRESENT:

E. Palm, Village Manager
D. O'Malley, Deputy Village Manager
A. Janura, Corporation Counsel
J. Blake-Dickson, Asst. Corporation Counsel
K. Cawley, Police Chief
J. Bending, Police Lieutenant
A. Wax, Fire Chief
P. Seger, Human Resources Director
R. Musiala, Finance Director
J. Nebel, Public Works Director
D. Razka, IT Director
M. Saavedra, H&HS Director
P. Gugliotta, Development Services Director
S. Ostrovsky, Asst. Village Manager
M. Brito, Communications Manager
R. Signorella, Multimedia Production Manager
Oakley, Police Comfort Dog

2. PLEDGE OF ALLEGIANCE TO THE FLAG:

The Pledge of Allegiance was led by Trustee Stanton.

3. RECOGNITION OF AUDIENCE:

No one wished to be recognized.

4. APPROVAL OF MINUTES:

Motion by Trustee Stanton, seconded by Trustee Arnet, to approve Item 4. Voice vote taken. 5 ayes, Newell abstained. Motion carried.

Approval of Minutes
Minutes from August 21, 2023

5. CONSENT AGENDA/OMNIBUS VOTE:

Motion by Trustee Arnet, seconded by Trustee Kinnane, to approve Item 5.A.

5.A. Approval of Agenda

Roll Call:

Aye: Stanton, Arnet, Kinnane, Mills, Newell, Pilafas

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Arnet, seconded by Trustee Kinnane, to approve Item 5.B.

5.B. Approval of the schedule of bills for September 5, 2023 - \$1,943,144.74.

Roll Call:

Aye: Stanton, Arnet, Kinnane, Mills, Newell, Pilafas

Nay:

Mayor McLeod voted aye.

Motion carried.

6. REPORTS:

6.A. President's Report

Presentation(s)

Mike Rapp, Lions Club member, presented a \$500 check to Jennifer Hamilton, Leyden Family Services SHARE Program. This money was raised by the Lions Club at the bingo tent during the Village's 4th of July festival.

Proclamation(s)

Trustee Arnet read the following proclamation.

Motion by Trustee Stanton, seconded by Trustee Mills, to concur with the proclamation proclaiming September 11-15, 2023 National Disability Voting Rights Week. Voice vote taken. All ayes. Motion carried.

Members of the Beth Tikvah Social Justice group were congratulated by the Board and accepted the proclamation.

Trustee Pilafas read the following proclamation.

Motion by Trustee Mills, seconded by Trustee Arnet, to concur with the proclamation proclaiming the first full week of September 2023 as National Payroll Week. Voice vote taken. All ayes. Motion carried.

Director Musiala accepted the proclamation.

Trustee Mills read the following proclamation.

Motion by Trustee Stanton, seconded by Trustee Arnet, to concur with the proclamation proclaiming September 2023 as National Suicide Prevention Awareness Month. Voice vote taken. All ayes. Motion carried.

Dr. Saavedra accepted the proclamation.

Trustee Stanton read the following proclamation.

Motion by Trustee Mills, seconded by Trustee Arnet, to concur with the proclamation proclaiming Sunday, September 10, 2023 National Grandparents Day. Voice vote taken. All ayes. Motion carried.

Mayor McLeod asked that the proclamation get posted.

Motion by Trustee Mills, seconded by Trustee Arnet to recess the board meeting to hold the Liquor Hearing. Time: 6:59 p.m. Voice vote taken. All ayes. Motion carried.

Village President William McLeod called the meeting back to order at 7:01 p.m. The Village Clerk called the roll. Trustees present: Gary Stanton, Karen Arnet, Patrick Kinnane, Karen Mills, Anna Newell, Gary Pilafas.

A quorum was present.

Mayor McLeod stated that he swore in four new police officers, attended ribbon cuttings for Minuteman Press and Indiacco Food Store, he met with State Representative Crespo to talk about upcoming projects, he had a meeting to discuss Mumbi Café, he attended a block party, a family party for Neil Khot, a cricket game, the celebration of life for Kelly Kerr, toured Fire Station 21, attended a management team meeting, an Economic Development event, the wedding reception for the sister of Jennifer Djordjevic, the Schaumburg September Fest parade, he had a meeting with CDK to talk about their

property and he spoke about the Special Olympics Truck Convoy and our recycling event.

6.B. Trustee Comments

Trustee Stanton stated that he attended the Indiacco ribbon cutting, he toured a site for a potential business, attended the truck convoy, a block party, the economic development lunch and the September Fest parade.

Trustee Arnet stated that she attended the truck convoy, a block party and the parade.

Trustee Kinnane stated that he attended the truck convoy, a block party, a music event at Bridges of Poplar Creek, a cricket game, the remembrance for Kelly Kerr, he volunteered at Feed My Starving Children, Our Lady of Angels, and with the Lion's Club for the Schaumburg Fest bingo tent and he attended the Schaumburg parade.

Trustee Pilafas thanked the Lions Club for their donation, he thanked Public works and all that volunteered for the recycling event, stated that the summer concerts are over but that the Platzkonzert is this weekend. He also stated that he attended the Schaumburg parade. Director Nebel reported on the totals that were collected during the recycling event.

Trustee Newell stated that she attended the Minuteman Press ribbon cutting, a JAWA meeting, the recycling event, a block party, the service for Kelly Kerr, the Schaumburg parade and a Sustainability Commission meeting.

Trustee Mills stated that she was busy with a lot of family events and family fun, she thanked Chief Cawley for meeting with the Barrington Square Board to discuss some issues that they're having and she attended the remembrance for Kelly Kerr.

6.C. Village Manager's Report

Mr. Palm spoke about the passing of Assistant Public Works Kelly Kerr, he said the Budget and Capital Improvement Board meetings will be happening shortly so that we're not meeting the week of Thanksgiving. Mr. Palm also had Police Chief Cawley introduce our new police comfort dog Oakley who was accompanied by Police Commander Bending.

6.D. Village Clerk's Report

The Village Clerk stated that during the month of August, 242 FOIA requests were responded to and 42 passports were processed.

6.E. Committee Reports**Transportation & Road Improvement**

Trustee Arnet stated that they would be meeting to review a request for handicapped parking space on Chelmsford Place; request approval of Change Order #1 to the contract with TranSystems of Schaumburg, IL, for Phase 1 engineering services for the Gannon Drive Resurfacing and Bicycle Facility project in the amount of \$44,646 for a total not to exceed cost of \$158,883 and to receive and file the Transportation Division Monthly Report.

Planning, Building & Zoning

Trustee Mills stated that they would be meeting to request approval of Barrington Square Town Center TIF Reimbursement Request #8 in the amount of \$351,504.87 and to receive and file the Transportation Division Monthly Report.

General Administration & Personnel

Trustee Kinnane stated that they would be meeting to consider a request from the Children's Advocacy Center of North and Northwest Cook County for an extension of the existing Lease for the property located at 640 Illinois Boulevard and to receive and file the Cable TV Monthly Report, the Human Resources Management Monthly Report and the Legislative Operations & Outreach Monthly Report.

7. ADDITIONAL BUSINESS:

Motion by Trustee Stanton, seconded by Trustee Arnet, to approve Item 7.A.

7.A. Request Board approval of Ordinance No.5051-2023 amending Section 8-3-22, Number of Licenses of Article 3, Alcoholic Liquors, of the Hoffman Estates Municipal Code (decrease the number of Class A licenses, Black Hawk Restaurant Group dba Betty's Bistro, 2565 W. Golf Road, Hoffman Estates, IL; decrease the number of Class D licenses for Summit Hotel TRS 034 LLC dba Hyatt Place Chicago Hoffman Estates, 2750 Greenspoint Parkway, Hoffman Estates, IL; and increase the number of Class D licenses for Estates Hotel LLC dba Hyatt Place, 2750 Greenspoint Parkway, Hoffman Estates, IL).

Roll Call:

Aye: Stanton, Arnet, Kinnane, Mills, Newell, Pilafas

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Pilafas, seconded by Trustee Kinnane, to approve Item 7.B.

7.B. Request Board approval of Ordinance No. 5052-2023 authorizing the Village to exercise the Right Of Eminent Domain through condemnation (2170, 2180 and 2190 W. Higgins Road).

Roll Call:

Aye: Stanton, Arnet, Kinnane, Mills, Newell, Pilafas

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Stanton, seconded by Trustee Arnet, to approve Item 7.C.

7.C. Request approval of an agreement with EMS Management & Consultants of Winston-Salem, NC (with offices in Arlington Heights, IL) for EMS Billing Services.

Roll Call:

Aye: Stanton, Arnet, Kinnane, Mills, Newell, Pilafas

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Stanton, seconded by Trustee Mills, to approve Item 7.D.

7.D. Request approval of Ordinance No. 5053-2023 expressing official intent regarding certain capital expenditures to be reimbursed from proceeds of one or more obligations to be issued by the Village of Hoffman Estates, Cook County, Illinois.

Roll Call:

Aye: Stanton, Arnet, Kinnane, Mills, Newell, Pilafas

Nay:

Mayor McLeod voted aye.

Motion carried.

8. ADJOURNMENT:

Motion by Trustee Kinnane, seconded by Trustee Arnet, to adjourn the meeting. Time: 7:21 p.m.

Bev Romanoff
Village Clerk

Date Approved

The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.



BILL LIST SUMMARY

BILL LIST AS OF 09/18/2023	\$ 3,631,377.92
MANUAL CHECKS 09/01 - 09/14/2023	\$ 11,659.56
PAYROLL 09/08/2023 & 09/15/2023	\$ 1,430,569.18
CREDIT CARDS 07/06 - 08/05/2023	\$ 241,416.39
WIRES 08/01 - 08/31/2023	\$ 1,746,347.04
TOTAL	\$ 7,061,370.09

VILLAGE OF HOFFMAN ESTATES

SEPTEMBER 18, 2023

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
GENERAL FUND			
01 0301	GARVEY'S OFFICE PRODUCTS INC	OFFICE SUPPLIES	\$50.00
01 0302	ADVANCE AUTO PARTS	STOCK REPAIR PARTS	\$297.22
01 0302	BRAD MANNING FORD INC	STOCK REPAIR PARTS	\$860.40
01 0302	BRISTOL HOSE & FITTING	STOCK REPAIR PARTS	\$308.78
01 0302	CAR-ONE TIRE AND AUTO	245/55R18 TIRE	\$649.24
01 0302	CAR-ONE TIRE AND AUTO	255/60R18 TIRE	\$818.55
01 0302	FACTORY MOTOR PARTS CO	STOCK REPAIR PARTS	\$12.36
01 0302	FRIENDLY FORD	STOCK REPAIR PARTS	\$25.40
01 0302	POMP'S TIRE	12R22.5 RECAP	\$2,513.64
01 0302	POMP'S TIRE	12R22.5/16 FD663 TIRE	\$2,145.12
01 0302	POMP'S TIRE	STOCK REPAIR PARTS	\$1,071.12
01 0302	POMP'S TIRE	WHL RECON	\$80.00
CASH AND INVENTORIES			\$8,831.83
01 1445	ST ALEXIUS MEDICAL CENTER	VENDOR STICKER REFUND	\$50.00
01 1445	STRYKER MEDICAL	ESTIMATED SHIPPING/HANDLING	\$93.40
01 1445	STRYKER MEDICAL	LUCAS DEVICE, BATTERY CHRGR	\$2,334.95
01 1458	ANNE WITT	CONFER. BREAKFAST REIMB	\$13.00
01 1458	IATAI	CONFERENCE REGISTRAT FEE	\$425.00
01 1458	MARK WONDOLKOWSKI	CONFER. BREAKFAST REIMB	\$13.00
01 1458	MARK WONDOLKOWSKI	CONFERENCE LODGING REIMB	\$154.98
01 1466.211	TOWNSHIP H.S.DISTRICT 211	SCHOOL CONSTRUC. DONATION	\$22,946.92
01 1466.54	SCHOOL DISTRICT #54	SCHOOL CONSTRUC. DONATION	\$133,023.20
01 1476.211	SCHOOL DISTRICT #211	PAYOUT LAND CONTRIBUTIONS	\$22,937.28
01 1481	HOFFMAN ESTATES PARK DISTRICT	CASH DONATION-LAND CONTRB	\$512,022.00
PAYMENTS FROM DEPOSITS ON HAND			\$694,013.73
01000013 3405	BLUE CROSS BLUE SHIELD	PARAMEDIC FEE REFUND	\$1,236.69
01000014 3502	IGNACIO LOPEZ	TICKET OVERPMNT REFUND	\$542.15
GENERAL-REVENUE ACCOUNTS			\$1,778.84
01101124 4504	HOFFMAN ESTATES CHAMBER OF COMMERCE	PLATINUM MEMBERSHIP RATE	\$1,000.00
LEGISLATIVE			\$1,000.00
01101223 4404	CHICAGO TRIBUNE	SUBSCRIPTION THRU NOV 28	\$208.91
01101224 4507	BBG INC	APPRAISAL FEE	\$3,500.00
01101224 4542	BAXTER & WOODMAN, INC.	PHASE I ENGINEERING FEE	\$27,131.64
01101224 4542	LANGUAGE LINE SERVICES INC	INTERPRETATION	\$100.00
ADMINISTRATIVE			\$30,940.55
01101324 4542	RICHARD A KAVITT ATTORNEY AT LAW	PROFESSIONAL SERVICES	\$1,000.00
01101324 4547	THOMSON REUTERS-WEST	SOFTWARE SUBSCRIPTION	\$695.11
01101324 4567	CLARK BAIRD SMITH LLP	PROFESSIONAL SERVICES	\$2,281.25
01101324 4567	LAW OFFICES OF DOMINIC J MANCINI PC	PROFESSIONAL SERVICES	\$1,160.00
01101324 4567	SAUL EWING LLP	PROFESSIONAL SERVICES	\$690.00
LEGAL			\$5,826.36

VILLAGE OF HOFFMAN ESTATES

SEPTEMBER 18, 2023

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01101423 4402	GARVEY'S OFFICE PRODUCTS INC	OFFICE SUPPLIES	\$13.80
01101423 4402	GARVEY'S OFFICE PRODUCTS INC	RTN OFFICE SUPPLIES	(\$13.80)
01101423 4402	WAREHOUSE DIRECT	OFFICE SUPPLIES	\$15.91
FINANCE			\$15.91
01101624 4579	PHYSICIANS IMMEDIATE CARE CHICAGO	DRUG SCREEN	\$208.00
01101624 4579	PHYSICIANS IMMEDIATE CARE CHICAGO	DRUG SCREEN/PHYSIC/DOT EX	\$285.00
01101624 4579	PHYSICIANS IMMEDIATE CARE CHICAGO	PRE EMP EXAM/ DRUG/PHYSIC	\$191.00
HUMAN RESOURCES			\$684.00
01102523 4403	PRESSTECH INC.	HE CITIZEN NEWSLETTER	\$4,784.00
01102523 4414	INTELLIGENT TECHNOLOGY INC	1 YEAR SUPPORT RENEWAL	\$598.00
01102524 4507	GRANICUS SAAS	GOV ACCESS VISIONLIVE	\$8,466.99
01102524 4507	MONA S MORRISON	PHOTO - PLATZKONZERT 2023	\$225.00
COMMUNICATIONS			\$14,073.99
TOTAL GENERAL GOVERNMENT DEPARTMENT			\$52,540.81
POLICE DEPARTMENT			
01201222 4301	NORTHWEST POLICE ACADEMY	MEMBER ADMISSION	\$25.00
01201223 4422	CAMIC JOHNSON LTD	PROFESSIONAL SERVICES	\$350.00
01201224 4507	BIO-ONE CHICAGO	PD CAR CLEANING	\$50.00
01201224 4507	MORIZZO FUNERAL HOME & CREMATION	PROFESSIONAL SERVICES	\$275.00
ADMINISTRATIVE			\$700.00
01202122 4301	NORTH EAST MULTI-REGIONAL TRAINING	FALL24 EVENT- ADLON & BAKER	\$300.00
01202122 4301	NORTH EAST MULTI-REGIONAL TRAINING	FALL24 EVENT- P. GIACONE	\$100.00
01202122 4304	J.G. UNIFORMS, INC.	UNIFORMS	\$1,270.50
01202122 4304	J.G. UNIFORMS, INC.	UNIFORMS	\$1,171.85
01202122 4304	RAY O'HERRON CO	UNIFORMS	\$177.66
01202124 4510	ULTRA STROBE COMMUNICATIONS	REPAIR SERVICE	\$190.00
PATROL & RESPONSE			\$3,210.01
01202322 4301	ILLINOIS HOMICIDE INVESTIGATORS AS	MCAT HOMICIDE CONFERENCE	\$2,200.00
01202324 4542	TRANSUNION RISK & ALTERNATIVE	PROFESSIONAL SERVICES	\$75.00
INVESTIGATIONS			\$2,275.00
01202524 4542	NORTHWEST CENTRAL DISPATCH SYSTEM	OCT'23 MEMBER ASSESSMENT	\$36,446.82
COMMUNICATIONS			\$36,446.82
01202922 4304	J.G. UNIFORMS, INC.	UNIFORMS	\$585.00
01202924 4508	GOLF ROSE PET LODGE	ANIMAL CARE JUN 2023	\$1,069.70
ADMINISTRATIVE SERVICES			\$1,654.70

VILLAGE OF HOFFMAN ESTATES

SEPTEMBER 18, 2023

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
TOTAL POLICE DEPARTMENT			\$44,286.53
FIRE DEPARTMENT			
01301222 4305	RALPH O ROTHBAUER	FRAMING FOR RETIREMENT BADGES	\$310.00
ADMINISTRATIVE			\$310.00
01303122 4304	TODAYS UNIFORMS	UNIFORMS	\$2,694.65
01303123 4408.13	DINGES FIRE COMPANY	BULLARD TXS THERMAL IMAGE	\$3,500.00
01303123 4408.13	DINGES FIRE COMPANY	TXS RECHARGEABLE LI-ION	\$135.00
01303124 4510.12	NORTHWEST CENTRAL DISPATCH SYSTEM	PORTABLE RADIO REPAIR	\$480.84
SUPPRESSION			\$6,810.49
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	BLOOD PRESSURE KITS	\$441.60
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	GLUCOMETER	\$219.18
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	ISRAELI BANDAGES	\$69.48
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	JLOOPS	\$50.00
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	LARGE GLOVES	\$611.40
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	MEDIUM GLOVES	\$407.60
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	PEDITAPE	\$263.85
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	RAZORS	\$49.00
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	SAM SPLINTS	\$166.08
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	STETHOSCOPES	\$142.32
01303224 4510	STRYKER MEDICAL	ESTIMATED SHIPPING/HANDLING	\$22.51
01303224 4510	STRYKER MEDICAL	LUCAS DEVICE CUPS	\$562.70
01303224 4542	AIRGAS USA, LLC	MEDICAL SUPPLIES	\$471.31
EMERGENCY MEDICAL SERVICES			\$3,477.03
01303324 4507	FIRE SAFETY CONSULTANTS INC	SPRINKLERS INSPECTIONS	\$690.00
01303324 4507	JOHNSON CONTROLS SECURITY SOLUTIONS	PROFESSIONAL SERVICES	\$70,114.22
PREVENTION			\$70,804.22
TOTAL FIRE DEPARTMENT			\$81,401.74
PUBLIC WORKS			
01401224 4509	LEAF	COPIER	\$113.47
ADMINISTRATIVE			\$113.47
01404124 4507	MURRAY & TRETTEL INC/ WEATHER COMMA	CENTRAL WEATHER FEES	\$400.00
01404124 4507	PHYSICIANS IMMEDIATE CARE CHICAGO	DRUG SCREEN	\$671.00
01404124 4507	PHYSICIANS IMMEDIATE CARE CHICAGO	DRUG SCREEN/ BREATH TEST	\$98.00
SNOW & ICE REMOVAL			\$1,169.00

VILLAGE OF HOFFMAN ESTATES

SEPTEMBER 18, 2023

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01404223 4414	THE SHERWIN-WILLIAMS CO	VARIOUS SUPPLIES	\$36.29
01404224 4502	COMMONWEALTH EDISON	ELECTRIC TRAFFIC SIGNAL	\$2,160.70
01404224 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 5510 PRAIRIESTON	\$952.18
01404224 4521	HEALY ASPHALT CO., LLC.	SURFACE MATERIALS	\$586.29
01404224 4544	3M HAK0206	ELECTROCUT FILM 1170C	\$3,547.52
01404224 4544	TRAFFIC CONTROL & PROTECTION	VARIOUS SUPPLIES	\$240.00
TRAFFIC OPERATIONS			\$7,522.98

01404324 4507	TRUGREEN CHEMLAWN	WEED CONTROL AND FERTILIZATION	\$6,392.00
01404324 4507	V CARDENAS LANDSCAPING	2023 SEASONAL LANDSCAPE SERV	\$8,854.04
01404324 4537	CLEAN CUT TREE CARE	PREMIUM MULCH	\$360.00
FORESTRY			\$15,606.04

01404424 4503	NICOR GAS	GAS 1700 MOON LAKE	\$261.63
01404424 4503	NICOR GAS	GAS 225 FLAGSTAFF LN	\$210.47
01404424 4507	ACCURATE DOCUMENT DESTRUCTION INC	SHREDDING SERVICES	\$762.74
01404424 4509	CINTAS #22	FLOOR MAT RENTAL AND CLEAN	\$39.14
01404424 4510	DIVINE SIGNS	TWO-LAYER ADA SIGNS W/BRILLE	\$976.00
01404424 4510	GRAINGER INC	VARIOUS SUPPLIES	\$261.60
01404424 4510	MENARDS - HNVR PARK	VARIOUS SUPPLIES	\$4,988.74
01404424 4510	NEUCO INC	REPAIR PARTS	\$2,720.28
01404424 4510	THE SHERWIN-WILLIAMS CO	PAINT	\$55.47
01404424 4510	THE SHERWIN-WILLIAMS CO	VARIOUS SUPPLIES	\$213.24
01404424 4510	WOLF ELECTRIC SUPPLY CO	REPAIR PARTS	\$418.50
01404424 4516	AMLINGS INTERIOR LANDSCAPE	INTERIOR LANDSCAPING	\$457.60
01404424 4516	WOLF ELECTRIC SUPPLY CO	REPAIR PARTS	\$86.10
01404424 4518	CINTAS #22	FLOOR MAT RENTAL	\$127.84
01404424 4518	CINTAS #22	FLOOR MAT RENTAL & CLEAN	\$20.52
01404424 4518	MENARDS - HNVR PARK	VARIOUS SUPPLIES	\$268.89
01404424 4518	NEUCO INC	REPAIR PARTS	\$201.82
01404424 4518	WEBMARC DOORS	DOOR REPAIR SERVICE	\$277.15
01404424 4518	WEBMARC DOORS	REPLACE THE DOOR OPERATOR	\$2,219.35
FACILITIES			\$14,567.08

01404522 4304	CINTAS #22	UNIFORM AND MAT RENTAL	\$90.04
01404523 4411	AL WARREN OIL CO INC	FUEL BIO DIESEL	\$5,236.70
01404523 4411	AL WARREN OIL CO INC	FUEL REGULAR	\$18,745.60
01404523 4414	ADVANCE AUTO PARTS	REPAIR PARTS	\$33.72
01404523 4414	AMAZON CAPITAL SERVICES INC	WIRELESS DOORBELL	\$12.99
01404524 4509	AIRGAS USA, LLC	MEDICAL SUPPLIES	\$345.14
01404524 4510	BRISTOL HOSE & FITTING	REPAIR PARTS	\$187.52
01404524 4510	CHRIS THIELSEN	VARIOUS SUPPLIES	\$800.00
01404524 4513	BRAD MANNING FORD INC	REPAIR PARTS	\$606.61
01404524 4513	BUMPER TO BUMPER/ LEE AUTO	REPAIR PARTS	\$223.66
01404524 4513	CAR-ONE TIRE AND AUTO	265/70R17 115 WRANGLER	\$724.08
01404524 4513	CAR-ONE TIRE AND AUTO	FOUR WHEEL ALIGNMENT	\$99.95
01404524 4513	FRIENDLY FORD	REPAIR PARTS	\$674.09
01404524 4513	INTERSTATE BATTERIES-NORTH CHICAGO	REPAIR PARTS	\$265.87
01404524 4513	REGIONAL TRUCK EQUIPMENT CO	REPLACEMENT BOX COVER	\$193.85

VILLAGE OF HOFFMAN ESTATES

SEPTEMBER 18, 2023

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01404524 4513	RT 62 WASH & LUBE	VEHICLE WASH	\$170.95
01404524 4514	ACME TRUCK BRAKE & SUPPLY CO.	REPAIR PARTS	\$123.46
01404524 4514	ACME TRUCK BRAKE & SUPPLY CO.	VOIDED INVOICE 02_47453	(\$11.02)
01404524 4514	ADVANCE AUTO PARTS	REPAIR PARTS	\$19.49
01404524 4514	AEC FIRE-SAFETY & SECURITY INC	CHANNEL BOT GLASS	\$95.00
01404524 4514	AEC FIRE-SAFETY & SECURITY INC	COMPRESSOR A/C	\$1,060.00
01404524 4514	AEC FIRE-SAFETY & SECURITY INC	ESTIMATED SHIPPING/HANDLING	\$125.23
01404524 4514	AEC FIRE-SAFETY & SECURITY INC	FER01145 HEAD UNIT	\$1,883.00
01404524 4514	AEC FIRE-SAFETY & SECURITY INC	POWER WINDOW REG RF OR LR	\$515.00
01404524 4514	AEC FIRE-SAFETY & SECURITY INC	REGISTER FRONT A/C	\$112.00
01404524 4514	BUMPER TO BUMPER/ LEE AUTO	REPAIR PARTS	\$55.16
01404524 4514	BUMPER TO BUMPER/ LEE AUTO	RTN REPAIR PARTS	(\$15.29)
01404524 4514	INTERSTATE BATTERIES-NORTH CHICAGO	REPAIR PARTS	\$724.80
01404524 4514	INTERSTATE POWER SYSTEMS INC.	2023 ANNUAL AERIAL INSPECTION	\$2,053.00
01404524 4514	INTERSTATE POWER SYSTEMS INC.	VARIOUS SUPPLIES	\$1,129.14
01404524 4514	KAMMES AUTO & TRUCK REPAIR INC	STATE INSPECTION	\$90.00
01404524 4514	MACQUEEN EMERGENCY	REPAIR PARTS	\$609.91
01404524 4514	MAPES AUTO UPHOLSTERY, INC	REPLACE SEAT TORN SECTION	\$120.00
01404524 4514	POMP'S TIRE	425/65R22.5 TIRE	\$1,632.46
01404524 4514	POMP'S TIRE	REPAIR FEES	\$70.08
01404524 4514	POMP'S TIRE	REPAIR PARTS	\$26.00
01404524 4514	REX RADIATOR & WELDING	RADIATOR	\$595.00
01404524 4514	RUSH TRUCK CENTER OF ILLINOIS, INC	CHROME DOOR HANDLE	\$62.23
01404524 4514	RUSH TRUCK CENTER OF ILLINOIS, INC	LATCH DOOR POWER FRT	\$186.37
01404524 4534	ACME TRUCK BRAKE & SUPPLY CO.	REPAIR PARTS	\$523.58
01404524 4534	ACME TRUCK BRAKE & SUPPLY CO.	RTN REPAIR PARTS	(\$224.88)
01404524 4534	ADVANCE AUTO PARTS	REPAIR PARTS	\$7.46
01404524 4534	ALTA ENTERPRISES LLC	REPAIR PARTS	\$1,376.82
01404524 4534	AMAZON CAPITAL SERVICES INC	REAR VIEW MIRROR	\$31.00
01404524 4534	AMAZON CAPITAL SERVICES INC	UTV LED CHASE LIGHT BAR	\$95.99
01404524 4534	BUMPER TO BUMPER/ LEE AUTO	REPAIR PARTS	\$465.49
01404524 4534	FRIENDLY FORD	REPAIR PARTS	\$230.93
01404524 4534	INTERSTATE POWER SYSTEMS INC.	VARIOUS SUPPLIES	\$1,042.46
01404524 4534	KAMMES AUTO & TRUCK REPAIR INC	STATE INSPECTION	\$247.00
01404524 4534	O'REILLY AUTO PARTS	REPAIR PARTS	\$535.65
01404524 4534	O'REILLY AUTO PARTS	RTN REPAIR PARTS	(\$60.00)
01404524 4534	POMP'S TIRE	REPAIR PARTS	\$22.00
01404524 4534	RALPH HELM INC	REPAIR PARTS	\$11.20
01404524 4534	RUSH TRUCK CENTER OF ILLINOIS, INC	STRAP, MUFFLER SUPPORT	\$61.74
01404524 4534	ULTRA STROBE COMMUNICATIONS	WHELEN 5G LED FLASHER	\$239.24
01404524 4535	ULTRA STROBE COMMUNICATIONS	REPAIR PARTS	\$327.72
FLEET SERVICES			\$44,605.19
01404623 4408	DELL MARKETING LP	DELL LATITUDE 7440	\$1,037.65
F.A.S.T.			\$1,037.65
01404724 4522	MENARDS - HNVR PARK	VARIOUS SUPPLIES	\$102.28
01404724 4522	OZINGA READY MIX, CONCRETE INC	CONCRETE	\$1,057.50
01404724 4522	WELCH BROS INC	REPAIR PARTS	\$630.00
STORM SEWERS			\$1,789.78

VILLAGE OF HOFFMAN ESTATES

SEPTEMBER 18, 2023

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
TOTAL PUBLIC WORKS DEPARTMENT			\$86,411.19
DEVELOPMENT SERVICES			
01505024 4542	UNITED DISPATCH	SENIOR COUPONS	\$1,344.00
01505024 4546	PADDOCK PUBLICATIONS INC	PUBLIC HEARING	\$19.50
PLANNING AND TRANSPORTATION			\$1,363.50
01505124 4507	ANIMAL TRACKERS WILDLIFE COMPANY	TREAT BALD HORNET NEST	\$250.00
01505124 4507	CWF RESTORATION	BOARD UP SERVICES	\$1,229.75
01505124 4507	GILIO LANDSCAPE CONTRACTORS	MOWING FOR CODE	\$75.00
01505124 4507	THOMPSON ELEVATOR INSPECTION INC	ELEVATOR INSPECTIONS	\$36.00
CODE ENFORCEMENT			\$1,590.75
01505222 4301	ALAN WENDERSKI	CONFERENCE TRAVEL REIMB	\$1,813.47
01505224 4542	GOVTEMPSUSA LLC	ADMIN SERVICES	\$5,628.00
01505224 4542	V3 COMPANIES, LTD	FLOODPLAIN ELEVATION SURVEYING	\$6,862.50
ENGINEERING			\$14,303.97
01505924 4546	MULTIVIEW INC	AD & PUBLICITY	\$1,667.00
ECONOMIC DEVELOPMENT			\$1,667.00
TOTAL DEVELOPMENT SERVICES DEPARTMENT			\$18,925.22
HEALTH & HUMAN SERVICES DEPARTMENT			
01556523 4402	ODP BUSINESS SOLUTIONS, LLC	OFFICE SUPPLIES	\$331.90
01556523 4413	AMSCO MEDICAL	3CC 25G X ½ (RETRACTABLE)	\$49.00
01556523 4413	ODP BUSINESS SOLUTIONS, LLC	OFFICE SUPPLIES	\$11.50
01556523 4413	SANOFI PASTEUR	FLUZONE HD QIV 23-24	\$5,112.73
01556523 4413	SANOFI PASTEUR	RTN FLUZONE HD QIV	(\$518.90)
01556523 4414	ODP BUSINESS SOLUTIONS, LLC	OFFICE SUPPLIES	\$150.31
01556524 4507.1	A&A CLINICAL COUNSELING SOLUTIONS	PRESENTATION 10/5/23	\$500.00
TOTAL HEALTH & HUMAN SERVICES DEPARTMENT			\$5,636.54
BOARDS & COMMISSIONS DEPARTMENT			
01605324 4561	BMI	PROFESSIONAL SERVICES	\$839.00
FOURTH OF JULY			\$839.00
TOTAL BOARDS & COMMISSIONS DEPARTMENT			\$839.00
TOTAL GENERAL FUND			\$994,665.43

VILLAGE OF HOFFMAN ESTATES

SEPTEMBER 18, 2023

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
MUNICIPAL WASTE SYSTEM FUND			
09000024 4542	GROOT INDUSTRIES, INC.	WASTE COLLECTION - AUG'23	\$193,435.13
09000024 4542	GROOT INDUSTRIES, INC.	WASTE COLLECTION - SEP'23	\$193,491.31
TOTAL MUNICIPAL WASTE SYSTEM FUND			\$386,926.44
ROAD IMPROVEMENT FUND			
29000025 4606	APPLIED GEOSCIENCE INC.	2023 STREET REVITALIZATION	\$11,790.00
29000025 4606	EAST JORDAN IRON WORKS	CASTINGS FOR 2023 STREET	\$3,702.02
29000025 4606	SCHROEDER ASPHALT SERVICES INC	2023 STREET REVITALIZATION	\$1,789,462.24
29000025 4610	BAXTER & WOODMAN, INC.	HASSELL RD PEDESTRIAN/BIC	\$1,371.68
TOTAL ROAD IMPROVEMENT FUND			\$1,806,325.94
CAPITAL IMPROVEMENTS FUND			
36000025 4604	WEATHERGUARD ROOFING CO.	MAINTENANCE -ROOF REPAIR	\$689.84
36000025 4604	WOLF ELECTRIC SUPPLY CO	REPAIR PARTS	\$534.37
36000025 4615	CIVILTECH ENGINEERING, INC.	BEVERLY RD BICYCLE FACILITY	\$3,634.99
TOTAL CAPITAL IMPROVEMENTS FUND			\$4,859.20
CAPITAL VEHICLE AND EQUIPMENT FUND			
37000025 4602	JOHNSON FITNESS & WELLNESS	ELLIPTICALS FOR ALL 4 FIR	\$13,840.00
37000025 4602	JOHNSON FITNESS & WELLNESS	ESTIMATED SHIPPING/HANDLING	\$1,500.00
37000025 4603	ULTRA STROBE COMMUNICATIONS	TRUCK VAULT CUSTOM	\$4,330.52
TOTAL CAPITAL VEHICLE AND EQUIPMENT FUND			\$19,670.52
WATERWORKS AND SEWERAGE FUND			
40406723 4408	JSN CONTRACTORS SUPPLY	MEASURING WHEEL	\$92.00
40406723 4414	PROVEN IT	COPIER SERVICES	\$63.12
40406724 4501	DELL MARKETING LP	DELL LATITUDE 7440 - PW B	\$3,075.30
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1355 WESTBURY	\$76.13
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1775 ABBEY WOOD	\$2,752.54
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 2150 STONINGTON	\$134.08
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 2550 BEVERLY RD	\$599.39
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 3451 N WILSHIRE	\$578.93
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 3990 HUNTINGTON	\$48.79
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 4140 CRIMSON	\$586.83
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 4690 OLMSTEAD	\$63.03
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 780 HASSELL RD	\$221.82
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 95 ASTER LN	\$662.40
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC S/HIGGINS 1/WBEV	\$191.50
40406724 4503	NICOR GAS	GAS 95 ASTER LN	\$63.55
40406724 4507	PACE ANALYTICAL SERVICES LLC	PROVIDE SERVICES FOR WATER	\$1,803.00
40406724 4507	TRUGREEN CHEMLAWN	WEED CONTROL AND FERTILIZATION	\$500.00
40406724 4509	LEAF	COPIER	\$113.47
40406724 4510	BRISTOL HOSE & FITTING	REPAIR PARTS	\$278.90
40406724 4510	GRAINGER INC	VARIOUS SUPPLIES	\$21.41

VILLAGE OF HOFFMAN ESTATES

SEPTEMBER 18, 2023

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
40406724 4510	KAMMES AUTO & TRUCK REPAIR INC	STATE INSPECTION	\$90.00
40406724 4527	MENARDS - HNVR PARK	VARIOUS SUPPLIES	\$410.44
40406724 4529	ADVANCED TURF SOLUTIONS	LANDSCAPE MATERIAL	\$444.00
40406724 4529	BEVERLY MATERIALS, L.L.C.	020 CM11 WASHED	\$824.64
40406724 4529	BEVERLY MATERIALS, L.L.C.	CLEAN FILL - SEMI	\$476.00
40406724 4529	GREEN SOILS MANAGEMENT LLC	PLANTER'S MIX	\$465.78
40406724 4529	JCK CONTRACTORS, INC	TOPSOIL	\$215.00
40406724 4529	ZIEBELL WATER SERVICE	REPAIR PARTS	\$2,240.70
40406724 4545	FULLIFE SAFETY CENTER	SAFETY SUPPLIES	\$126.90
40406724 4585	INTERSTATE BATTERIES-NORTH CHICAGO	REPAIR PARTS	\$257.34
40406724 4585	INTERSTATE POWER SYSTEMS INC.	VARIOUS SUPPLIES	\$2,218.42
40406724 4585	KAMMES AUTO & TRUCK REPAIR INC	STATE INSPECTION	\$179.00
40406724 4585	MENARDS - HNVR PARK	VARIOUS SUPPLIES	\$90.15
40406725 4602	DELL MARKETING LP	DELL LATITUDE 7440	\$500.00

WATER DIVISION

\$20,464.56

40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1101 WESTBURY	\$648.46
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1200 KINGSDALE	\$113.50
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1215 MOON LAKE	\$514.14
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1513 GOLF RD	\$802.35
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1629 CROWFOOT	\$158.44
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1775 HUNTINGTON	\$195.36
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1869 HAMPTON	\$108.71
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 2090 CENTRAL	\$145.72
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 2094 CARLING	\$84.74
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 2364 HIGGINS	\$1,174.75
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 2380 GOLF RD	\$254.14
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 6100 SHOE FACTOR	\$655.97
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 897 PARK LN	\$93.70
40406824 4507	SAUL EWING LLP	PROFESSIONAL SERVICES	\$1,154.40
40406824 4525	AMPERAGE ELECTRICAL SUPPLY	VARIOUS SUPPLIES	\$830.96
40406824 4525	MARSHALL WOLF AUTOMATION	VARIOUS SUPPLIES	\$381.32
40406824 4525	MENARDS - HNVR PARK	VARIOUS SUPPLIES	\$116.19

SEWER DIVISION

\$7,432.85

40407024 4542	FIRST BILLING SERVICES LLC	BILLING SERVICES	\$7,568.51
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BILLING DIVISION

\$7,568.51

40407323 4420	WATER RESOURCES INC	PROVIDE FUNDING FOR NEW CONST	\$9,587.10
40407324 4529	M.E. SIMPSON CO., INC.	SERVICES FOR LEAK SURVEY	\$13,895.00
40407324 4542	BAXTER & WOODMAN, INC.	PROVIDE ENGINEERING SERVICES	\$4,075.00
40407325 4608	BAXTER & WOODMAN, INC.	PROVIDE ENGINEERING SERVICES	\$4,400.00

CAPITAL PROJECTS DIVISION

\$31,957.10

TOTAL WATERWORKS AND SEWERAGE FUND

\$67,423.02

VILLAGE OF HOFFMAN ESTATES

SEPTEMBER 18, 2023

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
NOW ARENA OPERATING FUND			
41000024 4542	B P & T CO	PAINTING OF THE NOW ARENA	\$29,688.00
41000024 4542	HARGRAVE BUILDERS INC	GENERAL CARPENTRY - NOW ARENA	\$124,663.06
TOTAL NOW ARENA OPERATING FUND			\$154,351.06
STORMWATER MANAGEMENT FUND			
42000025 4613	AMERICAN UNDERGROUND INC	STORM SEWER CCTV INSPECTION	\$19,861.97
42000025 4613	LIVING WATERS CONSULTANTS INC	925 GRAND CANYON PKWY	\$4,000.00
42000025 4613	SCHROEDER ASPHALT SERVICES INC	2023 STREET REVITALIZATION	\$141,454.43
TOTAL STORMWATER MANAGEMENT FUND			\$165,316.40
INSURANCE FUND			
46 1101	ANTHONY WANIC	SICK INCENTIVE REIMB	\$1,168.75
46 1101	JAMES LOGAN	SICK INCENTIVE REIMB	\$2,156.79
46 1101	KURT GERLACH	SICK INCENTIVE REIMB	\$524.83
46 1101	VINCE SCACCIANOCE	SICK INCENTIVE REIMB	\$2,447.85
RISK RETENTION			\$6,298.22
46700021 4206	SEDGWICK CLAIMS MGMT SERVICES INC.	UNEMPLOYMENT INSURANCE	\$301.50
46700024 4554	CHRISTOPHER GLASS SERVICES, INC.	REPLACE BROKEN GLASS PANE	\$3,435.00
46700024 4579	PHYSICIANS IMMEDIATE CARE CHICAGO	FITNESS FOR DUTY EXAM	\$700.00
RISK RETENTION			\$4,436.50
TOTAL INSURANCE FUND			\$10,734.72
INFORMATION TECHNOLOGY FUND			
47001222 4301	HARPER COLLEGE	O365 OVERVIEW VIDEO	\$2,400.00
47001223 4402	ODP BUSINESS SOLUTIONS, LLC	OFFICE SUPPLIES	\$93.23
47001224 4501	DELL MARKETING LP	DELL LATITUDE 7440-COURT OFFICER	\$1,537.65
ADMINISTRATIVE			\$4,030.88
47008524 4510	DELL MARKETING LP	DELL 75 4K INTERACTIVE TOUCH	\$2,505.29
47008524 4510	DELL MARKETING LP	DELL LATITUDE 7440 -TRUSTEE LOPT	\$3,075.30
47008524 4510	DELL MARKETING LP	OPTIPLEX MICRO (PLUS 7010)	\$845.75
47008524 4510	DELL MARKETING LP	X-LARGE FUSION MICRO-ADJUST TILT	\$311.47
47008524 4510	NOMIC NETWORKS INC	IPS ADVANCED UNIT - MONTHLY SRVC	\$1,647.00
47008524 4542	SCHOOL DISTRICT 300	ANNUAL FIBER MAINTENANCE	\$1,322.00
OPERATIONS			\$9,706.81
47008625 4602	CDW-GOVERNMENT INC	FORTINET MAINTENAN- NOW ARENA	\$4,200.00
CAPITAL ASSETS			\$4,200.00
TOTAL INFORMATION TECHNOLOGY FUND			\$17,937.69

VILLAGE OF HOFFMAN ESTATES
SEPTEMBER 18, 2023

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
LAKEWOOD CENTER TIF FUND			
67000024 4507	IHEARTMEDIA ENTERTAINMENT INC	AUDIENCE NETWORK STREAMING	\$2,116.03
TOTAL LAKEWOOD CENTER TIF FUND			\$2,116.03
HIGGINS/ OLD SUTTON TIF FUND			
68000024 4507	PADDOCK PUBLICATIONS INC	PUBLIC HEARINGS	\$1,051.47
TOTAL HIGGINS/ OLD SUTTON TIF FUND			\$1,051.47
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BILL LIST TOTAL			\$3,631,377.92

SUPERION
 DATE: 09/14/2023
 TIME: 12:11:55

VILLAGE OF HOFFMAN ESTATES
 CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 1
 ACCTPA21

SELECTION CRITERIA: transact.t_c='20' and transact.trans_date between '20230901 00:00:00.000' and '20230914 00:00:00.000'
 ACCOUNTING PERIOD: 9/23

FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
0102	126695 V	06/30/22	21168	ROBERT & THELMA TAKAZAWA	40	UB REFUND	0.00	-145.14
0102	128762 V	12/20/22	10952	ST ALEXIUS MEDICAL CENTE	01	VENDOR STICKER REFUND	0.00	-50.00
0102	132277	09/05/23	20911	PEERLESS NETWORK INC	01404424	LANDLINES	0.00	4,217.48
0102	132277	09/05/23	20911	PEERLESS NETWORK INC	40406724	LANDLINES	0.00	1,358.45
0102	132277	09/05/23	20911	PEERLESS NETWORK INC	01556524	LANDLINES	0.00	3.41
TOTAL CHECK							0.00	5,579.34
0102	132278	09/06/23	11261	WEX BANK	01404524	FUEL	0.00	1,342.51
0102	132279	09/06/23	21168	ROBERT & THELMA TAKAZAWA	40	UB REFUND 5640 BRENTW	0.00	145.14
0102	132280	09/06/23	19856	SCOTT D HAMMER	01556524	RISK MNGT PRESENTAT	0.00	750.00
0102	132281	09/12/23	4065	THE HOME DEPOT #1904	01303123	VARIOUS SUPPLIES	0.00	996.00
0102	132281	09/12/23	4065	THE HOME DEPOT #1904	01303523	VARIOUS SUPPLIES	0.00	34.62
0102	132281	09/12/23	4065	THE HOME DEPOT #1904	01303524	VARIOUS SUPPLIES	0.00	624.96
0102	132281	09/12/23	4065	THE HOME DEPOT #1904	01404224	VARIOUS SUPPLIES	0.00	610.95
0102	132281	09/12/23	4065	THE HOME DEPOT #1904	01404424	VARIOUS SUPPLIES	0.00	36.20
0102	132281	09/12/23	4065	THE HOME DEPOT #1904	40406723	VARIOUS SUPPLIES	0.00	256.83
0102	132281	09/12/23	4065	THE HOME DEPOT #1904	40406723	VARIOUS SUPPLIES	0.00	486.26
0102	132281	09/12/23	4065	THE HOME DEPOT #1904	40406724	VARIOUS SUPPLIES	0.00	84.97
TOTAL CHECK							0.00	3,130.79
0102	132282	09/12/23	19229	JEWEL FOOD STORES	01101123	VARIOUS SUPPLIES	0.00	145.72
0102	132283	09/12/23	13246	KYM FRANKOVELGIA	01605824	SENIOR LUNCHEON ENTER	0.00	250.00
0102	132284	09/13/23	21630	FAMCLY BRIDGES	01556524	PRESENTATION 09-19-23	0.00	511.20
TOTAL CASH ACCOUNT							0.00	11,659.56
TOTAL FUND							0.00	11,659.56
TOTAL REPORT							0.00	11,659.56

VILLAGE OF HOFFMAN ESTATES
Monthly Credit Card Activity

From: 07/06/2023

To: 8/5/2023

Account Name	Merchant Name	Transaction Date	Accounting Code	Accounting Code	Transaction Amount	Expense Description
ALAN G WAX	AMAZON.COM*XY6GI5VP3	07/09/2023	01301223	4402	\$29.99	OFFICE SUPPLIES
BEN GIBBS	ADOBE *ACROPRO SUBS	07/27/2023	01	1445	\$21.24	NOW-SUBSCRIPTION
BEN GIBBS	AMAZON PRIME*4E3E03WM3	07/10/2023	01	1445	\$139.00	NOW-SUPPLIES
BEN GIBBS	AMAZON.COM*3A5KL5SD3	07/21/2023	01	1445	\$18.66	NOW-SUPPLIES
BEN GIBBS	AMZN MKTP US*538S233K3	07/13/2023	01	1445	\$31.99	NOW-SUPPLIES
BEN GIBBS	AMZN MKTP US*T64LV0BF2	07/25/2023	01	1445	\$12.90	NOW-SUPPLIES
BEN GIBBS	AMZN MKTP US*T658N4XD0	07/24/2023	01	1445	\$19.95	NOW-SUPPLIES
BEN GIBBS	AMZN MKTP US*T665P6U12	07/27/2023	01	1445	\$281.58	NOW-SUPPLIES
BEN GIBBS	B&H PHOTO 800-606-6969	07/26/2023	01	1445	\$2,095.36	NOW-SUPPLIES
BEN GIBBS	BOOKEO PTY LTD	07/07/2023	01	1445	\$39.95	NOW-WEB ASSISTANCE
BEN GIBBS	BOOKEO PTY LTD	07/31/2023	01	1445	\$39.95	NOW-WEB ASSISTANCE
BEN GIBBS	GOEBBERTS FARM	07/21/2023	01	1445	\$44.00	NOW-SUPPLIES
BEN GIBBS	HARBOR FREIGHT TOOLS 4	07/25/2023	01	1445	\$431.13	NOW-SUPPLIES
BEN GIBBS	IN *WAR MACHINE INC	07/12/2023	01	1445	\$420.00	NOW-SUPPLIES
BEN GIBBS	PAYPAL *DROPBOX	07/31/2023	01	1445	\$11.99	NOW-SUBSCRIPTIONS
BEN GIBBS	PAYPAL *JUST US	07/07/2023	01	1445	\$340.00	NOW-SUPPLIES
BEN GIBBS	PAYPAL *LUFTBALLOON	08/01/2023	01	1445	\$2,028.00	NOW-SUPPLIES
BEN GIBBS	ROSATI S PIZZA OF STRE	07/12/2023	01	1445	\$197.06	NOW-EVENT EXP
BEN GIBBS	RP & ASSOCIATES, INC.	07/10/2023	01	1445	\$323.68	NOW-MARKETING
BEN GIBBS	TARGET 00021220	07/10/2023	01	1445	-\$62.67	NOW-CHARGE CREDIT
BEN GIBBS	TARGET 00021220	08/03/2023	01	1445	\$266.09	NOW-SUPPLIES
BEN GIBBS	ZAZZLE INC	07/25/2023	01	1445	\$38.86	NOW-SUPPLIES
BEVERLY ROMANOFF	LN*COOKCOTAXSERVICESCT	07/31/2023	01101524	4548	\$102.10	FILING FEES
BRYAN ACKERLUND	AMZN MKTP US*TH2GY07J0	08/02/2023	01505123	4414	\$89.90	DESK EQUIPMENT
BRYAN ACKERLUND	CARBONLESS FORMS PRINT	07/31/2023	01505123	4403	\$109.00	RENTAL INPECT FORMS
BRYAN ACKERLUND	ILPERMITTECH	08/01/2023	01505122	4303	\$36.05	YEARLY MEMBERSHIP
BRYAN ACKERLUND	INT'L CODE COUNCIL INC	07/21/2023	01505122	4303	\$140.00	CERTIFICATE RENEWAL
DAN OMALLEY	WALGREENS #6764	08/03/2023	01101223	4402	\$59.93	PHONE CHARGERS
DAREK RASZKA	AMAZON PRIME	07/19/2023	47001222	4303	-\$14.99	PRIME MEMB CREDIT
DAREK RASZKA	AMAZON PRIME*035PL2PW3	07/09/2023	47001222	4303	\$14.99	PRIME MEMBERSHIP
DAREK RASZKA	AMZN MKTP US*T67LS62U2	07/26/2023	47008525	4602	\$17.98	FIRE SAFES MISC
DAREK RASZKA	AMZN MKTP US*TH5E257Z1	08/04/2023	47008525	4602	\$11.88	FIRE SAFES MISC
DAREK RASZKA	COMCAST CHICAGO	07/08/2023	47008524	4542	\$264.90	INTERNET SERVICE
DAREK RASZKA	COMCAST CHICAGO	07/09/2023	47008524	4542	\$299.11	INTERNET SERVICE
DAREK RASZKA	COMCAST CHICAGO	07/19/2023	47008524	4542	\$249.90	INTERNET SERVICE
DAREK RASZKA	COMCAST CHICAGO	07/21/2023	47008524	4542	\$379.80	INTERNET SERVICE
DAREK RASZKA	COMCAST CHICAGO	07/29/2023	47008524	4542	\$89.95	INTERNET SERVICE
DAREK RASZKA	DLS INTERNET SERVICES	07/23/2023	47008524	4542	\$432.48	INTERNET SERVICE
DAREK RASZKA	DYN*DYN.COM/CHARGE	07/11/2023	41000024	4507	\$20.00	NOW ARENA DNS SER
DAREK RASZKA	GOTOCOM*GOTOMEETING	07/12/2023	47008524	4542	\$68.10	GOTOMEETING
DAREK RASZKA	IN *DOCUMENT IMAGING S	07/17/2023	47008525	4602	\$55.00	PRINTER REPAIR
DAREK RASZKA	MSFT * E0200O858G	07/27/2023	47008525	4619	\$125.41	G5 GCC LICENSES
DAREK RASZKA	MSFT * E0200O87ZE	07/28/2023	47008525	4619	\$60.00	PLAN 1 EXCHANGE LIC
DAVID P GANZIANO	ACT FRSTPRESDISTCKCTY	08/03/2023	01303122	4301.17	\$275.00	PERMIT-DIVE TRAINING
DAVID P GANZIANO	AMERICAN HEART SHOPCPR	07/28/2023	01303023	4414.21	\$428.25	CPR CARDS
DAVID P GANZIANO	BATTERIES PLUS #281	07/29/2023	01303123	4408.13	\$155.12	REPLACEMENT BATTERIES

VILLAGE OF HOFFMAN ESTATES
Monthly Credit Card Activity

From: 07/06/2023

To: 8/5/2023

Account Name	Merchant Name	Transaction Date	Accounting Code	Accounting Code	Transaction Amount	Expense Description
DAVID P GANZIANO	BATTERIES+BULBS #0490	07/31/2023	01303123	4408.13	-\$155.12	BATTERIES RETURN
DAVID P GANZIANO	BATTERIES+BULBS #0490	07/31/2023	01303123	4408.13	\$143.96	REPLACEMENT BATTERIES
DAVID P GANZIANO	DAVID CLARK COMPANY, I	07/12/2023	01303124	4510.12	\$45.00	HEADSET REPAIR
DAVID P GANZIANO	DICKS SPORTING GOODS	07/30/2023	01	1445	\$223.91	CREDIT CARD REIMBURSEMENT
DAVID P GANZIANO	INTERCONTINENTAL ST PA	07/12/2023	01303122	4301.15	\$590.12	CONFERENCE LODGING
DAVID P GANZIANO	SIGNS BY TOMORROW	07/14/2023	01303023	4414	\$1,178.50	POP-UP TENT
DAVID P GANZIANO	TST* JAMBA JUICE - 050	07/30/2023	01	1445	\$17.16	CREDIT CARD REIMBURSEMENT
DAVID P GANZIANO	VALOROUTFITTERS.COM	07/25/2023	01303124	4515.10	\$1,351.46	NEW VEHICLE ITEMS
DEBRA SCHOOP	COURTS/USDC-IL-T	07/13/2023	01101123	4414	\$25.00	FILING FEE
DEBRA SCHOOP	IICLE	08/01/2023	01101123	4404	\$350.00	LEGAL ONLINE LIBRARY
DR AUDRA MARKS	DAIRY QUEEN #19467	07/18/2023	01605824	4559	\$206.25	SR COMM ICE CREAM SOCIAL
DR AUDRA MARKS	FUN EXPRESS	07/05/2023	01605824	4560	\$311.70	YOUTH COMM JUL EVENT
DR AUDRA MARKS	ODP BUS SOL LLC # 1033	07/05/2023	01556523	4414	\$174.00	JUL OUTREACH EVENT
DR AUDRA MARKS	THEFARMERSDOG.COM	07/13/2023	01556524	4564	\$163.36	THERAPY DOG FOOD
DR AUDRA MARKS	THEFARMERSDOG.COM	07/20/2023	01556524	4564	\$163.36	THERAPY DOG FOOD
DR AUDRA MARKS	THEFARMERSDOG.COM	08/03/2023	01556524	4564	\$166.53	THERAPY DOG FOOD
ERIC J PALM	AMZN MKTP US*9Z0XI5BS3	07/14/2023	01101223	4402	\$52.69	SUPPLIES
ERIC J PALM	ASCAP LICENSE FEE	07/05/2023	01605324	4561	\$889.96	MUSIC LICENSING
ERIC J PALM	JELLY CAFE	07/12/2023	01101222	4301	\$55.00	BUSINESS BREAKFAST
ERIC J PALM	MORETTI'S	08/03/2023	01101222	4301	\$109.04	BUSINESS LUNCH
JAMES THOMAS	BLACK BEAR INN AND SUI	07/16/2023	01	1442	\$6,100.85	CADET NTL COMP TRAVEL EXP
JAMES THOMAS	BUC-EE'S #55	07/21/2023	01	1442	\$35.39	CADET NTL COMP TRAVEL EXP
JAMES THOMAS	BUC-EE'S #55	07/21/2023	01	1442	\$41.45	CADET NTL COMP TRAVEL EXP
JAMES THOMAS	CALHOUN'S #121	07/18/2023	01	1442	\$306.18	CADET NTL COMP TRAVEL EXP
JAMES THOMAS	CHICKEN GUY GATLINBURG	07/17/2023	01	1442	\$171.20	CADET NTL COMP TRAVEL EXP
JAMES THOMAS	CIRCLE K 02361	07/21/2023	01	1442	\$43.21	CADET NTL COMP TRAVEL EXP
JAMES THOMAS	COOK OUT CUMBERLAND	07/17/2023	01	1442	\$73.46	CADET NTL COMP TRAVEL EXP
JAMES THOMAS	CULVERS JEFFERSONVILLE	07/16/2023	01	1442	\$110.21	CADET NTL COMP TRAVEL EXP
JAMES THOMAS	JERSEY MIKES 4053	07/20/2023	01	1442	\$89.42	CADET NTL COMP TRAVEL EXP
JAMES THOMAS	LOCO BURRO FRESH MEX C	07/16/2023	01	1442	\$298.36	CADET NTL COMP TRAVEL EXP
JAMES THOMAS	LUIGI'S PIZZERIA	07/20/2023	01	1442	\$286.51	CADET NTL COMP TRAVEL EXP
JAMES THOMAS	MARATHON PETRO120329	07/18/2023	01	1442	\$93.85	CADET NTL COMP TRAVEL EXP
JAMES THOMAS	MARATHON PETRO145284	07/16/2023	01	1442	\$74.00	CADET NTL COMP TRAVEL EXP
JAMES THOMAS	OLD DADS GENERAL STORE	07/19/2023	01	1442	\$81.40	CADET NTL COMP TRAVEL EXP
JAMES THOMAS	PAULA DEENS FMLY KTCHN	07/20/2023	01	1442	\$62.58	CADET NTL COMP TRAVEL EXP
JAMES THOMAS	PAYPAL *RIVERSPORTS	07/21/2023	01	1442	\$440.00	CADET TEAM BLDG EVENT
JAMES THOMAS	PUBLIC SAFETY CADETS	07/19/2023	01	1442	\$312.00	CADET UNIFORM
JAMES THOMAS	SMOKY MOUNTAIN ALPINE	07/19/2023	01	1442	\$180.00	CADET NTL COMP EVENT
JAMES THOMAS	SUBWAY 33317	07/18/2023	01	1442	\$12.00	CADET NTL COMP TRAVEL EXP
JAMES THOMAS	SUBWAY 33317	07/18/2023	01	1442	\$152.10	CADET NTL COMP TRAVEL EXP
JAMES THOMAS	THE FORGE CINEMAS	07/20/2023	01	1442	\$62.83	CADET NTL COMP EVENT
JAMES THOMAS	TST* ALAMO STEAKHOUSE-	07/19/2023	01	1442	\$543.58	CADET NTL COMP TRAVEL EXP
JAMES THOMAS	UNITED 01680102470081	07/14/2023	01201222	4301	\$473.80	IACP CONFR TRAVEL EXP-THOMAS
JENNIFER DJORDJEVIC	AMZN MKTP US*2908P48K3	07/07/2023	01101123	4414	\$31.77	TRUSTEE OFFICES
JENNIFER DJORDJEVIC	AMZN MKTP US*647F34F93	07/09/2023	01101123	4414	\$33.16	TRUSTEE OFFICES
JENNIFER DJORDJEVIC	AMZN MKTP US*C18LF41N3	07/09/2023	01101123	4414	\$69.69	TRUSTEE OFFICES

VILLAGE OF HOFFMAN ESTATES
Monthly Credit Card Activity

From: 07/06/2023

To: 8/5/2023

Account Name	Merchant Name	Transaction Date	Accounting Code	Accounting Code	Transaction Amount	Expense Description
JENNIFER DJORDJEVIC	FABBRINISFLOWERSGIFTSH	08/02/2023	01101123	4414	\$130.00	JARZEMSKY SERVICES
JENNIFER DJORDJEVIC	HOO*HOOTSUITE INC	07/08/2023	01101123	4404	\$75.00	SUBSCRIPTION
JENNIFER DJORDJEVIC	JIMMY JOHNS - 424 - EC	07/11/2023	01101123	4414	\$16.18	MAYOR
JENNIFER DJORDJEVIC	MORETTI'S	07/06/2023	01101123	4414	\$30.23	MAYOR'S MTG
JENNIFER DJORDJEVIC	SQ *FUNWITHWIND.COM	07/07/2023	01101123	4414	\$48.81	KITES/MAYOR'S MONARCH PLEDGE
JENNIFER DJORDJEVIC	WWW.VOLGISTICS.COM	07/29/2023	01101123	4404	\$48.00	SUBSCRIPTION
JOHN JANICKI	ADOBE *ACROBAT STD	07/08/2023	01	1445	\$13.80	NOW-SUBSCRIPTION
JOHN JANICKI	ADOBE *ACROPRO SUBS	07/28/2023	01	1445	\$15.93	NOW-SUBSCRIPTION
JOHN JANICKI	AMZN MKTP US*T65J489S0	07/27/2023	01	1445	\$40.55	NOW-SUPPLIES
JOHN JANICKI	EIG*CONSTANTCONTACT.CO	07/21/2023	01	1445	\$227.00	NOW-WEB ASSISTANCE
JOHN JANICKI	ENDICIA	07/20/2023	01	1445	\$14.57	NOW-POSTAGE
JOHN JANICKI	FACEBK 6LBBQR7TB2	07/31/2023	01	1445	\$52.72	NOW-ADVERTISING
JOHN JANICKI	FACEBK 8TYAQRKT2	07/26/2023	01	1445	\$900.00	NOW-ADVERTISING
JOHN JANICKI	FACEBK AN9CHRRTB2	07/16/2023	01	1445	\$900.00	NOW-ADVERTISING
JOHN JANICKI	FACEBK BKVFVRTTB2	07/30/2023	01	1445	\$900.00	NOW-ADVERTISING
JOHN JANICKI	FACEBK G2657RKT2	07/07/2023	01	1445	\$900.00	NOW-ADVERTISING
JOHN JANICKI	FACEBK GZZTAR3TB2	08/02/2023	01	1445	\$900.00	NOW-ADVERTISING
JOHN JANICKI	FACEBK JTQR6RPTB2	07/21/2023	01	1445	\$900.00	NOW-ADVERTISING
JOHN JANICKI	FACEBK LCVY8SBTB2	07/12/2023	01	1445	\$900.00	NOW-ADVERTISING
JOHN JANICKI	GOOGLE ADS6015163255	07/16/2023	01	1445	\$500.00	NOW-ADVERTISING
JOHN JANICKI	GOOGLE ADS6015163255	08/01/2023	01	1445	\$444.13	NOW-ADVERTISING
JOHN JANICKI	OFFICEMAX/OFFICEDEPT#3	07/18/2023	01	1445	\$118.78	NOW-SUPPLIES
JOHN JANICKI	OFFICEMAX/OFFICEDEPT#3	07/31/2023	01	1445	-\$59.39	NOW-CHARGE CREDIT
JOHN JANICKI	PMANALYTICS	07/22/2023	01	1445	\$39.95	NOW-WEB ASSISTANCE
JOHN JANICKI	WIX.COM	07/06/2023	01	1445	\$4.99	NOW-WEB ASSISTANCE
JOHN JANICKI	WIX.COM 1068163591	07/31/2023	01	1445	\$24.85	NOW-WEB ASSISTANCE
JOSEPH CAPIGA	APPLE.COM/BILL	07/12/2023	01404524	4501	\$0.99	50GB STOR PLAN-CAPIGA
JOSEPH CAPIGA	BRAD MANNING FORD	07/10/2023	40406724	4585	\$287.11	PARTS
JOSEPH NEBEL	APPLE.COM/BILL	08/03/2023	40406722	4301	\$0.99	50GB STOR PLAN-NEBEL
JOSEPH NEBEL	COMCAST CHICAGO	07/15/2023	40406724	4501	\$116.85	BUSINESS INTERNET-XIAO
KATHRYN CAWLEY	AMAZON.COM*V27DR2TZ3	07/11/2023	01	1442	\$73.75	CADET UNIFORM EXP
KATHRYN CAWLEY	AMAZON.COM*YD10G1LR3	07/21/2023	01201223	4402	\$32.12	OFFICE SUPPLIES
KATHRYN CAWLEY	AMZN MKTP US*769MM7B13	07/21/2023	01107123	4414	\$59.81	NNO SUPPLIES-EMA
KATHRYN CAWLEY	AMZN MKTP US*8J8FY2343	07/17/2023	01202423	4414	\$39.59	NNO SUPPLIES
KATHRYN CAWLEY	AMZN MKTP US*HL5GB8NT3	07/21/2023	01107123	4414	\$84.92	COMMUNITY EVENT-EMA
KATHRYN CAWLEY	AMZN MKTP US*Y77D29JJ3	07/21/2023	01107123	4414	\$47.98	COMMUNITY EVENT-EMA
KATHRYN CAWLEY	MORETTI'S	07/10/2023	01605723	4414	\$153.88	F&P COMM MTG EXP
KATHRYN CAWLEY	ROOFTOP DEFENSE	08/03/2023	01202123	4408	\$204.35	RANGE-RIFLE EQUIPMENT
KATHRYN CAWLEY	SAFE KIDS WORLDWIDE	07/11/2023	01202222	4301	\$55.00	CHILD PASSGR SAFTY CERT-OMAR
KATHRYN CAWLEY	SAMS CLUB#6487	05/23/2023	01201223	4417	-\$67.92	CREDIT-ORDER NOT SHIPPED
KATHRYN CAWLEY	SAMSClub.COM	07/11/2023	01201223	4417	\$129.84	PRISONER MEALS
KELLY KERR	AMAZON.COM*Y67712TW3	07/16/2023	01404624	4519	\$43.99	CORLESS KEYBOARD
KELLY KERR	APPLE.COM/BILL	07/17/2023	40406723	4408	\$0.99	50GB STOR PLAN-WINTZ
KELLY KERR	APPLE.COM/BILL	07/31/2023	40406724	4529	\$2.99	50GB STOR PLN-WTR DEVICES
KELLY KERR	APPLE.COM/BILL	08/03/2023	40406723	4408	\$0.99	50GB STOR PLAN-KERR
KELLY KERR	HP PRODUCT SVC&RPR	08/01/2023	01404224	4510	\$49.00	PRNTR TECH SUPPORT-SIGN SHP

VILLAGE OF HOFFMAN ESTATES
Monthly Credit Card Activity

From: 07/06/2023

To: 8/5/2023

Account Name	Merchant Name	Transaction Date	Accounting Code	Accounting Code	Transaction Amount	Expense Description
KEVIN D KRAMER	BISNOW	07/26/2023	01505922	4301	\$109.00	LOCAL RETAIL/ENTERTAIN CONFR
KEVIN D KRAMER	BT REALESTATEVENT	07/13/2023	01505924	4546	\$264.55	RE RESCUE EVENT SPONSORSHIP
KEVIN D KRAMER	CHICAGO TRIB SUBSCRIPT	07/31/2023	01505923	4404	\$15.96	MONTHLY SUBSCRIPTION
KEVIN D KRAMER	COSTAR GROUP INC	08/01/2023	01505923	4404	\$477.00	MONTHLY SUBSCRIPTION
KEVIN D KRAMER	CRE EVENT* REGQZM1G7KA	07/27/2023	01505922	4301	\$131.45	MULTIFAMILY CONFR
KEVIN D KRAMER	DAILY HERALDONLINE	07/19/2023	01505923	4404	\$99.00	ANN SUBSCRIPTION
KEVIN D KRAMER	EB RBA 2023 2ND QUART	07/07/2023	01505922	4301	\$60.00	RESTAURANT BUS ALLIANCE LUNCH
KEVIN D KRAMER	HILTON HOTELS ANATOLE	07/20/2023	01505922	4301	\$318.08	HOTEL-IEDC CONFR-DALLAS
KEVIN D KRAMER	ICSC-NY	07/24/2023	01505922	4301	\$125.00	ICSC LOCAL NETWORKING EVENT
KEVIN D KRAMER	IEDC ONLINE	07/19/2023	01505922	4301	\$85.00	ANN CONFR MOBILE WRKSP
KEVIN D KRAMER	SOUTHWES 5264206903262	07/19/2023	01505922	4301	\$20.00	FLIGHT-IEDC CONFR-DALLAS
KEVIN D KRAMER	SOUTHWES 5264206903263	07/19/2023	01505922	4301	\$20.00	FLIGHT-IEDC CONFR-DALLAS
KEVIN D KRAMER	SPOTHERO 844-356-8054	07/06/2023	01505922	4301	\$24.53	PARKING-ICSC EVENT
KEVIN D KRAMER	SPOTHERO 844-356-8054	07/18/2023	01505922	4301	\$1.32	PARKING-ICSC EVENT
KEVIN D KRAMER	SPOTHERO 844-356-8054	07/26/2023	01505922	4301	\$22.16	PARKING-CMAP MTG
KEVIN D KRAMER	SPOTHERO 844-356-8054	07/27/2023	01505922	4301	-\$22.16	CREDIT/MTG CANCELED
KEVIN D KRAMER	WWW.1AND1.COM	07/19/2023	01605824	4575	\$224.99	ARTS COMM WEBST ANN RENEWAL
KEVIN D KRAMER	WWW.1AND1.COM	07/21/2023	01605824	4575	\$10.00	ARTS COMM WEBSITE
KEVIN D KRAMER	WWW.1AND1.COM	08/01/2023	01605824	4575	\$20.00	ARTS COMM WEBSITE
MONICA SAAVEDRA	AMAZON.COM*U642B2R13	07/18/2023	01556524	4564	\$27.84	BALLS-THERAPY DOG
MONICA SAAVEDRA	AMZN MKTP US*AH5OK2WK3	07/18/2023	01556523	4413	\$26.12	BANDAGES-VACCINE CLINICS
MONICA SAAVEDRA	AMZN MKTP US*JN6RC8KZ3	07/18/2023	01556523	4413	\$21.50	DISPOSABLE COLD PACKS
MONICA SAAVEDRA	AMZN MKTP US*K41HW35L3	07/08/2023	01556523	4414	\$15.98	KEYCHAINS-STUDENTS
MONICA SAAVEDRA	AMZN MKTP US*T62RG9SW1	07/27/2023	01556524	4564	\$111.47	MISC EMPLOYEE WELL SUPPLIES
MONICA SAAVEDRA	GFS STORE #1913	07/07/2023	01605824	4559	\$299.69	ICE CREAM SOCIAL
MONICA SAAVEDRA	GFS STORE #1913	07/07/2023	01556523	4414	\$41.86	JULY OUTREACH EVENT
MONICA SAAVEDRA	HOBBY-LOBBY #0177	07/07/2023	01556523	4414	\$17.99	JULY OUTREACH EVENT
MONICA SAAVEDRA	JEWEL OSCO 3316	07/07/2023	01556524	4564	\$687.57	FIT CHALL LUNCH/PRIZES
MONICA SAAVEDRA	PARTY CITY 5256	07/24/2023	01556524	4507.1	\$192.96	JULY COMMUNITY EVENT
MONICA SAAVEDRA	PETSMART # 0477	07/30/2023	01556524	4564	\$61.48	CRATE MAT/TREATS-THERAPY DOG
MONICA SAAVEDRA	SQ *KONA ICE OF SW SCH	07/27/2023	01556524	4507.1	\$984.00	JULY COMMUNITY EVENT
MONICA SAAVEDRA	TARGET 00021220	07/14/2023	01605824	4559	\$300.00	SR COMM BINGO PRIZES
MONICA SAAVEDRA	THERANEST MONTHLY SUB	07/15/2023	01556524	4507	\$107.50	ACTIVE CLIENTS PLAN
PATRICK J CLARKE	VALLI PRODUCE OF HOFFM	07/11/2023	01301222	4305	\$103.24	FOOD-BUDGET MEETING
PATRICK J SEGER	AMAZON.COM*TA6K75C62	08/03/2023	01101623	4402	\$33.10	OFFICE SUPPLIES-PENS
PATRICK J SEGER	BHN*GIFTCARDS	07/20/2023	01101623	4405	\$203.60	ANNIV GC-GOLDEN
PATRICK J SEGER	CABELA'S ONLINE U.S.	07/12/2023	01101624	4564	\$50.00	FIT CHALL WINNER-MARINO
PATRICK J SEGER	CABELA'S ONLINE U.S.	07/13/2023	01101624	4564	\$50.00	FIT CHALL WINNER-CUTHBURT
PATRICK J SEGER	CABELA'S ONLINE U.S.	07/17/2023	01101624	4564	\$50.00	FIT CHALL WINNER-KRAMER
PATRICK J SEGER	CABELA'S ONLINE U.S.	07/25/2023	01101623	4405	\$200.00	RETIRE GC-JOHNSON
PATRICK J SEGER	CABELA'S ONLINE U.S.	07/26/2023	01101624	4564	\$50.00	FIT CHALL WINNER-MCCAULEY
PATRICK J SEGER	CABELA'S ONLINE U.S.	08/02/2023	01101623	4405	\$100.00	ANNIV GC-DIATTE

VILLAGE OF HOFFMAN ESTATES
Monthly Credit Card Activity

From: 07/06/2023

To: 8/5/2023

Account Name	Merchant Name	Transaction Date	Accounting Code	Accounting Code	Transaction Amount	Expense Description
PATRICK J SEGER	CS *REDROBIN GIFTCARD	07/18/2023	01101623	4405	\$200.00	ANNIV GC-FUJA
PATRICK J SEGER	GARIBALDIS ITALIAN EAT	07/06/2023	01101623	4414	\$225.66	RETIRE LUNCH-REDELMANN
PATRICK J SEGER	JEWEL OSCO 3316	07/06/2023	01101623	4405	\$46.99	RETIRE CAKE-REDELMANN
PATRICK J SEGER	JEWEL OSCO 3316	07/13/2023	01101624	4564	\$99.98	FIT CHALL LUNCH-FRUIT TRAYS
PATRICK J SEGER	JEWEL OSCO 3316	07/18/2023	01101623	4405	\$58.27	ANNIV CAKE-MATTES
PATRICK J SEGER	MC JOB POST	07/06/2023	01101624	4546	\$150.00	ED SPECIALIST POSTING
PATRICK J SEGER	PERSONALIZATION MALL	07/29/2023	01101623	4405	\$103.97	RETIRE CLOCKS-FUJA/JOHNSON
PATRICK J SEGER	TARGET.COM *	07/05/2023	01101623	4405	\$200.00	RETIRE GC-CARDOZA
PAUL W PETRENKO	AMAZON.COM*NO8OK6T23	07/11/2023	01404424	4510	\$59.99	MEMORY CARD/ADOBE PHOTO
PAUL W PETRENKO	AMZN MKTP US*A76F19GI3	07/19/2023	01404424	4510	\$77.59	AIR FILTER 20X20X2
PAUL W PETRENKO	AMZN MKTP US*AH1H66MZ3	07/19/2023	01444424	4510	\$19.89	BANDSAW BLADE
PAUL W PETRENKO	AMZN MKTP US*AP05W6A73	07/13/2023	01404424	4510	\$30.64	HOLD-UP SWITCH RESET
PAUL W PETRENKO	AMZN MKTP US*HM5T911K3	07/13/2023	01404424	4510	\$30.64	HOLD-UP SWITCH RESET
PAUL W PETRENKO	AMZN MKTP US*TH5PU9PY0	07/31/2023	01404424	4510	\$76.99	WHEEL BEARING GREASE TUBE
PAUL W PETRENKO	AMZN MKTP US*TH9X87Z70	07/29/2023	01404424	4516	\$78.00	SHOEBOX CORN BULB
PAUL W PETRENKO	AMZN MKTP US*U276R58G3	07/07/2023	01404424	4510	\$28.98	USB TOOL FREE ENCLOSURE
PAUL W PETRENKO	APPLE.COM/BILL	08/04/2023	01404424	4510	\$0.99	50GB STOR PLAN-PETRENKO
PAUL W PETRENKO	WWP*ROSE PEST SOLUTION	07/11/2023	01404424	4507	\$146.00	PEST SER-1900 HASSELL
PAUL W PETRENKO	WWP*ROSE PEST SOLUTION	07/14/2023	01404424	4542	\$600.00	PEST SER-5510 PRAIRIE STONE
PAUL W PETRENKO	WWP*ROSE PEST SOLUTION	07/27/2023	01404424	4507	\$118.00	PEST SER-411 W HIGGINS
PETER GUGLIOTTA	AMERICAN PLANNING A	08/03/2023	01501222	4303	\$904.00	APA ANN MEMBERSHIP-PETE
PETER GUGLIOTTA	DELTA 00621252415055	07/06/2023	01501222	4301	\$419.80	AIRFARE-CDBG NACCED CONF
PETER GUGLIOTTA	NACCED	07/06/2023	01501222	4301	\$660.00	NACCED CDBG CONF REG-MICHAEL
PETER GUGLIOTTA	WWW.CGIRERESULTS.COM	07/06/2023	01505022	4301	\$200.00	APA IL ST CONF-PHIL
PETER GUGLIOTTA	WWW.CGIRERESULTS.COM	07/06/2023	01501222	4301	\$400.00	APA IL ST CONFR-MICHAEL
RACHEL E MUSIALA	AMAZON.COM*OJ51X4YX3	07/20/2023	01101423	4402	\$32.53	COFFEE MAKER-FINANCE
RACHEL E MUSIALA	AMZN MKTP US*TA8HC2OV2	08/03/2023	01101423	4402	\$64.23	CALCULATOR-FINANCE
RACHEL E MUSIALA	GOVERNMENT FINANCE OFF	07/31/2023	01101424	4542	\$610.00	CERTF OF ACHIVEMENT-REVW FEE
RACHEL E MUSIALA	IL TOLLWAY-WEB	07/28/2023	01102522	4301	\$3.54	TOLLS
RACHEL E MUSIALA	IL TOLLWAY-WEB	07/28/2023	01101222	4301	\$0.59	TOLLS
RACHEL E MUSIALA	IL TOLLWAY-WEB	07/28/2023	01303222	4301	\$24.22	TOLLS
RACHEL E MUSIALA	IL TOLLWAY-WEB	07/28/2023	01101122	4301	\$8.45	TOLLS
RACHEL E MUSIALA	IL TOLLWAY-WEB	07/28/2023	01401222	4301	\$42.80	TOLLS
RACHEL E MUSIALA	IL TOLLWAY-WEB	07/28/2023	01404522	4301	\$3.45	TOLLS
RACHEL E MUSIALA	IL TOLLWAY-WEB	07/28/2023	01505222	4301	\$9.90	TOLLS
RACHEL E MUSIALA	IL TOLLWAY-WEB	07/28/2023	01505222	4301	\$3.00	TOLLS
RACHEL E MUSIALA	IL TOLLWAY-WEB	07/28/2023	01404522	4301	\$41.40	MISSED TOLLS-PW #7
RACHEL E MUSIALA	ILLINOIS GOVERNMENT FI	07/28/2023	01101422	4301	\$375.00	FALL CONF REG-MUSIALA
RACHEL E MUSIALA	WCI*GROOT EAST	07/17/2023	09000024	4542	\$193,389.13	VLG REFUSE SERVICE
SUSANA ARROYO	AMAZON.COM	07/17/2023	01101423	4402	-\$5.64	CREDIT: BATTERIES
SUSANA ARROYO	AMAZON.COM*GY1529OT3	07/16/2023	01101423	4402	\$5.64	BATTERIES
SUSANA ARROYO	AMZN MKTP US*Z59IK22U3	07/13/2023	01101423	4402	\$18.10	OFFICE SUPPLIES-PENS
WILLIAM D MCLEOD	CHILI'S HOFFMAN ESTATE	07/12/2023	01101122	4301	\$112.17	KINNANE TOUR
WILLIAM D MCLEOD	THE ASSEMBLY AMERICAN	07/08/2023	01101122	4301	\$60.67	MEETING
WILLIAM D MCLEOD	THE ASSEMBLY AMERICAN	08/02/2023	01101122	4301	\$56.28	MEETING
Total					\$241,416.39	

Detail of Wire/ACH Activity
For the Period 08/01/23 - 08/31/23

Date	Vendor	Description	Source of Funds	Amount
08/01/23	IPBC	Insurance Premium	General	\$ 669,788.39
08/01/23	Audacy	Advertising	General, Lakewood TIF	\$ 10,833.33
08/02/23	Payment Express	Credit Card Merchant Fees 07/23	General, Water & Sewer	\$ 117.14
08/03/23	Employer's Claim Service	Workers Comp Claims	Insurance	\$ 507.40
08/03/23	Poplar Creek Crossing LLC	Homegoods Sales Tax Rebate	General	\$ 37,385.32
08/07/23	Neopost	Replenish Postage Machine	General, Water & Sewer	\$ 1,600.00
08/10/23	IMRF	IMRF July 2023 Payroll Costs	Various	\$ 106,770.92
08/21/23	DataProse LLC	Printing & Postage for Water Bills	Water & Sewer	\$ 9,221.28
08/21/23	SWANCC	Monthly Tipping Fees	Municipal Waste System	\$ 64,167.00
08/21/23	JAWA	Monthly Water Usage	Water & Sewer	\$ 794,806.00
08/21/23	Bestco Benefit Plans	Monthly Retiree Premiums	General	\$ 15,143.60
08/22/23	Amalgamated Bank of Chicago	2015B Bond Registrar Paying Agent Fee	Water & Sewer, Stormwater, 2015B GO Debt	\$ 476.75
08/22/23	Amalgamated Bank of Chicago	2015A Bond Registrar Paying Agent Fee	NOW Arena Operating	\$ 476.75
08/24/23	Neopost	Replenish Postage Machine	General, Water & Sewer	\$ 1,600.00
08/25/23	Central States Pension Fund	Liability Withdrawal	NOW Arena Operating	\$ 763.16
08/30/23	CCMSI	General Liability Claims	Insurance	\$ 5,690.00
08/30/23	Verra Mobility American Traffic Solutions	Red Light Cameras	General	\$ 27,000.00
	TOTAL			\$ 1,746,347.04



HOFFMAN ESTATES

GROWING TO GREATNESS

August 14, 2023

To: Mayor and Board of Trustees

TREASURER'S REPORT

July 2023

Attached hereto is the Treasurer's Report for the month of July, 2023, summarizing total cash receipts and disbursements for the various funds of the Village.

For the Operating funds, cash disbursements and transfers-out exceeded cash receipts and transfers-in by \$1.3 million, primarily due to general operating expenses. After including these receipts and disbursements, the balance of cash and investments for the operating funds is \$74 million.

For the Operating, Debt Service and Capital Projects funds, cash disbursements and transfers-out exceeded cash receipts and transfers-in by \$902,117, primarily due to general operating expenses.

For the Trust Funds, cash receipts and transfers-in exceeded cash disbursements and transfers-out by \$1.6 million, primarily due to pension fund investment activity.

The total for cash and investments for all funds increased to \$288 million.

Respectfully Submitted,

Stan W. Helgerson
Village Treasurer

Attachment

TREASURER'S REPORT
FOR THE MONTH ENDING July 31, 2023

Fund	Beginning Balance	Receipts/ Transfers - In	Disbursements/ Transfers - Out	Amount in Cash	Amount Invested	Ending Balance
General (incl. Veterans' Mem)	\$ 36,925,511	\$ 4,273,939	\$ 4,874,057	\$ 1,226,157	\$ 35,099,236	\$ 36,325,393
Payroll Account	-	2,917,135	2,917,135	-	-	-
Petty Cash	2,100	-	-	2,100	-	2,100
Foreign Fire Ins. Board	259,534	-	-	259,534	-	259,534
Cash, Village Foundation	13,608	-	-	13,608	-	13,608
Cash, Fire Protection District	79,965	-	-	79,965	-	79,965
Motor Fuel Tax	1,221,958	202,102	224,499	130,033	1,069,528	1,199,561
Comm. Dev. Block Grant	1	31,124	22,127	8,998	-	8,998
Asset Seizure - Federal	326,003	5,117	22,849	308,271	-	308,271
Asset Seizure - State	373,976	263	-	315,684	58,555	374,239
Asset Seizure - Battle	945	4	-	-	949	949
Asset Seizure - U.S. Marshall	10,624	-	-	10,624	-	10,624
Municipal Waste System	526,644	251,814	460,224	56,903	261,331	318,233
Roselle Road TIF	1,937,093	8,167	2,808	185,992	1,756,459	1,942,451
Higgins/Hassell TIF	364,132	1,301	8,920	203,762	152,751	356,513
Barrington/Higgins TIF	1,280,853	5,562	-	308,197	978,218	1,286,415
Lakewood Center TIF	660,810	2,713	13,316	111,051	539,156	650,207
Higgins/Old Sutton TIF	140,154	381	300	62,364	77,871	140,235
Water & Sewer	18,064,787	2,016,324	1,840,286	1,218,970	17,021,854	18,240,825
NOW Operating	8,528,092	665,584	1,570,365	1,028,263	6,595,049	7,623,311
Insurance	3,412,325	154,162	45,478	464,659	3,056,350	3,521,009
Information Technology	1,251,442	257,230	99,947	276,525	1,132,200	1,408,725
Total Operating Funds	\$ 75,380,556	\$ 10,792,923	\$ 12,102,311	\$ 6,271,660	\$ 67,799,507	\$ 74,071,167
Debt Service						
2015 A & C G.O. Debt Serv.	\$ 691,938	\$ 2,803	\$ -	\$ 108,052	\$ 586,690	\$ 694,742
2016 G.O. Debt Serv.	1,866	-	-	1,866	-	1,866
2018 G.O. Debt Serv.	528,405	19,408	-	547,545	268	547,813
Total Debt Service Funds	\$ 1,222,209	\$ 22,212	\$ -	\$ 657,462	\$ 586,958	\$ 1,244,421
Capital Projects Funds						
Central Road Imp.	\$ 57,051	\$ 70	\$ -	\$ 42,920	\$ 14,201	\$ 57,121
Hoffman Blvd Bridge Maintenance	283,063	1,283	-	12,996	271,350	284,346
Western Corridor	2,993,771	12,312	32,500	92,837	2,880,746	2,973,583
Traffic Improvement	18,695	-	-	18,695	-	18,695
Prairie Stone Capital	760,466	3,342	5,750	9,380	748,678	758,058
Road Improvements	4,373,645	1,528,720	1,342,182	774,233	3,785,949	4,560,183
Central Area Road Impact Fee	619,450	2,634	-	186,004	436,079	622,084
Western Area Traff. Impr.	23,345	71	-	23,417	-	23,417
West Area Rd Impr. Impact Fee	181,127	646	-	46,795	134,977	181,772
Capital Improvements	1,106,676	145,646	130,502	587,952	533,869	1,121,820
Capital Vehicle & Equipment	638,865	149,207	60,112	639,526	88,433	727,959
Capital Replacement	8,052,321	34,416	-	387,960	7,698,777	8,086,736
Stormwater Management	1,010,139	84,356	8,197	567,155	519,142	1,086,297
2019 Capital Projects	346,327	1,602	-	25,394	322,535	347,929
Total Capital Proj. Funds	\$ 20,464,941	\$ 1,964,304	\$ 1,579,243	\$ 3,415,265	\$ 17,434,736	\$ 20,850,001
Total Operating, Debt Service and Capital Project Funds	\$ 97,067,706	\$ 12,779,438	\$ 13,681,555	\$ 10,344,387	\$ 85,821,202	\$ 96,165,589
Trust Funds						
Police Pension (June)	\$ 87,679,117	\$ 2,793,116	\$ 735,771	\$ 11,415	\$ 89,725,047	\$ 89,736,463
Firefighters Pension (June)	102,355,006	156,528	647,380	2,846	101,861,307	101,864,153
EDA Spec. Tax Alloc.	10,394	-	-	10,394	-	10,394
Total Trust Funds	\$ 190,044,517	\$ 2,949,644	\$ 1,383,151	\$ 24,655	\$ 191,586,354	\$ 191,611,009
GRAND TOTAL	\$ 287,112,222	\$ 15,729,082	\$ 15,064,706	\$ 10,369,043	\$ 277,407,556	\$ 287,776,599

DRAFT



Meeting Members:
Anna Newell, Chairperson
Karen Mills, Vice Chairperson
Gary Pilafas, Trustee
Gary Stanton, Trustee
Karen Arnet, Trustee
Patrick Kinnane, Trustee
William McLeod, Mayor

Village of Hoffman Estates

Public Works and Utilities Committee Meeting Agenda

October 2, 2023

6:30 p.m. - Board Room

Village Hall, 1900 Hassell Road, Hoffman Estates, IL 60169

-
- I. Roll Call**
 - II. Approval of Minutes - August 21, 2023**
 - III. Public Comment**

REPORTS (INFORMATION ONLY)

1. Department of Public Works Monthly Report
 2. Engineering Division Monthly Report
- IV. President's Report**
 - V. Other**
 - VI. Items in Review**
 - VII. Adjournment**

Further details and information can be found in the agenda packet attached hereto and incorporated herein and can also be viewed online at www.hoffmanestates.org and/or in person in the Village Clerk's office. The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.

DRAFT



Meeting Members:
Karen Mills, Chairman
Gary Pilafas, Vice Chairman
Anna Newell, Trustee
Gary Stanton, Trustee
Karen Arnet, Trustee
Patrick Kinnane, Trustee
William McLeod, Mayor

Village of Hoffman Estates

Public Health and Safety Committee Meeting Agenda

October 2, 2023

Immediately following the Public Works and Utilities Committee

Village Hall, 1900 Hassell Road, Hoffman Estates, IL 60169

By Order of the Board of Trustees

- I. Roll Call
- II. Approval of Minutes - August 21, 2023
- III. Public Comment

NEW BUSINESS

REPORTS (INFORMATION ONLY)

1. Police Department Monthly Report
 2. Health and Human Services Department Monthly Report
 3. Emergency Management Coordinator Monthly Report
 4. Fire Department Monthly Report
- IV. President's Report
 - V. Other
 - VI. Items in Review
 - VII. Adjournment

DRAFT



Meeting Members:
Gary Pilafas, Chairperson
Anna Newell, Vice Chairperson
Karen Mills, Trustee
Gary Stanton, Trustee
Karen Arnet, Trustee
Patrick Kinnane, Trustee
William McLeod, Mayor

Village of Hoffman Estates

Finance Committee Meeting Agenda

October 2, 2023

Immediately following Public Health & Safety Meeting
Village Hall, 1900 Hassell Road, Hoffman Estates, IL 60169

-
- I. Roll Call
 - II. Approval of Minutes -August 21, 2023
September 5, 2023 Special
September 18, 2023 Special
 - III. Public Comment

NEW BUSINESS

REPORTS (INFORMATION ONLY)

1. Finance Department Monthly Report for June and July
 2. Information Technology Department Monthly Report
 3. NOW Arena Monthly Report
- IV. President's Report
 - V. Other
 - VI. Items in Review
 - VII. Adjournment

**VILLAGE OF HOFFMAN ESTATES
AN ORDINANCE GRANTING A MASTER SIGN PLAN AMENDMENT TO THE
HOFFMAN VILLAGE MASTER SIGN PLAN FOR THE PROPERTY LOCATED AT
1165 – 1199 N BARRINGTON ROAD & 2501 – 2599 W GOLF ROAD,
HOFFMAN ESTATES, ILLINOIS**

WHEREAS, the Planning and Zoning Commission, at a public hearing duly called and held according to law on September 6, 2023, considered a request by Hoffman Village Station LLC (Owner) for a Master Sign Plan Amendment to the Hoffman Village Master Sign Plan for the property located at 1165 – 1199 N Barrington Road and 2501 – 2599 W Golf Road, as shown on Exhibit "A" attached hereto and made a part hereof; and

WHEREAS, the Planning and Zoning Commission made certain Finding of Fact attached hereto and made a part hereof as Exhibit "B" and recommended approval of the Master Sign Plan to the Board of Trustees; and

WHEREAS, the Corporate Authorities have received and considered said recommendation; and

WHEREAS, the proposed Master Sign Plan has met the standards of Section 9-3-8-M-13 of the Zoning Code of the Hoffman Estates Municipal Code; and

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook County, Illinois, as follows:

Section 1: The Corporate Authorities hereby find that the facts and statements contained in the preamble of this Ordinance are true.

Section 2: A Master Sign Plan authorized under Section 9-3-8-M-13 of the Zoning Code, attached hereto and made a part here of as Exhibit "C", is hereby granted to the Hoffman Village Shopping Center for the property located at 1165 – 1199 N Barrington Road and 2501 – 2599 W Golf Road, subject to the following conditions:

1. The signs shall substantially conform to the plans attached as part of this application.
2. A sign permit is required for any sign installation. Any advertising on electronic message center signs shall only be for existing businesses within the Hoffman Village Shopping Center.

Section 3: The Master Sign Plan is granted based upon the plans incorporated in Exhibit B.

Section 4: The Village Clerk is hereby authorized to publish this Ordinance in pamphlet form.

Section 5: This Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2023

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
Trustee Patrick Kinnane	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2023

Village President

ATTEST:

Village Clerk

Published in pamphlet form this _____ day of _____, 2023.

Hoffman Village Shopping Center (2575 W Golf Rd)
PIN: 07-18-100-013-0000 & 07-18-100-011-0000



Sources: Esri, Airbus DS, USGS, NOAA, NASA, CGIAR, Robinson, NCEAS, NLS, OS, NMA, Geodatasyrisen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community.

Legend

-  Subject Property
-  Parcels
-  Village Boundary



Planning and Transportation Division
Department of Development Services

Exhibit B



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION FINDING OF FACT

PROJECT NUMBER:	PLN23-0027
PROJECT NAME:	Hoffman Village Shopping Center - Master Sign Plan Amendment
ADDRESS/LOCATION:	2575 W. GOLF RD.
OWNER / PETITIONER:	HOFFMAN VILLAGE STATION LLC, STARLIGHT MEDIA
REQUESTS:	MASTER SIGN PLAN AMENDMENT
ZONING / LAND USE:	B-2 BUSINESS DISTRICT, SHOPPING CENTER
PZC MEETING DATE:	SEPTEMBER 6, 2023
PZC RECOMMENDATION:	APPROVAL (9 AYES, 0 NAYS, 1 ABSENT)
VILLAGE BOARD MEETING DATE:	SEPTEMBER 18, 2023
STAFF ASSIGNED:	KEVIN ANDERSON, ASSOCIATE PLANNER

MOTIONS

- A. Request for a Master Sign Plan Amendment for the Hoffman Village Shopping Center located at 2575 W Golf Road, subject to the following conditions:**
1. The signs shall substantially conform to the plans attached as part of this application.
 2. A sign permit is required for any sign installation. Any advertising on electronic message center signs shall only be for existing businesses within the Hoffman Village Shopping Center.

FINDING

The Planning & Zoning Commission heard the request from Michael Rzymek (Applicant) who stated the petitioner is proposing to install two new electronic message centers under the shopping center breezeway. He identified that these would be small and oriented towards pedestrians already at the shopping center. Mr. Rzymek noted that the signs would only be used to advertise for businesses in the shopping center.

Mr. Rzymek advised the Commissioners that the signs are resistant to vandals and have shatterproof glass and a shell that cannot be spray painted. The sign messages are updated via Wi-Fi but are encrypted and could not be 'hacked' by vandals.

Staff outlined the origin and amendments to the Hoffman Village Master Sign Plan including the addition of the fuel station.

MASTER SIGN PLAN STANDARDS

Section 9-3-8-M-13 of the Zoning Code requires that in instances where the Zoning Code cannot be strictly followed, that the owner may propose a Master Sign Plan to accommodate the signs on the property and to set standards and

restrictions on the signs. The Village requires a Master Sign Plan in lieu of sign variations except where a Master Sign Plan is not feasible or warranted (for a very minor request where a variation is deemed acceptable to request). The Zoning Code lists the goals that a Master Sign Plan should achieve as follows:

- Result in architecture and graphics of a scale appropriate for the subject development and the surrounding area;
- Provide signage consistent with the site plan and architecture of the project;
- Avoid visual clutter;
- Allow visitors, employees, and consumers to readily identify the business entrances, while addressing the community's need for attractive, unobtrusive architecture and commercial graphics; and
- Result in a unified theme of signage for the project.

Petitioners are encouraged to take a comprehensive approach to each master sign plan proposal because the plan will provide guidelines for signs that are desired both today, and into the future. The Plan functions as a "mini-sign code" for the property. The creation of a Master Sign Plan involves merging and considering several perspectives, including:

- Current Code requirements.
- Prior variation history on the subject property, as well as similar properties.
- Existing signage on the property.
- Specific current signage requests by the property owner.
- Likely possible signage requests in the future (consider the type use of the property and its location).
- Unique characteristics of the subject property.

The petitioner has provided a response to the Standards for a Master Sign Plan in their application.

Commissioner questions included:

- Could these signs be able to be used for Amber Alerts? Yes.
- Will the signs have any flashing or scrolling? The Petitioner noted the sign changes will fade from one to the next. There is no flashing or scrolling and no video playing.

AUDIENCE COMMENTS

None.

PLANNING AND ZONING COMMISSION VOTE

Commissioner	Roll Call Vote
Chairperson Eva Combs	Aye
Vice-Chairman Adam Bauske	Aye
Tom Burnitz	Aye
Lon Harner	Aye
Lenard Henderson	Aye
Daniel Lee	Absent
Minerva Milford	Aye
Nancy Trieb	Aye
Denise Wilson	Aye
John Wise	Aye

9 Ayes, 0 Nays, 1 Absent

ATTACHMENTS

The Planning and Zoning Commission Staff Report dated September 6, 2023 and all associated attachments are hereby made a part of this Finding.

Exhibit C

HOFFMAN VILLAGE SHOPPING CENTER MASTER SIGN PLAN

September 2023

Introduction

The Master Sign Plan requirements have been developed based on the signage that is unique to Hoffman Village. The shopping center contains approximately 17 acres and a total building(s) square footage of 160,000 comprised of one main shopping center building. This plan has been designed with signage for this development that maintains consistency with other similar developments, yet takes into account certain unique characteristics of this development. Sign requirements for all buildings and parcels are included in this Plan to promote cohesion among all signs.

A. Area Included in Master Sign Plan

This Master Sign Plan applies to the Hoffman Village Shopping Center property, but does not include the out-lot properties located along Golf Road.

B. General Provisions (applicable to all property governed by this plan)

1. Setbacks. The setbacks required for any sign placed on the ground shall meet the requirements set forth in the zoning code, except as stated in this Master Sign Plan. Signs shall be set back and separated from power lines and communication lines as required in Section 9-3-8-1 of the Zoning Code.
2. Driver Sight Visibility. No sign shall be placed in a manner that will obstruct driver or pedestrian sight lines and create an unsafe condition based on analysis by the Village Transportation Division.
3. Landscaping. Landscaping shall be provided at the base of all signs, unless determined to be unsafe or not feasible by the Village Department of Development Services.
4. Illumination. All signs permitted by this Master Sign Plan may be illuminated in accordance with Section 9-3-8-F of the Zoning Code unless otherwise indicated in the approved Master Sign Plan documents.
5. Sign Design. Colors and letter graphic styles on the signs shall be determined by the owners of the property, however, the two primary monument signs for the site shall be of a consistent color and graphic style.
6. Calculation of Sign Area. All signs shall meet the requirements of Section 9-3-8-D, except that the architectural base and support structure of a monument sign shall not be included in the total sign area if these areas do not contain text, logos or any other graphics.
7. Permits. Sign permits shall be required in accordance with Section 9-3-8-A of the Zoning Code.
8. Coordination with Village Sign Code. All regulations of the Zoning Code shall apply unless specifically stated otherwise in this master sign plan. In the

event of a conflict between this Master Sign Plan and the Zoning Code, the Master Sign Plan regulations shall apply.

9. Wall Signs on Rear of Building. Wall signs shall not be permitted on the rear elevation of a business, except as stated in this Master Sign Plan.
10. Prior Variations. Variation Ordinances 2497-1992, 2610-1994, 3015-1998, 3315-2001 and 3605-2004 are hereby repealed through passage of the ordinance approving this MSP. The variations are incorporated into this MSP. Wall signs shall be permitted as detailed in this MSP, and per item B.8 of the MSP (Coordination with Village Sign Code).
11. Master Sign Plan. This document, along with the attached set of drawings represents the entire Master Sign Plan.

C. GROUND AND MONUMENT SIGNS

One ground and one monument sign maybe permitted per public street frontage on the property for a total of four signs to identify the Shopping Center tenants.

1. The design of the signs shall be limited to a ground or monument style of sign and shall not be allowed a freestanding or pole sign with exposed sign supports. The ground or monument sign must include an architectural base to enclose any support poles or structure. The existing signs include a 3-foot clearance, by prior variation, underneath the sign, which may remain until such time as the sign is replaced. At which time, the sign much be designed as a ground or monument sign. The signs shall include architectural elements of the top, bottom and sides to match the building colors and material of the shopping center building. The design of the signs may be modified from the appearance as shown in the attached drawing, but must follow the requirements set forth in this plan. The design of the monument signs shall be coordinated with the fuel center kiosk.
2. The overall structure of the sign may be up to a maximum 33 feet in height and a maximum 16 feet in width, with decorative elements of the sign extending a further 2 feet in width to a total width of 18 feet. The maximum surface area of the sign panels shall be no more than 300 square feet per side, as measured

by Section B-7 of this MSP, and excluding any panel(s) identifying the name of the shopping center (e.g. HV or Hoffman Village). The maximum surface area of any electronic message center signs shall be less than 10 feet high and a maximum of 6'8" wide with a masonry base 3'6" high and 7' wide.

3. Where possible the signs shall meet the setbacks required in the Zoning Code. Where space is not available without reconstructing the parking lot, the signs may be set back a minimum 5 feet from any property line instead of the minimum 10 feet and a minimum 2 feet from any paved surface or sidewalk instead of the minimum 5 feet. The signs shall be set back and separated from power lines and communication lines as required in Section 9-3-8-1 of the Zoning Code.
4. The signs may include an LED message center not to exceed 50 square feet in surface area per side and shall only display businesses, products, services, events or other items available on this property. Off-site advertising shall be prohibited. Sign messages shall not change more frequently than once every 10 seconds. The change shall be a full screen replacement without fading, motion or other action techniques. No movement, flashing, animation or scrolling messages shall be permitted. The brightness level of the electronic message board portion of the sign shall not exceed 3,250 NITs. From dusk to dawn the brightness level shall not exceed 812.5 NITs.

D. Wall Signs

1. Primary Anchor (currently Mariano's) -The following rules shall apply to the primary anchor tenants equal to or greater than 40,000 square feet.
 - a) Type. Wall signs for the primary anchor stores shall be individually mounted, internally lighted channel letters or logos mounted directly to the building wall surface or to a raceway painted to match the building.
 - b) Number and Size. The tenant shall be allowed up to 5 wall signs of the following maximum sizes: one sign of a maximum 400 square feet and four signs each of a maximum 100 square feet.
 - c) Location. Anchor wall signs shall be located within the allowable sign location boxes depicted in the attached building elevation drawings. Each primary wall sign shall be centered horizontally within the front facade of the portion of the building leased by the tenant; or over an architectural feature of such front facade. Signs shall be centered vertically in relation to the allowable sign boxes and in relation to other adjacent wall signs.

2. Junior Anchor Tenant(s) - For anchor tenant spaces equal to or greater than 15,000 square feet, the following shall apply:
 - a) Type. Wall signs for anchor stores shall be individually mounted, internally lighted channel letters or logos mounted directly to the building wall surface or to a raceway painted to match the building.
 - b) Number and Size. One primary wall sign shall be permitted per tenant, not to exceed 300 square feet in area.
 - c) Location. Junior anchor wall signs shall be located within the allowable sign location boxes depicted in the attached building elevation drawings. Each primary wall sign shall be centered horizontally within the front facade of the portion of the building leased by the tenant; or over an architectural feature of such front facade. Signs shall be centered vertically in relation to the allowable sign boxes and in relation to other adjacent wall signs.
3. Tenant(s)- For tenant spaces less than 15,000 square feet, the following shall apply:
 - a) Type. Tenant wall signs shall be individually mounted, internally lighted channel letters or logos mounted directly to the building wall surface or to a raceway painted to match the building.
 - b) Number and Size. One wall sign shall be permitted per tenant. An additional, second, wall sign may be permitted for comer tenant spaces on a separate wall. Each wall sign shall not exceed 3 square feet per 1 foot of lineal tenant storefront, or a maximum of 200 square feet per sign.
 - c) Location. Individual tenant wall signs shall be located in the allowable sign box areas as depicted in the attached drawings. Comer tenants may be permitted a sign on each elevation, including on the side elevation where the building architecture on the side elevation is improved to match that of the front elevation. Each wall sign shall be centered horizontally within the front facade of the portion of the building leased by the tenant; or over an architectural entry feature of such front facade. Wall signs on the same portion of the building facade shall be located on the facade so that they are visually proportional in relation to other wall signs and in relation to the architectural features of the building.
 - d) In accordance with Ordinance 3605-2004, which was repealed with passage of this plan, the tenant Dunkin Donuts/31 Baskin Robbins shall be permitted two wall signs on the front elevation ("Dunkin Donuts" and "31 Baskin Robbins") and shall be permitted two wall signs ("Dunkin Donuts" and "31 Baskin Robbins") on the side elevation of the business. The total surface area of the two signs combined on each elevation shall meet the size requirement of 3 square feet per 1 foot of lineal tenant storefront.

4. All tenants with a customer entrance on the rear elevation may be permitted a wall sign on the rear elevation if the elevation is improved with architecture generally matching that of the front elevation, and if the business has installed (with prior Village approval) a customer entrance door on the rear elevation. The wall sign may be installed above the customer entrance door. The sign on the rear elevation may be illuminated only during business hours in which the business is open, and not between 11 pm and 6 am, whichever is more restrictive. Each permitted wall sign shall not exceed 3 square feet per 1 linear foot of tenant frontage up to a maximum of 200 square feet.
5. Shopping center identification wall signs. Wall signs identifying the name or initials of the shopping center (e.g. Hoffman Village or HV) shall be allowed as follows.
 - a) The shopping center may be allowed to integrate signage onto the "tower" facade and corner elements of the building facade.
 - b) Number and Size. One (1) such sign may be installed per elevation facing the parking lot or drive aisles of the shopping center, per tower element. Each sign may be up to 75 square feet in surface area.
 - c) Location. The signs may be placed on the upper portions of the towers as generally shown on the attached drawings, and shall be integrated into the design of the building facade.
6. Shopping Center Electronic Messaging Displays. Electronic Messaging Displays may be installed in the center to support the center and its tenants by providing public and community information, a center directory, tenant/center promotions, and other related messaging.
 - a) Type. The electronic messaging displays will be installed flush with the building façade and blend in with the current architecture of the Center. The displays shall not interfere or clash with current tenant and center signage and will only be illuminated during the business hours of operation at the center.
 - b) Number and Size. Not more than two (2) electronic message displays will be installed at the center. Each display shall not to exceed twenty square feet of surface area per display.
 - c) Location. The displays shall be installed on the lower walls of the center under the breezeway canopy.
 - d) Display.
 - i. The signs may only display messages related to businesses, products, services, events or other items available on the subject property. Off-site advertising shall be prohibited.
 - ii. Sign messages shall not change more frequently than once every 10 seconds. The change shall be a full screen replacement without fading,

motion or other action techniques. No movement, flashing, animation or scrolling messages shall be permitted.

- iii. The brightness level of the electronic message board portion of the sign shall not exceed 3,250 NITs. From dusk to dawn the brightness level shall not exceed 812.5 NITs.

E. Miscellaneous Signs

1. Directional or Instructional Signs. Such signs shall meet the requirements of Section 9-3-8-B-8. All signs shall be of a consistent design and shall be separate from traffic control signs.
2. Window Signs. Window signs may be placed in the window of businesses per the standards set forth in the Zoning Code. The property owner may install window signs in vacant storefronts to cover the entire windows, which may include generic images or artwork, promotional, or leasing information that improves the building aesthetics for the period that the space is vacant, or promotes this property or its tenants, but may not include advertisements or information unrelated to this property or advertising off-site properties or products. The primary anchor may install window signs covering the entire windows, which may include images of food or other generic decorative graphics related to the business, but may not include advertisements or information unrelated to the tenant or advertising off-site properties or products.

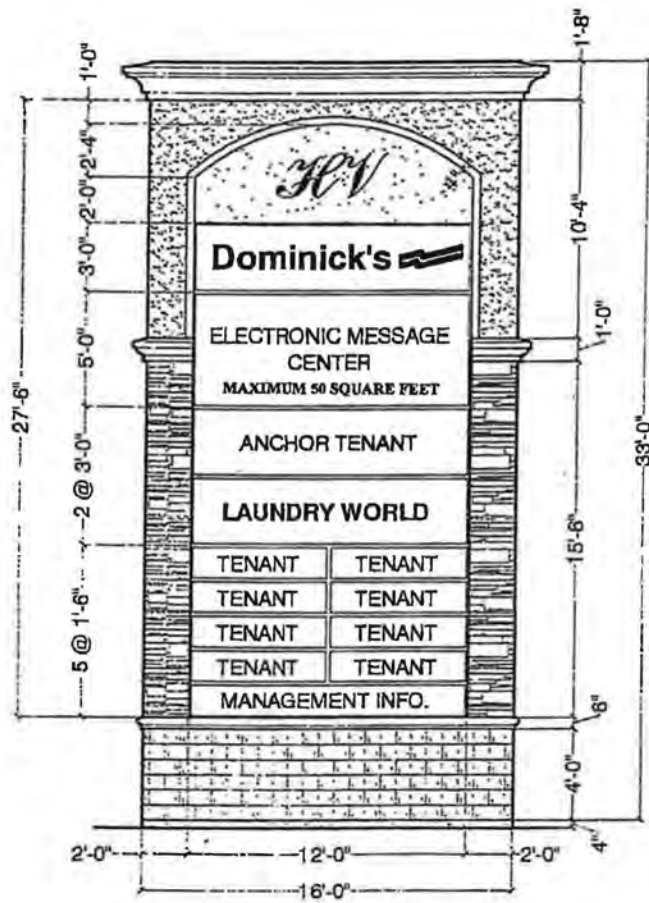
F. Temporary Signs

1. Leasing Sign. Leasing information may be incorporated into the ground sign and shall not be permitted as freestanding signs or on the building exterior, which shall supersede the allowance for such temporary signs as stated in Zoning Code Section 9-3-8-K-3.
2. Special Event Signs. Such signs shall meet the requirements of Section 9-3-8-K of the Zoning Code, except that one freestanding temporary sign advertising a permitted special event on the Hoffman Village property may be erected on the property. Such sign shall not exceed 50 square feet in size and 10 feet in height and may be installed no earlier than one week before the event and removed one day after the conclusion of the event. This allowance for a freestanding special event sign is intended for property-wide events that receive a special use or special event license and shall not be permitted for individual businesses to advertise specials or sales.

G. Amendments

1. Changes. Changes to the text, colors, or graphic style of the signs shall not require a formal amendment to this plan, provided the size and all other requirements of this plan are met.

2. Interpretations. Signs that are not explicitly addressed in the provisions of this plan, but that meet the intent of the plan may be permitted through administrative approval.
3. New Signs. The addition of new signs or relocation of existing signs shall not require a formal amendment to this plan, provided the signs meet all requirements of this plan. Any amendment to add additional signs or make substantial changes to the approved signs in this plan shall be subject to review and approval by the Village Board through the process outlined in the Zoning Code for variations.



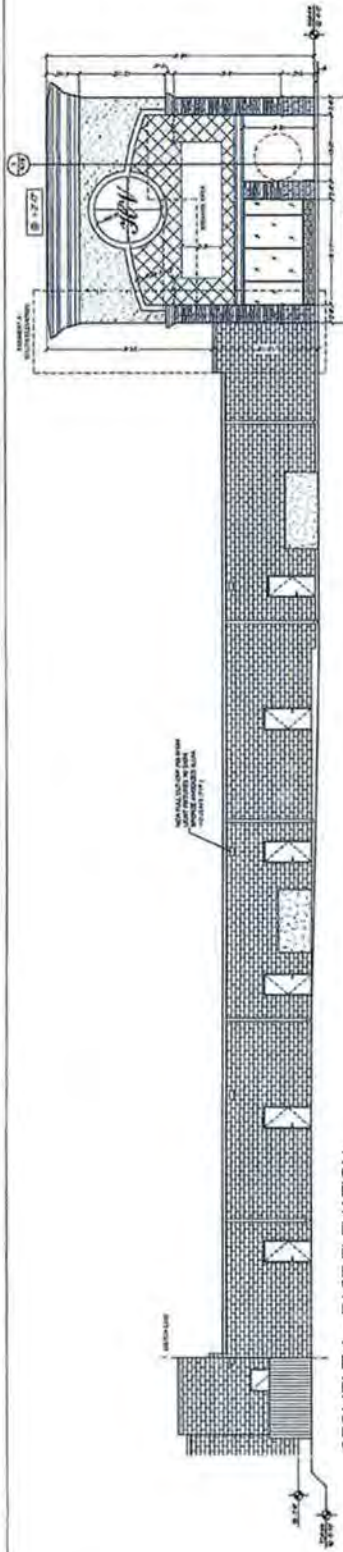
NEW PYLON SIGN

SCALE: 1/4" = 1'-0"

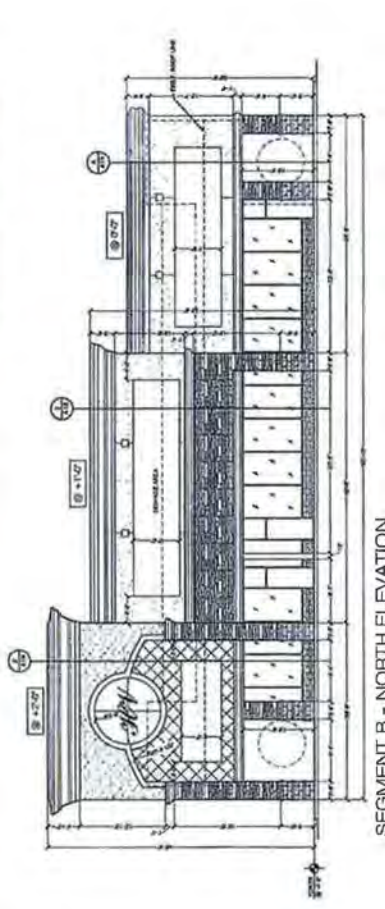
HOFFMAN VILLAGE SHOPPING PLAZA
S.E. CORNER OF GOLF RD. & BARRINGTON RD., HOFFMAN ESTATES, ILLINOIS

MAEMAR P.C.
A FULL SERVICE ARCHITECTURAL FIRM
1000 N. GOLF RD., SUITE 100
HOFFMAN ESTATES, IL 60139
TEL: (815) 329-8812
FAX: (815) 329-8812

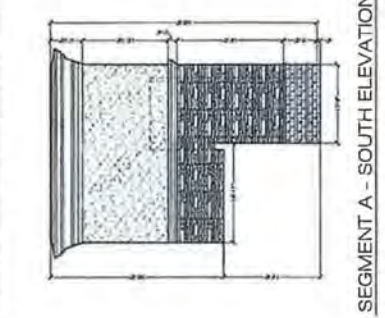
DATE: 08/11/09
DRAWN BY: J. HARRIS
CHECKED BY: J. HARRIS
PROJECT # 09-001



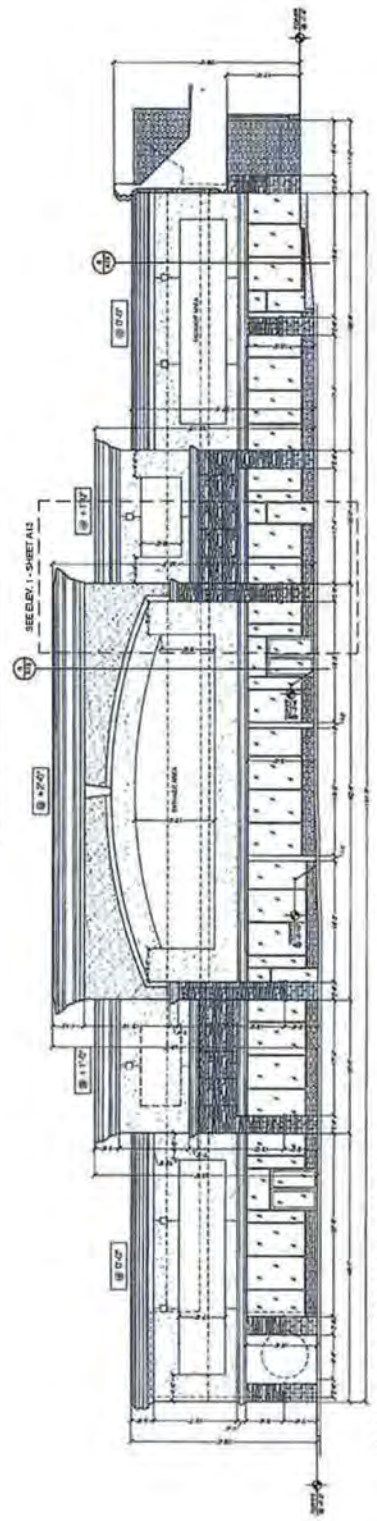
SEGMENT A - EAST ELEVATION



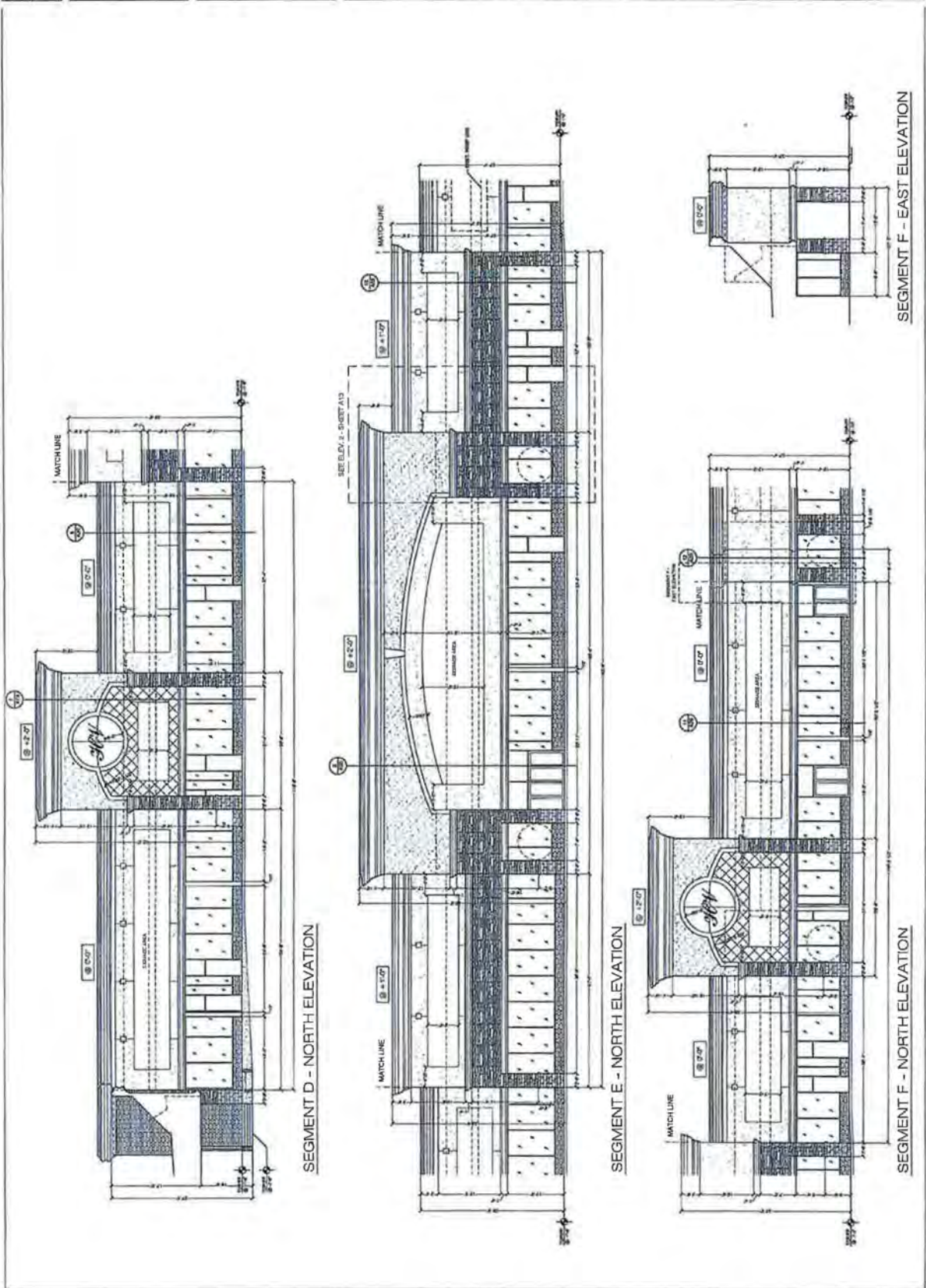
SEGMENT B - NORTH ELEVATION

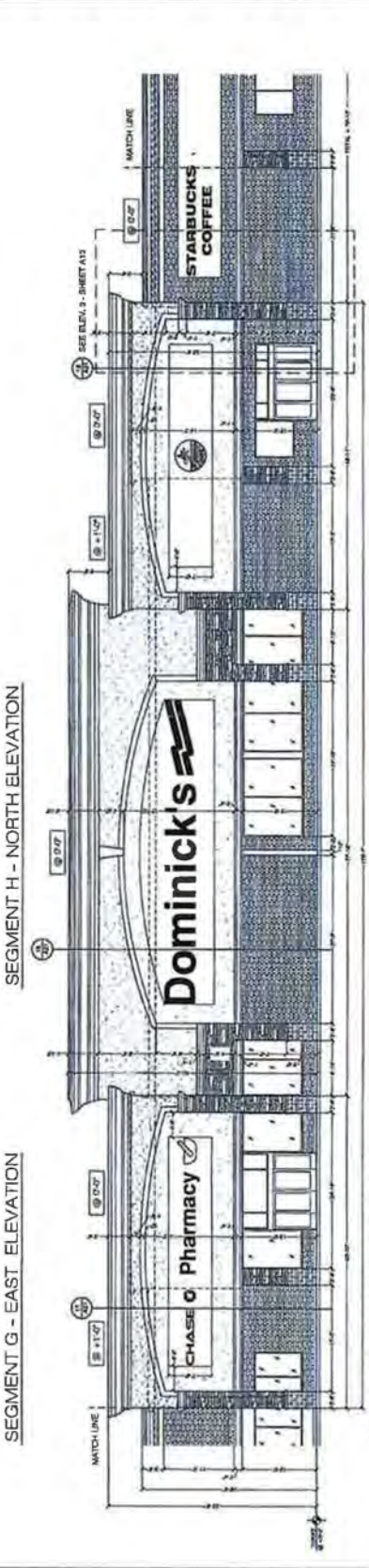
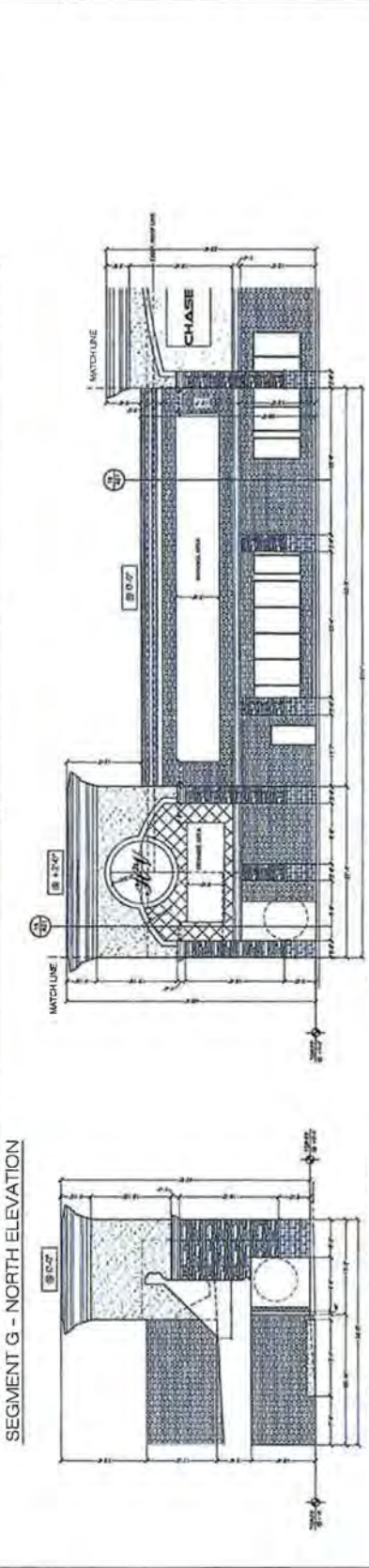
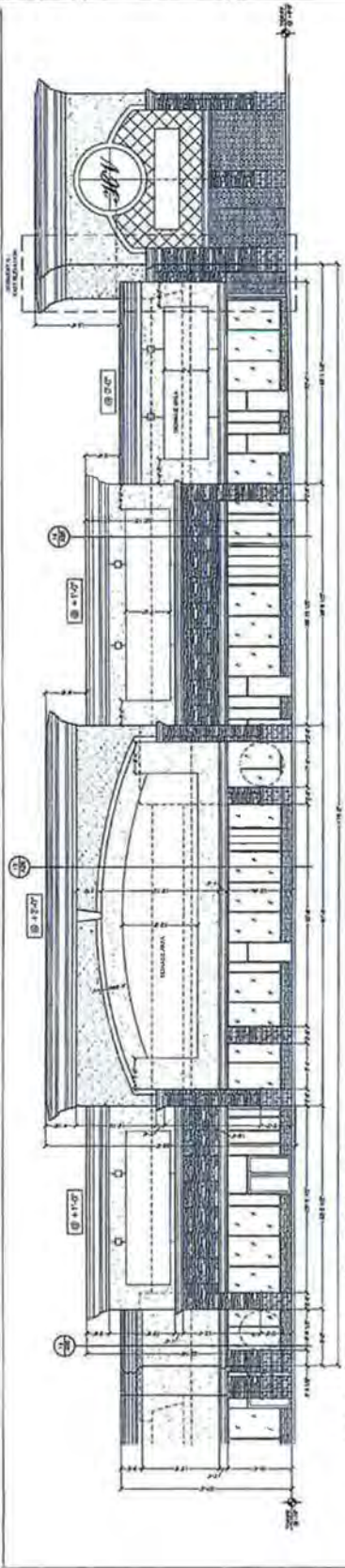


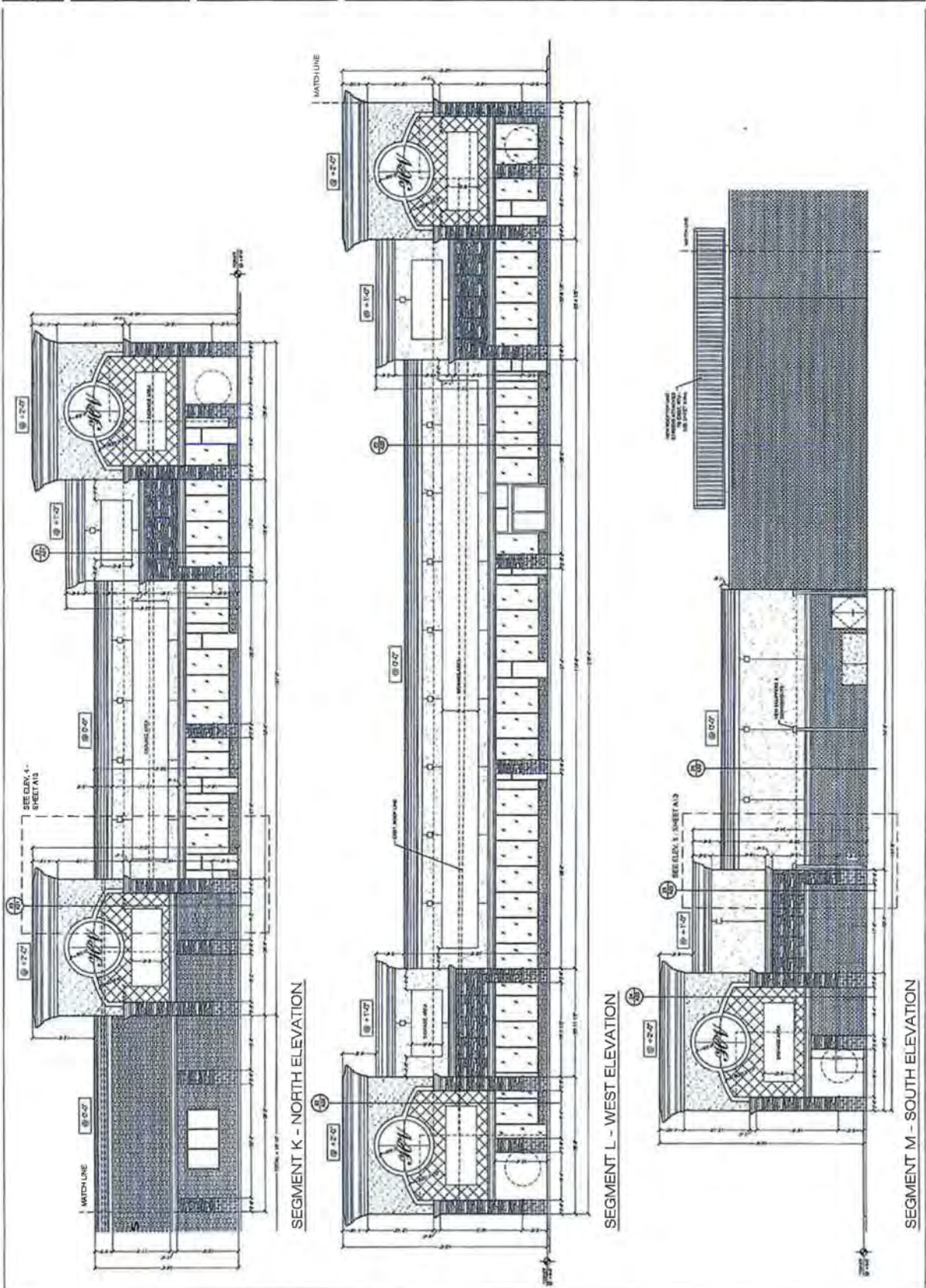
SEGMENT A - SOUTH ELEVATION

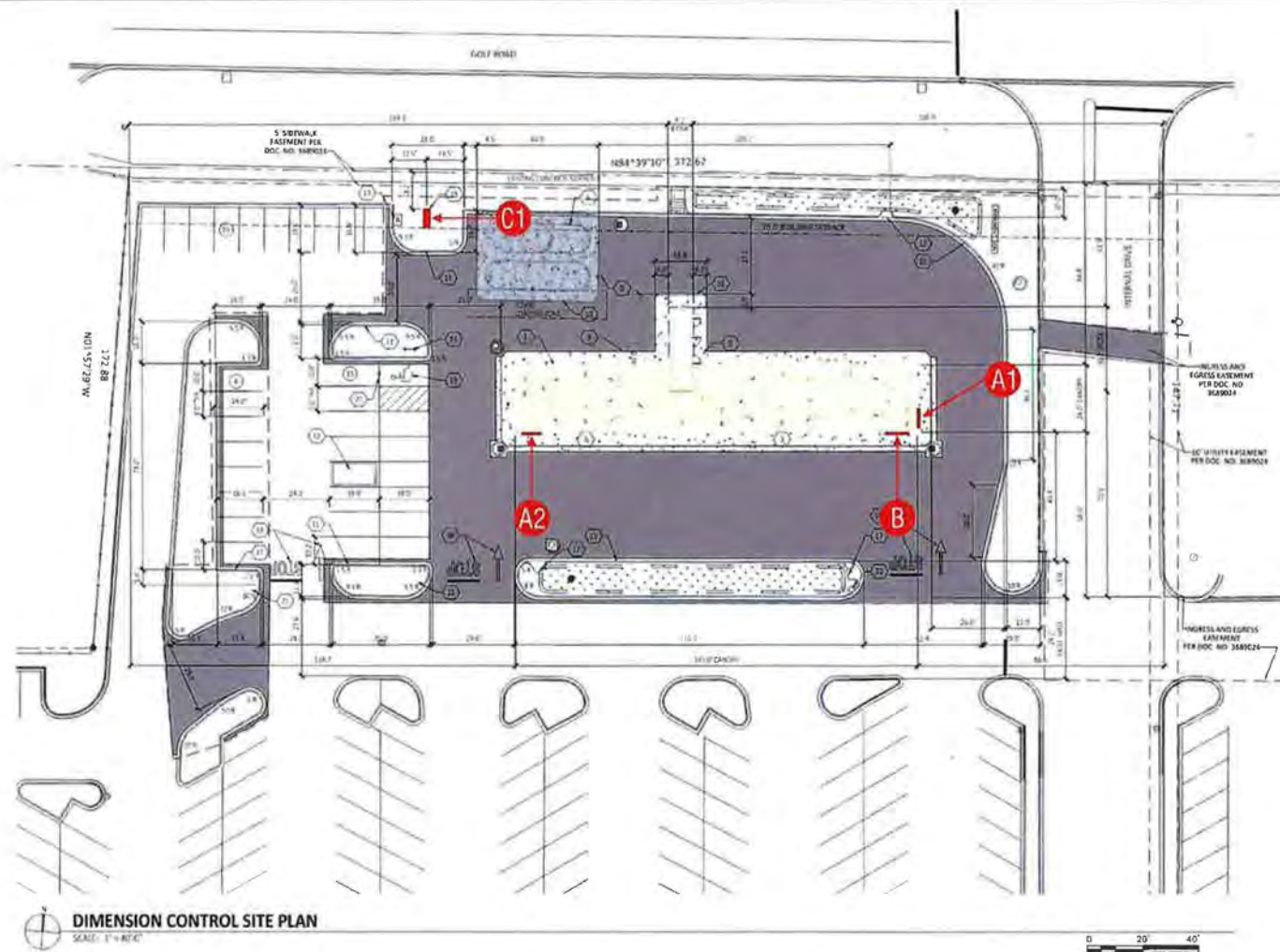


SEGMENT C - WEST ELEVATION









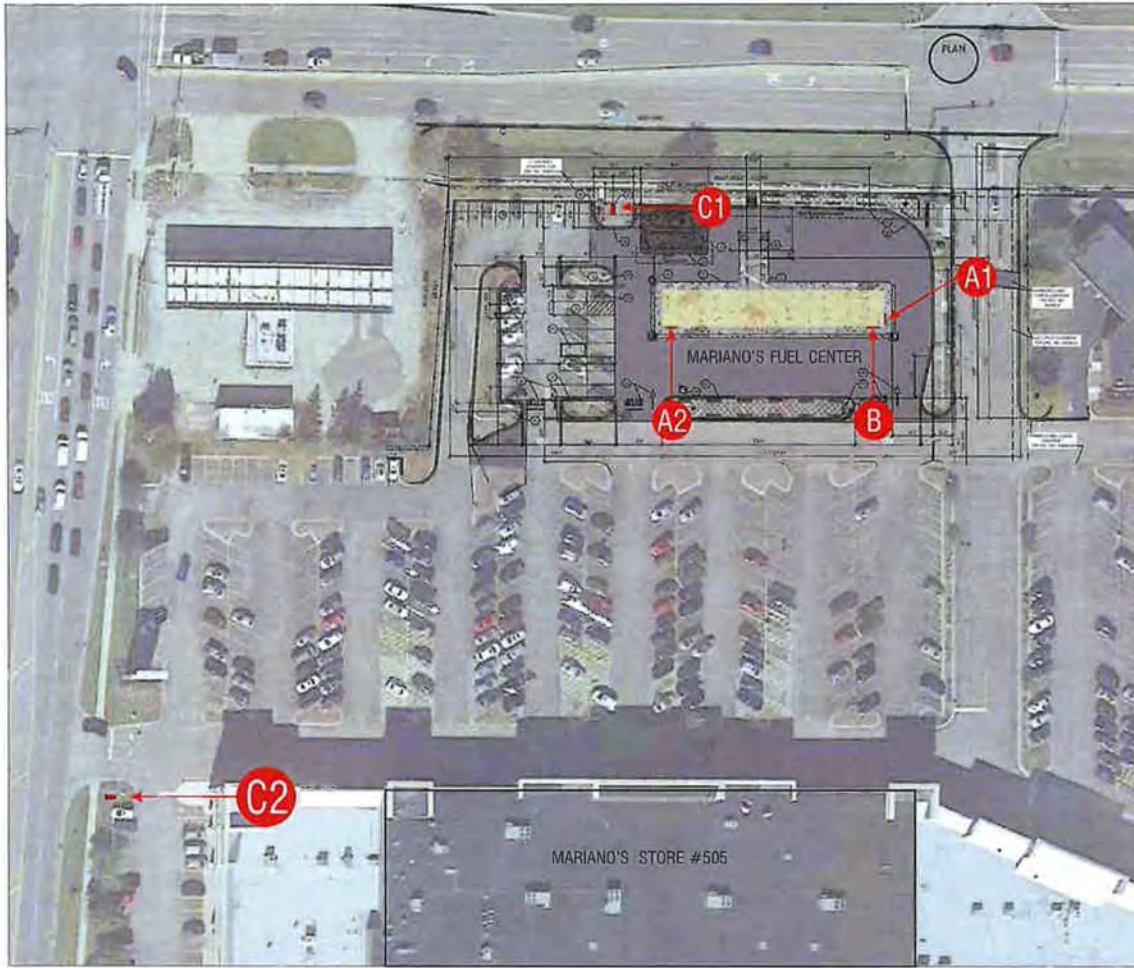
DATE	REVISION
4.17.20	A1 LOCATION - CORRECTED NORTH SOUTH EAST WEST - NOTED ALPHA NUMERIC DESIGNATIONS AND TOTALS - UPDATED MEASUREMENT POLE AND FOUNDATION - UPDATED -- 01/20
4.21.20	C2 SIGNER ADDED TO ENTRANCE - BARRINGTON RD -- 01/20

CUSTOMER APPROVAL _____ DATE _____

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CLIENT	MARIANO'S #505						
ADDRESS	2575 W. GOLF RD.						
CITY	HOFFMAN ESTATES	STATE	IL	DESIGNER	KM	SALESPERSON	TD
DRWG. NO.	17922	SCALE:	NOTED	DATE:	03.13.2020	SHEET NO.	1

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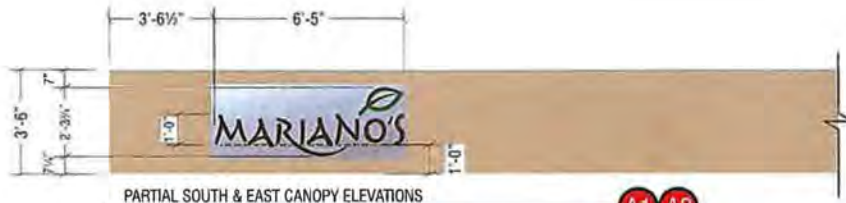


DATE	REVISION

CUSTOMER APPROVAL _____ DATE _____

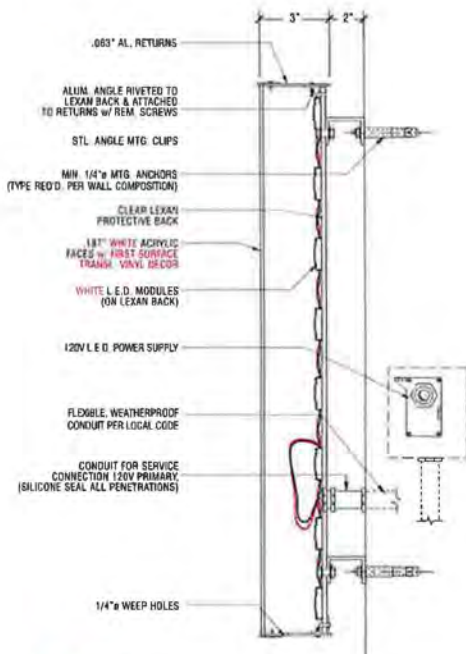
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ADDRESS	2575 W. GOLF RD.						
CITY	HOFFMAN ESTATES	STATE	IL	DESIGNER	KM	SALESPERSON	TD
DRWG. NO.	17922	SCALE:	NOTED	DATE:	03.13.2020	SHEET NO.	2



PARTIAL SOUTH & EAST CANOPY ELEVATIONS
 SCALE: 1/4"=1'

A1 A2



B FACE-LIT / BACK-LIT CHANNEL LETTER
 NTS



B ONE (1) SINGLE FACE, DOUBLE PRODUCT L.E.D. GAS PRICE DISPLAYS
 SCALE: 3/8"=1'



A1 A2 TWO(2) SETS OF FACE-LIT & HALO-LIT LETTERS & LOGO
 SCALE: 3/8"=1'

DOYLE
 GENERAL SIGN CONTRACTORS
 280 INTERSTATE RD. P.O. BOX 1068 ADDISON, IL 60101
 630-543-8490 FAX 630-543-9493

DATE	REVISION

CUSTOMER APPROVAL _____ DATE _____

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ADDRESS	2575 W. GOLF RD.						
CITY	HOFFMAN ESTATES	STATE	IL	DESIGNER	KM	SALESPERSON	TD
DRWG. NO.	17922	SCALE:	NOTED	DATE:	03.13.2020	SHEET NO.	3

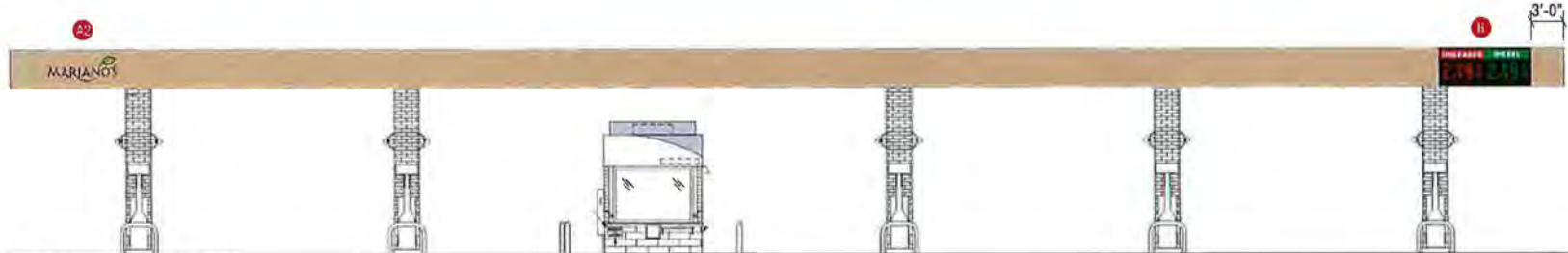
©DesignMARIANO/HOFFMAN ESTATES IL/MARIANO'S - HOFFMAN ESTATES IL - FUEL CENTER



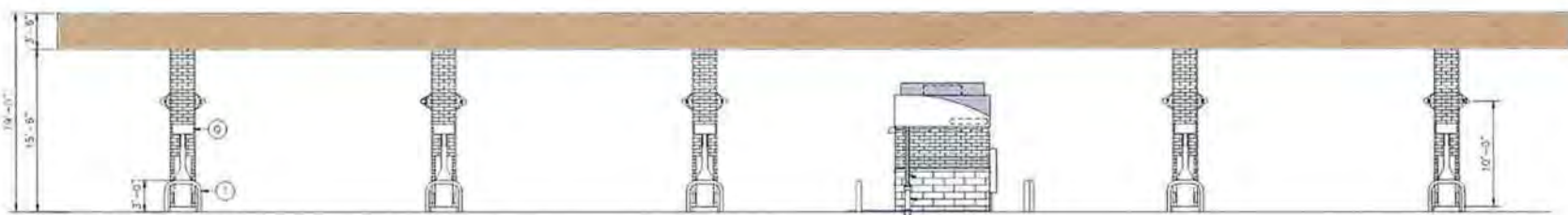
3 WEST ELEVATION
SCALE: 3/32"=1'-0"



4 EAST ELEVATION
SCALE: 3/32"=1'-0"



5 SOUTH ELEVATION
SCALE: 3/32"=1'-0"



6 NORTH ELEVATION
SCALE: 3/32"=1'-0"



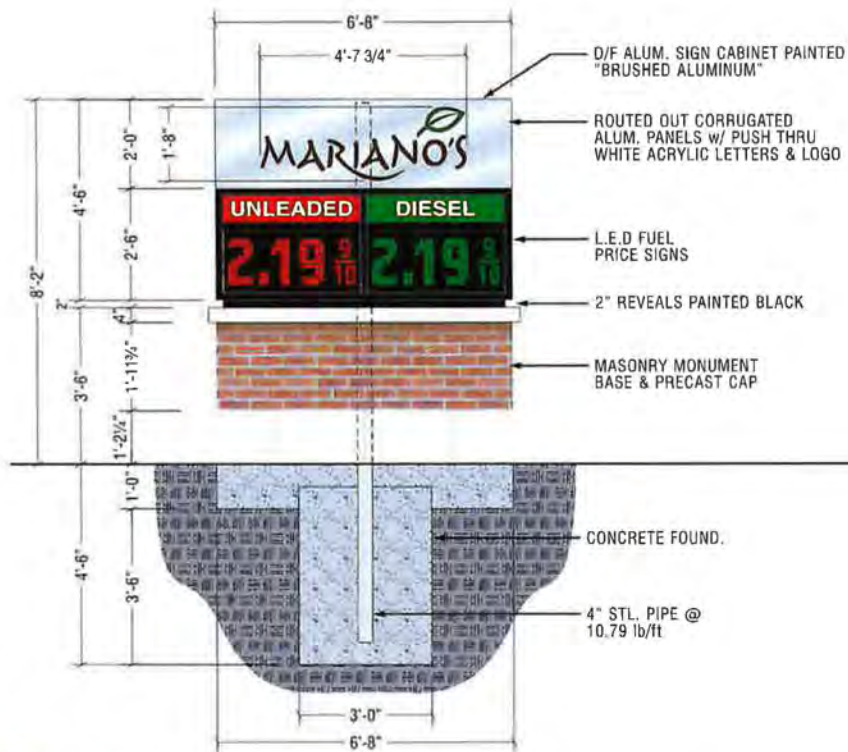
DATE	REVISION

CUSTOMER APPROVAL _____ DATE _____

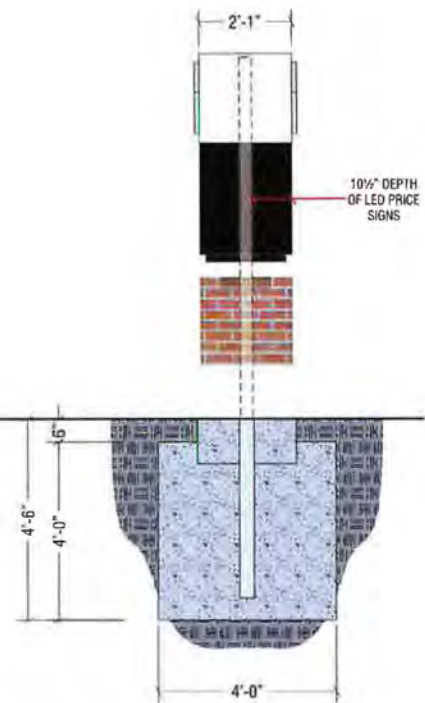
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CLIENT	MARIANO'S #505						
ADDRESS	2575 W. GOLF RD.						
CITY	HOFFMAN ESTATES	STATE	IL	DESIGNER	KM	SALESPERSON	TD
DRWG. NO.	17922	SCALE:	NOTED	DATE:	03.13.2020	SHEET NO.	4

© Doyle/MARIANO'S/HOFFMAN ESTATES IL/MARIANO'S - HOFFMAN ESTATES IL - FUEL CENTER



C1 C2 ONE(1) D/F MONUMENT DISPLAYS • FRONT VIEW
SCALE: 3/8"=1'



C1 C2 ONE(1) D/F MONUMENT DISPLAYS • SIDE VIEW
SCALE: 3/8"=1'



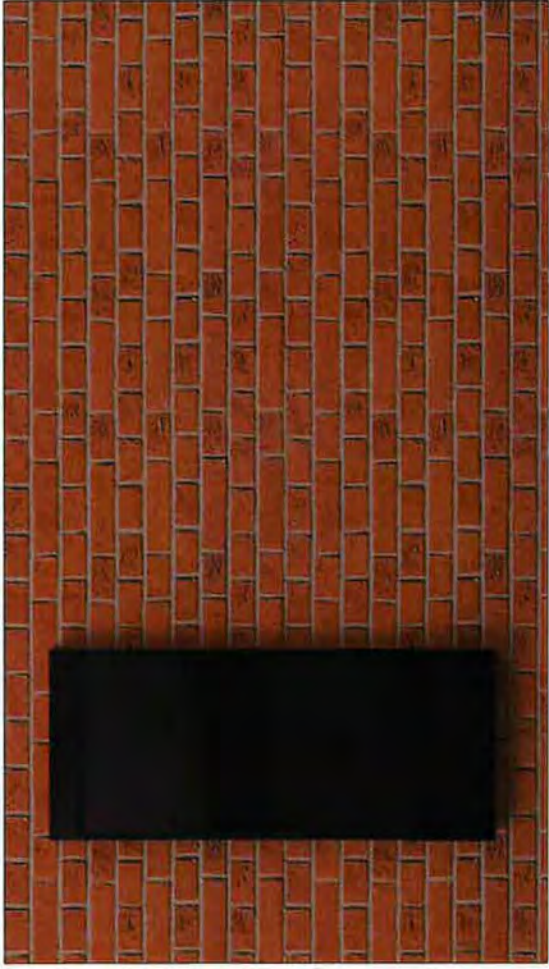
DATE	REVISION

CUSTOMER APPROVAL _____ DATE _____

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ADDRESS	2575 W. GOLF RD.						
CITY	HOFFMAN ESTATES	STATE	L	DESIGNER	KM	SALESPERSON	TD
DRWG. NO.	17922	SCALE:	NOTED	DATE:	03.13.2020	SHEET NO.	5

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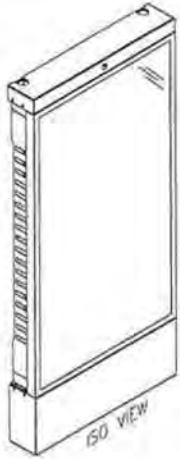


diesel
display & center line

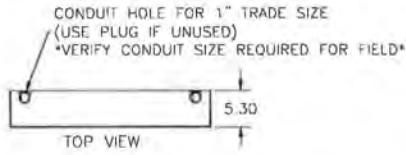
NOTES

REV	DATE	DESCRIPTION
1	2-21-23	PRELIMINARY CHANGES PER CLIENTS FEE CHECK
2	2-21-23	INITIAL SUBMITTAL
3		
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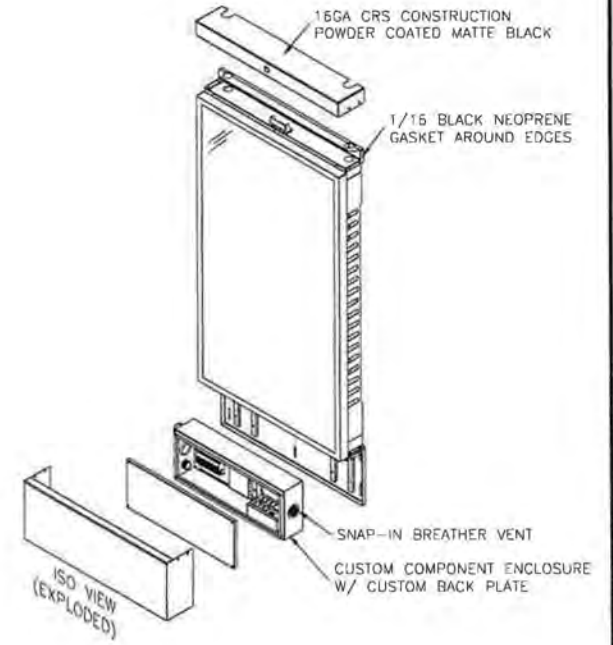
CREATIVE REALTIES
WALL MOUNT UNIT (SAMSUNG UHA_55)
APPROVAL (1 OF 2)
NOTE: IMAGES ARE FOR REFERENCE ONLY



ISO VIEW



TOP VIEW



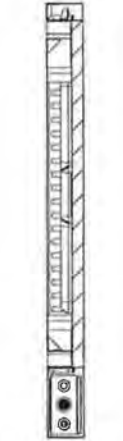
16GA CRS CONSTRUCTION
POWDER COATED MATTE BLACK

1/16 BLACK NEOPRENE
GASKET AROUND EDGES

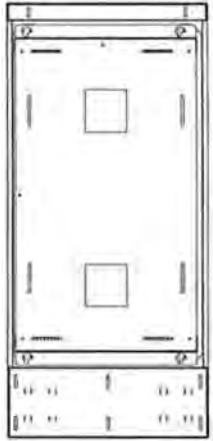
SNAP-IN BREATHER VENT

CUSTOM COMPONENT ENCLOSURE
W/ CUSTOM BACK PLATE

ISO VIEW
(EXPLODED)



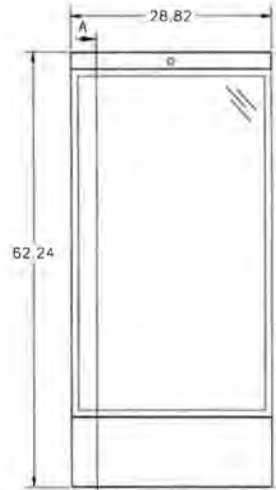
SECTION A-A



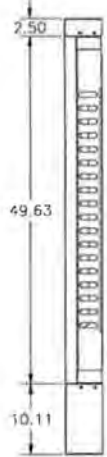
BACK VIEW



LEFT VIEW



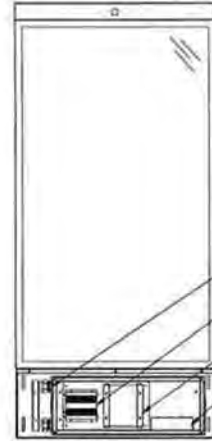
FRONT VIEW



RIGHT VIEW



BOTTOM VIEW



FRONT VIEW
(LIDS REMOVED)

- CABLE GLANDS FOR 1" TRADE SIZE *VERIFY SIZE*
- ROUTER CRADLEPOINT TB5-600G150M-NNN
- EXPANDED I/O PLAYER BRIGHTSIGN HD1024
- 4-OUTLET SURGE PROTECTOR TRIPP-LITE ISO4TEULTRA

NOTES

REVISIONS

OR: EDS-UHA_55

CREATIVE REALITIES
WALL MOUNT UNIT (SAMSUNG UHA_55)
APPROVAL (2 OF 2)

REV	DATE	DESCRIPTION	DRWN	CHKD	APPRD
B	3-21-23	PRELIMINARY CHANGES PER CUSTOMER FEEDBACK			
A	2-10-23	INITIAL SUBMITTAL	JAKE		

REV	SCALE	DWG NO	PROJ NO	DATE
B				

displays & interiors



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HOFFMAN VILLAGE

2575 Golf Road | Hoffman Estates, IL 60169

SPACE	TENANT	SQ. FT.
1175	Vibrant Fuslon	1,060 SF
SHAD1	National Tire & Battery	
1165	Jay Bhavani Vadapav	2,050 SF
1169	Gia's	1,575 SF
1171A	Stella's	1,500 SF
1171B	Salon Eros	1,500 SF
1173	Global Optical	1,500 SF
1199	Hallmark	4,350 SF
2503	Marshall Nails and Spa	1,250 SF
2505	Best Dental Spa	2,211 SF
2509	The Best in The West BBQ	2,239 SF
2511	Russian School of Mathematics	2,069 SF
2515	Laundry World	6,425 SF
2527	Big Blue Swim School	8,453 SF
2535	Goodwill	20,630 SF
2547	Thrive Affordable Vet Care	3,250 SF
2551	Los Fernandez Taqueria	10,150 SF
2561	BVM Healthcare	3,990 SF
2565	Betty's Bistro	1,700 SF
2567	100% Chiropractic	2,000 SF
2569	LEASED/AVAILABLE	2,000 SF
2571	Anytime Fitness	4,880 SF
2575	Mariano's	72,317 SF
2577	GNC	1,366 SF
2579	Fannie May Candies	1,243 SF
TOTAL SQ. FT.		159,708

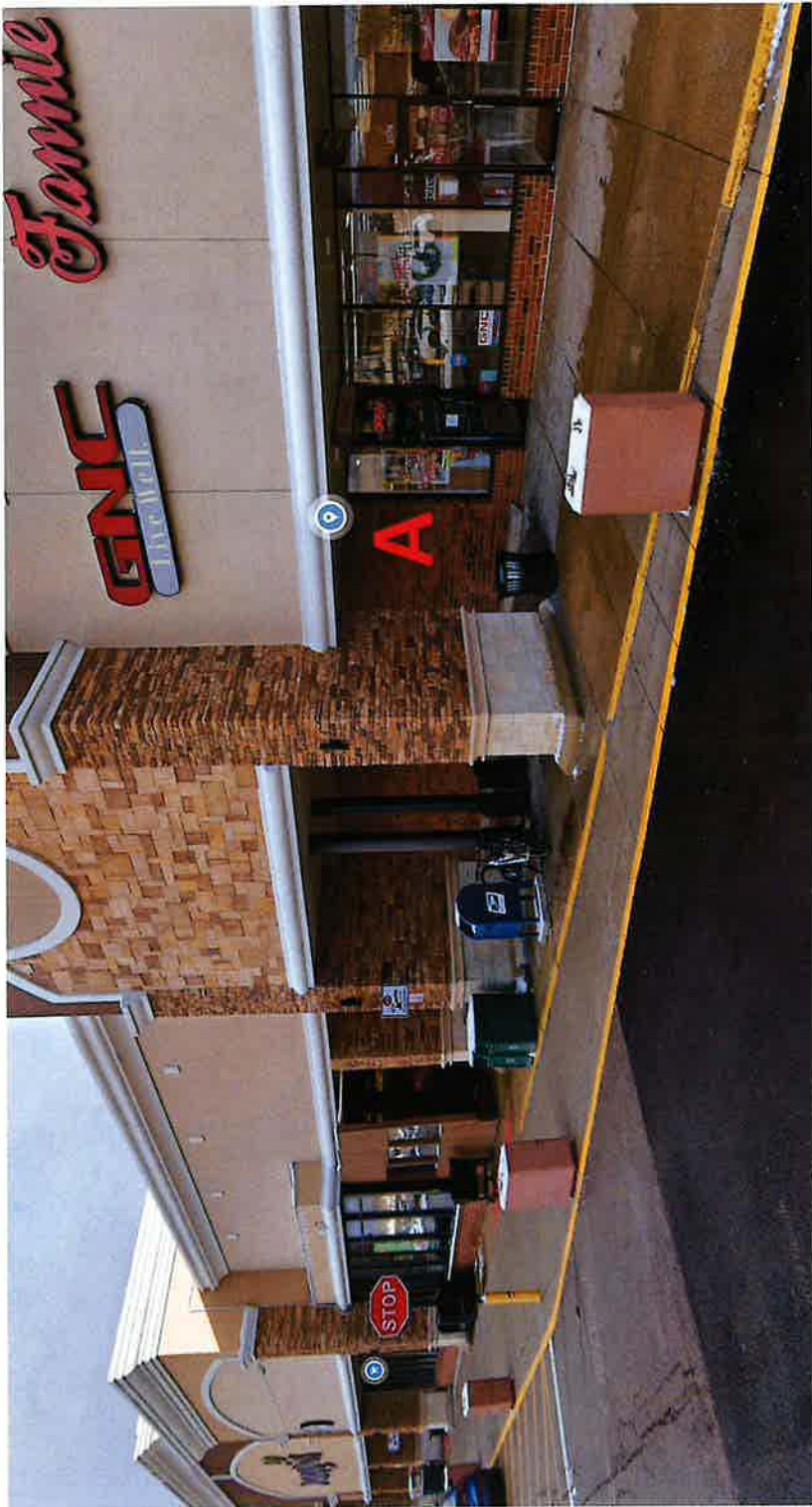
SITE LEGEND

- Available
- Occupied
- Leased (not occupied)
- Owned by Others
- Site Boundary



DISCLAIMER - This site plan is for general information purposes only and is not intended to constitute representations and warranties by Landlord as to the ownership of the real property depicted herein or the identity or nature of any occupants thereof.

PHILLIPS EDISON & COMPANY







VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT NUMBER: PLN23-0027
PROJECT NAME: Hoffman Village Shopping Center - Master Sign Plan Amendment
ADDRESS/LOCATION: 2575 W. Golf Rd.
REQUEST: Master Sign Plan Amendment
OWNER: HOFFMAN VILLAGE STATION LLC
APPLICANT: Starlite Media
PROPERTY SIZE: 17.6 Acres
ZONING / LAND USE: B-2 Community Business District
ADJACENT PROPERTIES: NORTH: B-2 Community Business, related parking and fuel station
SOUTH: B-2 Community Business, currently vacant
EAST: B-2 Community Business, Mavis Tires
WEST: FP Forest Preserve District
PZC MEETING DATE: 9/6/2023
PUBLIC HEARING: Yes
STAFF ASSIGNED: Kevin Anderson, Associate Planner

REQUESTED MOTION

Request for a Master Sign Plan Amendment for the Hoffman Village Shopping Center located at 2575 W Golf Road.

BACKGROUND

- The subject property, approximately 17.6 acres, was originally developed as a commercial shopping center in the late 1980s and includes approximately 157,000 square feet of retail and service space. The property is zoned B-2 Community Business.
- In March of 2011, a Master Sign Plan (MSP) was approved for Hoffman Village Shopping Center by Ordinance 4229-2011. The MSP was subsequently amended to accommodate signs for the new fuel station in 2020. This amended MSP regulates all signage in the center.

PROPOSAL

- The Petitioner is proposing to install two new electronic message centers under the shopping center breezeway. Each sign would be up to 20 square feet and would be mounted flush with the building façade. The signs would be placed at a height which is easily readable for pedestrians. The current MSP does not contemplate any signs under the building canopy.

- The Petitioner indicates the intent of the signs is to provide promotional information and directory assistance to shoppers already at the center. These signs are not designed to be visible from the public roadways and are not intended to draw motorists into the center.
- The signs may advertise special events or products for multiple tenants within the center and the signs would be able to electronically change copy. The current MSP only contemplates electronic message centers as a component of the ground and monument signs.
- Within the Master Sign Plan Subsection D. "Wall Signs", the Petitioner is proposing to add a new section #6 which would allow the installation and operation of the message centers. The amendment specifically only allows two of these signs. The amendment also includes operational and illumination restrictions consistent with other electronic message centers in the Village.

STANDARDS FOR A MASTER SIGN PLAN

Section 9-3-8-M-13 of the Zoning Code requires that in instances where the Zoning Code cannot be strictly followed, that the owner may propose a Master Sign Plan to accommodate the signs on the property and to set standards and restrictions on the signs. The Village requires a Master Sign Plan in lieu of sign variations except where a Master Sign Plan is not feasible or warranted (for a very minor request where a variation is deemed acceptable to request). The Zoning Code lists the goals that a Master Sign Plan should achieve as follows:

- Result in architecture and graphics of a scale appropriate for the subject development and the surrounding area;
- Provide signage consistent with the site plan and architecture of the project;
- Avoid visual clutter;
- Allow visitors, employees, and consumers to readily identify the business entrances, while addressing the community's need for attractive, unobtrusive architecture and commercial graphics; and
- Result in a unified theme of signage for the project.

Petitioners are encouraged to take a comprehensive approach to each master sign plan proposal because the plan will provide guidelines for signs that are desired both today, and into the future. The Plan functions as a "mini-sign code" for the property. The creation of a Master Sign Plan involves merging and considering several perspectives, including:

- Current Code requirements.
- Prior variation history on the subject property, as well as similar properties.
- Existing signage on the property.
- Specific current signage requests by the property owner.
- Likely possible signage requests in the future (consider the type use of the property and its location).
- Unique characteristics of the subject property.

The petitioner has provided a response to the Standards for a Master Sign Plan in their application.

RECOMMENDED CONDITIONS

If the Planning and Zoning Commission recommends approval of the request, staff recommends the following conditions be included:

1. The signs shall substantially conform to the plans attached as part of this application.

2. A sign permit is required for any sign installation. Any advertising on electronic message center signs shall only be for existing businesses within the Hoffman Village Shopping Center.

Attachments: Location Map
Petitioner's Application and Submittal
Draft Master Sign Plan

Hoffman Village Shopping Center (2575 W Golf Rd)
PIN: 07-18-100-013-0000 & 07-18-100-011-0000



Sources: Esri-Airbus DS, USGS, NOAA, NASA, CGIAR, Robinson, NCEAS, NLS, OS, NMA, Geodatasysteem, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community.

Legend

-  Subject Property
-  Parcels
-  Village Boundary



Planning and Transportation Division
Department of Development Services



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING GENERAL APPLICATION

PROJECT NAME: Hoffman Village Master Sign Plan Amendment
ADDRESS: 2521 and 2527 West Golf Rd, Hoffman Estates, Illinois
PROPERTY INDEX NO.: 07-18-100-013-0000; 07-18-100-011-0000
PROPERTY ACRES: 17.16 **ZONING:** Commercial retail
PROJECT DESCRIPTION: Starlite Media requests authorization to operate two digital messaging kiosks at Hoffman Village.

REQUESTS BEING MADE (check all that apply):

Application Type	Subtype	Addendum
<input type="checkbox"/> ANX - Annexation	N/A	N/A
<input checked="" type="checkbox"/> MSP - Master Sign Plan	<input type="checkbox"/> New <input checked="" type="checkbox"/> Amendment	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> PLAT - Subdivision	<input type="checkbox"/> Non-Residential Preliminary <input type="checkbox"/> Non-Residential Final <input type="checkbox"/> Non-Residential Preliminary/Final	<input type="checkbox"/> Residential Preliminary <input type="checkbox"/> Residential Final <input type="checkbox"/> Residential Preliminary/Final
<input type="checkbox"/> PLAT - Other	Type _____	N/A
<input type="checkbox"/> RPD Amendment	N/A	N/A
<input type="checkbox"/> REZ - Rezoning	From _____ to _____	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> SPR - Site Plan Review	<input type="checkbox"/> Preliminary Concept <input type="checkbox"/> Preliminary	<input type="checkbox"/> Final <input type="checkbox"/> Preliminary/Final
<input checked="" type="checkbox"/> SPA - Site Plan Amendment	<input checked="" type="checkbox"/> Staff Review <input type="checkbox"/> Administrative Review	<input checked="" type="checkbox"/> Minor Amendment <input type="checkbox"/> Major Amendment
<input type="checkbox"/> SU - Special Use	<input type="checkbox"/> Listed Use (please list) _____	<input type="checkbox"/> Use Not Cited (please list) _____
<input type="checkbox"/> TA - Text Amendment	<input type="checkbox"/> Subdivision Code <input type="checkbox"/> Zoning Code	<input type="checkbox"/> Other (please list) _____
<input type="checkbox"/> VAR - Variation	<input type="checkbox"/> Non-Residential <input type="checkbox"/> Residential <input type="checkbox"/> Sign	<input type="checkbox"/> Yes <input type="checkbox"/> No

I. Owner of Record

Hoffman Village Station LLC		Phillips Edison & Company	
Name		Company	
11501 Northlake Drive		Cincinnati	
Street Address		City	
Ohio	45249	(513) 824 7085	Cbloss@PhillipsEdison.com
State	Zip Code	Telephone Number	Email

II. Applicant (if not the owner)

Michael Rzymek		Starlite Media LLC	
Name		Firm/Company	
2714 Hibbert Ave		Columbus	
Street Address		City	
Ohio	43202	(614) 562-6118	MRzymek@starlitemedia.com
State	Zip Code	Telephone Number	Email

Applicant's relationship to property: Lessee

III. Authorized Agent on Behalf of the Owner or Applicant

Name		Firm/Company	
Street Address		City	
State	Zip Code	Telephone Number	Email

IV. Owner Consent for Authorized Representative

It is required that the **property owner or designated representative** be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. **If the owner cannot be present at the meeting, the following statement must be signed by the owner:**

I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize the following person(s)/firm(s) to act on my behalf and advise that he/she has full authority to act as my/our representative.

Michael Rzymek/Starlite Media LLC

Name/Firm

Name/Firm

Name/Firm

Name/Firm

Owner Signature

Print Name

IV. Acknowledgement(s)

- Owner, applicant and authorized representatives may include other team members (consultants, brokers, tenants, etc.) that may be called upon to present at public meetings before the Planning and Zoning Commission and Village Board.
- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

The Owner and Applicant, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature: _____

Owner's Name (Please Print): _____

Applicant's Signature:
(If other than Owner)

Applicant's Name (Please Print): _____

Date: 8-30-2023

IV. Application and Document Submittals

All required application materials should be submitted to the Planning & Transportation Division in electronic format via email to planning@hoffmanestates.org. Staff will notify the applicant if full size plan submittals are also required for a particular project review. Submittal requirements can be found in Subdivision Code, Section 10-6 of the Village's Municipal Code.

All applications fees must be paid before the Planning and Zoning Commission can hear any case.

Please contact the Planning & Transportation Division with any questions:

Email: planning@hoffmanestates.org
Address: 1900 Hassell Road
Hoffman Estates, IL 60169
Phone: (847) 781-2660

Project Narrative

We are providing this narrative in support of our request that the Village of Hoffman Estates (the "Village") grant to Starlite Media LLC on behalf of Philips Edison & Company, the owner of the shopping center, authorization to install, operate and maintain two digital messaging kiosks (the "kiosks") at Hoffman Village Shopping Center (the, "Center"). It is intended that the kiosks will be installed with one kiosk between Mariano's and the GNC and the second at the other end of Mariano's near Anytime Fitness. A site plan is attached for your reference. The kiosks are free standing and will be affixed to open wall space in compliance with all ADA regulations. Each kiosk measures 74.3 inches tall x 45.7 inches wide and has a slim, contemporary design.

The purpose of the kiosks is to support the Center and its tenants and help drive pedestrian traffic throughout the Center. The kiosks will also be used to display critical public messaging (health, safety, weather, and emergency alerts), public and community service announcements, a center directory, and tenant/center promotions, all supported by sponsor messages for products and services sold by tenants at the Center. The kiosks are part of an initiative to enhance the viability of the entire Center and advance communication with shoppers, tenants, and the community at large at the Center on a real time basis.

Messaging displayed on the kiosks will not impact areas outside the Center. The kiosks will be placed completely within the Center and located to show the messaging solely to shoppers within the Center and not to the surrounding areas. The kiosks will only operate during the Center's hours of operation. The operation of the kiosks is controlled remotely and will comply with all the Village requirements relating to brightness. The brightness can be changed to meet all illumination restrictions.

The free and/or commercial speech rights of Phillips Edison would be infringed upon by a denial of the addendum to allow for the operation of the kiosks. The proposed kiosks will provide an important public service by including public service announcements such as informing patrons at the Center that dangerous weather is approaching, reminding the patrons to not leave children or pets in a locked car, and provide important information from local officials including law enforcement.

Phillips Edison received an award from People for The Ethical Treatment of Animals (PETA) for messaging displayed on the kiosks. The campaign warned patrons at that shopping center not to leave children and pets in a locked car, a situation that is unfortunately too common.

The kiosks will be new to the Center. We understand that the Village's Code governs the placement and operation of kiosks and therefore, Philips Edison & Company and Starlite Media are requesting an addendum to the Master Sign Plan to install and operate the kiosks at the Center at the locations identified above and on the site plan.

Standards of Master Sign Plan Responses

1. The Master Sign Plan shall result in architecture and graphics of a scale appropriate for the subject development and the surrounding area. Please provide an explanation.

Each kiosk measures 74.3 inches tall x 45.7 inches wide with UHD screens protected by shatterproof glass. The digital messaging kiosks have a contemporary design and a slim profile which uses 55-inch outdoor rated screens. The kiosks will be unobtrusively installed on the wall within the Center in full compliance with ADA and other regulations and not be part of a ground sign. Each kiosk has a stainless-steel wall mounting frame and an outdoor related power coat finish on the cabinet assembly. The kiosks have a sealed electronic environment for such items as computer components and routers. The kiosk will blend in with the current architecture of the Center and are sized appropriately for internal Center messaging.

2. The Master Sign Plan shall provide signage consistent with the site plan and architecture of the project. Please provide an explanation.

The addition of the kiosks within the Center will not alter or change the architecture of the Center or existing permanent signage at the Center in any way. The kiosks are meant to support and enhance the Center and its tenants by facilitating relevant messaging. The kiosks will be used to display critical public messaging (health, safety, weather, and emergency alerts), public and community service announcements, a center directory, and tenant/center promotions. The kiosks are supported by sponsor messages for products and services sold by tenants at the Center. The brightness and intensity of the messaging can be controlled to comply with the requirements of the Village. The Messaging will be static with the potential for full motion if allowed.

3. The Master Sign Plan will avoid visual clutter. Please provide an explanation.

The proposed digital messaging kiosks will display various messaging and advertisements for products and services sold in the Center which will serve

to reduce the number of static temporary signs necessary for the tenants at the Center to advertise their products. The digital kiosks are part of an initiative to enhance the viability of the Center by advancing communication with shoppers, tenants, and the community at large at the Center. We believe that the addition of the kiosks to the Center will reduce visual clutter.

4. The Master Sign Plan shall allow visitors, employees, and consumers to readily identify the business entrances, while addressing the community's need for attractive, unobstructed architecture and commercial graphics. Please provide an explanation.

The kiosks will enhance communication at the Center and will not interfere with tenant identification signage. The messaging will change based on the needs of the Center. The kiosk will blend in with the existing architecture. The kiosks will provide both static and the potential for full motion messaging at the Center. Each messaging spot is for a period of 8 seconds in a 64 second loop. The messaging spots will not have any flashing, animated lights, or include animated pictorial graphics. The digital messaging kiosks use ultra-HD screens that do not have separate display lights that can malfunction. Further, the kiosks are equipped with state-of-the-art operating software and are monitored 24/7 and controlled remotely such that any issues with the operation of a kiosk are diagnosed and responded to by Starlite Media on a real-time basis. Any issues with the kiosks are automatically transmitted to a central control center where the problem is diagnosed, and the appropriate response is initiated, including the ability to remotely deactivate a kiosk.

5. The Master Sign Plan shall result in a unified theme of signage for this project. Please provide an explanation

The kiosks will only be illuminated during the business hours of the Center and will be fully compliant Village requirements. The brightness of the kiosks is adjustable to comply with all illumination requirements mandated by the Village. The kiosks will be unobtrusively installed on the wall within the Center in full compliance with ADA and other regulations and will not interfere or clash with current tenant and Center signage. The kiosks will help promote tenants at the Center and drive business throughout the Center with the goal of enhancing existing signage. A benefit of the kiosks, not

available with static signs, is that they can display real time messages that can change as needed by the Center, the tenants, and the community.

Kevin Anderson

From: Michael Rzymek <MRzymek@starlitemedia.com>
Sent: Wednesday, June 28, 2023 10:02 AM
To: Kevin Anderson
Cc: Robert Rathke
Subject: Proposed Master Sign amendment

Thanks for your help. As we discussed previously, Starlite and Phillips Edison would like to amend the master sign plan for Hoffman Village. We would like to amend the master sign plan on page 5 by adding a number 6 with the following language:

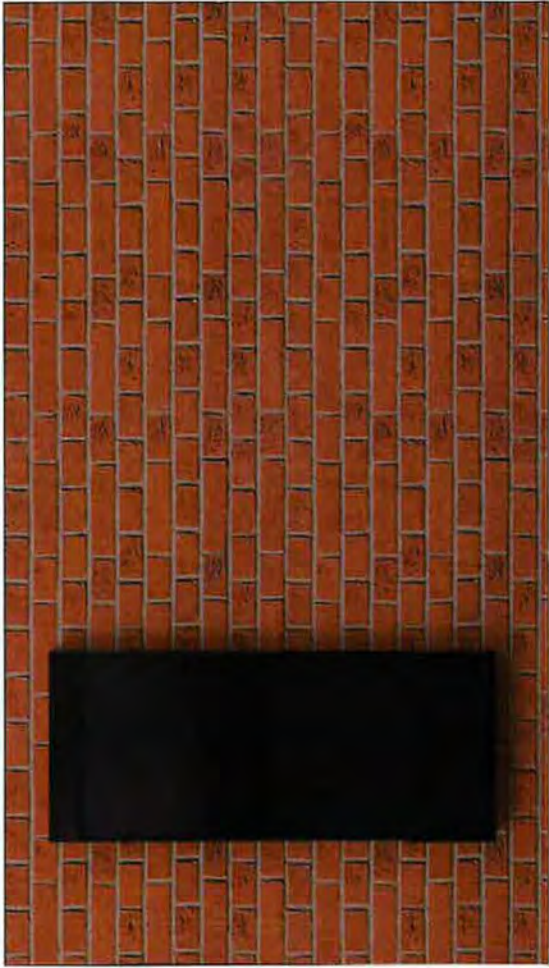
6. Shopping Center Electronic Messaging Displays. Electronic Messaging Displays may be installed in the center to support the center and its tenants by displaying critical public messaging (health, safety, weather, and emergency alerts), public and community service announcements, a center directory, tenant/center promotions and other related messaging to encouraging shopping at the center and shall be allowed as follows.

a. Type. The electronic messaging displays will be installed on the walls and blend in with the current architecture of the Center. The displays will not interfere or clash with current tenant and center signage and will only be illuminated during the open for business hours of the center. The illumination brightness will comply with village requirements.

b. Number and Size. Not more than two (2) electronic message displays will be installed at the center. Each display will be sized appropriately for internal center messaging, not to exceed twenty square feet of surface area per display.

c. Location. The displays shall be integrated into the design of the center may be installed on the walls in strategic locations within the center in full compliance with ADA and other regulations.

I look forward to hearing from you as you can see I have a new e-mail address



NOTES



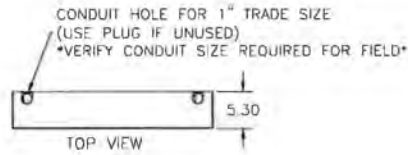
REV	DATE	DESCRIPTION	DESIGNED BY	DRAWN BY	DATE	SCALE	UNIT
B	2/21/23	PRELIMINARY CHANGES FOR CLIENT FEEDBACK					
A	2/10/23	100% SUBMITTAL					

CREATIVE REALITIES
WALL MOUNT UNIT (SAMSUNG UHA_55)
 APPROVAL (1 OF 2)
 NOTE: IMAGES ARE FOR REFERENCE ONLY

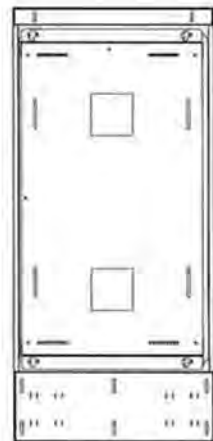
UNIT NO: _____
 SCALE: **B**
 UNIT: **B**
 DDB-UHA_55_AP



ISO VIEW



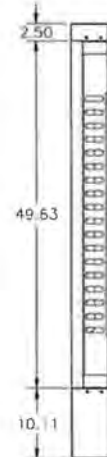
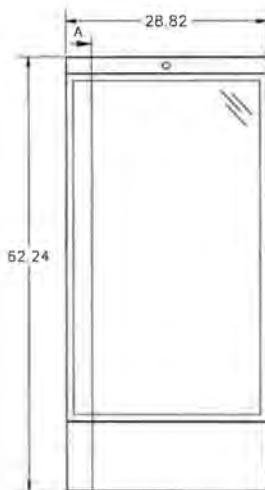
SECTION A-A



BACK VIEW

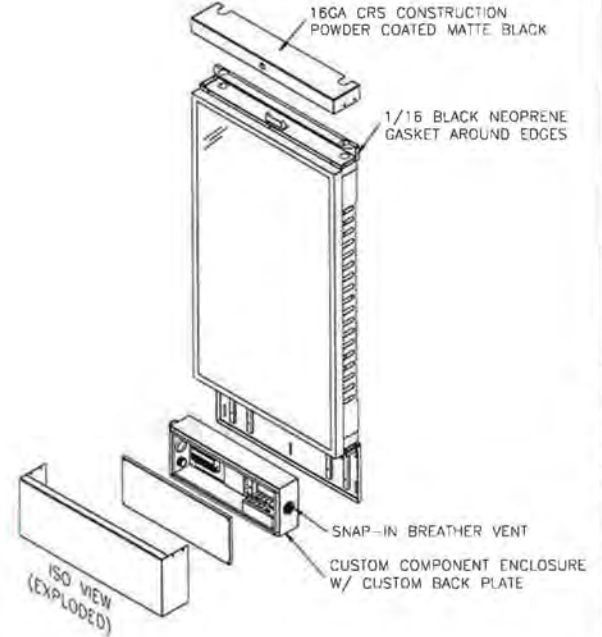


LEFT VIEW



FRONT VIEW
(LIDS REMOVED)

- CABLE GLANDS FOR 1" TRADE SIZE *VERIFY SIZE*
- ROUTER CRADLEPOINT TB5-600C150M-NNN
- EXPANDED I/O PLAYER BRIGHTSIGN HD1024
- 4-OUTLET SURGE PROTECTOR TRIPP-LITE ISO4TELULTRA



NOTES

REVISIONS

APP: D05-UHA_55

CREATIVE REALITIES
WALL MOUNT UNIT (SAMSUNG UHA_55)
APPROVAL (2 OF 3)

REV	DATE	DESCRIPTION	DRWN	CHKD	APPRV
B	2-21-23	PRELIMINARY CHANGES PER CUSTOMER FEEDBACK			
A	2-10-23	INITIAL SUBMITTAL	JAKE		

REV	DATE	DESCRIPTION	DRWN	CHKD	APPRV
B					



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HOFFMAN VILLAGE

2575 Golf Road | Hoffman Estates, IL 60169

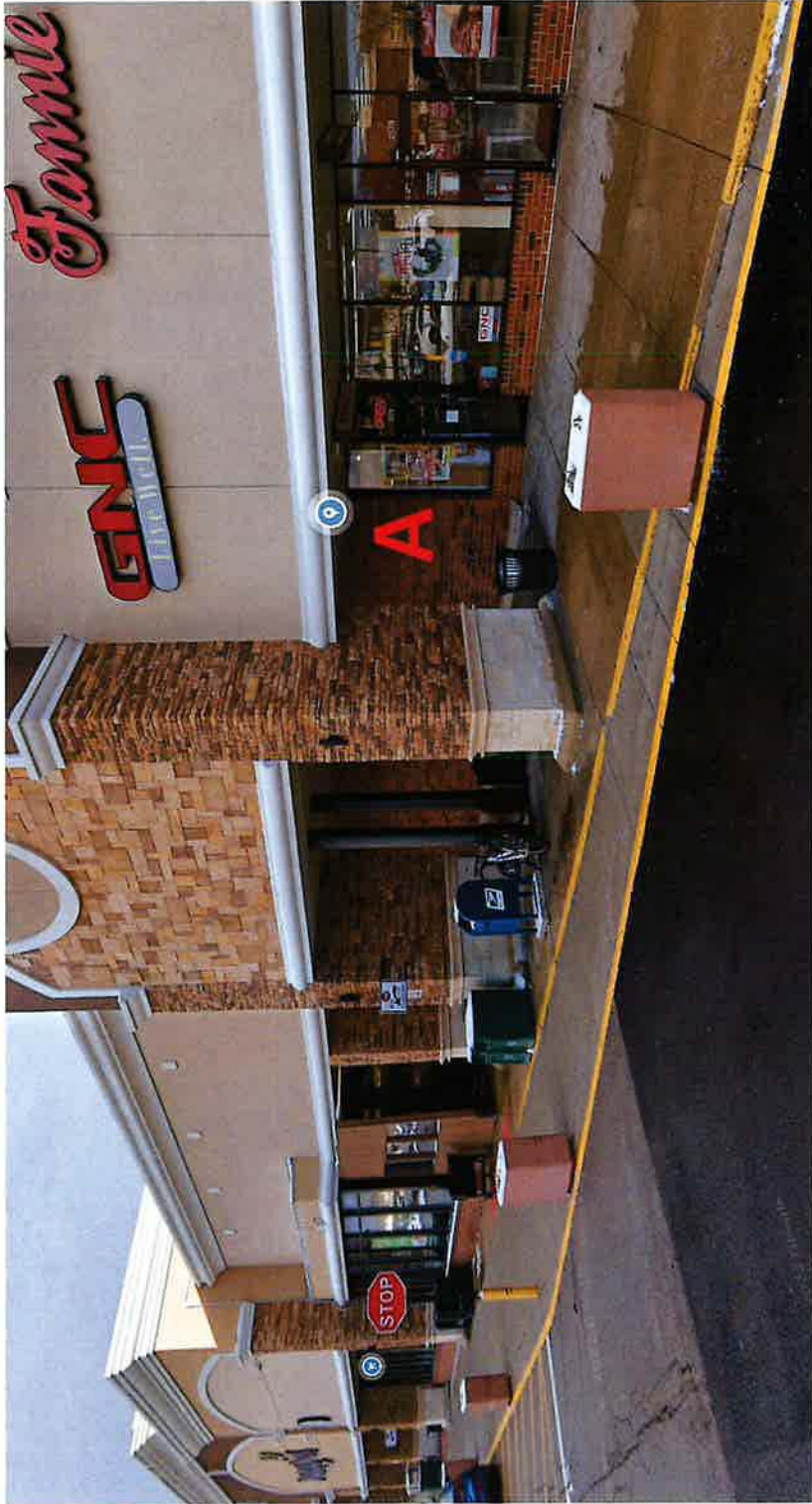
SPACE	TENANT	SQ. FT.					
	1175 Vibrant Fusion	1,060 SF	2515 Laundry World	6,425 SF	2565 Betty's Bistro	1,700 SF	
	1199 Hallmark	4,350 SF	2527 Big Blue Swim School	8,453 SF	2567 100% Chiropractic	2,000 SF	
1165	Jay Bhavani Vadpav	2,050 SF	2535 Goodwill	20,630 SF	2569 LEASED/AVAILABLE	2,000 SF	
1169	Gla's	1,575 SF	2547 Thrive Affordable Vet Care	3,250 SF	2571 Anytime Fitness	4,880 SF	
1171A	Stella's	1,500 SF	2551 Los Fernandez Taqueria	10,150 SF	2575 Mariano's	72,317 SF	
1171B	Salon Eros	1,500 SF	2561 BVM Healthcare	3,990 SF	2577 GNC	1,366 SF	
1173	Global Optical	1,500 SF			2579 Fannie May Candies	1,243 SF	
						TOTAL SQ. FT.	159,708

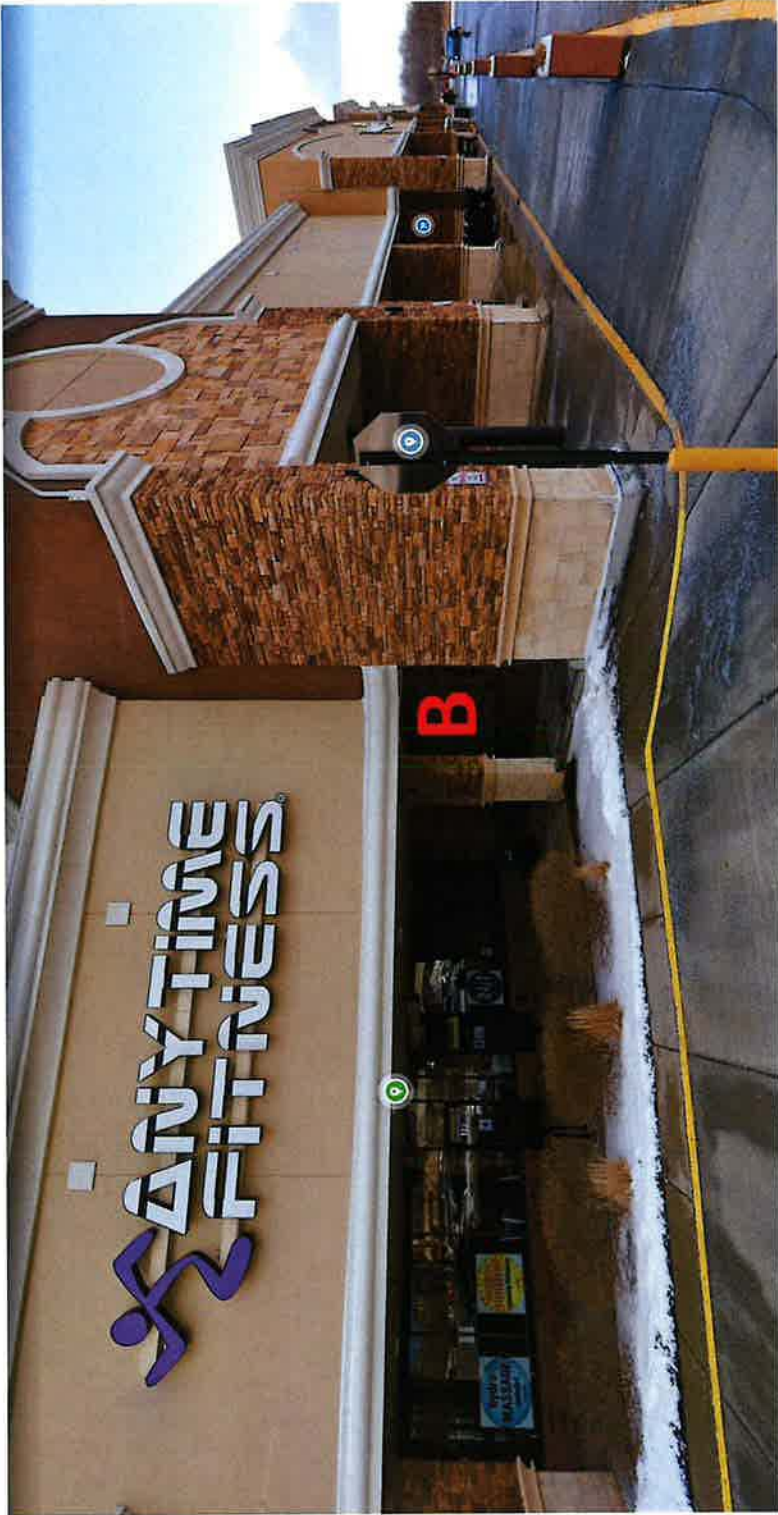
SITE LEGEND	
	Available
	Occupied
	Leased (not occupied)
	Owned by Others
	Site Boundary



DISCLAIMER - This site plan is for general information purposes only and is not intended to constitute representations and warranties by Landlord as to the ownership of the real property depicted herein or the identity or nature of any occupants thereof.











HOFFMAN VILLAGE SHOPPING CENTER MASTER SIGN PLAN

September 2023

Introduction

The Master Sign Plan requirements have been developed based on the signage that is unique to Hoffman Village. The shopping center contains approximately 17 acres and a total building(s) square footage of 160,000 comprised of one main shopping center building. This plan has been designed with signage for this development that maintains consistency with other similar developments, yet takes into account certain unique characteristics of this development. Sign requirements for all buildings and parcels are included in this Plan to promote cohesion among all signs.

A. Area Included in Master Sign Plan

This Master Sign Plan applies to the Hoffman Village Shopping Center property, but does not include the out-lot properties located along Golf Road.

B. General Provisions (applicable to all property governed by this plan)

1. Setbacks. The setbacks required for any sign placed on the ground shall meet the requirements set forth in the zoning code, except as stated in this Master Sign Plan. Signs shall be set back and separated from power lines and communication lines as required in Section 9-3-8-1 of the Zoning Code.
2. Driver Sight Visibility. No sign shall be placed in a manner that will obstruct driver or pedestrian sight lines and create an unsafe condition based on analysis by the Village Transportation Division.
3. Landscaping. Landscaping shall be provided at the base of all signs, unless determined to be unsafe or not feasible by the Village Department of Development Services.
4. Illumination. All signs permitted by this Master Sign Plan may be illuminated in accordance with Section 9-3-8-F of the Zoning Code unless otherwise indicated in the approved Master Sign Plan documents.
5. Sign Design. Colors and letter graphic styles on the signs shall be determined by the owners of the property, however, the two primary monument signs for the site shall be of a consistent color and graphic style.
6. Calculation of Sign Area. All signs shall meet the requirements of Section 9-3-8-D, except that the architectural base and support structure of a monument sign shall not be included in the total sign area if these areas do not contain text, logos or any other graphics.
7. Permits. Sign permits shall be required in accordance with Section 9-3-8-A of the Zoning Code.
8. Coordination with Village Sign Code. All regulations of the Zoning Code shall apply unless specifically stated otherwise in this master sign plan. In the

event of a conflict between this Master Sign Plan and the Zoning Code, the Master Sign Plan regulations shall apply.

9. Wall Signs on Rear of Building. Wall signs shall not be permitted on the rear elevation of a business, except as stated in this Master Sign Plan.

10. Prior Variations. Variation Ordinances 2497-1992, 2610-1994, 3015-1998, 3315-2001 and 3605-2004 are hereby repealed through passage of the ordinance approving this MSP. The variations are incorporated into this MSP. Wall signs shall be permitted as detailed in this MSP, and per item B.8 of the MSP (Coordination with Village Sign Code).

11. Master Sign Plan. This document, along with the attached set of drawings represents the entire Master Sign Plan.

C. GROUND AND MONUMENT SIGNS

One ground and one monument sign maybe permitted per public street frontage on the property for a total of four signs to identify the Shopping Center tenants.

1. The design of the signs shall be limited to a ground or monument style of sign and shall not be allowed a freestanding or pole sign with exposed sign supports. The ground or monument sign must include an architectural base to enclose any support poles or structure. The existing signs include a 3-foot clearance, by prior variation, underneath the sign, which may remain until such time as the sign is replaced. At which time, the sign much be designed as a ground or monument sign. The signs shall include architectural elements o the top, bottom and sides to match the building colors and material of the shopping center building. The design of the signs may be modified from the appearance as shown in the attached drawing, but must follow the requirements set forth in this plan. The design of the monument signs shall be coordinated with the fuel center kiosk.

2. The overall structure of the sign may be up to a maximum 33 feet in height and a maximum 16 feet in width, with decorative elements of the sign extending a further 2 feet in width to a total width of 18 feet. The maximum surface area of the sign panels shall be no more than 300 square feet per side, as measured

- by Section B-7 of this MSP, and excluding any panel(s) identifying the name of the shopping center (e.g. HV or Hoffman Village). The maximum surface area of any electronic message center signs shall be less than 10 feet high and a maximum of 6'8" wide with a masonry base 3'6" high and 7' wide.
3. Where possible the signs shall meet the setbacks required in the Zoning Code. Where space is not available without reconstructing the parking lot, the signs may be set back a minimum 5 feet from any property line instead of the minimum 10 feet and a minimum 2 feet from any paved surface or sidewalk instead of the minimum 5 feet. The signs shall be set back and separated from power lines and communication lines as required in Section 9-3-8-1 of the Zoning Code.
 4. The signs may include an LED message center not to exceed 50 square feet in surface area per side and shall only display businesses, products, services, events or other items available on this property. Off-site advertising shall be prohibited. Sign messages shall not change more frequently than once every 10 seconds. The change shall be a full screen replacement without fading, motion or other action techniques. No movement, flashing, animation or scrolling messages shall be permitted. The brightness level of the electronic message board portion of the sign shall not exceed 3,250 NITs. From dusk to dawn the brightness level shall not exceed 812.5 NITs.

D. Wall Signs

1. Primary Anchor (currently Mariano's) -The following rules shall apply to the primary anchor tenants equal to or greater than 40,000 square feet.
 - a) Type. Wall signs for the primary anchor stores shall be individually mounted, internally lighted channel letters or logos mounted directly to the building wall surface or to a raceway painted to match the building.
 - b) Number and Size. The tenant shall be allowed up to 5 wall signs of the following maximum sizes: one sign of a maximum 400 square feet and four signs each of a maximum 100 square feet.
 - c) Location. Anchor wall signs shall be located within the allowable sign location boxes depicted in the attached building elevation drawings. Each primary wall sign shall be centered horizontally within the front facade of the portion of the building leased by the tenant; or over an architectural feature of such front facade. Signs shall be centered vertically in relation to the allowable sign boxes and in relation to other adjacent wall signs.

2. Junior Anchor Tenant(s) - For anchor tenant spaces equal to or greater than 15,000 square feet, the following shall apply:
 - a) Type. Wall signs for anchor stores shall be individually mounted, internally lighted channel letters or logos mounted directly to the building wall surface or to a raceway painted to match the building.
 - b) Number and Size. One primary wall sign shall be permitted per tenant, not to exceed 300 square feet in area.
 - c) Location. Junior anchor wall signs shall be located within the allowable sign location boxes depicted in the attached building elevation drawings. Each primary wall sign shall be centered horizontally within the front facade of the portion of the building leased by the tenant; or over an architectural feature of such front facade. Signs shall be centered vertically in relation to the allowable sign boxes and in relation to other adjacent wall signs.

3. Tenant(s)- For tenant spaces less than 15,000 square feet, the following shall apply:
 - a) Type. Tenant wall signs shall be individually mounted, internally lighted channel letters or logos mounted directly to the building wall surface or to a raceway painted to match the building.
 - b) Number and Size. One wall sign shall be permitted per tenant. An additional, second, wall sign may be permitted for comer tenant spaces on a separate wall. Each wall sign shall not exceed 3 square feet per 1 foot of lineal tenant storefront, or a maximum of 200 square feet per sign.
 - c) Location. Individual tenant wall signs shall be located in the allowable sign box areas as depicted in the attached drawings. Comer tenants may be permitted a sign on each elevation, including on the side elevation where the building architecture on the side elevation is improved to match that of the front elevation. Each wall sign shall be centered horizontally within the front facade of the portion of the building leased by the tenant; or over an architectural entry feature of such front facade. Wall signs on the same portion of the building facade shall be located on the facade so that they are visually proportional in relation to other wall signs and in relation to the architectural features of the building.
 - d) In accordance with Ordinance 3605-2004, which was repealed with passage of this plan, the tenant Dunkin Donuts/31 Baskin Robbins shall be permitted two wall signs on the front elevation ("Dunkin Donuts" and "31 Baskin Robbins") and shall be permitted two wall signs ("Dunkin Donuts" and "31 Baskin Robbins") on the side elevation of the business. The total surface area of the two signs combined on each elevation shall meet the size requirement of 3 square feet per 1 foot of lineal tenant storefront.

4. All tenants with a customer entrance on the rear elevation may be permitted a wall sign on the rear elevation if the elevation is improved with architecture generally matching that of the front elevation, and if the business has installed (with prior Village approval) a customer entrance door on the rear elevation. The wall sign may be installed above the customer entrance door. The sign on the rear elevation may be illuminated only during business hours in which the business is open, and not between 11 pm and 6 am, whichever is more restrictive. Each permitted wall sign shall not exceed 3 square feet per 1 linear foot of tenant frontage up to a maximum of 200 square feet.
5. Shopping center identification wall signs. Wall signs identifying the name or initials of the shopping center (e.g. Hoffman Village or HV) shall be allowed as follows.
 - a) The shopping center may be allowed to integrate signage onto the "tower" facade and corner elements of the building facade.
 - b) Number and Size. One (1) such sign may be installed per elevation facing the parking lot or drive aisles of the shopping center, per tower element. Each sign may be up to 75 square feet in surface area.
 - c) Location. The signs may be placed on the upper portions of the towers as generally shown on the attached drawings, and shall be integrated into the design of the building facade.
6. Shopping Center Electronic Messaging Displays. Electronic Messaging Displays may be installed in the center to support the center and its tenants by providing public and community information, a center directory, tenant/center promotions, and other related messaging.
 - a) Type. The electronic messaging displays will be installed flush with the building facade and blend in with the current architecture of the Center. The displays shall not interfere or clash with current tenant and center signage and will only be illuminated during the business hours of operation at the center.
 - b) Number and Size. Not more than two (2) electronic message displays will be installed at the center. Each display shall not to exceed twenty square feet of surface area per display.
 - c) Location. The displays shall be installed on the lower walls of the center under the breezeway canopy.
 - d) Display.
 - i. The signs may only display messages related to businesses, products, services, events or other items available on the subject property. Off-site advertising shall be prohibited.
 - ii. Sign messages shall not change more frequently than once every 10 seconds. The change shall be a full screen replacement without fading,

motion or other action techniques. No movement, flashing, animation or scrolling messages shall be permitted.

- iii. The brightness level of the electronic message board portion of the sign shall not exceed 3,250 NITs. From dusk to dawn the brightness level shall not exceed 812.5 NITs.

E. Miscellaneous Signs

1. Directional or Instructional Signs. Such signs shall meet the requirements of Section 9-3-8-B-8. All signs shall be of a consistent design and shall be separate from traffic control signs.
2. Window Signs. Window signs may be placed in the window of businesses per the standards set forth in the Zoning Code. The property owner may install window signs in vacant storefronts to cover the entire windows, which may include generic images or artwork, promotional, or leasing information that improves the building aesthetics for the period that the space is vacant, or promotes this property or its tenants, but may not include advertisements or information unrelated to this property or advertising off-site properties or products. The primary anchor may install window signs covering the entire windows, which may include images of food or other generic decorative graphics related to the business, but may not include advertisements or information unrelated to the tenant or advertising off-site properties or products.

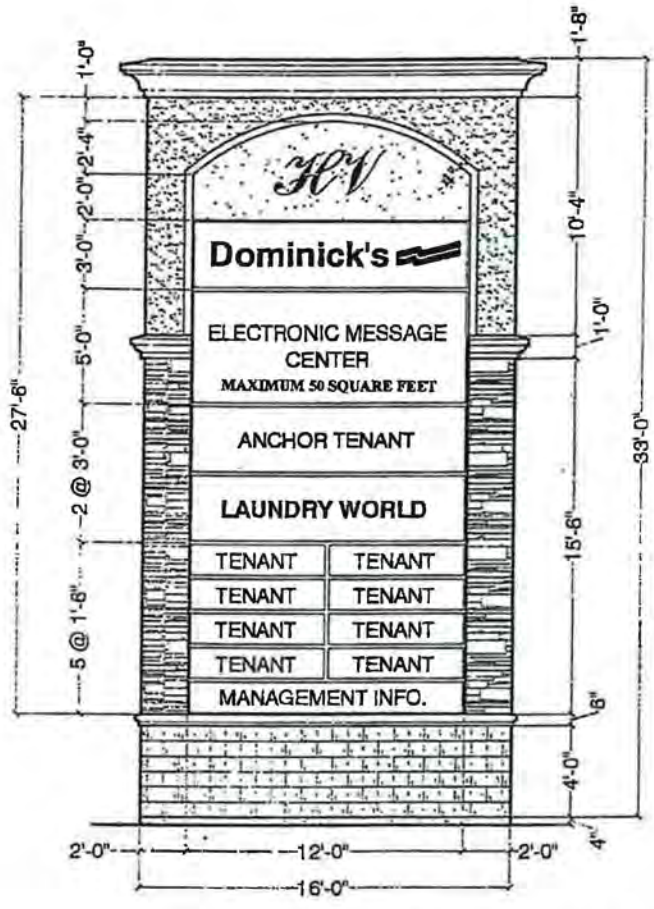
F. Temporary Signs

1. Leasing Sign. Leasing information may be incorporated into the ground sign and shall not be permitted as freestanding signs or on the building exterior, which shall supersede the allowance for such temporary signs as stated in Zoning Code Section 9-3-8-K-3.
2. Special Event Signs. Such signs shall meet the requirements of Section 9-3-8-K of the Zoning Code, except that one freestanding temporary sign advertising a permitted special event on the Hoffman Village property may be erected on the property. Such sign shall not exceed 50 square feet in size and 10 feet in height and may be installed no earlier than one week before the event and removed one day after the conclusion of the event. This allowance for a freestanding special event sign is intended for property-wide events that receive a special use or special event license and shall not be permitted for individual businesses to advertise specials or sales.

G. Amendments

1. Changes. Changes to the text, colors, or graphic style of the signs shall not require a formal amendment to this plan, provided the size and all other requirements of this plan are met.

2. Interpretations. Signs that are not explicitly addressed in the provisions of this plan, but that meet the intent of the plan may be permitted through administrative approval.
3. New Signs. The addition of new signs or relocation of existing signs shall not require a formal amendment to this plan, provided the signs meet all requirements of this plan. Any amendment to add additional signs or make substantial changes to the approved signs in this plan shall be subject to review and approval by the Village Board through the process outlined in the Zoning Code for variations.



NEW PYLON SIGN

SCALE: 1/4" = 1'-0"

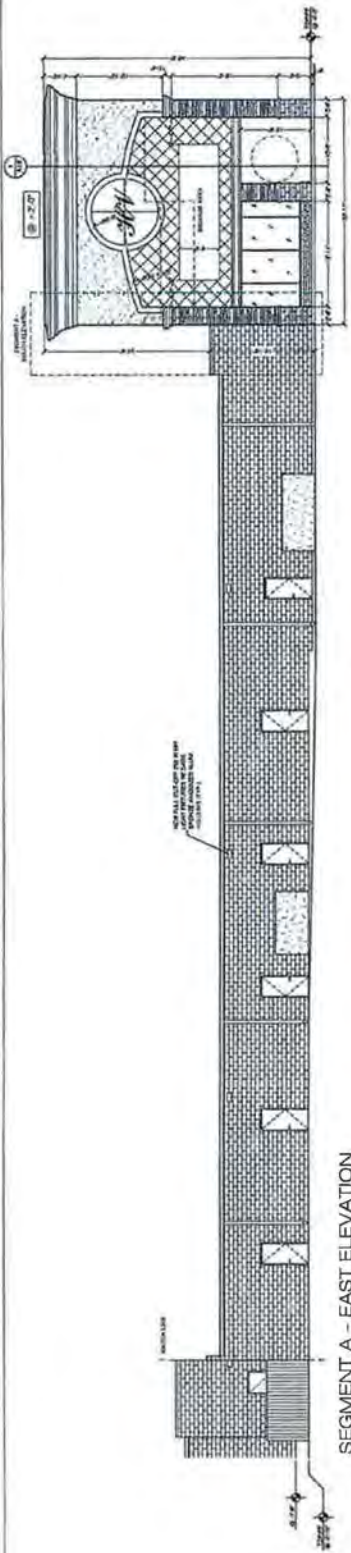
HOFFMAN VILLAGE SHOPPING PLAZA
S.E. CORNER OF GOLF RD. & BARRINGTON RD., HOFFMAN ESTATES, ILLINOIS

MAEMAR P.C.
A FULL SERVICE ARCHITECTURAL FIRM

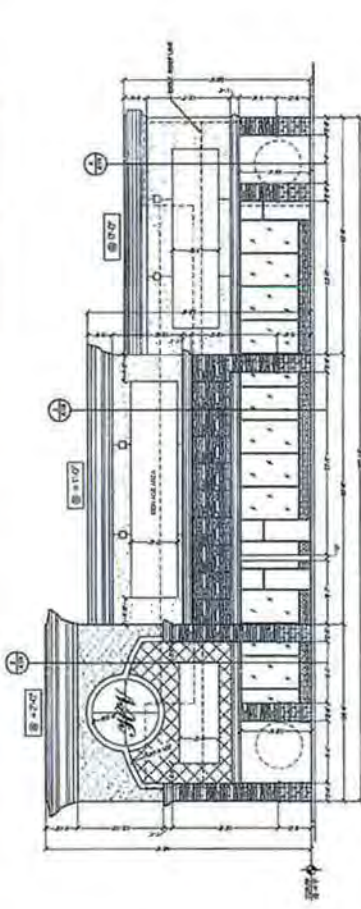
2800 GLENVIEW LANE
LOMBARD, ILLINOIS 60148
PHONE: (630) 261-8800
FAX: (630) 261-8818



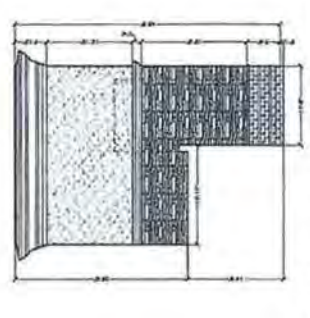
THESE ELEVATIONS ARE THE PROPERTY OF MAEMAR P.C. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MAEMAR P.C.



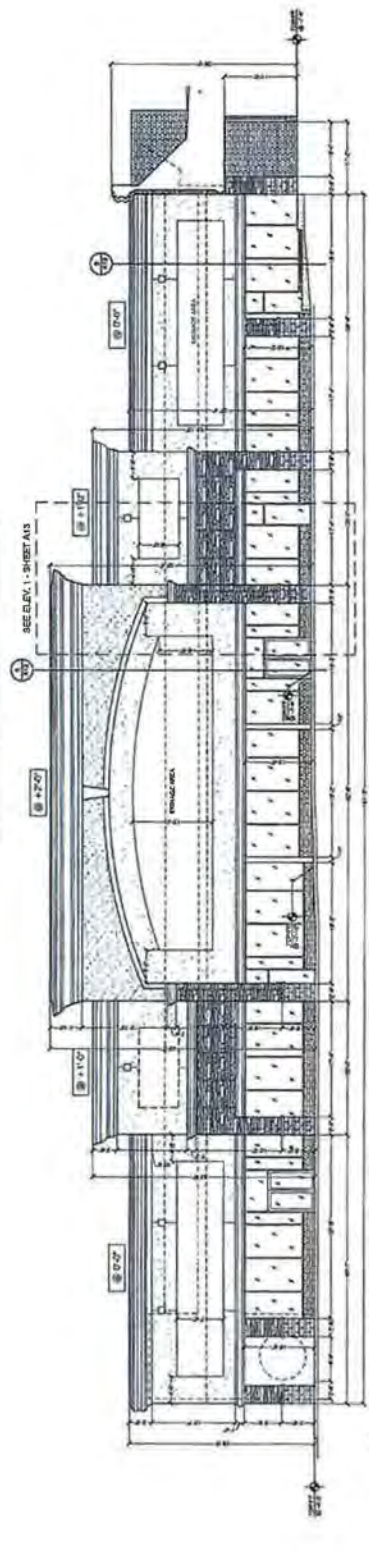
SEGMENT A - EAST ELEVATION



SEGMENT B - NORTH ELEVATION



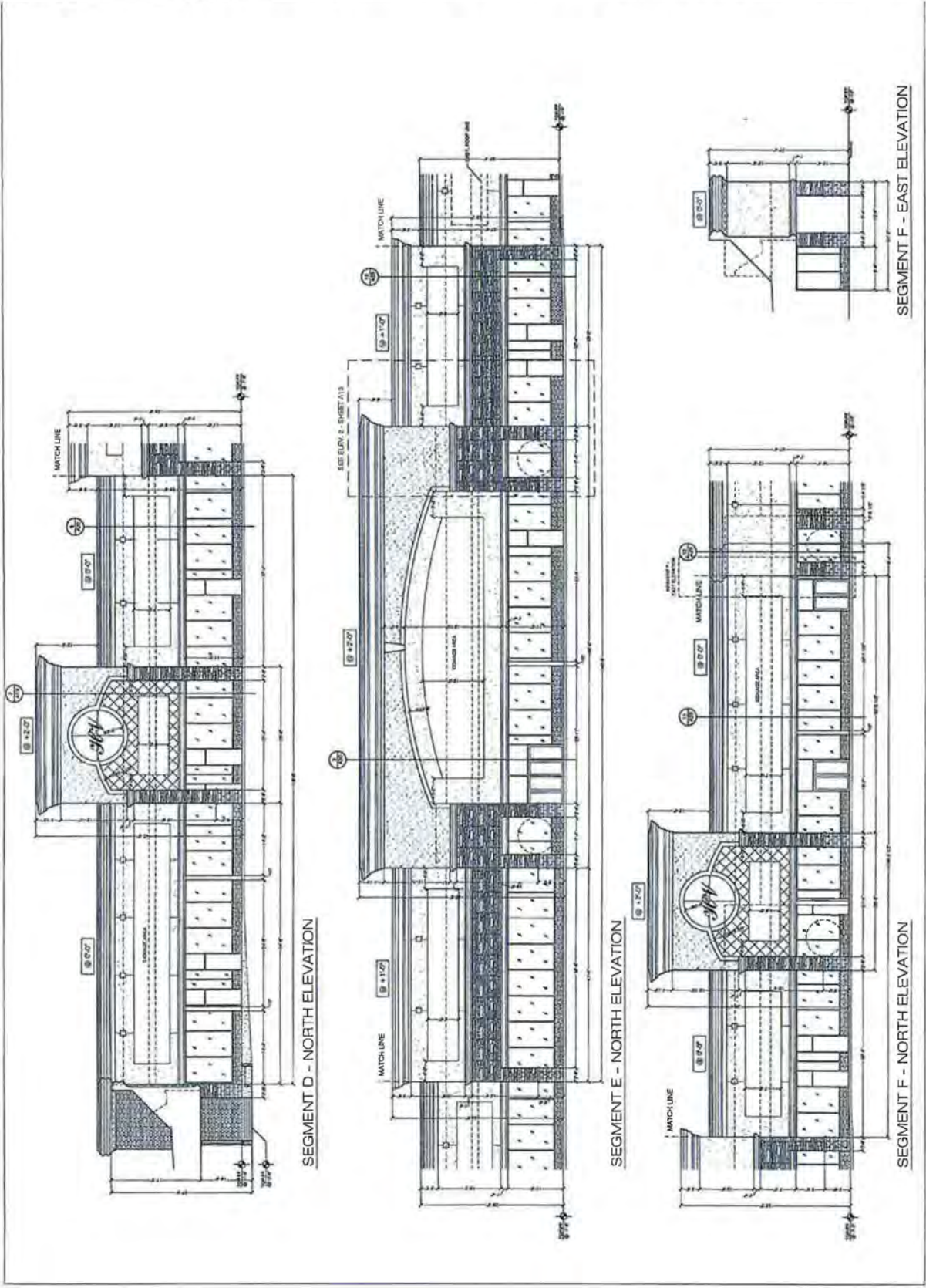
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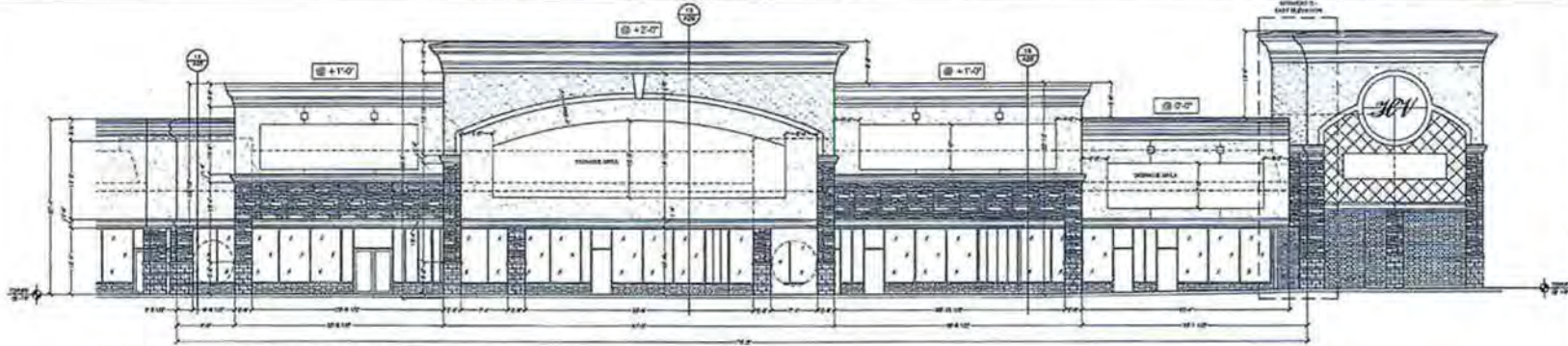


SEGMENT C - WEST ELEVATION

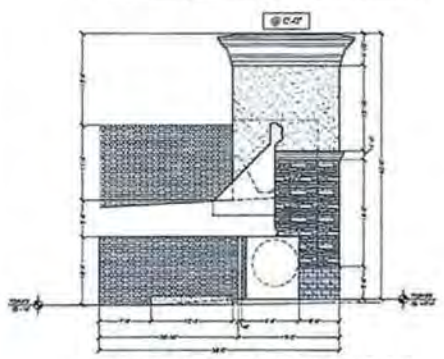
MAEMAR P.C. 2966 GRANDVIEW LANE LOMB GROVE, IL 60148 PHONE: 815.355.5000 FAX: 815.355.5815 A FULL SERVICE ARCHITECTURAL FIRM ARCHITECTS AND INTERIORS ARCHITECTS	PROJECT NO. 11111 PROJECT NAME: PROPOSED ELEVATIONS SHEET NO. A10 DATE: 11/11/11	PROPOSED ELEVATIONS SEGMENTS D - F	A10

HOFFMAN VILLAGE SHOPPING PLAZA
 S.E. CORNER OF GOLF RD. & BARRINGTON RD., HOFFMAN ESTATES, ILLINOIS





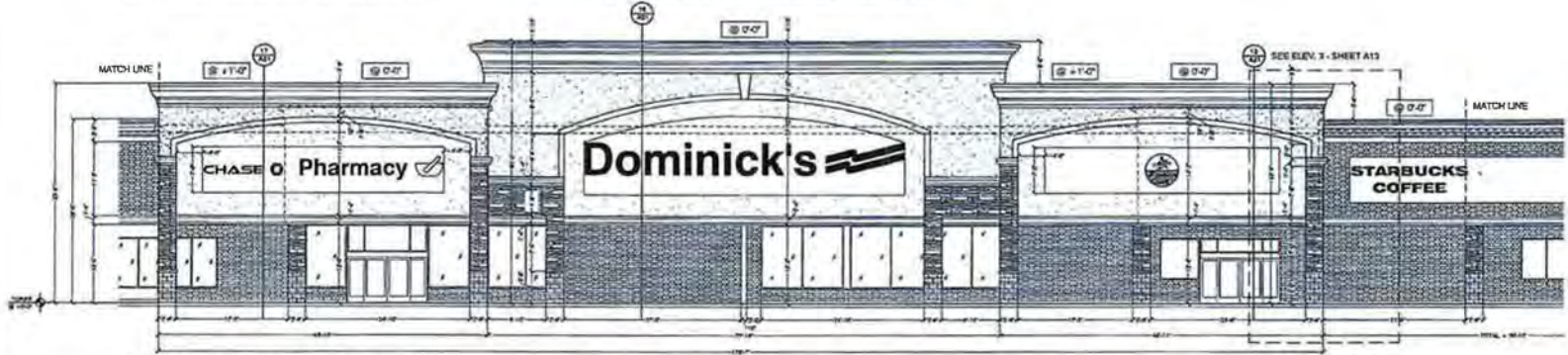
SEGMENT G - NORTH ELEVATION



SEGMENT G - EAST ELEVATION



SEGMENT H - NORTH ELEVATION



SEGMENT J - NORTH ELEVATION

3865 DICKENS LANE
LONG BEACH, IL 60439
PHONE: (815) 438-8888
FAX: (815) 438-8871

MAEMAR P.C.
A FULL SERVICE ARCHITECTURAL FIRM

100 WEST WASHINGTON STREET, SUITE 400
CHICAGO, ILLINOIS 60604
OFFICE: (312) 467-1100
FAX: (312) 467-1101
WWW.MAEMAR.COM

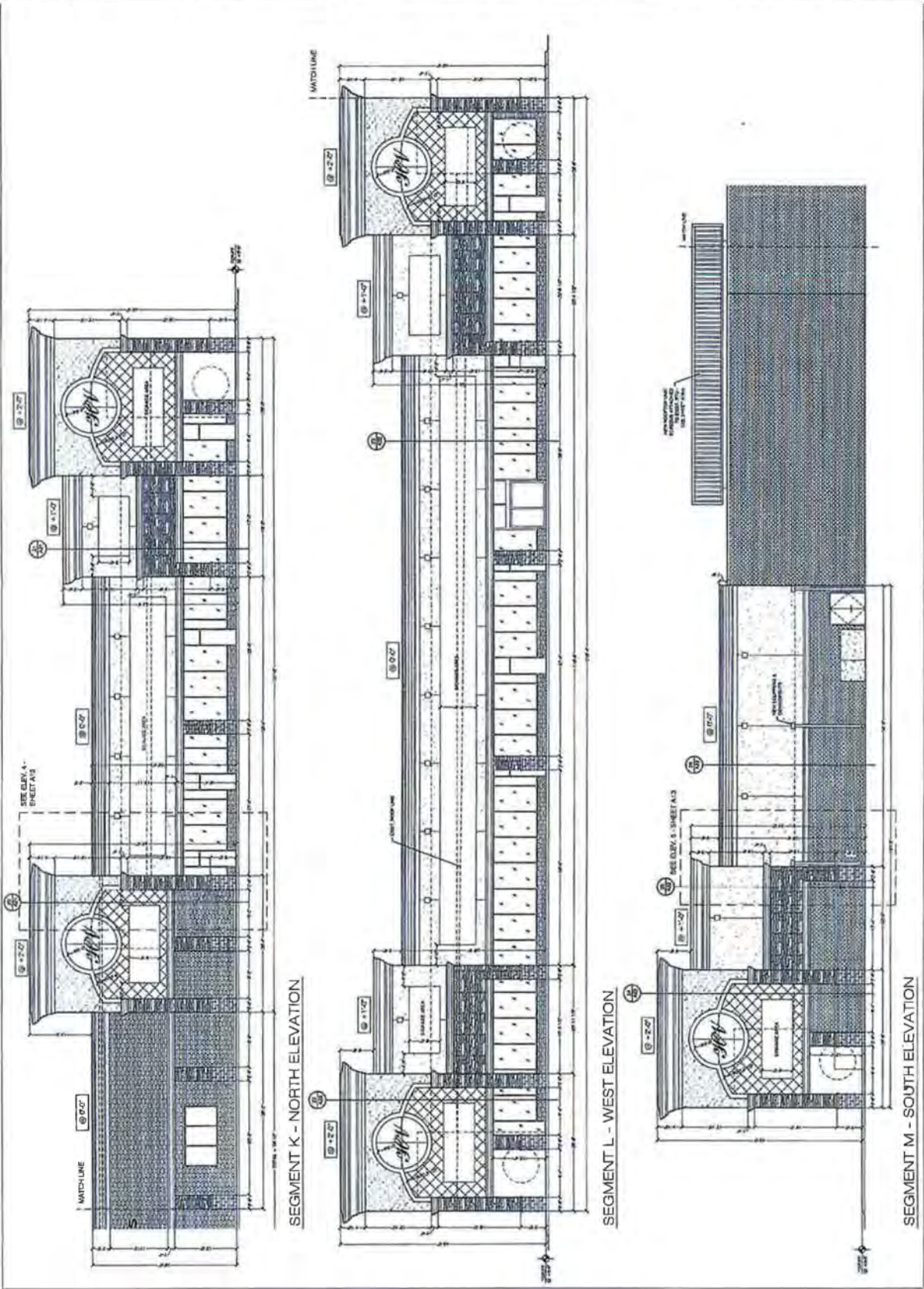
DATE: 11-11-2011
DRAWN: J. CHANDR
CHECKED: J. CHANDR
PROJECT: 11-032

SHEET #
A11

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S.E. CORNER OF GOLF RD. & BARRINGTON RD., HOFFMAN ESTATES, ILLINOIS

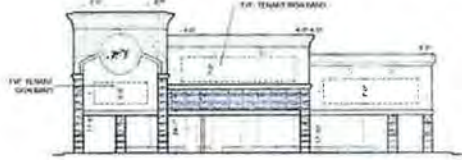
PROPOSED ELEVATIONS
SEGMENTS G - J

<p>MAEMAR P.C. 3866 GRAND LANE LINDENHOLTZ, ILLINOIS 708.717.8300 FAX: 708.717.8300</p>	<p>DESIGNED BY: MAEMAR P.C. PROJECT NO.: 15-001 DATE: 08/15/15</p>	<p>PROJECT NO.: 15-001 DATE: 08/15/15</p>	<p>PROPOSED ELEVATIONS SEGMENTS K - M</p>
	<p>HOFFMAN VILLAGE SHOPPING PLAZA S. E. CORNER OF GOLF RD. & BARRINGTON RD., HOFFMAN ESTATES, ILLINOIS</p>		

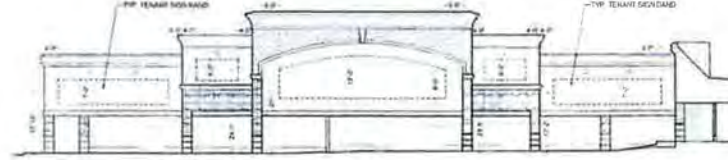




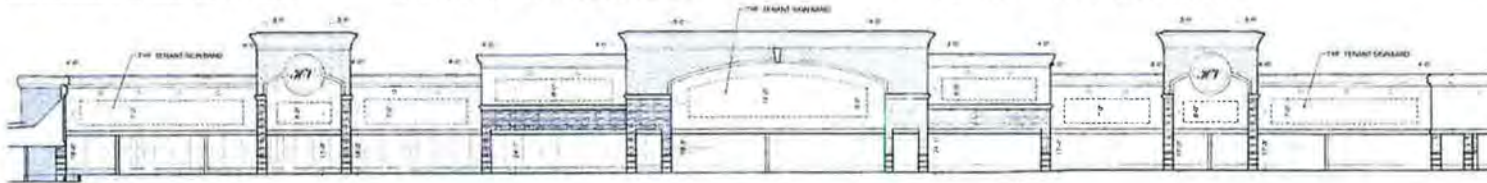
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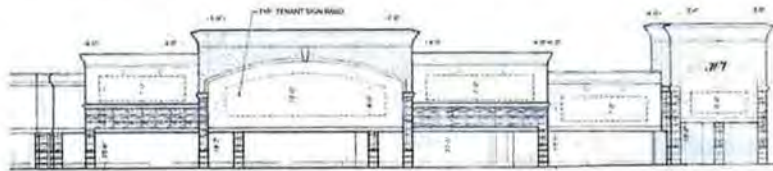
SEGMENT B - NORTH ELEVATION



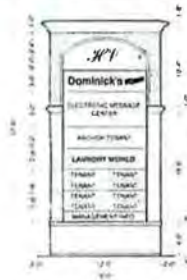
SEGMENT C - WEST ELEVATION



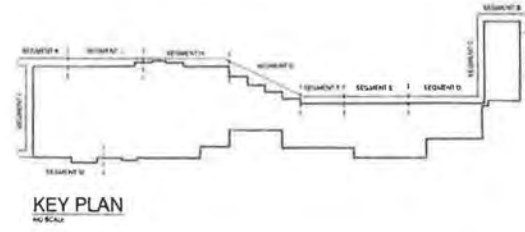
SEGMENT D - F - NORTH ELEVATIONS



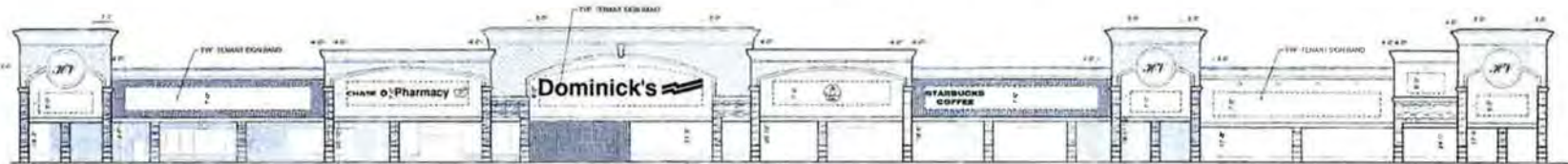
SEGMENT G - NORTH ELEVATION



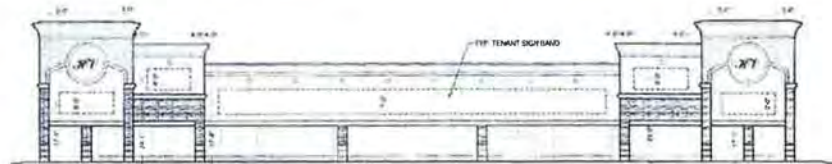
NEW PYLON SIGN
SCALE: 1/4" = 1'-0"



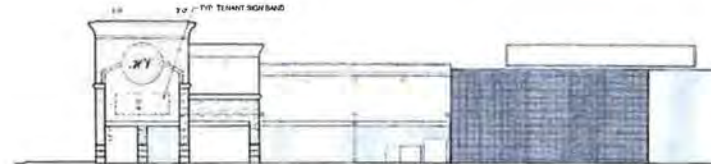
KEY PLAN
NO SCALE



SEGMENT H - K - NORTH ELEVATIONS



SEGMENT L - WEST ELEVATION



SEGMENT M - SOUTH ELEVATION



MAEMAR P.C.
P.L.L.C. - ARCHITECTURAL AND INTERIOR DESIGN SERVICES
1000 N. WASHINGTON ST., SUITE 100
CHICAGO, IL 60610
TEL: (312) 321-1111
FAX: (312) 321-1112

DATE: 12.18.2011
DRAWN: [Name]
CHECKED: [Name]
PROJECT: [Name]
SHEET: [Name]

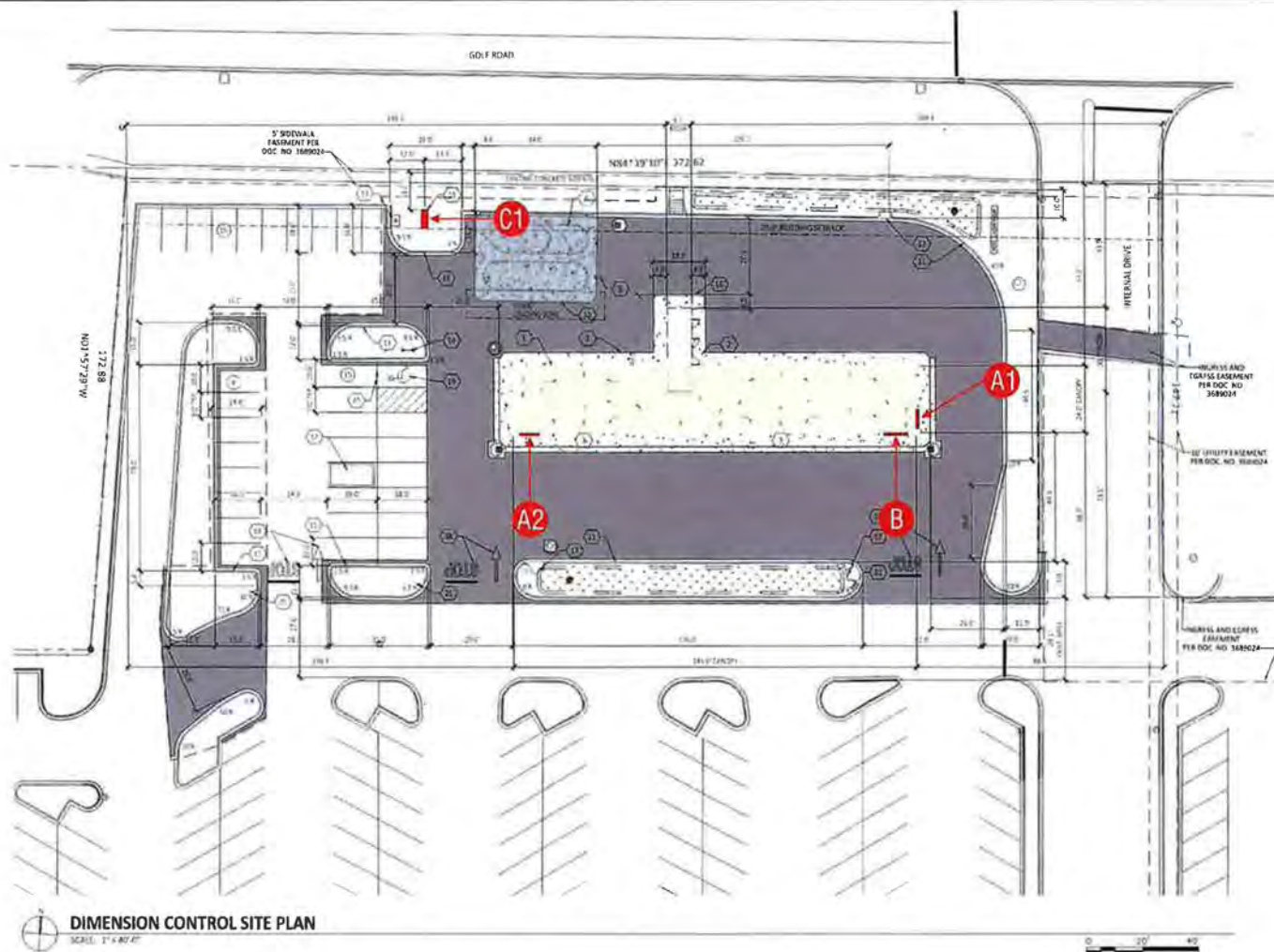
HOFFMAN VILLAGE SHOPPING PLAZA
S.E. CORNER OF GOLF RD. & BARRINGTON RD., HOFFMAN ESTATES, ILLINOIS

DATE: 12.18.2011
DRAWN: [Name]
CHECKED: [Name]
PROJECT: [Name]
SHEET: [Name]

RECEIVED
FEB 12 2011
SOUTH LAGOON

SIGN BAND LOCATIONS

SN2



GENERAL SIGN CONTRACTORS

332 INTERSTATE RD. P.O. BOX 1098
ADAMS, IL. 62401

630-543-8480
FAX 630-543-9463

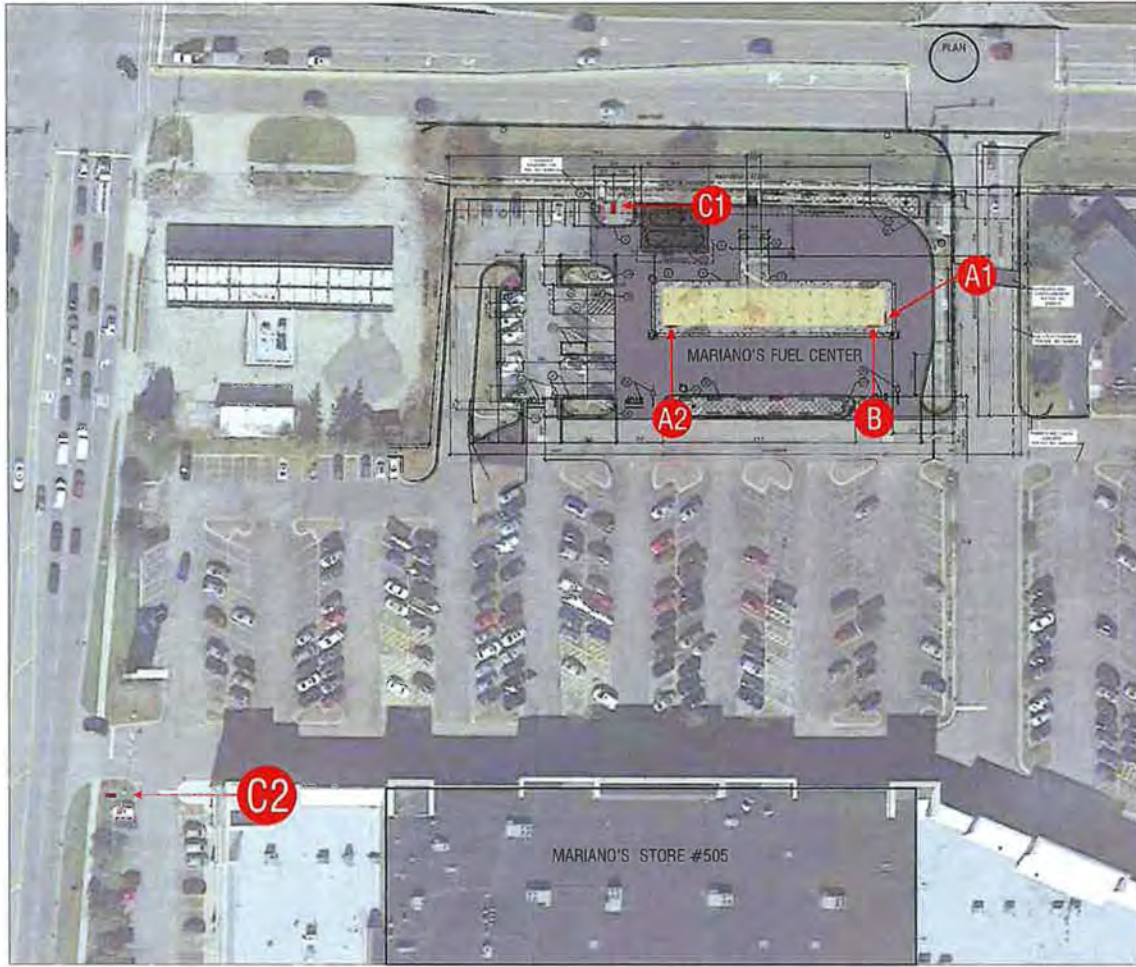
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4.17.20	A1 LOCATION - CORRECTED NORTH SOUTH EAST WEST - NOTED ALPHA NUMERIC DESIGNATIONS AND TOTALS - UPDATED MONUMENT POLE AND FOUNDATION - UPDATED -- 01/20
4.21.20	C2 PRICER ADDED TO ENTRANCE - BARRINGTON RD -- 01/20

CUSTOMER APPROVAL _____ DATE _____

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CLIENT	MARIANO'S #505						
ADDRESS	2575 W. GOLF RD.						
CITY	HOFFMAN ESTATES	STATE	IL	DESIGNER	KM	SALESPERSON	TD
DRWG. NO.	17922	SCALE:	NOTED	DATE:	03.13.2020	SHEET NO.	1

D:\Design\MARIANOS\HOFFMAN ESTATES IL\MARIANOS - HOFFMAN ESTATES IL - FUEL CENTER V2.cdw



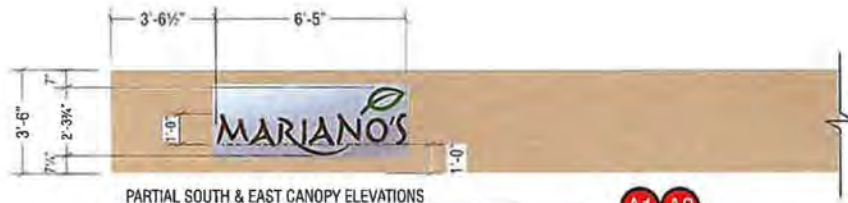
330 INTERSTATE RD. #10000N, S. 60101
 870-543-3400
 870-543-3400

DATE	REVISION

CUSTOMER APPROVAL _____ DATE _____

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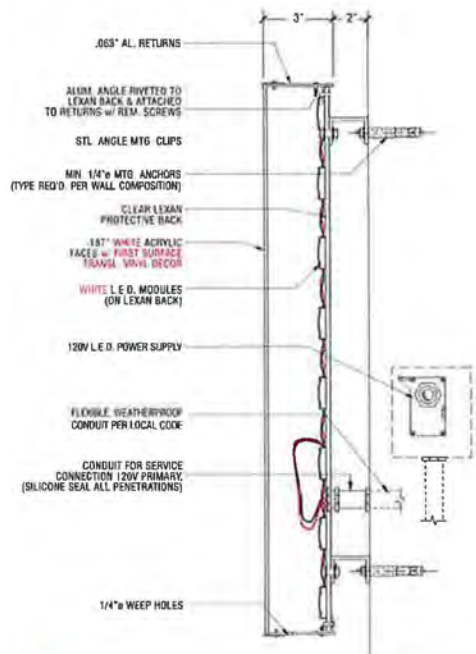
CLIENT	MARIANO'S #505						
ADDRESS	2575 W. GOLF RD.						
CITY	HOFFMAN ESTATES	STATE	IL	DESIGNER	KM	SALESPERSON	TD
DRWG. NO.	17922	SCALE:	NOTED	DATE:	03.13.2020	SHEET NO.	2



PARTIAL SOUTH & EAST CANOPY ELEVATIONS

SCALE: 1/4"=1'

A1 A2



B FACE-LIT / BACK-LIT CHANNEL LETTER

NTS



B ONE (1) SINGLE FACE, DOUBLE PRODUCT L.E.D. GAS PRICE DISPLAYS

SCALE: 3/8"=1'



A1 A2 TWO(2) SETS OF FACE-LIT & HALO-LIT LETTERS & LOGO

SCALE: 3/8"=1'



GENERAL SIGN CONTRACTORS

230 INTERSTATE RD. #101 Niles, IL 60156
ADDITION, IL 60101

815-543-9400
Fax 815-543-9405

DATE REVISION

DATE	REVISION

CUSTOMER APPROVAL

DATE

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CLIENT	MARIANO'S #505				
ADDRESS	2575 W. GOL. RD.				
CITY	HOFFMAN ESTATES	STATE	IL	DESIGNER	KM
SALESPERSON	TD				
DRWG. NO.	17922	SCALE:	NOTED	DATE:	03.13.2020
SHEET NO.	3				

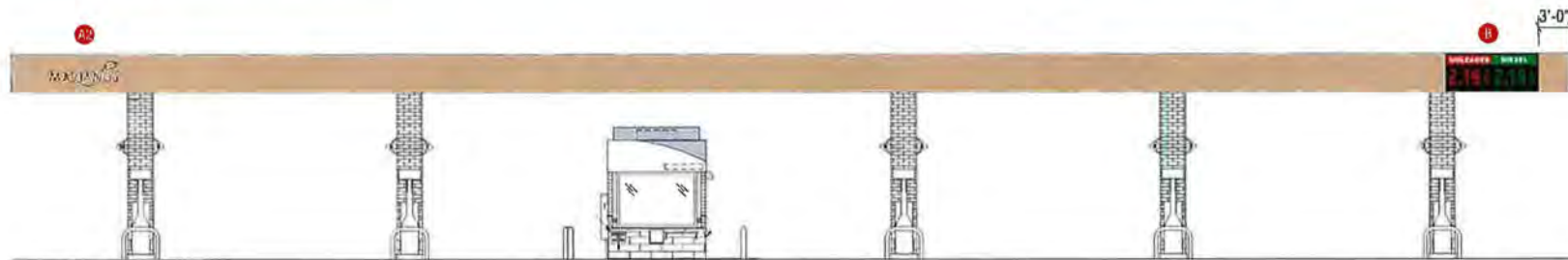
D:\Design\MARIANO'S\HOFFMAN ESTATES IL\MARIANO'S - HOFFMAN ESTATES IL - FUEL CENTER



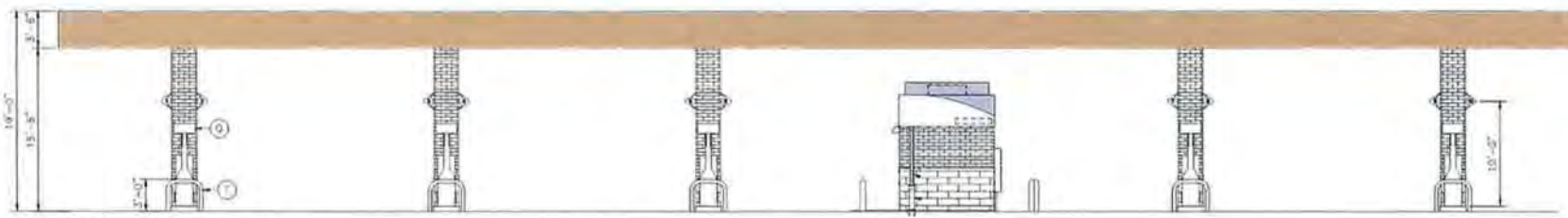
3 WEST ELEVATION
SCALE: 3/32"=1'-0"



4 EAST ELEVATION
SCALE: 3/32"=1'-0"



5 SOUTH ELEVATION
SCALE: 3/32"=1'-0"



6 NORTH ELEVATION
SCALE: 3/32"=1'-0"



GENERAL SIGN CONTRACTORS

399 INTERSTATE RD. P.O. BOX 1088
ADRIAN, IL 62411

(618) 543-6192
FAX (618) 543-9182

DATE REVISION

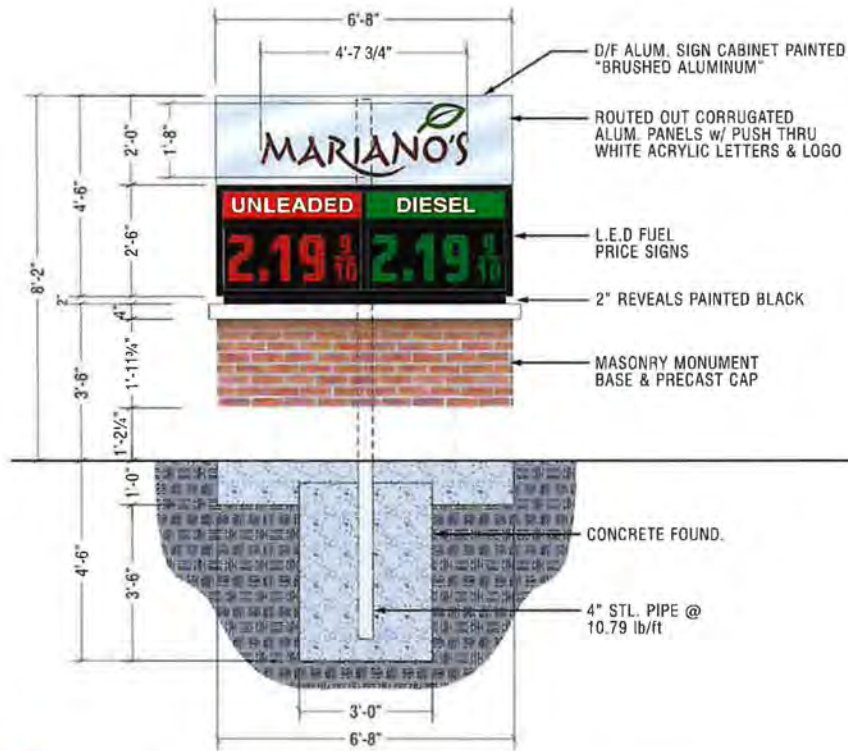
DATE	REVISION

CUSTOMER APPROVAL DATE

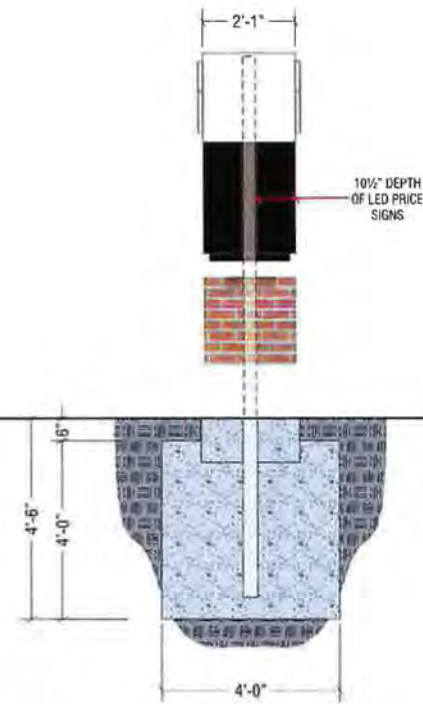
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CLIENT	MARIANO'S #505		
ADDRESS	2575 W. GOLF RD.		
CITY	HOFFMAN ESTATES	STATE	IL
DESIGNER	KM	SALESPERSON	TD
DRWG. NO.	17922	SCALE:	NOTED
DATE:	03.13.2020	SHEET NO.	4

© Design by MARIANO'S/HOFFMAN ESTATES IL/MARIANO'S - HOFFMAN ESTATES IL - FUEL CENTER



C1 C2 ONE(1) D/F MONUMENT DISPLAYS • FRONT VIEW
SCALE: 3/8"=1'



C1 C2 ONE(1) D/F MONUMENT DISPLAYS • SIDE VIEW
SCALE: 3/8"=1'



GENERAL SIGN CONTRACTORS

330 INTERSTATE BD. #11, 11th FLOOR
HOUSTON, TX 77057
630-543-9430
Fax 630-543-9431

DATE REVISION

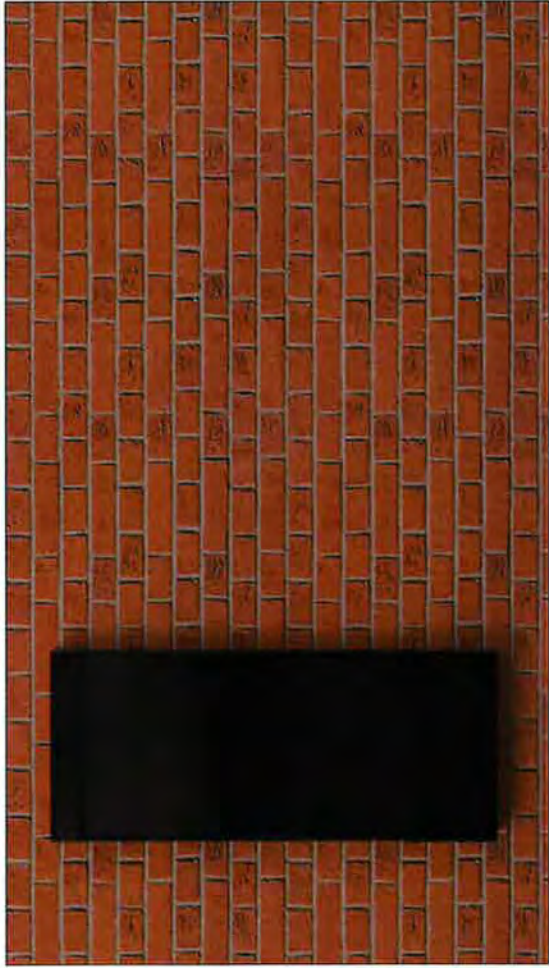
DATE	REVISION

CUSTOMER APPROVAL DATE

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CLIENT	MARIANO'S #505		
ADDRESS	2575 W. GOLF RD.		
CITY	HOFFMAN ESTATES	STATE	IL
DESIGNER	KM	SALESPERSON	TD
DRWG. NO.	17922	SCALE:	NOTED
DATE:	03.13.2020	SHEET NO.	5

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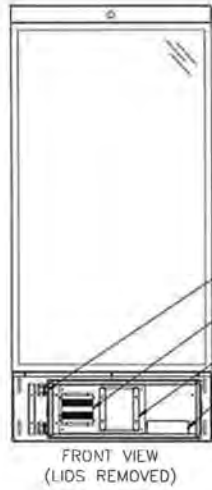
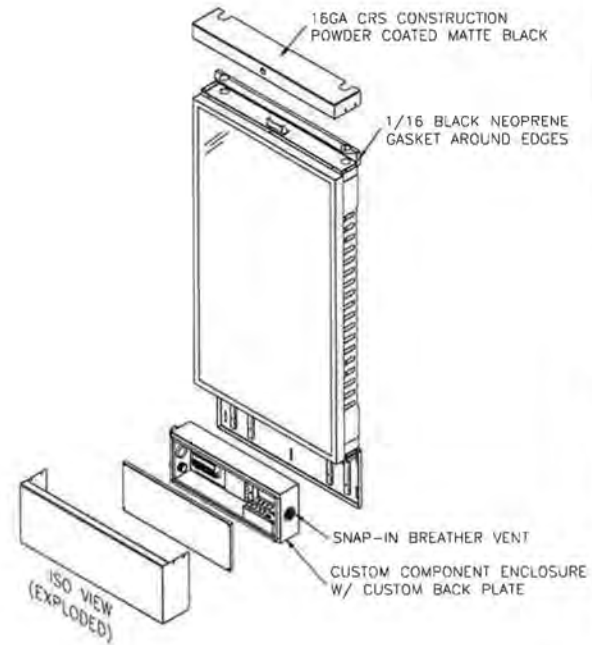
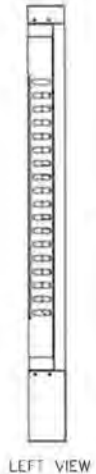
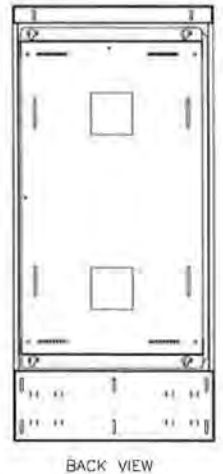
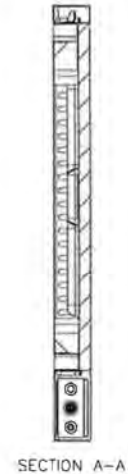
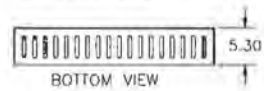
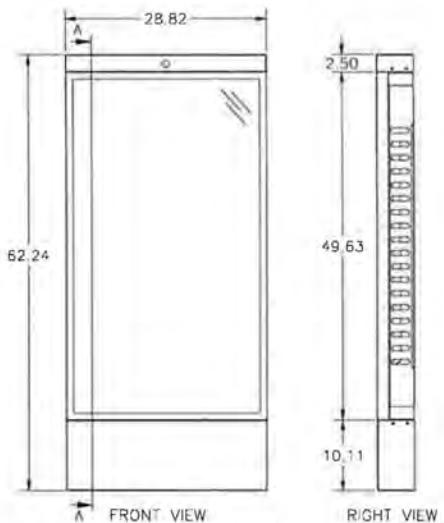
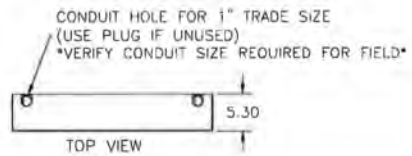
NOTES



REV	DATE	DESCRIPTION	BY	CHKD
B	2-21-23	PVE. ADJUST. CHANGES PER DJ. (TOWER FT. CORNER)	JAKE	
A	2-10-23	INITIAL SUBMITTAL		

CREATIVE REALITIES
 WALL MOUNT UNIT (SAMSUNG UHA_55)
 APPROVAL (1 OF 2)
 NOTE: IMAGES ARE FOR REFERENCE ONLY

DATE: 2/21/23
 DRAWN: JAKE
 CHECKED: []
 SCALE: 1/8"=1'-0"
 SHEET: 005-UHA_55_AP



- CABLE GLANDS FOR 1" TRADE SIZE *VERIFY SIZE*
- ROUTER CRADLEPOINT TB5-600C150M-NNN
- EXPANDED I/O PLAYER
- BRIGHTSIGN HD1024
- 4-OUTLET SURGE PROTECTOR TRIPP-LITE ISOATELULTRA

NOTES

REVISIONS

REV: DDS-UHA_55

CREATIVE REALITIES
WALL MOUNT UNIT (SAMSUNG UHA_55)
APPROVAL (2 OF 2)

REV	DATE	DESCRIPTION	ORIG	CHKD	APPR
A	2-21-23	PRELIMINARY CHANGES PER CUSTOMER FEEDBACK			
B	2-10-23	PATIAL SUBMITTAL	JAKE		

REV	SCALE	DWG NO	ISSUED BY	DATE
B				DDS-UHA_55_AP



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HOFFMAN VILLAGE

2575 Golf Road | Hoffman Estates, IL 60169

SPACE	TENANT	SQ. FT.						
	1175 Vibrant Fusion	1,060 SF	2515 Laundry World	6,425 SF	2565 Betty's Bistro	1,700 SF		
	1199 Hallmark	4,350 SF	2527 Big Blue Swim School	8,453 SF	2567 100% Chiropractic	2,000 SF		
1165	Jay Bhavani Vadpav	2,050 SF	2535 Goodwill	20,630 SF	2569 LEASED/AVAILABLE	2,000 SF		
1169	Gia's	1,575 SF	2547 Thrive Affordable Vet Care	3,250 SF	2571 Anytime Fitness	4,880 SF		
1171A	Stella's	1,500 SF	2551 Los Fernandez Taqueria	10,150 SF	2575 Mariano's	72,317 SF		
1171B	Salon Eros	1,500 SF	2561 BVM Healthcare	3,990 SF	2577 GNC	1,366 SF		
1173	Global Optical	1,500 SF			2579 Fannie May Candies	1,243 SF		
					TOTAL SQ. FT.	159,708		

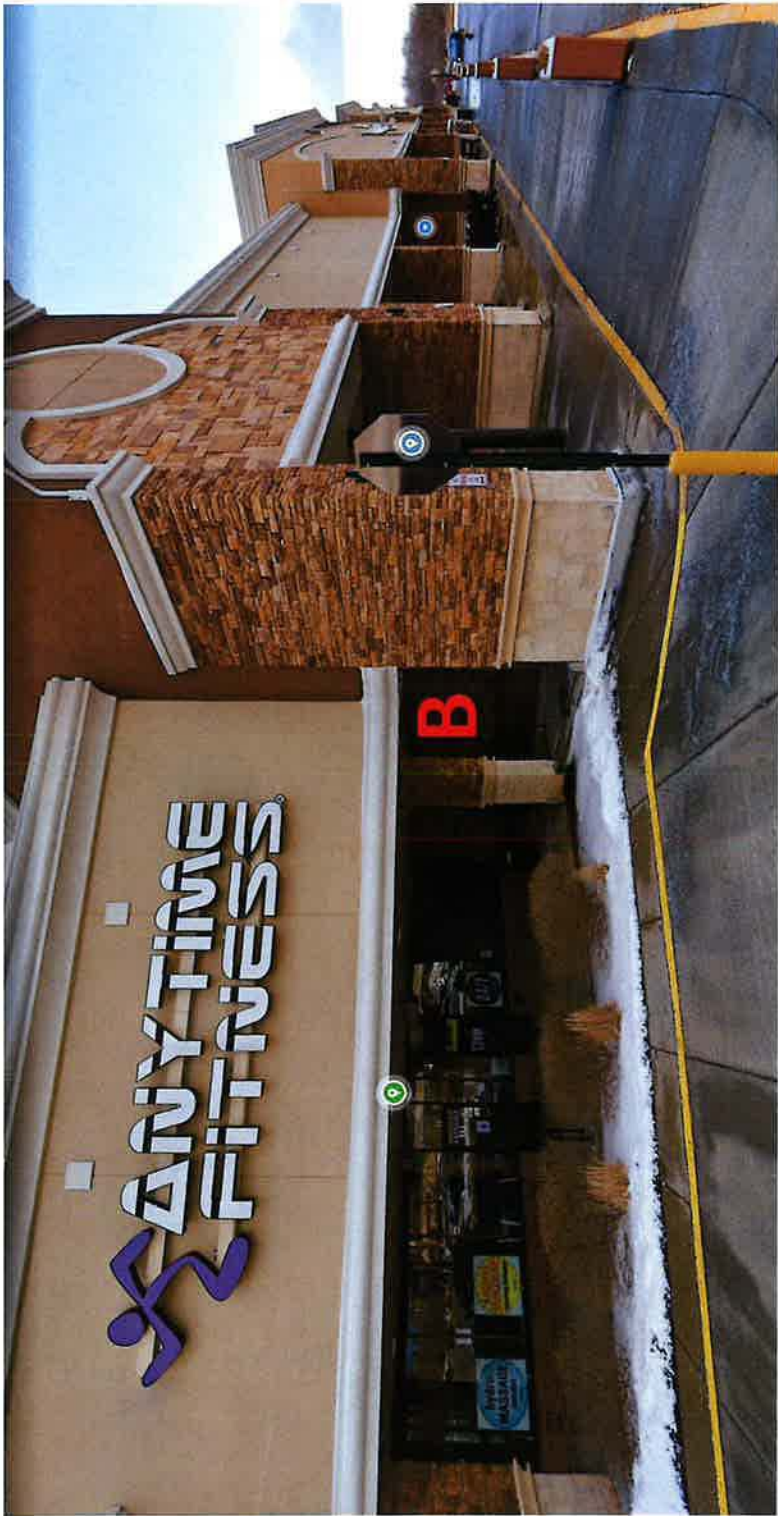
SITE LEGEND	
	Available
	Occupied
	Leased (not occupied)
	Owned by Others
	Site Boundary



DISCLAIMER - This site plan is for general information purposes only and is not intended to constitute representations and warranties by Landlord as to the ownership of the real property depicted herein or the identity or nature of any occupants thereof.

PHILLIPS EDISON & COMPANY





VILLAGE OF HOFFMAN ESTATES

AN ORDINANCE AMENDING SECTION 8-3-22, NUMBER OF LICENSES OF ARTICLE 3, ALCOHOLIC LIQUORS, OF THE HOFFMAN ESTATES MUNICIPAL CODE (DECREASE THE NUMBER OF CLASS A LICENSES FOR BABY VEGAS CAFÉ LLC DBA BABY VEGAS, 138 A W. HIGGINS ROAD, HOFFMAN ESTATES, IL AND INCREASE THE NUMBER OF CLASS A LICENSES FOR ANNA'S CAFÉ-HOFFMAN LLC DBA BABY VEGAS, 138 A W. HIGGINS ROAD, HOFFMAN ESTATES, IL)

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook County, Illinois, as follows:

Section 1: That Section 8-3-22, NUMBER OF LICENSES, of the Hoffman Estates Municipal Code be and the same is hereby amended to read as follows:

The number of licenses issued to persons for the sale of alcoholic liquors by the Village of Hoffman Estates shall be limited to sixty two (62) Class "A" licenses, two (2) Class "AA" licenses, one (1) Class "AC" license, fifteen (15) Class "B" licenses, unlimited Class "C" licenses, three (3) Class "D" licenses, two (2) Class "DD" licenses, one (1) Class "DJ" license, zero (0) Class "F" license, one (1) Class "G" license, unlimited Class "H" licenses, one (1) Class "I" license, fourteen (14) Class "LC" licenses, thirteen (13) Class "J" licenses, and one (1) Class "P" license.

Section 2: That any person, firm or corporation violating any of the provisions of this Ordinance shall be subject to a fine of not less than Ten Dollars (\$10.00) nor more than Five Hundred Dollars (\$500.00) for each offense, and a separate offense shall be deemed committed on each day during or on which a violation occurs or continues.

Section 3: That the Village Clerk is hereby authorized to publish this Ordinance in pamphlet form.

Section 4: That this Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2023

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
Trustee Patrick Kinnane	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2023

Village President

ATTEST:

Village Clerk
Published in pamphlet form this _____ day of _____, 2023.