



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT NUMBER: PLN23-0024
PROJECT NAME: LOVA Cannabis Dispensary
ADDRESS/LOCATION: 1795 N Barrington Road
REQUEST: Site Plan Amendment and Special Use for Cannabis Dispensary
OWNER: Ala Carte Entertainment II LP
APPLICANT: 24th Regiment - Latino Veterans' Unit LLC - dba LOVA
PROPERTY SIZE: 1.85 Acres
ZONING / LAND USE: B-2 Community Business; currently vacant, formerly TGI Fridays
ADJACENT PROPERTIES: NORTH: B-2 (Steak 'n Shake)
SOUTH: R-3 (vacant hospital property)
EAST: B-2 (Moretti's Unique Events)
WEST: Cook County Forest Preserve / Barrington Road ROW
PZC MEETING DATE: 7/5/2023
PUBLIC HEARING: YES
STAFF ASSIGNED: Kevin Anderson, Associate Planner

REQUESTED MOTION

Request for Site Plan Amendment and Special Use to 24th Regiment - Latino Veterans' Unit LLC (dba LOVA) to permit a cannabis dispensary at 1795 N. Barrington Road.

SUMMARY

The subject property is improved with a 7,300 square foot former TGI Fridays restaurant which has been unoccupied since 2015. The property is zoned B-2 Community Business. The Petitioner, lessee of the property, is proposing to subdivide the building and operate a cannabis dispensary from one of the tenant spaces. Pursuant to Section 9-11-2-B of the Hoffman Estates Zoning Code, a cannabis dispensary requires a Special Use in order to operate.

BACKGROUND

The State of Illinois approved the Cannabis Regulation and Tax Act (CRTA) in 2019 which allows the sale and adult use of cannabis products. In anticipation of this legislation, the Village approved Ordinance 4772-2019 which amended the Zoning Code to establish a Cannabis Dispensary Overlay District. The district covers three specified areas of the community in which cannabis dispensaries are permitted to operate with a special use. In addition to the special use standards outlined in the Zoning Code, cannabis dispensaries are subject to the following restrictions as outlined in Section 9-11-2-B:

1. Cannabis dispensaries shall operate in strict compliance with Illinois law.
2. The number of special use permits issued for a cannabis dispensary by the Village of Hoffman Estates shall be limited to three.
3. A copy of any security plan required by Illinois law shall be submitted at the time the special use permit application is filed.
4. No consumption of cannabis in any form shall be permitted on the cannabis dispensary site.
5. A cannabis dispensary shall not operate between the hours of 10:00 p.m. and 6:00 a.m. seven days a week.

The subject property is within the Village's Cannabis Dispensary Overlay District Area 2 – Barrington Road Corridor. This is the third request for a cannabis dispensary in the Village. The Village Code restricts the total number of cannabis dispensaries to three.

ANALYSIS

- The Petitioner is 24th Regiment – Latino Veterans' Unit LLC, a group of veterans of the US armed forces who qualify as Social Equity Applicants under Illinois State law, along with PI Illinois LLC, a subsidiary of Pioneer Interest Inc. Pioneer Interests operates several existing cannabis businesses in Colorado under the name LOVA Canna Co. The two have paired as joint owners for this application. The daily business operations would be managed by Pioneers Interests under the business name LOVA.

Business Operations

- The Petitioner has submitted an operations plan and security plan which are in compliance with the requirements of the CRTA and the Village Code.
- The dispensary would sell cannabis and cannabis infused products for adult use. This facility would not specialize in medical sales but would honor medical cards as required by the State law.
- Hours of operations are limited by the Zoning Code to between 6:00 a.m. and 10:00 p.m. The Petitioner's operations plan identifies they would not open at this location until 8:00 a.m.
- The dispensary will have between 6 and 17 employees working at all times depending on weekly and seasonal peak times. This includes 1 to 2 security guards on duty at all times.
- The tenant space is approximately 5,300 square feet. In accordance with the CRTA, the space is divided between public, semi-public, and private access areas. There are limited accessories on display for customers to peruse but no cannabis products are sold off the shelf.
- The floor plan includes a vault for storage of products as required by the State law.
- Security personnel would always be on site during operating hours and there are multiple monitoring and alarm systems proposed for after hours. The Petitioner and his security consultant will be required to meet with the Chief of Police prior issuance of a business license.

Site Plan and Parking

- The main building and related parking lot were approved in 1994. The site plan and structure complied with the Zoning Code and Subdivision Regulations at the time it was constructed. Since that time, the Village Code, the Americans with Disabilities Act, and the Illinois Accessibility Code have all evolved and the site is no longer compliant with the code updates. As part of this request, the Petitioner has submitted plans to bring property up to the current Code requirements. The site changes require Site Plan Amendment approval in addition to the Special Use for a cannabis dispensary.
- The building envelope would remain the same. The existing structure is approximately 7,300 square feet.
- There are currently 137 parking spaces on site. The parking would be reconfigured slightly and would result in 123 parking spaces remaining. The Village does not have specific parking guidelines for cannabis dispensaries. If the entire building were utilized for retail businesses, the Code guidelines indicate 29 spaces should be provided. Staff has no concerns with the parking provided since it far exceeds the recommendations for retail space.
- One electric vehicle charging station would be provided.
- A crosswalk would be added to provide pedestrian access to the site. The crosswalk would extend from the existing sidewalk located on the north side of the private drive aisle north of the site and through the parking lot to the building. Two parking spaces would be eliminated from the northeast side of the site to accommodate the crosswalk.
- The floor plan includes a remaining 2,000 square foot retail space which does not have a use identified at this time. The underlying B-2 zoning would regulate the future use of this space.
- The original landscape and lighting plans are generally in compliance with the Code and the Petitioner proposes to re-establish the plans. Some of the lighting fixtures must be replaced and some of the original trees were removed and must be replanted.
- The typical customer at the dispensary would not be selecting and purchasing their products at the store. The Petitioner notes that their dispensaries have a robust online ordering platform and this is the way the majority of customers place their orders. This allows customers to retrieve their prepared order which reduces the amount of time customers are actually in the store compared to other retail establishments.
- The plans include attached signs on the north and west faces of the building, as allowed by Code.

STANDARDS FOR A SPECIAL USE

No special use shall be recommended by the Planning and Zoning Commission unless said Planning and Zoning Commission shall find:

1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;

3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
4. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;
5. That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets; and
6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Planning and Zoning Commission.

The petitioner has addressed these standards in their application.

NOTIFICATION

A public notice was published in the Daily Herald 15 days prior to the hearing. Standard notification letters have been sent to surrounding properties within 300 feet. A Notice of Public Hearing sign was placed on the property 10 days prior to the Planning and Zoning Commission hearing. No objections have been received at the time of this report.

RECOMMENDED CONDITIONS

If the Planning and Zoning Commission recommends approval of the request, staff recommends the following conditions be included:

1. The Special Use to operate a cannabis dispensary shall be granted solely to 24th Regiment - Latino Veterans' Unit LLC (dba LOVA), as a designated State licensee.
2. The dispensary shall operate at all times in compliance with the Illinois Cannabis Regulation and Tax Act and all restrictions of the Village's Municipal Code.
3. The dispensary operations shall significantly conform to the Project Narrative included as part of the Petitioner's application.
4. A building permit is required.
5. The Special Use shall be established within one year from the date of granting by the Village Board or the special use shall be revoked.
6. The Petitioner and security representatives shall meet with the Chief of Police prior to issuance of a business license.
7. Engineering plans shall be revised to identify the relocated crosswalk. Final grades and details of the crosswalk shall be included on the plans.
8. An engineer's analysis of the sidewalk along the Restaurant Mall access road shall be provided. The sidewalk shall be improved in a manner acceptable to the Director of Development Services.

Attachments: Petitioner's Application and Submittal
Location Map

1795 N Barrington Road

PIN: 07-07-100-027-0000



Legend

-  Subject Property
-  Parcels
-  Village Boundary



Planning and Transportation Division
Department of Development Services

June 2023



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING GENERAL APPLICATION

PROJECT NAME: 24th Regiment- Latino Veterans' Unit LLC dba Lova Hoffman Estates

ADDRESS: 1795 N. Barrington Road, Hoffman Estates, IL 60169

PROPERTY INDEX NO.: 07-07-100-027-0000

PROPERTY ACRES: 1.7750918 Acres **ZONING:** B-2 Community Business District

PROJECT DESCRIPTION: Adult Use Cannabis Dispensary- Remodeling and construction updates

REQUESTS BEING MADE (check all that apply):

Application Type	Subtype	Addendum
<input type="checkbox"/> ANX - Annexation	N/A	N/A
<input type="checkbox"/> MSP - Master Sign Plan	<input type="checkbox"/> New <input type="checkbox"/> Amendment	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> PLAT - Subdivision	<input type="checkbox"/> Non-Residential Preliminary <input type="checkbox"/> Non-Residential Final <input type="checkbox"/> Non-Residential Preliminary/Final	<input type="checkbox"/> Residential Preliminary <input type="checkbox"/> Residential Final <input type="checkbox"/> Residential Preliminary/Final N/A
<input type="checkbox"/> PLAT - Other	Type _____	N/A
<input type="checkbox"/> RPD Amendment	N/A	N/A
<input type="checkbox"/> REZ - Rezoning	From _____ to _____	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> SPR - Site Plan Review	<input type="checkbox"/> Preliminary Concept <input type="checkbox"/> Preliminary	<input type="checkbox"/> Final <input type="checkbox"/> Preliminary/Final <input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> SPA - Site Plan Amendment	<input type="checkbox"/> Staff Review <input type="checkbox"/> Administrative Review	<input type="checkbox"/> Minor Amendment <input type="checkbox"/> Major Amendment <input type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> SU - Special Use	<input checked="" type="checkbox"/> Listed Use (please list) <u>Adult Use Cannabis Dispensary</u>	<input type="checkbox"/> Use Not Cited (please list) _____ <input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> TA - Text Amendment	<input type="checkbox"/> Subdivision Code <input type="checkbox"/> Zoning Code	<input type="checkbox"/> Other (please list) _____ N/A
<input type="checkbox"/> VAR - Variation	<input type="checkbox"/> Non-Residential <input type="checkbox"/> Residential <input type="checkbox"/> Sign	<input type="checkbox"/> Yes <input type="checkbox"/> No

I. Owner of Record

A La Carte Entertainment

A La Carte Entertainment

Name

Company

2330 Hammond Drive Suite G

Schaumburg

Street Address

City

IL 60173

847-456-6169

mark@aceplaces.com

State

Zip Code

Telephone Number

Email

II. Applicant (if not the owner)

Matthew Shifrin

24th Regiment- Latino Veterans' Unit LLC

Name

Firm/Company

2042 Arapahoe Street

Denver

Street Address

City

CO 80205

720-276-0304

JHamp@LovaCo.com

State

Zip Code

Telephone Number

Email

Applicant's relationship to property: Owner for 24th Leasing- Property

III. Authorized Agent on Behalf of the Owner of Applicant or (Contact Person/Project Manager)

Jennifer Hamp

24th Regiment- Latino Veterans' Unit LLC

Name

Firm/Company

2042 Arapahoe Street

Denver

Street Address

City

CO 80205

720-276-0304

JHamp@LovaCo.com

State

Zip Code

Telephone Number

Email

IV. Owner Consent for Authorized Representative

It is required that the **property owner or designated representative** be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. **If the owner cannot be present at the meeting, the following statement must be signed by the owner:**

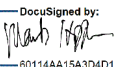
I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize the following person(s)/firm(s) to act on my behalf and advise that he/she has full authority to act as my/our representative.

Name/Firm

Name/Firm

Name/Firm

Name/Firm

DocuSigned by:

80114AA15A3D4D1...

Mark Hoffmann

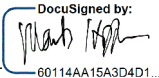
Owner Signature

Print Name


IV. Acknowledgement(s)

- Owner, applicant and authorized representatives may include other team members (consultants, brokers, tenants, etc.) that may be called upon to present at public meetings before the Planning and Zoning Commission and Village Board.
- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

The Owner and Applicant, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature: _____  _____
60114AA15A3D4D1...

Owner's Name (Please Print): Mark Hoffmann

Applicant's Signature: _____  _____
(If other than Owner)
D0638AC2866343A...

Applicant's Name (Please Print): Matthew Shifrin

Date: 4/10/2023

IV. Application and Document Submittals

All required application materials should be submitted to the Planning & Transportation Division in electronic format via email to planning@hoffmanestates.org. Staff will notify the applicant if full size plan submittals are also required for a particular project review. Submittal requirements can be found in Subdivision Code, Section 10-6 of the Village's Municipal Code.

All applications fees must be paid before the Planning and Zoning Commission can hear any case.

Please contact the Planning & Transportation Division with any questions:

Email: planning@hoffmanestates.org
 Address: 1900 Hassell Road
 Hoffman Estates, IL 60169
 Phone: (847) 781-2660



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING SPECIAL USE ADDENDUM

REQUIRED SUBMITTALS

X	General Application
X	Hearing Fee \$500 Listed use \$750 All other uses not listed
X	Legal Description typically found on the tax bill, deed, or plat of survey.
X	Current Plat of Survey
X	A scaled drawing of the floor plan and elevations, including windows and door locations.
X	A project narrative detailing the use, hours of operation, parking demand, etc. Relevant plans, studies and any other documents are required to be submitted to support this request. Village Staff may require additional information to be submitted.
X	A written response to each of the Standards for a Special Use

NOTE: All Special Use applicants are responsible for posting a notification sign(s) on the subject property 10 days before the Planning and Zoning Commission hearing and removing the signs 10 days after final Village Board action. Specific requirements will be provided by the assigned Village Staff member.

*****Legal description*****

LOT 3 OF THE RESTAURANT MALL SUBDIVISION, BEING A SUBDIVISION OF PART OF THE NORTHWEST FRACTIONAL QUARTER OF SECTION 7, TOWNSHIP 41 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS

*****NOTE*****

Kevin, above is the legal description you sent, below is the description we received from the property owner. We wanted to include both just in case!

PARCEL 1:

LOT 3 IN RESTAURANT MALL BEING A SUBDIVISION OF PART OF THE NORTHWEST FRACTIONAL QUARTER OF SECTION 7, TOWNSHIP 41 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT NUMBER 04016244, IN COOK COUNTY, ILLINOIS. EXCEPT THAT PART OF LOT 3 CONVEYED BY CNL/TGIF JOINT VENTURE X, A FLORIDA GENERAL PARTNERSHIP CONSISTING OF TGI FRIDAYS, INC. AND CNL INCOME AND GROWTH FUND V, LTD., OF THE COUNTY OF ORANGE, STATE OF FLORIDA AND THE PEOPLE OF THE STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION, BY WARRANTY DEED RECORDED JULY 17, 2003 AS DOCUMENT 0319819053.

STANDARDS OF A SPECIAL USE

Zoning Code Section 9-3-9-M-13 requires that the Planning and Zoning Commission shall, in making its determination, find that adequate evidence is provided to meet the Standards of a Special Use. All standards must be answered in full.

1. The establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare. Please provide an explanation on how the request meets these standards.

We will ensure while operating that we hold ourselves to the highest standards of operation, including keeping the premises clean, following all laws and regulations regarding adult use cannabis, engaging in community happenings, establishing a complaints procedure that ensures we're in line with the communal needs, and will ensure that we keep our operations above board and transparent at all

2. The Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. Please provide an explanation.

We will make the necessary repairs and changes to the property to improve it's current standing, ensure all grounds are maintained and regularly cleaned, we will ensure our odor control is top notch, and complete check ins with the surrounding areas to complete any areas of suggested improvements.

3. That the establishment of the Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. Please provide an explanation.

Being a single property, we will ensure that we offer support in any way possible and that we maintain an environment to prevent any negative impacts on the development of any other businesses or properties around us.

4. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided. Please provide an explanation.

All drainage, roadways, necessary facilities, and utilities are currently in place in the existing structure and property.

5. That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets. Please provide an explanation.

We will provide more than adequate parking to ensure that public roadways are not impacted by our traffic, with easy in and out access to the store, and quick purchasing turn around times to rotate our consumers through.

6. That the Special Use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Planning and Zoning Commission. Please provide an explanation.

We will ensure at all times that we are following all required state and local regulations that pertain to the operation and licensing of an adult use cannabis dispensary. A regulatory break down is provided that outlines the rules and regulations so they can be followed quickly, efficiently, and without fail. Team members will receive training on these regulations to ensure they're understood across the board.



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION SITE PLAN ADDENDUM – NON-RESIDENTIAL

Amendment Concept Preliminary Final

I. DESCRIPTION OF PROJECT:

A. ATTACH A NARRATIVE FOR THE PROPOSED PROJECT ON A SEPARATE SHEET

- ✓ Article 10-6 of the Subdivision Code details the application process and required submittal documents. For relevant items, provide detailed information as part of the project narrative.

B. Total Number of Buildings: 1

C. Total Gross Floor Area: 6,800 square feet

D. Height of tallest building (including antennas, hvac, etc.): 55 feet *at tallest point, 20ft around the building*

E. With respect to this project’s compatibility with adjacent land uses, address the following in the Project Narrative: Building Scale, architectural Materials, Coordinated Color Scheme, Existing and Planned Areas of Visual Interest, Design Concept and Relationship of Building Materials to one another.

F. Estimated start of construction: July 2023

G. Estimated time to complete development: 2-3 Months
Attach a phasing schedule, if applicable.

H. Does the property contain flood plain lands or wetlands? Yes No
If yes, please address as part of the narrative.

I. Is there any historical or archeological significance to the existing structures or features of this site or the surrounding sites? Yes No
If yes, please address as part of the narrative.

J. Are there any endangered, threatened, or unique plants or animals located in or near the area? Yes No
If yes, please address as part of the narrative.

II. OPERATIONAL CONSIDERATIONS

A. Anticipated hours of operation: 7:00AM am/pm to 10:00PM am/pm

B. Anticipated number of employees: 10-15 total 6-7 per shift 2 number of shifts

C. Estimated number of customers: 200 daily 35-40 peak hour

D. If there is any additional information about the proposed development or its operation that may affect the site development, address as part of the narrative.

III. FINANCIAL CONSIDERATIONS

A. Estimated annual gross sales of general merchandise subject to sales tax for this project (includes 1% local share of state tax and 1% home rule tax):

Gross Sales (General)		Tax Rate		General Sales Tax
\$7,000,000.00	X	2%	=	\$140,000.00

B. Estimated annual gross sales subject to food and beverage (F & B) tax for this project (food prepared on premises and alcoholic beverages consumed on premises). See article 13-7 of the Hoffman Estates Municipal Code for detailed definition:

Gross Sales (F & B)		Tax Rate		F & B Tax
0	X	2%	=	\$0

C. Estimated Annual Hotel Tax: 365 Days X

Estimated Average Room Rate		Number of rooms		Occupancy Percentage		365 Days		Tax Rate		Hotel Tax
0	X		X		X		X	6%	=	\$0

D. Other tax/revenue:
(Entertainment tax = 6%, etc.)

		Rate		Tax
\$7,000,000.00	X	29%	=	\$2,030,000.00

E. Estimated Annual Telecommunications (TC) Tax:

Estimated Yearly Phone Bill		Tax Rate		TC tax
\$3,600.00	X	6%	=	\$216.00

F. Current assessment of the property: \$N/A

G. Estimated value of Construction: \$750,000.00

H. Will this project result in any unusual expenditure of public funds or requirements for public services in anyway? Yes No

If yes, please address as part of the narrative.

IV. TRAFFIC CONSIDERATIONS

A. Parking

1. Total number of parking spaces to be provided:

Employees: 5 Customers/Visitors: 10 Handicapped: 2 Total: 17+

2. When is the peak parking period for this project?

4-7pm

3. Will this project share parking spaces with other businesses? Yes No

If yes, please address as part of the narrative.

B. Traffic

1. Estimated number of vehicles entering and exiting this site during the peak one hour period between 4:00 p.m. and 6:00 p.m. 25-30

2. Will there be any other peak traffic times for this project? Yes No

If yes, give the time(s) of day and traffic volume: _____

3. Will this project contain a drive through? Yes No

If yes, the project narrative should address order processing time, projected stacking demand, and other details to explain the operation.

C. Deliveries

1. The project plan submittal should include turning templates to show all routes to be used for making deliveries to and from site. Is this plan included? Yes No

2. How often will deliveries be made on site? 2-3 times a week

2. What is the frequency and time period expected for deliveries? 2-3 times a week, 15-20 minute long visits

3. What is the largest delivery vehicle to be used and its size?

Vehicle Type	Size	check	
Single Unit truck	30 ft.	<input type="checkbox"/>	<input type="checkbox"/>
Intermediate Semitrailer	50 ft.	<input type="checkbox"/>	<input type="checkbox"/>
Large Semitrailer	55 ft.	<input type="checkbox"/>	<input type="checkbox"/>
Other		<input type="checkbox"/>	<input type="checkbox"/>

Unknown

If the delivery truck used fits into the "Other" category, please specify type, size and turning radius: Unknown vehicle types from other companies

- D. Any additional site related traffic information not covered above? Yes No
 If yes, please address as part of the narrative.

V. RECYCLING AND GREEN INITIATIVES

- A. Article 9 of The Municipal Code of the Village of Hoffman Estates requires that businesses maintain an effective recycling program. Address any unique recycling plans as part of the project narrative.
- B. The Village supports and promotes sustainability. Please address any planned green or sustainability initiatives as part of the narrative.
- C. Do you anticipate submitting this project for LEED certification (or any other similar certifications)? Yes No
 If yes, please address as part of the narrative.

VI. GENERAL CONSIDERATIONS

- A. Please list examples of similar uses (including name and location) in the area that can be used for comparison by the Village:

1. Verilife Dispensary- 150 Barrington Rd, Schaumburg, IL
2. Sunnyside Cannabis Dispensary- 1739 E Golf Rd, Schaumburg, IL
3. _____

- B. Will this project contain any noise generators that will adversely affect surrounding areas?
 Yes No
 If yes, please address as part of the narrative.

C. Is there anything included in this project that may be sensitive to surrounding noise generators?

Yes No

If yes, please address as part of the narrative.

D. Do you intend to apply for a liquor license? Yes No

If yes, please contact the Village Clerk's Office at 847.781.2625

E. Will this project contain a cafeteria or food service area (in order to determine applicability of a sewer and water surcharge)? Yes No

If yes, please address as part of the narrative.

F. In the project narrative, please list and explain anything involved in this project that is not covered in this application that should be brought to the Village's attention. Also address any rare or unusual circumstances or needs related to this project.

Please contact the Planning Division with any questions:

Email: planning@hoffmanestates.org

Address: 1900 Hassell Road
Hoffman Estates, IL 60169

Phone: 847.781.2660

Fax: 847.781.2679

PROJECT NARRATIVE:

**24TH REGIMENT – LATINO
VETERANS’ UNIT LLC. DBA
LOVA HOFFMAN ESTATES**

**2330 HAMMOND DRIVE SUITE G,
SCHAUMBURG, IL**

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5.4	That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;	14
5.5	That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;	15
5.6	That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets.	15
5.7	That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Planning and Zoning Commission.	15
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SECTION 1 - LEGAL DESCRIPTION

LEGAL DESCRIPTION:

PARCEL 1:

LOT 3 IN RESTAURANT MALL BEING A SUBDIVISION OF PART OF THE NORTHWEST FRACTIONAL QUARTER OF SECTION 7, TOWNSHIP 41 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT NUMBER 04016244, IN COOK COUNTY, ILLINOIS.

EXCEPT THAT PART OF LOT 3 CONVEYED BY CNL/TGIF JOINT PARTNERSHIP CONSISTING OF TGI FRIDAYS INC. AND CNL INCOME AND GROWTH FUND V, LTD., OF THE COUNTY OF ORANGE, STATE OF FLORIDA AND THE PEOPLE OF THE STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION, BY WARRANTY DEED RECORDED JULY 17, 2003 AS DOCUMENT 0319819053.

PARCEL 2:

EASEMENT FOR INGRESS AND EGRESS OVER OUTLET D FOR THE BENEFIT OF PARCEL 1 AS CREATED BY THE RESTAURANT MALL SUBDIVISION AND DECLARATION OF COVENANTS AND RESTRICTIONS RECORDED AS DOCUMENT NUMBER 04071137.

SECTION 2 - DESCRIPTION OF INTERESTED PARTIES

The Company will implement rigorous operational controls for cultivation, procurement, packaging and labeling, inventory, and storage to ensure the consistency of our products [§17:30-11.4(b)].

2.1 24TH REGIMENT – LATINO VETERANS’ UNIT LLC DBA LOVA HOFFMAN ESTATES

24th Regiment – Latino Veterans’ Unit LLC ("24th Regiment"), operating under the trade name LOVA Hoffman Estates ("LOVA"), is a business owned by a group of proud veterans of the US armed forces who qualify as Social Equity Applicants under State law. The company is comprised of Javier Cervantes, Jarvis Freeman, Eva Hernandez, Francisco Nunez, and Jose Amador Loera, who collectively own 55% of the business. Additionally, the remaining 45% is owned by PI Illinois LLC, a wholly owned subsidiary of Pioneer Interests Inc. ("Pioneer"), a renowned vertically integrated cannabis operator based in Colorado.

The partnership between the members of 24th Regiment and Pioneer entails the licensing of Pioneer's intellectual property for LOVA's dispensary operation, known as LOVA Canna Co. Pioneer also provides comprehensive support throughout the application process, licensing procedures, design and permitting, construction, and day-to-day operations of the business. Pioneer's involvement as an operating partner stems from its commitment to the mission of Growing Plants, People, and Community.

At LOVA, our primary focus is to establish a safe, compliant, and diversion-free operation. We achieve this by enlisting top security experts, implementing state-of-the-art equipment, and continually training and retraining our teams to reinforce strict dispensing protocols and procedures. Our unwavering dedication to safe and compliant practices aims to prevent the diversion of cannabis and cannabis products to underground markets and vulnerable populations, particularly socio-economically challenged children and individuals struggling with substance abuse. We take immense pride in our spotless compliance and operational record, which has established us as one of the leading operators in Colorado.

Under the LOVA brand, we strive to bridge the gap between the traditional "legacy" and modern "third wave" retail experiences of cannabis. We are committed to offering the highest quality products at competitive prices, consistently delivering exceptional customer service, and cultivating a welcoming atmosphere. Our customer-first approach ensures that every dispensary experience at LOVA surpasses expectations.

At LOVA, we believe in employing a diverse and passionate team that is deeply connected to the community. We empower our team members to embody our mission of Growing Plants, People, and Community by providing ongoing skill development and higher education opportunities. We also offer avenues for career advancement within our company and allocate time for community service initiatives. By nurturing our team's growth and involvement, we create a positive impact that resonates throughout our community.

When selecting store locations, LOVA carefully considers the community's needs, the preferences of our customers, and the values of the towns we serve. We aim to establish our stores in areas where we can best support the community and align with its values.

2.2 PIONEER INTERESTS INC.

Established in 2017 by Matthew Shifrin and Amanda Fox, Pioneer Interests Inc. ("Pioneer") was created with the goal of building one of Colorado's premier cannabis enterprises. The founders joined forces with their childhood friend, Sean McMechen, a highly successful cannabis cultivator in Colorado, and enlisted the expertise of Brett Blundy, a globally recognized retail industry leader, as their business partner and advisor. Together, they embarked on their journey, starting with four stores and a small cultivation facility.

Since its inception, Pioneer has experienced remarkable growth and is now recognized as one of the largest vertically integrated cannabis operations in Colorado. With its flagship brands, Natty Rems and HAZE Silver, Pioneer has become the #1 wholesaler of Flower products in the state and holds the second-largest market share for Live Resin Cartridges.¹ In addition to these accomplishments, Pioneer manufactures and sells a diverse range of flower, concentrates, vaporizer cartridges, and edible products.

Pioneer has also expanded its presence in the retail sector, owning and operating nine stores in Colorado under the LOVA Canna Co. brand. LOVA is dedicated to bridging the gap between the traditional "legacy" cannabis retail experience and the modern "third wave" approach. The brand's commitment lies in providing customers with the highest quality products at competitive prices, while consistently delivering exceptional customer service and fostering a welcoming atmosphere.

Through a combination of strategic partnerships, operational excellence, and a focus on customer satisfaction, Pioneer has solidified its position as a leader in the Colorado cannabis market. The company's dedication to quality, innovation, and customer experience has been instrumental in its growth and success.

Pioneer goes beyond its achievements as a leading cannabis enterprise by providing comprehensive operational support, intellectual property licensing, day-to-day assistance, and financing solutions to its partners. With extensive industry knowledge and expertise, Pioneer

¹ Leaflink Marketscape 5/2023

offers guidance throughout all stages of business operations, allowing partners to leverage its established intellectual assets. Additionally, Pioneer's operational support ensures smooth and efficient day-to-day operations, covering areas such as inventory management, compliance, quality control, and customer service. Furthermore, Pioneer provides financing options to help partners overcome financial barriers and fuel their growth. Through this holistic approach, Pioneer empowers businesses to thrive in the competitive cannabis landscape while contributing to the industry's overall success.

2.3 ALA CARTE ENTERTAINMENT

Ala Carte Entertainment, the esteemed operator of popular restaurants, pubs, nightclubs, and unique private event venues in Chicagoland, which includes popular establishments like Buddys Bites N Brews, Chandlers, Drink, Finns, Freddie's, LPs Taphouse, Morettis, and Snuggery River Roadhouse, proudly extends its support as the landlord and business partner for LOVA Hoffman Estates. With a team of expert hospitality professionals, Ala Carte Entertainment has a proven track record of delivering exceptional dining, entertainment, and private event experiences to thousands of customers in the Chicago area.

As a family-run business founded in 1970 by Fred Hoffmann, Ala Carte Entertainment has a rich history and deep ties to the local communities. Fred's sons, Mark and Dean Hoffmann, actively contribute to the company's growth and community service. With their extensive experience, Ala Carte Entertainment brings a wealth of knowledge and expertise to the table, making them a supportive and reliable landlord for LOVA Hoffman Estates.

As LOVA Hoffman Estates' business partner and landlord, Ala Carte Entertainment offers not only a prime location but also invaluable support and guidance. Their established presence in the hospitality industry, combined with their commitment to customer satisfaction, positions them as a reliable and trusted partner for LOVA's success. With Ala Carte Entertainment's support, LOVA Hoffman Estates can focus on providing exceptional cannabis dispensary services while leveraging the expertise and resources of an industry leader and community supporter.

To learn more about Ala Carte Entertainment and its portfolio of brands, visit their website and explore the diverse offerings that make them a staple in the Chicagoland hospitality scene.

SECTION 3 - OUR BUSINESS

LOVA Hoffman Estates is a licensed cannabis dispensary committed to operating in full compliance with state regulations and industry best practices. Our core values and guiding principles shape our mission to provide a professional and compliant business that prioritizes effective communication with regulatory partners at the State of Illinois. As a social equity-driven, veteran-owned establishment, we strive to be a model of excellence in the adult-use cannabis industry.

Within our team, we foster a positive environment that promotes integrity, community service, and continuous education. By upholding high standards of business conduct and employee engagement, we ensure a world-class customer experience. Our goal is to offer a diverse range of quality products and services that meet the unique needs of our customers.

Located in a secure and welcoming facility, LOVA Hoffman Estates maintains a commitment to safety while incorporating state-of-the-art and environmentally friendly utilities. Through

efficient operations and adherence to strict compliance protocols, we aim to set a standard for responsible and compliant cannabis retail.

In summary, LOVA Hoffman Estates is dedicated to delivering a compliant and customer-centric experience. As a socially responsible, veteran-owned dispensary, we prioritize effective communication with regulatory partners, uphold integrity within our team, and offer a wide selection of high-quality products and services. Our focus on compliance and a welcoming environment ensures that LOVA Hoffman Estates is a trusted destination for adult-use cannabis in Hoffman Estates.

3.1 LOVA CANNA CO.

LOVA Canna Co. has established itself as one of the premier cannabis dispensary operations in Colorado, a market known for its formidable challenges and strict regulations. The fact that LOVA has thrived in this highly competitive environment underscores its commitment to excellence and ability to navigate complex operating landscapes successfully.

A key factor contributing to LOVA's success has been its proficiency in both greenfield operations and strategic acquisitions. With the opening of multiple greenfield dispensaries and the acquisition of four existing locations, LOVA has showcased its capability to expand its footprint and adapt to different market dynamics. Through these acquisitions, LOVA has gained decades' worth of operational expertise, which has been distilled into a comprehensive training program for its team.

LOVA's training program is backed by a suite of standard operating procedures, ensuring that every aspect of its operations adheres to optimal compliance standards. The company goes above and beyond state and local requirements for safety and security. LOVA's facilities are equipped with state-of-the-art security and surveillance equipment, creating a safe environment for compliant dispensing.

The commitment to compliance has yielded exceptional results for LOVA. Throughout its years of operation, the company has never received a negative mark on compliance from state and local regulators. This track record has earned LOVA recognition and the opportunity to collaborate with local and state officials. For instance, during the COVID-19 pandemic, LOVA actively assisted the Governor's cannabis task force in implementing safe and compliant dispensing activities. This support ensured that as an "essential service," dispensaries could continue operating during lockdowns.

LOVA prioritizes attracting top talent and providing comprehensive training to its team members. This focus on talent development ensures compliant operations, extensive product knowledge, and outstanding customer service and satisfaction. The dispensary surpasses customer expectations by offering a diverse selection of high-quality products that cater to different price tiers, meeting the needs of a wide range of customers. Additionally, LOVA implements various promotions and has an award-winning loyalty program to further support and engage its customer base.

Given LOVA's extensive experience, exceptional operations, and track record of success, LOVA Hoffman Estates stands as an outstanding candidate for a cannabis dispensary license in Hoffman Estates. The company's dedication to compliance, customer satisfaction, and operational excellence positions LOVA as a valuable addition to the community.

SECTION 4 - OPERATIONS

LOVA's operations are driven by its mission of Growing Plants, People, and Community, encompassing three key pillars of focus.

Plants: LOVA is committed to providing customers with the highest quality cannabis products at competitive prices. With meticulous sourcing and careful selection, LOVA ensures that its offerings meet the highest standards of excellence. The dispensary takes pride in delivering exceptional customer service, going above and beyond to create a welcoming and informative atmosphere for all visitors. By prioritizing the quality and affordability of its products, LOVA strives to exceed customer expectations and establish itself as a trusted provider in the cannabis market.

People: LOVA places a strong emphasis on developing its team members from within. The company believes in the power of experiential learning, guiding its team by example rather than solely relying on instruction. By fostering a supportive and growth-oriented environment, LOVA empowers its employees to continually expand their knowledge and skills. This dedication to ongoing development ensures that LOVA's team members are well-equipped to provide expert guidance and assistance to customers, enhancing the overall experience.

Community: LOVA is dedicated to expanding the cannabis user base through education and safe consumption practices. The dispensary prioritizes product knowledge and actively engages with customers, offering guidance and resources to ensure responsible and informed cannabis use. Additionally, LOVA is deeply committed to giving back to the local community. Through targeted initiatives that address the community's most pressing needs, LOVA seeks to make a positive impact and be a responsible corporate citizen. By aligning its efforts with the values and priorities of the community, LOVA aims to foster meaningful connections and contribute to its overall well-being.

In summary, LOVA's operations revolve around the mission of Growing Plants, People, and Community. By focusing on delivering the highest quality products, developing its team members, and actively engaging with and giving back to the local community, LOVA aims to create a holistic and enriching experience for its customers. Through its commitment to excellence, education, and community involvement, LOVA strives to be a trusted and valuable resource in the cannabis industry.

4.1 BUSINESS EXPECTATIONS

Any operator knows that predicting a store's volume is impossible, you will never get it to the dollar. That said, there is a population of approximately 480,315 people according to the most recent US Census from 2021. According to Illinois Category sales in 2022, the average Illinois resident spent \$164.72 for the year (total sales ÷ total population). Therefore, if you utilize the following equation you get $(480315 \times \$164.72) = \$79,117,487 \div 8(\text{stores}) = \$9,889,686$ / store per year in annual sales. Note this is merely an estimate and is subject to change based on number of stores, consumer behavior, out-of-state purchases, and other business factors.

4.2 HOURS OF OPERATION

Day of the Week	Open	Close
Monday-Thursday	8:00 am	10:00 pm

Friday-Saturday	8:00 am	10:00 pm
Sunday	8:00 am	7:00 pm

4.3 STAFFING

LOVA Hoffman Estates will be always staffed with 6-17 persons depending on customer traffic, seasonality, and demand. The stores staffing will include:

1 to 2 Host Team: These team members will be responsible for greeting customers, checking their state certified identification, and ensuring the customer is safe to shop for all persons entering the dispensary.

1 to 2 Security Guards: There will be always at least 1 Security Guard on hand. There will be times where we increase the number of guards, depending on the customer forecast for the business day. These days which may require increased security include weekends, holidays, and special events.

1 to 4 Fulfillment Specialists: These team members will work in the back vault area and will be responsible for picking, packing, and providing final product.

2 to 8 Budtenders: These team members are responsible for interacting with customers and answering any questions regarding the products and their effects. These team members will assist with product selection and will communicate the final merchandise selection to the fulfillment team.

1 Shift Lead: The Shift lead acts as an Agent in Charge or Manager on Duty when the General Manager is not working.

1 General Manager: The General Manager is responsible for overseeing any and all operational needs for the daily operations of the dispensary.

4.4 APPEARANCE

LOVA Hoffman Estates will operate from a retail facility spanning approximately 5,232 square feet. Within this space, a dedicated showroom, consultation office, and future retail area will encompass approximately 2756 square feet, providing a welcoming and interactive environment for customers. The remaining 2476 square feet will be allocated to limited access and restricted areas within the dispensary.

Among these restricted areas, a secure vault of 524.5 square feet will be designated for the safe storage of cannabis, cannabis products, and currency. This stringent security measure ensures the utmost protection and compliance within the facility. LOVA Hoffman Estates has carefully planned its floor layout to facilitate smooth customer flow, allowing for efficient ingress and egress. The design also prioritizes educational customer interactions, fostering an environment conducive to providing the highest level of satisfaction.

The overall facility design is strategically crafted to optimize security, safety, and comfort for both customers and employees. LOVA Hoffman Estates places paramount importance on ensuring a secure environment while maintaining a welcoming atmosphere. By integrating state-of-the-art security systems, adherence to regulatory guidelines, and meticulous attention to

customer experience, LOVA Hoffman Estates creates a space that instills confidence and provides a positive and enjoyable cannabis dispensary experience.

LOVA Hoffman Estates prioritizes local collaboration and adherence to regulations in the design and construction of its facility. The dispensary engaged local architects, engineers, and planners to ensure compliance with state and local building codes, including ADA, environmental barriers act, state security requirements from the IDFPR, and planning requirements from the town of Hoffman Estates. By leveraging their expertise, LOVA Hoffman Estates guarantees compliance with essential regulations and standards, ensuring accessibility, environmental sustainability, and robust security measures.

Local collaboration played a key role in meeting ADA accessibility standards, allowing individuals with disabilities to navigate the facility comfortably and inclusively. LOVA Hoffman Estates also addressed environmental barriers by incorporating eco-friendly practices and sustainable materials to minimize its environmental impact. Stringent security measures were implemented to meet state security requirements from the Illinois Department of Financial and Professional Regulation, safeguarding inventory, premises, and customer information.

Through close cooperation with the town of Hoffman Estates, LOVA Hoffman Estates aligns its operations with local planning requirements, integrating seamlessly within the community. This commitment to collaboration and compliance reflects LOVA's dedication to responsible and compliant operations. By working with local professionals and adhering to regulations, LOVA Hoffman Estates ensures a safe, accessible, and environmentally conscious space that meets the expectations and standards of the town and regulatory authorities.

4.5 SECURITY PLAN

LOVA Hoffman Estates has developed a comprehensive Security Plan that incorporates well-trained staff, proven physical security measures, industry best practices, and state-of-the-art technology. The plan demonstrates the dispensary's proactive approach to identifying and preventing unauthorized access, theft, or diversion of cannabis products. LOVA Hoffman Estates is committed to working closely with the Illinois State Police, the Illinois Department of Financial and Professional Regulation (Department), and local law enforcement to align with their security strategies and enhance overall safety.

Ensuring the safety and security of customers, employees, and the community is a top priority for LOVA Hoffman Estates. The dispensary is dedicated to operating in a responsible and deliberate manner, implementing comprehensive security measures that will be an asset to the community. LOVA Hoffman Estates recognizes the importance of collaborating with local, state, and federal law enforcement authorities, establishing open lines of communication, and fostering positive relationships to ensure cooperation in addressing potential criminal activities.

To oversee and implement the Security Plan, LOVA Hoffman Estates has engaged Silver Star Protection Group (SSPG), a team of senior security experts with extensive law enforcement experience and a proven track record in providing security services to the cannabis industry. Additionally, Forest Security Systems, Inc. (FSS), an Illinois Licensed Alarm Contractor Agency approved by Underwriters Laboratories, has been contracted to provide certification for

installed alarm systems and support with system design and equipment. Both SSPG and FSS have a wealth of experience in delivering security solutions to cannabis dispensaries in Illinois.

LOVA Hoffman Estates has designed a multi-layered Security Plan that surpasses the requirements set by the Department. Employing the "concentric circles of protection" theory, the plan utilizes various security measures, including onsite personnel, physical barriers, lighting, video monitoring, access control, intrusion detection, duress alarms, continuous electronic monitoring, alarm systems, and rigorous training. These redundant security measures ensure the safe and secure dispensing of cannabis, eliminating unauthorized access, theft, loss, and diversion.

To ensure ongoing compliance and adaptability to evolving standards, LOVA Hoffman Estates commits to regularly reviewing and updating its policies and procedures every six months, as mandated by the Department and industry changes.

In summary, LOVA Hoffman Estates has established a comprehensive and multi-layered Security Plan that prioritizes safety, exceeds regulatory requirements, and fosters collaboration with law enforcement authorities. Through the expertise of Silver Star Protection Group and Forest Security Systems, LOVA Hoffman Estates implements robust security measures to prevent unauthorized activities and ensure the secure dispensing of cannabis products. Regular review and updates of policies and procedures further demonstrate the dispensary's commitment to maintaining a safe and compliant environment.

4.6 ODOR MITIGATION PLAN

LOVA Hoffman Estates is committed to implementing effective odor management strategies to ensure minimal impact on the surrounding area. The dispensary will utilize multiple air filtration technologies, including activated carbon filtration and negative ion generation, to reduce odor and emissions from the facility. These technologies are aligned with industry best practices and compliant with all relevant state and local laws and regulations.

As responsible environmental stewards and good neighbors, LOVA Hoffman Estates will implement a comprehensive odor management and ventilation program for its proposed retail operation. The facility will not be co-located with cannabis cultivation or manufacturing facilities. The odor management strategies outlined here are designed to prevent any detectable odor and are based on proven control technologies and industry best practices.

To achieve effective odor mitigation, the dispensary will employ a combination of equipment, monitoring, and regular maintenance. Proper ventilation will be ensured, with an inline charcoal exhaust system equipped in every space containing products, including storage areas. This system will channel air through activated carbon filters, known for their ability to trap impurities and odor particles. The dispensary will use filters capable of removing 99% of odor.

LOVA Hoffman Estates will also implement an HVAC system that creates negative air pressure between the interior and exterior of the facility. This mechanism prevents cannabis odors from escaping, as air is mechanically expelled through the carbon filtration system. Negative air pressure, a well-established method in various industries, effectively manages airflow and mitigates odors, particulates, and airborne contaminants.

By employing these measures, LOVA Hoffman Estates ensures that the facility operates with minimal odor impact, meeting regulatory requirements and maintaining a responsible and

considerate approach to the local community.

4.7 DELIVERY PLAN

To ensure the secure handling of cannabis and prevent theft, loss, or diversion, LOVA Hoffman Estates has implemented a comprehensive system for deliveries. The facility features a designated secure receiving area where all transactions take place, including the delivery of cannabis, confirmation of manifests and delivery amounts, and currency exchange.

Prior to delivery, LOVA Hoffman Estates proactively communicates with the cultivator, craft grower, infuser, or transporter to review the manifest and confirm the delivery details. The transportation team is required to notify the dispensary when they are approximately 15 minutes away from the facility. This allows LOVA Hoffman Estates to prepare the location for the arrival of the delivery.

The secure receiving area, as outlined in the architectural plans, is strictly accessible to authorized personnel through employee keycard access. The area is under constant video surveillance, with a monitoring screen displaying external cameras covering the entrance. Security personnel closely monitor the location before and during delivery, ensuring a safe and smooth process.

Upon arrival, security verifies the identification of the transportation agent and reviews the manifest. They conduct a thorough inspection of the delivery vehicle, including the undercarriage, to ensure no unauthorized individuals or materials are present. The Agent-In-Charge supervises the verification of documents, payment transfer, and placement of delivered products in the appropriate locations. LOVA Hoffman Estates ensures that the information on the manifest matches the product labels and packaging.

To streamline the delivery process, LOVA Hoffman Estates has designated a dedicated area at the rear of the building specifically for deliveries. Deliveries are pre-scheduled and spaced out to allow for efficient processing and minimize security risks. With a controlled entry system preventing both doors from being open simultaneously, security measures are maximized.

During deliveries, a security guard is present at all times, in accordance with state regulations. The delivery agent from the manufacturer remains with the vehicle during the intake process. Depending on the size of the delivery, each transaction typically takes between 5 and 25 minutes, ensuring prompt and secure handling of the products.

4.8 PARKING PLAN

LOVA Hoffman Estates has developed a comprehensive parking plan to accommodate the needs of customers and employees. The facility provides a total of 123 parking spots on-site, ensuring ample parking availability for visitors. In addition to the on-site parking, there are 100 additional parking spots conveniently located around the complex, further enhancing the parking capacity.

The parking plan has been strategically designed to ensure ease of access and convenience for customers. Clear signage and designated parking spaces will be implemented to guide visitors to available parking areas. The facility will prioritize accessible parking spaces to comply with ADA requirements, ensuring accessibility for individuals with disabilities.

LOVA Hoffman Estates recognizes the importance of efficient traffic flow and has incorporated measures to optimize parking management. By providing a sufficient number of parking spots

on-site and additional spaces around the complex, the dispensary aims to minimize congestion and ensure a seamless parking experience for all customers and employees.

Overall, the parking plan at LOVA Hoffman Estates demonstrates a commitment to customer satisfaction by providing ample parking capacity, promoting accessibility, and facilitating smooth traffic flow within the facility and surrounding areas.

4.9 DISPOSAL AND DESTRUCTION PLAN

LOVA Hoffman Estates has implemented a comprehensive waste management plan in accordance with Illinois regulations to ensure the proper disposal of cannabis and cannabis products. The facility employs approved methods, as specified by the Department of Financial and Professional Regulation, to render the waste unusable. This includes the use of designated solid waste facilities, such as composting or landfill, depending on the nature of the waste.

All waste and unusable products are carefully weighed, recorded, and entered into the inventory system to maintain accurate documentation. An agent-in-charge oversees the verification process, which takes place in an area equipped with video surveillance. Electronic records of destruction and disposal are securely maintained for a minimum of five years to comply with regulatory requirements.

LOVA Hoffman Estates strictly adheres to the assigned schedule for cannabis and cannabis product waste destruction and disposal. Any recalled or returned products are also disposed of in accordance with approved procedures and documented accordingly. The facility maintains a separate storage area within its secure vault for outdated, damaged, or misbranded cannabis, ensuring proper segregation until the products are destroyed.

The storage area is meticulously maintained to prevent infestation and contamination, and all containers storing cannabis designated for disposal are clearly labeled with the necessary information. The proposed dispensary upholds strict cleanliness and sanitation practices to ensure the safe handling and storage of cannabis and cannabis products.

By following these approved waste disposal procedures, LOVA Hoffman Estates demonstrates its commitment to responsible and compliant operations, contributing to the overall integrity and safety of the cannabis industry.

4.10 ADDITIONAL REGULATORY REQUIREMENTS

In our pursuit of creating a positive impact on the community of Hoffman Estates, LOVA recognizes the importance of addressing the requirements set forth by the State and the Village. These requirements have been meticulously addressed in our proposed floor plan and security plan, as outlined in the previous sections. Additionally, our operating hours have been carefully considered to align with the regulations specified in the Village's zoning ordinance.

As part of our commitment to the community, LOVA will incorporate specific elements in the design of our dispensary. These additional requirements aim to enhance the overall experience and ensure a harmonious relationship with the local community. By incorporating these elements, we strive to create a welcoming and inclusive environment for all:

1. **Community Engagement Spaces:** LOVA will provide designated areas within the dispensary that encourage community engagement. These spaces will be designed to foster connections,

promote educational opportunities, and serve as a hub for meaningful interactions between customers, staff, and community members.

2. **Enhanced Safety Measures:** Our dispensary will prioritize the safety and well-being of our customers and staff. To achieve this, we will implement advanced security systems, including state-of-the-art surveillance equipment, secure entry points, and comprehensive employee training programs. These measures will ensure a secure environment and provide peace of mind to both customers and the community.
3. **Aesthetically Pleasing Design:** LOVA is committed to creating a visually appealing dispensary that integrates seamlessly into the local surroundings. We will work with local architects and designers to develop a design concept that blends with the existing aesthetic of the community while reflecting our brand identity. The goal is to create a space that is inviting, modern, and respectful of the community's character.

By addressing these additional requirements, LOVA aims to go beyond the basic obligations and make a positive and lasting impression on the community of Hoffman Estates. We are dedicated to creating a dispensary that not only meets regulatory standards but also contributes to the overall well-being and prosperity of the local community. Other requirements include;

Tinted Windows: All exterior perimeter windows will feature security shatterproof, tinted film to mitigate unauthorized access. Applicant will utilize tinted 3M Safety Series shatterproof security film at 14 mm thickness, providing intrusion resistance for two (2) minutes or longer. The tint reduces 60% of the heat coming through the window, filters 97% of the sun's infrared rays, and 99.9% of harmful UV light. Additionally, all windows will be equipped with Underwriters Laboratory (UL)-listed glass break security contacts that immediately report unauthorized access (410 ILCS 705/15-100(h)(1)(ii)).

Signage: To achieve Department regulatory compliance and to enhance safety, security, and efficiency of the proposed dispensary facility, the applicant will strategically deploy informational signage throughout the facility (410 ILCS 705/15-65(g)). At the entrance and in the Limited Access Area of the facility, the applicant will feature signage for the following:

- "Purchasers must remove any items that obstruct individual identification, including but not limited to: sunglasses, hats, hoods, and gloves."
- Dispensing organization license.
- Hours of operation.
- "No weapons, explosives, hazardous materials or flammable liquids."
- "No persons under the age of 21 allowed in the facility."
- "Distribution to persons under the age of 21 is prohibited."
- "Transportation of cannabis or cannabis products across state lines is prohibited."
- Cannabis purchase limits.
- "Cannabis consumption can impair cognition and driving, is for adult use only, may be habit forming, and should not be used by pregnant or breastfeeding women."
- "Edible cannabis-infused products were produced in a kitchen that may also process common food allergens."
- "The effects of cannabis products can vary from person to person, and it can take as long as two hours to feel the effects of some cannabis-infused products. Carefully review the portion size information and warnings contained on the product packaging before consuming."

All Restricted Access Areas must be identified by the posting of a sign that is a minimum of 12 inches by 12 inches that states, "Do Not Enter-Restricted Access Area-Authorized Personnel Only" in lettering no smaller than 1 inch in height.

Any and All external signage at our facility will exceed compliance with Section 9-3-8-M-10 of the Village of Hoffman Estates Municipal Code.

SECTION 5 - STANDARDS FOR CONDITIONAL USES

No special use shall be recommended by the Planning and Zoning Commission unless said Commission finds that adequate evidence is provided to meet the Special Use Standards. (Respond to each standard as it applies to your request either below or address on a separate sheet)

5.2 That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

Our facility will be safeguarded by a comprehensive 24-hour alarm and surveillance system, continuously monitored to ensure the highest level of security. As outlined in our detailed Security Plan, this system will provide video surveillance coverage of all areas, both inside and outside the dispensary. Furthermore, we will have trained security personnel on-site during all operating hours to enforce safety protocols and ensure adherence to established rules. Their presence will serve to maintain a secure environment for our staff and customers. In the event of any potential threats, our security protocol includes immediate contact with the police for swift response and resolution. Rest assured, our facility will operate like any other retail establishment, dedicated to serving the needs of the community.

5.3 That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;

Our retail operation is poised to enhance and invigorate the local economy without causing any adverse effects on the quality of life. As a destination for customers, our dispensary will drive traffic to neighboring businesses, fostering growth and prosperity. Throughout years of operating in the Illinois cannabis industry, communities have witnessed the positive impact of cannabis establishments on local businesses and property values. The specific regulations governing this type of special business, including measures like scent control and discreet signage, guarantee a harmonious and mutually beneficial relationship with the existing economic infrastructure. Rest assured, our dispensary operates just like any other ordinary business, contributing to the vitality of the community.

5.4 That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;

Our presence and operations are designed to seamlessly align with and contribute to the ongoing development and progress of the community. By attracting customers, our business will enhance the economic vitality of neighboring establishments and bolster the Village's tax base, enabling the funding of essential improvements and advancements. As a high-volume retail enterprise operating in a thriving market, we bring positive financial benefits that support the overall financial well-being of the community

5.5 That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;

We have prioritized the provision of adequate utilities, access roads, drainage, and necessary facilities in our project. Collaboration with utility providers, transportation authorities, and local planning agencies has been instrumental in ensuring that all requirements are met. Our team has conducted assessments, secured necessary connections, and addressed any infrastructure upgrades needed to support our operations.

Efforts have been made to ensure easy accessibility to our facility through well-designed access roads, considering traffic patterns and safety considerations. Additionally, proper drainage systems have been incorporated into our site plans, alongside sustainable stormwater management practices to comply with regulations and minimize environmental impacts. We have also constructed facilities that meet regulatory standards and cater to the needs of our staff and customers. Overall, we have taken comprehensive measures to provide the essential infrastructure for the successful implementation and operation of our project.

5.6 That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets.

We have implemented thorough measures to ensure that our ingress and egress points are designed in a way that minimizes traffic congestion in public streets. Our site plan has been carefully developed with traffic flow in mind, incorporating designated entry and exit points that facilitate smooth movement of vehicles. We have also collaborated with traffic engineers to conduct traffic impact studies and assess any potential congestion issues.

To mitigate traffic congestion, we have implemented strategies such as widening access roads, providing ample parking spaces, and implementing traffic control measures. These measures include signage, traffic signals, and designated lanes to guide vehicles efficiently. Furthermore, we have coordinated with local authorities to align our operations with peak traffic hours and implement strategies to mitigate any potential disruptions to the flow of traffic.

Our commitment to minimizing traffic congestion extends beyond the design phase. We will continually monitor traffic patterns and adjust as needed to ensure the ongoing smooth operation of our facility. By proactively addressing traffic concerns, we aim to minimize any potential impact on public streets and contribute to a positive traffic experience for both our customers and the surrounding community.

5.7 That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Planning and Zoning Commission.

The special use we are proposing fully aligns with the applicable regulations of the district in which it is located. We have meticulously reviewed the zoning regulations and ensured that our plans adhere to all requirements and provisions set forth by the Village. Any modifications or variances that may be necessary have been thoroughly considered and will be pursued through the proper channels, following the recommendation of the Planning and Zoning Commission and the approval of the

Village Board.

Our commitment to conforming to regulations extends beyond the initial approval process. We understand the importance of ongoing compliance and will actively monitor any changes or updates to the regulations to ensure that our operations remain in alignment. We are dedicated to maintaining a harmonious relationship with the Village and will make any necessary adjustments to ensure continued conformity to the regulations of the district.

By adhering to the applicable regulations and seeking any necessary modifications through the appropriate channels, we demonstrate our commitment to being a responsible and compliant member of the community. We value the trust and support of the Village and its stakeholders, and we will work diligently to uphold the integrity of the regulations while serving the needs of the community.

LOVA CANNA CO # PLN23-0024

1795 Barrington Rd. Hoffman Estates

- VILLAGE OF HOFFMAN ESTATES MUNICIPAL CODES LIST:
- INTERNATIONAL BUILDING CODE/2015 AND APPENDIX K
 - INTERNATIONAL EXISTING BUILDINGS CODE/2015
 - INTERNATIONAL FIRE CODE/2015
 - INTERNATIONAL MECHANICAL CODE/2015
 - INTERNATIONAL PROPERTY MAINTENANCE CODE/2015
 - NATIONAL ELECTRICAL CODE NFPA 70/2017
 - INTERNATIONAL FUEL GAS CODE/2015
 - ILLINOIS PLUMBING CODE/ILLINOIS ADMINISTRATIVE CODE Title 77 Part 800
 - ILLINOIS ENERGY CONSERVATION CODE/ILLINOIS ADMINISTRATIVE CODE Title 71 Part 600
 - ILLINOIS ACCESSIBILITY CODE/ILLINOIS ADMINISTRATIVE CODE Title 71 Part 400
 - HOFFMAN ESTATES ZONING ORDINANCE

ZONED B2 - COMMUNITY BUSINESS GROUP
 OCCUPANCY GROUP M - MERCANTILE
 BASE LOVA CANNA CO I FUEL TOWER
 MAX OCCUPANT LOAD LOVA 2100 1/30 = 1
 MOSTLY STORAGE LOVA 2078 1/300 = 1
 MAX OCCUPANT LOAD TOWER 178 1/30 = 1
 BACK OF HOUSE TOWER 218 1/300 = 1
 MAXIMUM TRAVEL DISTANCE = 124 FEET
 SPRINKLERED TYPE V CONSTRUCTION (K K L)

I hereby certify that these drawings have been prepared in my office under my personal supervision and to the best of my knowledge and belief they conform to the requirements of the laws and regulations of the State of Illinois.
STEPHEN KLUMPP, ARCHITECT
 6/18/23
 National Architect 07-01046
 Expires 12/31/2026



THE CONNECTION TO THE INTERNAL DRIVE COACHWALK IS FEASIBLE ADJACENT TO THE DRIVEWAY CONNECTION. IMPROVEMENTS WOULD BE REQUIRED ON THE EXISTING COACHWALK ALONG THE NORTH SIDE OF THE INTERNAL DRIVE TO COMPLETE THIS CONNECTION.

THE DUMPSTER ENCLOSURE AND GATE MUST BE REPAIRED OR REPLACED.

THE SIDEWALK ADJACENT TO THE HEAD-IN PARKING ALONG NORTH SIDE OF BUILDING SHALL BE A MINIMUM OF 7 FEET WIDE

DESIGN TEAM CONSULTANTS:

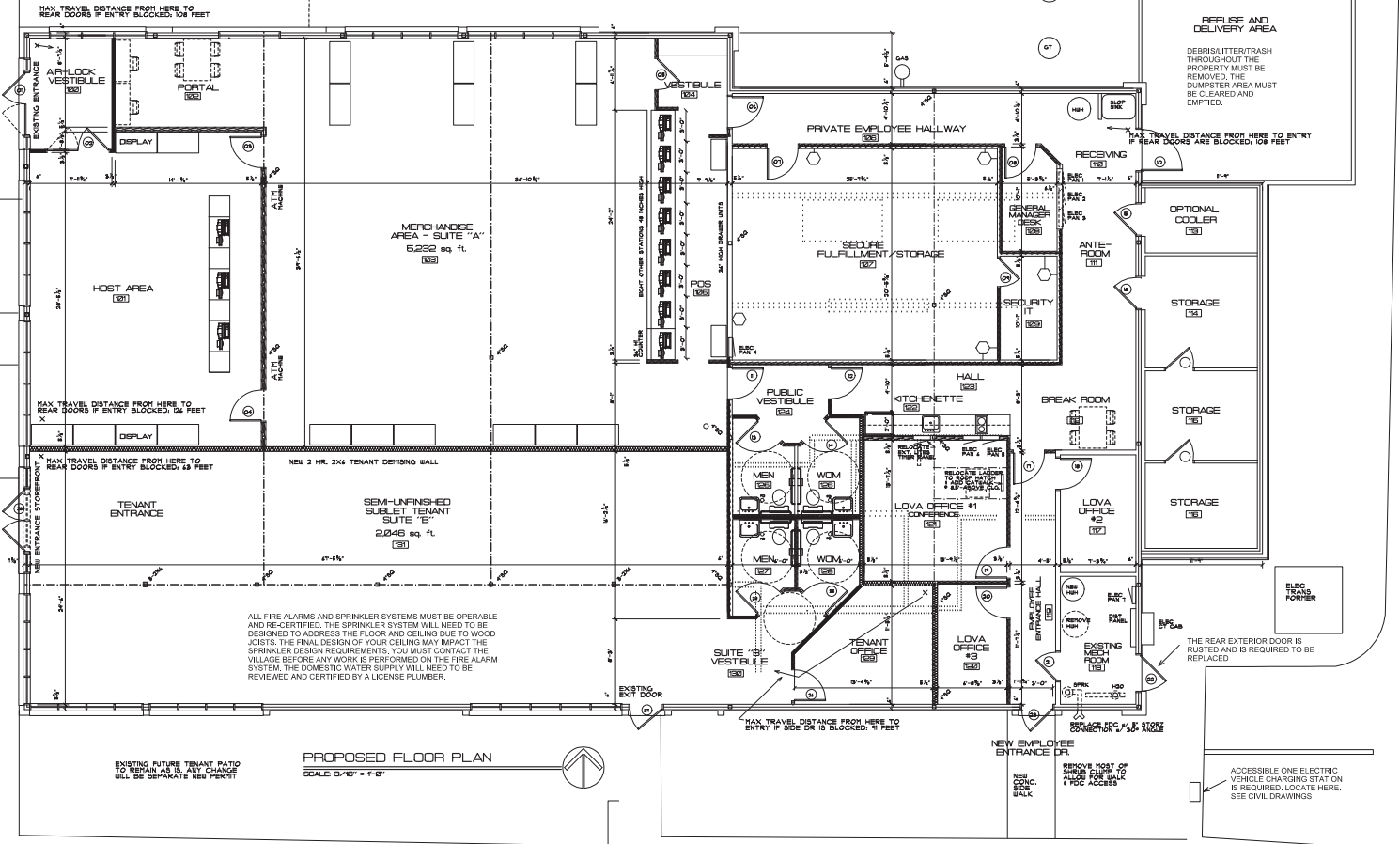
- KEVIN ANDERSON/HOFFMANESTATES.ORG 847-781-2670
 LOVA CANNA CO: MATT SHYRIN CEO
 201-290-2140 AMANDA FOX SENY HAMP
 2042 ARAPAHO ST, DENVER, CO 80205
 MATTHEW@HOFFMANESTATES.COM
- ALA CARTE: MARK HOFFMANN 847-456-6169
 FRO INSPECTOR: MIK MALKY 847-456-7397
 CIVIL: BERNIE BOND, ASH VEER 847-823-1300
 1018 BUSSE HIGHWAY PARK RIDGE, IL 60068
 A/E/E/P: BRIDGEMANCONSULTING.COM
- LANDSCAPE DESIGN: STEVE ORR 847-344-6334
 COMPOSITION, INC. P.O. BOX 7409
 PROSPECT HEIGHTS, IL 60070
 MEP ENGINEER: STEVEN M. KRUMHOLTZ
 A/E/S CONSULTING AND COMMERCIAL INC.
 CARLTON KRAUS ENGINEERING, LTD
 190 TEBEL ROAD
 LAKE ZURICH, IL 60047
 OFFICE (847) 718-1708 EXT 105
 CELL (847) 922-2371
- STRUCTURAL: GINO ROMAZZI 847-707-2453
 135 PARK AVENUE, BARRINGTON, IL 60015
 ROMAZZISTRUCUTRAL.COM or 847-382-5781

INDEX OF DRAWINGS:

- DRAWINGS FOR SPECIAL USE REVIEW**
- A-1 FIRST FLOOR PLAN
 - A-2 PROPOSED ELEVATIONS
 - A-3 AERIAL ROOFTOP DECK PLAN
 - A-4 LANDSCAPE PLAN
 - A-5 TITLE, LEGEND, SITE LOC, AERIAL
 - A-6 TOPOG, DEMO, PROVISION, GRADIENT
 - A-7 GRADING & DRAINAGE PLAN
 - A-8 OVERALL SITE & GEOMETRIC PLAN
 - A-9 CONSTRUCTION NOTES & DETAILS
- FUTURE DRAWINGS FOR PERMIT**
- A-10 ROOF EQUIP & STRUCTURAL PLAN
 - A-11 REFLECTED CEILING PLAN
 - A-12 SCHEDULES & SPECIFICATIONS
 - M-1 MECHANICAL NOTES & DIAGRAMS
 - M-2 MECHANICAL FLOOR PLAN
 - M-3 MECHANICAL ROOF PLAN
 - M-4 MECHANICAL SPECIFICATIONS
 - E-1 ELECTRICAL NOTES AND SYMBOLS
 - E-2 ELECTRICAL POWER PLAN
 - E-3 ELECTRICAL LIGHTING PLAN
 - E-4 ELECTRICAL SITE LIGHTING
 - E-5 ELECTRICAL SPECIFICATIONS
 - P-1 PLUMBING NOTES AND SYMBOLS
 - P-2 PLUMBING FLOOR PLAN



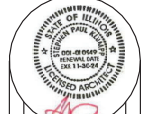
PEDESTRIAN CONNECTIONS TO BARRINGTON RD AND/OR THE INTERNAL COACH WALKS SHOULD BE PROVIDED. THE CONNECTION TO BARRINGTON ROAD IS FEASIBLE NEAR THE SOUTHWEST CORNER OF THE SITE.



ALL FIRE ALARMS AND SPRINKLER SYSTEMS MUST BE OPERABLE AND RE-CERTIFIED. THE SPRINKLER SYSTEM WILL NEED TO BE DESIGNED TO ADDRESS THE FLOOR AND CEILING DUE TO WOOD JOISTS. THE FINAL DESIGN OF YOUR CEILING MAY IMPACT THE SPRINKLER DESIGN REQUIREMENTS. YOU MUST CONTACT THE VILLAGE BEFORE ANY WORK IS PERFORMED ON THE FIRE ALARM SYSTEM. THE DOMESTIC WATER SUPPLY WILL NEED TO BE REVIEWED AND CERTIFIED BY A LICENSE PLUMBER.

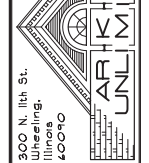
PROPOSED FLOOR PLAN
 SCALE 3/8" = 1'-0"

TENANT REMODELING FOR LOVA CANNA CO 1795 BARRINGTON ROAD HOFFMAN ESTATES, ILLINOIS



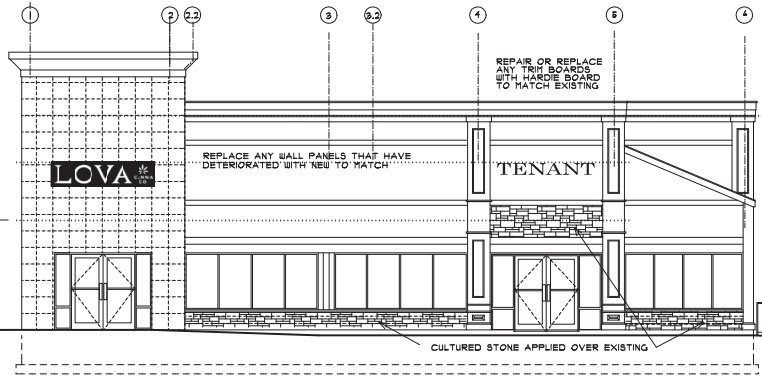
DATE: 6-18-23
 REVISION: REVIEW IN COMMENTS

email: art@arkitekts.com
 Office: 815-355-1122
 Illinois Stephen P. Klumpp
 40090 www.arkitekts.com

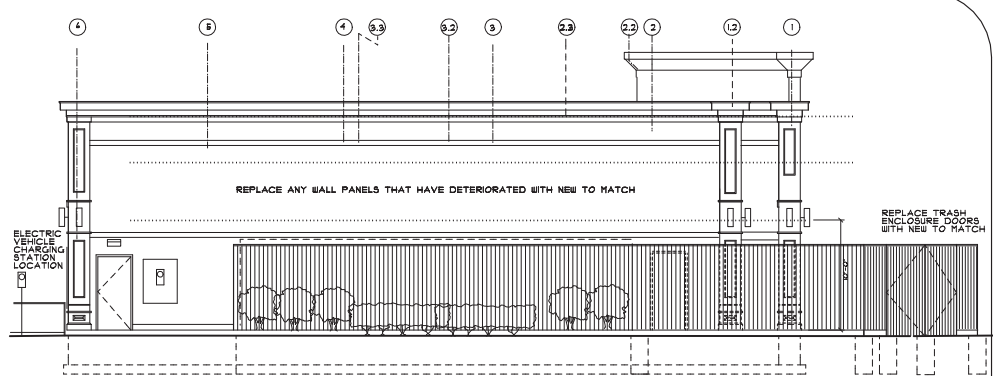


DATE OF ISSUE: 6-12-23
 JOB NUMBER: ZA4LOVAA
 DRAWN CHECKED: TFM : SPK

SHEET A-1 OF 8

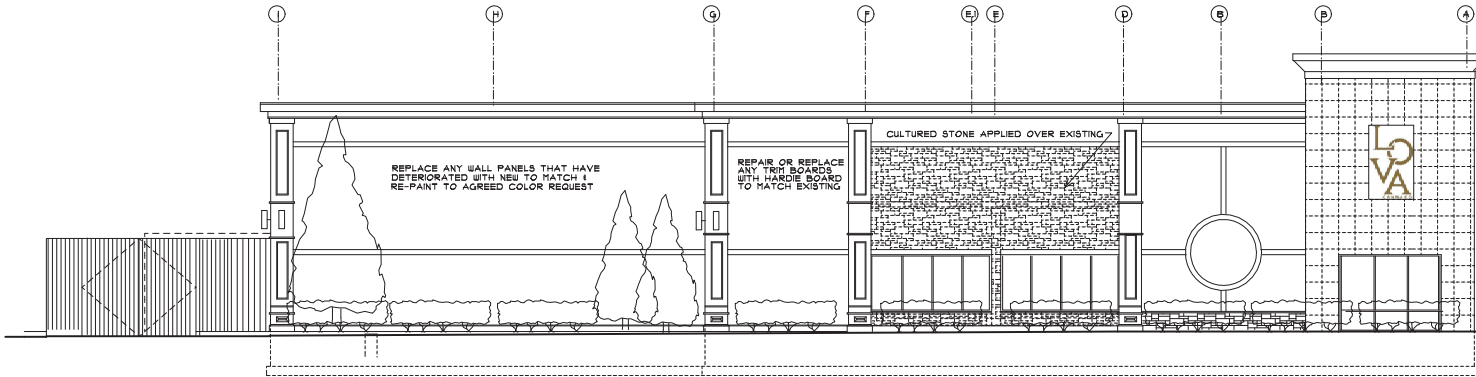


WEST ELEVATION
SCALE 3/16" = 1'-0"



EAST ELEVATION
SCALE 3/16" = 1'-0"

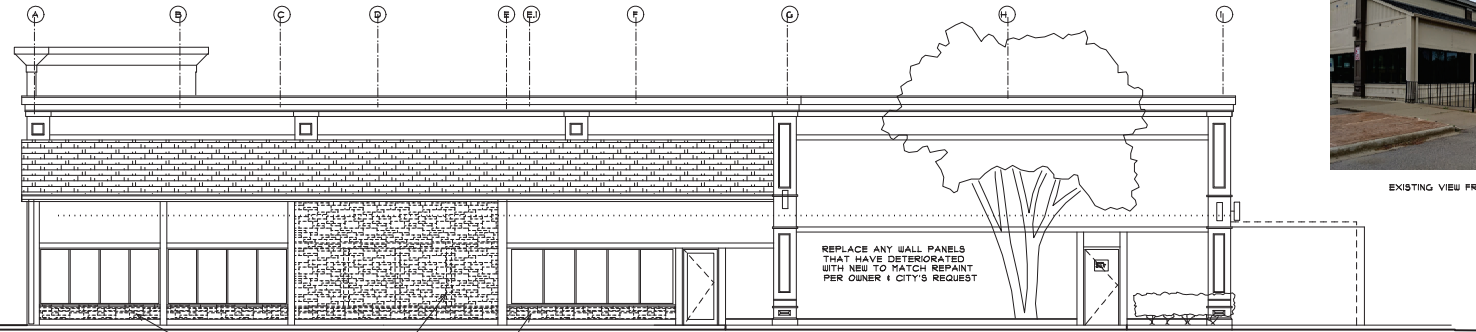
EXTERIOR WALLS HAVE PEELING AND FLAKING PAINT. THESE MUST BE CLEANED AND PAINTED.



NORTH ELEVATION
SCALE 3/16" = 1'-0"



EXISTING STONE PANELS TO BE RETAINED



SOUTH ELEVATION
SCALE 3/16" = 1'-0"



EXISTING VIEW FROM SOUTHWEST

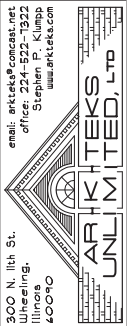
TENANT REMODELING
 FOR LOVA CANNA CO
 1795 BARRINGTON ROAD
 HOFFMAN ESTATES, ILLINOIS

Met. Shirm metlshirm.com / Als Carz
 300-240-2140 / Arns - Jerry / 817-451-1451



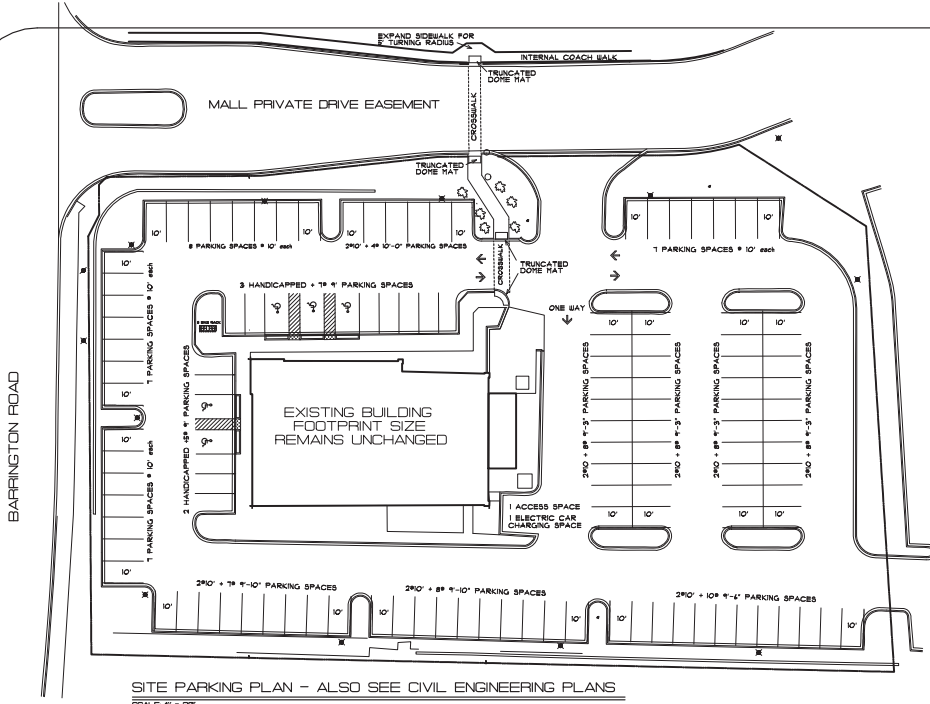
DATE: 6-12-23
 REVISION: REVIEW IN COMMENTS

email: arhtek@arhtek.com
 300 N. 11th St.
 Chicago, IL 60607
 Stephen P. Klump
 www.arhtek.com



DATE OF ISSUE: 6-12-23
 JOB NUMBER: ZA4LOVAA
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 A-2
 OF
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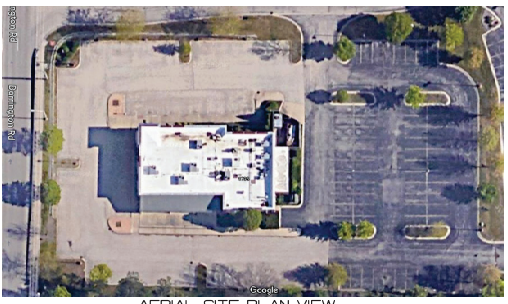
SITE PARKING PLAN - ALSO SEE CIVIL ENGINEERING PLANS
SCALE 1" = 20'

PARKING REQUIREMENTS

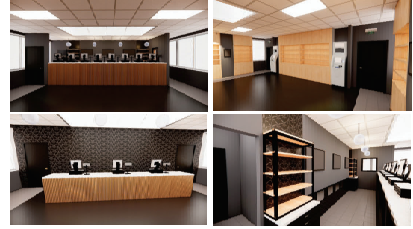
BUILDING AREA:
 2808 SQ. FT. - LOVA CANNA CO
 2008 SQ. FT. - TENANT SPACE
 1.82 TOTAL BUILDING SQ. FT.

FIRE ZONING REVIEW OR 1/4" SP/100 SF
 24' PARKING SPACES PROVIDED
 1 - HANDICAPPED
 1 - ELECTRIC CAR CHARGING
 1 - BIKE RACK SPACES

- BUILDING:**
- ALL DOORS IN EXIT PASSAGEWAY SHALL SWING IN THE DIRECTION OF EGRESS AND SHALL BE UNLOCKED UPON ACTIVATION OF FIRE ALARM OR FIRE SUPPRESSION SYSTEM.
 - USE OF OUTDOOR PATIO WILL BE CLAIMED BY FUTURE TENANT UNDER SEPARATE PERMIT.
 - ALL ABANDONED HVAC EQUIPMENT SHALL BE REMOVED AND ROOF SHALL BE PATCHED TO MATCH ORIGINAL CONSTRUCTION.
 - ALL ENTRANCES AND EXITS SHALL BE ADA ACCESSIBLE.
 - FULL COMPLIANCE WITH CURRENT ILLINOIS ENERGY CODES IS REQUIRED FOR BUILDING ENVELOPE.
 - ADEQUATE COOR VENTIGATION STRATEGIES SHALL BE EMPLOYED IN TERMS OF COOR SCREEBERS, NEGATIVE PRESSURE AND HVAC FILTRATION SYSTEMS. HVAC SYSTEMS WILL NOT BE SHARED BETWEEN THE TWO TENANTS.
- FIRE PREVENTION:**
- FOC NEEDS TO BE UPDATE TO 5' STORE CONNECTION WITH 30 DEGREE ANGLE.
 - OVERHUNG LANDSCAPING AROUND 100' NEEDS TO BE REMOVED.
 - PROPER ADDRESS NEEDS TO BE GIVEN FOR UNFINISHED TENANT SPACE. WE PROPOSE ADDRESS TO BE ITS BARRINGTON ON ROAD.
 - FIRE ALARM PERMIT WILL NEED TO BE SUBMITTED WHEN BUILD OUT OCCURS.
 - FIRE SPRINKLER PERMIT WILL NEED TO BE SUBMITTED WHEN BUILD OUT OCCURS.
 - FIRE HYDRANTS ON PROPERTY MUST HAVE 4' CLEARANCE.



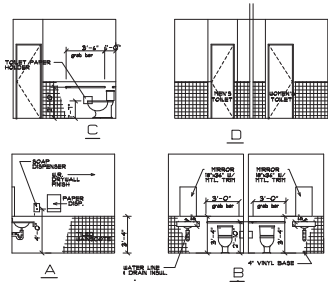
AERIAL SITE PLAN VIEW
NO SCALE



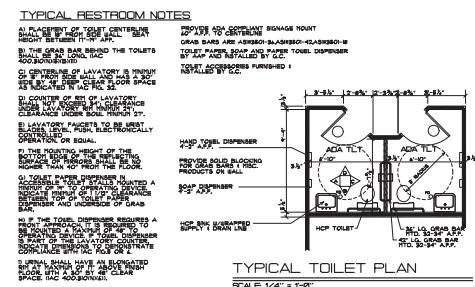
INTERIOR RENDERINGS OF A SIMILAR LOVA CANNA STORE



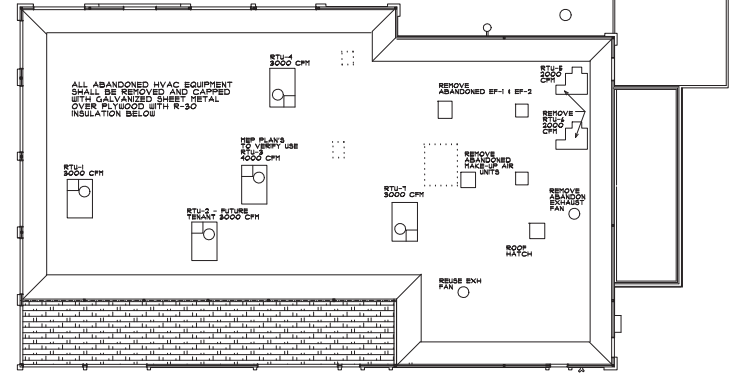
PHOTOS OF THE EXISTING INTERIOR CONDITIONS



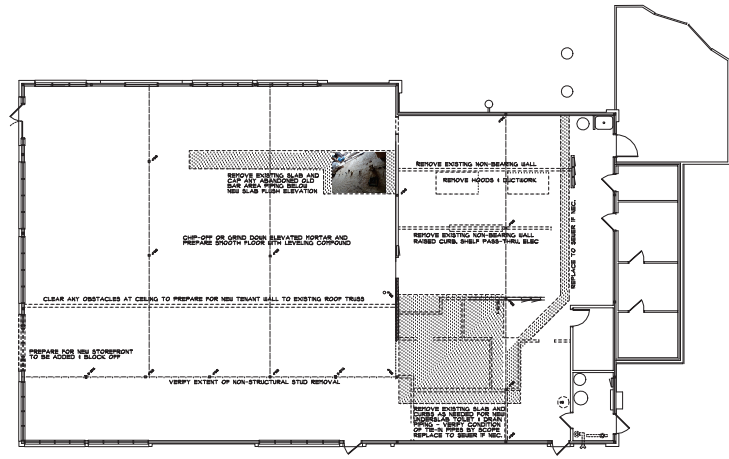
RESTROOM ELEVATIONS
SCALE 1/4" = 1'-0"



TYPICAL TOILET PLAN
SCALE 1/4" = 1'-0"



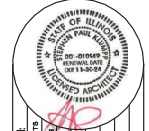
ROOF MECHANICAL EQUIPMENT PLAN
SCALE 3/8" = 1'-0"



DELOUTION PLAN
SCALE 3/8" = 1'-0"

MKT: Skym mkt@unltek.com / AN: Cmt
 202-240-4000 / Anndale - Jmmy / 847-451-4543

**TENANT REMODELING
 FOR LOVA CANNA CO
 1795 BARRINGTON ROAD
 HOFFMAN ESTATES, ILLINOIS**



DATE OF REVISION:

1	REVISION AS COMMENTS
2	NO. AREA 1 PARKING
3	NO. AREA 1 PARKING
4	NO. AREA 1 PARKING
5	NO. AREA 1 PARKING
6	NO. AREA 1 PARKING
7	NO. AREA 1 PARKING
8	NO. AREA 1 PARKING
9	NO. AREA 1 PARKING
10	NO. AREA 1 PARKING

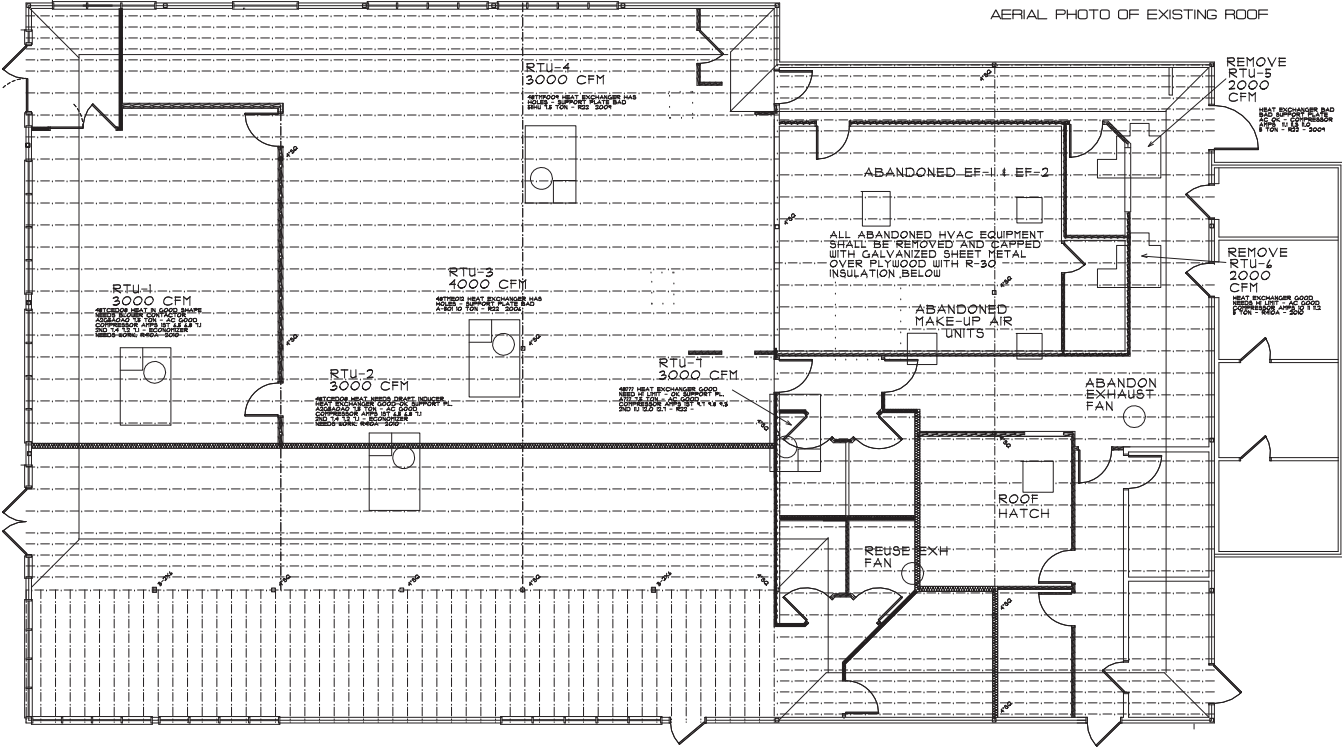
email: mkt@concast.net
 3100 N. ILK ST.
 OFFICE: 224-527-1922
 40000

UNLIMITED, LTD

DATE OF ISSUE:
 6-12-23
 JOB NUMBER:
 ZA4LOVAA
 DRAWN / CHECKED:
 TRM : SPK

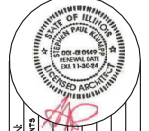


AERIAL PHOTO OF EXISTING ROOF



ROOF STRUCTURE & HVAC EQUIPMENT & CONDITION PLAN
SCALE 3/16" = 1'-0"

TENANT REMODELING
 FOR LOVA CANNA CO
 1795 BARRINGTON ROAD
 HOFFMAN ESTATES, ILLINOIS



DATE: 6-12-23
 REVISION: REVIEW IN COMMENTS

email: art@arkitek.com
 Office: 630-312-1122
 Illinois: 630-312-1122
 40090
 Stephen P. Klump
 www.arkitek.com

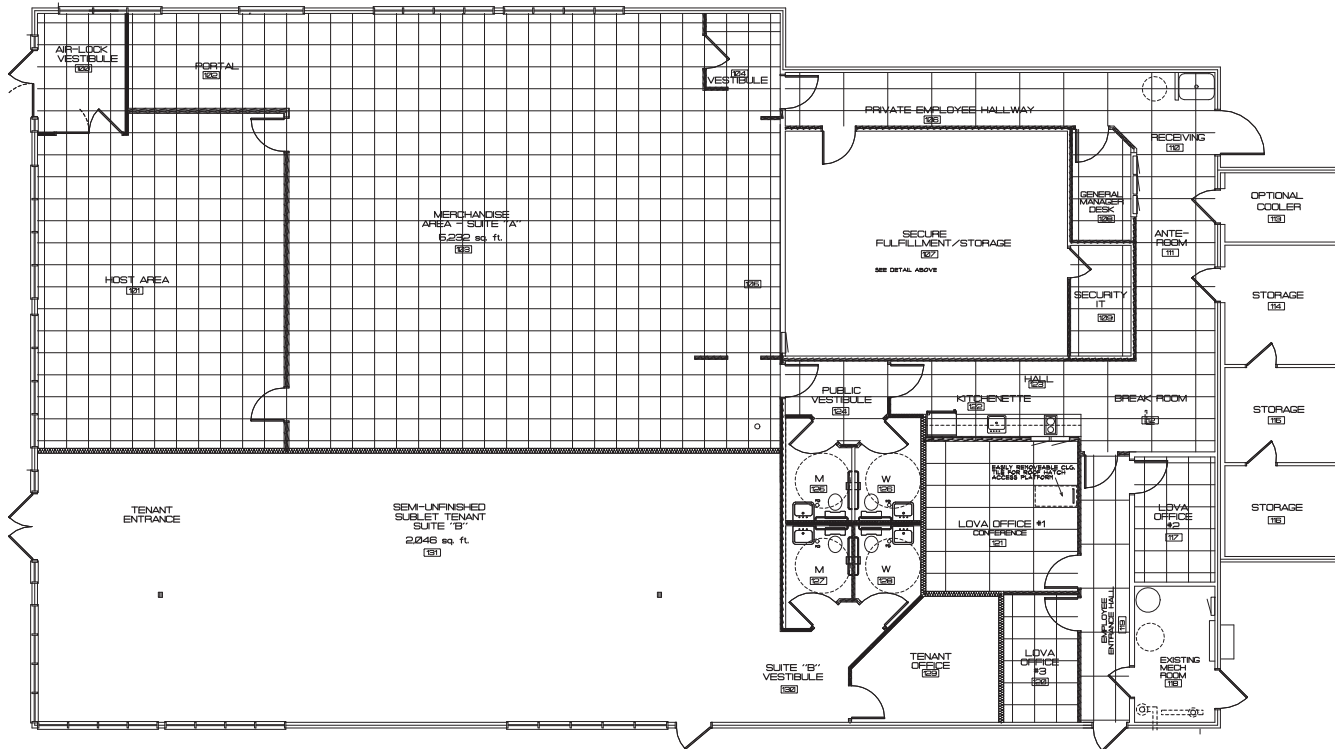
ARKITEKS UNLIMITED, LTD
 ARCHITECTS

DATE OF ISSUE: 6-12-23
 JOB NUMBER: ZA4LOVAA
 DRAWN CHECKED: TFM : SPK

SHEET
A-4
 OF
 8

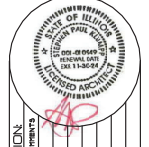
ACOUSTICAL TILE
 ACOUSTICAL TILE SHALL BE UNITED STATES GYPSUM 24" X 48" X 5/8" NON-DIRECTIONAL RESINE JAT-70 UNITS. COLOR - VIBRY. PROVIDE MINIMUM 8% EXTRA ACOUSTICAL TILE STOCK.
 SUSPENSION SYSTEM SHALL BE CHICAGO METALCO CORP. 200 NAMP-GRID SYSTEM ON APPROVED EQUAL. EXPOSED MEMBERS SHALL BE PAINTED WHITE. PROVIDE 2x4 TO TRIMM. PROVIDE 1/2" HOLLOW CORE SUPPORT OR HANGERS. PROVIDE SUPPORT AT EACH CORNER OF ALL LIGHT FIXTURES AND CEILING APPENDS. PROVIDE 3/4" WALL ANCHORS AS REQUIRED AT CEILING PERIMETER.

SECURITY CEILING SECTION
 SCALE 1" = 1'-0"



REFLECTED CEILING PLAN
 SCALE 3/8" = 1'-0"

1795 BARRINGTON ROAD
 HOFFMAN ESTATES, ILLINOIS
 TENANT REMODELING
 FOR LOVA CANNA CO

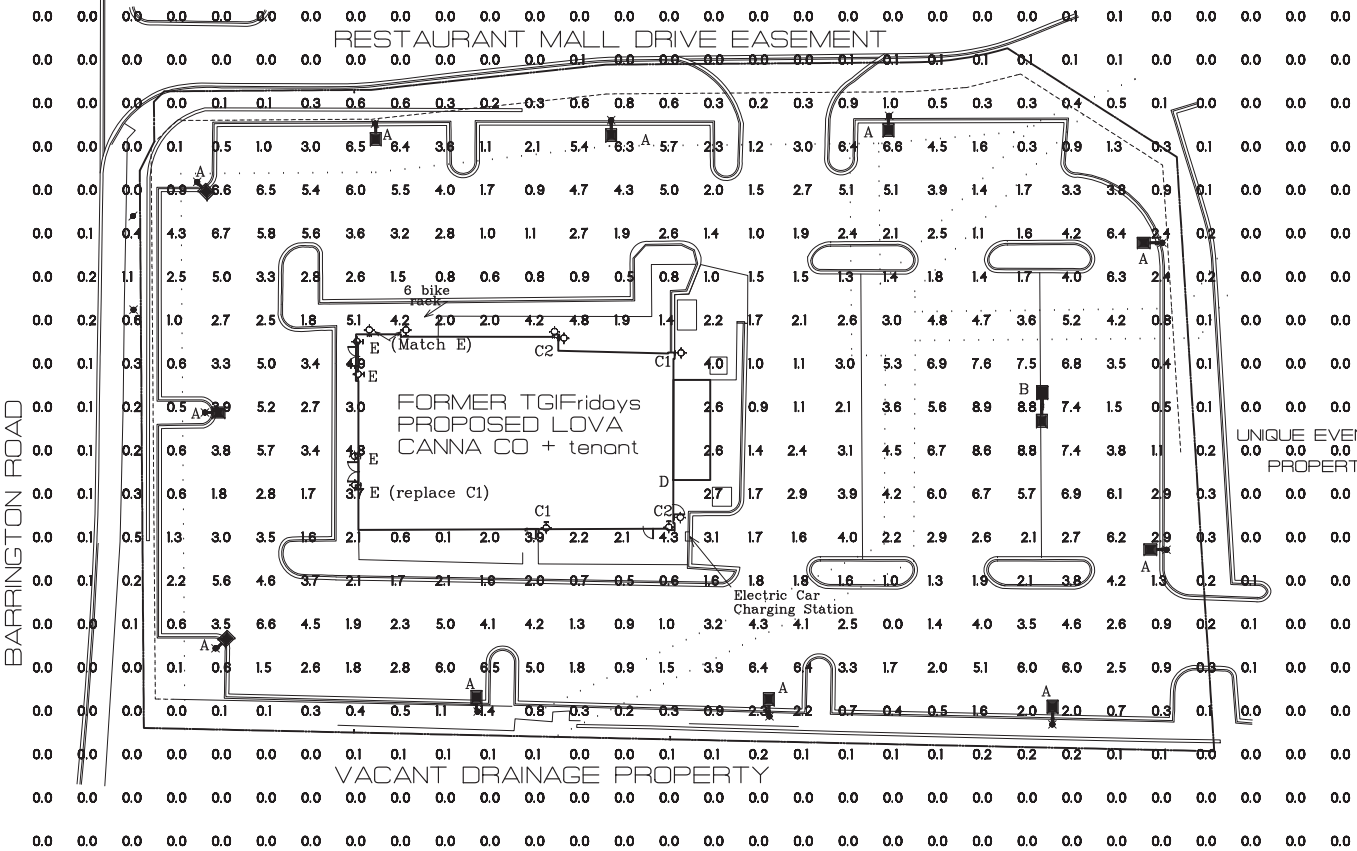


DATE: 6-12-23
 REVISION: 1
 REVIEW IN COMMENTS

800 N. 11th St.
 Illinois 60090
 ARKTEKS UNLIMITED, LTD
 email: arkteks@arkteks.com
 Office: 630.752.1122
 Stephen P. Klump
 www.arkteks.com

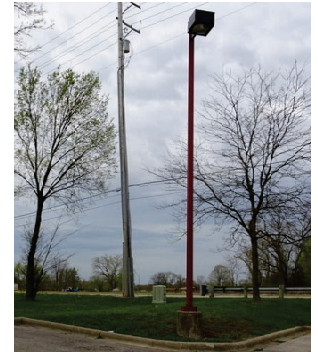
DATE OF ISSUE: 6-12-23
 JOB NUMBER: ZA4LOVAA
 DRAWN CHECKED: TFM : SPK

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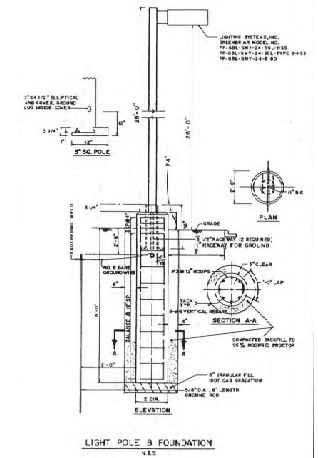


BARRINGTON ROAD

CURRENT LIGHTING CONSULTANT
FORCE PARTNERS/BRITTANY OSMULSKI
LIGHTING, CONTROLS & APPLICATIONS



TYPICAL EXISTING LIGHT POST



ORIGINAL/EXISTING LIGHT POLE

FIXTURE TYPE "C2" INSPECT, RECONDITION /RE-ENAMEL w/LED BULBS



EXISTING WALL MOUNTED LITE AT CORNERS TO BE RETAINED

FIXTURE TYPE "E" CLEAN UP BUT IN GOOD CONDITION



EXISTING WALL-MOUNTED ENTRANCE LIGHTS. (4) TWO TO BE RELOCATED AT TENANT ENTRANCE. MATCH WITH SIMILAR @ J-BOX ON NORTH FACE

FIXTURE TYPE "C1" INSPECT, RECONDITION /RE-ENAMEL w/LED BULBS



EXISTING WALL MOUNTED LITE AT PILASTERS TO BE RETAINED

EXISTING & PROPOSED PHOTOMETRIC PLAN

SCALE: 1" = 20'-0"

EXTERIOR LIGHTING FOR THE PARKING LOT AND THE FIXTURES ON THE BUILDING MUST BE REPAIRED OR REPLACED. ILLUMINATION SHOULD MATCH THE ORIGINALLY APPROVED LIGHTING PLAN OR AN EQUIVALENT ALTERNATIVE LIGHTING PLAN SHALL BE PROVIDED.

SUMMARY INSIDE CURB LINE		SUMMARY OUTSIDE CURB LINE	
# POINTS	247	# POINTS	309
AVERAGE	2.1	AVERAGE	0.2
MAXIMUM	8.9	MAXIMUM	2.4
MINIMUM	0.3	MINIMUM	0.0
AVG./MIN	12.04	AVG./MIN	999.99
MAX./MIN	34.89	MAX./MIN	999.99

This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps, and other variable field conditions.

TYPE	QTY	POLE	QTY	BRACKET	QTY	OTHER	QTY	FIXTURE	QTY	MATERIALS	ASSEMBLY	
1	1	5508-5180-24-0180-58C	1					2	918			
1	11	5502-5180-24-158C	1					1	458			
ASSEMBLIES EACH CONSISTING OF:												
BILL OF MATERIALS												
										2954		
											TOTAL MATS	

ORIGINAL SITE PERIMETER LIGHTING CONSULTANT FOR EXISTING POLE LIGHTS LIGHTING SYSTEMS DIVISION OF LSI

PROPOSED BUILDING LAYOUT FOR LOVA CANNA CO
1795 BARRINGTON ROAD
HOFFMAN ESTATES, ILLINOIS

DATE: 5-28-23
REVISION: 1
DRAWN BY: SPK

300 N. Ith St.
Urbana, IL 61802
402-980-4200
email: entek@entek.com
office: 224-252-1922
cell: 618-252-1922
www.entek.com

DATE OF ISSUE: 5-28-23
JOB NUMBER: ZA4LOVAA
DRAWN CHECKED: SPK

SHEET E-1
9
6

BENCHMARK INFO
 SITE BENCHMARK IS CUT CROSS ON NORTHWEST BONNET BOLT OF
 FIRE HYDRANT NORTH OF BUILDING, ELEV. 791.359, TRANSFERRED
 FROM NGS BM C267, ELEV. 802.04 NAVD 88.

ADA & RENOVATION OF EXISTING RETAIL BUILDING

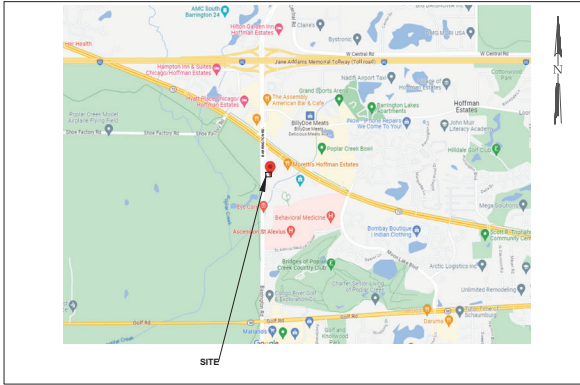
SITE DEVELOPMENT PLAN

1795 BARRINGTON RD. HOFFMAN ESTATES, COOK COUNTY, IL

PRELIMINARY PLAN

SECTION: 7
 TOWNSHIP: 41N
 RANGE: 10E
 PIN:
 07-07-100-027-0000

SITE LOCATION MAP



AERIAL MAP



DRAWING INDEX:

1. TITLE SHEET, LEGEND, SITE LOCATION, & AERIAL MAP
2. EXISTING TOPOGRAPHY, DEMOLITION PLAN, SOIL EROSION & SEDIMENTATION CONTROL PLAN
3. PROPOSED GRADING & DRAINAGE PLAN – OVERALL SITE
4. SITE PLAN & GEOMETRIC PLAN – OVERALL SITE
5. ADA PARKING, CURB RAMPS & RAMP DETAILS
6. CONSTRUCTION NOTES & STANDARD DETAILS [NOT INCLUDED]

PROJECT NARRATIVE

GENERAL: ADA AND SITE IMPROVEMENTS PROPOSED ON LOT WITH EXISTING RETAIL BUILDING & PARKWAY. ADA RAMPS AND SIDEWALK AROUND THE BUILDING ARE MODIFIED.

AREA SUMMARY:
 TOTAL AREA OF SITE: 1.852 ACRES
 DISTURBED AREA OF SITE: 0.060 ACRES

SPECIAL PROTECTION AREAS: THERE IS FLOODPLAIN & FLOODWAY WITHIN 100' OF SITE. THERE ARE NO WETLANDS WITHIN 100' OF SITE. MAINTENANCE WORK OF SEAL COATING OF EX. ASPHALT PAVEMENT, RESTRIPTING AND LANDSCAPE RESTORATION IS PROPOSED IN THE VICINITY OF THE FLOODPLAIN.

UPSTREAM TRIBUTARY: THERE IS NO UPSTREAM TRIBUTARY AREA FOR THE SITE.

COMBINED/SEPARATE SEWER AREA INFO: PROPOSED PROJECT IS LOCATED IN A SEPARATE SEWER AREA.

DETENTION/VOLUME CONTROL FACILITY: DETENTION (SITE AREA<3AC.) IS NOT REQUIRED PER MWRD. DETENTION IS NOT REQUIRED PER LOCAL REQUIREMENTS. VOLUME CONTROL(SITE AREA>0.5AC.) IS NOT REQUIRED PER MWRD REGULATIONS.

SANITARY SEWERS: NO CHANGE TO EXISTING SANITARY SERVICE.

SOILS/INFILTRATION RATE: N/A

GROUNDWATER ELEVATION: N/A

1. I HEREBY CERTIFY THAT THE PROPOSED IMPROVEMENTS WILL NOT ADVERSELY IMPACT THE SUBJECT PROPERTY, THE SURROUNDING PROPERTIES OR THE PUBLIC RIGHT-OF-WAY WITH RESPECT TO STORMWATER DRAINAGE, AND THAT A SAFE OVERFLOW ROUTE HAS BEEN ESTABLISHED.
2. I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE PROPOSED IMPROVEMENT IS LOCATED IN FLOOD PROTECTION AREAS BASED ON THE INFORMATION FROM THE FEMA MAPS.



Adh. Vacek
 ENGINEER

6-29-2023
 DATE

LEGEND:

	EXISTING	PROPOSED
PROPERTY LINE	---	---
SANITARY SEWER LINE	—S—	—S—
WATER LINE	—W—	—W—
STORM SEWER LINE	—ST—	—ST—
STORM MANHOLE	○	●
SANITARY MANHOLE	○	●
COMBINED SEWER	—CS—	—CS—
COMBINED MANHOLE	○	●
CATCH BASIN	○	●
INLET	○	●
WATER VALVE VAULT	○	●
WATER VALVE	○	●
GRADE	—G—	—G—
DRAINAGE DIVIDE	—D—	—D—
CURB & GUTTER	—C—	—C—
CLEANOUT	—CO—	—CO—
DOWNSPOUT (ROOF DRAINS)	—D—	—D—
WATER B. BOX	—WB—	—WB—
TREE PROTECTION FENCE	—TF—	—TF—
CONSTRUCTION FENCE	—CF—	—CF—
INLET FILTER BASKET	—IFB—	—IFB—
TRAFFIC DIRECTION PAVEMENT MARKING	—TDM—	—TDM—
FIRE HYDRANT	—FH—	—FH—
RETAINING WALL WRAPING	—RW—	—RW—
TOP OF CURB	TIC XXXX.XX	TIC XXXX.XX
BOTTOM OF CURB	BIC XXXX.XX	BIC XXXX.XX
TOP OF CURB	TIC XXXX.XX	TIC XXXX.XX
BOTTOM OF GUTTER	BIG XXXX.XX	BIG XXXX.XX
WALK	—W—	—W—
BOTTOM OF WALK	BIC XXXX.XX	BIC XXXX.XX
DEPRESSED CURB	—DC—	—DC—
BOTTOM OF GUTTER	BIC XXXX.XX	BIC XXXX.XX
MOUNTABLE CURB	—MC—	—MC—

NOTE

The location of existing underground utilities, such as water mains, sewers, gas lines, etc., as shown on the plans, has been determined from the best available information and is given for the convenience of the Contractor. However, the Owner and the Engineer do not assume responsibility in the event that during construction, utilities other than those shown may be encountered, and that the actual location of those which are shown may be different from the location as shown on the plans.

Bono Consulting, Inc. is not responsible for the safety of any party or on the construction site. Safety is the sole responsibility of the contractor and any other person or entity performing work or services. Neither the owner nor engineer assumes any responsibility for the job site safety of persons engaged in the work or the means or methods of construction.

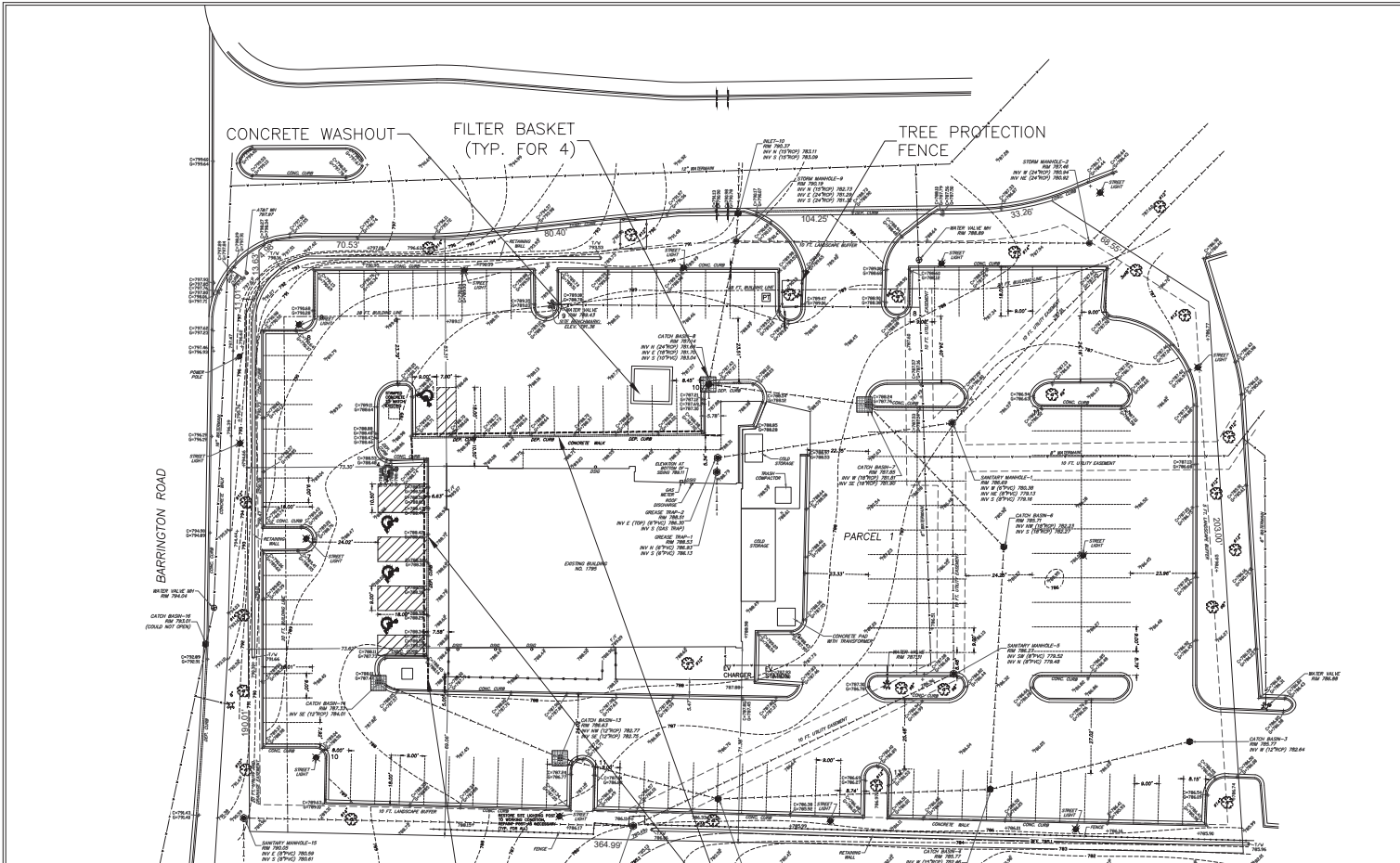
Current Standard Specifications of the Judicial Authority shall apply to the construction on this project.

Please see the general provisions of all utilities. Must be verified by the contractor prior to construction activities. For utility locations call:
 J.U.L.I.E. 1 (800) 892-0123

REVISIONS	DATE	ISSUE	PROJECT STAFF
1	07-10-2023	FILED IN PLAN	PROJECT MANAGER
2	07-10-2023	REVISION FOR PUBLIC COMMENTS	DESIGNER
3	07-10-2023	REVISION FOR PUBLIC COMMENTS	CHECKER
4	07-10-2023	REVISION FOR PUBLIC COMMENTS	DATE PLOTTED
5	07-10-2023	REVISION FOR PUBLIC COMMENTS	SCALE
6	07-10-2023	REVISION FOR PUBLIC COMMENTS	DATE PLOTTED
7	07-10-2023	REVISION FOR PUBLIC COMMENTS	SCALE
8	07-10-2023	REVISION FOR PUBLIC COMMENTS	DATE PLOTTED
9	07-10-2023	REVISION FOR PUBLIC COMMENTS	SCALE
10	07-10-2023	REVISION FOR PUBLIC COMMENTS	DATE PLOTTED
11	07-10-2023	REVISION FOR PUBLIC COMMENTS	SCALE
12	07-10-2023	REVISION FOR PUBLIC COMMENTS	DATE PLOTTED
13	07-10-2023	REVISION FOR PUBLIC COMMENTS	SCALE
14	07-10-2023	REVISION FOR PUBLIC COMMENTS	DATE PLOTTED
15	07-10-2023	REVISION FOR PUBLIC COMMENTS	SCALE

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 PARK RIDGE, IL 60068 bono@bonoconsulting.com

TITLE SHEET, LEGEND, SITE LOCATION MAP, & AERIAL MAP
 ADA & RENOVATION OF EXISTING RETAIL BUILDING
 1795 BARRINGTON RD., HOFFMAN ESTATES, IL
 NOT FOR CONSTRUCTION
 CONTRACTOR: THIS DRAWING SHALL NOT BE USED, REPRODUCED, MODIFIED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN AUTHORIZATION OF THE ENGINEER.
 PROJECT NUMBER: 230705
 START DATE: MAY 18, 2023
 GRAPHIC SCALE
 SCALE: NTS
 SHEET NUMBER
 1 OF 6



BEST MANAGEMENT PRACTICES SEQUENCE

- NOTE: UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, PORTA-POTTIES, WHEEL BARROWS, CONCRETE WASHOUT, WASHOUT AREA, PILES, AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY IDENTIFY THEM ON THE SITE MAPS AND PLACE ANY CHANGES IN LOCATION AS THEY OCCUR. WITHOUT DELAY, ANY OFF-SITE AREAS WHERE FILL IS IMPORTED FROM OR SOIL IS EXPORTED TO ON THE SITE MAPS.
1. INSTALL TREE PROTECTION FENCING AND EROSION CONTROL SILT FENCE, INLET FILTER
 2. USE WHEEL ROAD FOR CONSTRUCTION ACCESS. USE DRAINAGE FOR CONSTRUCTION. INSTALL SCHEDULED CONSTRUCTION ENTRANCES. OPERATE ALL APPROPRIATE AUTOMATIC TRAFFIC CONTROL MEASURES FOR CONSTRUCTION TRAFFIC ENTERING HIGHWAY. CONTRACTOR IS RESPONSIBLE FOR KEEPING ROAD FREE OF ICE AND SNOW.
 3. CLEAR AND REMOVE BRUSH AND TREES.
 4. CONSTRUCT AND INSTALL EROSION CONTROL STRUCTURES WITH PRE-PLANNED/DESIGNED CHANNELS.
 5. INSTALL SILT FENCES AND PERFORM MASS GRADING.
- HALL ALL ACTIVITIES AND CONTRACT THE GENERAL CONTRACTOR TO PREPARE AND OBTAIN CERTIFICATION OF GENERAL CONTRACTOR'S PLAN, SPECIFICATIONS AND CONDUCT THE STANDARDIZED CONSTRUCTION PLAN. GENERAL CONTRACTOR SHALL MAINTAIN RECORDS OF CONSTRUCTION AND GROUND-UPSETTING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.
- ALL EXPOSURE NOTED ON THE BMP CERTIFICATION FORM MUST BE ACCESSED TO THE FIRST DAILY REPORT AS A PRECEDENT OF DEFENSES AND RESOLVED WITHIN 24 HOURS. BMPs CAN NOT BE LIFTED. ANY EXISTING PROTECTIVE MEASURES THAT ARE NOT NECESSARY TO PROCEED.
- DAILY INSPECTIONS AND REPORTING USING THE SWPPP MANAGEMENT TOOL MUST START THE DAY OF OR IMMEDIATELY AFTER BMP CERTIFICATION.
7. CONSTRUCTION OF EROSION CONTROL STRUCTURES WITH PRE-PLANNED/DESIGNED CHANNELS.
 8. INSTALL AND STABILIZE HYDRAULIC CONTROL STRUCTURES: DICES, SWALES, CHECK DAMS, ETC.
 9. BEGIN GRADING AND GRUBBING THE SITE.
- TABLE 1
- IF ACTIVELY SEED, THROUGHOUT CONSTRUCTION, DENIED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE, IF ACTIVITY WILL RESUME WITHIN 14 DAYS, TEMPORARY SEEDING IS NOT REQUIRED.
1. INSTALL MAP-MAN AND/OR SLOTTED-ORIFICE STRUCTURES AS EACH OUTLET TERMINUS IS INSTALLED.
 2. PREPARE AND INSTALL EROSION CONTROL STRUCTURES WITH PRE-PLANNED/DESIGNED CHANNELS.
 3. PREPARE AND INSTALL EROSION CONTROL STRUCTURES WITH PRE-PLANNED/DESIGNED CHANNELS.
 4. PREPARE AND INSTALL EROSION CONTROL STRUCTURES WITH PRE-PLANNED/DESIGNED CHANNELS.
 5. PREPARE AND INSTALL EROSION CONTROL STRUCTURES WITH PRE-PLANNED/DESIGNED CHANNELS.
 6. PREPARE AND INSTALL EROSION CONTROL STRUCTURES WITH PRE-PLANNED/DESIGNED CHANNELS.
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 8. PREPARE AND INSTALL EROSION CONTROL STRUCTURES WITH PRE-PLANNED/DESIGNED CHANNELS.
 9. PREPARE AND INSTALL EROSION CONTROL STRUCTURES WITH PRE-PLANNED/DESIGNED CHANNELS.
 10. PREPARE AND INSTALL EROSION CONTROL STRUCTURES WITH PRE-PLANNED/DESIGNED CHANNELS.
 11. PREPARE AND INSTALL EROSION CONTROL STRUCTURES WITH PRE-PLANNED/DESIGNED CHANNELS.
 12. PREPARE AND INSTALL EROSION CONTROL STRUCTURES WITH PRE-PLANNED/DESIGNED CHANNELS.
- NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMPs HAVE BEEN COMPLETELY INSTALLED.

EARTHWORK / EROSION / SEDIMENTATION CONTROL

1. All construction activities that involve earthwork shall meet the National Pollutant Discharge Elimination System Phase II requirements:
 - a) Submission of a Notice of Intent (NOI) to EPA.
 - b) Possession of a completed and signed Stormwater Pollution Prevention Plan (SWPPP) and a graphic Erosion and Sediment Control (ESC) plan.
 - c) Implementation of the SWPPP.
 - d) Submission of an Incident of Noncompliance (ION) if an event occurs.
 - e) Weekly reports after 1/2 rainfall or 5" snowfall.
 - f) Documentation of changes to ESC plan.
- 2) Submission of a Notice of Termination (NOT) when final stabilization is achieved.
- 3) Any wetland mitigation shall begin prior to any grading work and shall be in accordance with the approved mitigation permit plan and requirements.
- 4) In order to protect and ensure against flooding, all top of foundations shall be set a minimum of one (1) foot above the high water level of adjacent stormwater management facilities such as retention/detention ponds.
- 5) The contractor shall maintain existing positive drainage from off-site at all times during construction. Within the limits of proposed grading the soil shall be compacted to not less than the following percentages of modified proctor dry density in accordance with ASTM D 1557/79:
 - a) Under structures, Building slabs, steps and pavements, Compact six (6") maximum lifts of subgrade. Backfill or fill material at 85% modified proctor dry density.
 - b) Under walkways, Compact six (6") maximum lifts of subgrade, backfill, or fill material at 85% modified proctor dry density.
 - c) Under lean or ungrouted areas, Compact six (6") maximum lifts of subgrade, backfill, or fill material at 85% modified proctor dry density.
- 6) All erosion control work shall comply with Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control.
- 7) Stripping of vegetation, grading or other soil disturbance, especially in designated wetland areas, shall be done in a manner which will minimize soil erosion, and shall be in accordance with the approved drawings, mitigation and permit requirements.
- 8) The contractor shall take precautionary measures to minimize earthwork in areas where trees are to be saved as shown on the plans or determined in the field.
- 9) The extent of the area which is exposed and free of vegetation and the duration of its exposure shall be kept within practical limits as directed by the Village Engineer.
- 10) Sedimentation shall be retained on site. Sediment fence shall be installed along the perimeter of all graded areas or as required to prevent sediment from entering and/or leaving the site.
- 11) Dust produced from the site shall be kept to a minimum during dry periods by spraying water as required to the Village Engineer's satisfaction and is to be considered incidental.
- 12) All mud shall be removed from all tires before leaving the site and the roads shall be kept clean and clear of mud and debris at all times.
- 13) Culverts and drainage ditches shall be kept clean and clear of obstructions during the construction period.
- 14) Silt fences shall be inspected frequently and maintained or replaced as required to maintain both their effectiveness and integrity. The underside of bales shall be kept in close contact with the earth below at all times to prevent water from washing beneath them.
- 15) Water courses and drainage swales adjacent to construction activities shall be monitored as necessary, for evidence of silt intrusion and other adverse environmental impacts. Any problems or deficiencies shall be corrected immediately upon their discovery.
- 16) Do not allow ungravel areas of pathways, right-of-ways and front yards to rear wall of the building. Any and all other site seeding may be used, in some instances particularly for the back yard, any work not approved by the Village Engineer.
- 17) The contractor shall install all erosion control items prior to commencement of any work.
- 18) The contractor shall install temporary orange fence around all trees to remain and wetland areas to be mitigated.

SEEDING INFORMATION
 CONTRACTOR TO SEED ALL DISTURBED AREA.
 TURF GRASS SEED MIX:
 FURNISH AND APPLY SUNDAY TURF GRASS SEED MIX (EMERSON-33.3% / BROWNSBURG-33.3% / VERDURA-33.3% SEEDING RATE: 1.0 LB./ACRE AND COMMON OATS-30 LB./ACRE FOR A TOTAL 100 LB./ACRE. OVERSEED WITH 1 LB./ACRE ANNUAL RYE. SEEDING MUST COMMENCE WITHIN 1 WEEK OF THE COMPLETION OF FINAL GRADING.

TEMPORARY SEEDING, SPECIES, RATES, & DATES

NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

SPECIES	LB./ACRE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
OATS	30												
GENERAL RYE	30												
WINTER WHEAT	30												
WINTER WHEAT	25												

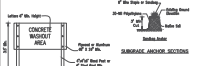
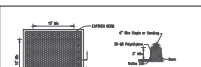
SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN
TEMPORARY CONSTRUCTION EXITS													
TEMPORARY CONTROL MEASURES													
EROSION CONTROL MEASURES													
STRIP & STOCKPILE TOPSOIL													
ROUGH GRADE													
FORM FACILITIES													
SITE CONSTRUCTION													
PERMANENT CONTROL STRUCTURES													
FOUNDATION / BRACING CONSTRUCTION													
FRESH GRADING													
LANDSCAPING/SEED/FINAL STABILIZATION													

1) CONTRACTOR SHALL UPDATE THE TABLE BY DATING THE APPLICABLE ACTIVITIES AS PROJECT PROGRESSES.
 2) THE SCHEDULE MUST COMPLY WITH SEQUENCE OF CONSTRUCTION.

FEMA MAP
 17031C0167J
 EFF. 8/19/2008
 POPLAR CREEK EAST BRANCH



SUPPLY CHECKS
 EROSION/FENCE - CAPTION THIS

DATE	REVISIONS	ISSUE	PROJECT STATUS
10/15/08	A	FILED FOR PLAN REVIEW	PRELIMINARY
10/20/08	B	FILED FOR PLAN REVIEW	PRELIMINARY
10/20/08	C	FILED FOR PLAN REVIEW	PRELIMINARY
10/20/08	D	FILED FOR PLAN REVIEW	PRELIMINARY

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 FAX: (847) 823-0300
 WWW.BONOCONSULTING.COM

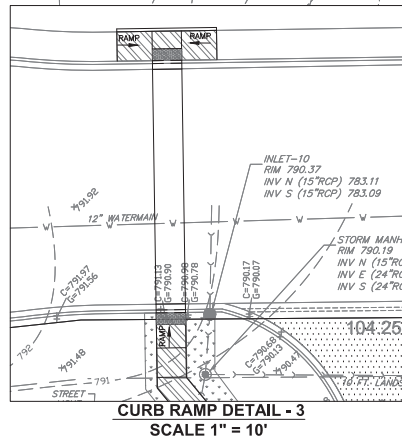
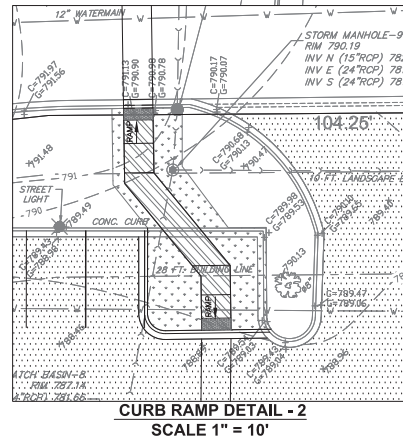
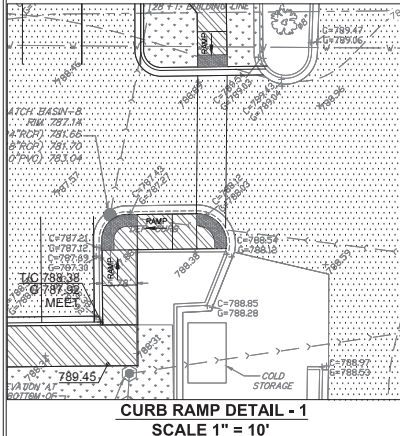
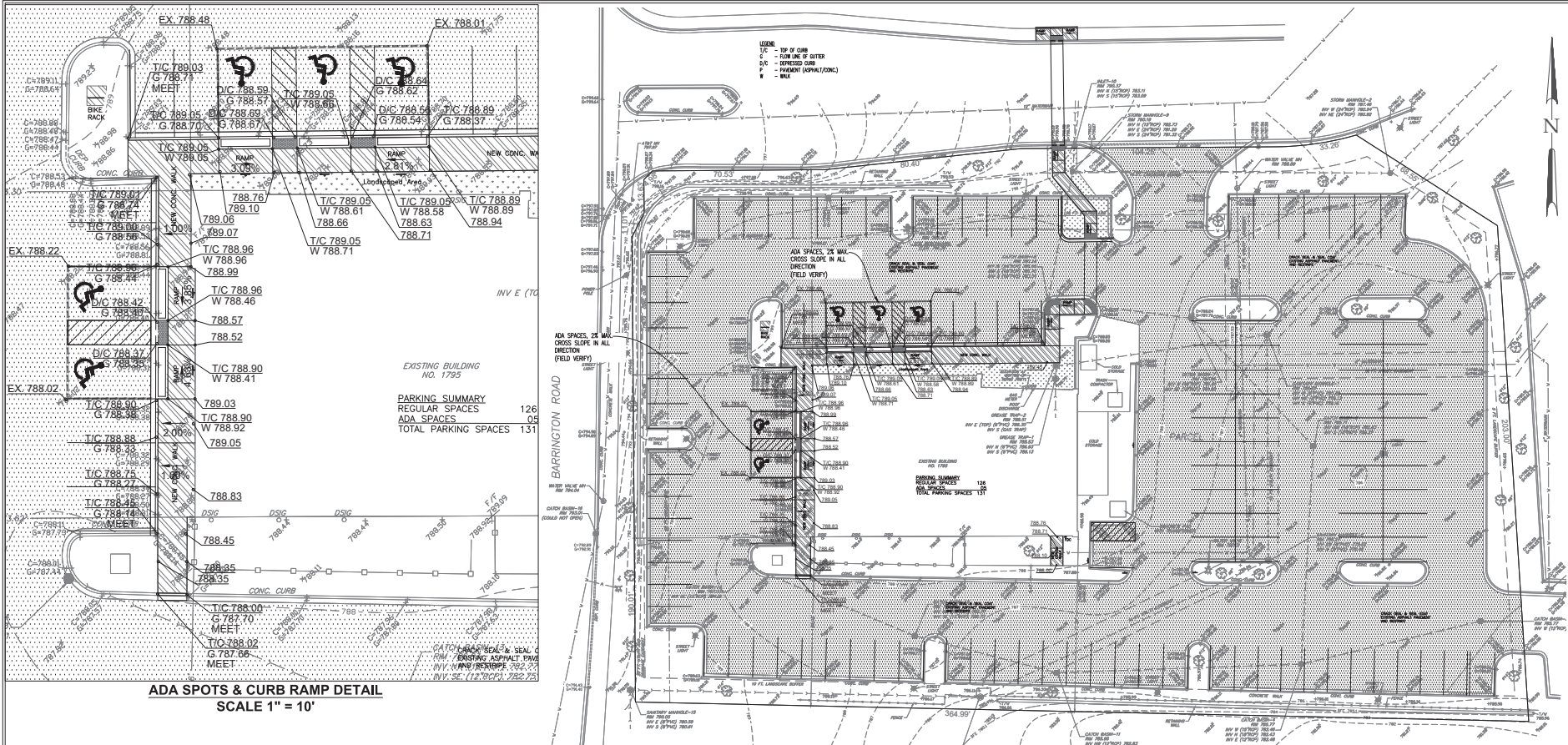
EXIST. TOPOGRAPHY, DEMOLITION, EROSION AND SEDIMENTATION CONTROL PLAN
 ADA & RENOVATION OF EXISTING RETAIL BUILDING
 1795 BARRINGTON RD., HOFFMAN ESTATES, IL

NOT FOR CONSTRUCTION

PROJECT NUMBER: 230705
 START DATE: MAY 18, 2003

SCALE: 1"=20'-0"

SHEET NUMBER
 2 OF 6



DATE	REVISIONS
05-15-2023	A
05-15-2023	B
05-15-2023	C

PROJECT STAFF
PROJECT MANAGER
DESIGNER
CHECKER
DATE PLOTTED

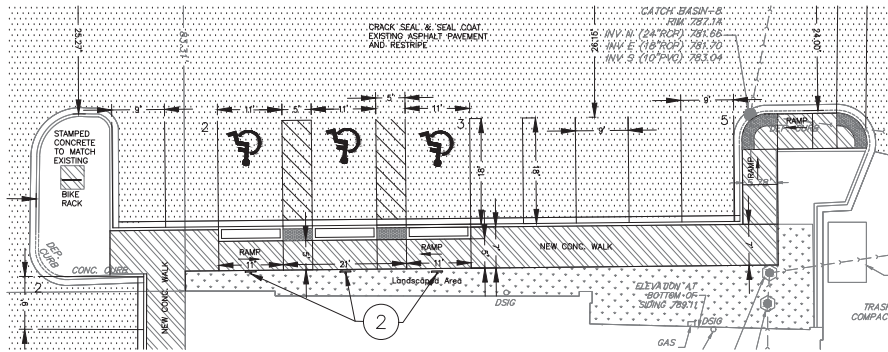
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 1018 BRIDGE HIGHWAY PH. 1 (847) 823-0300
 PARK RIDGE, IL 60068 www.bonoconsulting.com

PROPOSED GRADING & DRAINAGE PLAN
OVERALL SITE
ADA & RENOVATION OF EXISTING RETAIL BUILDING
 1795 BARRINGTON RD., HOFFMAN ESTATES, IL

NOT FOR CONSTRUCTION
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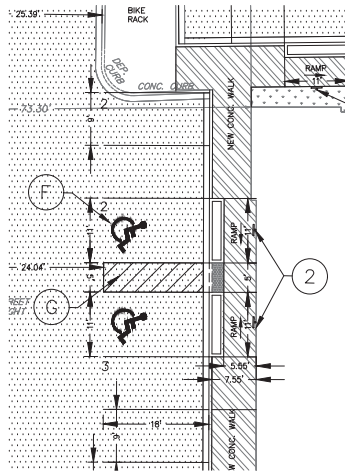
PROJECT NUMBER:	230705
START DATE:	MAY 18, 2023
GRAPHIC SCALE:	1" = 20'

SHEET NUMBER
3 OF **6**



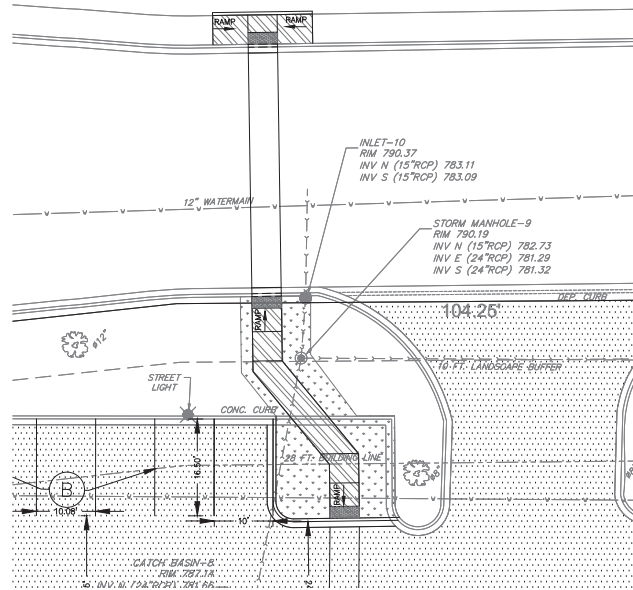
NORTH ADA PARKING DETAIL

1"=10'-0"



WEST ADA PARKING DETAIL

1"=10'-0"



CURB RAMP AND ADA ACCESS RAMP TO BARRINGTON RD. DETAIL

1"=10'-0"



DATE	REVISIONS
10/10/20	A
10/10/20	B
10/10/20	C
10/10/20	D
10/10/20	E
10/10/20	F
10/10/20	G
10/10/20	H
10/10/20	I
10/10/20	J
10/10/20	K
10/10/20	L
10/10/20	M
10/10/20	N
10/10/20	O
10/10/20	P
10/10/20	Q
10/10/20	R
10/10/20	S
10/10/20	T
10/10/20	U
10/10/20	V
10/10/20	W
10/10/20	X
10/10/20	Y
10/10/20	Z

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ADA PARKING SPACES, CURB RAMP AND RAMP DETAILS
 ADA & RENOVATION OF EXISTING RETAIL BUILDING
 1795 BARRINGTON RD., HOFFMAN ESTATES, IL

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 MANNER WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.
 PROJECT NUMBER: 230705
 START DATE: MAY 18, 2023
 GRAPHIC SCALE: 10' = 1" (1"=10'-0")
 SCALE: 1"=10'-0"
 SHEET NUMBER
 5 OF 6