

VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT NUMBER: MASTER22-0006
PROJECT NAME: ROSELLE / HIGGINS REGIONAL STORM SEWER PROJECT
ADDRESS/LOCATION: 80 W. HIGGINS RD, 2 E. HIGGINS RD, & 100 E. HIGGINS RD
REQUEST: PRELIMINARY & FINAL SITE PLAN
PLAT OF EASEMENT

OWNER: (SEE APPLICATIONS)
APPLICANT: WT GROUP
PROPERTY SIZE: 1.4 IMPACTED ACRES

ZONING / LAND USE: B-2 BUSINESS DISTRICT
ADJACENT PROPERTIES: NORTH: B-2 BUSINESS DISTRICT (GOLF CENTER)
B-2 BUSINESS DISTRICT (HOFFMAN PLAZA)
SOUTH: B-2 BUSINESS DISTRICT (VALI PRODUCE)
R-3 RESIDENTIAL (PARCEL B)
EAST: B-2 BUSINESS DISTRICT (WALGREENS)
R-2 RESIDENTIAL (PARCEL A)
WEST: B-2 BUSINESS DISTRICT (ULTIMATE EXPOSURE)
R-2 RESIDENTIAL (GOLF CENTER)

PZC MEETING DATE: 6/1/2022
PUBLIC HEARING: NO
STAFF ASSIGNED: JIM DONAHUE, SENIOR PLANNER

REQUESTED MOTION

- A. Approval of Preliminary & Final Site Plan including a plat of easement for regional stormwater improvements on the properties located at 80 W. Higgins, 2 E. Higgins, and 100 E. Higgins.
- B. Approval of Preliminary & Final Site Plan for onsite grading on the property located at 80 W. Higgins.

BACKGROUND

In 2018, WT Properties Schaumburg, I LLC purchased the former Hoffman Lanes bowling alley with the intent to redevelop the site. Upon further study, the owner/developer found floodplain encumbering the site and sought to reduce the floodplain limits by means of improving the stormwater conveyance along Higgins Road.

Staff approached the owner about also replacing the 54" pipes on the east side of Roselle Road over the former Shell station site at Roselle Road, east to an outfall parcel along Apple Street. The project as a whole is intended to alleviate flooding issues up and down stream for larger portions of the Village while also reducing the floodplain limits and making the properties at 80 W. Higgins, 2 E. Higgins and 100 E. Higgins more developable.

In 2020, the Village entered into a Redevelopment Agreement with WT to complete the stormwater improvements along Higgins Road and demolish the former bowling alley building at 80 W. Higgins Road. As outlined in the Redevelopment Agreement, WT has until October 2022 to complete the stormwater improvements. Upon completion, WT would be reimbursed a portion of the project costs (up to \$2.29 million) from the Roselle Road TIF fund.

The bowling alley has been demolished and the stormwater project will proceed following site plan approval by the Village and other required outside agency approvals.

PROPOSAL – SITE PLAN

The petitioner is proposing to complete stormwater improvements along 80 W. Higgins, 2 E. Higgins, and 100 E. Higgins as further outlined below.

80 W. HIGGINS

The scope of work includes removal and replacement of two culverts located within the state right of way adjacent to 80 W. Higgins Road and regrading/modifying the existing drainage ditch along Higgins Road. Additionally, associated onsite fill and grading is proposed on the 80 W. Higgins site to raise the site.

2 E. HIGGINS AND 100 E. HIGGINS

The scope of work includes removal and replacement of the deteriorated 50+ year old twin 54" storm sewer pipes on these properties. The plans show a rerouting of the new storm pipes just north of the existing alignment. Once the new storm pipes are installed, the old pipes will be removed, backfilled with stone and restored. The proposed work will happen in phases to minimize impacts on the current shopping center tenants. Private agreements between the landowners and WT Properties are in place detailing work timing, internal road closures and tenant notification.

The newly installed storm pipe will be covered by a stormwater easement that allows the Village to inspect and notify the owner of needed repairs or maintenance. In the event that maintenance by the owner is lacking, the Village has the right, but not the obligation to make said repairs and charge the owner accordingly. A Plat of Easement with associated language is included for Village Board approval.

The entirety of the project requires coordination with various agencies including IDOT, MWRD, and FEMA. After completion of the stormwater improvements, the floodplain limits will be reduced thereby increasing the developable land on the subject properties.

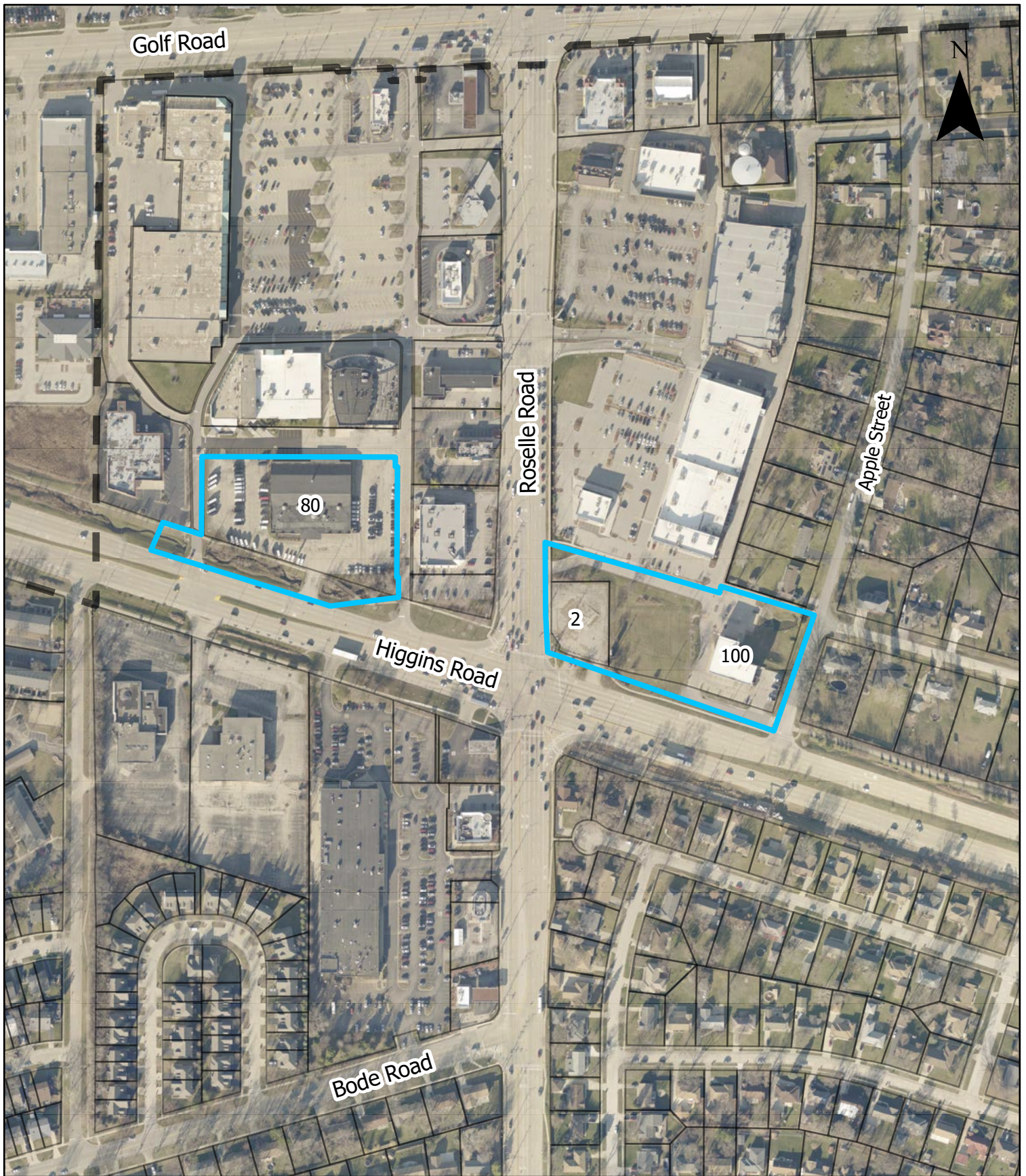
RECOMMENDED CONDITIONS (Both Requests)

1. Village permits will be required for all work and shall be obtained within twelve (12) months of the Village Board action on this request.

2. A performance guarantee for all exterior site work shall be submitted to the Village prior to issuance of a site development permit.
3. A permit from the Metropolitan Water Reclamation District shall be provided prior to site construction commencing.
4. A permit from the Federal Emergency Management Agency shall be provided prior to any construction commencing.
5. A permit from the Illinois Department of Transportation shall be provided prior to site construction commencing within state right of way.
6. A permit from the Cook County Department of Highways shall be provided prior to site construction commencing within county right of way.
7. As part of the final detailed Development Services review, minor plan review comments were noted. The petitioner shall correct the plans prior to the issuance of any building or site work permit for this project.
8. The following conditions relate to the site construction:
 - a. A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
 - b. Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.
 - c. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.

Attachments: Petitioner's Application and Supporting Documents
Location Map

Regional Storm Sewer Project 80 W Higgins, 2 E Higgins, & 100 E Higgins



- Municipal Boundary
- ▭ Project Location
- ▭ Parcels



Planning and Transportation Division
Department of Development Services
May 2022



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING GENERAL APPLICATION*

Special Use for _____ Rezoning from _____ to _____

Variation: Commercial Residential Sign

Plat (Subdivision & Others): Preliminary Final

Site Plan: Amendment Concept Preliminary Final

Master Sign Plan: Amendment

Other: _____

*** ADDENDUM MATERIALS ARE REQUIRED FOR SPECIFIC REQUESTS**

Posting of Notification Sign(s) may be required.

Specific requirements will be provided when your request is scheduled.

FOR VILLAGE USE ONLY

Hearing Fee _____ Check No. _____ Date Paid _____

Project Number: _____

Staff Assigned: _____

Meeting Date: _____

Public Hearing: Yes No

Sign Posting Required: Yes No

Date Sign Posted _____

PLEASE PRINT OR TYPE

Date: 10-21-21

Project Name: Hoffman Lanes Offsite Storm Sewer

Project Description: Replacement of existing storm sewer

Project Address/Location: 80 W. Higgins

Property Index No. 07-15-101-005-0000

Acres: 1.40 Zoning District: B2

I. Owner of Record

Troy Triphahn WT Properties Schaumburg 1

| | | |
|--------------------|----------|-----------------------|
| Name | | Company |
| 2675 Pratum Avenue | | Hoffman Estates |
| Street Address | | City |
| IL | 60192 | 224-293-6333 |
| State | Zip Code | Telephone Number |
| 224-293-6444 | | ttriphahn@wtgroup.com |
| Fax Number | | E-Mail Address |

II. Applicant (Contact Person/Project Manager)

Jim Glascott WT Group


| | | |
|-----------------|----------|-----------------------|
| Name | | Company |
| 2675 Pratum Ave | | Hoffman Estates |
| Street Address | | City |
| IL | 60192 | 224-293-6380 |
| State | Zip Code | Telephone Number |
| 224-293-6444 | | jglascott@wtgroup.com |
| Fax Number | | E-Mail Address |

Applicant's relationship to property: Engineer

III. Owner Consent for Authorized Representative

It is required that the property owner or his designated representative be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. **If the owner cannot be present at the meeting, the following statement must be signed by the owner:**

I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize Jim Glascott to act on my behalf and advise that he/she has full authority to act as my/our representative.



Owner Signature

Troy Triphahn, Manager
Print Name

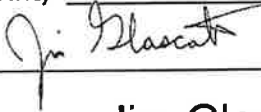
IV. Acknowledgement(s)

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

The Owner and Applicant, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature:  _____

Owner's Name (Please Print): Troy Triphahn

Applicant's Signature:  _____
(If other than Owner)

Applicant's Name (Please Print): Jim Glascott

Date: 12-3-21

All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.

Please contact the Planning Division (located in the Municipal Building) with any questions:

Email: planning@hoffmanestates.org
 Address: 1900 Hassell Road
 Hoffman Estates, IL 60169
 Phone: (847) 781-2660
 Fax: (847) 781-2679

Addendums Attached:

- Special Use
- Rezoning
- Variation
- Plat
- Site Plan
- Master Sign Plan
- Other _____



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING GENERAL APPLICATION*

Special Use for _____ Rezoning from _____ to _____

Variation: Commercial Residential Sign

Plat (Subdivision & Others): Preliminary Final

Site Plan: Amendment Concept Preliminary Final

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Other: _____

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Posting of Notification Sign(s) may be required.

Specific requirements will be provided when your request is scheduled.

FOR VILLAGE USE ONLY

Hearing Fee _____ Check No. _____ Date Paid _____

Project Number: _____

Staff Assigned: _____

Meeting Date: _____ Public Hearing: Yes No

Sign Posting Required: Yes No Date Sign Posted _____

PLEASE PRINT OR TYPE

Date: 10-21-21

Project Name: Hoffman Lanes Offsite Storm Sewer

Project Description: Replacement of existing storm sewer

Project Address/Location: 2 E Higgins Road

Property Index No. 07-15-200-023

Acres: 1.40 Zoning District: B2

I. Owner of Record

Tony Kalogerakos

Kalogerakos Family Properties Hoffman Estates LLC

Name

Company

7330 N. Cicero

Lincolnwood

Street Address

City

IL 60712

847-982-9516

State

Zip Code

Telephone Number

847-982-9517

tsk@injuryrights.com

Fax Number

E-Mail Address

II. Applicant (Contact Person/Project Manager)

Jim Glascott

WT Group

Name

Company

2675 Pratum Ave

Hoffman Estates

Street Address

City

IL 60192

224-293-6380

State

Zip Code

Telephone Number

224-293-6444

jglascott@wtgroup.com

Fax Number

E-Mail Address

Applicant's relationship to property: Engineer

III. Owner Consent for Authorized Representative

It is required that the property owner or his designated representative be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. **If the owner cannot be present at the meeting, the following statement must be signed by the owner:**

I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize WT Group to act on my behalf and advise that he/she has full authority to act as my/our representative.

Tony Kalogerakos

Digitally signed by Tony Kalogerakos
Date: 2022.04.14 15:47:38 -06'00'

TONY KALOGERAKOS

Owner Signature

Print Name


IV. Acknowledgement(s)

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

The Owner and Applicant, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature: Tony Kalogerakos Digitally signed by Tony Kalogerakos
Date: 2022.04.14 15:48:02 -05'00'

Owner's Name (Please Print): TONY KALOGERAKOS

Applicant's Signature: 
(If other than Owner)

Applicant's Name (Please Print): Jim Glascott

Date: 4/19/22

All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.

Please contact the Planning Division (located in the Municipal Building) with any questions:

Email: planning@hoffmanestates.org
Address: 1900 Hassell Road
Hoffman Estates, IL 60169
Phone: (847) 781-2660
Fax: (847) 781-2679

Addendums Attached:

- Special Use
- Master Sign Plan
- Rezoning
- Other _____
- Variation
- Plat
- Site Plan



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING GENERAL APPLICATION*

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Plat (Subdivision & Others): Preliminary Final

Site Plan: Amendment Concept Preliminary Final

Master Sign Plan: Amendment

Other: _____

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Posting of Notification Sign(s) may be required.

Specific requirements will be provided when your request is scheduled.

FOR VILLAGE USE ONLY

Hearing Fee _____ Check No. _____ Date Paid _____

Project Number: _____

Staff Assigned: _____

Meeting Date: _____

Public Hearing: Yes No

Sign Posting Required: Yes No

Date Sign Posted _____

PLEASE PRINT OR TYPE

Date: 10-21-21

Project Name: Hoffman Lanes Offsite Storm Sewer

Project Description: Replacement of existing storm sewer

Project Address/Location: 100 E Higgins Road

Property Index No. 07-15-200-045

Acres: 1.40

Zoning District: B2

I. Owner of Record

| | | | |
|------------------------------|----------|--|--|
| Kevin Cleary | | SVAP Hoffman Plaza, L.P. and SVAP Hoffman Plaza II, L.P. | |
| Name | | Company | |
| 302 Datura Street, Suite 100 | | West Palm Beach | |
| Street Address | | City | |
| FL | 33401 | 224-770-7788 | |
| State | Zip Code | Telephone Number | |
| | | kcleary@sterlingorganization.com | |
| Fax Number | | E-Mail Address | |

II. Applicant (Contact Person/Project Manager)

| | | | |
|-----------------|----------|-----------------------|--|
| Jim Glascott | | WT Group | |
| Name | | Company | |
| 2675 Pratum Ave | | Hoffman Estates | |
| Street Address | | City | |
| IL | 60192 | 224-293-6380 | |
| State | Zip Code | Telephone Number | |
| 224-293-644 | | jglascott@wtgroup.com | |
| Fax Number | | E-Mail Address | |

Applicant's relationship to property: Engineer

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I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize Jim Glascott (WT Group) to act on my behalf and advise that he/she has full authority to act as my/our representative.

SVAP HOFFMAN PLAZA, L.P., a Delaware limited partnership By: SVAP Hoffman Plaza GP, LLC, a Delaware limited liability company, its General Partner
 By: SVAP GP, LLC, a Delaware limited liability company, its Manager

DocuSigned by:
 By: Greg Moross Gregory S. Moross, its President
 DF59121461324A0...
 Print Name

SVAP HOFFMAN PLAZA II, L.P., a Delaware limited partnership By: SVAP Hoffman Plaza II GP, LLC, a Delaware limited liability company, its General Partner
 By: SVAP GP, LLC, a Delaware limited liability company, its Manager

DocuSigned by:
 By: Greg Moross Gregory S. Moross, its President
 DF59121461324A0...
 Owner Signature Print Name




IV. Acknowledgement(s)

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
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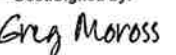
The Owner and Applicant, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature:

SVAP HOFFMAN PLAZA, L.P., a Delaware limited partnership By: SVAP Hoffman Plaza GP, LLC, a Delaware limited liability company, its General Partner By: SVAP GP, LLC, a Delaware limited liability company, its Manager

DocuSigned by:

 DF59121461324A0... its President

SVAP HOFFMAN PLAZA II, L.P., a Delaware limited partnership By: SVAP Hoffman Plaza II GP, LLC, a Delaware limited liability company, its General Partner By: SVAP GP, LLC, a Delaware limited liability company, its Manager

DocuSigned by:

 DF59121461324A0... its President

Applicant's Signature: 
 (If other than Owner)

Applicant's Name (Please Print): Jim Glascott

Date: 2-22-22

All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.

Please contact the Planning Division (located in the Municipal Building) with any questions:

Email: planning@hoffmanestates.org
 Address: 1900 Hassell Road
 Hoffman Estates, IL 60169
 Phone: (847) 781-2660
 Fax: (847) 781-2679

Addendums Attached:

- Special Use Master Sign Plan
 Rezoning Other _____
 Variation
 Plat
 Site Plan



January 19, 2022

Illinois Department of Transportation (IDOT)
Office of Highways Project Implementation / Region 1 / District 1
201 West Center Court
Schaumburg, IL 60169

Attn: Mr. Thomas Gallenbach- PE

Re: Location: 80 W. Higgins Road- IL 72 West of Roselle Road
Municipality: Village of Hoffman Estates, Cook County
Re: Hoffman Lanes Offsite Storm Sewer
Reference No.: 016-102214
Review Letter No.:2
WTCE Project No.: 1911948C

Dear Mr. Gallenbach:

The WT Group has provided your comment letter about the above-mentioned project seeking our sign-off. They have provided us the plans for the project. Robin Realty is aware of the Village of Hoffman Estates proposed culvert and pavement replacement project and consent to this work at our site at 1070 N Roselle Road (the Driveway west of 80 W Higgins at Golf Center Drive).

We are aware that the WT Group is coordinating this work and seeking to secure an IDOT permit for the project and consent to it being issued.

Sincerely,

Robin Realty & Management Company, As
agent for Golf Rose Shopping Center, an
Illinois Limited Liability Company

A handwritten signature in blue ink, appearing to read 'Stephen Kant', is written over the company name.

Stephen Kant
Vice President

BOWLERO OFFSITE STORM SEWER 80 WEST HIGGINS ROAD HOFFMAN ESTATES, ILLINOIS 60169

| DRAWING INDEX | | |
|-------------------|---|----------|
| SHEET | DESCRIPTION | DATE |
| T-1.0 | TITLE SHEET | 5-13-22 |
| C-1.0 - C-1.1 | OFFSITE DEMOLITION PLAN | 5-13-22 |
| C-2.0 - C-2.1 | OFFSITE GEOMETRIC PLAN | 5-13-22 |
| C-3.0 - C-3.1 | OFFSITE DEVELOPMENT PLAN | 5-13-22 |
| C-3.2 - C-3.3 | OFFSITE DEVELOPMENT PLAN DETAILS | 5-13-22 |
| C-4.0 - C-4.1 | OFFSITE GRADING PLAN | 5-13-22 |
| C-4.2 | COOK COUNTY ADA DETAILS | 5-13-22 |
| C-5.0 - C-5.1 | OFFSITE UTILITY PLAN | 5-13-22 |
| C-5.2 - C-5.5 | OFFSITE UTILITY PLAN DETAILS | 5-13-22 |
| C-6.0 - C-6.1 | STORMWATER POLLUTION PREVENTION PLAN | 5-13-22 |
| C-6.2 | STORMWATER POLLUTION PREVENTION DETAILS | 5-13-22 |
| C-7.0 | PROJECT SPECIFICATIONS | 5-13-22 |
| C-8.0 | MWRD GENERAL NOTES | 5-13-22 |
| EX-10.0 - EX-10.4 | COMPENSATORY STORAGE CROSS SECTION EXHIBIT | 5-13-22 |
| XS-1.0 - XS-1.1 | OPEN CHANNEL CROSS SECTIONS | 5-13-22 |
| PP-1.0 | BOX CULVERT PLAN AND PROFILE | 5-13-22 |
| S-1.0 | STORM DRAIN PLANS AND DETAILS | 4-28-22 |
| SUR-1 - SUR-5 | ALTA/NSPS LAND TITLE SURVEY | 10-09-18 |
| 1 OF 1 | IMPACT PLAN (PREPARED BY ENCAP) | 9-24-21 |
| 1 OF 2 | WETLAND & RIPARIAN BUFFER ENHANCEMENT PLAN (PREPARED BY ENCAP) | 9-24-21 |
| 2 OF 2 | SPECIFICATIONS (PREPARED BY ENCAP) | 9-24-21 |

- SITE BENCHMARK #1: SET CROSS ON SOUTHWEST FLANGE BOLT OF FIRE HYDRANT LOCATED APPROXIMATELY 62' SOUTHEAST OF THE TALL PREGAST/BRICK BUILDING BEING NORTH OF THE SURVEYED PROPERTY. ELEVATION = 714.74 (NAVD88)
- SITE BENCHMARK #2: SET CROSS ON SOUTHWEST FLANGE BOLT OF FIRE HYDRANT LOCATED APPROXIMATELY 66' NORTHWEST OF THE SOUTHWEST CORNER OF THE ONE STORY BRICK STRIP CENTER BUILDING BEING NORTH OF THE SURVEYED PROPERTY. ELEVATION = 714.99 (NAVD88)



SECTION 15
TOWNSHIP 41N
RANGE 10E

| LEGEND | |
|-----------|----------------|
| ----- | STORM SEWER |
| - - - - - | SANITARY SEWER |
| ----- | MWRD. SEWERS |

CIVIL ENGINEERING STATEMENT AND SEAL

I, JAMES GLASCOTT, P.E., DULY LICENSED IN THE STATE OF ILLINOIS BY THE DEPARTMENT OF FINANCIAL AND PROFESSIONAL REGULATION, DO HEREBY STATE THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF DOES CONFORM TO THE APPLICABLE BUILDING CODES AND ORDINANCES, AND ARE IN COMPLIANCE WITH THE ENVIRONMENTAL BARRIERS ACT (410 ILCS 25) AND THE ILLINOIS ACCESSIBILITY CODE (71 ILL. ADM. CODE 400).

James Glascott

DATE: 5/13/2022

JAMES GLASCOTT - ILLINOIS P.E. # 062-063362
DATE OF EXPIRATION - NOVEMBER 30, 2023



DRAINAGE CERTIFICATE
STATE OF ILLINOIS)
COUNTY OF COOK)

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE CONSTRUCTION OF SUCH DEVELOPMENT OR ANY PART THEREOF WILL NOT INCREASE FLOOD ELEVATIONS NOR DECREASE FLOOD CONVEYANCE CAPACITY UPSTREAM OR DOWNSTREAM OF THE PROPERTY HOLDING.

DATED AT HOFFMAN ESTATES, ILLINOIS THIS 13TH DAY OF MAY A.D. 2022

James Glascott

DESIGN ENGINEER



CALL JULIE
SIMPLY 811 OR TOLL FREE 1(800)842-0123
OPERATES 24 HOURS A DAY 365 DAYS A YEAR



CALL 1(800)842-0123
48 HOURS BEFORE YOU DIG

CONTRACTOR MUST LOCATE PRIVATE UTILITIES IN AREA OF CONSTRUCTION PRIOR TO PROCEEDING WITH WORK

ISSUE

| TO | DATE |
|--------------|----------|
| PER USACOE | 9-27-21 |
| CCDOETH | 10-12-21 |
| IDOT | 10-14-21 |
| VILLAGE | 11-12-21 |
| CCDOETH | 1-7-22 |
| CCDOETH/IDOT | 2-7-22 |
| MWRD/IDOT | 5-13-22 |



EXISTING UTILITY DATA

- 18 RIM=768.82' (SANITARY)
48" CONCRETE STRUCTURE
INV=754.66' (18" RCP WNW)
INV=756.62' (8" CLAY S)
INV=764.87' (6" DIP NNE DROP TO 756.17')
- 19 RIM=768.79' (STORM)
48" CONCRETE STRUCTURE
INV=764.39' (12" RCP E/SSW)
TOP OF DEBRIS=762.54
TOP OF WATER=764.29'
- 20 RIM=769.09' (STORM)
48" CONCRETE STRUCTURE
INV=764.42' (12" RCP W)
TOP OF DEBRIS=760.84
TOP OF WATER=764.27'
- 21 RIM=769.72' (WATER)
48" CONCRETE STRUCTURE
TOP OF PIPE=763.42' (N/S)
PIPE UNDERWATER UNABLE
TO DETERMINE PIPE SIZE
- 22 RIM=769.62' (STORM)
48" CONCRETE STRUCTURE
INV=763.57' (27" RCP WNW/ESE)
INV=764.70' (12" RCP NNE/SSW)
TOP OF DEBRIS=764.02
TOP OF WATER=764.29'
- 23 RIM=769.90' (SANITARY)
48" CONCRETE STRUCTURE
INV=766.00' (6" DIP SSE/SSW)
- 24 RIM=771.27' (WATER)
48" CONCRETE STRUCTURE
TOP OF PIPE=766.47
TOP OF WATER=769.17'
- 25 RIM=772.40' (SANITARY)
48" CONCRETE STRUCTURE
INV=767.30' (8" CLAY N/W)
- 26 RIM=772.45' (WATER)
48" CONCRETE STRUCTURE
TOP OF PIPE=766.85' (8" DIP N/S)
TOP OF WATER=768.35'
- 27 RIM=769.08' (STORM)
48" CONCRETE STRUCTURE
INV=765.83' (12" RCP NNE)
TOP OF DEBRIS=763.68
TOP OF WATER=765.83'
- 28 RIM=768.81' (STORM)
48" CONCRETE STRUCTURE
INV=764.11' (12" RCP WNW)
TOP OF WATER=764.11'
- 29 RIM=768.64' (STORM)
60" CONCRETE STRUCTURE
INV=761.19' (30" RCP N/S)
INV=763.34' (12" RCP E/W)
TOP OF WATER=762.09'
- 30 RIM=768.53' (STORM)
48" CONCRETE STRUCTURE
INV=764.43' (12" RCP E)
TOP OF DEBRIS=762.18
TOP OF WATER=764.33
48" CONCRETE STRUCTURE
RIM=768.66' (STORM)
- 31 INV=763.81' (15" RCP NNE)
INV=764.36' (12" RCP SSW)
TOP OF WATER=763.51'
- 32 RIM=769.07' (STORM)
48" CONCRETE STRUCTURE
INV=764.58' (15" RCP N)
INV=764.78' (15" RCP SSW)
TOP OF DEBRIS=763.92
TOP OF WATER=764.58'
- 33 RIM=770.74' (WATER)
48" CONCRETE STRUCTURE
TOP OF PIPE=756.89' (4" DIP E/W)
- 34 RIM=769.37' (STORM)
48" CONCRETE STRUCTURE
INV=765.28' (12" RCP NNE)
INV=765.56' (12" RCP SSW)

SITE DEMOLITION NOTES:

- A. CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- B. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND COORDINATE ALL DEMOLITION WITH THE MUNICIPALITY AND OWNERS REPRESENTATIVE TO ENSURE PROTECTION AND MAINTENANCE OF SANITARY AND WATER UTILITIES AS NECESSARY AND TO PROVIDE STORM WATER CONVEYANCE UNTIL NEW FACILITIES ARE CONSTRUCTED, TESTED, AND PLACED IN OPERATION.
- C. CONTRACTOR SHALL DEVELOP AND IMPLEMENT A DAILY PROGRAM OF DUST CONTROL PROCEDURES PRIOR TO DEMOLITION OF ANY STRUCTURES. MODIFICATION OF DUST CONTROL PROCEDURES SHALL BE PERFORMED BY THE CONTRACTOR TO THE SATISFACTION OF THE MUNICIPALITY AND COMPLY WITH THE NPDES II REQUIREMENTS OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY AND THE INDIVIDUAL STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT.
- D. ALL EXISTING TREES, BRUSH AND MISCELLANEOUS VEGETATION TO BE REMOVED OR DEMOLISHED SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
- E. VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24' THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORT.
- F. ALL EXISTING BUILDINGS, FOUNDATIONS, CONCRETE OR ASPHALT PAVEMENT OR WALKS, CURB AND GUTTER AND MISCELLANEOUS STRUCTURES (INCLUDING, BUT NOT LIMITED TO, FENCES, POLES, YARD LIGHTS, ELECTRICAL PANELS AND MISCELLANEOUS DEBRIS) INDICATED TO BE DEMOLISHED SHALL BE REMOVED OR DEMOLISHED AND REMOVED FROM THE SITE AND DISPOSED OF LEGALLY BY THE CONTRACTOR.
- G. CONTACT GAS COMPANY PRIOR TO DEMOLITION. LOCATION OF EXISTING GAS SERVICES ARE UNKNOWN.
- H. ALL EXISTING TREES SHALL REMAIN UNLESS OTHERWISE NOTED.
- I. ALL EXISTING UTILITIES SHALL REMAIN UNLESS OTHERWISE NOTED.
- J. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- K. CONTRACTOR SHALL PROVIDE REMOVAL AND SHORING AS NECESSARY TO MEET OSHA AND LOCAL CODE, AS WELL AS MANUFACTURER'S REQUIREMENTS.
- L. ALL FOUNDATIONS FOR ALL FENCES, SIGNS, ETC. NOTED FOR REMOVAL SHALL BE REMOVED AND LEGALLY DISPOSED OF OFFSITE.
- M. PROOF-ROLLING SHALL BE PERFORMED FOR ALL SUBGRADE PRIOR TO CONSTRUCTION OF NEW PAVEMENT. ALL SUBGRADE PROOF-ROLLING SHALL BE WITNESSED AND APPROVED BY A MATERIALS TESTING AGENCY TO BE HIRED BY THE OWNER. CONTRACTOR TO COORDINATE ALL PROOF-ROLLING WITH THE MATERIALS TESTING AGENCY. CONTACT THE ENGINEER AND MATERIAL TESTING AGENCY SO THAT THEY MAY WITNESS THE PROOF ROLL. PROOF ROLL SHALL BE PROVIDED FOR ALL PAVEMENT AREAS SPECIFIED FOR FULL DEPTH REMOVAL AND REPLACEMENT.
- N. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 10-04-18, PREPARED BY WT GROUP LAND SURVEYING. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- O. SEE SHEETS SUR-1 - SUR-3 TOPOGRAPHIC SURVEY FOR ALL EXISTING LOCATED UTILITY DATA.
- P. CLEAR SITE AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.
- Q. ALL ITEMS MARK "EXISTING OR EXISTING TO REMAIN" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
- R. CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S LFG-662 AND/OR LFG-663 FORMS AS PART OF THEIR CONTRACT.
- S. ALL EXISTING UTILITIES TO BE ABANDONED IN PLACE SHALL BE CAPPED WITH 2" LONG (MIN) NON-SHRINK CONCRETE MORTAR PLUGS AT BOTH ENDS.

PROJECT NOTES:

- 1. EXISTING ASPHALT TO REMAIN.
- 2. EXISTING STORM SEWER TO REMAIN.
- 3. EXISTING SANITARY SEWER TO REMAIN.
- 4. EXISTING STORM STRUCTURE TO REMAIN.
- 5. EXISTING STREET LIGHT TO REMAIN.
- 6. EXISTING CURB AND GUTTER TO REMAIN.
- 7. EXISTING CONCRETE TO REMAIN.
- 8. EXISTING SANITARY STRUCTURE TO REMAIN.
- 9. EXISTING CONCRETE TO BE REMOVED.
- 10. EXISTING SANITARY SEWER TO BE ABANDONED. SEAL DOWNSTREAM END WITH 2" LONG NON-SHRINK CONCRETE MORTAR PLUG AND FILL PIPE TO BE ABANDONED WITH CONTROLLED LOW STRENGTH MATERIAL MEETING IDOT REQUIREMENTS.
- 11. EXISTING TREES/SHRUB TO BE REMOVED.
- 12. EXISTING WATERMAIN TO REMAIN.
- 13. EXISTING WATER VALVE VAULT TO REMAIN.
- 14. EXISTING CURB AND GUTTER TO BE REMOVED.
- 15. EXISTING SANITARY SEWER TO BE REMOVED.
- 16. EXISTING AREA LIGHT TO REMAIN.
- 17. EXISTING FOUNDATIONS TO BE REMOVED.
- 18. EXISTING STORM STRUCTURE TO BE REMOVED.
- 19. EXISTING STORM SEWER TO BE REMOVED.
- 20. EXISTING ASPHALT PAVEMENT TO BE REMOVED FULL DEPTH TO MEET THE BOTTOM OF THE PROPOSED PAVEMENT CROSS SECTIONS (PROPOSED SUBGRADE ELEVATION). SEE THE SITE DEVELOPMENT PLAN FOR THE PROPOSED PAVEMENT CROSS SECTIONS AND THE SITE GRADING PLAN FOR THE PROPOSED FINISHED GRADES.
- 21. EXISTING B-BOX TO REMAIN.
- 22. EXISTING FIRE HYDRANT TO REMAIN.
- 23. EXISTING 54" CMP STORM LINES TO BE REMOVED. APPROXIMATE SIZE AND LOCATION SHOWN. CONTRACTOR TO VERIFY LOCATION IN FIELD AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- 24. EXISTING FENCE TO REMAIN.
- 25. EXISTING OVERHEAD LINES TO REMAIN.
- 26. EXISTING BUILDING TO REMAIN.
- 27. EXISTING AREA LIGHT TO BE REMOVED AND RELOCATED.
- 28. EXISTING RIPRAP/GRAVEL TO BE REMOVED.
- 29. EXISTING SIGN TO REMAIN.
- 30. EXISTING TRANSFORMER TO REMAIN.
- 31. EXISTING FENCE TO BE REMOVED AND REINSTALLED FOLLOWING BOX CULVERT INSTALLATION.
- 32. EXISTING FENCE TO REMAIN.
- 33. EXISTING DEPRESSED CURB AND GUTTER TO REMAIN.
- 34. EXISTING GRAVEL TO REMAIN.
- 35. EXISTING BARRIER CURB TO BE REMOVED.
- 36. EXISTING BARRIER CURB TO REMAIN.
- 37. EXISTING ASPHALT PAVEMENT TO BE MILLED TO A DEPTH OF 1 1/2". ALL GROUND AREAS THAT EXHIBIT EXCESSIVE CRACKING AND RUTTING TO BE REMOVED FULL DEPTH.
- 38. EXISTING SANITARY STRUCTURE TO BE REMOVED.
- 39. NEW 2" WIDE BUTT JOINT.
- 40. NEW FULL DEPTH SAWCUT OF EXISTING CONCRETE TO PROVIDE CLEAN CONSTRUCTION BREAK. APPROXIMATE LOCATION SHOWN. PERFORM SAWCUT AT NEAREST JOINT.
- 41. NEW SAWCUT FULL DEPTH TO PROVIDE CLEAN CONSTRUCTION BREAK.
- 42. EXISTING CONCRETE SPILLWAY TO BE REMOVED.
- 43. EXISTING CMP FLARED END SECTION TO BE REMOVED.
- 44. EXISTING TREE TO REMAIN.
- 45. EXISTING CONCRETE HEAD WALL TO BE REMOVED.
- 46. EXISTING ELECTRIC HANDHOLE TO REMAIN.
- 47. EXISTING GUY WIRE TO REMAIN.
- 48. EXISTING FOUNDATIONS TO REMAIN.
- 49. EXISTING CONCRETE SIDEWALK TO BE REMOVED.
- 50. EXISTING DETECTABLE WARNING STRIP TO BE REMOVED.
- 51. NEW 1-3/4" SAWCUT TO PROVIDE CLEAN CONSTRUCTION BREAK FOR MILLING.
- 52. EXISTING SANITARY STRUCTURE TO BE ABANDONED. REMOVE RIM AND LID AND FILL STRUCTURE ACCORDING TO IDOT STANDARD SPECIFICATIONS.
- 53. EXISTING DEPRESSED CURB AND GUTTER TO BE REMOVED.
- 54. EXISTING STORM SEWER PER RECORDS TO REMAIN.
- 55. EXISTING CMP ARCH CULVERT TO BE REMOVED.
- 56. EXISTING STORM STRUCTURE TO REMAIN. ADJUST RIM ELEVATION TO MEET PROPOSED GRADE.
- 57. EXISTING SANITARY SEWER PER RECORDS TO REMAIN.
- 58. EXISTING WATERMAIN PER RECORDS TO REMAIN.
- 59. EXISTING BASIN TO BE CLEARED OF ANY ACCUMULATED DEBRIS.

LEGEND

- EXISTING STORM SEWER
- EXISTING STORM SEWER PER RECORDS
- EXISTING SANITARY SEWER
- EXISTING SANITARY SEWER PER RECORDS
- EXISTING WATER MAIN
- EXISTING OVERHEAD LINES
- EXISTING CLOSED MANHOLE
- EXISTING OPEN MANHOLE
- EXISTING GUTTER FRAME MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING B-BOX
- EXISTING UTILITY POLE
- EXISTING WETLAND FLAG

HATCH LEGEND

- EXISTING ASPHALT PAVEMENT TO BE REMOVED FULL DEPTH
- EXISTING CONCRETE PAVEMENT TO BE REMOVED FULL DEPTH
- EXISTING ASPHALT PAVEMENT TO BE MILLED
- EXISTING GRAVEL TO BE REMOVED

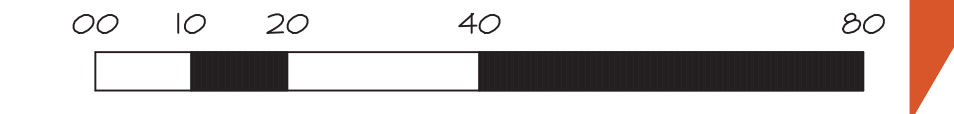


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1" = 20'



MATCH LINE - SEE SHEET C-1.1 FOR CONTINUATION

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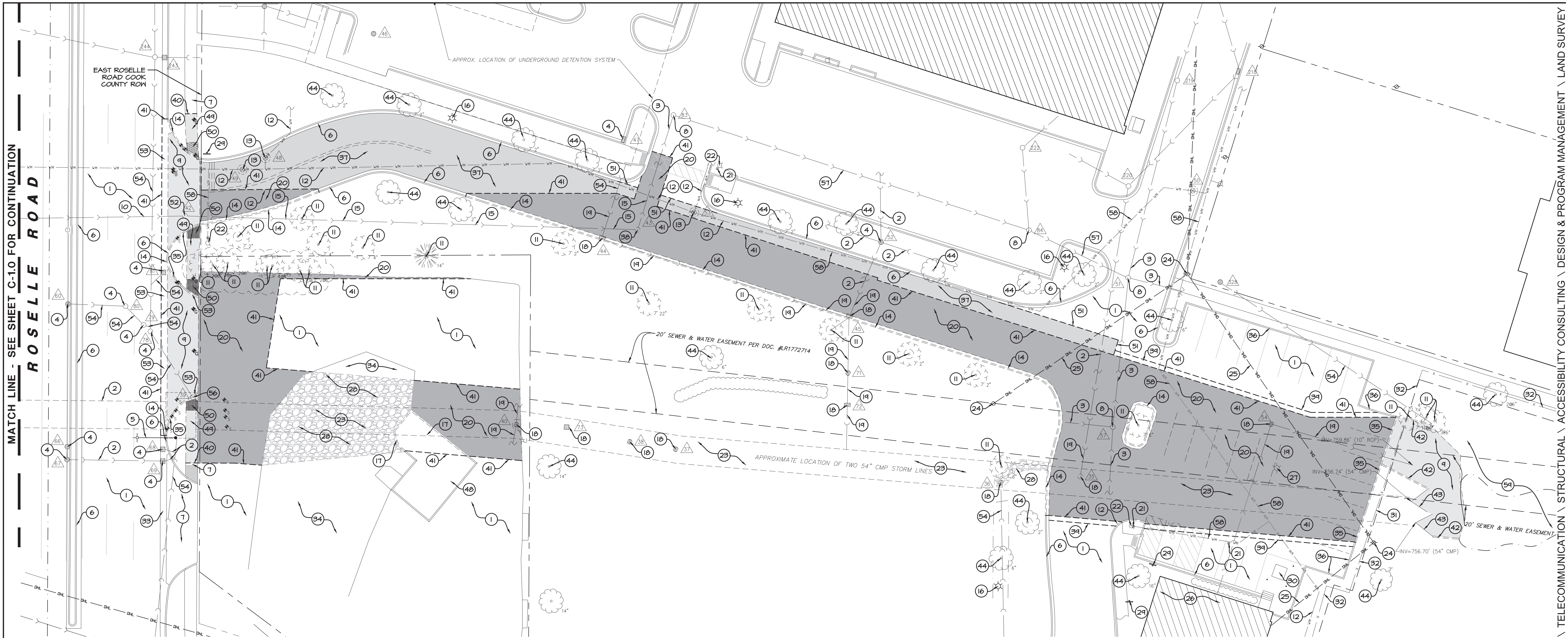
| TO | DATE |
|-------------|----------|
| PER USACOE | 9-27-21 |
| CCDDTH | 10-12-21 |
| IDOT | 10-14-21 |
| VILLAGE | 11-12-21 |
| CCDDTH | 1-7-22 |
| CCDDTH/IDOT | 2-7-22 |
| MWR/IDOT | 5-13-22 |

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C-1.0
OFFSITE DEMOLITION PLAN

MATCH LINE - SEE SHEET C-1.0 FOR CONTINUATION

ROSELLE ROAD



LEGEND

- EXISTING STORM SEWER
EXISTING STORM SEWER PER RECORDS
EXISTING SANITARY SEWER
EXISTING SANITARY SEWER PER RECORDS
EXISTING WATER MAIN
EXISTING OVERHEAD LINES
EXISTING CLOSED MANHOLE
EXISTING OPEN FRAME MANHOLE
EXISTING GUTTER GRATE MANHOLE
EXISTING FIRE HYDRANT
EXISTING B-BOX
EXISTING UTILITY POLE
EXISTING WETLAND FLAG

HATCH LEGEND

- EXISTING ASPHALT PAVEMENT TO BE REMOVED FULL DEPTH
EXISTING CONCRETE PAVEMENT TO BE REMOVED FULL DEPTH
EXISTING ASPHALT PAVEMENT TO BE MILLED
EXISTING GRAVEL TO BE REMOVED

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EXISTING UTILITY DATA

Table listing utility data with columns for ID, description, and elevation. Includes items like 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70.

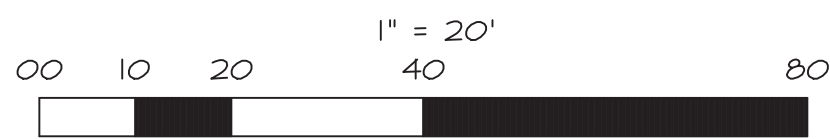
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C. CONTRACTOR SHALL DEVELOP AND IMPLEMENT A DAILY PROGRAM OF DUST CONTROL PROCEDURES PRIOR TO DEMOLITION OF ANY STRUCTURES.
D. ALL EXISTING TREES, BRUSH AND MISCELLANEOUS VEGETATION TO BE REMOVED OR DEMOLISHED SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
E. VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24\"/>

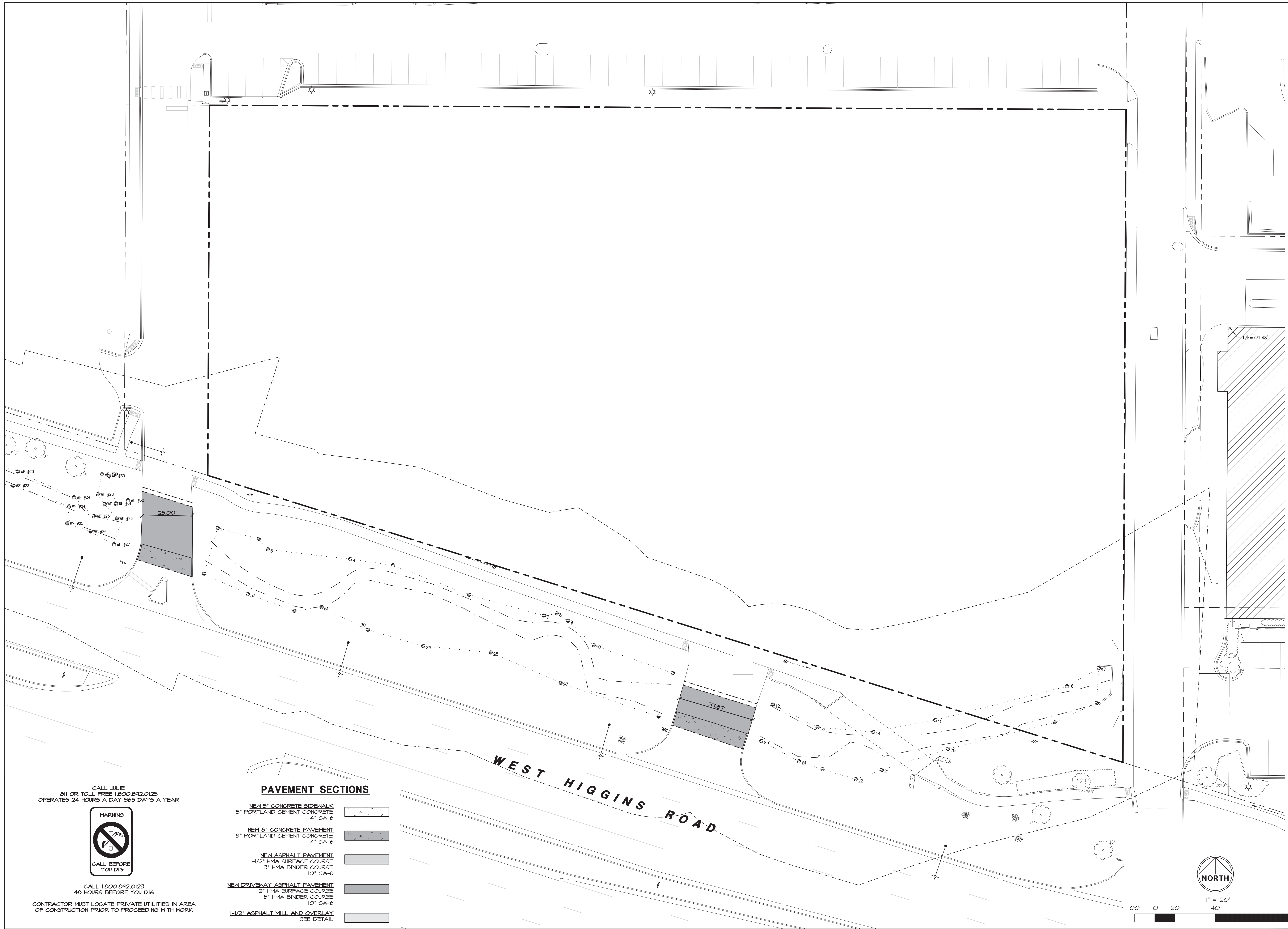
PROJECT NOTES:

- 1. EXISTING ASPHALT TO REMAIN.
2. EXISTING STORM SEWER TO REMAIN.
3. EXISTING SANITARY SEWER TO REMAIN.
4. EXISTING STORM STRUCTURE TO REMAIN.
5. EXISTING STREET LIGHT TO REMAIN.
6. EXISTING CURB AND GUTTER TO REMAIN.
7. EXISTING CONCRETE TO REMAIN.
8. EXISTING SANITARY STRUCTURE TO REMAIN.
9. EXISTING CONCRETE TO BE REMOVED.
10. EXISTING SANITARY SEWER TO BE ABANDONED. SEAL DOWNSTREAM END WITH 2\"/>

- 41. NEW SANCUT FULL DEPTH TO PROVIDE CLEAN CONSTRUCTION BREAK.
42. EXISTING CONCRETE SPILLWAY TO BE REMOVED.
43. EXISTING CMP FLARED END SECTION TO BE REMOVED.
44. EXISTING TREE TO REMAIN.
45. EXISTING CONCRETE HEAD WALL TO BE REMOVED.
46. EXISTING ELECTRIC HANDHOLE TO REMAIN.
47. EXISTING GUY WIRE TO REMAIN.
48. EXISTING FOUNDATIONS TO REMAIN.
49. EXISTING CONCRETE SIDEWALK TO BE REMOVED.
50. EXISTING DETECTABLE WARNING STRIP TO BE REMOVED.
51. NEW 1-3/4\"/>



ISSUE table with columns TO, DATE, and rows for PER USACOE, CDDOTH, IDOT, VILLAGE, CDDOTH, CDDOTH/IDOT, MWR/IDOT.



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PAVEMENT SECTIONS

- NEW 5" CONCRETE SIDEWALK
5" PORTLAND CEMENT CONCRETE
4" CA-6
- NEW 8" CONCRETE PAVEMENT
8" PORTLAND CEMENT CONCRETE
4" CA-6
- NEW ASPHALT PAVEMENT
1-1/2" HMA SURFACE COURSE
3" HMA BINDER COURSE
10" CA-6
- NEW DRIVEWAY ASPHALT PAVEMENT
2" HMA SURFACE COURSE
8" HMA BINDER COURSE
10" CA-6
- 1/2" ASPHALT MILL AND OVERLAY
SEE DETAIL

MATCH LINE - SEE SHEET C-2.1 FOR CONTINUATION

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ISSUE

| TO | DATE |
|------------|----------|
| PER USACOE | 9-27-21 |
| CCDOH | 10-12-21 |
| IDOT | 10-14-21 |
| VILLAGE | 11-12-21 |
| CCDOH | 1-7-22 |
| CCDOH/IDOT | 2-7-22 |
| MWR/IDOT | 5-13-22 |

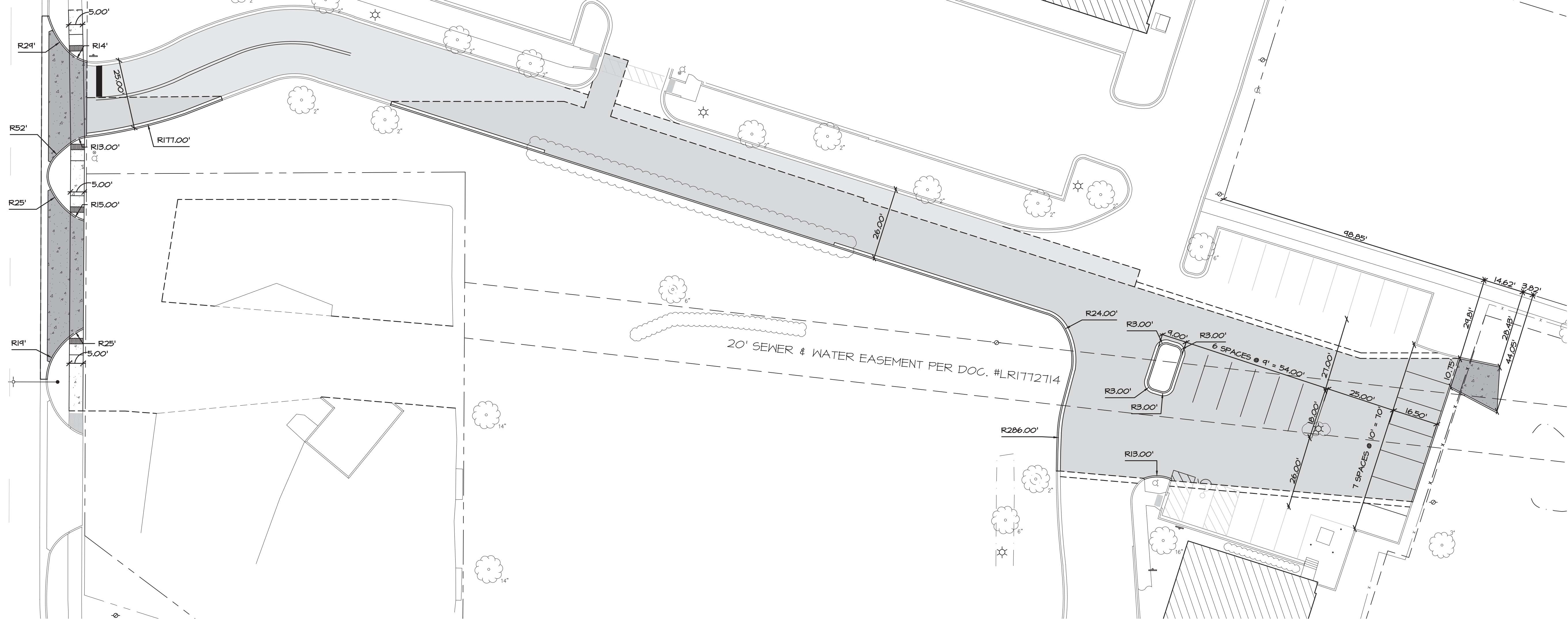
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C-2.0
OFFSITE GEOMETRIC PLAN

MATCH LINE - SEE SHEET C-2.0 FOR CONTINUATION

ROSELLE ROAD

EAST ROSELLE ROAD COOK COUNTY ROW



PAVEMENT SECTIONS

| | |
|--|--|
| NEW 5" CONCRETE SIDEWALK 5" PORTLAND CEMENT CONCRETE 4" CA-6 | |
| NEW 8" CONCRETE PAVEMENT 8" PORTLAND CEMENT CONCRETE 4" CA-6 | |
| NEW ASPHALT PAVEMENT 1-1/2" HMA SURFACE COURSE 3" HMA BINDER COURSE 10" CA-6 | |
| NEW DRIVEWAY ASPHALT PAVEMENT 2" HMA SURFACE COURSE 8" HMA BINDER COURSE 10" CA-6 | |
| 1-1/2" ASPHALT MILL AND OVERLAY SEE DETAIL | |

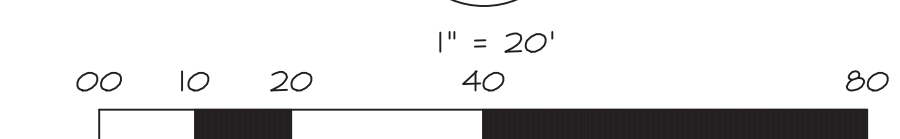
SITE GEOMETRIC NOTES:

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 10-09-18, PREPARED BY WT GROUP LAND SURVEYING. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES (WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. ALL DIMENSIONS SHOWN ARE MEASURED FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT OR FACE OF CURB UNLESS OTHERWISE NOTED.
- C. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS.
- D. SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL BUILDING ENTRIES.
- E. CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- F. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- G. CONTRACTOR SHALL CONTACT J.U.L.I.E. (811 OR 1-800-842-0123) AND/OR PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- H. ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 1045.02 OF THE IDOT STANDARD SPECIFICATIONS.
- I. ALL PAINTED CURB ON SITE TO BE REPAINTED FOLLOWING RESURFACING OF THE PARKING LOT. MATCH EXISTING COLOR, REPAINT WITH HIGH QUALITY PAINT.

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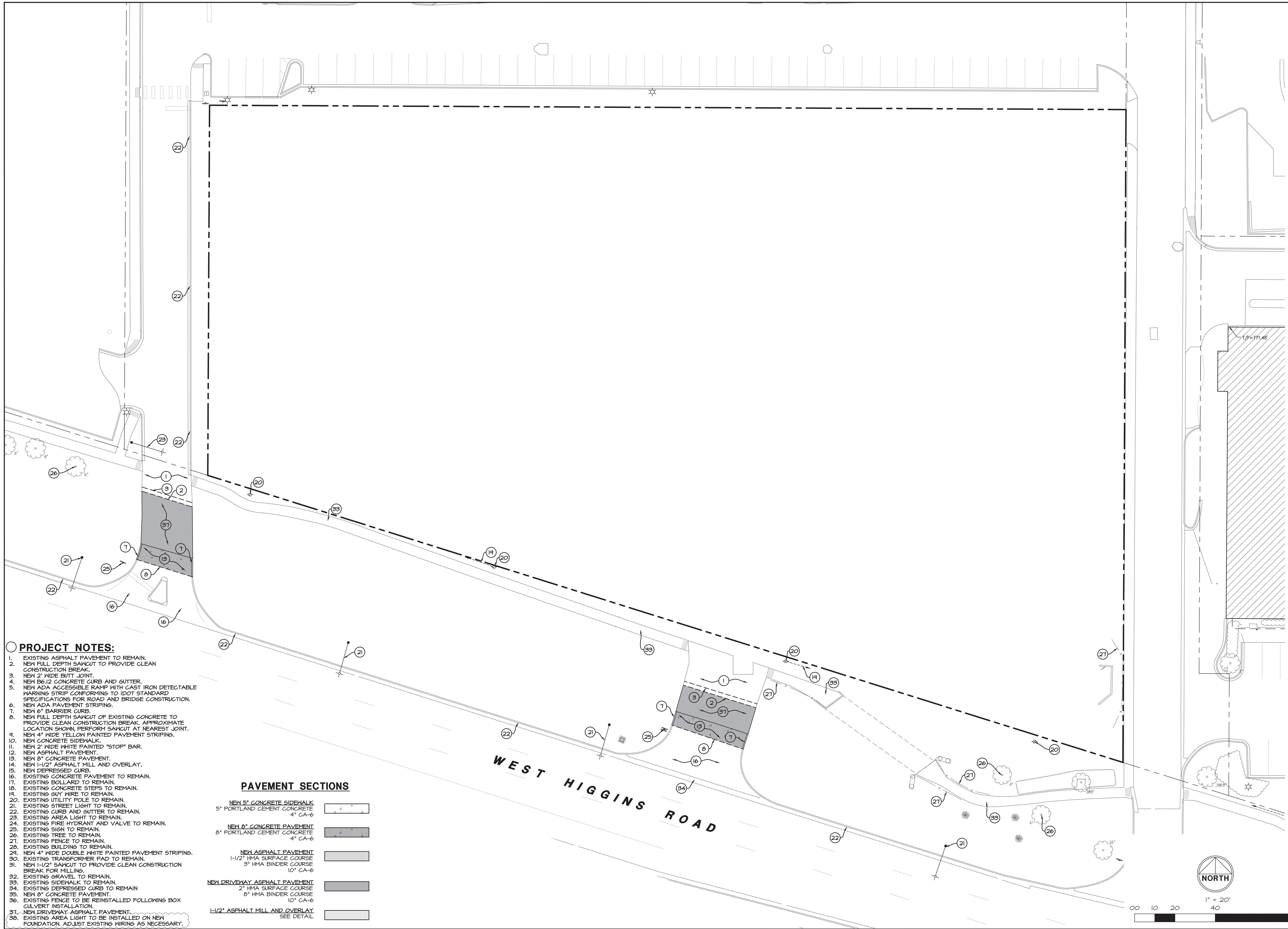
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ISSUE

| TO | DATE |
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| PER USACOE | 9-27-21 |
| CCDOETH | 10-12-21 |
| IDOT | 10-14-21 |
| VILLAGE | 11-12-21 |
| CCDOETH | 1-7-22 |
| CCDOETH/IDOT | 2-7-22 |
| MWR/IDOT | 5-13-22 |

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JOB:1911948C

C-2.1
OFFSITE GEOMETRIC PLAN



PROJECT NOTES:

1. EXISTING ASPHALT PAVEMENT TO REMAIN.
2. NEW FULL DEPTH SAWCUT TO PROVIDE CLEAN CONSTRUCTION BREAK.
3. NEW 2' WIDE BUTT JOINT.
4. NEW B6.12 CONCRETE CURB AND GUTTER.
5. NEW ADA ACCESSIBLE RAMP WITH CAST IRON DETECTABLE WARNING STRIP CONFORMING TO IDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
6. NEW ADA PAVEMENT STRIPING.
7. NEW 6" BARRIER CURB.
8. NEW FULL DEPTH SAWCUT OF EXISTING CONCRETE TO PROVIDE CLEAN CONSTRUCTION BREAK. APPROXIMATE LOCATION SHOWN, PERFORM SAWCUT AT NEAREST JOINT.
9. NEW 4" WIDE YELLOW PAINTED PAVEMENT STRIPING.
10. NEW CONCRETE SIDEWALK.
11. NEW 2" WIDE WHITE PAINTED "STOP" BAR.
12. NEW ASPHALT PAVEMENT.
13. NEW 8" CONCRETE PAVEMENT.
14. NEW 1-1/2" ASPHALT MILL AND OVERLAY.
15. NEW DEPRESSED CURB.
16. EXISTING CONCRETE PAVEMENT TO REMAIN.
17. EXISTING BOLLARD TO REMAIN.
18. EXISTING CONCRETE STEPS TO REMAIN.
19. EXISTING GUY WIRE TO REMAIN.
20. EXISTING UTILITY POLE TO REMAIN.
21. EXISTING STREET LIGHT TO REMAIN.
22. EXISTING CURB AND GUTTER TO REMAIN.
23. EXISTING AREA LIGHT TO REMAIN.
24. EXISTING FIRE HYDRANT AND VALVE TO REMAIN.
25. EXISTING SIGN TO REMAIN.
26. EXISTING TREE TO REMAIN.
27. EXISTING FENCE TO REMAIN.
28. EXISTING BUILDING TO REMAIN.
29. NEW 4" WIDE DOUBLE WHITE PAINTED PAVEMENT STRIPING.
30. EXISTING TRANSFORMER PAD TO REMAIN.
31. NEW 1-1/2" SAWCUT TO PROVIDE CLEAN CONSTRUCTION BREAK FOR MILLING.
32. EXISTING GRAVEL TO REMAIN.
33. EXISTING SIDEWALK TO REMAIN.
34. EXISTING DEPRESSED CURB TO REMAIN.
35. NEW 8" CONCRETE PAVEMENT.
36. EXISTING FENCE TO BE REINSTALLED FOLLOWING BOX CULVERT INSTALLATION.
37. NEW DRIVEWAY ASPHALT PAVEMENT.
38. EXISTING AREA LIGHT TO BE INSTALLED ON NEW FOUNDATION. ADJUST EXISTING WIRING AS NECESSARY.

PAVEMENT SECTIONS

| | |
|---------------------------------|--|
| NEW 5" CONCRETE SIDEWALK | |
| 5" PORTLAND CEMENT CONCRETE | |
| 4" CA-6 | |
| NEW 8" CONCRETE PAVEMENT | |
| 8" PORTLAND CEMENT CONCRETE | |
| 4" CA-6 | |
| NEW ASPHALT PAVEMENT | |
| 1-1/2" HMA SURFACE COURSE | |
| 3" HMA BINDER COURSE | |
| 10" CA-6 | |
| NEW DRIVEWAY ASPHALT PAVEMENT | |
| 2" HMA SURFACE COURSE | |
| 8" HMA BINDER COURSE | |
| 10" CA-6 | |
| 1-1/2" ASPHALT MILL AND OVERLAY | |
| SEE DETAIL | |

MATCH LINE - SEE SHEET C-3.1 FOR CONTINUATION

AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

WT GROUP
Engineering • Design • Consulting

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OFFSITE STORM SEWER
80 WEST HIGGINS ROAD
HOFFMAN ESTATES, IL 60169
HOFFMAN LANES

| TO | DATE |
|------------|----------|
| PER USACOE | 9-27-21 |
| CCDOH | 10-12-21 |
| IDOT | 10-14-21 |
| VILLAGE | 11-12-21 |
| CCDOH | 1-7-22 |
| CCDOH/IDOT | 2-7-22 |
| MWRD/IDOT | 5-13-22 |

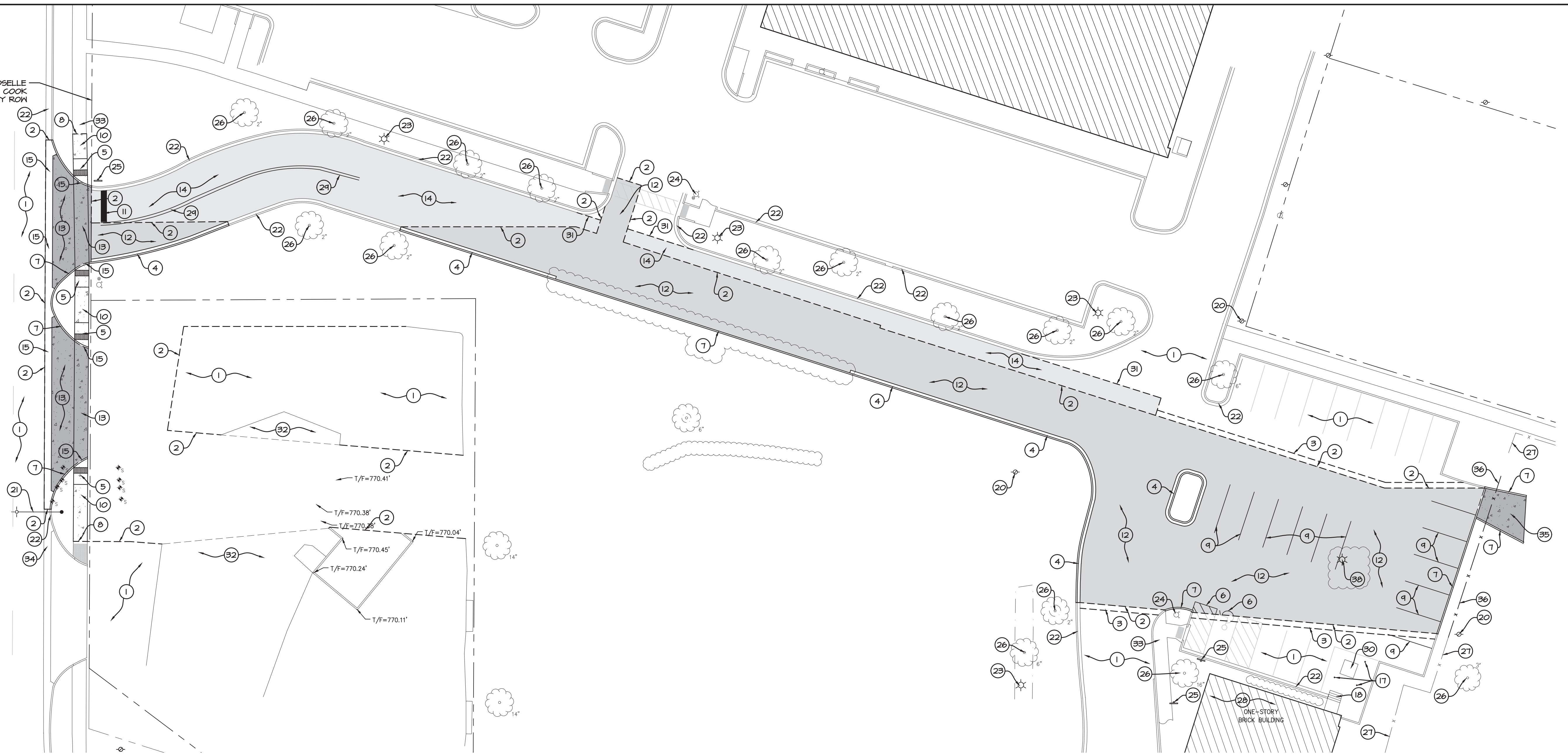
CHECK: J.P.G.
DRAWN: A.J.M.
JOB: 1911948C

C-3.0
OFFSITE DEVELOPMENT PLAN

MATCH LINE - SEE SHEET C-3.0 FOR CONTINUATION

ROSELLE ROAD

EAST ROSELLE ROAD COOK COUNTY ROM



PAVEMENT SECTIONS

| | |
|--|----------------------|
| NEW 5" CONCRETE SIDEWALK | |
| 5" PORTLAND CEMENT CONCRETE | 4" CA-6 |
| NEW 8" CONCRETE PAVEMENT | |
| 8" PORTLAND CEMENT CONCRETE | 4" CA-6 |
| NEW ASPHALT PAVEMENT | |
| 1-1/2" HMA SURFACE COURSE | 3" HMA BINDER COURSE |
| | 10" CA-6 |
| NEW DRIVEWAY ASPHALT PAVEMENT | |
| 2" HMA SURFACE COURSE | 8" HMA BINDER COURSE |
| | 10" CA-6 |
| 1-1/2" ASPHALT MILL AND OVERLAY | |
| | SEE DETAIL |

PROJECT NOTES:

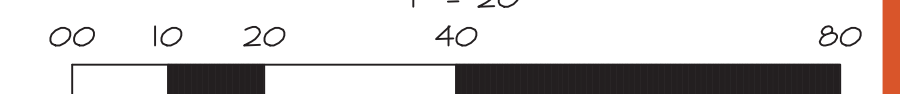
1. EXISTING ASPHALT PAVEMENT TO REMAIN.
2. NEW FULL DEPTH SAWCUT TO PROVIDE CLEAN CONSTRUCTION BREAK.
3. NEW 2" WIDE BUTT JOINT.
4. NEW ADA ACCESSIBLE RAMP WITH CAST IRON DETECTABLE WARNING STRIP CONFORMING TO IDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
5. NEW ADA PAVEMENT STRIPING.
6. NEW 6" BARRIER CURB.
7. NEW FULL DEPTH SAWCUT OF EXISTING CONCRETE TO PROVIDE CLEAN CONSTRUCTION BREAK. APPROXIMATE LOCATION SHOWN, PERFORM SAWCUT AT NEAREST JOINT.
8. NEW 4" WIDE YELLOW PAINTED PAVEMENT STRIPING.
9. NEW CONCRETE SIDEWALK.
10. NEW 2" WIDE WHITE PAINTED "STOP" BAR.
11. NEW ASPHALT PAVEMENT.
12. NEW 8" CONCRETE PAVEMENT.
13. NEW 1-1/2" ASPHALT MILL AND OVERLAY.
14. NEW DEPRESSED CURB.
15. EXISTING CONCRETE PAVEMENT TO REMAIN.
16. EXISTING BOLLARD TO REMAIN.
17. EXISTING CONCRETE STEPS TO REMAIN.
18. EXISTING GUY WIRE TO REMAIN.
19. EXISTING UTILITY POLE TO REMAIN.
20. EXISTING STREET LIGHT TO REMAIN.
21. EXISTING CURB AND GUTTER TO REMAIN.
22. EXISTING AREA LIGHT TO REMAIN.
23. EXISTING FIRE HYDRANT AND VALVE TO REMAIN.
24. EXISTING SIGN TO REMAIN.
25. EXISTING TREE TO REMAIN.
26. EXISTING FENCE TO REMAIN.
27. EXISTING BUILDING TO REMAIN.
28. NEW 4" WIDE DOUBLE WHITE PAINTED PAVEMENT STRIPING.
29. EXISTING TRANSFORMER PAD TO REMAIN.
30. NEW 1-1/2" SAWCUT TO PROVIDE CLEAN CONSTRUCTION BREAK FOR MILLING.
31. EXISTING GRAVEL TO REMAIN.
32. EXISTING SIDEWALK TO REMAIN.
33. EXISTING TRANSFORMER PAD TO REMAIN.
34. EXISTING DEPRESSED CURB TO REMAIN.
35. NEW 8" CONCRETE PAVEMENT.
36. EXISTING FENCE TO BE REINSTALLED FOLLOWING BOX CULVERT INSTALLATION.
37. NEW DRIVEWAY ASPHALT PAVEMENT.
38. EXISTING AREA LIGHT TO BE INSTALLED ON NEW FOUNDATION. ADJUST EXISTING WIRING AS NECESSARY.

SITE DEVELOPMENT NOTES:

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 10-04-18, PREPARED BY WT GROUP LAND SURVEYING. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS.
- C. SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL BUILDING ENTRIES.
- D. CONTRACTOR SHALL COORDINATE ALL LANDSCAPING IMPROVEMENTS WITH LANDSCAPE PLANS.
- E. CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- F. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED.
- G. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- H. ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 1045.02 OF THE IDOT STANDARD SPECIFICATIONS.
- I. CONTRACTOR SHALL RESTORE ALL DISTURBED GREEN SPACES WITH 6" OF TOPSOIL, SEED, AND EROSION CONTROL BLANKET.
- J. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- K. CONTRACTOR SHALL RE-STRIP ALL STRIPING DISTURBED WITHIN THE EXISTING ROADWAYS/PARKING LOT TO MATCH EXISTING.
- L. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- M. ALL ITEMS MARKED "EXISTING" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
- N. ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RE-COMPACTED, AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.

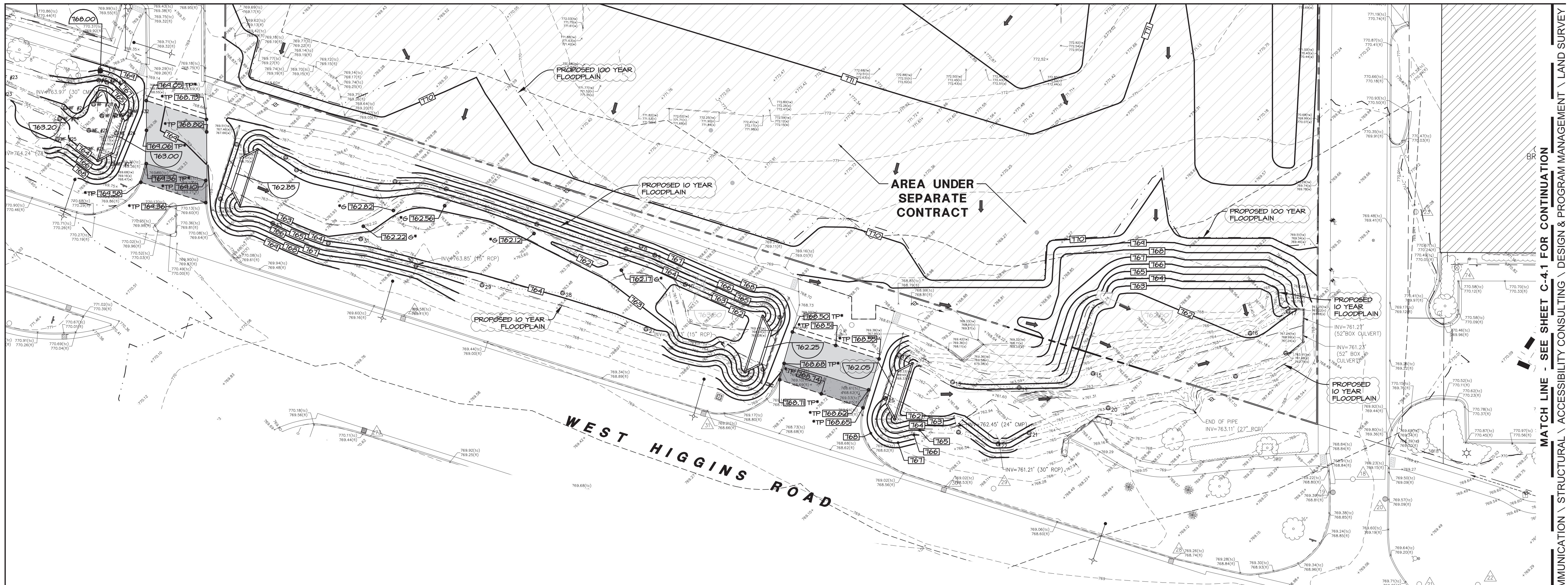


1" = 20'



ISSUE

| TO | DATE |
|--------------|----------|
| PER USACOE | 9-27-21 |
| CCDOETH | 10-12-21 |
| IDOT | 10-14-21 |
| VILLAGE | 11-12-21 |
| CCDOETH | 1-7-22 |
| CCDOETH/IDOT | 2-7-22 |
| MWR/IDOT | 5-13-22 |



MATCH LINE - SEE SHEET C-4.1 FOR CONTINUATION

EXISTING UTILITY DATA

| | |
|---|---|
| <p>18 RIM=768.82' (SANITARY) 48" CONCRETE STRUCTURE INV=754.66' (18" RCP NNW) INV=756.62' (8" CLAY S) INV=764.87' (6" DIP NNE DROP TO 756.17')</p> <p>19 RIM=768.79' (STORM) 48" CONCRETE STRUCTURE INV=764.39' (12" RCP E/SSW) TOP OF DEBRIS=762.54' TOP OF WATER=764.29'</p> <p>20 RIM=769.09' (STORM) 48" CONCRETE STRUCTURE INV=764.42' (12" RCP W) TOP OF DEBRIS=760.84' TOP OF WATER=764.27'</p> <p>21 RIM=769.72' (WATER) 48" CONCRETE STRUCTURE TOP OF PIPE=763.42' (N/S) TOP OF WATER=764.72' PIPE UNDERWATER UNABLE TO DETERMINE PIPE SIZE</p> <p>22 RIM=769.62' (STORM) 48" CONCRETE STRUCTURE INV=763.57' (27" RCP NNW/ESE) INV=764.70' (12" RCP NNE/SSW) TOP OF DEBRIS=764.02' TOP OF WATER=764.29'</p> <p>23 RIM=771.27' (WATER) 48" CONCRETE STRUCTURE TOP OF PIPE=766.47' TOP OF WATER=769.17'</p> <p>24 RIM=772.40' (SANITARY) 48" CONCRETE STRUCTURE INV=767.30' (8" CLAY N/W)</p> <p>25 RIM=772.45' (WATER) 48" CONCRETE STRUCTURE TOP OF PIPE=766.85' (8" DIP N/S) TOP OF WATER=768.35'</p> | <p>27 RIM=769.08' (STORM) 48" CONCRETE STRUCTURE INV=765.83' (12" RCP NNE) TOP OF DEBRIS=763.68' TOP OF WATER=765.83'</p> <p>28 RIM=768.81' (STORM) 48" CONCRETE STRUCTURE INV=764.11' (12" RCP NNW) TOP OF WATER=764.11'</p> <p>29 RIM=768.64' (STORM) 60" CONCRETE STRUCTURE INV=761.19' (30" RCP N/S) INV=763.34' (12" RCP E/W) TOP OF WATER=762.09'</p> <p>30 RIM=768.53' (STORM) 48" CONCRETE STRUCTURE INV=764.43' (12" RCP E) TOP OF DEBRIS=762.18' TOP OF WATER=764.33' 48" CONCRETE STRUCTURE RIM=768.66' (STORM) INV=763.81' (15" RCP NNE) INV=764.58' (12" RCP SSW) TOP OF WATER=763.51'</p> <p>31 RIM=769.07' (STORM) 48" CONCRETE STRUCTURE INV=764.58' (15" RCP N) INV=764.78' (15" RCP SSW) TOP OF DEBRIS=762.92' TOP OF WATER=764.58'</p> <p>32 RIM=770.74' (WATER) 48" CONCRETE STRUCTURE TOP OF PIPE=756.89' (14" DIP E/W)</p> <p>33 RIM=769.37' (STORM) 48" CONCRETE STRUCTURE INV=765.28' (12" RCP NNE) INV=765.56' (12" RCP SSW)</p> |
|---|---|

PAVEMENT SECTIONS

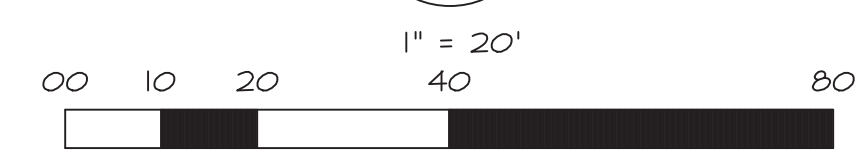
- NEW 5" CONCRETE SIDEWALK**
5" PORTLAND CEMENT CONCRETE
4" CA-6
- NEW 8" CONCRETE PAVEMENT**
8" PORTLAND CEMENT CONCRETE
4" CA-6
- NEW ASPHALT PAVEMENT**
1-1/2" HMA SURFACE COURSE
3" HMA BINDER COURSE
10" CA-6
- NEW DRIVENWAY ASPHALT PAVEMENT**
2" HMA SURFACE COURSE
8" HMA BINDER COURSE
10" CA-6
- 1-1/2" ASPHALT MILL AND OVERLAY
SEE DETAIL

SITE GRADING NOTES:

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY DATED 10-04-10, PREPARED BY WT GROUP LAND SURVEYING. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. ALL PROPOSED GRADES ARE GIVEN TO FINISHED GRADE, I.E. TOP OF PROPOSED ASPHALT, CONCRETE, TOP OF PROPOSED CURB, ETC. SEE DETAILS FOR PAVEMENT THICKNESS.
- C. CONTRACTOR SHALL CONTACT JULIE (811 OR 1-800-842-0123) AND PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- D. CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT.
- E. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- F. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- G. CONTRACTOR TO UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- H. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED.
- I. ALL HANDICAP ACCESSIBLE ROUTES (SIDEWALKS, WALKWAYS, PAVEMENTS, ETC.) SHALL MAINTAIN A MAXIMUM CROSS SLOPE OF 2.00% AND A MAXIMUM LONGITUDINAL SLOPE OF 5.00%. ACCESSIBLE PARKING SPACES SHALL MAINTAIN A MAXIMUM SLOPE OF 2.00% IN ALL DIRECTIONS.
- J. VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24" THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORT.
- K. ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE, CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
- L. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT TRACKING OF MUD OR SOIL ONTO PUBLIC THOROUGHFARES. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
- M. ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RE-COMPACTED, AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
- N. ALL EXCESS SOILS THAT CANNOT BE USED AS SUITABLE FILL SHALL BE HAULED FROM THE SITE AND LEGALLY DISPOSED OF.
- O. CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S LPC-662 AND/OR LPC-663 FORMS AS PART OF THEIR CONTRACT.
- P. PREPARE SUBGRADE AS SPECIFIED WITHIN THE GEOTECHNICAL REPORT DATED MAY 31ST, 2014 PREPARED BY G2 CONSULTING GROUP, LLC.
- Q. ALL TOPSOIL BENEATH PROPOSED STRUCTURES AND PAVEMENT SHALL BE REMOVED. REFER TO THE GEOTECHNICAL REPORT DATED MAY 31ST, 2014 PREPARED BY G2 CONSULTING GROUP, LLC FOR EXISTING TOPSOIL DEPTHS.

GRADING LEGEND

- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE
- INTERPOLATED SPOT GRADE
- PROPOSED RIM ELEVATION
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- OVERLAND FLOW ARROW
- 100 YEAR OVERLAND FLOW ROUTE
- EMERGENCY OVERFLOW ARROW
- TP
- TH
- G
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C-4.0
 OFFSITE GRADING PLAN

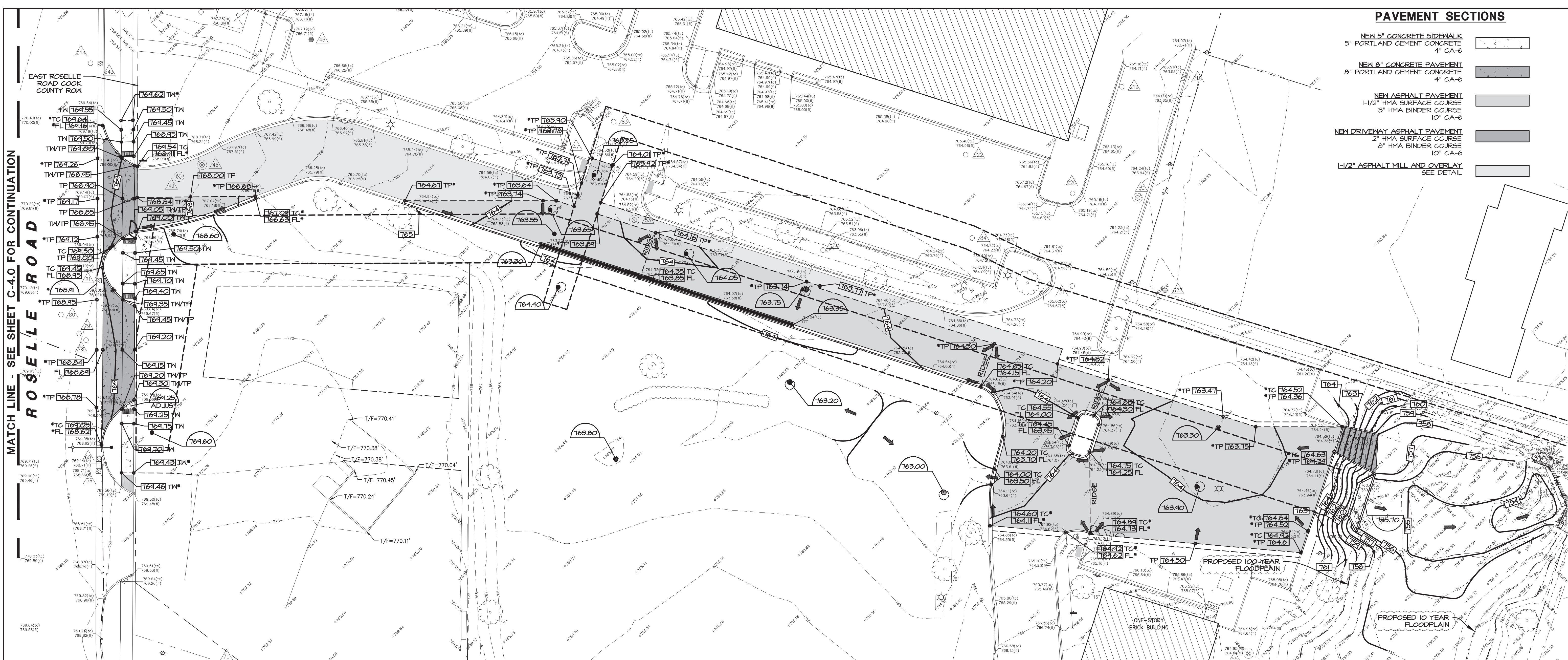
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 JOB:1911948C

ISSUE

| TO | DATE |
|-------------|----------|
| PER USACOE | 9-27-21 |
| CCDOTH | 10-12-21 |
| IDOT | 10-14-21 |
| VILLAGE | 11-12-21 |
| CCDOTH | 1-7-22 |
| CCDOTH/IDOT | 2-7-22 |
| MWR/IDOT | 5-13-22 |

MATCH LINE - SEE SHEET C-4.0 FOR CONTINUATION

ROSELLE ROAD



PAVEMENT SECTIONS

- NEW 5' CONCRETE SIDEWALK
5" PORTLAND CEMENT CONCRETE
4" CA-6
- NEW 8" CONCRETE PAVEMENT
8" PORTLAND CEMENT CONCRETE
4" CA-6
- NEW ASPHALT PAVEMENT
1-1/2" HMA SURFACE COURSE
3" HMA BINDER COURSE
10" CA-6
- NEW DRIVEWAY ASPHALT PAVEMENT
2" HMA SURFACE COURSE
8" HMA BINDER COURSE
10" CA-6
- 1-1/2" ASPHALT HILL AND OVERLAY
SEE DETAIL

EXISTING UTILITY DATA

- 25 RIM=763.84' (STORM)
RIM ON TOP OF PIPE
INV=758.74' (12" RCP N)
INV=757.34' (54" C.M.P. ENE/WSW)
- 36 RIM=763.03' (STORM)
RIM ON TOP OF PIPE
INV=757.88' (54" C.M.P. ENE/WSW)
- 37 RIM=763.83' (STORM)
RIM ON TOP OF PIPE
INV=757.33' (54" C.M.P. ENE/WSW)
- 38 RIM=757.65' (STORM)
RIM ON TOP OF PIPE
INV=757.65' (54" C.M.P. ENE/WSW)
- 39 RIM=769.49' (STORM)
CONCRETE STORM TRAP
BTM OF STRUCTURE/BOX CULVERT=757.64'
INV=757.64' (54" C.M.P. ESE)
WATER LEVEL=758.64'
- 40 RIM=769.03' (STORM)
54" CMP STRUCTURE
INV=757.83' (54" CMP ESE/WSW)
INV=766.53' (4" CLAY NNE/SSW/SE)
- 42 RIM=768.88' (SANITARY)
48" CONCRETE STRUCTURE
INV=752.88' (8" CLAY E/W)
- 43 RIM=763.65' (SANITARY)
48" CONCRETE STRUCTURE
INV=751.20' (8" CLAY NNE/W)
- 44 RIM=763.33' (STORM)
48" CONCRETE STRUCTURE
INV=758.16' (12" RCP N)
758.49' AT WATER LEVEL
- 45 RIM=763.33' (STORM)
60" CONCRETE STRUCTURE
INV=758.47' (18" RCP NW)
INV=758.52' (12" RCP NNE)
INV=760.53' (2" PVC SW)
758.47' AT WATER LEVEL
- 46 RIM=766.45' (STORM)
RIM ON TOP OF PIPE
INV=758.81' (60" C.M.P. ESE/WSW)
- 47 RIM=763.94' (STORM)
RIM ON TOP OF PIPE
INV=758.47' (42" C.M.P. NNE/SSW)
- 48 RIM=767.92' (WATER)
48" CONCRETE STRUCTURE
TOP OF PIPE=759.76' (8" DIP N/S)
- 49 RIM=768.30' (WATER)
48" CONCRETE STRUCTURE
TOP OF PIPE=760.12' (8" DIP E/W)
- 50 RIM=764.15' (WATER)
48" CONCRETE STRUCTURE
TOP OF PIPE=755.36' (12" DIP ESE/WSW)
- 51 RIM=763.83' (STORM)
48" CONCRETE STRUCTURE
INV=751.45' (8" CLAY N)
- 52 RIM=763.83' (STORM)
48" CONCRETE STRUCTURE
INV=751.45' (8" CLAY N)
- 53 RIM=764.02' (WATER)
48" CONCRETE STRUCTURE
TOP OF PIPE=759.72' (8" DIP NW/ESE)
- 54 RIM=763.24' (STORM)
24" CONCRETE STRUCTURE
INV=761.62' AT WATER LEVEL
- 55 RIM=765.22' (WATER)
60" CONCRETE STRUCTURE
TOP OF PIPE=760.10' (12" DIP NE/SW)
- 56 RIM=765.18' (WATER)
48" CONCRETE STRUCTURE
TOP OF PIPE=759.85 (12" DIP SE/NW/WSW)
- 57 RIM=763.75' (SANITARY)
48" CONCRETE STRUCTURE
INV=752.64' (8" CLAY NW/SE/WSW)
- 58 RIM=769.29' (STORM)
24" CONCRETE STRUCTURE
INV=766.65' (12" RCP S)
- 59 RIM=769.29' (STORM)
24" CONCRETE STRUCTURE
INV=766.23' (12" RCP N/E)
- 60 RIM=766.45' (STORM)
48" CONCRETE STRUCTURE
INV=763.51' (12" RCP SE)
- 61 RIM=768.63' (STORM)
48" CONCRETE STRUCTURE
INV=764.44' (12" RCP NE)
- 62 RIM=768.85' (STORM)
24" CONCRETE STRUCTURE
INV=766.92' (6" C.P.P. WNW)
- 63 RIM=763.26' (STORM)
UNABLE TO OPEN
- 64 RIM=763.61' (STORM)
RIM ON TOP OF PIPE
INV=758.35' (24" RCP NNW/SSE)
- 65 RIM=764.18' (STORM)
UNABLE TO OPEN
- 66 RIM=770.74' (WATER)
48" CONCRETE STRUCTURE
TOP OF PIPE=756.89' (4" DIP E/W)
- 67 RIM=766.97' (SANITARY)
UNABLE TO OPEN
- 68 RIM=763.64' (SANITARY)
48" CONCRETE STRUCTURE
INV=749.39' (8" CLAY N)
- 69 RIM=749.34' (10" CLAY E)
INV=750.24' (8" CLAY S)
INV=749.79' (10" CLAY W)
- 70 RIM=763.50' (STORM)
36" CONCRETE STRUCTURE
INV=760.37' (10" RCP NW)
- 71 RIM=760.17' (12" RCP SW)
- 72 RIM=764.58' (SANITARY)
48" CONCRETE STRUCTURE
INV=759.60' (6" PVC NE)
- 73 RIM=764.90' (SANITARY)
48" CONCRETE STRUCTURE
INV=759.60' (6" PVC NE)
- 74 RIM=766.15' (STORM)
60" CONCRETE STRUCTURE
INV=751.05' (12" RCP N)
- 75 RIM=759.05' (18" RCP E)
INV=759.15' (18" RCP S)
INV=763.19' (6" CPP W)
- 76 RIM=769.31' (STORM)
60" CONCRETE STRUCTURE
INV=764.44' (12" RCP W)
- 77 RIM=769.47' (STORM)
60" CONCRETE STRUCTURE
INV=764.42' (24" RCP N)
- 78 RIM=764.77' (12" RCP E)
INV=764.31' (24" RCP S)
INV=764.42' (12" RCP W)
- 79 RIM=768.60' (STORM)
48" CONCRETE STRUCTURE
INV=764.42' (24" RCP N)
- 80 RIM=764.93' (12" RCP W)

| ELEVATION | AREA | INCR. STORAGE VOLUME | CUMULATIVE STORAGE VOLUME |
|-----------|------------------------------|----------------------|--------------------------------|
| 762.50 | 13,058 SQ. FT. OR 0.2998 AC. | 6,002 CU. FT. | 51,829 CU. FT. OR 1.1898 AC-FT |
| 762.00 | 10,949 SQ. FT. OR 0.2514 AC. | 10,366 CU. FT. | 45,827 CU. FT. OR 1.0520 AC-FT |
| 761.00 | 9,782 SQ. FT. OR 0.2246 AC. | 9,227 CU. FT. | 35,462 CU. FT. OR 0.8141 AC-FT |
| 760.00 | 8,671 SQ. FT. OR 0.1991 AC. | 8,159 CU. FT. | 26,235 CU. FT. OR 0.6023 AC-FT |
| 759.00 | 7,647 SQ. FT. OR 0.1756 AC. | 7,142 CU. FT. | 18,076 CU. FT. OR 0.4150 AC-FT |
| 758.00 | 6,637 SQ. FT. OR 0.1524 AC. | 5,834 CU. FT. | 10,934 CU. FT. OR 0.2510 AC-FT |
| 757.00 | 5,030 SQ. FT. OR 0.1155 AC. | 2,133 CU. FT. | 5,101 CU. FT. OR 0.1171 AC-FT |
| 756.50 | 3,500 SQ. FT. OR 0.0803 AC. | 1,368 CU. FT. | 2,968 CU. FT. OR 0.0681 AC-FT |
| 756.00 | 1,970 SQ. FT. OR 0.0452 AC. | 893 CU. FT. | 1,601 CU. FT. OR 0.0367 AC-FT |
| 755.50 | 1,603 SQ. FT. OR 0.0368 AC. | 707 CU. FT. | 707 CU. FT. OR 0.0162 AC-FT |

EXISTING SOUTH BASIN STORAGE VOLUME = 1,190 AC-FT

| ELEVATION | AREA | INCR. STORAGE VOLUME | CUMULATIVE STORAGE VOLUME |
|-----------|------------------------------|----------------------|--------------------------------|
| 762.50 | 11,808 SQ. FT. OR 0.2711 AC. | 5,735 CU. FT. | 53,834 CU. FT. OR 1.2359 AC-FT |
| 762.00 | 11,130 SQ. FT. OR 0.2555 AC. | 10,565 CU. FT. | 48,100 CU. FT. OR 1.1042 AC-FT |
| 761.00 | 9,999 SQ. FT. OR 0.2295 AC. | 9,425 CU. FT. | 37,535 CU. FT. OR 0.8617 AC-FT |
| 760.00 | 8,850 SQ. FT. OR 0.2032 AC. | 8,315 CU. FT. | 28,111 CU. FT. OR 0.6453 AC-FT |
| 759.00 | 7,779 SQ. FT. OR 0.1786 AC. | 7,270 CU. FT. | 19,796 CU. FT. OR 0.4545 AC-FT |
| 758.00 | 6,760 SQ. FT. OR 0.1552 AC. | 6,004 CU. FT. | 12,527 CU. FT. OR 0.2876 AC-FT |
| 757.00 | 5,248 SQ. FT. OR 0.1205 AC. | 4,249 CU. FT. | 6,523 CU. FT. OR 0.1497 AC-FT |
| 756.00 | 3,249 SQ. FT. OR 0.0746 AC. | 2,274 CU. FT. | 2,274 CU. FT. OR 0.0522 AC-FT |

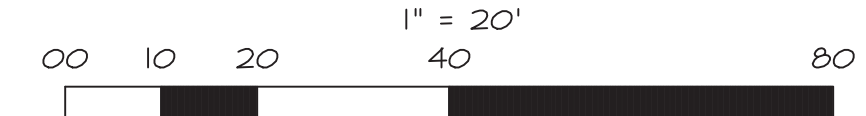
PROPOSED SOUTH BASIN STORAGE VOLUME = 1,236 AC-FT

GRADING LEGEND

- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE
- INTERPOLATED SPOT GRADE
- PROPOSED RIM ELEVATION
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- OVERLAND FLOW ARROW
- 100 YEAR OVERLAND FLOW ROUTE
- EMERGENCY OVERFLOW ARROW
- TP TOP OF PAVEMENT ELEVATION
- TM TOP OF SIDEWALK ELEVATION
- G FINISHED GRADE ELEVATION
- TC TOP OF CURB ELEVATION
- FL FLOW LINE ELEVATION
- EXISTING CLOSED MANHOLE
- EXISTING OPEN GRATE MANHOLE
- EXISTING BEEHIVE GRATE MANHOLE
- EXISTING CURB INLET
- EXISTING FIRE HYDRANT
- EXISTING VALVE VAULT
- EXISTING B-BOX
- PROPOSED INLET
- PROPOSED OPEN LID MANHOLE / CATCH BASIN
- PROPOSED CLOSED LID MANHOLE
- PROPOSED RISER "I"
- PROPOSED FLARED END SECTION UNDER SEPARATE CONTRACT
- PROPOSED CULVERT APRON END

SITE GRADING NOTES:

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 10-04-18, PREPARED BY WT GROUP LAND SURVEYING. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. ALL PROPOSED GRADES ARE GIVEN TO FINISHED GRADE, I.E. TOP OF PROPOSED ASPHALT, CONCRETE, TOP OF PROPOSED CURBS, ETC. SEE DETAILS FOR PAVEMENT THICKNESS.
- C. CONTRACTOR SHALL CONTACT JULLIE (811 OR 1-800-842-0123) AND PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- D. CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT.
- E. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- F. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- G. CONTRACTOR TO UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT TO BE REMOVED SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- H. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED.
- I. ALL HANDICAP ACCESSIBLE ROUTES (SIDEWALKS, WALKWAYS, PAVEMENTS, ETC.) SHALL MAINTAIN A MAXIMUM CROSS SLOPE OF 2.00% AND A MAXIMUM LONGITUDINAL SLOPE OF 5.00%. ACCESSIBLE PARKING SPACES SHALL MAINTAIN A MAXIMUM SLOPE OF 2.00% IN ALL DIRECTIONS.
- J. VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24" THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORT.
- K. ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE, CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
- L. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT TRACKING OF MUD OR SOIL ONTO PUBLIC THOROUGHFARES. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
- M. ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RE-COMPACTED, AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
- N. ALL EXCESS SOILS THAT CANNOT BE USED AS SUITABLE FILL SHALL BE HAULED FROM THE SITE AND LEGALLY DISPOSED OF.
- O. CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S LFC-662 AND/OR LFC-663 FORMS AS PART OF THEIR CONTRACT.
- P. PREPARE SUBGRADE AS SPECIFIED WITHIN THE GEOTECHNICAL REPORT DATED MAY 31ST, 2019 PREPARED BY G2 CONSULTING GROUP, LLC.
- Q. ALL TOPSOIL BENEATH PROPOSED STRUCTURES AND PAVEMENT SHALL BE REMOVED. REFER TO THE GEOTECHNICAL REPORT DATED MAY 31ST, 2019 PREPARED BY G2 CONSULTING GROUP, LLC FOR EXISTING TOPSOIL DEPTHS.



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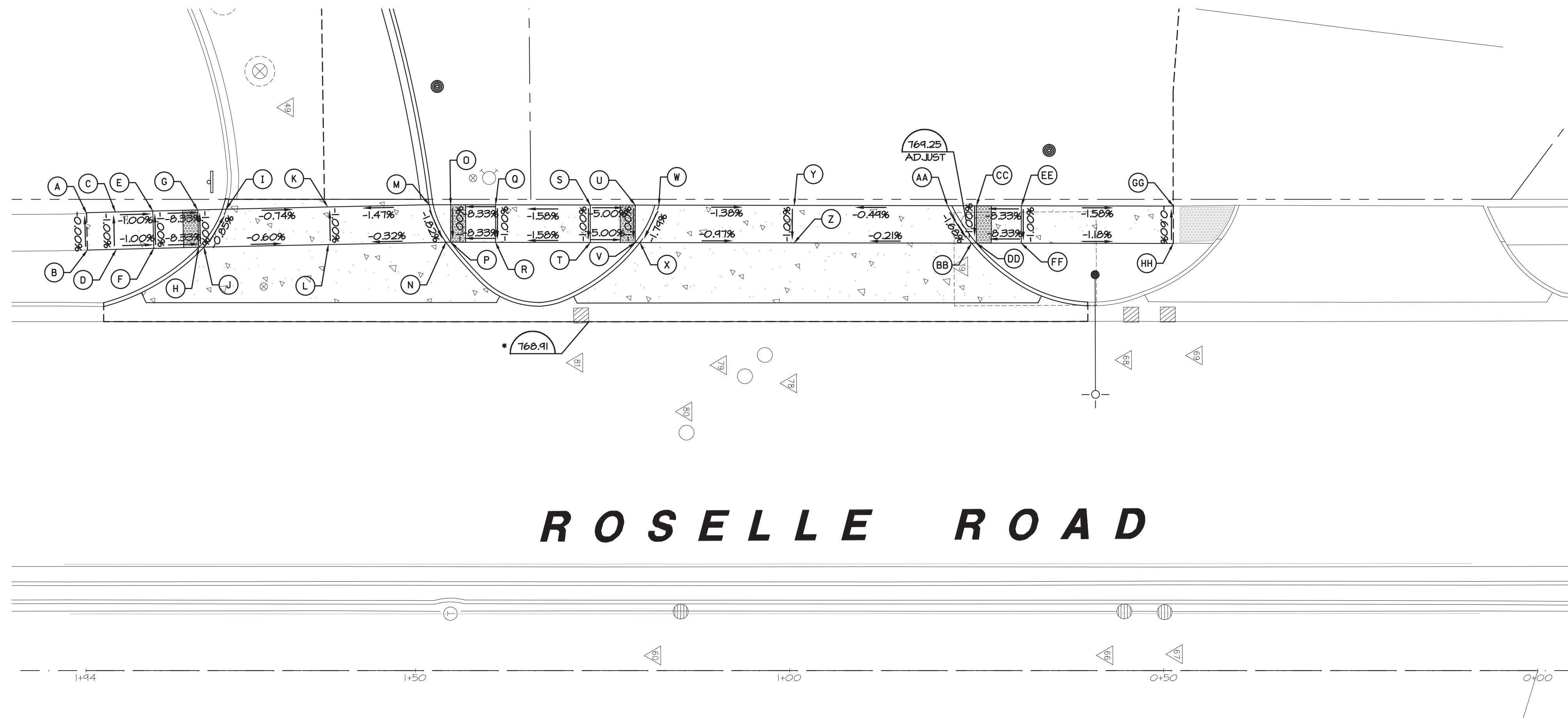
OFFSITE STORM SEWER
80 WEST HIGGINS ROAD
HOFFMAN ESTATES, IL 60169
HOFFMAN LANES

ISSUE

| TO | DATE |
|-------------|----------|
| PER USACOE | 9-27-21 |
| CCDDTH | 10-12-21 |
| IDOT | 10-14-21 |
| VILLAGE | 11-12-21 |
| CCDDTH | 1-7-22 |
| CCDDTH/IDOT | 2-7-22 |
| MWR/IDOT | 5-13-22 |

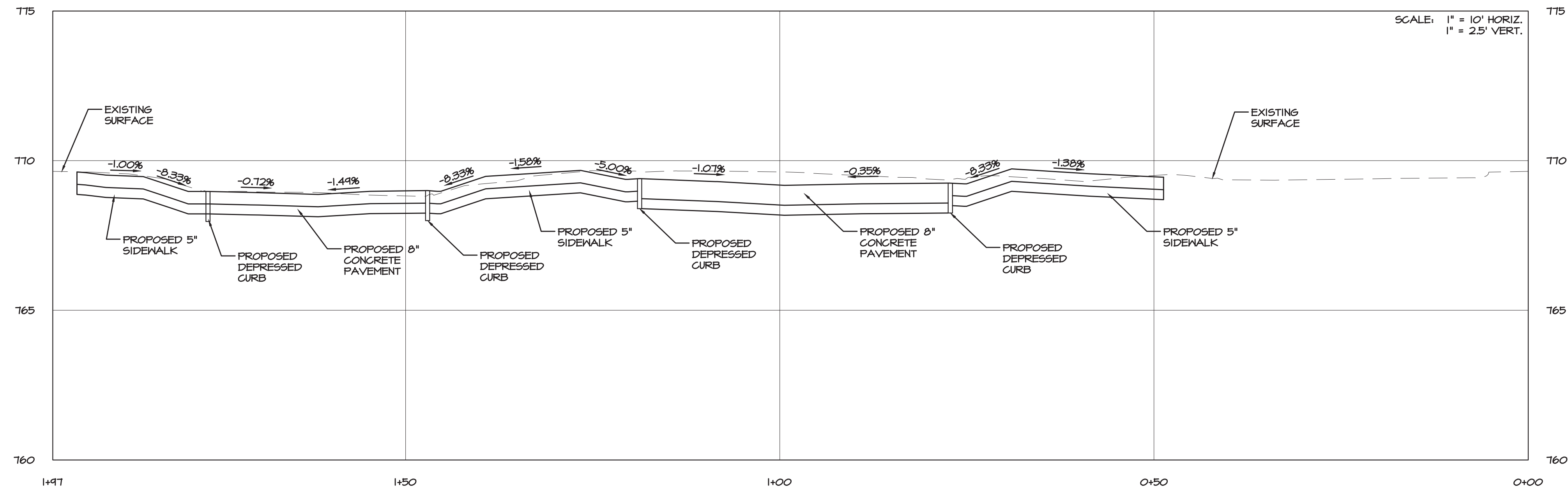
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DRAWN:AJM
JOB:1911948C

C-4.1
OFFSITE GRADING PLAN



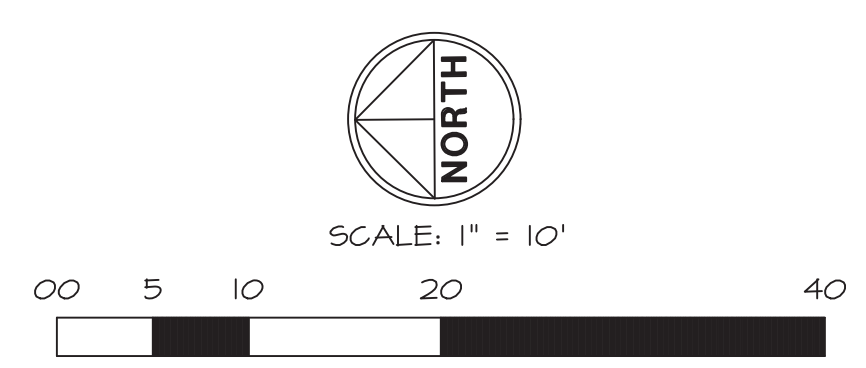
ROSELLE ROAD

COOK COUNTY ROW ADA DETAILS



PROPOSED SIDEWALK PROFILE

| | STATION | OFFSET | ELEVATION |
|----|---------|---------|-----------|
| A | 1+93.96 | 61.21 R | 769.62' |
| B | 1+93.83 | 56.21 R | 769.62' |
| C | 1+90.09 | 61.31 R | 769.50' |
| D | 1+89.97 | 56.31 R | 769.55' |
| E | 1+85.09 | 61.44 R | 769.45' |
| F | 1+84.97 | 56.44 R | 769.50' |
| G | 1+79.09 | 61.59 R | 768.95' |
| H | 1+78.97 | 56.59 R | 769.00' |
| I | 1+75.29 | 61.68 R | 768.95' |
| J | 1+78.26 | 56.61 R | 769.00' |
| K | 1+61.73 | 61.98 R | 768.85' |
| L | 1+61.62 | 56.95 R | 768.90' |
| M | 1+48.17 | 62.27 R | 769.05' |
| N | 1+45.93 | 57.27 R | 768.95' |
| O | 1+45.29 | 62.27 R | 769.00' |
| P | 1+45.30 | 57.27 R | 768.95' |
| Q | 1+39.29 | 62.25 R | 769.50' |
| R | 1+39.30 | 57.25 R | 769.45' |
| S | 1+26.62 | 62.23 R | 769.70' |
| T | 1+26.63 | 57.23 R | 769.65' |
| U | 1+20.62 | 62.22 R | 769.40' |
| V | 1+20.63 | 57.22 R | 769.35' |
| W | 1+17.46 | 62.21 R | 769.45' |
| X | 1+20.00 | 57.22 R | 769.35' |
| Y | 0+99.38 | 62.18 R | 769.20' |
| Z | 0+99.39 | 57.18 R | 769.15' |
| AA | 0+78.88 | 62.14 R | 769.30' |
| BB | 0+75.68 | 57.14 R | 769.20' |
| CC | 0+75.02 | 62.14 R | 769.25' |
| DD | 0+75.03 | 57.14 R | 769.20' |
| EE | 0+69.02 | 62.13 R | 769.75' |
| FF | 0+69.03 | 57.13 R | 769.70' |
| GG | 0+48.73 | 62.10 R | 769.43' |
| HH | 0+48.73 | 57.10 R | 769.46' |



AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

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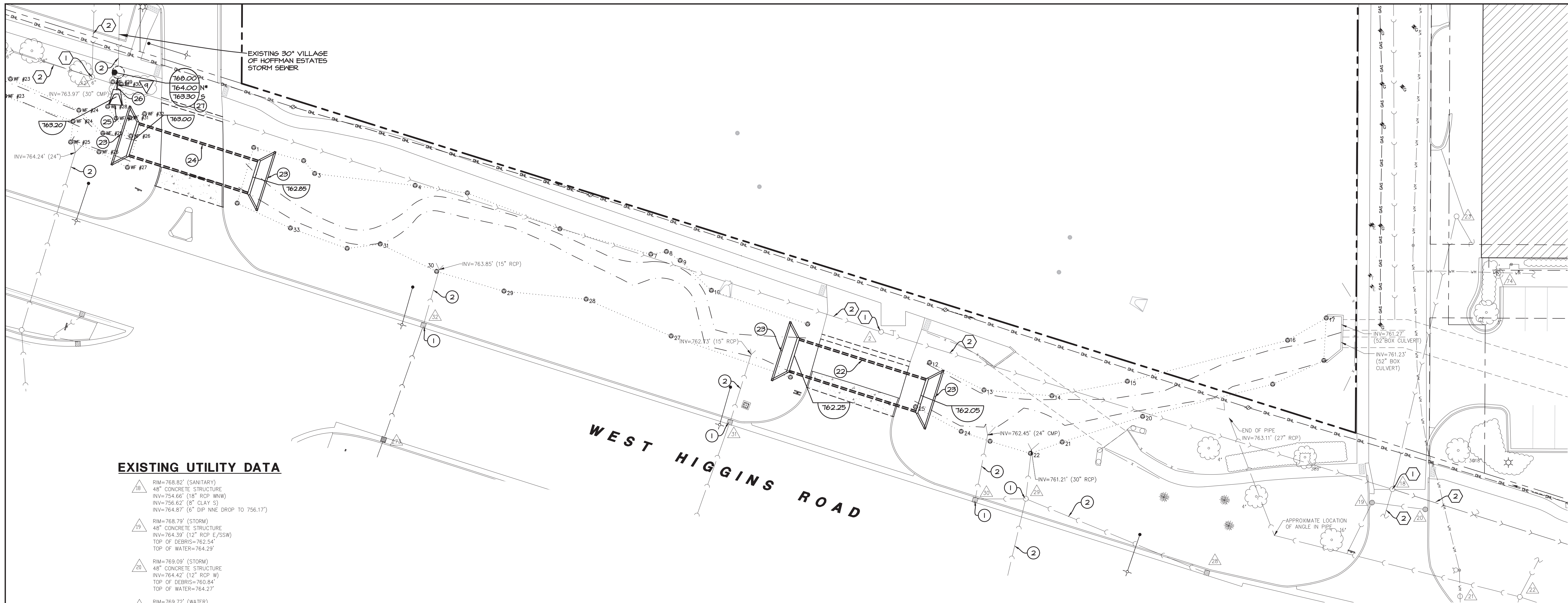
OFFSITE STORM SEWER
 80 WEST HIGGINS ROAD
 HOFFMAN ESTATES, IL 60169
HOFFMAN LANES

ISSUE

| TO | DATE |
|------------|----------|
| PER USACOE | 9-27-21 |
| CCDOH | 10-12-21 |
| IDOT | 10-14-21 |
| VILLAGE | 11-12-21 |
| CCDOH | 1-7-22 |
| CCDOH/IDOT | 2-7-22 |
| MWRD/IDOT | 5-13-22 |

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 DRAWN:AJM
 JOB:1911948C

C-4.2
 COOK COUNTY
 ADA DETAILS



EXISTING UTILITY DATA

- 18. RIM=768.82' (SANITARY)
48" CONCRETE STRUCTURE
INV=754.66' (18" RCP WNW)
INV=756.62' (8" CLAY S)
INV=764.87' (6" DIP NNE DROP TO 756.17')
- 19. RIM=768.79' (STORM)
48" CONCRETE STRUCTURE
INV=764.39' (12" RCP E/SSW)
TOP OF DEBRIS=762.54'
TOP OF WATER=764.29'
- 20. RIM=769.09' (STORM)
45" CONCRETE STRUCTURE
INV=764.42' (12" RCP W)
TOP OF DEBRIS=760.84'
TOP OF WATER=764.27'
- 21. RIM=769.72' (WATER)
48" CONCRETE STRUCTURE
TOP OF PIPE=763.42' (N/S)
TOP OF WATER=764.72'
PIPE UNDERWATER UNABLE TO DETERMINE PIPE SIZE
- 22. RIM=769.62' (STORM)
48" CONCRETE STRUCTURE
INV=763.57' (27" RCP WNW/ESE)
INV=764.70' (12" RCP NNE/SSW)
TOP OF DEBRIS=764.02'
TOP OF WATER=764.29'
- 23. RIM=769.90' (SANITARY)
48" CONCRETE STRUCTURE
INV=766.00' (6" DIP SSE/SSW)
- 24. RIM=771.27' (WATER)
48" CONCRETE STRUCTURE
TOP OF PIPE=766.47'
TOP OF WATER=769.17'
- 25. RIM=772.40' (SANITARY)
45" CONCRETE STRUCTURE
INV=767.30' (8" CLAY N/W)
- 26. RIM=772.45' (WATER)
48" CONCRETE STRUCTURE
TOP OF PIPE=766.85' (8" DIP N/S)
TOP OF WATER=768.35'
- 27. RIM=769.08' (STORM)
48" CONCRETE STRUCTURE
INV=765.83' (12" RCP NNE)
TOP OF DEBRIS=763.68'
TOP OF WATER=765.83'
- 28. RIM=768.81' (STORM)
48" CONCRETE STRUCTURE
INV=764.11' (12" RCP WNW)
TOP OF WATER=764.11'
- 29. RIM=768.64' (STORM)
60" CONCRETE STRUCTURE
INV=761.19' (30" RCP N/S)
INV=763.24' (12" RCP E/W)
TOP OF WATER=762.09'
- 30. RIM=768.53' (STORM)
48" CONCRETE STRUCTURE
INV=764.43' (12" RCP E)
TOP OF DEBRIS=762.18'
TOP OF WATER=764.33'
48" CONCRETE STRUCTURE
RIM=768.66' (STORM)
- 31. INV=763.81' (15" RCP NNE)
INV=764.36' (12" RCP SSW)
TOP OF WATER=763.51'
- 32. RIM=769.07' (STORM)
48" CONCRETE STRUCTURE
INV=764.58' (15" RCP N)
INV=764.78' (15" RCP SSW)
TOP OF DEBRIS=763.92'
TOP OF WATER=764.58'
- 33. RIM=770.74' (WATER)
48" CONCRETE STRUCTURE
TOP OF PIPE=756.89' (4" DIP E/W)
- 34. RIM=769.37' (STORM)
48" CONCRETE STRUCTURE
INV=765.28' (12" RCP NNE)
INV=765.56' (12" RCP SSW)

STORM SEWER

1. EXISTING STORM STRUCTURE TO REMAIN.
2. EXISTING STORM SEWER TO REMAIN.
3. NEW 12' X 4.5' PRECAST CONCRETE BOX CULVERT APRON END.
4. NEW 12' (N) X 4.5' (H) PRECAST CONCRETE BOX CULVERT, 340 L.F. @ 0.33% SLOPE.
5. NEW 12' (N) X 4.5' (H) PRECAST CONCRETE MANHOLE AND 24" DIA. MANWAY WITH SOLID LID.
6. NEW 12' RCP, 5 L.F. @ 4.00% SLOPE.
7. NEW 24" DIA. PRECAST CONCRETE TYPE 'C' CATCH BASIN WITH 2" RESTRICTOR.
8. NEW 12' RCP, 5 L.F. @ 1.80% SLOPE.
9. CONNECT NEW STORM SEWER TO NEW 12' X 4.5' PRECAST CONCRETE BOX CULVERT.
10. NEW 12' RCP, 21 L.F. @ 3.33% SLOPE.
11. NEW 48" DIA. PRECAST CONCRETE CATCH BASIN.
12. NEW 12' RCP, 71 L.F. @ 1.04% SLOPE.
13. NEW 48" DIA. PRECAST CONCRETE OPEN RIM MANHOLE.
14. NEW 12' RCP, 70 L.F. @ 2.05% SLOPE.
15. NEW 24" DIA. PRECAST CONCRETE INLET.
16. NEW NEENAH R-444R-AX TRENCH DRAIN, 110 L.F.
17. NEW 12' (N) X 4.5' (H) PRECAST CONCRETE BOX CULVERT, 153 L.F. @ 0.33% SLOPE.
18. NEW 12' (N) X 4.5' (H) CAST-IN-PLACE CONCRETE MANHOLE AND 24" DIA. MANWAY WITH SOLID LID.
19. NEW 12' (N) X 4.5' (H) PRECAST CONCRETE BOX CULVERT, 71 L.F. @ 0.33% SLOPE.
20. NEW 12' (N) X 4.5' (H) CAST-IN-PLACE CONCRETE MANHOLE AND 24" DIA. MANWAY WITH SOLID LID.
21. NEW 12' (N) X 4.5' (H) PRECAST CONCRETE BOX CULVERT, 6 L.F. @ 0.67% SLOPE.
22. NEW 13' (N) X 4' (H) PRECAST CONCRETE BOX CULVERT, 56 L.F.

SANITARY SEWER

1. EXISTING SANITARY STRUCTURE TO REMAIN.
2. EXISTING SANITARY SEWER TO REMAIN.
3. NEW 48" DIA. PRECAST CONCRETE SANITARY MANHOLE WITH NEENAH R-1113 SOLID LID TO BE INSTALLED ON EXISTING SANITARY SEWER WITH RUBBER BOOT CONNECTION CONFORMING TO ASTM C-423.
4. NEW 8" PVC SDR 26, 48 L.F. @ 0.73% SLOPE.
5. NEW 48" DIA. PRECAST CONCRETE SANITARY MANHOLE WITH NEENAH R-1113 SOLID LID.
6. EXISTING SANITARY SEWER TO BE ABANDONED. SEAL 8" SANITARY SEWER WITH 2' LONG NON-SHRINK CONCRETE MORTAR PLUG AND FILL PIPE TO BE ABANDONED WITH CONTROLLED LOW STRENGTH MATERIAL MEETING IDOT REQUIREMENTS.
7. EXISTING SANITARY STRUCTURE TO BE ABANDONED. REMOVE RIM AND LID AND FILL STRUCTURE ACCORDING TO IDOT STANDARD SPECIFICATIONS.
8. EXISTING SANITARY SEWER PER RECORDS TO REMAIN.

MISCELLANEOUS NOTES

1. EXISTING OVERHEAD LINES TO REMAIN.
2. EXISTING UTILITY POLES TO REMAIN. BRACE AND PROTECT DURING CONSTRUCTION.

- 23. NEW 13' X 4' PRECAST CONCRETE BOX CULVERT APRON END (TYP. OF ALL 4).
- 24. NEW 13' (N) X 4' (H) PRECAST CONCRETE BOX CULVERT, 53 L.F. @ 0.20% SLOPE.
- 25. NEW 30" DIA. PRECAST CONCRETE FLARED END SECTION WITH TRASH GRATE.
- 26. NEW 30" RCP, 10 L.F. @ 1.00% SLOPE.
- 27. NEW 60" DIA. PRECAST CONCRETE FLAT TOP CLOSED LID MANHOLE TO BE INSTALLED ON EXISTING STORM SEWER.
- 28. EXISTING STORM STRUCTURE TO REMAIN. SAWCUT EAST WALL AND CONNECT NEW 12' (N) X 4.5' (H) BOX CULVERT.
- 29. EXISTING STORM SEWER PER RECORDS TO REMAIN.
- 30. EXTEND EXISTING 12" RCP STORM SEWER APPROXIMATELY 1 L.F. AND CONNECT TO NEW 48" MANHOLE. VERIFY LOCATION, SIZE, AND INVERT ELEVATION PRIOR TO ORDERING STRUCTURE.
- 31. CONNECT EXISTING STORM SEWER TO NEW 12' X 4.5' PRECAST CONCRETE BOX CULVERT.
- 32. NEW 6" PVC SDR 26, 5 L.F. @ 5.00% SLOPE.
- 33. NEW 48" DIA. PRECAST CONCRETE MANHOLE WITH SOLID LID.
- 34. NEW 48" DIA. PRECAST CONCRETE CATCH BASIN WITH 5" RESTRICTOR.
- 35. NEW 18" RCP, 50 L.F. @ 0.20% SLOPE.
- 36. NEW 48" DIA. PRECAST CONCRETE MANHOLE WITH SOLID LID.
- 37. NEW 18" RCP, 54 L.F. @ 0.20% SLOPE.
- 38. NEW 48" DIA. PRECAST CONCRETE MANHOLE WITH SOLID LID.
- 39. NEW 8" CLASS 52 DIP, 9 L.F. @ 50% SLOPE (TYP. OF 4).
- 40. NEW 8" CLASS 52 DIP, 5 L.F. @ 5.00% SLOPE (TYP. OF 4).

PIPE CROSSING

1. BOTTOM OF STORM = 755.10 +/-
TOP OF EX SAN = 752.00 +/-
2. BOTTOM OF STORM = 755.10 +/-
TOP OF EX SAN = 753.05 +/-
3. BOTTOM OF STORM = 755.80 +/-
TOP OF SAN = 752.00 +/-
4. BOTTOM OF STORM = 755.80 +/-
TOP OF SAN = 751.90 +/-
5. BOTTOM OF STORM = 758.05 +/-
TOP OF SAN = 751.85 +/-
6. BOTTOM OF EX WATER = 751.55 +/-
TOP OF SAN = 751.80 +/-
7. BOTTOM OF STORM = 754.45 +/-
TOP OF EX WATER = 753.45 V.I.F.
8. BOTTOM OF STORM = 755.00 +/-
TOP OF EX WATER = 753.45 V.I.F.
9. BOTTOM OF STORM = 762.45 +/-
TOP OF EX SANITARY = 760.00 V.I.F.

WATER

1. EXISTING WATER VAULT TO REMAIN.
2. EXISTING WATERMAIN TO REMAIN.
3. EXISTING WATERMAIN PER RECORDS TO REMAIN.
4. EXISTING WATERMAIN PER RECORDS TO REMAIN. LOWER WATERMAIN AS NECESSARY TO PROVIDE 18" OF SEPARATION FROM NEW STORM CULVERT.

UTILITY LEGEND

| | |
|--|---|
| | EXISTING STORM SEWER |
| | PROPOSED STORM SEWER |
| | EXISTING SANITARY SEWER |
| | PROPOSED SANITARY SEWER |
| | EXISTING WATER MAIN |
| | PROPOSED WATER MAIN |
| | EXISTING GAS LINE |
| | PROPOSED GAS LINE |
| | EXISTING OVERHEAD LINES |
| | PROPOSED UNDERGROUND ELECTRIC LINE |
| | EXISTING UNDERGROUND TELCO LINE |
| | PROPOSED RIM ELEVATION |
| | PROPOSED INVERT ELEVATION |
| | FF |
| | TF |
| | EXISTING CLOSED MANHOLE |
| | EXISTING OPEN GRATE MANHOLE |
| | EXISTING CURB INLET |
| | EXISTING FIRE HYDRANT |
| | EXISTING VALVE VAULT |
| | EXISTING B-BOX |
| | EXISTING WETLAND FLAG |
| | PROPOSED FIRE HYDRANT |
| | PROPOSED VALVE WITH VAULT |
| | PROPOSED B-BOX |
| | PROPOSED INLET |
| | PROPOSED OPEN LID MANHOLE / CATCH BASIN |
| | PROPOSED CLOSED LID MANHOLE |
| | PROPOSED RISER "T" |
| | PROPOSED FLARED END SECTION UNDER SEPARATE CONTRACT |
| | PROPOSED CULVERT APRON END |

SITE UTILITY NOTES:

- A. CONTRACTOR SHALL CONTACT JULIE (811 OR 1-800-842-0123) AND PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- B. CONTRACTOR TO UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- C. CONTRACTOR SHALL EXCAVATE AND VERIFY IN FIELD ALL EXISTING UTILITY LOCATIONS, SIZES, CONDITIONS AND ELEVATIONS AT PROPOSED POINTS OF CONNECTION PRIOR TO ANY UNDERGROUND CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- D. REFER TO THE GENERAL NOTES AND SPECIFICATION SHEETS FOR ALL PIPE MATERIAL AND JOINT SPECIFICATIONS.
- E. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- F. CONTRACTOR SHALL VERIFY IN FIELD EXACT SIZE, MATERIAL, INVERT, PIPE ROUTING, AND SLOPE OF ALL EXISTING UTILITIES AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO CONSTRUCTION.
- G. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF UTILITY TRENCHES DURING CONSTRUCTION AND SHALL PROVIDE TEMPORARY SHORING AND BRACING AS NECESSARY TO MAINTAIN STABILITY UNTIL CONSTRUCTION OF THE UTILITY IS COMPLETE IN ORDER TO MEET OSHA AND LOCAL CODES, AS WELL AS MANUFACTURER'S REQUIREMENTS.
- H. ALL RCP STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE, CLASS IV, PER ASTM C-76 WITH FLEXIBLE (O-RING) GASKET JOINTS IN CONFORMANCE WITH ASTM C-443 AND SECTION 31-1.02 OF THE "STANDARD SPECIFICATIONS".
- I. TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY (ASTM D-1557) OVER ALL UNDERGROUND UTILITIES WHICH ARE CONSTRUCTED UNDER OR WITHIN 2 FEET OF ANY PROPOSED OR EXISTING PAVEMENT OR SIDEWALKS IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- J. ADJUST RIM ELEVATIONS OF EXISTING STRUCTURES IN PAVEMENT AS NECESSARY TO MEET PROPOSED FINISHED GRADE.
- K. CONTRACTOR TO COORDINATE ALL CONNECTIONS TO CITY UTILITIES AND STORM SEWERS WITH THE PUBLIC WORKS DEPARTMENT.
- L. CONTRACTOR TO USE CAUTION WHEN EXCAVATING AT EXISTING UTILITY LINES.
- M. ALL STORM MANHOLES SHALL HAVE OPEN LIDS UNLESS OTHERWISE SPECIFIED.
- N. ALL EXISTING UTILITIES TO BE ABANDONED IN PLACE SHALL BE CAPPED WITH 2' LONG (MIN) NON-SHRINK CONCRETE MORTAR PLUGS AT BOTH ENDS.

MATCH LINE - SEE SHEET C-5.1 FOR CONTINUATION

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OFFSITE STORM SEWER
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HOFFMAN ESTATES, IL 60169

HOFFMAN LANES

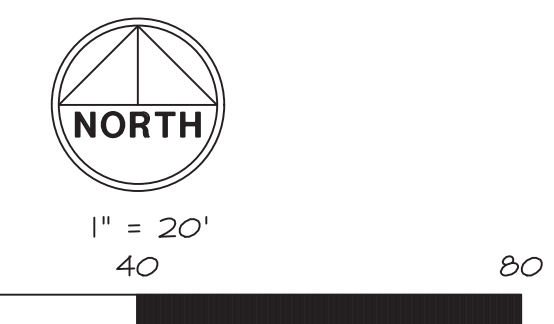
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ISSUE

| TO | DATE |
|-------------|----------|
| PER USACOE | 9-27-21 |
| CCDOTH | 10-12-21 |
| IDOT | 10-14-21 |
| VILLAGE | 11-12-21 |
| CCDOTH | 1-7-22 |
| CCDOTH/IDOT | 2-7-22 |
| MWR/IDOT | 5-13-22 |

C-5.0
OFFSITE UTILITY PLAN



MATCH LINE - SEE SHEET C-5.0 FOR CONTINUATION

ROSELLE ROAD

EAST ROSELLE ROAD COOK COUNTY ROW

APPROX. LOCATION OF UNDERGROUND DETENTION SYSTEM

EXISTING 8" VILLAGE OF HOFFMAN ESTATES SANITARY SEWER

TRENCH 163.10

TRENCH 162.30

TRENCH 163.15

APPROXIMATE LOCATION OF TWO 54" CMP STORM LINES

EXISTING UTILITY DATA

Table of existing utility data including storm sewer, sanitary sewer, and water lines with details like RIM, INVERT, and material.

STORM SEWER

- List of storm sewer items including existing structures to remain, new manholes, catch basins, and culverts with their respective specifications.

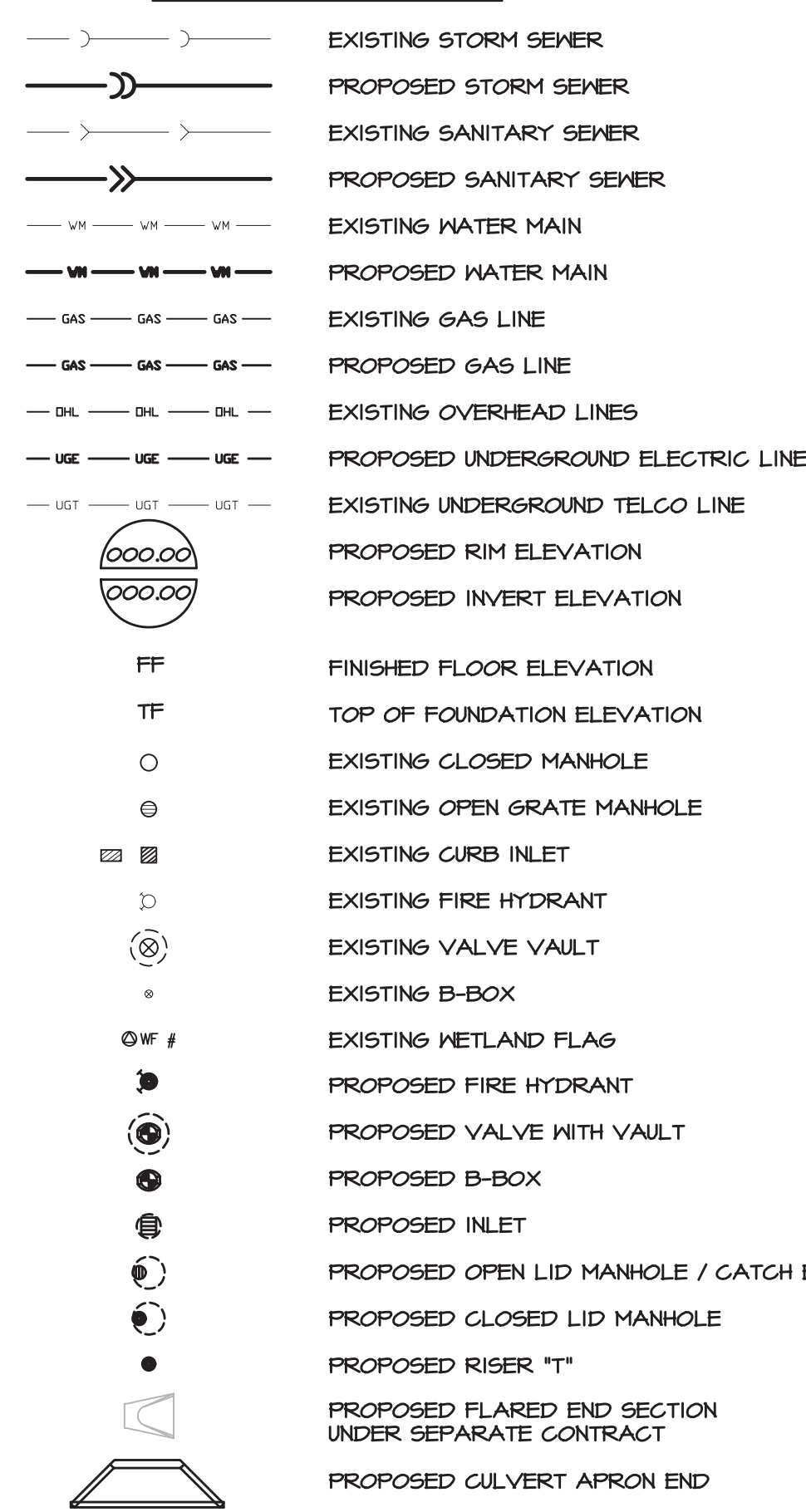
SANITARY SEWER

- List of sanitary sewer items including existing structures to remain, new manholes, and catch basins.

MISCELLANEOUS NOTES

- Notes regarding existing overhead lines, utility poles, and watermain separation requirements.

UTILITY LEGEND



SITE UTILITY NOTES:

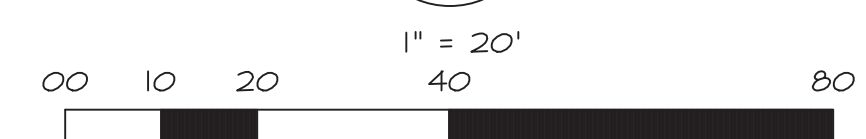
- Notes regarding contractor responsibilities for locating utilities, excavation, and restoration of areas.

PIPE CROSSING

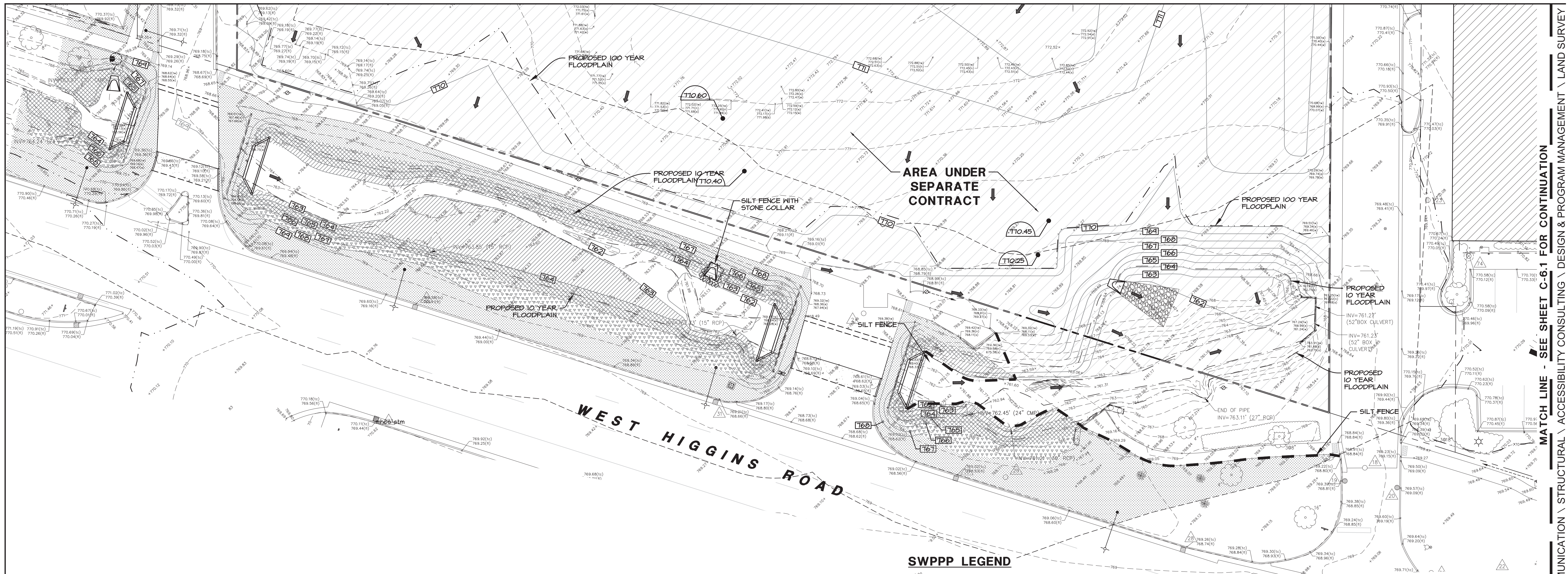
- Specifications for pipe crossings, including storm and sanitary sewer lines, and their invert elevations.

WATER

- Notes regarding existing watermain lines and separation from new storm culverts.



Project information including WT GROUP logo, address (80 WEST HIGGINS ROAD, HOFFMAN ESTATES, IL 60169), sheet title (OFFSITE STORM SEWER), and drawing details (CHECK:JPG, DRAWN:AJM, JOB:1911948C).

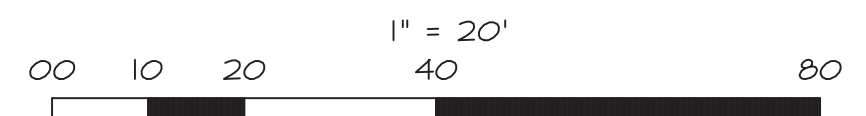


SWPPP LEGEND

- EXISTING SPOT GRADE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- OVERLAND FLOW ARROW
- 100 YEAR OVERLAND FLOW ROUTE
- EMERGENCY OVERFLOW ARROW
- ADJUST EXISTING RIM ELEVATION
- EXISTING CLOSED MANHOLE
- EXISTING OPEN GRATE MANHOLE
- EXISTING BEEHIVE GRATE MANHOLE
- EXISTING CURB INLET
- EXISTING FIRE HYDRANT
- EXISTING VALVE VAULT
- EXISTING B-BOX
- PROPOSED INLET
- PROPOSED OPEN LID MANHOLE / CATCH BASIN
- PROPOSED CLOSED LID MANHOLE
- PROPOSED RISER 'T'
- PROPOSED FLARED END SECTION UNDER SEPARATE CONTRACT
- PROPOSED CULVERT APRON END
- SILT FENCE
- FLEXSTORM CATCH-IT INLET PROTECTION
- SILT FENCE INLET PROTECTION WITH STONE COLLAR
- RIP RAP
- TEMPORARY CONCRETE WASHOUT FACILITY
- FINE GRADE, FERTILIZE, SEED WITH LOW-PRO MESIC PRARIE SEED MIX, (SEE WETLAND & RIPARIAN BUFFER ENHANCEMENT PLAN PREPARED BY ENCAP FOR SPECIFICATIONS) AND INSTALL 5-150 EROSION CONTROL BLANKET 6" BIO-STAKES AS MANUFACTURED BY NORTH AMERICAN GREEN. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- FINE GRADE, FERTILIZE, SEED WITH WET TO MESIC SEED MIX, (SEE WETLAND & RIPARIAN BUFFER ENHANCEMENT PLAN PREPARED BY ENCAP FOR SPECIFICATIONS) AND INSTALL C-125 TURF REINFORCEMENT MAT WITH 6" BIO-STAKES AS MANUFACTURED BY NORTH AMERICAN GREEN. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- FINE GRADE, FERTILIZE, INSTALL C-125 TURF REINFORCEMENT MAT WITH 6" BIO-STAKES, AND INSTALL EMERGENT WETLAND PLUGS. (SEE WETLAND & RIPARIAN BUFFER ENHANCEMENT PLAN PREPARED BY ENCAP FOR SPECIFICATIONS).
- FINE GRADE, FERTILIZE, AND SEED WITH TURF GRASS SEED. INSTALL DS15 EROSION CONTROL BLANKET WITH 6" BIO-STAKES AS MANUFACTURED BY NORTH AMERICAN GREEN. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS.

SWPPP NOTES:

- A. ALL DISTURBED GREEN SPACES ON THE SITE SHALL BE RESTORED ACCORDING TO THE SEED BED PREPARATION SPECIFICATIONS BELOW AND BLANKETED OR MATTED AS SHOWN ON THE PLANS.
- B. TEMPORARY OR PERMANENT STABILIZATION SHALL OCCUR IMMEDIATELY WHENEVER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE. TEMPORARY STABILIZATION SHALL CONSIST OF THE INSTALLATION OF TEMPORARY SEEDING.
- C. CONTRACTOR TO INSTALL TEMPORARY CONSTRUCTION ENTRANCES AS NECESSARY TO EXCAVATE AREAS AND HAIL SOILS ON-SITE. TRACKING OF DEBRIS ON SITE WILL NOT BE TOLERATED. ANY DEBRIS LEFT OUTSIDE OF THE PROJECT LIMITS MUST BE CLEANED IMMEDIATELY.
- D. EROSION CONTROL BLANKETS AND TURF REINFORCEMENT MATS SHALL BE INSTALLED USING 6" BIO-STAKES AS MANUFACTURED BY NORTH AMERICAN GREEN. METAL STAKES AND STAPLES ARE PROHIBITED.
- E. CONTRACTOR SHALL PROVIDE ALL NECESSARY MAINTENANCE FOR THE SEDIMENT AND EROSION CONTROL MEASURES FOR THE DURATION OF THE PROJECT.
- F. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL STORMWATER POLLUTION PREVENTION PLAN (SWPPP) INSPECTIONS, INSPECTION REPORTS, CORRECTIVE ACTION FORMS, SWPPP AMENDMENT LOGS, SUBCONTRACTOR CERTIFICATIONS/AGREEMENTS, GRADING AND STABILIZATION ACTIVITIES LOGS, SWPPP TRAINING LOGS, AND DELEGATION OF AUTHORITY FORMS FOR THE DURATION OF THE PROJECT.
- G. CONTRACTOR SHALL PROVIDE COPIES OF ALL SWPPP REPORTS, FORMS, AND LOGS TO W-T CIVIL ENGINEERING ONCE THE SITE HAS BEEN STABILIZED. THE CONTRACTOR SHALL MAINTAIN THESE DOCUMENTS FOR A PERIOD OF 3 YEARS FROM THE FINAL STABILIZATION OF THE SITE.
- H. FOLLOWING THE REMOVAL OF THE SILT FENCE, THE CONTRACTOR SHALL RESTORE THE SILT FENCE TRENCH WITH SOD.
- I. SEED BED PREPARATION:
 - I.A. ALL STONES, ROCKS, DEBRIS LARGER THAN 1" IN DIAMETER SHALL BE REMOVED.
 - I.B. DISK OR TILL TOPSOIL TO A DEPTH OF 4" AND REDUCE ALL SOIL PARTICLES TO NO LARGER THAN 2". THE SURFACE SHALL BE FREE OF WEEDS, STONES, ROCKS, STICKS, GULLIES, CLUMPS, AND DEBRIS.
 - I.C. THE AREA SHALL BE FINE GRADED.
 - I.D. THE SEED SHALL BE PLACED INTO THE SOIL WITH A MACHINE THAT MECHANICALLY PLACES THE SEED IN DIRECT CONTACT WITH THE SOIL AND COVERS THE SEED WITH THE SOIL.
 - I.E. BROADCAST AND HYDROSEED WILL NOT BE ALLOWED.
 - I.F. SEEDING AREAS SHALL BE COVERED WITH THE EROSION BLANKET RIGHT AFTER THE SEED HAS BEEN SOWN.
 - I.G. ANY SOIL AMENDMENTS NEEDED TO ACHIEVE A 90% HEALTHY STAND OF VEGETATION WILL BE ADDED TO THE SOIL AT NO EXTRA CHARGE TO THE OWNER. THE STAND OF VEGETATION WILL NEED TO BE ACCEPTED BY THE ENGINEER.
 - I.H. THE TURF GRASS SEED MIX SHALL BE KENTUCKY BLUEGRASS 100LBS/ACRE, REVENGE PERENNIAL RYEGRASS 60 LBS/ACRE, ANNUAL RYE 40 LBS/ACRE AND CREEPING RED FESCUE 40 LBS/ACRE TOTAL.



MATCH LINE - SEE SHEET C-6.1 FOR CONTINUATION

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OFFSITE STORM SEWER
80 WEST HIGGINS ROAD
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HOFFMAN LANES

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JOB:1911948C

WT GROUP

C-6.0
OFFSITE STORMWATER
POLLUTION PREVENTION
PLAN

MATCH LINE - SEE SHEET C-6.0 FOR CONTINUATION

ROSELLE ROAD

EAST ROSELLE ROAD COOK COUNTY ROW



SWPPP LEGEND

- EXISTING SPOT GRADE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- OVERLAND FLOW ARROW
- 100 YEAR OVERLAND FLOW ROUTE
- EMERGENCY OVERFLOW ARROW
- ADJUST EXISTING RIM ELEVATION
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- FINE GRADE, FERTILIZE, AND SEED. INSTALL DS15 EROSION CONTROL BLANKET WITH 6" BIO-STAKES AS MANUFACTURED BY NORTH AMERICAN GREEN. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- RESTORE DISTURBED COOK COUNTY ROW AREAS WITH 4" TOPSOIL AND SOD.
- TEMPORARY CONCRETE WASHOUT FACILITY

SWPPP NOTES:

- A. ALL DISTURBED GREEN SPACES ON THE SITE SHALL BE RESTORED ACCORDING TO THE SEED BED PREPARATION SPECIFICATIONS BELOW AND BLANKETED OR MATTED AS SHOWN ON THE PLANS.
- B. TEMPORARY OR PERMANENT STABILIZATION SHALL OCCUR IMMEDIATELY WHENEVER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE. TEMPORARY STABILIZATION SHALL CONSIST OF THE INSTALLATION OF TEMPORARY SEEDING.
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 - I.H. THE TURF GRASS SEED MIX SHALL BE KENTUCKY BLUEGRASS 100LBS/ACRE, REVENGE PERENNIAL RYEGRASS 60 LBS/ACRE, ANNUAL RYE 40 LBS/ACRE AND CREEPING RED FESCUE 40 LBS/ACRE TOTAL.

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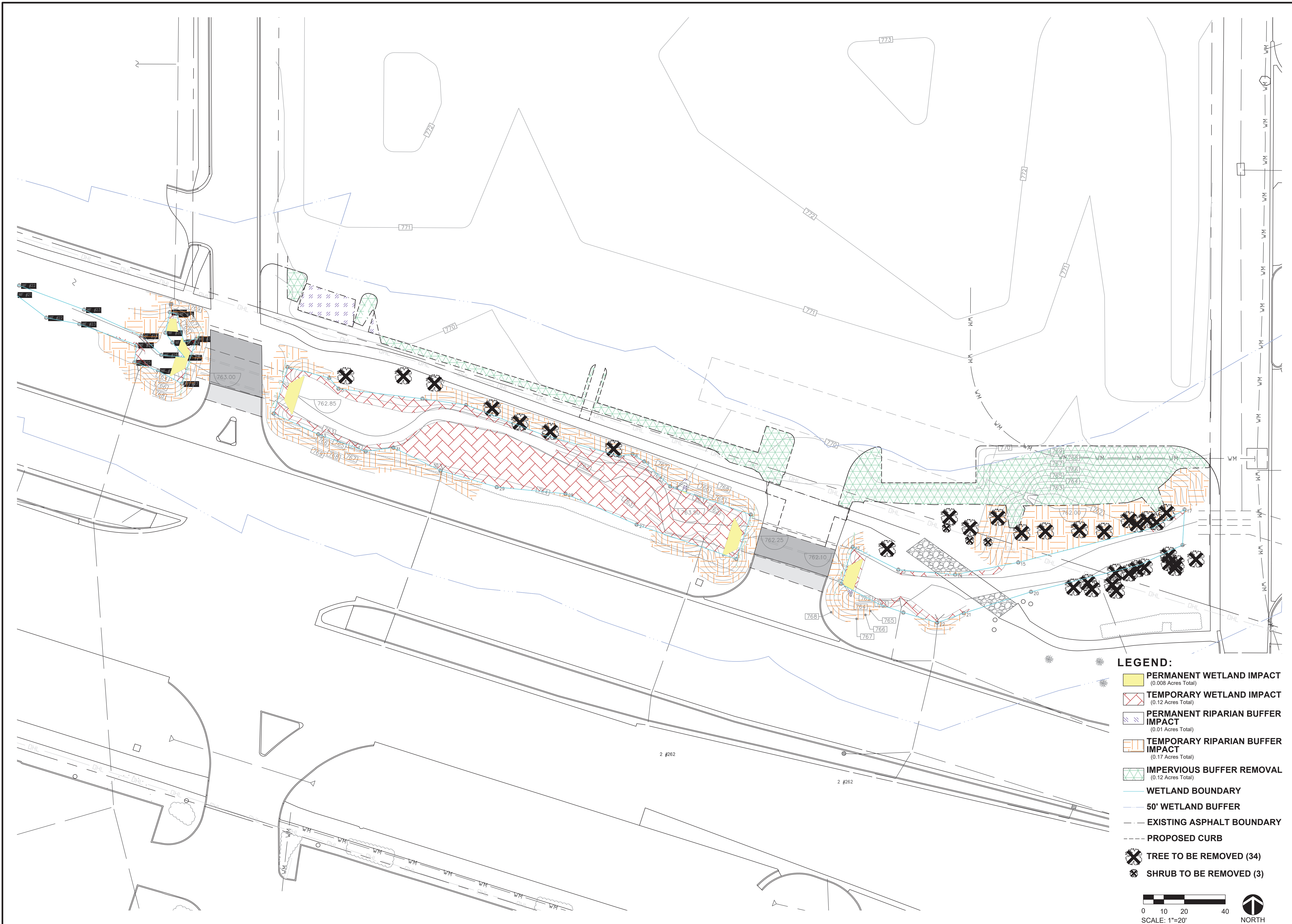
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CHECK:JPG
 DRAWN:AJM
 JOB:1911948C

C-6.1
 OFFSITE STORMWATER
 POLLUTION PREVENTION
 PLAN



LEGEND:

- PERMANENT WETLAND IMPACT**
(0.008 Acres Total)
- TEMPORARY WETLAND IMPACT**
(0.12 Acres Total)
- PERMANENT RIPARIAN BUFFER IMPACT**
(0.01 Acres Total)
- TEMPORARY RIPARIAN BUFFER IMPACT**
(0.17 Acres Total)
- IMPERVIOUS BUFFER REMOVAL**
(0.12 Acres Total)
- WETLAND BOUNDARY**
- 50' WETLAND BUFFER**
- EXISTING ASPHALT BOUNDARY**
- PROPOSED CURB**
- X **TREE TO BE REMOVED (34)**
- **SHRUB TO BE REMOVED (3)**

SCALE: 1"=20'

NORTH

| | | | | | |
|--|--|-----------|--|------|--|
| DRAWN BY | | REVISIONS | | DATE | |
| | | | | | |
| WT Group 2675 Pratum Ave., Hoffman Estates, IL 60192 T: 224.293.6333 F: 224.293.6444 wtengineering.com | | | | | |
| IMPACT PLAN Hoffman Lanes WT Group Hoffman Estates, Illinois 60169 | | | | | |
| DATE: 09/24/2021 SCALE: 1"=20' DRAWN BY: KS REVIEWED BY: SR ENCAP, Inc. #18-0906A-CO1 | | | | | |
| SHEET 1 OF 1 | | | | | |

8.0 PLANT MATERIALS

Emergent Wetland Plugs:

| Scientific Name | Common Name | # of Plugs |
|---|-----------------------|------------|
| <i>Alisma subcordatum</i> | Common Water Plantain | 50 |
| <i>Carex stipata</i> | Blue Flag Iris | 100 |
| <i>Iris virginica</i> var. <i>shrevei</i> | Blue Flag Iris | 50 |
| <i>Leersia oryzoides</i> | Rice Cut Grass | 50 |
| <i>Sagittaria latifolia</i> | Duck Potato | 50 |
| <i>Schoenoplectus acutus</i> | Hardstem Bulrush | 100 |
| <i>Schoenoplectus tabernaemontani</i> | Softstem Bulrush | 100 |
| <i>Scirpus atrovirens</i> | Dark Green Rush | 50 |
| <i>Sparganium eurycarpum</i> | Bur Reed | 50 |
| Total | | 550 |

Trees and Shrubs:

| Symbol | Scientific Name | Common Name | # |
|--------|---------------------------|-------------------|-----------|
| B | <i>Tilia americana</i> | Basswood | 2 |
| R | <i>Betula nigra</i> | River Birch | 4 |
| I | <i>Ostrya virginiana</i> | Ironwood | 2 |
| | Total | | 8 |
| S | <i>Rhus aromatica</i> | Fragrant Sumac | 11 |
| C | <i>Aronia melanocarpa</i> | Black Chokecherry | 9 |
| | Total | | 20 |

Temporary Cover Crop Mixture:

| Scientific Name | Common Name | Lbs/Ac |
|---------------------------|-----------------|--------------|
| <i>Avena sativa</i> | Seed Oats | 38.00 |
| <i>Lolium multiflorum</i> | Annual Ryegrass | 2.00 |
| Total | | 40.00 |

Wet to Mesic Seed Mixture:

| Scientific Name | Common Name | Lbs/Ac |
|------------------------------------|---------------------|---------------|
| <i>Agrostis stolonifera</i> | Bent Grass | 2.000 |
| <i>Asclepias incarnata</i> | Swamp Milkweed | 0.063 |
| <i>Bouteloua curtipendula</i> | Side Oats Gramma | 2.000 |
| <i>Carex normalis</i> | Greater Straw Sedge | 0.250 |
| <i>Carex stipata</i> | Awl-fruited Sedge | 0.063 |
| <i>Carex vulpinoidea</i> | Fox Sedge | 0.250 |
| <i>Eleocharis obtusa</i> | Blunt Spike Rush | 0.125 |
| <i>Eleocharis palustris</i> | Marsh Spike Rush | 0.063 |
| <i>Elymus canadensis</i> | Canadian Wild Rye | 2.000 |
| <i>Elymus virginicus</i> | Virginia Wild Rye | 0.500 |
| <i>Epilobium coloratum</i> | Cinnamon Willowherb | 0.063 |
| <i>Glyceria striata</i> | Fowl Mann Grass | 0.125 |
| <i>Helenium autumnale</i> | Sneezeweed | 0.125 |
| <i>Juncus dudleyi</i> | Dudley's Rush | 0.063 |
| <i>Juncus effusus</i> | Common Rush | 0.125 |
| <i>Juncus torreyi</i> | Torrey's Rush | 0.125 |
| <i>Leersia oryzoides</i> | Rice Cut Grass | 1.000 |
| <i>Panicum virgatum</i> | Switch Grass | 3.000 |
| <i>Penthorum sedoides</i> | Ditch Stonecrop | 0.063 |
| <i>Rumex altissimus</i> | Pale Dock | 0.050 |
| <i>Schizachyrium scoparium</i> | Little Bluestem | 1.000 |
| <i>Scirpus pendulus</i> | Red Bulrush | 0.063 |
| <i>Symphoricarum novae-angliae</i> | New England Aster | 0.125 |
| <i>Teucrium canadensis</i> | Germander | 0.031 |
| <i>Verbena hastata</i> | Blue Vervain | 0.125 |
| <i>Vernonia fasciculata</i> | Prairie Ironweed | 0.063 |
| Total | | 14.960 |

Low-Profile Mesic Prairie Seed Mixture:

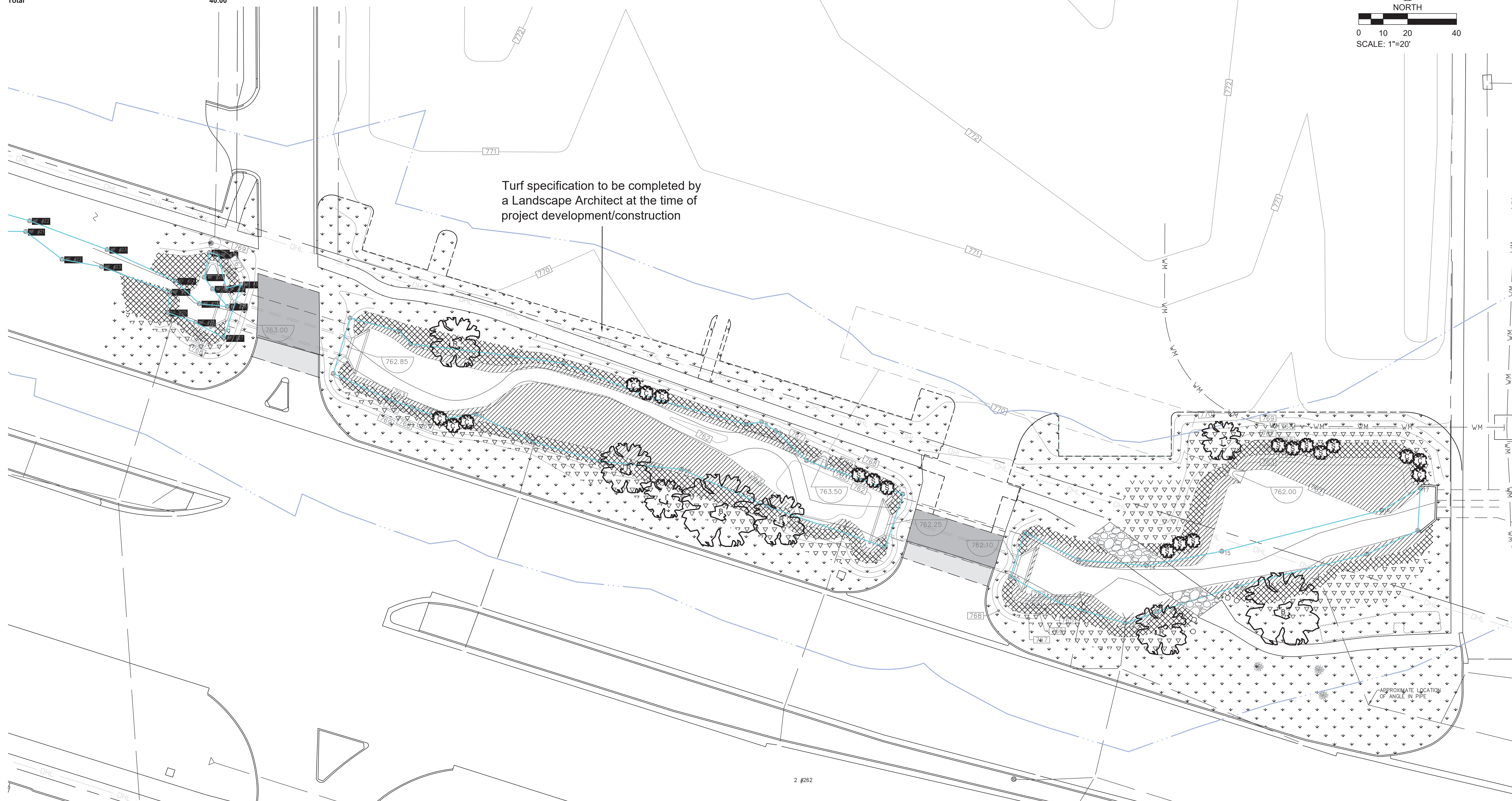
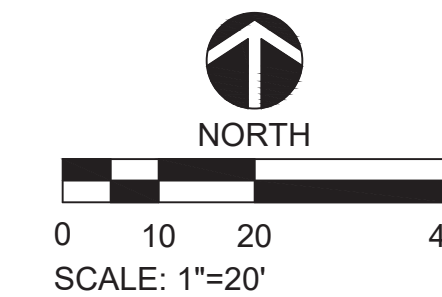
| Scientific Name | Common Name | Lbs/Ac |
|------------------------------------|------------------------|---------------|
| <i>Asclepias verticillata</i> | Whorled Milkweed | 0.063 |
| <i>Bouteloua curtipendula</i> | Side Oats Gramma | 3.000 |
| <i>Carex bicknellii</i> | Bicknell's Sedge | 0.063 |
| <i>Carex brevior</i> | *Shorter* Sedge | 0.063 |
| <i>Cassia fasciculata</i> | Partidge Pea | 0.250 |
| <i>Coreopsis lanceolata</i> | Sand Coreopsis | 0.125 |
| <i>Dalea purpureum</i> | Purple Prairie Clover | 0.063 |
| <i>Echinacea purpurea</i> | Purple Coneflower | 0.500 |
| <i>Elymus canadensis</i> | Canada Wild Rye | 2.000 |
| <i>Elymus virginicus</i> | Virginia Wild Rye | 0.500 |
| <i>Lespedeza capitata</i> | Roundhead Bushclover | 0.063 |
| <i>Morandia fistulosa</i> | Bergamont | 0.250 |
| <i>Panicum virgatum</i> | Switch Grass | 2.000 |
| <i>Parthenium integrifolium</i> | Wild Quinine | 0.063 |
| <i>Penstemon digitalis</i> | Foxglove Beardtongue | 0.125 |
| <i>Pycnanthemum virginianum</i> | Mountain Mint | 0.125 |
| <i>Ratibida pinnata</i> | Yellow Coneflower | 0.250 |
| <i>Rudbeckia hirta</i> | Black-eyed Susan | 0.500 |
| <i>Rudbeckia subtomentosa</i> | Sweet Coneflower | 0.250 |
| <i>Schizachyrium scoparium</i> | Little Bluestem | 2.000 |
| <i>Solidago graminifolia</i> | Grass-leaved Goldenrod | 0.063 |
| <i>Solidago rigida</i> | Stiff Goldenrod | 0.063 |
| <i>Symphoricarum laeve</i> | Smooth Blue Aster | 0.063 |
| <i>Symphoricarum novae-angliae</i> | New England Aster | 0.250 |
| <i>Verbena stricta</i> | Hoary Vervain | 0.125 |
| <i>Veronicastrum virginicum</i> | Culver's Root | 0.063 |
| <i>Zizia aurea</i> | Golden Alexander | 0.125 |
| Total | | 13.005 |

| EROSION CONTROL MATTING | | |
|-------------------------|--|---------|
| S-150 | Wet-Mesic & Low-Pro Mesic Seeded Areas | 1470 SY |
| C-125 | 3' Above & Below NWL | 682 SY |

LEGEND:

- LOW-PRO MESIC PRAIRIE SEED MIX (0.10 Acres Total)*
- WET TO MESIC SEED MIX (0.12 Acres Total)*
- EMERGENT WETLAND PLUGS (0.12 Acres Total)
- TURF GRASS (0.47+ Acres Total)
- WETLAND BOUNDARY
- 50' WETLAND BUFFER
- PROPOSED CURB
- TREE TO BE PLANTED (8)
- SHRUB TO BE PLANTED (20)

*Acreages corrected for slope as appropriate



| DATE | REVISIONS | DRAWN BY |
|------|-----------|----------|
| | | |
| | | |
| | | |

Grading Base Plan Provided by:

2675 Pratum Ave., Hoffman Estates, IL 60142
T: 224.293.6333 F: 224.293.6444
wtengineering.com

2665 Wagner Court, DeKalb, IL 60115
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WETLAND & RIPARIAN BUFFER ENHANCEMENT PLAN
Hoffman Lanes
WT Group
Hoffman Estates, Illinois 60169

| |
|---------------------------|
| DATE: 09/24/2021 |
| SCALE: 1"=20' |
| DRAWN BY: KS |
| REVIEWED BY: SR |
| ENCAP, Inc. #18-0906A-CO1 |

SHEET
1 OF 2

WETLAND AND RIPARIAN BUFFER ENHANCEMENT PLAN

HOFFMAN LANES / WT GROUP

Prepared by ENCAP, Inc. on 9.24.2021

1.0 PURPOSE

The purpose of this plan is to compensate for impacts from culvert replacements and regrading eroded creek banks, requested by the Village of Hoffman Estates, to Salt Creek West Branch Tributary A. The existing wetland and riparian environment/buffer will be enhanced with native seed, emergent plugs, trees, and shrubs to provide enhanced functions and aesthetics over the current wetland/buffer conditions. This project will satisfy both the U.S. Army Corps of Engineers, Chicago District and Cook County Metropolitan Water Reclamation District of Greater Chicago requirements regarding wetland and riparian environment/buffer impacts. The native landscape/enhanced areas will provide improved water quality benefits for the local watershed, increased water infiltration and filtration, increased soil stabilization, and improved wildlife habitat over the existing low-quality conditions.

2.0 CONTRACTOR QUALIFICATIONS

- The Native Landscape Contractor chosen for the establishment and enhancement of the natural areas must be experienced in the restoration, installation, and management of said areas. They must have a minimum of five years' experience conducting ecological installation, restoration and management projects.
- There shall be a supervisor available at all times that can identify non-native and native plants by genus and species. The goal of installing successful native plant communities is a long-term process. Therefore, it is imperative that a qualified Native Landscape Contractor perform the initial installation and maintenance.

3.0 QUALITY AND CONDITION

- Native seed shall be obtained from sources east of the Mississippi River within the same EPA Level III Ecoregion as the project site (Central Corn Belt Plains). Plant origins outside of the Ecoregion shall only be approved by the Wetland Consultant in writing prior to installation.
- Native seeds shall be blended by the vendor, and the mixture and ratio shall be guaranteed in writing to be as specified. The amount of seed in the mixture shall be the total amount of pure live seed (PLS) per acre for all species listed. It is the sole responsibility of the Native Landscape Contractor to provide approved seed that meets industry-standard PLS requirements.
- Native Landscape Contractor shall provide the Wetland Consultant or Owner with the name and location of the seed supplier, origin of the various kinds of plants, and a statement of the purity of the seed.
- Seed shall conform to applicable State and Federal regulations as in effect on the date of letting. Unless otherwise specified, seed shall not contain in excess of 1 percent weed seeds; 0 percent is desirable.
- All storage requirements, stratification, and scarification considerations shall be the sole responsibility of the Native Landscape Contractor.
- Mycorrhizal inoculants shall be pelletized and mixed at 1 lb. per acre with the fine seeds before installation. The inoculants shall contain a diverse mixture of Glomales fungal species (*Glomus* spp.) in palletized form.
- Under no circumstances shall Wheat (*Triticum aestivum*), Cereal Rye (*Secale cereale*), Perennial Rye (*Lolium perenne*), or Barley (*Hordeum vulgare*) be used as a temporary cover crop.

4.0 HANDLING

- Native Landscape Contractor shall be solely responsible for the proper handling and storage of the seed according to the best seed handling and storage practices including fungicide treatments and stratification considerations. Owner shall make no compensation for damage to the seed because of improper storage, cleaning, threshing, or screening operations.
- All native seeds shall be packed and covered in such a manner as to ensure adequate protection against damage and maintain dormancy while in transit, storage, or during planting operations.
- Seed shall be kept dry and unopened until needed for use. Seed shall not be stored or temporarily stored in locations or vehicles where the temperature will be in excess of 90 degrees F.

5.0 SITE PREPARATION

- The General Contractor and Native Landscape Contractor shall be responsible for performing all work necessary to achieve and maintain an acceptable seedbed prior to seeding. All areas must be properly prepared before seeding begins. Underground utility location maps and plans should be reviewed prior to work. Equipment having low unit pressure ground contact shall be utilized within the planting areas.
- Unless the Wetland Consultant agrees to another approach, the seedbed shall be prepared by working the topsoil to a depth of 3 inches. Site preparation equipment shall be of a design that can be utilized efficiently by the Native Landscape Contractor to meet the requirements for the work specified. The equipment proposed for use by the Native Landscape Contractor for disking and herbicide applications shall be subject to approval by the Wetland Consultant.
- Prior to seeding, at least 6 inches of topsoil shall be present and free of all clods, stones, roots, stumps, rivulets, gullies, crusting, and cracking. The soil aggregate size will be no greater than 2 inches in the largest diameter.
- If present, compacted soils shall be disked or raked prior to seeding. Remedial measures for the access area may, at the direction of the Wetland Consultant, involve ripping from 12 to 18 inches of the soil horizon prior to disking. If compaction is not a concern and the seedbed needs to be loosened prior to seeding to ensure good seed-soil contact, disking or raking shall be performed using equipment and the approach recommended by the Native Landscape Contractor, subject to approval by the Wetland Consultant.
- If needed, cultivation shall occur within 24 hours prior to seeding. Seeding should occur immediately after the last cultivation preferably before a rain.

6.0 INVASIVE WOODY VEGETATION REMOVAL (site prep)

This section includes the selective cutting and disposal of woody brush primarily targeting non-native shrubs and trees located within the riparian environment. These low-quality trees and shrubs will be removed to improve site lines and increase the riparian environment buffer functions.

- Work shall be supervised by a certified arborist or qualified contractor who is competent at the identification of plant materials to be removed and native species to be preserved.
- Herbicide to be used for basal applications of cut stumps shall be triclopyr; 3 or 4, trade name Garlon 3A/Tahoe / Garlon 4 Ultra/Tahoe 4E or equivalent.
- Contractor will cut all woody species to be removed with hand tools including but not limited to gas powered chainsaws, gas powered clearing saws, bow saws, and loppers.
- All stumps shall be cut flat with no sharp points, and to within two inches of surrounding grade. Stumps shall be painted with Garlon/Tahoe, or equivalent, immediately after cutting.
- A supply of chemical absorbent shall be kept on-site. Spills shall be properly cleaned up and reported immediately to the owner.
- The contractor shall maintain copies at the project site of all current pesticide applicator's licenses, herbicide labels, and MSDS's (Material Safety Data Sheets) for all chemicals utilized during completion of work.
- Cut brush shall be removed from the site.
- Species Designated for Removal*:

| Scientific Name | Common Name | Disposition |
|-------------------------------|---------------------|-------------|
| <i>Rhamnus</i> spp. | Buckthorn species | Remove all |
| <i>Lonicera</i> spp. | Honeysuckle species | Remove all |
| <i>Rosa multiflora</i> | Multiflora Rose | Remove all |
| <i>Acer negundo</i> | Ash-leaf Maple | Remove all |
| <i>Acer saccharinum</i> | Silver Maple | Remove all |
| <i>Fraxinus pennsylvanica</i> | Green Ash | Remove all |
| <i>Morus alba</i> | White Mulberry | Remove all |
| <i>Pyrus calleryana</i> | Ornamental Pear | Remove all |
| <i>Salix interior</i> | Sandbar Willow | Remove all |
| <i>Ulmus rubra</i> | Slippery Elm | Remove all |

*Species list is not comprehensive. The certified arborist or qualified contractor will determine in the field if additional non-native or invasive shrubs or trees inhibiting site lines should be removed.

- Repair: Repair any damages caused by Contractor during completion of the work. Said damages may include but are not limited to: tire ruts in the ground, damage to lawn areas, damage to trails, etc. In the event any vegetation to be preserved is damaged, notify the owner within 24 hours. The Contractor will be liable for remedying damages to plant materials to the satisfaction of the owner.

7.0 HERBICIDE APPLICATION (site prep)

This section includes the selective application of herbicide to existing non-native herbaceous vegetation primarily targeting Kentucky Bluegrass (*Poa pratensis*) and Groundivy (*Glechoma hederacea*) within the proposed planting zones in areas that are not being graded.

- Herbicide should be applied by a trained and licensed applicator with knowledge of plants occurring in Illinois.
- Non-selective herbicides can be used but with utmost caution. Non-selective herbicides are absorbed through the plant tissues and work their way into the root system, effectively killing the plant. The only acceptable herbicides are glyphosate based such as AquaNeat, Round-Up (Custom), Rodeo, and Razor.

8.0 PLANT MATERIALS

SEE SHEET 1 OF THE WETLAND AND RIPARIAN BUFFER ENHANCEMENT PLAN

9.0 SEED INSTALLATION

- Except where site conditions preclude their use, seeding shall be performed using a Truax drill, Truax Trillion seeder, or comparable equipment designed specifically for installation of native seed. For areas where site conditions preclude the use of specialized equipment, seed may be installed through hand broadcasting and lightly raking in the seed. **Hand broadcast seed shall be spread at twice the specified rate.** Other methods of seed installation may be used with prior written approval from the Wetland Consultant.
- Seasonal Considerations:
 - November 1 through February 28:* Seed must be protected from displacement due to water and wind erosion. Seeding on bare, graded surfaces must be protected with double netted erosion control blankets on slopes. Less cover crop will be observed during the following spring due to frost damage.
 - March 1 through June 29:* Seeding during this period is appropriate but germination of a portion of the seed may not occur until the following season due to lack of cold stratification to break seed dormancy. Cover crop generally germinates within 2-3 weeks of seeding operation. Seeding on bare, graded surfaces must be protected with erosion control blankets on slopes.
 - June 30 through September 15:* Installation of native seed should be suspended unless irrigation can be provided or unseasonably cool conditions persist. Also, any annual forbs planted with the mix during this time period may germinate but not have sufficient time to flower before fall senescence. Seeding on bare, graded surfaces must be protected with erosion control blankets on slopes.
 - September 15 through October 31:* Seeding on bare, graded surfaces must be protected with double netted erosion control blankets on slopes. Less cover crop will be observed during the following spring due to frost damage.
- Prior to starting work, all seeding equipment shall be calibrated and adjusted to sow seeds at the proper seeding rate. In general, the optimum seeding depth is 0.25 inch below the soil surface. Areas where the seed has not been incorporated into the soil to the proper depths will not be accepted, and no compensation for materials or labor for the rejected work will be made by the Owner.
- Equipment shall be operated in a manner to ensure complete, uniform coverage of the entire area to be seeded and to avoid damage to existing woody plants. Any area inadequately covered, as solely determined by the Wetland Consultant, shall be retreated at no additional cost to the Owner.
- Seeding and soil tracking/firming shall not be done during periods of rain, severe drought, high winds, excessive moisture, frozen ground, or other conditions that preclude satisfactory results.
- To achieve best results, seed boxes should be kept more than one-quarter full at all times and ground speed should be no more than 2 to 3 mph.
- Seeding operations must occur when soil moisture is appropriate for seeding operation.
- Native plant seed shall not receive fertilizer.
- Wet seed that is moldy or otherwise damaged in transit or storage shall not be used.
- After seeding operation is completed, install erosion control blanket per manufacturer's specifications as necessary.

10.0 PLUGGING IMPLEMENTATION

- Plugs shall be installed in the spring or other date guaranteed by the Native Landscape Contractor.
- Plugs shall be planted in a hole dug with a trowel, spade, planting bar, or suitable instrument such that the hole is of a minimum diameter and depth to accommodate the plug, with its roots, without damage.
- The soil excavated from the planting hole should be used to backfill around the plant and lightly packed to secure the roots in the soil.
- If planting is delayed more than six hours after delivery, store plugs in the shade, protect from the weather and mechanical damage, and keep them moist and cool. All plugs should be planted within 24 hours of delivery.
- Plugs shall be obtained from a reputable nursery or grown from seed. Plugs shall not be collected from wild populations of plants.
- Plugs shall be installed in areas approximately 8 feet by 12 feet in size. Waterfowl exclusion shall be constructed around plug areas in a manner to protect new plantings from depredation. Fencing shall be constructed of 1" wire mesh or comparable material 2-3 feet in height. Posts shall be metal T-post or 2"x 2" wood stakes. Posts shall be 4 to 6 feet in length dependant on soil structure within the emergent planting area. String shall be strung across the tops of the exclusion structures to prevent aerial entry by waterfowl.

11.0 TREE AND SHRUB INSTALLATION

- Trees (minimum 1.5 inch Diameter at Breast Height [DBH]) and shrubs (minimum 5-gallon container with a plant height of at least 3 feet as measured above the planted ground level) shall be installed. The Wetland Consultant must approve substitutions. Exact locations appropriate to site conditions will be determined by the Native Landscape Contractor in the field.
- The ideal time to plant trees and shrubs is during the fall after leaf drop or early spring before bud-break. Weather conditions are cool and allow plants to establish roots in the new location. However, trees and shrubs properly cared for can be planted throughout the growing season.
- Shrubs will be installed in the plumb position at the same depth as grown at the nursery. Backfill material will be installed around the roots to cover all sides equally. Shrubs shall be thoroughly watered, to the point of saturation. Additional back fill material should be installed following settling. Mulch the base of the shrubs with 2-4 inches of leaf litter, pine straw, shredded bark, peat moss, or wood chips.
- Trees will be installed in the plumb position in a shallow, broad planting hole. The hole shall be as much as three times the diameter of the root ball, but only as deep as the root ball. Place the tree in the hole. Always lift the tree by the root ball, never the trunk. The trunk flare should be 2-3 inches above the top of the hole. Straighten the tree in the hole.
- Fill the hole about 1/3 full and gently but firmly pack the soil around the base of the root ball. Cut and remove the string and wire from around the trunk and top 1/3 of the root ball (altering string and wire around the root ball should not occur if it will void the suppliers guarantee).
- Fill the remainder of the hole taking care to firmly pack soil to eliminate air pockets. It is not recommended to apply fertilizer at the time of planting. Stake the tree if necessary. Remove support staking and ties after the first year of growth.
- Mulch the base of the trees with 2 to 4 inches of leaf litter, pine straw, shredded bark, peat moss, or wood chips. Do not cover the trunk of the trees with mulch.
- Water the trees immediately after planting and then as needed to keep the soil moist but not saturated.

12.0 EROSION CONTROL

- The Native Landscape Contractor shall be fully responsible for implementing erosion control measures within prescribed planting areas.
- All areas are recommended to be covered with erosion control blanket; North American Green S-150 or equivalent will be used at a minimum. Fall-winter plantings and/or 3:1 slopes require North American Green S-150 or equivalent. The regraded creek banks, to 3 feet above and below (i.e. half of the blanket width) the normal water line (NWL), will be stabilized with North American Green G-125 or equivalent. Erosion control blanket shall be installed within 24 hours after an area is seeded. See manufacturer's specifications for erosion control blanket composition.

13.0 NATURAL AREA SIGNAGE (Optional)

- "Natural Area - No Mowing or Dumping Please" or other signage approved by the USACE may be installed in select locations along the perimeter of the native plantings to further define the boundary of the naturalized areas if needed due to encroachment.

14.0 CLEAN-UP AND PROTECTION

- During landscape work, store materials and equipment where directed. Keep pavements clean and work areas and adjoining areas in an orderly condition.
- Protect landscape work and materials from damage due to landscape operations or operations by other trades and trespassers. Maintain protection during installation and maintenance periods. Treat, repair, or replace damaged landscape work as directed by the Wetland Consultant.

15.0 INSPECTIONS AND ACCEPTANCE

- Owner reserves the right to inspect all seeds and plants either at place of growth or at site before planting for compliance with requirements for name, variety, size, quantity, quality or mix proportion.
- Native Landscape Contractor is to keep records of the certificates of composition or invoices of seed mixtures and integrity of plant materials with respect to species, variety, and source after purchase.
- Native Landscape Contractor is to notify Owner within five days after completing initial and/or supplemental plantings in each area.

MONITORING AND MANAGEMENT PLAN

HOFFMAN LANES / WT GROUP

Prepared by ENCAP, Inc. on 09.24.2021

1.0 MONITORING METHODOLOGY

The planted areas will be monitored annually for a three-year period to ensure successful establishment of the plantings. The primary objective of the monitoring program is to track the success of the planted species over the 3-year period of regularly scheduled monitoring sessions. The monitoring documents changes in plant community composition and reveals the need for management changes to improve floristic quality. Specific goals of the monitoring are to determine the vegetative species present, the percent cover by vegetation, and identify hydrology and erosion problems.

Monitoring within the planted areas shall be conducted annually utilizing a meander survey methodology. The monitoring shall identify:

- the dominant vegetative species within each planting zone,
- the approximate percent vegetative coverage by native and non-native/invasive species within each designed planting zone,
- water level or drainage problems,
- erosion and sedimentation problems, and
- tree and shrub survivability counts.

Observations shall be made during the monitoring to identify specific management strategies necessary to reach design goals. Site conditions shall be photo documented during monitoring sessions, preferably at the same location and direction each session.

2.0 PERFORMANCE CRITERIA

- By the end of the first full growing season, the planted areas shall exhibit 75% vegetative cover, primarily by species contained in the temporary erosion control seed mix. There shall be no areas greater than 1.0 square meter devoid of vegetation and 25% of the species present as measured by aerial coverage shall be native and non-invasive. The vegetative coverage portion of this standard does not apply to the emergent plant community.
- By the end of the second growing season, 90% of the ground as measured by aerial coverage shall be vegetated and 50% of the species present as measured by aerial coverage shall be native and non-invasive. The vegetative coverage portion of this standard does not apply to the emergent plant community.
- By the end of the third growing season, 90% of the ground as measured by aerial coverage shall be vegetated and 75% of the species present shall be native and non-invasive. The native floristic quality index value (native FQI) must be greater than or equal to 20 as measured cumulatively over the planted areas. The floristic quality assessment method is described in Swink and Wilhelm, Plants of the Chicago Region. The emergent plant community shall contain a minimum of 50% vegetative coverage by the end of the third year.
- At the end of each growing season, none of the three most dominant species within the planted areas shall be non-native or invasive species including but not limited to: Purple Loosestrife (*Lythrum salicaria*), Reed Canary Grass (*Phalaris arundinacea*), Sweet Clover (*Melilotus* spp.), Common Buckthorn (*Rhamnus cathartica*), Kentucky Blue Grass (*Poa pratensis*), Thistle (*Cirsium* spp.), Honeysuckle (*Lonicera* sp.), Common Reed (*Phragmites australis*), Cattail (*Typha* spp.), or Sandbar Willow (*Salix interior*).
- At the end of the third growing season, 90% of the planted trees and shrubs shall be alive and apparent. Dead trees and shrubs shall be replaced in-kind.
- If these standards are not met, the Native Landscape Contractor shall be responsible for supplemental seeding and herbicide applications in accordance with the specifications and input from a restoration ecologist. Losses due to animal depredation, extremes in weather or precipitation, or lack of water control shall not be covered under Landscape Contractor guarantees.

3.0 REPORTING

An annual vegetation monitoring report will be submitted to the Owner, the Metropolitan Water Reclamation District of Greater Chicago, and the U.S. Army Corps of Engineers Chicago District by January 31st following the monitoring season each year. This report will be used to determine if the natural areas are meeting performance standards. The report shall include information on site location; permit numbers; methodology used (including monitoring dates); data results; summary relative to performance criteria; a summary of the annual monitoring observations; a description of the management performed during the year; a list of recommendations for management during the upcoming year; and representative photographs of the natural areas. The enhanced wetland area and adjacent riparian buffer shall meet certification requirements, associated performance standards, and will be monitored and maintained for a period of three years or until performance standards have been met to ensure successful establishment.


4.0 MANAGEMENT PLAN

- First Year.** Mow the seeded areas to a height of 6-8 inches 2-4 times during the early growing season and as needed to control non-native and invasive species. Mowing (including weed whipping) shall take place prior to or when non-native and invasive species are flowering so as to prevent seed set. Control undesirable plant species, when present in small quantities, by hand pulling prior to the development and maturity of the plant. Hand removal shall include the removal of all aboveground and belowground stems, roots and flower masses prior to development of seeds. Apply herbicide (as necessary) to non-native and invasive species within the naturalized areas with appropriate herbicide. Management site visits should be conducted at a minimum of 3-4 times annually.
- Second Year.** Control of undesirable plant species during the second growing season shall consist primarily of herbicide application. Mowing (including weed whipping) shall be conducted two to four times during the early growing season and as needed to a height of 6 to 8 inches to prevent annual weeds from producing seed. Management site visits should be conducted at a minimum of 3-4 times annually.
- Third Year.** Undesirable plant species will be controlled (as necessary) by spot mowing (including weed whipping), hand pulling, and/or spot herbicide application. Continue to perform management site visits 3-4 times annually during the growing season. At the completion of the third growing season, it is recommended to conduct a late fall mowing with thatch removal on the site. This mowing/removal will mimic the conditions and benefits of a controlled burn; however, with the proximity to buildings, railroads, and roadways prescribed burning is not recommended for this project site.
- Long Term.** As the planted areas mature, required supplemental management will be significantly reduced. The plant communities will stabilize and be effectively managed through spot mowing, spot herbicide application, and hand pulling. Every 2 years a late fall mowing with thatch removal should be conducted. Management site visits should be conducted at a minimum of 1-2 times annually.

5.0 WATERING MANAGEMENT PLAN

- First Year.** Water newly planted trees and shrubs every week during the first 3 months after initial planting or as necessary to keep adequate soil moisture. During the remaining growing season months (May-October), water trees and shrubs as necessary to keep adequate soil moisture. Prune any dead, diseased, or damaged branches from the planted trees and shrubs as necessary. Replace any dead trees or shrubs as necessary.
- Long Term.** As the trees and shrubs mature, required supplemental management will be significantly reduced. Watering may be reduced to direct months during the growing season (May-October) for 3-5 years after initial planting.

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| DRAWN BY | | | | | |
| | REVISIONS | | | | |
| DATE | | | | | |



2585 Wagner Court, DeKalb, IL 60115
 (O) 815-748-4500 (F) 815-748-4255
www.encapinc.net

SPECIFICATIONS

Hoffman Bowl

WT Group

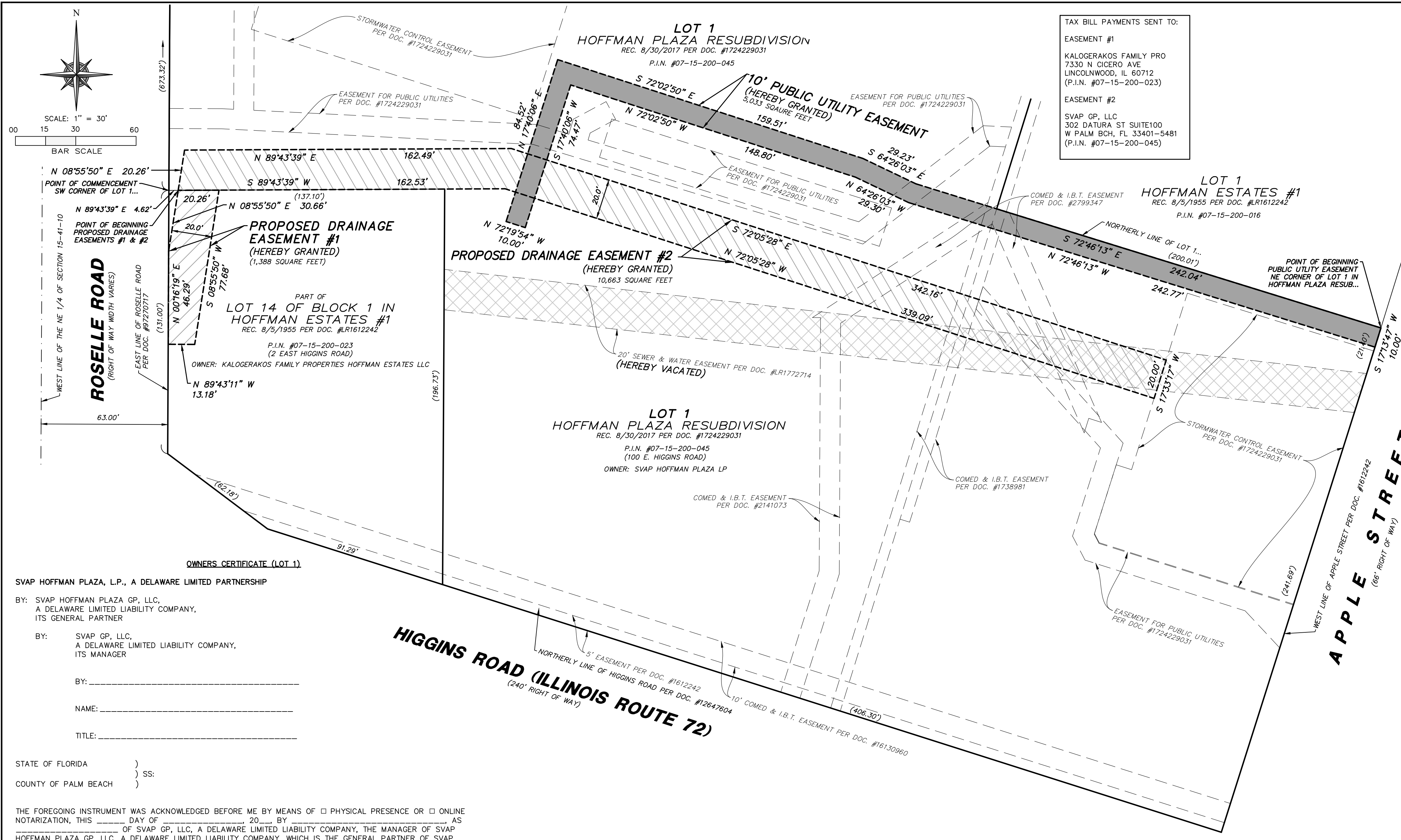
Hoffman Estates, Illinois 60169

SHEET

2 OF 2

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|---------------------------|
| DATE: 09/24/2021 |
| SCALE: No Scale |
| DRAWN BY: KS |
| REVIEWED BY: SR |
| ENCAP, Inc. #18-0906A-CO1 |

PLAT OF EASEMENT



TAX BILL PAYMENTS SENT TO:
 EASEMENT #1
 KALOGERAKOS FAMILY PRO
 7330 N CICERO AVE
 LINCOLNWOOD, IL 60712
 (P.I.N. #07-15-200-023)
 EASEMENT #2
 SVAP GP, LLC
 302 DATURA ST SUITE100
 W PALM BCH, FL 33401-5481
 (P.I.N. #07-15-200-045)

PROPOSED DRAINAGE EASEMENT #1 DESCRIPTION
 THAT PART OF LOT 14 OF BLOCK 1 IN HOFFMAN PLAZA RESUBDIVISION NO. 1 BEING A SUBDIVISION OF PART OF SECTION 14 AND 15, TOWNSHIP 41 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 5, 1955 AS DOCUMENT NUMBER 1612242, DESCRIBED AS FOLLOWS:
 COMMENCING AT A SOUTHWEST CORNER OF LOT 1 IN HOFFMAN PLAZA RESUBDIVISION NO. 1 BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 41 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 30, 2017 AS DOCUMENT NUMBER 1724229031, THENCE NORTH 89 DEGREES 43 MINUTES 39 SECONDS EAST ALONG A SOUTHERLY LINE OF SAID LOT 1, FOR A DISTANCE OF 4.62 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 89 DEGREES 43 MINUTES 39 SECONDS EAST ALONG SAID SOUTH LINE, FOR A DISTANCE OF 20.26 FEET; THENCE SOUTH 08 DEGREES 55 MINUTES 50 SECONDS WEST, 77.68 FEET; THENCE NORTH 89 DEGREES 43 MINUTES 39 SECONDS EAST ALONG THE EAST LINE OF ROSELLE ROAD; THENCE NORTH 00 DEGREES 18 MINUTES 19 SECONDS EAST ALONG THE EAST LINE OF ROSELLE ROAD, FOR A DISTANCE OF 46.29 FEET; THENCE NORTH 08 DEGREES 55 MINUTES 50 SECONDS EAST, 30.66 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

PROPOSED DRAINAGE EASEMENT #2 DESCRIPTION
 THAT PART OF LOT 1 IN HOFFMAN PLAZA RESUBDIVISION NO. 1 BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 41 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 30, 2017 AS DOCUMENT NUMBER 1724229031, DESCRIBED AS FOLLOWS:
 COMMENCING AT A SOUTHWEST CORNER OF SAID LOT 1 ALSO BEING A POINT ON THE EAST LINE OF ROSELLE ROAD; THENCE NORTH 89 DEGREES 43 MINUTES 39 SECONDS EAST ALONG A SOUTHERLY LINE OF SAID LOT 1, FOR A DISTANCE OF 4.62 FEET TO THE POINT OF BEGINNING; THENCE NORTH 08 DEGREES 55 MINUTES 50 SECONDS EAST, 20.26 FEET; THENCE NORTH 89 DEGREES 43 MINUTES 39 SECONDS EAST, 162.49 FEET; THENCE SOUTH 72 DEGREES 05 MINUTES 28 SECONDS EAST, 342.16 FEET TO THE WESTERLY LINE OF THE STORMWATER CONTROL EASEMENT RECORDED PER DOCUMENT 1724229031; THENCE SOUTH 17 DEGREES 33 MINUTES 17 SECONDS WEST ALONG THE WESTERLY LINE OF SAID STORMWATER CONTROL EASEMENT, FOR A DISTANCE OF 20.00 FEET; THENCE NORTH 72 DEGREES 05 MINUTES 28 SECONDS WEST, 339.09 FEET; THENCE SOUTH 89 DEGREES 43 MINUTES 39 SECONDS WEST, 162.53 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

PROPOSED PUBLIC UTILITY EASEMENT DESCRIPTION
 THAT PART OF LOT 1 IN HOFFMAN PLAZA RESUBDIVISION NO. 1 BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 41 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 30, 2017 AS DOCUMENT NUMBER 1724229031, DESCRIBED AS FOLLOWS:
 COMMENCING AT A NORTHEAST OF SAID LOT 1 ALSO BEING A POINT ON THE WEST LINE OF APPLE STREET; THENCE SOUTH 17 DEGREES 13 MINUTES 47 SECONDS WEST ALONG THE EAST LINE OF SAID LOT 1 ALSO BEING THE WEST LINE OF APPLE STREET, FOR A DISTANCE OF 10.00 FEET; THENCE NORTH 72 DEGREES 46 MINUTES 13 SECONDS WEST, 242.77 FEET; THENCE NORTH 64 DEGREES 26 MINUTES 05 SECONDS WEST, 29.30 FEET; THENCE NORTH 72 DEGREES 05 MINUTES 28 SECONDS WEST, 148.80 FEET; THENCE SOUTH 17 DEGREES 40 MINUTES 06 SECONDS WEST, 74.47 FEET; THENCE NORTH 72 DEGREES 19 MINUTES 54 SECONDS WEST, 10.00 FEET; THENCE NORTH 17 DEGREES 40 MINUTES 06 SECONDS EAST, 84.52 FEET; THENCE SOUTH 72 DEGREES 02 MINUTES 50 SECONDS EAST, 159.51 FEET; THENCE SOUTH 64 DEGREES 26 MINUTES 05 SECONDS EAST, 29.23 FEET; THENCE SOUTH 72 DEGREES 46 MINUTES 13 SECONDS EAST, 242.04 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

DRAINAGE EASEMENT PROVISIONS:
 A NON-EXCLUSIVE DRAINAGE EASEMENT HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF HOFFMAN ESTATES ("VILLAGE") FOR ALL AREAS HEREON PLATTED AND DESIGNATED AS "DRAINAGE EASEMENT" FOR THE RIGHT TO ENTER UPON SAID EASEMENT AT ANY TIME FOR THE PURPOSES OF ACCESS TO AND INSPECTION, REPAIR AND MAINTENANCE OF THE STORMWATER DRAINAGE FACILITIES, LOCATED WITHIN SAID EASEMENT. THE OWNER, ITS SUCCESSORS AND ASSIGNS, MAY USE THE AREA UNDERLYING THE EASEMENT FOR ANY REASONABLE PURPOSE PROVIDED SUCH USE DOES NOT INTERFERE WITH THE PROPER FUNCTIONING OF SUCH FACILITIES. OWNER AND ITS SUCCESSOR AND ASSIGNS MAY CONSTRUCT AND MAINTAIN WITHIN THE EASEMENT AREA FENCES, LANDSCAPING SUCH AS GARDENS, SHRUBS AND OTHER LANDSCAPING MATERIAL, PAVING, SIDEWALKS, PARKING LOTS, CURBING, GUTTERS, STREET SIGNS AND BELOW-GROUND OBSTRUCTIONS.
 THE VILLAGE SHALL RESTORE THE PROPERTY UNDERLYING THE EASEMENT AS NEARLY AS REASONABLY PRACTICABLE TO THE CONDITION OF THE OWNER'S PROPERTY EXISTING IMMEDIATELY PRIOR TO THE COMMENCEMENT OF THE EXERCISE OF ANY RIGHTS HEREUNDER, AND SHALL REPAIR ANY DAMAGE TO ROADS, FENCES OR OTHER IMPROVEMENTS WITHIN THE PROPERTY, CAUSED BY VILLAGE OF HOFFMAN ESTATES OR ITS AGENTS, PERMITEES, SUCCESSORS OR ASSIGNS IN THE EXERCISE OF THEIR RIGHTS HEREUNDER.

PUBLIC UTILITY EASEMENT PROVISIONS:
 A NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED BY AND GRANTED TO THE VILLAGE OF HOFFMAN ESTATES, COOK AND KANE COUNTIES, ILLINOIS, WITHIN THE AREA SHOWN BY DASHED LINES AND WITHIN THE AREA DEFINED "EASEMENTS FOR PUBLIC UTILITIES" ON THIS PLAT, TO OPERATE AND MAINTAIN SANITARY SEWER FACILITIES, ABOVE AND UNDERGROUND, WITH ALL NECESSARY EQUIPMENT FOR THE PURPOSE OF SERVING THE PROPERTY WITH SEWER SERVICE. THE RIGHT TO ENTER UPON THE LOTS AT ALL TIMES TO INSTALL, LAY, CONSTRUCT, RENEW, OPERATE AND MAINTAIN WITHIN SAID EASEMENT AREA SAID SANITARY SEWER FACILITIES, NO PERMANENT BUILDINGS OR CONCRETE PATIOS SHALL BE PLACED ON SAID EASEMENT, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING, FENCING, PAVING, SIDEWALKS, PARKING LOTS, CURBING, GUTTERS, STREET SIGNS AND BELOW-GROUND OBSTRUCTIONS AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS HEREIN GRANTED.
 THE VILLAGE SHALL RESTORE THE PROPERTY UNDERLYING THE EASEMENT AS NEARLY AS REASONABLY PRACTICABLE TO THE CONDITION OF THE OWNER'S PROPERTY EXISTING IMMEDIATELY PRIOR TO THE COMMENCEMENT OF THE EXERCISE OF ANY RIGHTS HEREUNDER, AND SHALL REPAIR ANY DAMAGE TO ROADS, FENCES OR OTHER IMPROVEMENTS WITHIN THE PROPERTY, CAUSED BY VILLAGE OF HOFFMAN ESTATES OR ITS AGENTS, PERMITEES, SUCCESSORS OR ASSIGNS IN THE EXERCISE OF THEIR RIGHTS HEREUNDER.

OWNERS CERTIFICATE (LOT 1)
 SVAP HOFFMAN PLAZA, L.P., A DELAWARE LIMITED PARTNERSHIP
 BY: SVAP HOFFMAN PLAZA GP, LLC,
 A DELAWARE LIMITED LIABILITY COMPANY,
 ITS GENERAL PARTNER
 BY: SVAP GP, LLC,
 A DELAWARE LIMITED LIABILITY COMPANY,
 ITS MANAGER
 BY: _____
 NAME: _____
 TITLE: _____
 STATE OF FLORIDA)
 COUNTY OF PALM BEACH) SS:

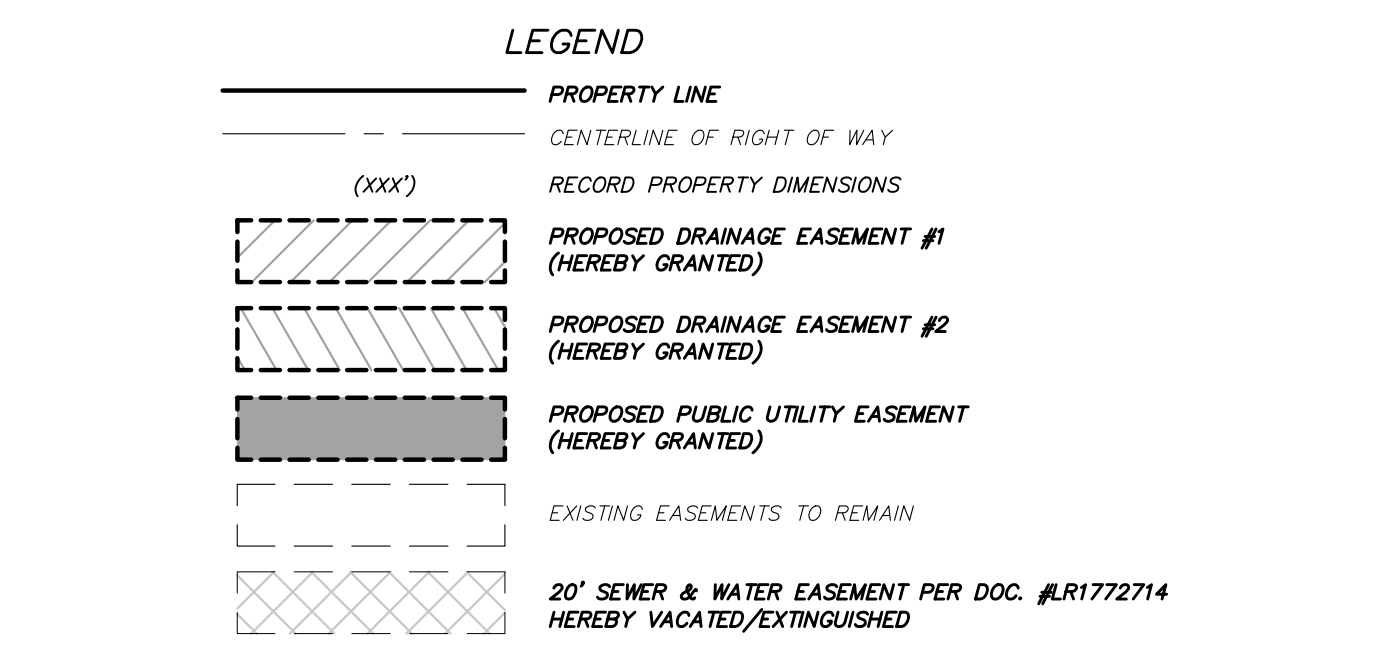
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MEANS OF PHYSICAL PRESENCE OR ONLINE NOTARIZATION, THIS _____ DAY OF _____, 20____, BY _____ AS _____ OF SVAP GP, LLC, A DELAWARE LIMITED LIABILITY COMPANY, THE MANAGER OF SVAP HOFFMAN PLAZA GP, LLC, A DELAWARE LIMITED LIABILITY COMPANY, WHICH IS THE GENERAL PARTNER OF SVAP HOFFMAN PLAZA, L.P., A DELAWARE LIMITED PARTNERSHIP, ON BEHALF OF SUCH ENTITIES, AND SUCH PERSON IS PERSONALLY KNOWN TO ME OR HAS PRODUCED A _____ AS IDENTIFICATION.

NOTARY PUBLIC
 SVAP HOFFMAN PLAZA II, L.P., A DELAWARE LIMITED PARTNERSHIP
 BY: SVAP HOFFMAN PLAZA II GP, LLC,
 A DELAWARE LIMITED LIABILITY COMPANY,
 ITS GENERAL PARTNER
 BY: SVAP GP, LLC,
 A DELAWARE LIMITED LIABILITY COMPANY,
 ITS MANAGER
 BY: _____
 NAME: _____
 TITLE: _____
 STATE OF FLORIDA)
 COUNTY OF PALM BEACH) SS:

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MEANS OF PHYSICAL PRESENCE OR ONLINE NOTARIZATION, THIS _____ DAY OF _____, 20____, BY _____ AS _____ OF SVAP GP, LLC, A DELAWARE LIMITED LIABILITY COMPANY, THE MANAGER OF SVAP HOFFMAN PLAZA II GP, LLC, A DELAWARE LIMITED LIABILITY COMPANY, WHICH IS THE GENERAL PARTNER OF SVAP HOFFMAN PLAZA II, L.P., A DELAWARE LIMITED PARTNERSHIP, ON BEHALF OF SUCH ENTITIES, AND SUCH PERSON IS PERSONALLY KNOWN TO ME OR HAS PRODUCED A _____ AS IDENTIFICATION.

NOTARY PUBLIC
LENDER
 CITIZENS BANK, NATIONAL ASSOCIATION
 BY: _____
 NAME: _____
 TITLE: _____

OWNERS CERTIFICATE (PART OF LOT 14)
 STATE OF _____)
 COUNTY OF _____) SS
 THIS IS TO CERTIFY THAT _____ IS THE THE OWNER OF THE PROPERTY DESCRIBED HEREON, AND HAS CAUSED THE PROPERTY TO BE PLATTED AS SHOWN HEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH AND AS ALLOWED AND PROVIDED BY STATUTES, AND SAID CORPORATION DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE TITLE AFORESAID.
 DATED THIS _____ DAY OF _____, A.D. _____
 BY: _____ ATTEST: _____
 TITLE: _____ TITLE: _____
 STATE OF _____)
 COUNTY OF _____) SS
 I, _____, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOW TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGE THAT THEY SIGNED AND DELIVERED THIS INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID CORPORATION, AS GIVEN UNDER MY HAND AND NOTARIAL SEAL.
 THIS _____ DAY OF _____, A.D. _____
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: _____



NOTES:
 1. BASIS OF BEARINGS IS TRUE NORTH BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM, ILLINOIS EAST 1201 ZONE.
 2. ANY DISCREPANCIES FOUND WITHIN THIS DOCUMENT NEED TO BE REPORTED TO THE SURVEYOR AS SOON AS POSSIBLE.

VILLAGE BOARD CERTIFICATE
 APPROVED BY THE BOARD OF TRUSTEES OF THE VILLAGE OF HOFFMAN ESTATES, COOK AND KANE COUNTIES, ILLINOIS.
 THIS _____ DAY OF _____, 20____
 SIGNED _____ VILLAGE PRESIDENT
 ATTEST _____ VILLAGE CLERK

SURVEYOR'S DESIGNATION OF RECORDING CERTIFICATE
 STATE OF ILLINOIS)
 COUNTY OF COOK) SS
 I, FRANJO I. MATIJC, A REGISTERED LAND SURVEYOR, IN THE STATE OF ILLINOIS, HEREBY DESIGNATE THE VILLAGE CLERK OF HOFFMAN ESTATES TO RECORD A CERTAIN PLAT OF EASEMENT WITH THE COOK COUNTY RECORDER OF DEEDS OR REGISTRAR OF TITLES. THIS DESIGNATION IS GRANTED UNDER THE RIGHT TO DESIGNATE SUCH RECORDING UNDER 765 ILCS 205/2.
 GIVEN UNDER OUR HAND AND SEAL THIS _____ DAY OF _____, A.D. _____ AT HOFFMAN ESTATES, ILLINOIS.
 THE W-T GROUP
 FRANJO I. MATIJC - PLS #035-003556 EXPIRES 11/30/2022
 ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.007570-0015
SURVEYOR'S CERTIFICATE
 STATE OF ILLINOIS)
 COUNTY OF COOK) SS

WE W-T LAND SURVEYING, DO HEREBY STATE THAT THIS PLAT THEREON DRAWN WAS COMPILED FROM EXISTING SURVEYS AND INSTRUMENTS OF PUBLIC RECORD FOR THE PURPOSE INDICATED HEREON.
 GIVEN UNDER OUR HAND AND SEAL THIS _____ DAY OF _____, A.D. _____ AT HOFFMAN ESTATES, ILLINOIS.
 THE W-T GROUP
 FRANJO I. MATIJC - PLS #035-003556 EXPIRES 11/30/2022
 ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.007570-0015
 5/3/22 ISSUED FOR REVIEW
 5/11/22 ADDED PUBLIC UTILITY EASEMENT
 5/25/22 RE-ISSUED
 5/26/22 REVISED OWNERS CERT & EASEMENT PROVISIONS PER COMMENTS

WT GROUP
 Engineering with Precision, Peace and Passion.
 2075 Palmetto Avenue Hoffman Estates, IL 60152
 (815) 424-2242
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 Engineering • Design • Consulting

AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

NEC ROSELLE RD & HIGGINS RD
 HOFFMAN ESTATES, ILLINOIS

ISSUE

| TO | DATE |
|--------|---------|
| CLIENT | 5/3/22 |
| CLIENT | 5/11/22 |
| CLIENT | 5/25/22 |
| CLIENT | 5/26/22 |

CHECK: FIM
 DRAWN: MWO
 JOB: 1911948C

EASE-1
 SHEET 1 OF 1
 PLAT OF EASEMENT