

VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT NUMBER: MASTER22-0004
PROJECT NAME: H-90 SPECULATIVE INDUSTRIAL BLDG.
ADDRESS/LOCATION: 2685 EAGLE WAY
REQUEST: PRELIMINARY & FINAL SITE PLAN
PLAT OF EASEMENT

OWNER: GB HOFFMAN LOT 2 LLC
APPLICANT: GB HOFFMAN LOT 2 LLC
PROPERTY SIZE: 17 ACRES

ZONING / LAND USE: O-3 OFFICE DISTRICT
ADJACENT PROPERTIES: NORTH: CMU – COMMERCIAL MIXED USE (BELL WORKS)
SOUTH: O-3 OFFICE DISTRICT (BYSTRONIC)
EAST: O-3 OFFICE DISTRICT (POND)
WEST: M-2 MANUFACTURING (CLAIRE’S & SIEMEN’S)

PZC MEETING DATE: 5/4/2022
PUBLIC HEARING: NO
STAFF ASSIGNED: JIM DONAHUE, SENIOR PLANNER

REQUESTED MOTION

Request for Preliminary & Final Site Plan including a plat of easement for an industrial building located at 2685 Eagle Way.

BACKGROUND

The Huntington 90 Business Park originally consisted of two large parcels of land located near the intersection of Central Road and Huntington Boulevard that were initially part of the AT&T campus. The eastern parcel has been subsequently subdivided and improved with internal roads and four buildings. The previously approved projects include BIG Kaiser and DMG/Mori Seiki in 2008, NSK America in 2010 and Trumpf in 2016. The western parcel was subdivided and Bystronic was approved in 2018 on Lot 1. Lot 2 (subject site) directly north of Bystronic was purchased by the petitioner in 2021.

PROPOSAL – SITE PLAN

The petitioner is proposing to build a speculative industrial warehouse building on Lot 2. The 202,000 square foot building would accommodate up to 4 tenants and provide office space and associated truck dock parking.

Vehicular Access & Parking – Subdivision Code Section 10-5

- Two points of access would be provided to the site via Eagle Way with trucks utilizing the south access.
- A total of 213 auto parking stalls are provided for the site, with spaces provided on the north and west sides of the building. Required handicap spaces and two electric vehicle (EV) charging station stalls are provided as well. Given that the building is speculative in nature, the spaces provided are based on industry standards for this type of development. Staff feels the parking provided will be sufficient to serve the development.
- A total of 34 truck/trailer spaces are provided on the south end of the site.
- The plans show that there will not be full connection for vehicles around the entire building due to grading issues on the east side of the lot. The Fire Department has reviewed and approved this design.
- The petitioner has provided a traffic study that addresses traffic volumes and access. Staff has reviewed the study and generally concurs with its findings. As part of determining the Village's Road Improvement Impact Fee for the project; the amount of p.m. peak period (4:00-6:00 pm) trips needs to be known. The current traffic study identifies 29 peak period trips based on a warehouse use. However, the warehouse land use does not match up with the building design which includes 213 parking spaces with a parking ratio of 1.06 parking spaces per 1000 SF GFA. Based on similar buildings in this market area and the design of the building, it is expected to attract users with a higher employee counts than a traditional warehouse building with limited office/manufacturing space.
- Based on the projected building use, the Village's Road Improvement Impact Fee is determined to be **\$87,077.24**. The fee must be submitted prior to issuance of any Certificate of Occupancy for the development. The Developer has the option of entering a Post-Occupancy Monitoring Study Agreement in lieu of submitting the fee prior to issuance of any Certificate of Occupancy. A letter of credit in the amount of \$90,000 would be required should the Developer choose to do a Post-Occupancy Monitoring Study.

Engineering – Subdivision Code Section 10-3

- The Engineering Division has reviewed the proposed engineering, grading, utility, and erosion control plans and found the plans acceptable. Utilities already exist proximate to the overall site, so the proposed plans will utilize these and extend them to service the new building. Detention for the site is provided via a new pond on the south side of the site.
- A Plat of Easement for the new water main and hydrants has been provided. Corporation Counsel has reviewed for accuracy.

Landscaping – Subdivision Code Section 10-4

- The proposed landscape plan incorporates a variety of trees, shrubs and perennials into the site design.
- The development has existing landscaping on portions of the overall site that were installed with the original AT&T development. The trees located on the east side of the lot are being preserved, while the trees located on the planned building footprint and parking lot are being removed and will be replaced with the required landscape for the new development.

Building Design – Subdivision Code Section 10-5-3-H

- The construction type of the proposed building matches most of the facilities in the Huntington 90 park overall. The construction materials of the proposed development, as well as associated site improvements (parking, loading, maneuvering, landscape improvements, retaining walls (as needed), etc.) tie into the neighboring buildings already operational in the park.
- The building will be precast-concrete with similar massing and scale as other building in the H-90 Business Park and will feature store-front / curtain wall, canopies, paint schemes and reveals. The selected color palette will feature a light grey base with dark grey and white accents placed in logical patterns or motifs around the building.
- As part of the building design, it should be noted that trash enclosures are not proposed on the site as the building is speculative and the number of trash enclosures and their locations will be determined as part of any tenant build-out. A condition has been added that trash enclosures will need to be added as part of the tenant buildout.

Exterior Lighting – Subdivision Code Section 10-5-3-G

Light poles are proposed with LED light fixtures heads and wall mounted heads are proposed as well. The lighting levels and downcast fixtures will be in compliance with the standards in the Subdivision Code.

RECOMMENDED CONDITIONS




1. The building permit shall be obtained within twelve (12) months of the Village Board action on this request.
2. A performance guarantee for all exterior building and site work shall be submitted to the Village prior to issuance of a building permit.
3. A permit from the Metropolitan Water Reclamation District shall be provided prior to site construction commencing.
4. No exterior signage is approved with these plans. Site and building signage will be required to meet current Village code.
5. Trash enclosures shall be added as part of any tenant buildout building permit and shall match the building façade.
6. The petitioner acknowledges that an impact fee will be due in accordance with the Village's Road Improvement Impact Fee Program. Based on the projected building use, the Village's Road Improvement Impact Fee is determined to be **\$87,077.24**. The fee must be submitted prior to issuance of any Certificate of Occupancy for the development. The Developer has the option of entering a Post-Occupancy Monitoring Study Agreement in lieu of submitting the fee prior to issuance of any Certificate of Occupancy. A letter of credit in the amount of \$90,000 would be required should the Developer choose to do a Post-Occupancy Monitoring Study.

7. The following conditions relate to the site construction:
 - a. A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
 - b. Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.
 - c. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.

Attachments: Petitioner's Application and Supporting Documents
Location Map

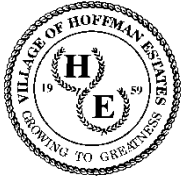
Exhibit A
2685 Eagle Way
PIN#: 01-36-302-002-0000



-  Parcels
-  Municipal Boundary
-  Subject Property



Planning and Transportation Division
The Village of Hoffman Estates
April 2022



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING GENERAL APPLICATION

PROJECT NAME: _____

ADDRESS: _____

PROPERTY INDEX NO.: _____

PROPERTY ACRES: _____ ZONING: _____

PROJECT DESCRIPTION: _____

REQUESTS BEING MADE (check all that apply):

Application Type	Subtype	Addendum
<input type="checkbox"/> ANX - Annexation	N/A	N/A
<input type="checkbox"/> MSP - Master Sign Plan	<input type="checkbox"/> New <input type="checkbox"/> Amendment	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> PLAT - Subdivision	<input type="checkbox"/> Non-Residential Preliminary <input type="checkbox"/> Non-Residential Final <input type="checkbox"/> Non-Residential Preliminary/Final	<input type="checkbox"/> Residential Preliminary <input type="checkbox"/> Residential Final <input type="checkbox"/> Residential Preliminary/Final N/A
<input type="checkbox"/> PLAT - Other	Type _____	N/A
<input type="checkbox"/> RPD Amendment	N/A	N/A
<input type="checkbox"/> REZ - Rezoning	From _____ to _____	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> SPR - Site Plan Review	<input type="checkbox"/> Preliminary Concept <input type="checkbox"/> Preliminary	<input type="checkbox"/> Final <input type="checkbox"/> Preliminary/Final <input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> SPA - Site Plan Amendment	<input type="checkbox"/> Staff Review <input type="checkbox"/> Administrative Review	<input type="checkbox"/> Minor Amendment <input type="checkbox"/> Major Amendment <input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> SU - Special Use	<input type="checkbox"/> Listed Use (please list) _____	<input type="checkbox"/> Use Not Cited (please list) _____ <input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> TA - Text Amendment	<input type="checkbox"/> Subdivision Code <input type="checkbox"/> Zoning Code	<input type="checkbox"/> Other (please list) _____ N/A
<input type="checkbox"/> VAR - Variation	<input type="checkbox"/> Non-Residential <input type="checkbox"/> Residential <input type="checkbox"/> Sign	<input type="checkbox"/> Yes <input type="checkbox"/> No

I. Owner of Record

Name		Company	
Street Address		City	
State	Zip Code	Telephone Number	Email

II. Applicant (if not the owner)

Name		Firm/Company	
Street Address		City	
State	Zip Code	Telephone Number	Email

Applicant's relationship to property: _____

III. Authorized Agent on Behalf of the Owner or Applicant

Name		Firm/Company	
Street Address		City	
State	Zip Code	Telephone Number	Email

IV. Owner Consent for Authorized Representative

It is required that the **property owner or designated representative** be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. **If the owner cannot be present at the meeting, the following statement must be signed by the owner:**

I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize the following person(s)/firm(s) to act on my behalf and advise that he/she has full authority to act as my/our representative.

Name/Firm

Name/Firm

Name/Firm

Name/Firm

Owner Signature

Print Name

IV. Acknowledgement(s)

- Owner, applicant and authorized representatives may include other team members (consultants, brokers, tenants, etc.) that may be called upon to present at public meetings before the Planning and Zoning Commission and Village Board.
- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

The Owner and Applicant, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature:  _____

Owner's Name (Please Print): _____

Applicant's Signature: _____
(If other than Owner)

Applicant's Name (Please Print): _____

Date: _____

IV. Application and Document Submittals

All required application materials should be submitted to the Planning & Transportation Division in electronic format via email to planning@hoffmanestates.org. Staff will notify the applicant if full size plan submittals are also required for a particular project review. Submittal requirements can be found in Subdivision Code, Section 10-6 of the Village's Municipal Code.

All applications fees must be paid before the Planning and Zoning Commission can hear any case.

Please contact the Planning & Transportation Division with any questions:

Email: planning@hoffmanestates.org
Address: 1900 Hassell Road
Hoffman Estates, IL 60169
Phone: (847) 781-2660



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION SITE PLAN ADDENDUM – NON-RESIDENTIAL

Amendment Concept Preliminary Final

I. DESCRIPTION OF PROJECT:

A. ATTACH A NARRATIVE FOR THE PROPOSED PROJECT ON A SEPARATE SHEET

(Please refer to Community Impact Statement)

- ✓ Article 10-6 of the Subdivision Code details the application process and required submittal documents. For relevant items, provide detailed information as part of the project narrative.

B. Total Number of Buildings: _____

C. Total Gross Floor Area: _____ square feet

D. Height of tallest building (including antennas, hvac, etc.): _____ feet

E. With respect to this project's compatibility with adjacent land uses, address the following in the Project Narrative: Building Scale, architectural Materials, Coordinated Color Scheme, Existing and Planned Areas of Visual Interest, Design Concept and Relationship of Building Materials to one another.

F. Estimated start of construction: _____

G. Estimated time to complete development: _____
Attach a phasing schedule, if applicable.

H. Does the property contain flood plain lands or wetlands? Yes No
If yes, please address as part of the narrative.

I. Is there any historical or archeological significance to the existing structures or features of this site or the surrounding sites? Yes No
If yes, please address as part of the narrative.

J. Are there any endangered, threatened, or unique plants or animals located in or near the area? Yes No
If yes, please address as part of the narrative.

II. OPERATIONAL CONSIDERATIONS

A. Anticipated hours of operation: _____ am/pm to _____ am/pm

- B. Anticipated number of employees: _____ total _____ per shift _____ number of shifts
- C. Estimated number of customers: _____ daily _____ peak hour
- D. If there is any additional information about the proposed development or its operation that may affect the site development, address as part of the narrative.

III. FINANCIAL CONSIDERATIONS

- A. Estimated annual gross sales of general merchandise subject to sales tax for this project (includes 1% local share of state tax and 1% home rule tax):

Gross Sales (General)		Tax Rate		General Sales Tax
	X	2%	=	\$

- B. Estimated annual gross sales subject to food and beverage (F & B) tax for this project (food prepared on premises and alcoholic beverages consumed on premises). See article 13-7 of the Hoffman Estates Municipal Code for detailed definition:

Gross Sales (F & B)		Tax Rate		F & B Tax
	X	2%	=	\$

- C. Estimated Annual Hotel Tax: 365 Days X

Estimated Average Room Rate		Number of rooms		Occupancy Percentage		365 Days		Tax Rate		Hotel Tax
	X		X		X		X	6%	=	\$

- D. Other tax/revenue:
(Entertainment tax = 6%, etc.)

		Rate		Tax
	X		=	\$

- E. Estimated Annual Telecommunications (TC) Tax:

Estimated Yearly Phone Bill		Tax Rate		TC tax
	X	6%	=	\$

- F. Current assessment of the property: _____

- G. Estimated value of Construction: _____

H. Will this project result in any unusual expenditure of public funds or requirements for public services in anyway? Yes No

If yes, please address as part of the narrative.

IV. TRAFFIC CONSIDERATIONS

A. Parking

1. Total number of parking spaces to be provided:

Employees: _____ Customers/
Visitors: _____ Handicapped: _____ Total: _____

2. When is the peak parking period for this project?

3. Will this project share parking spaces with other businesses? Yes No

If yes, please address as part of the narrative.

B. Traffic

1. Estimated number of vehicles entering and exiting this site during the peak one hour period between 4:00 p.m. and 6:00 p.m. _____

2. Will there be any other peak traffic times for this project? Yes No

If yes, give the time(s) of day and traffic volume: _____

3. Will this project contain a drive through? Yes No

If yes, the project narrative should address order processing time, projected stacking demand, and other details to explain the operation.

C. Deliveries

1. The project plan submittal should include turning templates to show all routes to be used for making deliveries to and from site. Is this plan included? Yes No

2. How often will deliveries be made on site? _____

2. What is the frequency and time period expected for deliveries? _____

3. What is the largest delivery vehicle to be used and its size?

Vehicle Type	Size	check
Single Unit truck	30 ft.	
Intermediate Semitrailer	50 ft.	
Large Semitrailer	55 ft.	
Other		

If the delivery truck used fits into the "Other" category, please specify type, size and turning radius: _____

- D. Any additional site related traffic information not covered above? Yes No
If yes, please address as part of the narrative.

V. RECYCLING AND GREEN INITIATIVES

- A. Article 9 of The Municipal Code of the Village of Hoffman Estates requires that businesses maintain an effective recycling program. Address any unique recycling plans as part of the project narrative.
- B. The Village supports and promotes sustainability. Please address any planned green or sustainability initiatives as part of the narrative.
- C. Do you anticipate submitting this project for LEED certification (or any other similar certifications)? Yes No
If yes, please address as part of the narrative.

VI. GENERAL CONSIDERATIONS

- A. Please list examples of similar uses (including name and location) in the area that can be used for comparison by the Village:

- 1. _____
- 2. _____
- 3. _____

- B. Will this project contain any noise generators that will adversely affect surrounding areas?
Yes No
If yes, please address as part of the narrative.

C. Is there anything included in this project that may be sensitive to surrounding noise generators?

Yes No

If yes, please address as part of the narrative.

D. Do you intend to apply for a liquor license? Yes No

If yes, please contact the Village Clerk's Office at 847.781.2625

E. Will this project contain a cafeteria or food service area (in order to determine applicability of a sewer and water surcharge)? Yes No

If yes, please address as part of the narrative.

F. In the project narrative, please list and explain anything involved in this project that is not covered in this application that should be brought to the Village's attention. Also address any rare or unusual circumstances or needs related to this project.

Please contact the Planning Division with any questions:

Email: planning@hoffmanestates.org

Address: 1900 Hassell Road
Hoffman Estates, IL 60169

Phone: 847.781.2660

Fax: 847.781.2679

January 31, 2022

Sent via email: jmitros@brennanllc.com

Mr. Jim Donahue
Senior Planner
Village of Hoffman Estates
1900 Hassell Road,
Hoffman Estates, IL 60169

Re: *HE 90 Innovation Center Community Impact Statement:*

Dear Hoffman Estates Planning and Zoning:

We are pleased to present our Community Impact Statement for the prospective development along Eagle Way on Lot 2 of the Huntington 90 West Development in the Village of Hoffman Estates, for consideration amongst the Planning and Zoning Department for formal Site Plan approval.

Location: Lot 2, Huntington 90 West (NE corner of Eagle Way and I-90, Hoffman Estates)

Tax P.I.N.: 01-36-302-002-0000

Land Area: 740,440 Square Feet (16.998 Acres)

Zoning: 03 Office District



Location Map:

Project Description:

We are seeking final Site Plan and Zoning approval for the development of a 201,600 SF “Class A” speculative warehouse facility with associated site and parking improvements. At 32’ clear height, the building will be constructed of Architecturally treated load-bearing precast-concrete wall panels with internal structural steel columns, joists and metal deck, supporting Polyiso insulation and a highly-reflective white TPO roof membrane. The building height will not exceed 39’-6” above adjacent finished grade. The building will be fully equipped with an Emergency-Suppression Fast-Response (“ESFR”) fire suppression system. The building will have internal roof drains tied into the underground storm drains, and there will be overflow scuppers (sized according to Code stipulated



calculations) to aid during major storm events. Decorative elements such as reveals, canopies, light fixtures, storefront windows and entries as well as a paint scheme will further serve to enhance the visual appeal of the facility.

It is anticipated anywhere from one (1) to four (4) future Tenants may occupy the facility, as such we've incorporated, within our design, storefront fenestration and entrances at four locations across the front, or north, face of the building. While this is a speculative warehouse, it's likely future Tenants will require Business (B) and Storage (S-1) Occupancy Classifications to foster their operations. It is not expected that there will be any need for cafeterias, food preparation and/or processing areas or grease traps anywhere within the building. We anticipate future Tenants to have similar operational needs and/or models as neighboring facilities (including but not limited to: Bystronic; Claire's; NSK America Corporation; DMG MORI USA; etc.) and we do not anticipate our Development adversely or negatively impacting the immediate surroundings due to noise, lighting, pollution, etc. Moreover, any foreseeable aspect of the Development that may adversely affect the neighboring parcels will be mitigated to the best of our ability.

The construction type of our proposed building (II-B) seems to be predominant for most of the facilities in the Huntington 90 park overall. And it appears the construction materiality of our proposed development, as well as associated site improvements (parking, loading, maneuvering, landscape improvements, retaining walls (as needed), etc.) ties into the neighboring buildings already operational in the park. The buildings in the immediate vicinity appear to be of panel construction like our proposed use of precast-concrete, all with similar massing, scale, use of store-front / curtainwall, canopies, paint schemes and reveals. Out of concern the facility was going to look too "vanilla" we looked to the neighboring buildings to inform the design and massing of the future office entries, so that they offset the visual weight of the otherwise relatively uninterrupted "field" of the building faces:



The selected color palette was also informed by the surrounding park, with a light grey base and dark grey and white accents placed in logical patterns or motifs around the building, as dictated by the precast-concrete reveal patterns. All this is an effort to interrupt any perceived "monotony" of Design. We anticipate this added attention to detail providing a complimentary "voice" to the neighboring buildings and the Park in general. Full landscape improvements will be made to the site as well, constituting plant material and ground cover (as applicable) at the main areas of interest along the west, north and east building faces, as well as at the parking areas and any open space. There will be a Structural retaining wall in the southeast corner of the proposed truck-court improvements, to be treated similarly to a retaining-wall / site-access drive "buttress" located on the property abutting ours to the south.

As this is being developed on a speculative basis, employee counts, trips generated by use, peak business hours, etc. cannot at this time be known or expounded upon. The Civil plans have planned for 206 automobile parking stalls and seven (7) handicapped parking stalls for a total of 213 total. In addition, we are proposing 34 trailer parking stalls to support operations of any future tenants. Landscape improvements are included at these parking areas in accordance with the Village Ordinance and shall be maintained as such.

Anticipated Construction Schedule is as follows: mobilization on-site to begin (tentatively) in May 2022 with a forecasted Substantial Completion to follow (tentatively) in June 2023. These dates are contingent on securing all required Permit(s) and Municipal approvals for the work. The work will be completed in one (1) phase and will not deliver any Residential uses.

Analysis of the Environmental Impact of the proposed Development is set forth in the supplementary documents uploaded with this Community Impact Statement, including but not limited to: topography, drainage and hydrology; soils; water quality; flora and fauna. Items D.4.e., D.4.f. & D.4.g. of *Article 10 of the Municipal Code (Subdivision Code)* are not submitted as part of this deliverable as they are not applicable to this job. Pending the preliminary Village review of these documents, Supplementary Requirements may be submitted pursuant to chapter E. of *Article 10 of the Municipal Code (Subdivision Code)*. KLOA Traffic Impact Study (dated 11/03/2021) has also been included to demonstrate impact of our proposed Development on the park.

Estimated total project value is fifteen-million, six-hundred and eight thousand, three-hundred and twenty-five dollars (\$15,608,325.00). Without having future Tenant information, Estimated Revenue Generation cannot accurately be estimated or forecast for the Private entities involved nor for the Village; when that information is available, all parties will work diligently to provide the pertinent values to the Village. Corporate parties involved with this proposed Development are Brennan Investment Group and Grandview Partners.

Thank you for the opportunity to provide this Community Impact Statement. If acceptable, please review our proposal and let us know what additional or final comments you have, as you're able. If you have any questions, please feel free to call me at (847) 443-2721.

Sincerely,



Name: Kevin Brennan
Title: Managing Principal

Acknowledged and agreed as of this 31st day of January, 2021.

GB Hoffman Lot 2, LLC

Prepared by:
Name: John Mitros
Title: Development Associate



HOFFMAN ESTATES 90
PROPOSED OFFICE/WAREHOUSE

EAGLE WAY, HOFFMAN ESTATES, ILLINOIS



*PROPOSED PALETTE OF
LANDSCAPE PLANTINGS*

SHADE TREES



State Street Miyabe Maple



Redpointe Maple



River Birch (tree form)



Chicagoland Hackberry



Princeton Sentry Ginkgo



Skyline Locust



Swamp White Oak



Shingle Oak



Regal Prince English Oak



Redmond Linden



Shawnee Brave Bald Cypress



Triumph Elm

UPRIGHT EVERGREENS



Norway Spruce



Black Hills Spruce

FLOWERING ORNAMENTALS



Autumn Brilliance Serviceberry



Clump River Birch



Golden Glory Cornelian Cherry

DECIDUOUS & EVERGREEN SHRUBS



Little Quick Fire Hydrangea



Miss Kim Lilac



Dense Yew



Blue Muffin Viburnum

PERENNIAL FLOWERS



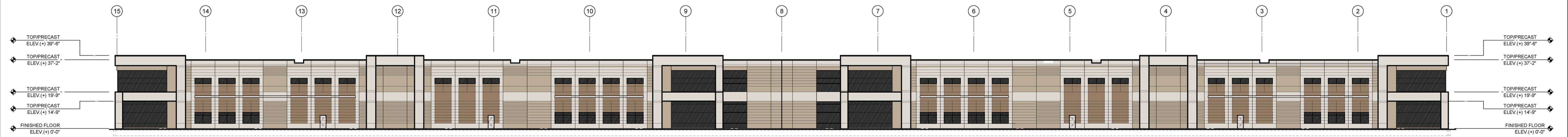
Rozanne Geranium



Millenium Allium

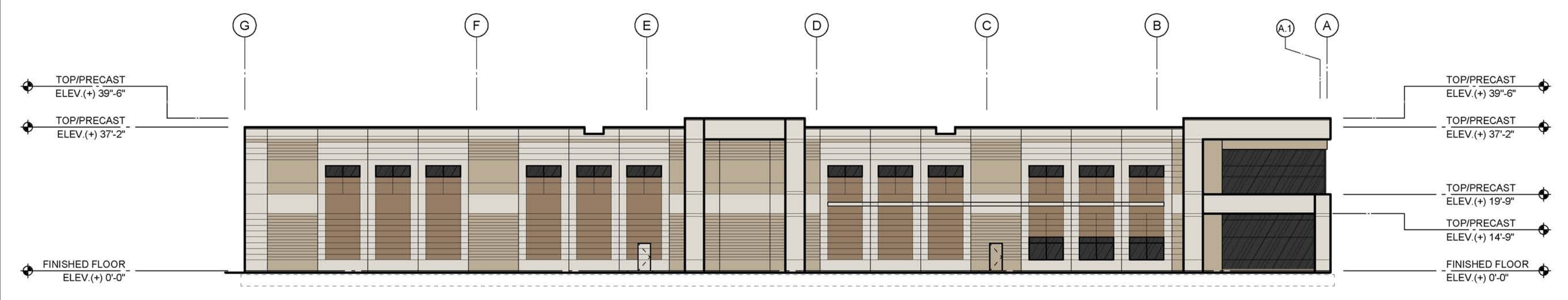


Hummelo Betony

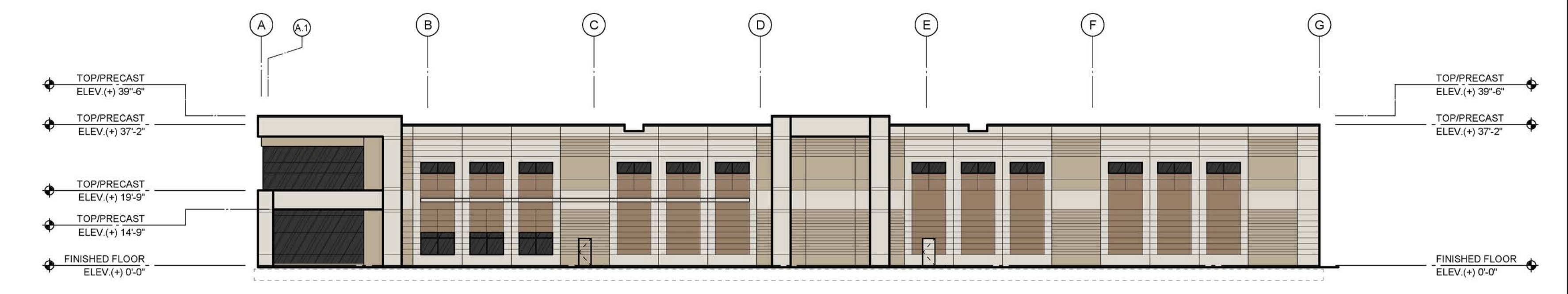


NORTH ELEVATION
 SCALE: NTS

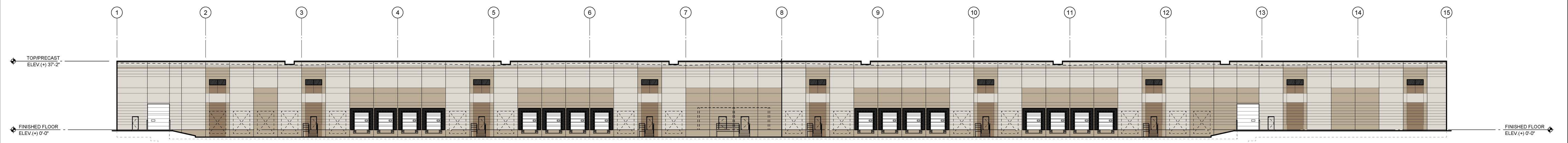
NORTH ELEVATION
 SCALE: NTS



EAST ELEVATION
 SCALE: NTS



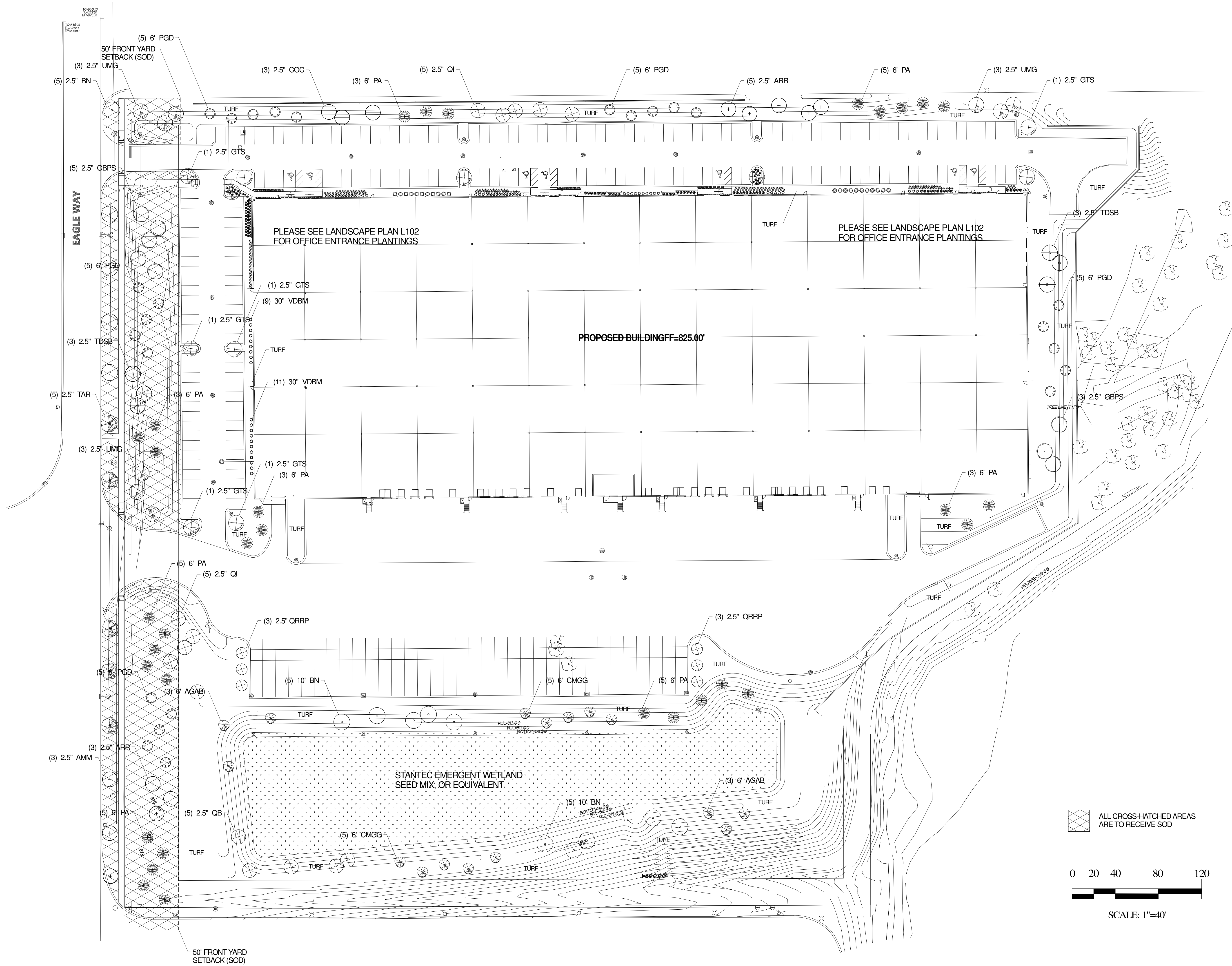
WEST ELEVATION
 SCALE: NTS



SOUTH ELEVATION
 SCALE: NTS

SOUTH ELEVATION
 SCALE: NTS

EXTERIOR COLOR SCHEDULE	
EXTERIOR PRECAST TO BE COLORED WITH LOXON VERTICAL CONCRETE STAIN BY ICI. GENERAL CONTRACTOR TO MATCH ICI COLORS SELECTED BELOW.	
PRECAST CONCRETE WALL PANELS	
METAL COPING (**** BY PAC-CLAD)	
STOREFRONT AND ENTRANCE DOOR SYSTEM FRAMES - CLEAR ANODIZED ALUMINUM INSUL. GLASS - GRAY TINTED	
PUNCHED/CLEARSTORY WINDOWS FRAMES - CLEAR ANODIZED ALUMINUM INSUL. GLASS - GRAY TINTED	
INSUL. MTL. DOORS/FRAMES FRAME - INCREDIBLE WHITE - SW7028 DOOR - INCREDIBLE WHITE - SW7028	
OVERHEAD DOORS DRIVE-IN DOORS - PREFINISHED WHITE DOCK DOORS - PREFINISHED WHITE	
PIPE BOLLARDS SAFETY YELLOW	



REVISIONS:
03.08.22 (VILLAGE COMMENTS)
03.17.22 (REVISED SITE PLAN)

DOWDEN DESIGN GROUP
LANDSCAPE ARCHITECTURE, DESIGN & PLANNING
P.O. BOX 415, LIBERTYVILLE, IL 60048
DOWDENDESIGNGROUP.COM PHONE: (847) 362-1254

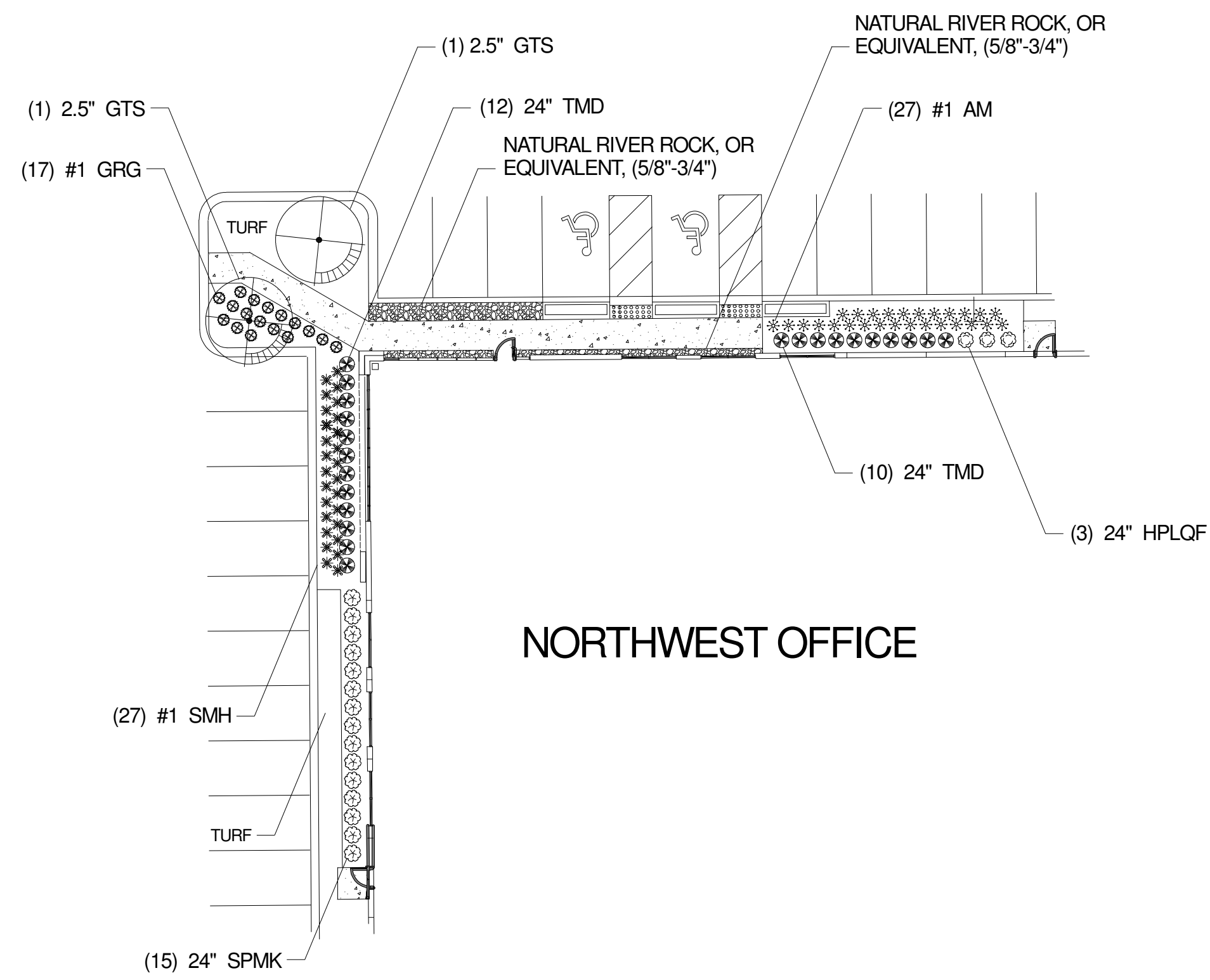
HOFFMAN ESTATES 90
EAGLE WAY
HOFFMAN ESTATES, ILLINOIS

LANDSCAPE PLAN

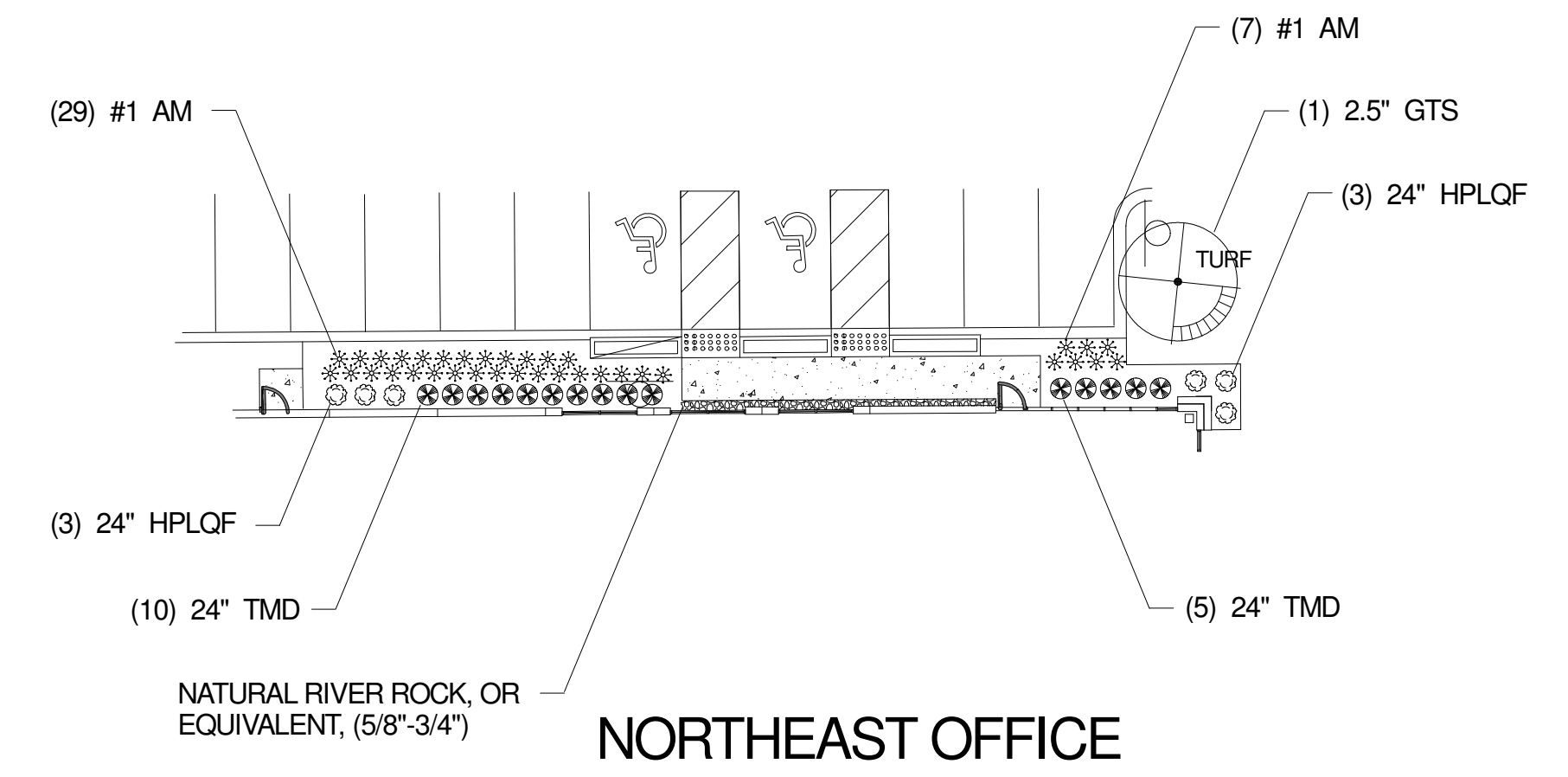
DATE: 01.14.22
SCALE: 1"=40'
DRAWN: CJD



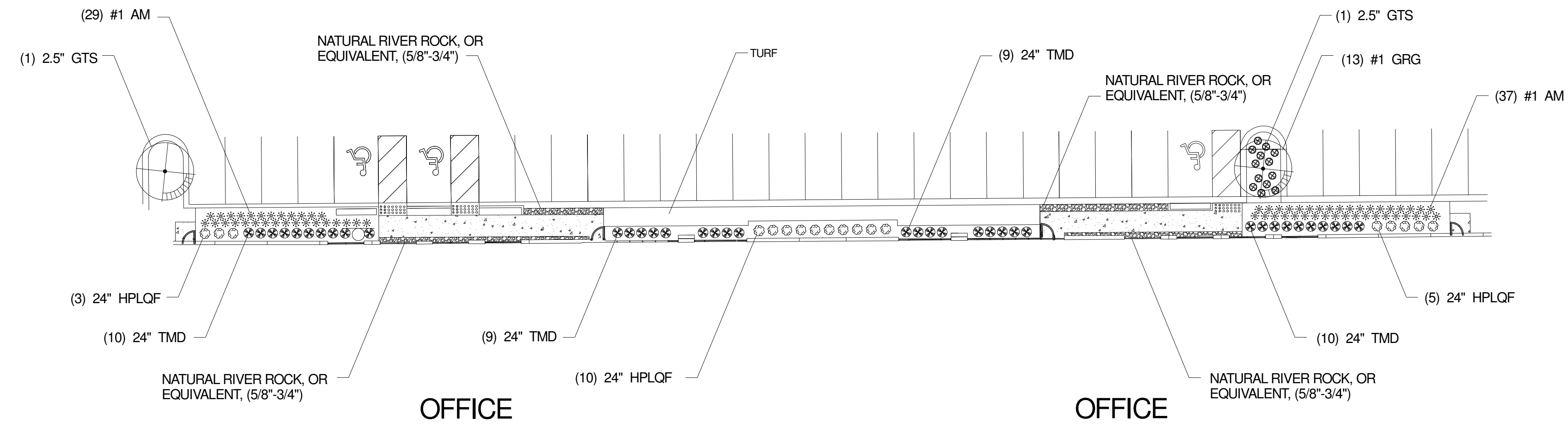
L101



NORTHWEST OFFICE

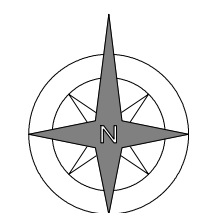


NORTHEAST OFFICE



OFFICE

OFFICE



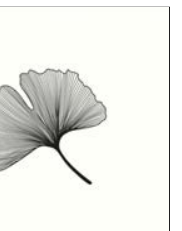
REVISIONS:

DOWDEN DESIGN GROUP
 LANDSCAPE ARCHITECTURE, DESIGN & PLANNING
 P.O. BOX 415, LIBERTYVILLE, IL 60048
 DOWDENDESIGNGROUP.COM PHONE: (847) 362-1254

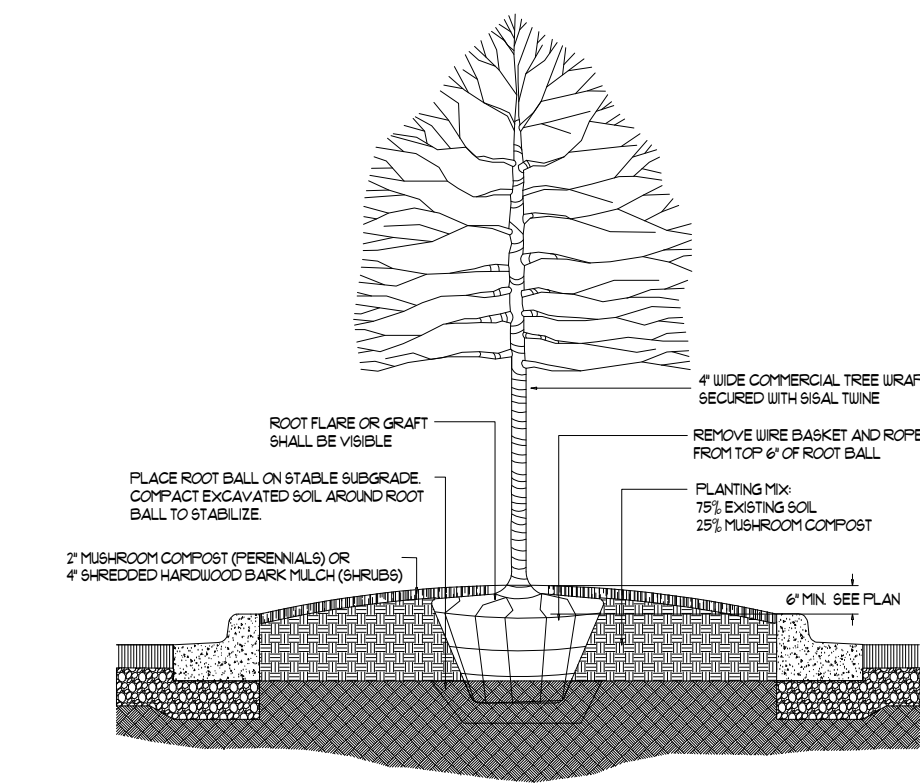
HOFFMAN ESTATES 90
 EAGLE WAY
 HOFFMAN ESTATES, ILLINOIS

LANDSCAPE
 PLAN

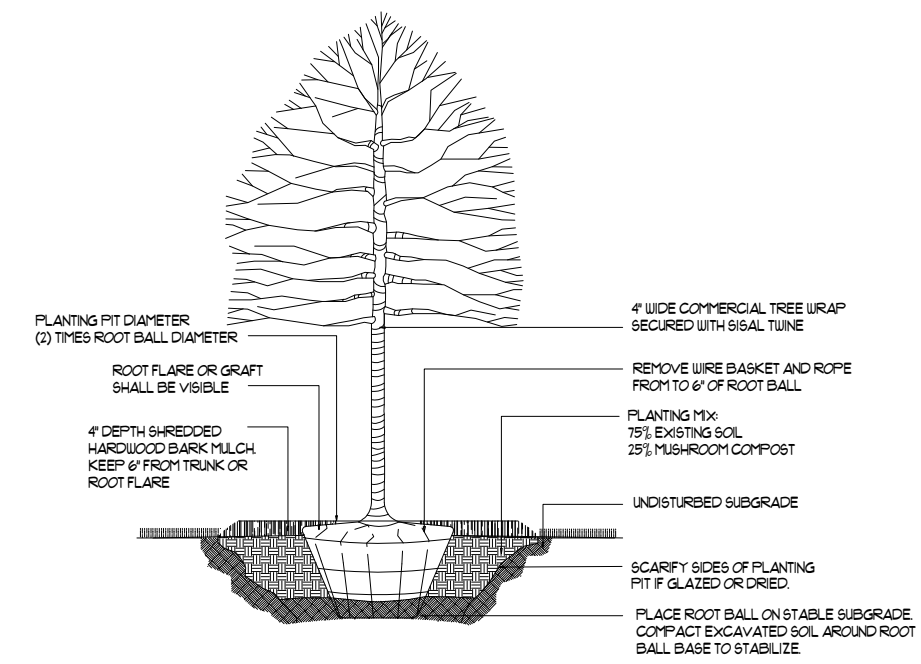
DATE: 01.14.22
 SCALE: 1"=20'
 DRAWN: CJD



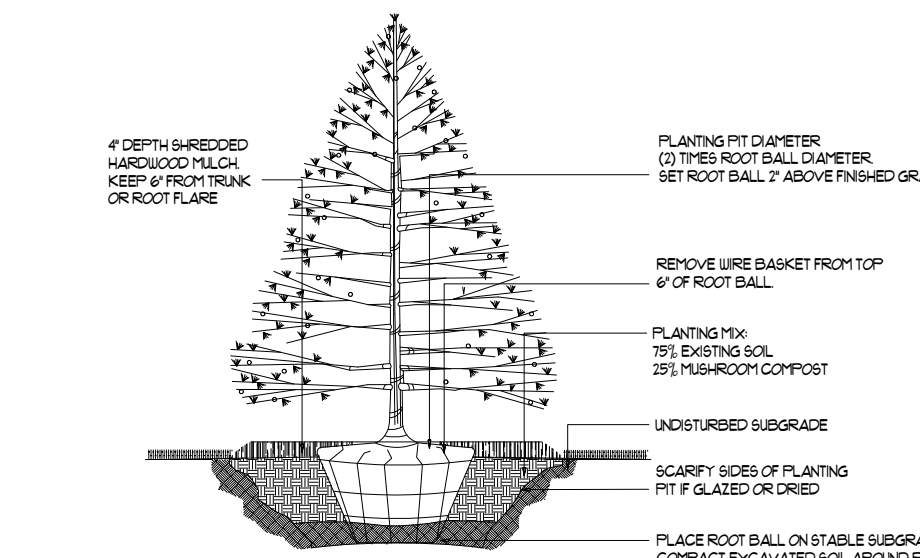
L102



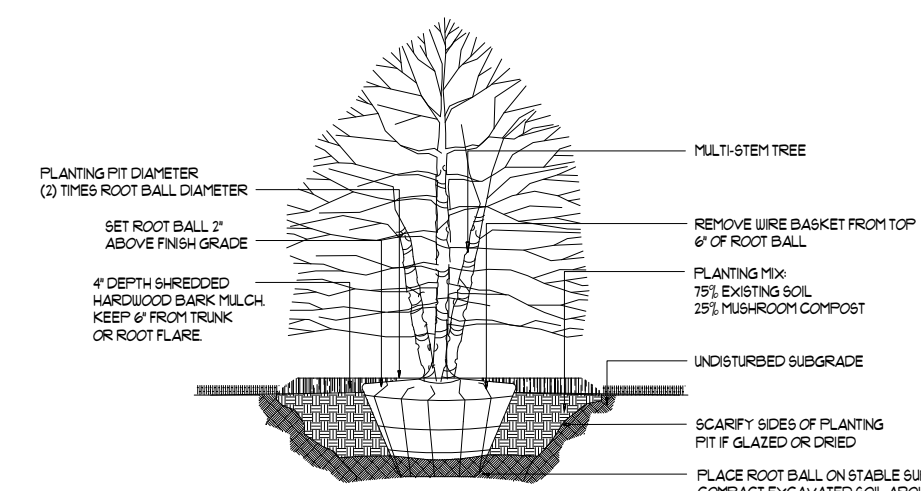
DETAIL
DECIDUOUS TREE PLANTING IN PARKING LOT ISLAND



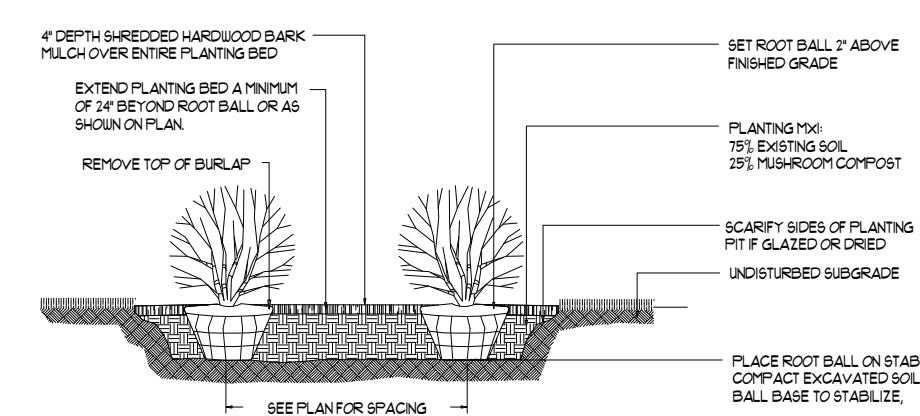
DETAIL
DECIDUOUS TREE PLANTING



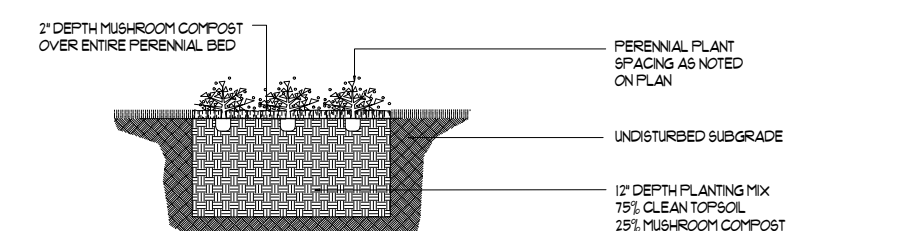
DETAIL
EVERGREEN TREE PLANTING



DETAIL
DECIDUOUS ORNAMENTAL TREE PLANTING



DETAIL
SHRUB PLANTING



DETAIL
PERENNIAL PLANTING

Emergent Wetland Seed Mix			
PLS			
Botanical Name	Common Name	Quinces/Acre	
Permanent Grasses/Sedges/Rushes:			
<i>Boboschoenus fluviatilis</i>	River Bulrush	1.00	
<i>Carex comosa</i>	Bristly Sedge	2.50	
<i>Carex lacustris</i>	Common Lake Sedge	0.50	
<i>Carex lurida</i>	Bottlebrush Sedge	4.00	
<i>Carex stricta</i>	Common Tussock Sedge	1.00	
<i>Carex vulpinoidea</i>	Brown Fox Sedge	2.00	
<i>Eleocharis palustris</i>	Great Spike Rush	1.00	
<i>Juncus effusus</i>	Common Rush	1.00	
<i>J. aersia oryzoides</i>	Rice Cut Grass	3.00	
<i>Schoenoplectus acutus</i>	Hard Stommod Bulrush	2.50	
<i>Schoenoplectus pungens</i>	Cheilmaker's Rush	1.50	
<i>Schoenoplectus tabernaemontani</i>	Great Bulrush	6.00	
	Total	26.00	
Temporary Cover:			
<i>Avena sativa</i>	Common Oat	512.00	
	Total	512.00	
Forbs:			
<i>Acorus americanus</i>	Sweet Flag	1.00	
<i>Alisma subcordatum</i>	Common Water Plantain	2.00	
<i>Asclepias incarnata</i>	Swamp Milkweed	1.00	
<i>Boehmeria cylindrica</i>	False Nettle	1.00	
<i>Cephalanthus occidentalis</i>	Buttonbush	6.00	
<i>Decodon verticillatus</i>	Swamp Loosestrife	0.50	
<i>Eutrochium maculatum</i>	Spotted Joe-Pye Weed	0.50	
<i>Hibiscus spp.</i>	Rose Mallow Species	4.00	
<i>Iris virginica v. shrevei</i>	Blue Flag	6.00	
<i>Lobelia cardinalis</i>	Cardinal Flower	0.25	
<i>Lobelia siphilitica</i>	Great Blue Lobelia	0.25	
<i>Lycopus americanus</i>	Common Water Horehound	1.00	
<i>Mimulus ringens</i>	Monkey Flower	1.00	
<i>Peltandra virginica</i>	Arrow Arum	16.00	
<i>Penthorum sedoides</i>	Ditch Stonecrop	0.50	
<i>Persicaria spp.</i>	Finkweed Species	2.00	
<i>Pontederia cordata</i>	Pickereel Weed	4.00	
<i>Sagittaria latifolia</i>	Common Arrowhead	2.00	
<i>Sparganium eurycarpum</i>	Common Bur Reed	6.00	
<i>Verbena hastata</i>	Blue Vervain	1.00	
	Total	66.00	

PREMIUM BLUEGRASS SEED MIX (4-5 LBS/1000 S.F.)

MIX %	SEED	GERMINATION	ORIGIN
22.82%	AWARD KENTUCKY BLUEGRASS	85%	OR
22.22%	NUGLADE KENTUCKY BLUEGRASS	85%	OR/WA
17.79%	JACKPOT KENTUCKY BLUEGRASS	85%	OR/WA
16.11%	EVEREST KENTUCKY BLUEGRASS	85%	OR
9.98%	FIESTA 4 PERENNIAL RYEGRASS	90%	MN
9.97%	HANCOCK PERENNIAL RYEGRASS	90%	MN
1.11%	INERT MATTER		

PLANT LIST

Qty.	Common Name	Botanical Name	Size	Remarks	Key
3	State Street Miyabe Maple	Acer miyabei 'Morton'	2.5"	B&B	AMM
8	Redpointe Red Maple	Acer rubrum 'Redpointe'	2.5"	B&B	ARR
5	River Birch (tree form)	Betula nigra	2.5"	B&B	BN
3	Chicagoland Hackberry	Celtis occidentalis 'Chicagoland'	2.5"	B&B	COC
8	Princeton Sentry Ginkgo	Ginkgo biloba 'Princeton Sentry'	2.5"	B&B	GBPS
11	Skyline Locust	Gleditsia triacanthos 'Skyline'	2.5"	B&B	GTS
5	Swamp White Oak	Quercus bicolor	2.5"	B&B	QB
10	Shingle Oak	Quercus imbricaria	2.5"	B&B	QI
6	Regal Prince English Oak #	Quercus robur 'Regal Prince'	2.5"	B&B	QRRP
5	Redmond Linden	Tilia americana 'Redmond'	2.5"	B&B	TAR
6	Shawnee Brave Bald Cypress	Taxodium distichum 'Shawnee Brave'	2.5"	B&B	TDSB
9	Triumph Elm	Ulmus 'Morton Glossy'	2.5"	B&B	UMG
32	Norway Spruce	Picea abies	6"	B&B	PA
25	Black Hills Spruce	Picea glauca 'Densata'	6"	B&B	PGD
6	Autumn Brilliance Serviceberry	Amelanchier grandiflora	6"	B&B	AGAB
10	Clump River Birch (3-5 stem)	Betula nigra	10'	B&B	BN
10	Golden Glory Cornelian Cherry	Cornus mas 'Golden Glory'	6"	B&B	CMGG
27	Little Quick Fire Hydrangea	Hydrangea paniculata 'Little Quick Fire'	24"	Cont.	HPLQF
15	Miss Kim Lilac	Syringa patula 'Miss Kim'	24"	Cont.	SPMK
75	Dense Yew	Taxus media 'Densiformis'	24"	Cont.	TMD
20	Blue Muffin Viburnum	Viburnum dentatum 'Blue Muffin'	30"	Cont.	VDBM
30	Rozanne Geranium	Geranium 'Rozanne - Gerwat'	#1	Pots	GRG
129	Millenium Allium	Allium 'Millenium'	#1	Pots	AM
27	Hummelo Betony	Stachys monieri 'Hummelo'	#1	Pots	SMH

High Branched

NOTES:

- The Landscape Contractor shall provide and install all plant materials in the quantities and sizes sufficient to complete planting as shown on the Landscape Plans. All plants shall comply with the requirements of the current American Standard for Nursery Stock published by The American Nursery and Landscape Association. Plants shall meet size, genus, species and variety and be in good health, free of insects, diseases or defects. No "park grade" materials shall be accepted. Trees not exhibiting a central (or single) leader will be rejected unless noted in the plant list as multi-stem. Quantity lists are supplied for convenience. The Landscape Contractor shall verify all quantities and, in case of a discrepancy, the drawn plan shall prevail over the plant list. No plants are to be changed or substituted without approval of the Owner or a representative of James Dowden & Associates, Inc.
- All plants shall be watered during the first 24-hour period following installation. A watering schedule must be agreed upon with the Owner (before plantings are installed) of whom, when and how plant materials are to be properly watered. The Landscape Contractor shall verify proper watering is being done for the establishment and health of all plant materials. The Landscape Contractor shall warranty all plant materials for one year from the time of installation and project acceptance.
- Plants shall be balled and burlapped unless otherwise noted on the Landscape Plans. No root bound materials shall be accepted and all synthetic or plastic materials shall be removed at the time of planting. It is the option of the Landscape Contractor to roll back burlap from the top of the root ball.
- Recommended mulch depth is three inches (3") of shredded hardwood bark. The Landscape Contractor shall avoid over-mulching and the creation of "mulch volcanoes." Mulch Beds shall extend a minimum of two feet (2') beyond the center of a tree or shrub. Mulch must be pulled back at least two inches (2") from the base of a tree so the base of the trunk and root crown are exposed.
- Prepare all perennial beds with one cubic yard of garden compost per 100 sf and the compost shall be retotilled to an 8" depth.
- All plants shall be set plumb. It is the option of the landscape contractor to stake deciduous trees but it is also the responsibility of the Landscape Contractor to guarantee the plants remain plumb until the end of the guarantee period.
- Trees shall be installed a minimum of five feet (5') horizontally from underground electrical feeders, sanitary sewers, sanitary services, water mains, and water services. Trees shall be installed a minimum of ten feet (10') horizontally from utility structures including, but not limited to, manholes, valve vaults and valve boxes. Shade trees shall be a minimum of ten feet (10') from all light poles and all shrubs shall be a minimum of three to five feet (3'-5') from all fire hydrants.
- The Landscape Contractor shall locate the existence of all underground utilities prior to starting work. The Landscape Contractor must also keep the pavement and work areas in neat and orderly condition throughout the construction process. The Landscape Contractor shall acquaint himself with. And verify. Working conditions in advance of submitting a proposal. Failure to recognize inherent responsibilities does not relieve the contractor of obligations due to miscalculations.
- Property owners shall be responsible for maintaining all landscaping shown on the approved plans throughout the life of the development.
- Turf shall be Premium Bluegrass Mix seed in all disturbed areas.
- Any changes to the landscape plans after final development approval Require review and approval by the planning and zoning administrator.
- Trees and shrubs shall not be located closer than ten (10) feet to fire hydrants, transformers, or other above ground utilities. Trees shall be a minimum of ten (10) feet from all driveways and entrance ways.
- Bare root plants shall not be allowed as part of this project.
- All planted areas and landscaped islands shall receive a 4 (four) inch layer of shredded hardwood bark mulch.

REVISIONS:
03.08.22 (VILLAGE REVIEW)
03.17.22 (REVISED SITE PLAN)

DOWDEN DESIGN GROUP
LANDSCAPE ARCHITECTURE, DESIGN & PLANNING
P.O. BOX 415, LIBERTYVILLE, IL, 60048
DOWDENDSIGNGROUP.COM PHONE: (847) 362-1254

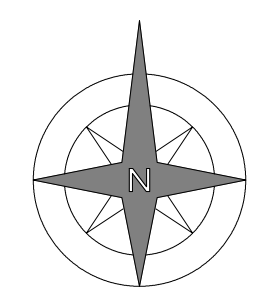
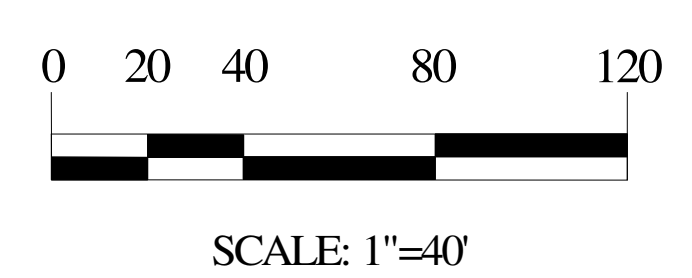
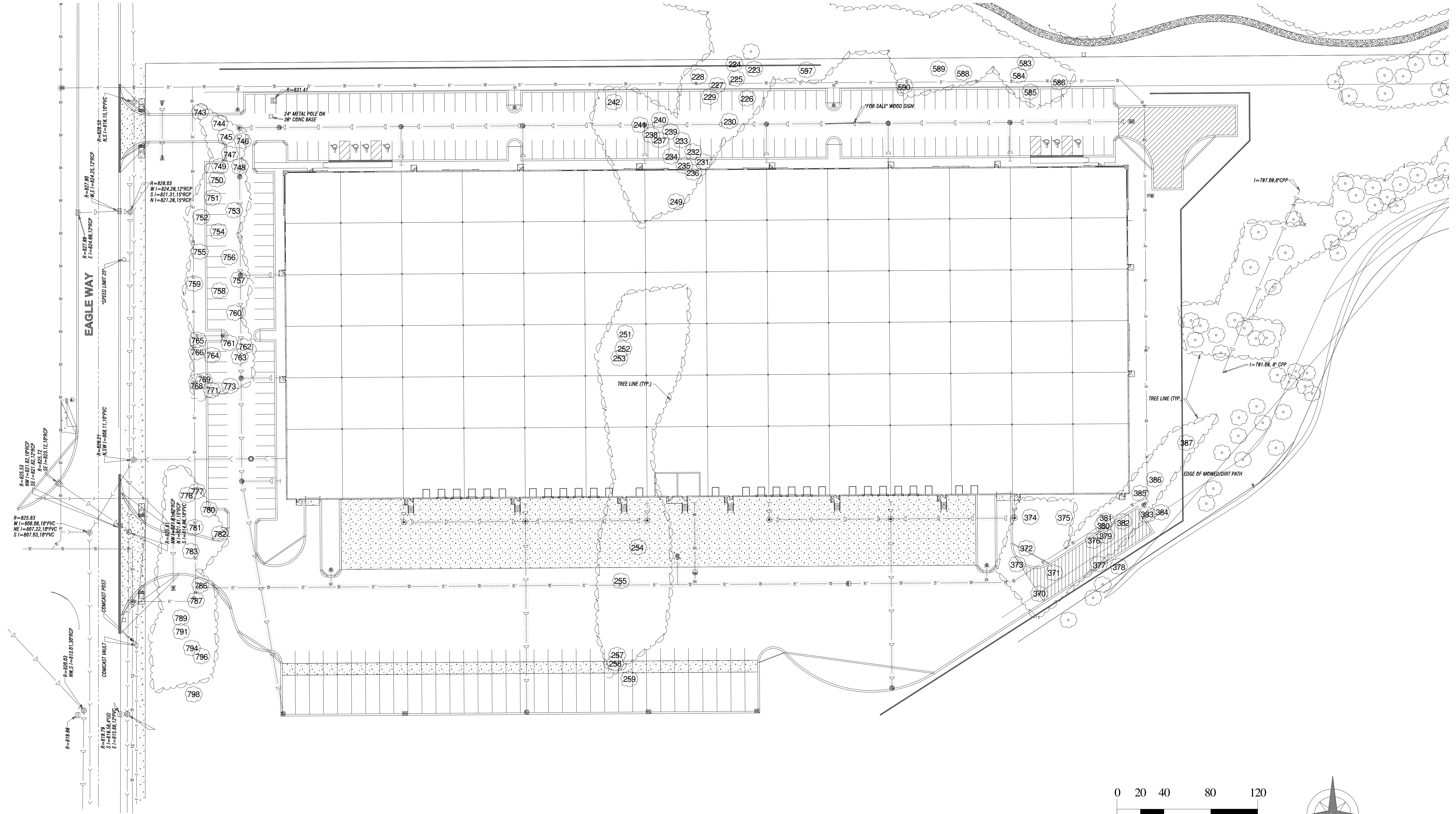
HOFFMAN ESTATES 90
EAGLE WAY
HOFFMAN ESTATES, ILLINOIS

LANDSCAPE
PLAN

DATE: 01.14.22
SCALE: NONE
DRAWN: CJD



L103



REVISIONS:

DOWDEN DESIGN GROUP
 LANDSCAPE ARCHITECTURE, DESIGN & PLANNING
 P.O. BOX 415, LIBERTYVILLE, IL 60048
 DOWDENDESIGNGROUP.COM PHONE: (847) 362-1254

HOFFMAN ESTATES 90
 EAGLE WAY
 HOFFMAN ESTATES, ILLINOIS

TREE
 INVENTORY

DATE: 01.14.22
 SCALE: 1"=40'
 DRAWN: CJD



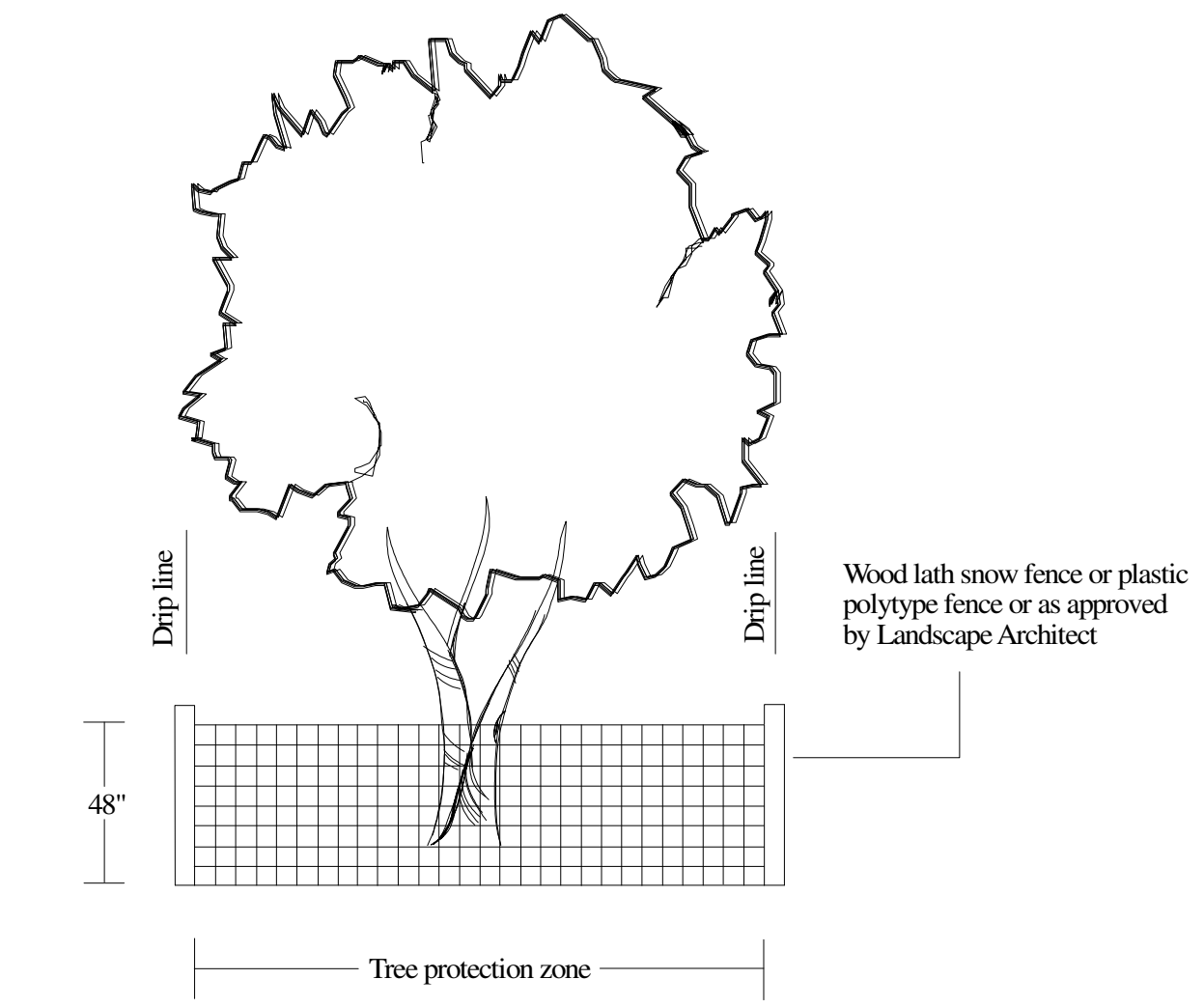
L104

TREE INVENTORY

Tree #	Common Name	Botanical Name	Size	Condition	Proposed Action
223	Austrian Pine	Pinus nigra	12'	Poor	Remove
224	Austrian Pine	Pinus nigra	14'	Dead	Remove
225	Maple	Acer var.	14'	Fair	Remove
226	Maple	Acer var.	14'	Fair	Remove
227	Austrian Pine	Pinus nigra	12'	Dead	Remove
228	Austrian Pine	Pinus nigra	12'	Dead	Remove
229	Oak	Quercus var.	16"	Dead	Remove
230	Locust	Gleditsia var.	18"	Fair	Remove
231	Austrian Pine	Pinus nigra	12'	Dead	Remove
232	Austrian Pine	Pinus nigra	10'	Dead	Remove
233	Austrian Pine	Pinus nigra	12'	Dead	Remove
234	Austrian Pine	Pinus nigra	12'	Poor	Remove
235	Austrian Pine	Pinus nigra	12'	Poor	Remove
236	Austrian Pine	Pinus nigra	14'	Poor	Remove
237	Austrian Pine	Pinus nigra	12'	Dead	Remove
238	Austrian Pine	Pinus nigra	12'	Dead	Remove
239	Austrian Pine	Pinus nigra	10'	Dead	Remove
240	Austrian Pine	Pinus nigra	12'	Dead	Remove
241	Austrian Pine	Pinus nigra	12'	Dead	Remove
242	Austrian Pine	Pinus nigra	12'	Poor	Remove
249	Austrian Pine	Pinus nigra	10'	Dead	Remove
251	Box Elder	Acer negundo	12"	Poor	Remove
252	Box Elder	Acer negundo	10"	Poor	Remove
253	Box Elder	Acer negundo	24"	Poor	Remove
254	Box Elder	Acer negundo	12"	Poor	Remove
255	Box Elder	Acer negundo	20"	Poor	Remove
257	Box Elder	Acer negundo	12"	Poor	Remove
258	Box Elder	Acer negundo	22"	Poor	Remove
259	Box Elder	Acer negundo	14"	Poor	Remove
370	Oak	Quercus var.	18"	Fair	Remove
371	Oak	Quercus var.	14"	Fair	Remove
372	Oak	Quercus var.	20'	Fair	Remove
373	Oak	Quercus var.	20"	Fair	Remove
374	Oak	Quercus var.	24"	Fair	Remove
375	Oak	Quercus var.	26"	Fair	Remove
376	Crabapple	Malus var.	10"	Poor	Remove
377	Crabapple	Malus var.	9"	Fair	Remove
378	Crabapple	Malus var.	9"	Poor	Remove
379	Crabapple	Malus var.	10"	Dead	Remove
380	Crabapple	Malus var.	9"	Poor	Remove
381	Crabapple	Malus var.	10"	Poor	Remove
382	Crabapple	Malus var.	8"	Fair	Remove
383	Crabapple	Malus var.	8"	Poor	Remove
384	Crabapple	Malus var.	10"	Poor	Remove
385	Crabapple	Malus var.	10"	Poor	Remove
386	Crabapple	Malus var.	8"	Dead	Remove
387	Quaking Aspen (clump)	Populus tremuloides	20"	Dead	Remove
583	Norway Spruce	Picea abies	16'	Fair	Remove
584	Norway Spruce	Picea abies	18'	Fair	Remove
585	Norway Spruce	Picea abies	16'	Good	Remove

Tree #	Common Name	Botanical Name	Size	Condition	Proposed Action
586	Norway Spruce	Picea abies	16'	Good	Remove
588	Maple	Acer var.	12"	Good	Remove
589	Locust	Gleditsia var.	14"	Good	Remove
590	Maple	Acer var.	14"	Good	Remove
597	Maple	Acer var.	18"	Good	Remove
743	Crabapple	Malus var.	8"	Poor	Remove
744	Crabapple	Malus var.	9"	Dead	Remove
745	Crabapple	Malus var.	8"	Dead	Remove
746	Crabapple	Malus var.	9"	Poor	Remove
747	Crabapple	Malus var.	8"	Poor	Remove
748	Crabapple	Malus var.	9"	Poor	Remove
749	Crabapple	Malus var.	8"	Poor	Remove
750	Crabapple	Malus var.	8"	Poor	Remove
751	Maple	Acer var.	18"	Fair	Remove
752	Maple	Acer var.	18"	Fair	Remove
753	Maple	Acer var.	20"	Fair	Remove
754	Maple	Acer var.	20"	Fair	Remove
755	Locust	Gleditsia var.	16"	Poor	Remove
756	Maple	Acer var.	18"	Fair	Remove
757	Maple	Acer var.	18"	Fair	Remove
758	Maple	Acer var.	20"	Fair	Remove
759	Maple	Acer var.	18"	Fair	Remove
760	Maple	Acer var.	16"	Poor	Remove
761	Common Buckthorn	Rhamnus cathartica	9"	Dead	Remove
762	Common Buckthorn	Rhamnus cathartica	8"	Dead	Remove
763	Common Buckthorn	Rhamnus cathartica	10"	Poor	Remove
764	Common Buckthorn	Rhamnus cathartica	8"	Poor	Remove
765	Common Buckthorn	Rhamnus cathartica	9"	Poor	Remove
766	Common Buckthorn	Rhamnus cathartica	8"	Poor	Remove
768	Common Buckthorn	Rhamnus cathartica	8"	Poor	Remove
769	Common Buckthorn	Rhamnus cathartica	9"	Poor	Remove
771	Common Buckthorn	Rhamnus cathartica	8"	Poor	Remove
773	Common Buckthorn	Rhamnus cathartica	8"	Poor	Remove
777	Crabapple	Malus var.	9"	Poor	Remove
778	Crabapple	Malus var.	8"	Poor	Remove
780	Crabapple	Malus var.	9"	Poor	Remove
781	Oak	Quercus var.	18"	Fair	Remove
782	Oak	Quercus var.	20"	Fair	Remove
783	Oak	Quercus var.	18"	Fair	Remove
786	Common Buckthorn	Rhamnus cathartica	10"	Poor	Remove
787	Common Buckthorn	Rhamnus cathartica	9"	Poor	Remove
789	Common Buckthorn	Rhamnus cathartica	9"	Poor	Remove
791	Common Buckthorn	Rhamnus cathartica	10"	Dead	Remove
794	Common Buckthorn	Rhamnus cathartica	9"	Dead	Remove
796	Common Buckthorn	Rhamnus cathartica	8"	Poor	Remove
798	Oak	Quercus var.	16"	Good	Remove

Note: The trees were originally numbered as part of a separate tree survey performed many years ago and reasons for breaks in the number sequencing could not be determined.



TREE PROTECTION FENCE DETAIL

REVISIONS:

DOWDEN DESIGN GROUP
 LANDSCAPE ARCHITECTURE, DESIGN & PLANNING
 P.O. BOX 415, LIBERTYVILLE, IL, 60048
 DOWDENDESIGNGROUP.COM PHONE: (847) 962-1254

HOFFMAN ESTATES 90
 EAGLE WAY
 HOFFMAN ESTATES, ILLINOIS

TREE
 INVENTORY

DATE: 01.14.22
 SCALE: NONE
 DRAWN: CJD



L105

SITE IMPROVEMENT PLANS for HOFFMAN ESTATES - 90

**VILLAGE OF HOFFMAN ESTATES
COOK COUNTY, ILLINOIS
PROJECT NO:5803.21**

DEVELOPER

BRENNAN INVESTMENT GROUP
9450 W. BRYN MAWR AVE, SUITE 750
ROSEMONT, ILLINOIS 60018
PHONE: (847) 443-2710

ARCHITECT

HARRIS ARCHITECTS INC.
1475 WOODFIELD ROAD, SUITE 925
SCHAUMBURG, ILLINOIS 60173
PHONE: (847) 303-1155

**CALL J.U.L.I.E. 1-800-892-0123
WITH THE FOLLOWING:**

COUNTY COOK
CITY, TOWNSHIP VILLAGE OF HOFFMAN ESTATES
SEC. & 1/4 SEC. NO. S36 T42N R9E

**48 HOURS BEFORE YOU DIG.
EXCLUDING SAT., SUN. & HOLIDAYS**

BENCHMARK

ELEVATION:
DESCRIPTION: SEE SHEET ET1 FOR BENCHMARK INFORMATION

NOTE:

SPACECO, INC. IS TO BE NOTIFIED AT LEAST
THREE (3) DAYS PRIOR TO STARTING CONSTRUCTION
AND SHALL BE INCLUDED IN THE PRECONSTRUCTION MEETINGS

DRAINAGE STATEMENT

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE PROPOSED DEVELOPMENT. IF ANY DRAINAGE PATTERNS WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS IN TO THE PUBLIC AREA, OR DRAINS APPROVED FOR THE USE BY THE MUNICIPAL ENGINEER, AND THAT SUCH SURFACE WATERS ARE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGES TO ADJOINING PROPERTIES.

Brett M. Duffy 03/11/2022
ENGINEER SIGNATURE - DATE

REVISIONS

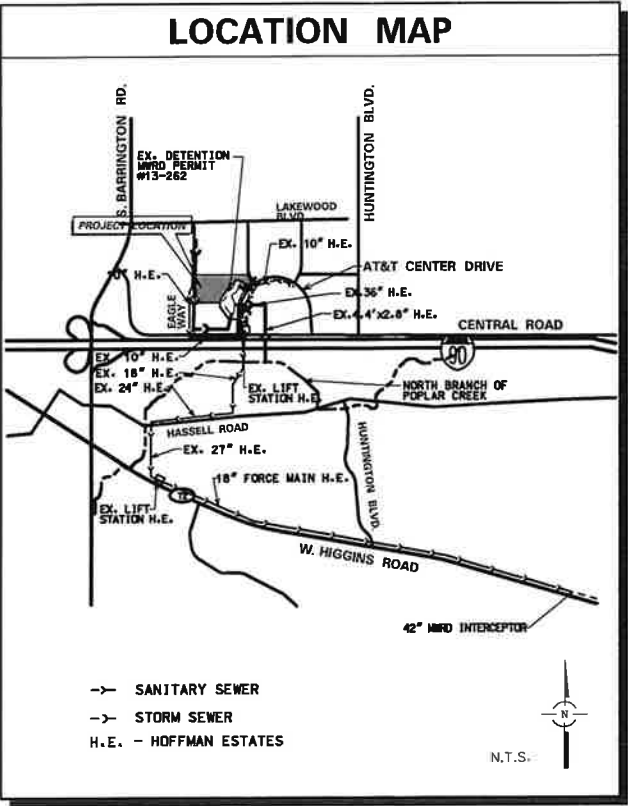
ORIGINAL PLAN DATE: JANUARY 18, 2022

#	SHEET #	REMARKS	DATE
1	7	PER VILLAGE	01/21/22
2	1,4-7,10,15,17,18	REVISIONS PER VILLAGE REVIEW 02/07/22	03/11/22

INDEX

SHEET #	SHEET I.D.	SHEET DESCRIPTION
1	C1	COVER SHEET
2	TS1	TYPICAL SECTIONS AND GENERAL NOTES
3	ET1	EXISTING CONDITIONS
4	OVGM	OVERALL SITE PLAN
5	GM1	GEOMETRIC PLAN
6	GR1	GRADING PLAN
7	UT1	UTILITY PLAN
8-10	SE1-SE3	SOIL EROSION AND SEDIMENT CONTROL PLAN
11	S1	SPACECO SPECIFICATIONS
12	S2	MWRD SPECIFICATIONS
13-16	D1-D4	DETAILS
17	MWRD	MWRD EXHIBIT
18	ADA	ADA GRADING PLAN EXHIBIT

LOCATION MAP



FILE NAME:
5803.21/TITLE

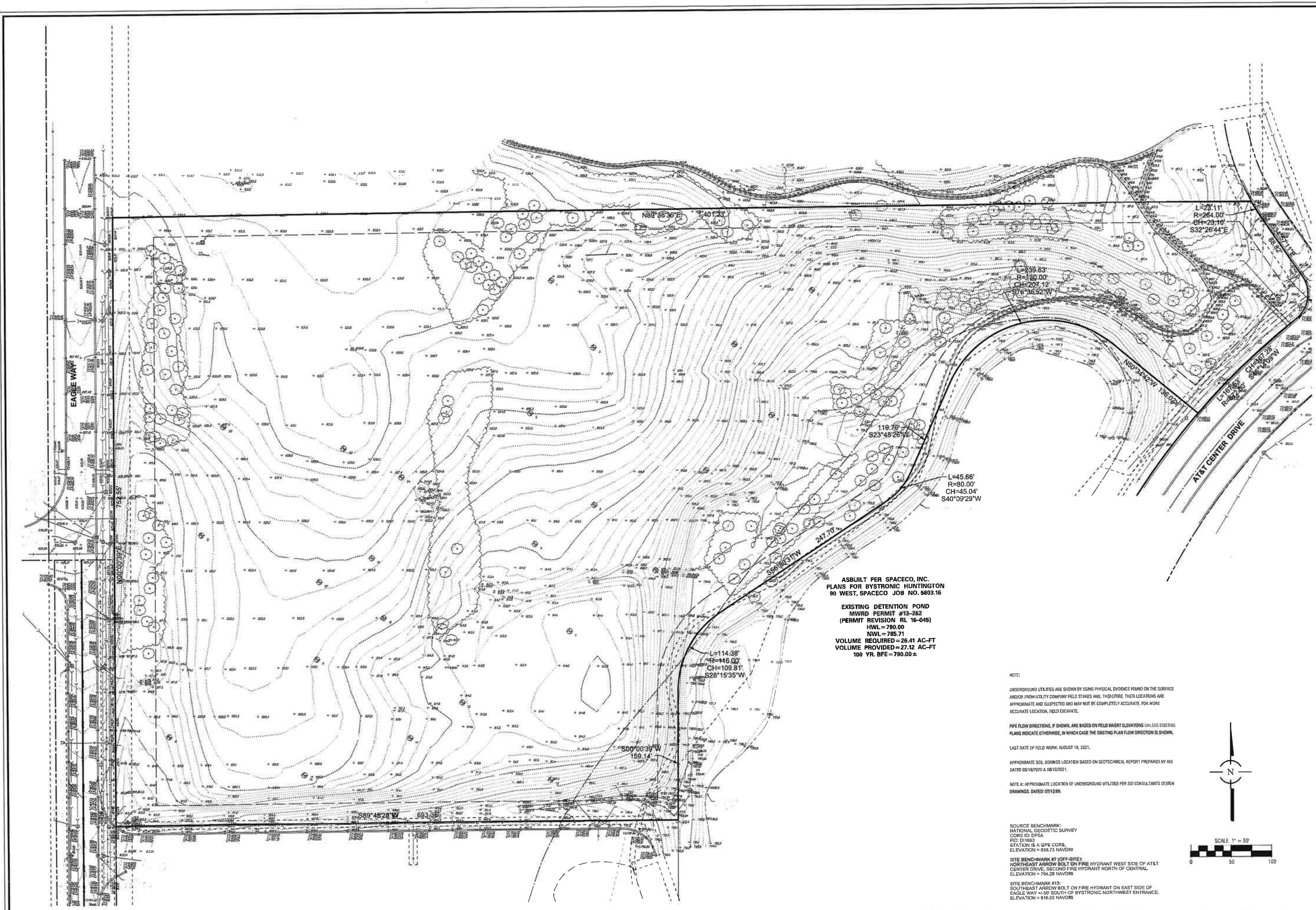
DATE:
01/18/2022

JOB NO.
5803.21

SHEET
C1
1 OF 18

Brett M. Duffy 03/11/2022
ENGINEER BRETT M. DUFFY, P.E. DATE
ILLINOIS REGISTRATION NO.: 062-053199
EXPIRATION DATE: 11/30/2023
PROFESSIONAL DESIGN FIRM NO.: 184-001157
EXPIRATION DATE: 04/30/2023
THIS PLAN OR ANY PART THEREOF SHALL BE CONSIDERED VOID WITHOUT THE SIGNATURE, SEAL, AND EXPIRATION DATE OF SEAL OF THE ENGINEER





ASBUILT PER SPACECO, INC.
 PLANS FOR BYSTRONIC HUNTINGTON
 90 WEST, SPACECO JOB NO. 5803.16

EXISTING DETENTION POND
 MWRD PERMIT #13-262
 (PERMIT REVISION RL 16-045)
 HWL = 790.00
 NWL = 785.71

VOLUME REQUIRED = 26.41 AC-FT
 VOLUME PROVIDED = 27.12 AC-FT
 100 YR. BFE = 790.00 ±

NOTE:

UNDERGROUND UTILITIES ARE SHOWN BY USING PHYSICAL EVIDENCE FOUND ON THE SURFACE AND/OR FROM UTILITY COMPANY FIELD STAKES AND, THEREFORE, THEIR LOCATIONS ARE APPROXIMATE AND SUSPECTED AND MAY NOT BE COMPLETELY ACCURATE. FOR MORE ACCURATE LOCATION, FIELD EXCAVATE.

PIPE FLOW DIRECTION, IF SHOWN, ARE BASED ON FIELD INVERT ELEVATIONS UNLESS EXISTING PLANS INDICATE OTHERWISE, IN WHICH CASE THE EXISTING PLAN FLOW DIRECTION IS SHOWN.

LAST DATE OF FIELD WORK: AUGUST 18, 2021.

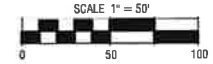
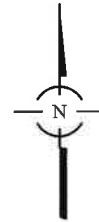
APPROXIMATE SOIL BORINGS LOCATION BASED ON GEOTECHNICAL REPORT PREPARED BY AGI DATED 08/18/2020 & 08/12/2021.

NOTE A: APPROXIMATE LOCATION OF UNDERGROUND UTILITIES PER SDI CONSULTANTS DESIGN DRAWINGS, DATED: 07/12/21.

SOURCE BENCHMARK:
 NATIONAL GEODETIC SURVEY
 CORS ID: DPSA
 PID: D11693
 STATION IS A GPS CORS.
 ELEVATION = 839.73 NAVD88

SITE BENCHMARK #7 (OFF-SITE):
 NORTHEAST ARROW BOLT ON FIRE HYDRANT WEST SIDE OF AT&T CENTER DRIVE, SECOND FIRE HYDRANT NORTH OF CENTRAL.
 ELEVATION = 794.29 NAVD88

SITE BENCHMARK #13:
 SOUTHEAST ARROW BOLT ON FIRE HYDRANT ON EAST SIDE OF EAGLE WAY +.50' SOUTH OF BYSTRONIC NORTHWEST ENTRANCE.
 ELEVATION = 816.02 NAVD88



NO.	DATE	REMARKS

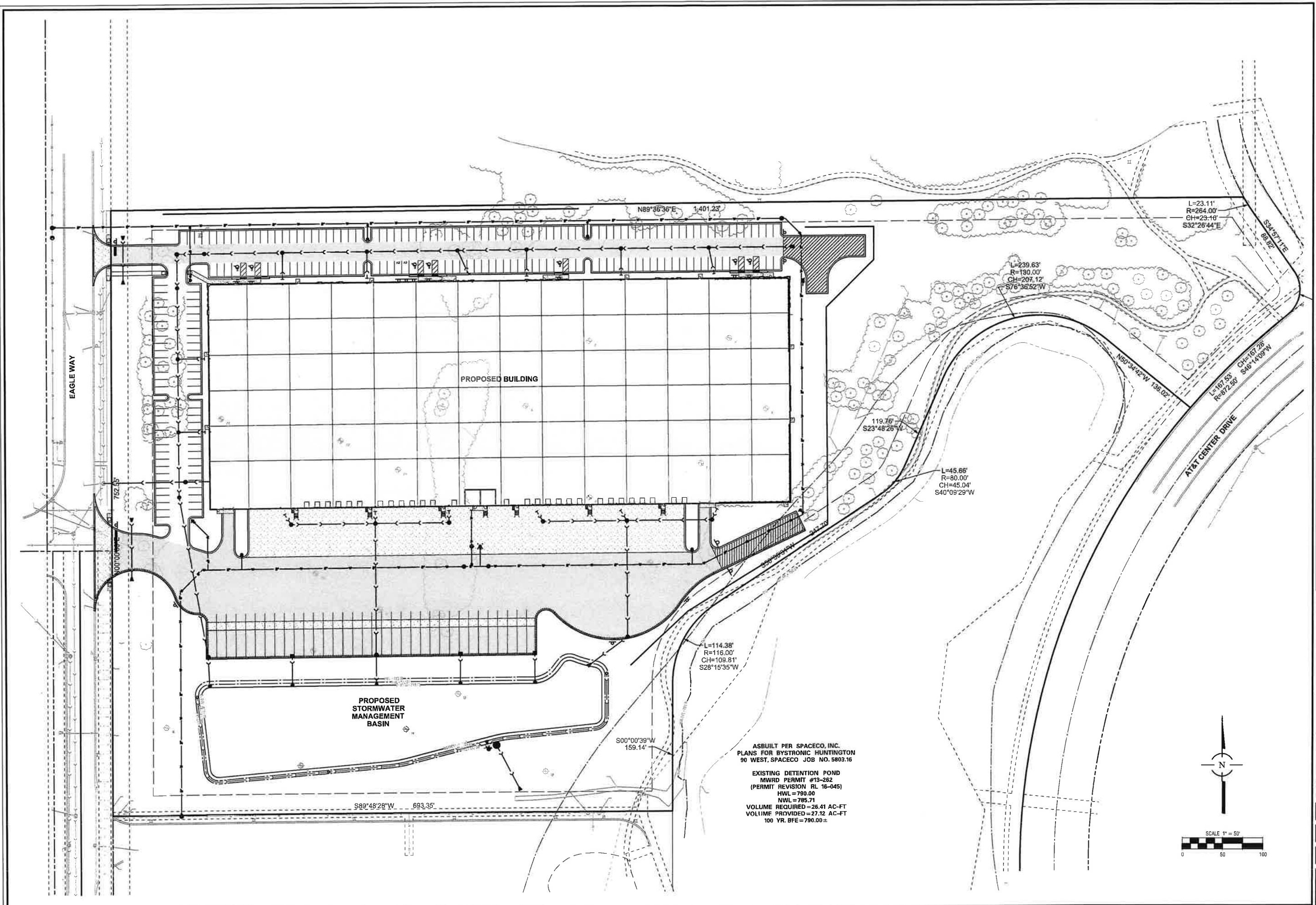
NO.	DATE	REMARKS

EXISTING CONDITIONS
HOFFMAN ESTATES - 90
HOFFMAN ESTATES, ILLINOIS

CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS
 9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 698-4000 Fax: (847) 698-4005



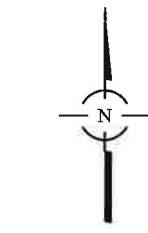
FILENAME: 5803.21ET01
DATE: 01/18/2022
JOB NO. 5803.21
SHEET ET1
3 OF 18



EAGLE WAY

PROPOSED BUILDING

PROPOSED
STORMWATER
MANAGEMENT
BASIN



ASBUILT PER SPACECO, INC.
PLANS FOR BYSTRONIC HUNTINGTON
90 WEST, SPACECO JOB NO. 5803.16

EXISTING DETENTION POND
MWRD PERMIT #13-262
(PERMIT REVISION RL 16-045)
HWL = 790.00
NWL = 785.71
VOLUME REQUIRED = 26.41 AC-FT
VOLUME PROVIDED = 27.12 AC-FT
100 YR. BFE = 790.00±

NO.	DATE	REMARKS

NO.	DATE	REMARKS
2	03/11/22	REVISIONS PER VILLAGE REVIEW 02/07/22

OVERALL SITE PLAN

HOFFMAN ESTATES - 90
HOFFMAN ESTATES, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

8575 W. Higgins Road, Suite 700
Chicago, Illinois 60616
Phone: (847) 698-4080 Fax: (847) 698-4055

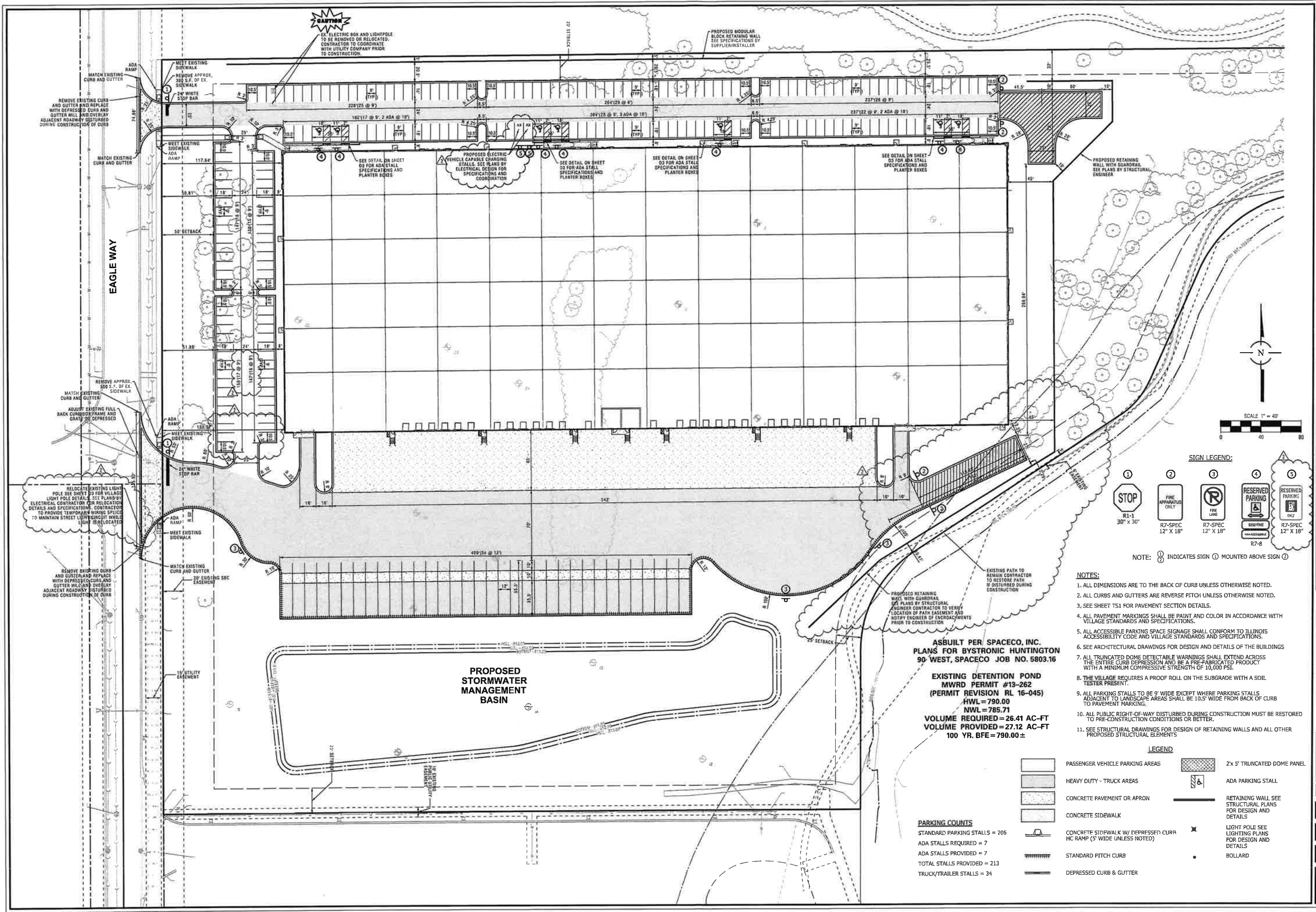


FILENAME:
5803.21OVGM

DATE:
01/18/2022

JOB NO.
5803.21

SHEET
OVGM
4 OF 18



CAUTION
 EX. ELECTRIC BOX AND LIGHTPOLE TO BE REMOVED OR RELOCATED. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY PRIOR TO CONSTRUCTION.

PROPOSED MODULAR BLOCK RETAINING WALL SEE SPECIFICATIONS BY SUPPLIER/INSTALLER

SIGN LEGEND:

1. STOP 30" x 30" R1-1	2. FIRE APPARATUS ONLY R7-SPEC 12" x 18"	3. FIRE LANE R7-SPEC 12" x 18"	4. RESERVED PARKING R7-SPEC 12" x 18"	5. RESERVED PARKING R7-SPEC 12" x 18"
------------------------	--	--------------------------------	---------------------------------------	---------------------------------------

NOTE: ① INDICATES SIGN ① MOUNTED ABOVE SIGN ②

- NOTES:**
1. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 2. ALL CURBS AND GUTTERS ARE REVERSE PITCH UNLESS OTHERWISE NOTED.
 3. SEE SHEET T51 FOR PAVEMENT SECTION DETAILS.
 4. ALL PAVEMENT MARKINGS SHALL BE PAINT AND COLOR IN ACCORDANCE WITH VILLAGE STANDARDS AND SPECIFICATIONS.
 5. ALL ACCESSIBLE PARKING SPACE SIGNAGE SHALL CONFORM TO ILLINOIS ACCESSIBILITY CODE AND VILLAGE STANDARDS AND SPECIFICATIONS.
 6. SEE ARCHITECTURAL DRAWINGS FOR DESIGN AND DETAILS OF THE BUILDINGS.
 7. ALL TRUNCATED DOME DETECTABLE WARNINGS SHALL EXTEND ACROSS THE ENTIRE CURB DEPRESSION AND BE A PRE-FABRICATED PRODUCT WITH A MINIMUM COMPRESSIVE STRENGTH OF 10,000 PSI.
 8. THE VILLAGE REQUIRES A PROOF ROLL ON THE SUBGRADE WITH A SOIL TESTER PRESENT.
 9. ALL PARKING STALLS TO BE 9' WIDE EXCEPT WHERE PARKING STALLS ADJACENT TO LANDSCAPE AREAS SHALL BE 10.5' WIDE FROM BACK OF CURB TO PAVEMENT MARKING.
 10. ALL PUBLIC RIGHT-OF-WAY DISTURBED DURING CONSTRUCTION MUST BE RESTORED TO PRE-CONSTRUCTION CONDITIONS OR BETTER.
 11. SEE STRUCTURAL DRAWINGS FOR DESIGN OF RETAINING WALLS AND ALL OTHER PROPOSED STRUCTURAL ELEMENTS.

**ASBUILT PER SPACECO, INC.
 PLANS FOR BYSTRONIC HUNTINGTON
 90 WEST, SPACECO JOB NO. 5803.16**

**EXISTING DETENTION POND
 MWRD PERMIT #13-262
 (PERMIT REVISION RL 16-045)
 HWL = 790.00
 NWL = 785.71
 VOLUME REQUIRED = 26.41 AC-FT
 VOLUME PROVIDED = 27.12 AC-FT
 100 YR. BFE = 790.00 ±**

LEGEND

[Pattern]	PASSENGER VEHICLE PARKING AREAS	[Pattern]	2'x 5' TRUNCATED DOME PANEL
[Pattern]	HEAVY DUTY - TRUCK AREAS	[Symbol]	ADA PARKING STALL
[Pattern]	CONCRETE PAVEMENT OR APRON	[Symbol]	RETAINING WALL SEE STRUCTURAL PLANS FOR DESIGN AND DETAILS
[Pattern]	CONCRETE SIDEWALK	[Symbol]	LIGHT POLE SEE LIGHTING PLANS FOR DESIGN AND DETAILS
[Pattern]	CONCRETE SIDEWALK W/ DEPRESSED CURB HC RAMP (5' WIDE UNLESS NOTED)	[Symbol]	BOLLARD
[Pattern]	STANDARD PITCH CURB		
[Pattern]	DEPRESSED CURB & GUTTER		

PARKING COUNTS
 STANDARD PARKING STALLS = 205
 ADA STALLS REQUIRED = 7
 ADA STALLS PROVIDED = 7
 TOTAL STALLS PROVIDED = 212
 TRUCK/TRAILER STALLS = 34

GEOMETRIC PLAN

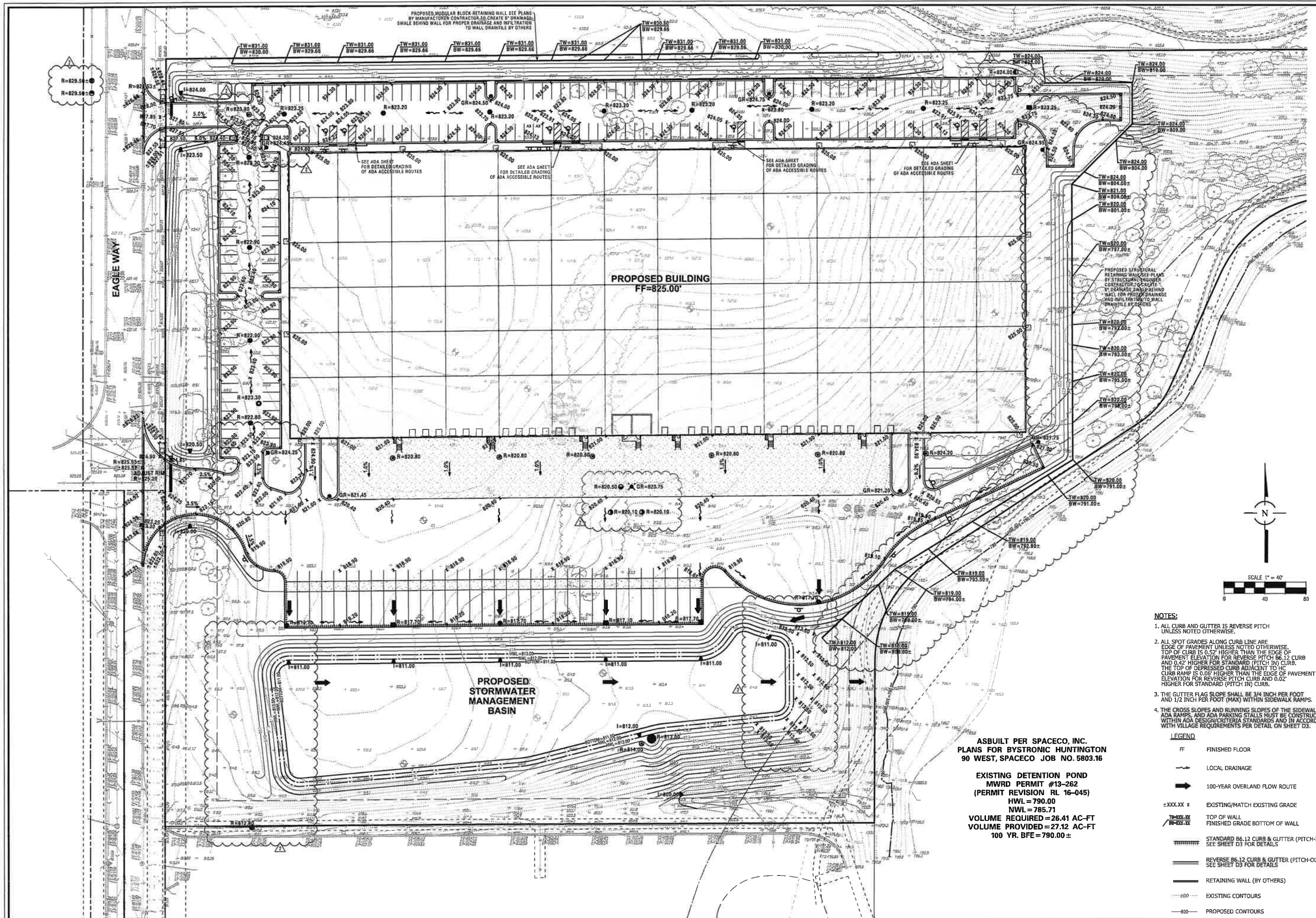
HOFFMAN ESTATES - 90 HOFFMAN ESTATES, ILLINOIS

CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018
 Phone: (847) 896-4080 Fax: (847) 896-4065

FILENAME: 5803.21GM01
 DATE: 07/18/2022
 JOB NO. 5803.21
 SHEET **GM1**
 5 OF 18

NO.	DATE	REMARKS
2	03/11/22	REVISIONS PER VILLAGE REVIEW 02/07/22



PROPOSED MODULAR BLOCK RETAINING WALL SEE PLANS BY MANUFACTURER CONTRACTOR TO CREATE 8" DRAINAGE SWALE BEHIND WALL FOR PROPER DRAINAGE AND INFILTRATION TO WALL DRAINAGE BY OTHERS

SEE ADA SHEET FOR DETAILED GRADING OF ADA ACCESSIBLE ROUTES

SEE ADA SHEET FOR DETAILED GRADING OF ADA ACCESSIBLE ROUTES

SEE ADA SHEET FOR DETAILED GRADING OF ADA ACCESSIBLE ROUTES

SEE ADA SHEET FOR DETAILED GRADING OF ADA ACCESSIBLE ROUTES

PROPOSED STRUCTURAL RETAINING WALL SEE PLANS BY STRUCTURAL ENGINEER CONTRACTOR TO CREATE 8" DRAINAGE SWALE BEHIND WALL FOR PROPER DRAINAGE AND INFILTRATION TO WALL DRAINAGE BY OTHERS

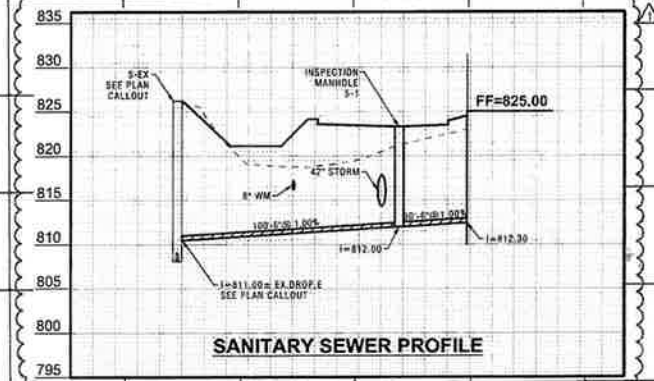
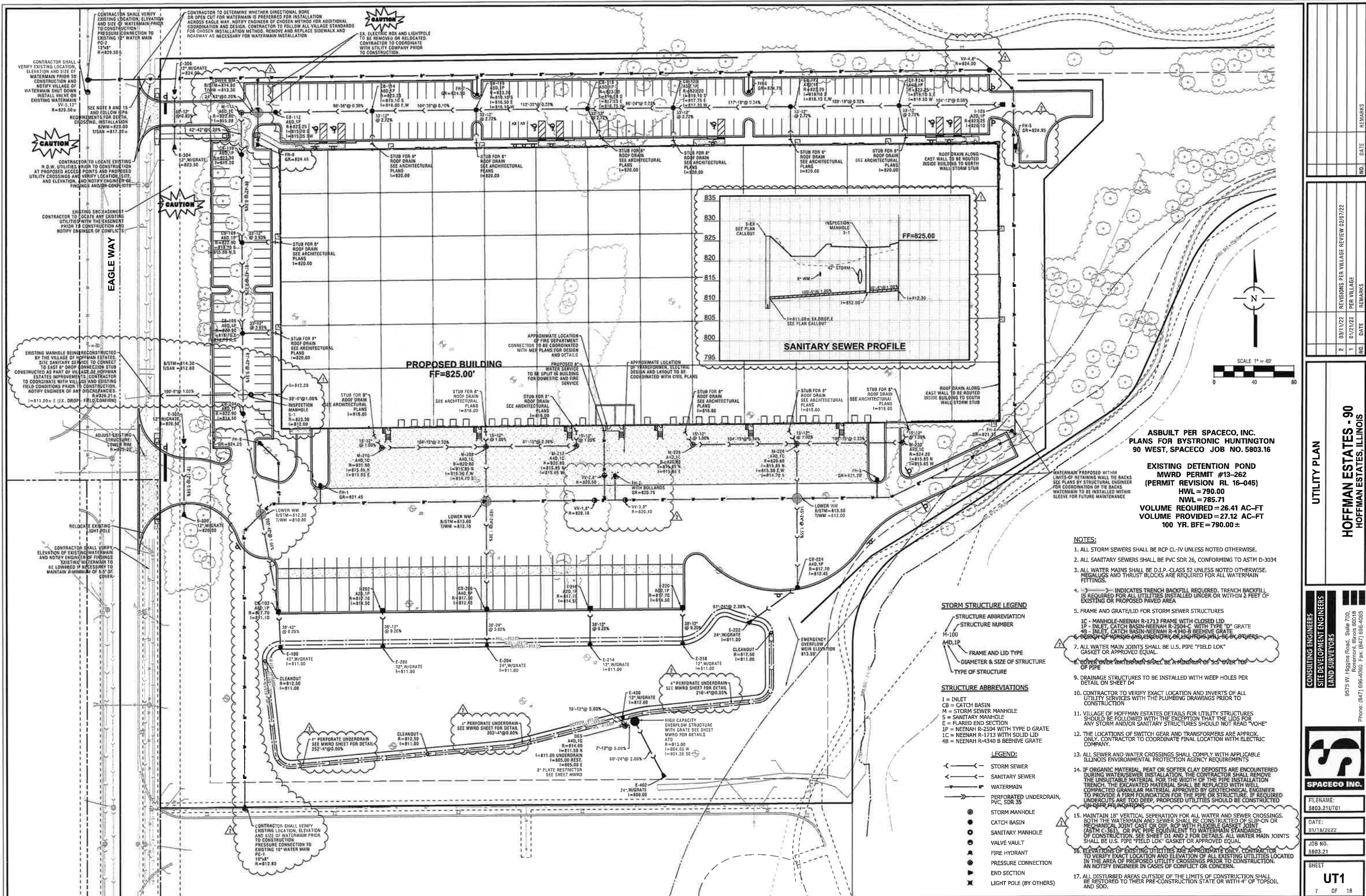
ASBUILT PER SPACECO, INC.
PLANS FOR BYSTRONIC HUNTINGTON
90 WEST, SPACECO JOB NO. 5803.16

EXISTING DETENTION POND
MWRD PERMIT #13-262
(PERMIT REVISION RL 16-045)
HWL = 790.00
NWL = 785.71
VOLUME REQUIRED = 26.41 AC-FT
VOLUME PROVIDED = 27.12 AC-FT
100 YR. BFE = 790.00 ±

- NOTES:**
1. ALL CURB AND GUTTER IS REVERSE PITCH UNLESS NOTED OTHERWISE.
 2. ALL SPOT GRADES ALONG CURB LINE ARE EDGE OF PAVEMENT UNLESS NOTED OTHERWISE. TOP OF CURB IS 0.52' HIGHER THAN THE EDGE OF PAVEMENT ELEVATION FOR REVERSE PITCH 86.12 CURB AND 0.42' HIGHER FOR STANDARD (PITCH IN) CURB. THE TOP OF DEPRESSED CURB ADJACENT TO HC CURB RAMP IS 0.05' HIGHER THAN THE EDGE OF PAVEMENT ELEVATION FOR REVERSE PITCH CURB AND 0.02' HIGHER FOR STANDARD (PITCH IN) CURB.
 3. THE GUTTER FLAG SLOPE SHALL BE 1/4 INCH PER FOOT AND 1/2 INCH PER FOOT (MAX) WITHIN SIDEWALK RAMPS.
 4. THE CROSS SLOPES AND RUNNING SLOPES OF THE SIDEWALK, ADA RAMPS, AND ADA PARKING STALLS MUST BE CONSTRUCTED WITHIN ADA DESIGN CRITERIA STANDARDS AND IN ACCORDANCE WITH VILLAGE REQUIREMENTS PER DETAIL ON SHEET 03.

- LEGEND**
- FF FINISHED FLOOR
 - LOCAL DRAINAGE
 - 100-YEAR OVERLAND FLOW ROUTE
 - ±XXX.XX ± EXISTING/MATCH EXISTING GRADE
 - TOP OF WALL FINISHED GRADE BOTTOM OF WALL
 - STANDARD 86.12 CURB & GUTTER (PITCH-IN) SEE SHEET D3 FOR DETAILS
 - REVERSE 86.12 CURB & GUTTER (PITCH-OUT) SEE SHEET D3 FOR DETAILS
 - RETAINING WALL (BY OTHERS)
 - EXISTING CONTOURS
 - PROPOSED CONTOURS

GRADING PLAN HOFFMAN ESTATES - 90 HOFFMAN ESTATES, ILLINOIS	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;"> CONSULTING ENGINEERS SITE DEVELOPMENT ENGINEERS LAND SURVEYORS </td> <td style="width: 50%; text-align: center;"> SPACECO INC. </td> </tr> <tr> <td colspan="2" style="font-size: small;"> 9576 W. Higgins Road, Suite 700, Rosemont, Illinois 60018 Phone: (847) 996-4080 Fax: (847) 996-4065 </td> </tr> <tr> <td style="font-size: x-small;"> FILENAME: 5803.21GH01 </td> <td style="font-size: x-small;"> DATE: 01/18/2022 </td> </tr> <tr> <td style="font-size: x-small;"> JOB NO. 5803.21 </td> <td style="font-size: x-small;"> SHEET GR1 6 OF 18 </td> </tr> </table>	CONSULTING ENGINEERS SITE DEVELOPMENT ENGINEERS LAND SURVEYORS	 SPACECO INC.	9576 W. Higgins Road, Suite 700, Rosemont, Illinois 60018 Phone: (847) 996-4080 Fax: (847) 996-4065		FILENAME: 5803.21GH01	DATE: 01/18/2022	JOB NO. 5803.21	SHEET GR1 6 OF 18
CONSULTING ENGINEERS SITE DEVELOPMENT ENGINEERS LAND SURVEYORS	 SPACECO INC.								
9576 W. Higgins Road, Suite 700, Rosemont, Illinois 60018 Phone: (847) 996-4080 Fax: (847) 996-4065									
FILENAME: 5803.21GH01	DATE: 01/18/2022								
JOB NO. 5803.21	SHEET GR1 6 OF 18								



ASBUILT PER SPACECO, INC.
PLANS FOR BYSTRONIC HUNTINGTON
90 WEST, SPACECO JOB NO. 5803.16

EXISTING DETENTION POND
MWRD PERMIT #13-262
(PERMIT REVISION RL 16-045)
HWL = 790.00
NWL = 785.71
VOLUME REQUIRED = 26.41 AC-FT
VOLUME PROVIDED = 27.12 AC-FT
100 YR. BFE = 790.00 ±

- NOTES:**
1. ALL STORM SEWERS SHALL BE RCP 14-IN UNLESS NOTED OTHERWISE.
 2. ALL SANITARY SEWERS SHALL BE PVC SDR 26, CONFORMING TO ASTM D-3034
 3. ALL WATER MAINS SHALL BE D.I.P. CLASS 52 UNLESS NOTED OTHERWISE. MECHALUGS AND THRUST BLOCKS ARE REQUIRED FOR ALL WATERMAIN FITTINGS.
 4. [Symbol] INDICATES TRENCH BACKFILL REQUIRED. TRENCH BACKFILL IS REQUIRED FOR UTILITIES INSTALLED UNDER OR WITHIN 2 FEET OF EXISTING OR PROPOSED PAVED AREA.
 5. FRAME AND GRATE/LID FOR STORM SEWER STRUCTURES
 1C - MANHOLE-NEENAH R-1713 FRAME WITH CLOSED LID
 1P - INLET CATCH BASIN-NEENAH R-2006-C WITH TYPE "D" GRATE
 4B - INLET CATCH BASIN-NEENAH R-4340-B BEHEIVE GRATE
 DESIGN OF WIRING AND GROUNDING OF LIGHTS WILL BE BY OTHERS.
 7. ALL WATER MAIN JOINTS SHALL BE U.S. PIPE "FIELD LOK" GASKET OR APPROVED EQUAL.
 8. COVER OVER WATERMAIN SHALL BE A MINIMUM OF 5'-5" OVER TOP OF PIPE.
 9. DRAINAGE STRUCTURES TO BE INSTALLED WITH WEEP HOLES PER DETAIL ON SHEET D4
 10. CONTRACTOR TO VERIFY EXACT LOCATION AND INVERTS OF ALL UTILITY SERVICES WITH THE PLUMBING DRAWINGS PRIOR TO CONSTRUCTION.
 11. VILLAGE OF HOFFMAN ESTATES DETAILS FOR UTILITY STRUCTURES SHOULD BE FOLLOWED WITH THE EXCEPTION THAT THE LIDS FOR ANY STORM AND/OR SANITARY STRUCTURES SHOULD NOT HAVE "Y" HOLES.
 12. THE LOCATIONS OF SWITCH GEAR AND TRANSFORMERS ARE APPROX. ONLY. CONTRACTOR TO COORDINATE FINAL LOCATION WITH ELECTRIC COMPANY.
 13. ALL SEWER AND WATER CROSSINGS SHALL COMPLY WITH APPLICABLE ILLINOIS ENVIRONMENTAL PROTECTION ACT REQUIREMENTS.
 14. IF ORGANIC MATERIAL, PEAT OR SOFTER CLAY DEPOSITS ARE ENCOUNTERED DURING WATER/SEWER INSTALLATION, THE CONTRACTOR SHALL REMOVE THE UNSUITABLE MATERIAL FOR THE WIDTH OF THE PIPE INSTALLATION TRENCH. THE EXCAVATED MATERIAL SHALL BE REPLACED WITH WELL COMPACTED GRANULAR MATERIAL APPROVED BY GEOTECHNICAL ENGINEER TO PROVIDE A FIRM FOUNDATION FOR THE PIPE OR STRUCTURE. IF REQUIRED UNDERCUTS ARE TOO DEEP, PROPOSED UTILITIES SHOULD BE CONSTRUCTED ON DEEP FOUNDATIONS.
 15. MAINTAIN 18" VERTICAL SEPARATION FOR ALL WATER AND SEWER CROSSINGS. BOTH THE WATERMAIN AND SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DIP RCP WITH FLEXIBLE GASKET JOINT (ASTM C-561) OR PVC PIPE EQUIVALENT TO WATERMAIN STANDARDS OF CONSTRUCTION. SEE SHEET D1 AND 2 FOR DETAILS. ALL WATER MAIN JOINTS SHALL BE U.S. PIPE "FIELD LOK" GASKET OR APPROVED EQUAL.
 16. ELEVATIONS OF EXISTING UTILITIES ARE APPROXIMATE ONLY. CONTRACTOR TO VERIFY EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES LOCATED IN THE AREA OF PROPOSED UTILITY CROSSINGS PRIOR TO CONSTRUCTION. AN NOTIFY ENGINEER IN CASES OF CONFLICT OR CONCERN.
 17. ALL DISTURBED AREAS OUTSIDE OF THE LIMITS OF CONSTRUCTION SHALL BE RESTORED TO THEIR PRE-CONSTRUCTION STATE OR WITH 4" OF TOPSOIL AND SOD.

STORM STRUCTURE LEGEND

STRUCTURE ABBREVIATION	STRUCTURE NUMBER	FRAME AND LID TYPE	DIAMETER & SIZE OF STRUCTURE	TYPE OF STRUCTURE
I	INLET			
CB	CATCH BASIN			
M	STORM SEWER MANHOLE			
S	SANITARY MANHOLE			
E	FLARED END SECTION			
1P	NEENAH R-2504 WITH TYPE D GRATE			
1C	NEENAH R-1713 WITH SOLID LID			
4B	NEENAH R-4340 B BEHEIVE GRATE			

STRUCTURE ABBREVIATIONS

I = INLET
 CB = CATCH BASIN
 M = STORM SEWER MANHOLE
 S = SANITARY MANHOLE
 E = FLARED END SECTION
 1P = NEENAH R-2504 WITH TYPE D GRATE
 1C = NEENAH R-1713 WITH SOLID LID
 4B = NEENAH R-4340 B BEHEIVE GRATE

LEGEND:

- STORM SEWER
- SANITARY SEWER
- WATERMAIN
- PERFORATED UNDERDRAIN, PVC, SDR 35
- STORM MANHOLE
- CATCH BASIN
- SANITARY MANHOLE
- VALVE VAULT
- FIRE HYDRANT
- PRESSURE CONNECTION
- END SECTION
- LIGHT POLE (BY OTHERS)

UTILITY PLAN

HOFFMAN ESTATES - 90
HOFFMAN ESTATES, ILLINOIS

CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

9575 W. Higgins Road, Suite 700
 Rosemont, Illinois 60018
 Phone: (847) 696-4060 Fax: (847) 696-4055

FILENAME: 5803.21UT01

DATE: 01/18/2022

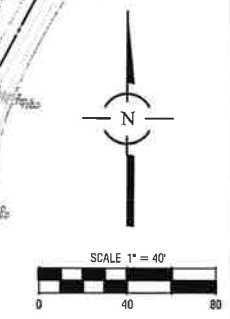
JOB NO. 5803.21

SHEET **UT1**

7 OF 18

NO.	DATE	REVISIONS PER VILLAGE	REMARKS
2	03/11/22	REVISIONS PER VILLAGE REVIEW 02/07/22	
1	01/21/22	PER VILLAGE	

OUTFALL NAME OR NUMBER	INLET PIPE SIZE ϕ (IN)	VELOCITY (F/S)	LENGTH OF APRON L (FT)	RIPRAP GRADATION	WIDTH OF APRON U/S FACE 3d (FT)	WIDTH OF APRON D/S FACE 3d+L (FT)	DEPTH OF RIPRAP Y (IN)
E-100	42	5	28	RR-6	11	39	32
E-200	12	10	15	RR-3	3	18	15
E-204	24	10	17	RR-4	6	23	20
E-214	12	10	15	RR-3	3	18	15
E-218	12	10	15	RR-3	3	18	15
E-222	24	10	17	RR-4	6	23	20
E-400	12	10	15	RR-3	3	18	15
E-402 (TO CHANNEL)	48	10	24	RR-4	SEE CHANNEL DETAIL SE2	SEE CHANNEL DETAIL SE2	SEE CHANNEL DETAIL SE2



- SYMBOL LEGEND**
- STABILIZED CONSTRUCTION ENTRANCE
 - NORTH AMERICAN GREEN S-75 EROSION CONTROL BLANKET
 - NORTH AMERICAN GREEN C-350 PERMANENT TURF REINFORCEMENT MAT
 - NATIVE PLANTINGS SEE PLANS BY LANDSCAPE ARCHITECT
 - SILT FENCE
 - INLET PROTECTION
 - PAVING
 - PERMANENT SEEDING
 - LINED APRON
 - CONCRETE PAVEMENT
 - CONCRETE WASHOUT
 - PERFORATED RISER
 - DITCH CHECK
 - TREE PROTECTION

ASBUILT PER SPACECO, INC.
 PLANS FOR BYSTRONIC HUNTINGTON
 90 WEST SPACECO JOB NO. 5803.16

EXISTING DETENTION POND
 MWRD PERMIT #13-262
 (PERMIT REVISION RL 16-045)
 HWL = 790.00
 NWL = 785.71
 VOLUME REQUIRED = 26.41 AC-FT
 VOLUME PROVIDED = 27.12 AC-FT
 100 YR. BFE = 790.00 ±

EROSION CONTROL NOTES:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL MAINTAIN PROPER SITE DRAINAGE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL.
4. CONTRACTOR IS RESPONSIBLE FOR KEEPING THE PUBLIC ROADWAYS CLEAN AND FREE OF DIRT AND DEBRIS AT ALL TIMES.
5. ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED IF A SWPPP INSPECTION OF THE SITE INDICATES A DEFICIENCY.
6. ALL CONSTRUCTION TRAFFIC TO AND FROM THE SITE SHALL BE RESTRICTED TO THE STABILIZED CONSTRUCTION ENTRANCE.
7. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED AND REPAIRED AS NECESSARY TO PERFORM AS INTENDED.
8. MAJOR AMENDMENTS TO THE SITE DEVELOPMENT AND EROSION CONTROL PLANS SHALL BE SUBMITTED TO THE DEPARTMENT OF COMMUNITY DEVELOPMENT TO BE APPROVED IN THE SAME MANNER AS THE ORIGINAL PLANS.
9. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY SHOVELING OR STREET CLEANING (NOT FLUSHING) BEFORE THE END OF EACH WORK DAY AND TRANSPORTED TO A CONTROLLED SEDIMENT AREA.
10. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED WITH PERMANENT SOIL STABILIZATION MEASURES. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS FOLLOWING THE END OF ACTIVE DISTURBANCE OR RE-DISTURBANCE.
11. IF DE-WATERING DEVICES ARE USED DURING CONSTRUCTION, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM SOIL EROSION. ALL PUMPED DISCHARGES SHALL BE ROUTED THROUGH APPROPRIATELY DESIGNED SEDIMENT TRAPS OR BASINS.
12. IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS, THEN SEDIMENT AND EROSION CONTROL MEASURES SHALL BE PROVIDED FOR SUCH A STOCKPILE.
13. EROSION CONTROL BLANKETS AND SLOPE RESTORATION IS REQUIRED WHERE THE FLARED END SECTIONS ARE CONSTRUCTED IN THE EXISTING PONDS.
14. SEEDING SPECIFICATION TO FOLLOW LANDSCAPING PLANS.
15. ALL SEDIMENT TRAPS ARE DESIGNED FOR A 1 YEAR - 24 HOUR STORM EVENT.
16. ALL ACCESS TO AND FROM THE CONSTRUCTION SITE IS TO BE RESTRICTED TO THE CONSTRUCTION ENTRANCE.
17. THIS PLAN IS TO BE USED AS A GUIDE ONLY. CONTRACTOR SHALL LOCATE ITEMS IN FIELD AS NECESSARY.
18. EROSION CONTROL BLANKET AT A MINIMUM SHALL BE INSTALLED IN ALL AREAS WITH SLOPES OF 6:1 OR STEEPER.
19. ALL TREES WITHIN THE LIMITS OF DISTURBANCE ARE ASSUMED TO BE REMOVED. SEE PLANS BY LANDSCAPE ARCHITECT.
20. CONTRACTOR SHALL COORDINATE STABILIZATION WITH LANDSCAPE PLANS FOR FINAL LOCATIONS AND REQUIREMENTS.
21. ALL PARKWAY AREAS ARE REQUIRED TO BE SODDED, AND THE 50' FRONT YARD SETBACK ALONG EAGLE WAY SHALL BE SODDED.

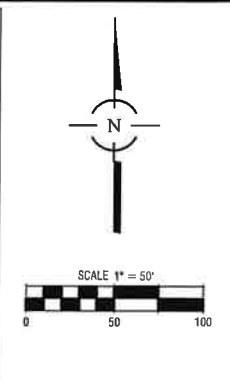
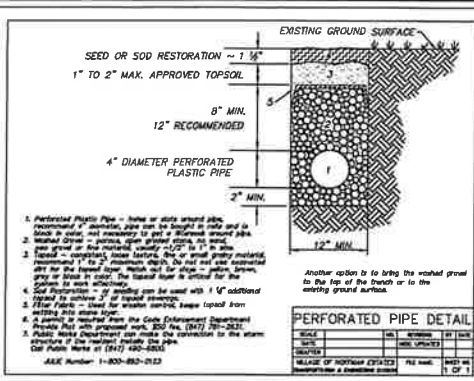
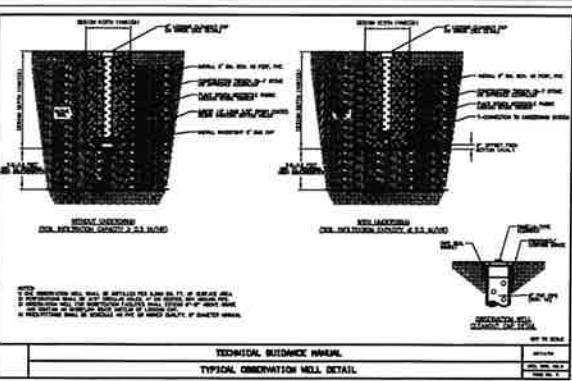
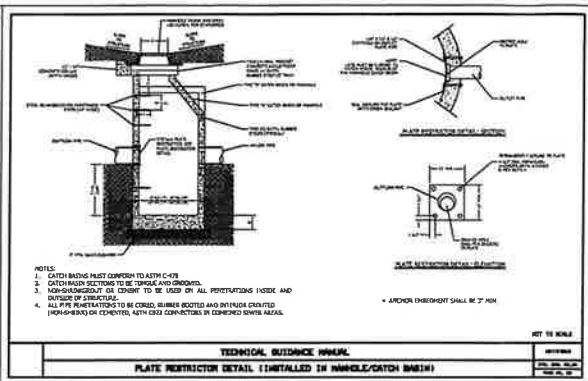
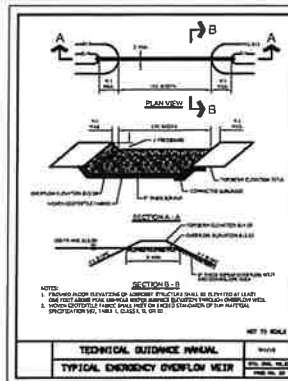
SEE LINED APRON DETAIL TO A WELL DEFINED CHANNEL FOR OUTLET LOCATION

CONTRACTOR TO REMOVE EXISTING RIP RAP CHANNEL AND REPLACE WITH PERMANENT TURF REINFORCEMENT MAT

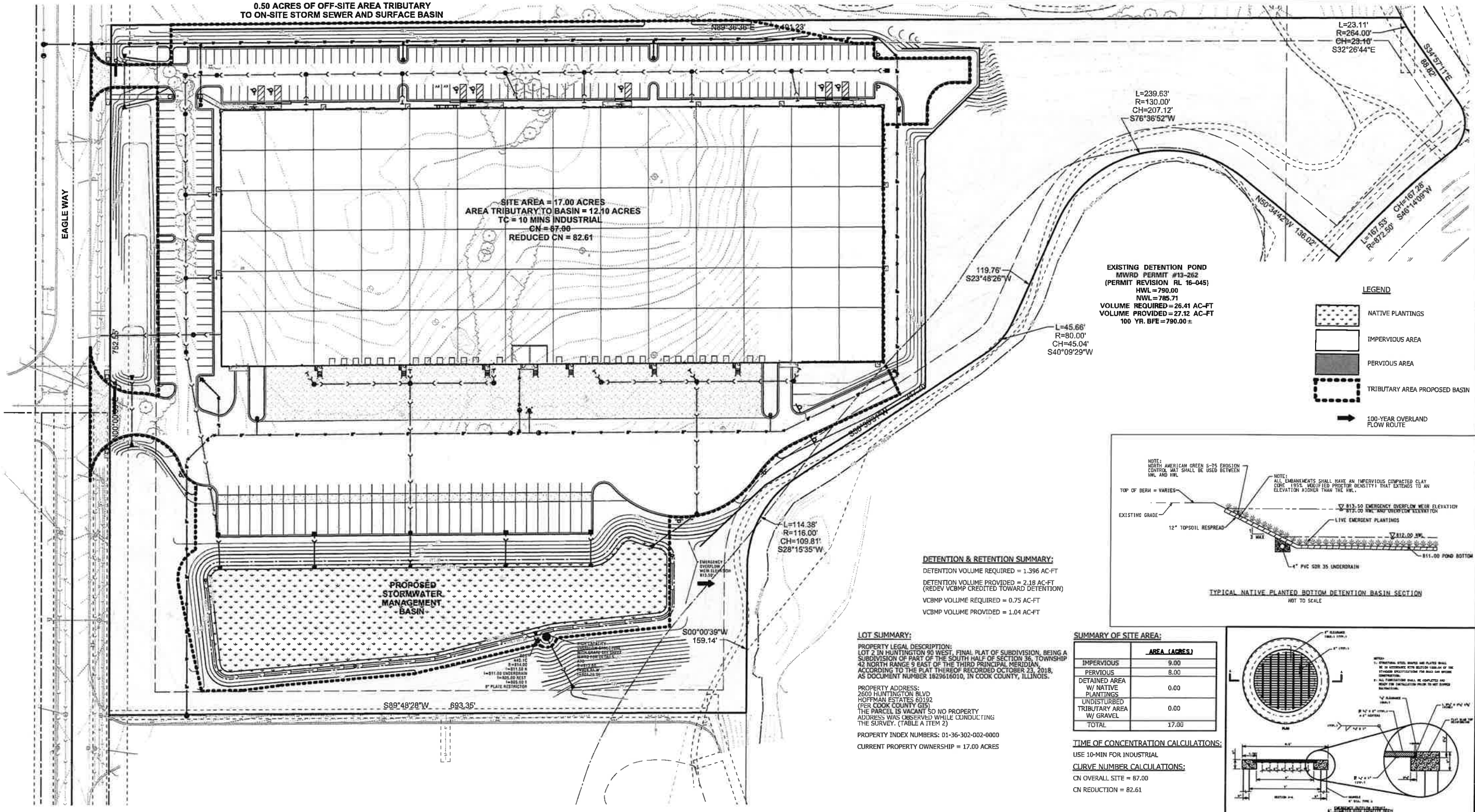
APPROXIMATE LOCATION OF STOCKPILE

PROPOSED STORMWATER MANAGEMENT BASIN

SOIL EROSION AND SEDIMENT CONTROL PLAN	
HOFFMAN ESTATES - 90 HOFFMAN ESTATES, ILLINOIS	
CONSULTING ENGINEERS SITE DEVELOPMENT ENGINEERS LAND SURVEYORS	 SPACECO INC. FILENAME: 5803_21SE03 DATE: 01/18/2022 JOB NO. 5803.21 SHEET SE3 10 OF 18
9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018 Phone: (647) 696-4050 Fax: (647) 696-4065	REVISIONS PER VILLAGE REVIEW 02/07/22 NO. DATE REMARKS 2 03/17/22 REVISIONS PER VILLAGE REVIEW 02/07/22 NO. DATE REMARKS



0.50 ACRES OF OFF-SITE AREA TRIBUTARY TO ON-SITE STORM SEWER AND SURFACE BASIN



NO.	DATE	REVISIONS PER VILLAGE REVIEW 02/07/22	REMARKS
2	03/11/22		

MWRD EXHIBIT

HOFFMAN ESTATES - 90
HOFFMAN ESTATES, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

SPACECO INC.

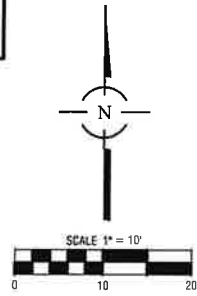
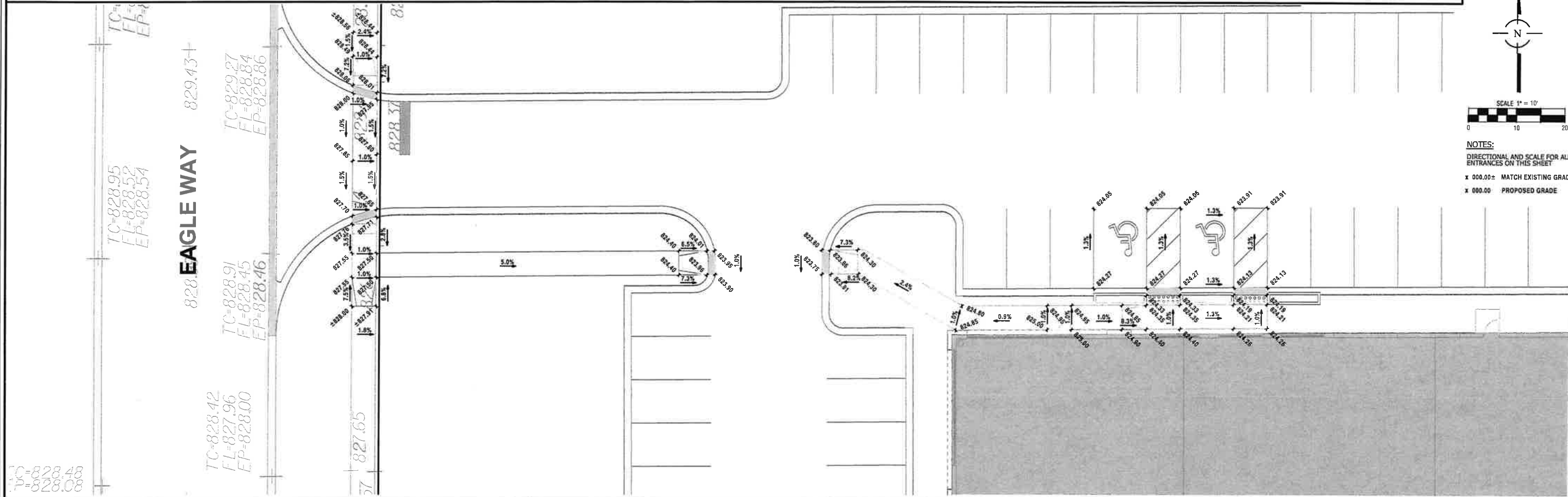
FILENAME:
5803.21MWRD

DATE:
01/18/2022

JOB NO.
5803.21

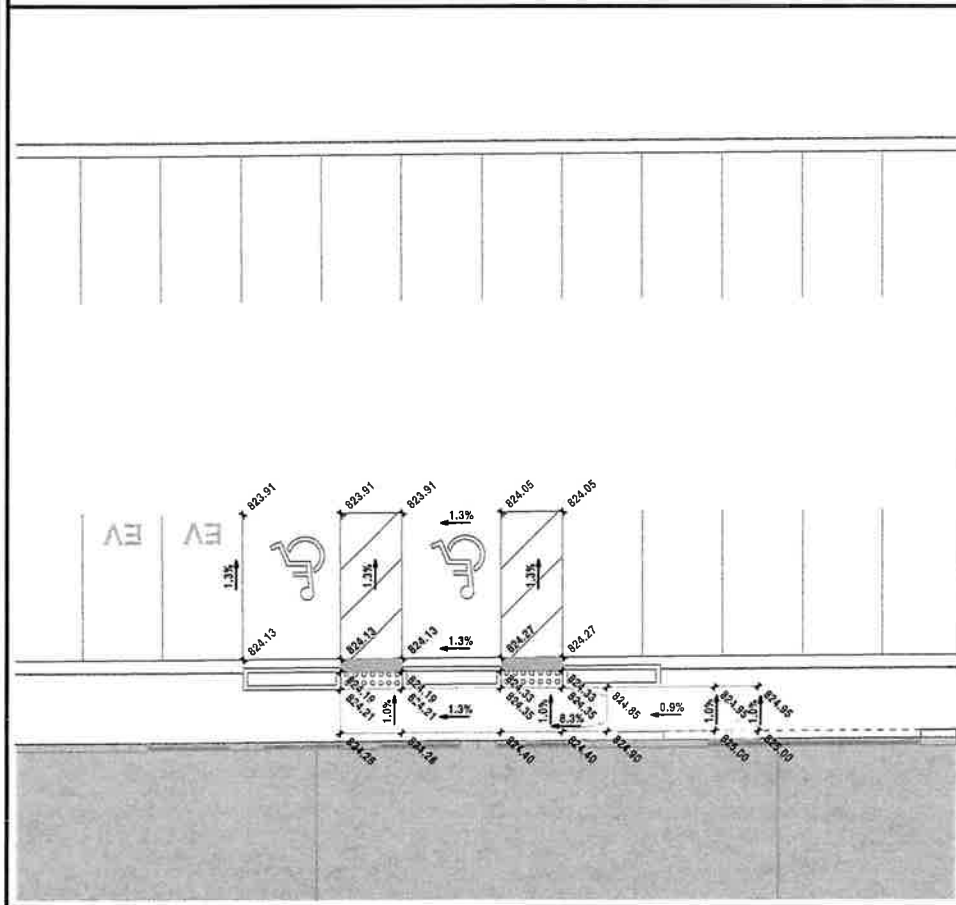
SHEET
MWRD
17 OF 18

WEST ENTRANCE

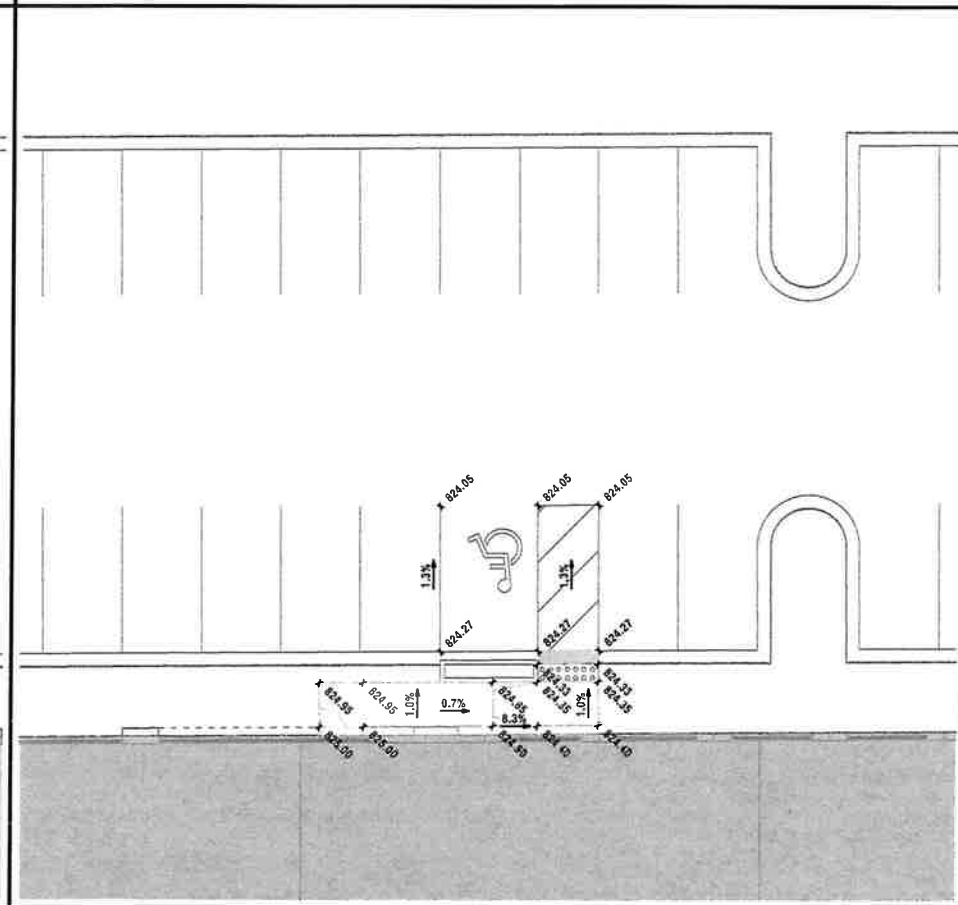


NOTES:
 DIRECTIONAL AND SCALE FOR ALL ENTRANCES ON THIS SHEET
 x 000.00= MATCH EXISTING GRADE
 x 000.00 PROPOSED GRADE

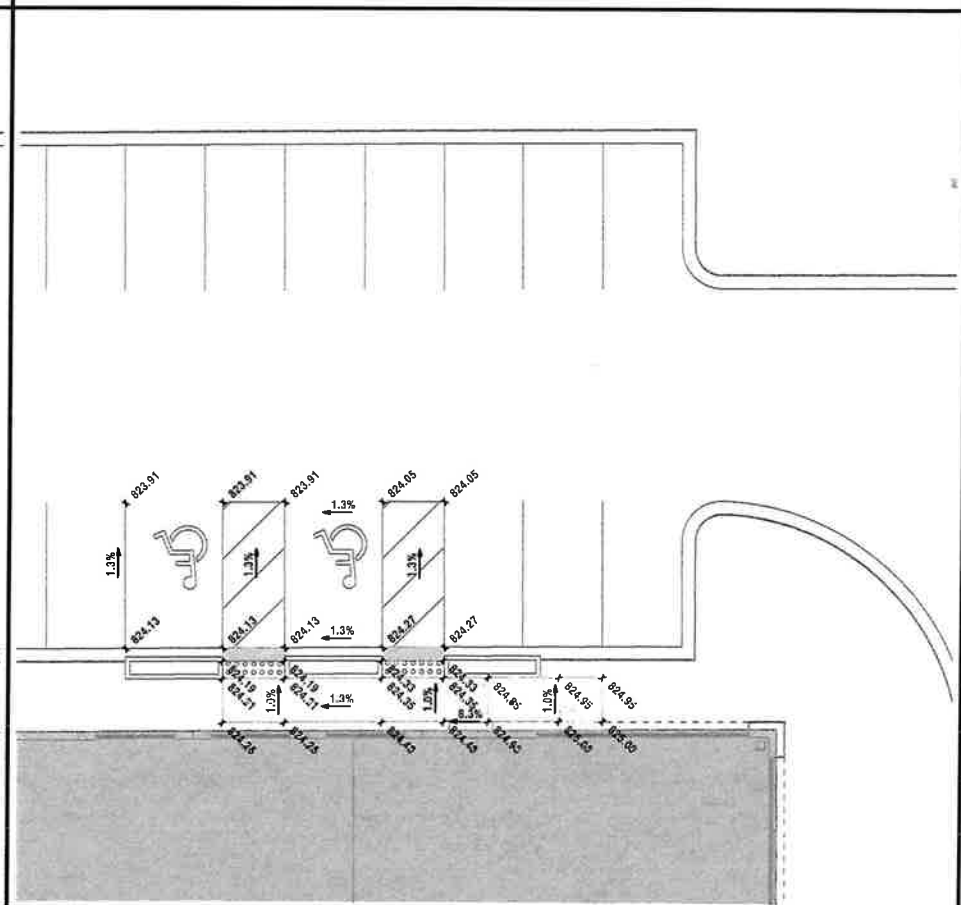
CENTER WEST ENTRANCE



CENTER EAST ENTRANCE



EAST ENTRANCE



NO.	DATE	REMARKS
1		
2	09/11/22	REVISIONS PER VILLAGE REVIEW 02/07/22

ADA GRADING PLAN EXHIBIT
HOFFMAN ESTATES - 90
 HOFFMAN ESTATES, ILLINOIS

CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS
 8575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 696-4060 Fax: (847) 696-4065



FILENAME:
 5803.21.ADA
 DATE:
 01/18/2022
 JOB NO.
 5803.21
 SHEET
ADA
 18 OF 18

K:\Project\5803.21\Drawings\ENG\5803.21.ADA.dwg User: jgym



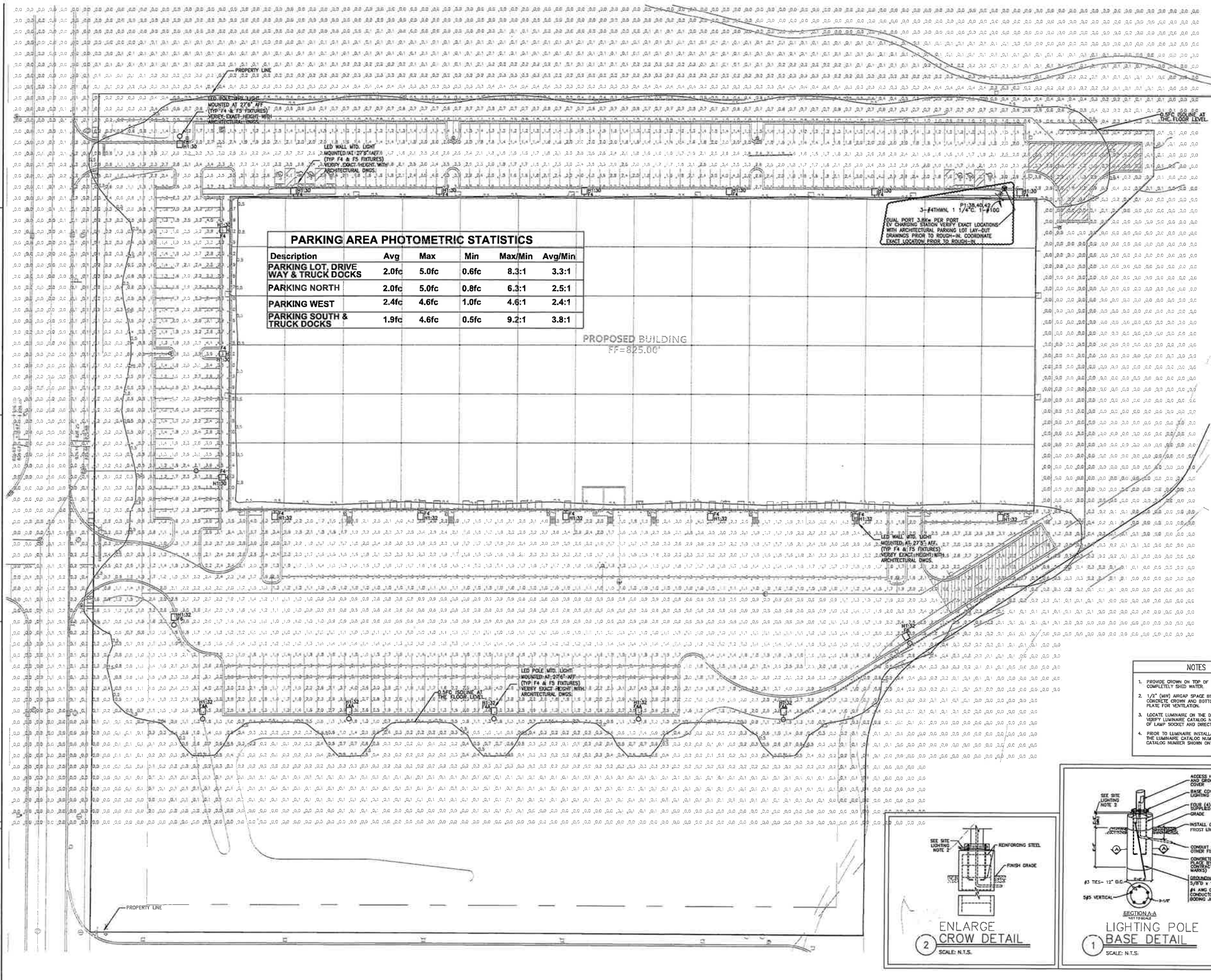
HOFFMAN ESTATES - 90
N. EAGLE WAY
HOFFMAN ESTATES, IL

SITE PLAN - PHOTOMETRIC

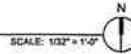
REMARKS
 ISSUED FOR CONSTRUCTION

DATE	03/07/2022
PA/PM	MSWIMGH
DRAWN BY:	MSW
JOB NO.:	21 KEE XXX

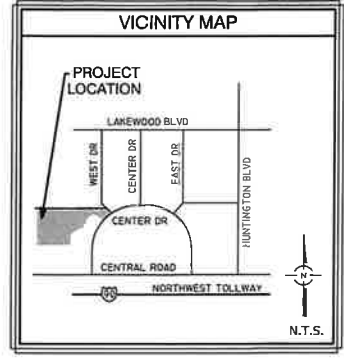
SHEET



1 SITE PLAN - ELECTRICAL



PLAT OF EASEMENT

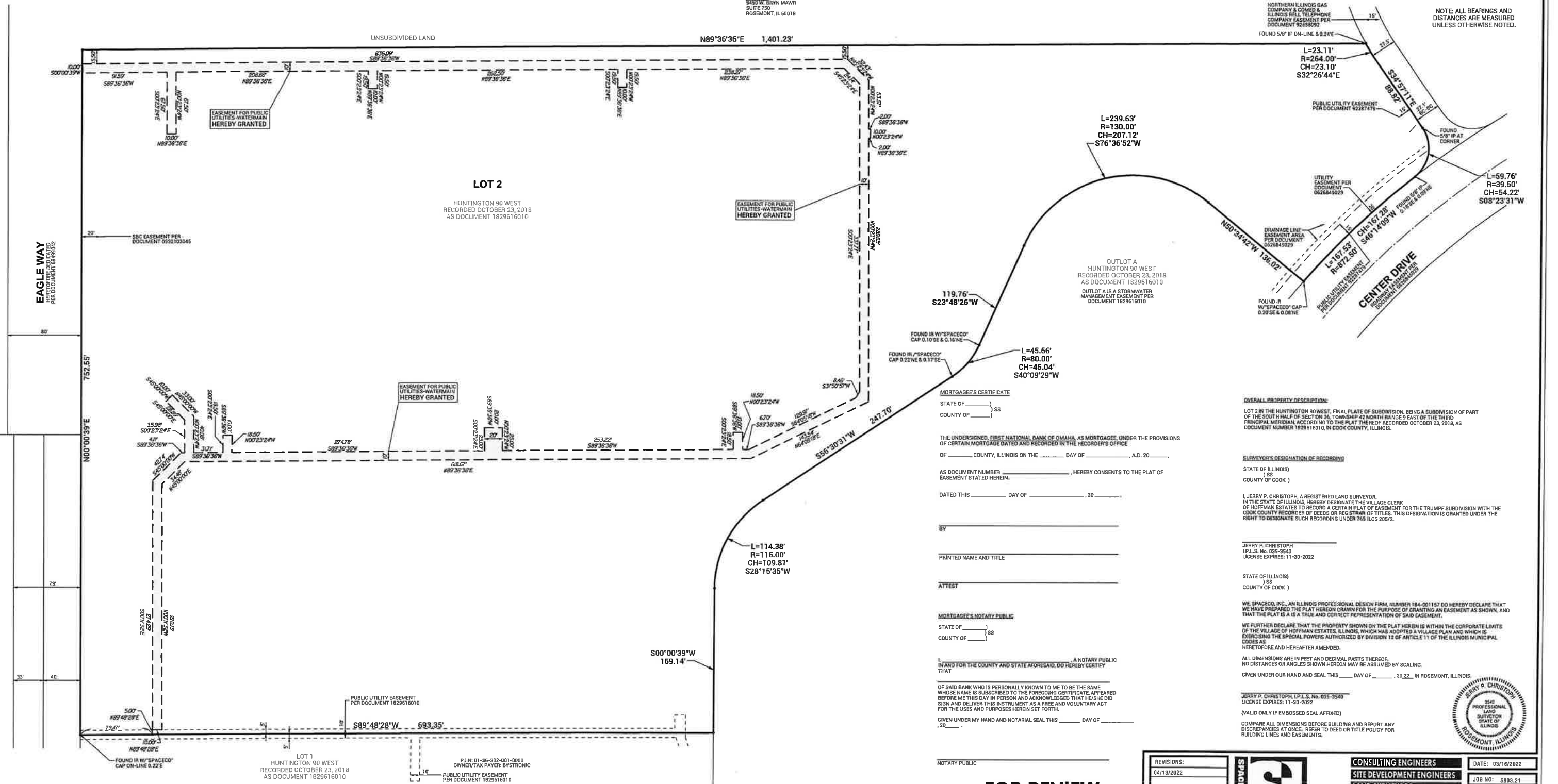
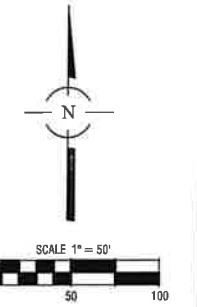


PUBLIC UTILITY EASEMENT PROVISIONS - WATERMAIN:
 AN EASEMENT IS HEREBY RESERVED BY AND GRANTED TO THE VILLAGE OF HOFFMAN ESTATES AND TO UTILITY SERVICE PROVIDERS AND THEIR SUCCESSORS THAT HOLD A LICENSE OR FRANCHISE UPON THE DATE OF THIS DOCUMENT WITHIN THE VILLAGE OF HOFFMAN ESTATES, COOK AND KANE COUNTIES, ILLINOIS, WITHIN THE AREA SHOWN BY DASHED LINES AND WITHIN THE AREA DEFINED "EASEMENTS FOR PUBLIC UTILITIES" OR "PUBLIC UTILITY EASEMENT" ON THIS PLAT, TO INSTALL, LAY, CONSTRUCT, RENEW, OPERATE AND MAINTAIN CONDUITS, CABLES AND WIRES, STORM AND SANITARY SEWER AND WATER MAINS AND DRAINAGE SWALES, ABOVE AND UNDERGROUND, WITH ALL NECESSARY MANHOLES, WATER VALVES AND OTHER EQUIPMENT FOR THE PURPOSE OF SERVING THE SUBDIVISION AND OTHER PROPERTY WITH TELEPHONE, ELECTRIC, TELEVISION, SEWER AND WATER SERVICE AND DRAINAGE PURPOSES. THE RIGHT TO ENTER UPON THE LOTS AT ALL TIMES TO INSTALL, LAY, CONSTRUCT, RENEW, OPERATE AND MAINTAIN WITHIN SAID EASEMENT AREA SAID CONDUITS, CABLES, WIRES, MANHOLES, WATER VALVES AND OTHER EQUIPMENT, AND FOR THE INSTALLATION, MAINTENANCE, RELOCATION, RENEWAL AND REMOVAL OF GAS MAINS AND APPURTENANCES, AND FINALLY THE RIGHT IS HEREBY GRANTED TO CUT DOWN AND REMOVE AND TRIM AND KEEP TRIMMED, TREES, SHRUBS, OR SAPLINGS THAT INTERFERE OR THREATEN TO INTERFERE WITH ANY OF THE SAID PUBLIC UTILITY EQUIPMENT, OPERATION AND MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES "STORMWATER MANAGEMENT EASEMENT" WILL BE PERFORMED BY THE VILLAGE ONLY IN THE EVENT OF OWNER DEFAULT IN THE OWNER'S MAINTENANCE OBLIGATIONS, AND WILL BE DONE AT THE OWNER'S EXPENSE. NO PERMANENT BUILDINGS OR CONCRETE PATIOS SHALL BE PLACED ON SAID EASEMENT, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS HEREIN GRANTED. HOWEVER, IF FENCES ARE TO BE ERECTED BY ANY OWNER OR OWNERS IN THIS SUBDIVISION WITHIN SAID EASEMENT, THESE MUST BE PLACED IN A LOCATION ACCEPTABLE TO THE VILLAGE OF HOFFMAN ESTATES AND PRIOR TO ERECTING SUCH A FENCE, A PERMIT FOR SUCH A FENCE INSTALLATION MUST BE OBTAINED FROM SAID VILLAGE.

VILLAGE BOARD CERTIFICATE
 STATE OF ILLINOIS)
) SS
) COOK COUNTY OF)
 APPROVED BY THE BOARD OF TRUSTEES OF THE VILLAGE OF HOFFMAN ESTATES, COOK AND KANE COUNTIES, ILLINOIS,
 DATED AT HOFFMAN ESTATES, ILLINOIS, THIS ____ DAY OF _____, A.D. 20 ____
 BY: VILLAGE PRESIDENT _____
 ATTEST: VILLAGE CLERK _____

OWNER'S CERTIFICATE
 STATE OF _____)
) SS
) COUNTY OF _____)
 THIS IS TO CERTIFY THAT _____, OF _____, IS OWNER OF THE PROPERTY DESCRIBED HEREON AND THAT IT HAS CAUSED THE SAID EASEMENT(S) TO BE GRANTED AS SHOWN HEREON FOR THE USES AND PURPOSES THEREIN SET FORTH AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE TITLE THEREON INDICATED.
 DATED THIS ____ DAY OF _____, A.D. 20 ____
 GB HOFFMAN LOT 2, LLC
 BY: _____
 NAME: _____
 TITLE: _____
 ADDRESS: 9450 W. BRYN MAWR SUITE 750 ROSEMONT, IL 60018

NOTARY PUBLIC CERTIFICATE
 STATE OF _____)
) SS
) COUNTY OF _____)
 I, _____, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT _____ OF _____, TITLE _____, WHO IS PERSONALLY KNOWN TO ME TO BE THE SAME WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE FOREGOING CERTIFICATE APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE/SHE DID SIGN AND DELIVER THIS INSTRUMENT AS A FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES HEREIN SET FORTH.
 GIVEN UNDER MY HAND AND NOTARIAL SEAL
 THIS ____ DAY OF _____, A.D. 20 ____
 NOTARY PUBLIC _____



MORTGAGEE'S CERTIFICATE
 STATE OF _____)
) SS
) COUNTY OF _____)
 THE UNDERSIGNED, FIRST NATIONAL BANK OF OMAHA, AS MORTGAGEE, UNDER THE PROVISIONS OF CERTAIN MORTGAGE DATED AND RECORDED IN THE RECORDER'S OFFICE OF _____ COUNTY, ILLINOIS ON THE ____ DAY OF _____, A.D. 20 ____
 AS DOCUMENT NUMBER _____, HEREBY CONSENTS TO THE PLAT OF EASEMENT STATED HEREIN.
 DATED THIS ____ DAY OF _____, 20 ____
 BY _____
 PRINTED NAME AND TITLE _____
 ATTEST _____

MORTGAGEE'S NOTARY PUBLIC
 STATE OF _____)
) SS
) COUNTY OF _____)
 I, _____, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT _____ OF SAID BANK WHO IS PERSONALLY KNOWN TO ME TO BE THE SAME WHOSE NAME IS SUBSCRIBED TO THE FOREGOING CERTIFICATE APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE/SHE DID SIGN AND DELIVER THIS INSTRUMENT AS A FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES HEREIN SET FORTH.
 GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS ____ DAY OF _____, 20 ____
 NOTARY PUBLIC _____

OVERALL PROPERTY DESCRIPTION:
 LOT 2 IN THE HUNTINGTON 90 WEST, FINAL PLAT OF SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTH HALF OF SECTION 26, TOWNSHIP 42 NORTH RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 23, 2018, AS DOCUMENT NUMBER 1829616010, IN COOK COUNTY, ILLINOIS.

SURVEYOR'S DESIGNATION OF RECORDING
 STATE OF ILLINOIS)
) SS
) COUNTY OF COOK)
 I, JERRY P. CHRISTOPH, A REGISTERED LAND SURVEYOR, IN THE STATE OF ILLINOIS, HEREBY DESIGNATE THE VILLAGE CLERK OF HOFFMAN ESTATES TO RECORD A CERTAIN PLAT OF EASEMENT FOR THE TRUMPF SUBDIVISION WITH THE COOK COUNTY RECORDER OF DEEDS OR REGISTRAR OF TITLES. THIS DESIGNATION IS GRANTED UNDER THE RIGHT TO DESIGNATE SUCH RECORDING UNDER 765 ILCS 205/2.

JERRY P. CHRISTOPH
 I.P.L.S. No. 035-3540
 LICENSE EXPIRES: 11-30-2022
 STATE OF ILLINOIS)
) SS
) COUNTY OF COOK)

WE, SPACECO, INC., AN ILLINOIS PROFESSIONAL DESIGN FIRM, NUMBER 184-001157 DO HEREBY DECLARE THAT WE HAVE PREPARED THE PLAT HEREON DRAWN FOR THE PURPOSE OF GRANTING AN EASEMENT AS SHOWN, AND THAT THE PLAT IS A TRUE AND CORRECT REPRESENTATION OF SAID EASEMENT.
 WE FURTHER DECLARE THAT THE PROPERTY SHOWN ON THE PLAT HEREIN IS WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF HOFFMAN ESTATES, ILLINOIS, WHICH HAS ADOPTED A VILLAGE PLAN AND WHICH IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODES AS HERETOFORE AND HEREAFTER AMENDED.
 ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF. NO DISTANCES OR ANGLES SHOWN HEREON MAY BE ASSUMED BY SCALING.
 GIVEN UNDER OUR HAND AND SEAL THIS ____ DAY OF _____, 2022, IN ROSEMONT, ILLINOIS.

JERRY P. CHRISTOPH, I.P.L.S. No. 035-3540
 LICENSE EXPIRES: 11-30-2022
 (VALID ONLY IF EMBOSSED SEAL AFFIXED)
 COMPARE ALL DIMENSIONS BEFORE BUILDING AND REPORT ANY DISCREPANCIES AT ONCE. REFER TO DEED OR TITLE POLICY FOR BUILDING LINES AND EASEMENTS.



PREPARED FOR:
 BRENNAN INVESTMENT GROUP
 9450 W BRYN MAWR AVE #750
 ROSEMONT, IL 60018

LOT 1
 HUNTINGTON 90 WEST
 RECORDED OCTOBER 23, 2018
 AS DOCUMENT 1829616010
 P.L.N. 01-36-302-001-0000
 OWNER/TAX PAYER: BYSTRONIC
 PUBLIC UTILITY EASEMENT
 PER DOCUMENT 1829616010

FOR REVIEW PURPOSES ONLY

REVISIONS: 04/13/2022		CONSULTING ENGINEERS SITE DEVELOPMENT ENGINEERS LAND SURVEYORS	DATE: 03/16/2022 JOB NO: 5803.21 FILENAME: 5803.21EASE-01 SHEET: 1 OF 1
		9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018 Phone: (847) 696-4060 Fax: (847) 696-4065	
		NOTARY PUBLIC _____	