

AGENDA

*Village of Hoffman Estates
Second Meeting of the Month
Village Board of Trustees*

*1900 Hassell Road
Hoffman Estates, IL 60169
847/882-9100*

Board Room **7:00 p.m.** **September 20, 2021**

1. **CALL TO ORDER/ROLL CALL**
2. **PLEDGE OF ALLEGIANCE TO THE FLAG**
3. **RECOGNITION OF AUDIENCE**
4. **APPROVAL OF MINUTES - September 13, 2021**
5. **CONSENT AGENDA/OMNIBUS VOTE (Roll Call Vote)**
(All items under the Consent Agenda are considered to be routine in nature and will be enacted by one motion. There will be no separate discussion of these items unless a Trustee so requests. In that event, the discussion will be the first item of business after approval of the Consent Agenda.)
 - A. Approval of Agenda.
 - B. Approval of the schedule of bills for September 20, 2021 - \$2,204,468.01.
 - C. Request Board approval of an Ordinance authorizing the sale of personal property owned by the Village of Hoffman Estates (auction items).
 - D. Request Board approval of an Ordinance amending Section 6-2-1-HE-11-1302-A of the Hoffman Estates Municipal Code (modify parking restrictions on Bur Oak Drive south of White Spruce Drive).
 - E. Request Board approval for the 2021 Surface Transportation Program (STP) resurfacing project on Jones Road and Salem Drive:
 - 1) Amendment #1 to IDOT Local Public Agency Agreement for Federal Participation; and
 - 2) Supplemental Local Agency funding Ordinance.
 - F. Request Board approval of proposed reorganization of the Village's General Government Office.
 - G. Request Board approval of a Subrecipient Agreement with Clearbrook to administer Community Development Block Grant (CDBG) funding for CDBG-eligible facility improvements that will prevent, prepare for, and respond to the coronavirus (CDBG-CV).
 - H. Request Board authorization to award contract for design engineering for the Arizona Boulevard Storm Sewer Replacement Project to Hey and Associates, Inc. of Chicago, IL, in an amount not to exceed \$62,755.

6. REPORTS (INFORMATION ONLY)

- A. **President's Report**
- B. **Trustee Comments**
- C. **Village Manager's Report**
- D. **Village Clerk's Report**
- E. **Treasurer's Report**
- F. **Committee Reports**
 - Public Health & Safety
 - Public Works & Utilities
 - Finance

7. PLANNING & ZONING COMMISSION RECOMMENDATIONS

- A. Request Board concurrence with the Planning and Zoning Commission recommendation and Board approval of an Ordinance granting a site plan amendment and special use to NWSMG Management LLC for the Stonegate Conference and Banquet Centre property located at 2401 W. Higgins Road.

Voting: 7 Ayes, 3 Absent

Motion carried.

- B. Request Board concurrence with the Planning and Zoning Commission recommendation and Board approval of an Ordinance granting a site plan amendment and plat of easement for the Huntington Plaza property located at 1600-1650 W. Algonquin Road.

Voting: 6 Ayes, 1 Nay, 3 Absent

Motion carried.

- C. Request Board concurrence with the Planning and Zoning Commission recommendation and Board approval of an Ordinance granting a Master Sign Plan for Dunkin' at Huntington Plaza property located at 1600-1650 W. Algonquin Road.

Voting: 6 Ayes, 1 Nay, 3 Absent

Motion carried.

8. ADDITIONAL BUSINESS

- A. Request Board approval of an Ordinance amending Section 8-3-22, Number of Licenses of Article 3, Alcoholic Liquors, of the Hoffman Estates Municipal Code (decrease in number of Class "A" licenses for Oberka Capital LLC dba Di Benedetto Trattoria, 1766 W. Algonquin Road, Hoffman Estates, IL, and increase in number of Class "A" licenses for Di Benedetto Trattoria DGA Inc. dba Di Benedetto Trattoria, 1766 W. Algonquin Road, Hoffman Estates, IL).

9. ADJOURNMENT -- Executive Session-Land Acquisition (5 ILCS 120/2-(c)-(5) & (6))

4. APPROVAL OF MINUTES:

Motion by Trustee Gaeta, seconded by Trustee Stanton, to approve Item 4. Voice vote taken. 6 ayes, 1 abstain (Arnet). Motion carried.

Approval of Minutes
Minutes from August 16, 2021.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to approve Item 4. Voice vote taken. All ayes. Motion carried.

Approval of Minutes
Minutes from August 30, 2021.

5. CONSENT AGENDA/OMNIBUS VOTE:

Motion by Trustee Gaeta, seconded by Trustee Arnet, to approve Item 5.A.

5.A. Approval of Agenda

Roll Call:
Aye: Newell, Pilafas, Stanton, Gaeta, Arnet, Mills
Nay:
Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Arnet, to approve Item 5.B.

5.B. Approval of the schedule of bills for September 13, 2021 - \$2,887,318.95.

Roll Call:
Aye: Newell, Pilafas, Stanton, Gaeta, Arnet, Mills
Nay:
Mayor McLeod voted aye.

Motion carried.

6. REPORTS:

6.A. President's Report

Proclamation(s)

Trustee Mills read the following proclamation.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to concur with the proclamation proclaiming September 20th through September 26th, 2021 as National Rail Safety Week. Voice vote taken. All ayes. Motion carried.

Pete Gugliotta accepted the proclamation.

Mayor McLeod thanked everyone who worked on the Platzkonzert event, he thanked the Veterans' Commission and Police Department for the September 11th program. He stated that he attended a NWMC executive meeting, an Economic Development Commission meeting, a ribbon cutting for L&M Financial and he thanked everyone who took care of things over the weekend.

6.B. Trustee Comments

Trustee Newell stated that she attended the Village Green summer concerts, Coffee for Champions, our recycling event, block parties, Schaumburg's September Fest, the Platzkonzert and the September 11th program.

Trustee Arnet stated that she attended the Coffee for Champions, the recycling event, block parties, the September 11th program and the Platzkonzert.

Trustee Pilafas talked about the Platzkonzert and thanked everyone who worked on the event.

Trustee Mills stated that she attended the retirement luncheon and the walk off ceremony for retired chief Paul Bilodeau, Wine Wednesday, the Fire Department promotions reception, the Platzkonzert, the September 11th program, she thanked all of those involved in the two events and she thanked the Arts Commission for the summer concerts that they hosted this year.

Trustee Stanton stated that he attended the Boomers baseball game that was sponsored by St. Alexius, the summer concerts, the ribbon cuttings for Crank Revolution, L&M Financial and the Kulture City & AEW Sensory Room at the arena, the fire department promotion reception, an Economic Development Commission meeting, the Platzkonzert and our September 11th program.

Trustee Gaeta stated that he participated in a police commission discussion, attended the Fire & Police Commission meeting, the Economic Development Commission meeting, ribbon cuttings for L&M Financial and Kulture City, block parties, the Platzkonzert and our September 11th program.

6.C. Village Manager's Report

Mr. Palm had no report.

6.D. Village Clerk's Report

The Village Clerk stated that during the month of August 160 FOIA requests were received and 47 passport applications were processed.

7. PLANNING & ZONING COMMISSION:

Motion by Trustee Gaeta, seconded by Trustee Stanton, to concur with the Planning & Zoning Commission's recommendation and approve the petitioners' request.

7.A. Request Board concurrence with the Planning and Zoning Commission recommendation and Board approval of Ordinance No. 4876-2021 granting a Site Plan Amendment and Special Use to AMITA Health for the St. Alexius Medical Center property located at 1555 N. Barrington Road.

Subject to the following conditions:

1. The building permit shall be obtained within twelve (12) months of the Village Board action on this request.
2. The following Subdivision Code waiver is granted:
 - a. A waiver from Section 10-5-2-A-3 of the Municipal Code to allow the use of curb stops for the back-in ambulance spaces immediately adjacent to the new expansion.
3. A performance guarantee based on an Engineers Estimate of Cost shall be submitted to the Village prior to issuance of a building permit.
4. If determined by the Metropolitan Water Reclamation District (MWRD) that a permit is required, the permit shall be provided to the Village prior to site construction commencing.
5. 1. The following conditions relate to the site construction:
 - a. A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
 - b. Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.
 - c. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.

Roll Call:

Aye: Newell, Pilafas, Stanton, Gaeta, Arnet, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to concur with the Planning & Zoning Commission's recommendation and approve the petitioners' request.

Motion by Trustee Mills, seconded by Trustee Stanton, to correct the street on condition #4 from Golf Road to Higgins Road. Voice vote taken. All ayes. Motion carried.

7.B. Request Board concurrence with the Planning and Zoning Commission recommendation and Board approval of Ordinance No. 4877-2021 granting a Site Plan Amendment and Special Use to Stone Hoffman LLC for the BP Gas Station located at 2598 W. Higgins Road. Subject to the following conditions:

1. The building permit shall be obtained within twelve (12) months of the Village Board action on this request.
2. The following Subdivision Code landscaping waivers are granted:
 - a. A waiver from Section 10-4-4-B. a. allowing the following landscape setbacks:
 1. A front yard landscape setback of 8' versus the required 10' for the south side of the site.
 2. A side yard landscape setback of 6.6' versus the required 10' for the east side of the site.
 3. A side yard landscape setback of 0' versus the required 10' for the west side of the site.
 4. A rear yard landscape setback of 0' versus the required 10' for the north side of the site.
 - b. A waiver from Section 10-4-4 D. a. to not provide foundation landscaping on the front (south) building façade.
 - c. A waiver from Section 10-4-4 A. 2. a. to not provide a shade tree in the public right of way due to the lack of space and overhead wires.
3. A performance guarantee based on an Engineers Estimate of Cost shall be submitted to the Village prior to issuance of a building permit.
4. A permit from IDOT shall be submitted prior to construction commencing in the Golf Road right-of-way.

5. A permit from the Metropolitan Water Reclamation District (MWRD) shall be provided prior to site construction commencing.
6. The following conditions relate to the site construction:
 - a. A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
 - b. Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.
 - c. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.

Discussion

Trustee Stanton asked if the eleven parking spaces would be enough.
Chairperson Combs responded by saying that staff thought they would be sufficient.
Trustee Pilafas asked if the station would be closed during this process.
Joe Stone, owner, replied that it would close in November and be shut down for 6-7 months.
Trustee Mills asked if the car wash would be updated.
Mr. Stone replied yes. The shell of the car wash would be the only thing that remained the same, everything inside the car wash would be replaced and the rest of the building would be new.

Roll Call:

Aye: Newell, Pilafas, Stanton, Gaeta, Arnet, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to concur with the Planning & Zoning Commission's recommendation and approve the petitioners' request.

7.C. Request Board concurrence with the Planning and Zoning Commission recommendation and Board approval of Ordinance No. 4878-2021 granting a Master Sign Plan for the BP Gas Station property located at 2598 W. Higgins Road.

Subject to the following conditions:

1. A sign permit shall be required for all signs.

Roll Call:

Aye: Newell, Pilafas, Stanton, Gaeta, Arnet, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Stanton, to concur with the Planning & Zoning Commission's recommendation and approve the petitioners' request.

7.D. Request Board concurrence with the Planning and Zoning Commission recommendation and Board approval for a preliminary and final site plat of subdivision for the property located at 2598 W. Higgins Road.

Subject to the following conditions:

1. A sign permit shall be required for all signs.

Roll Call:

Aye: Newell, Pilafas, Stanton, Gaeta, Arnet, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

8. ADDITIONAL BUSINESS:

There were no Additional Business items.

9. ADJOURNMENT:

Motion by Trustee Mills, seconded by Trustee Stanton, to adjourn the meeting into Executive Session to discuss Executive Session-Litigation (5 ILCS 120/2-(c)-(11)). Time: 7:51 p.m.

Roll Call:

Aye: Newell, Pilafas, Stanton, Gaeta, Arnet, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to adjourn the meeting. Time: 9:03 p.m.

Roll Call:

Aye: Newell, Pilafas, Stanton, Gaeta, Arnet, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

Bev Romanoff
Village Clerk

Date Approved

The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.



BILL LIST SUMMARY

BILL LIST AS OF 09/20/2021	\$	130,331.63
MANUAL CHECKS 08/26 - 09/16/2021	\$	37,734.44
WIRE TRANSFERS 08/01 - 08/31/2021	\$	<u>2,036,401.94</u>
TOTAL	\$	2,204,468.01

VILLAGE OF HOFFMAN ESTATES

September 20, 2021

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
GENERAL FUND			
01 0301	CANTEEN REFRESHMENT SERVICES	BEVERAGES	\$19.80
01 0302	ADVANCE AUTO PARTS	REPAIR PARTS	\$271.12
01 0302	ADVANCE AUTO PARTS	STOCK REPAIR PARTS	\$96.55
01 0302	CHICAGO PARTS & SOUND LLC	REPAIR PARTS	\$24.60
01 0302	RUSH TRUCK CENTER OF ILLINOIS, INC	VARIOUS SUPPLIES	\$50.42
CASH AND INVENTORIES			\$462.49
01 1432	DIXON ENGINEERING INC	ENGINEERING SERVICES	\$1,750.00
01 1432	RG STAMPING LLC	REIM FOR ENGINEERING DEP	\$1,000.00
PAYMENTS FROM DEPOSITS ON HAND			\$2,750.00
01101222 4301	DAN O'MALLEY	MILEAGE REIM FOR ILCMA CO	\$142.07
01101222 4301	PEORIA COUNTY	CONFERENCE JUDGING	\$338.00
ADMINISTRATIVE			\$480.07
01101323 4404	MUNICIPAL CODE CORP.	CODE HOSTING YEAR	\$950.00
01101324 4542	RICHARD A KAVITT ATTORNEY AT LAW	PROFESSIONAL SERVICES	\$500.00
01101324 4567	JOHN J SCOTILLO	PROFESSIONAL SERVICES	\$600.00
LEGAL			\$2,050.00
01101623 4402	WAREHOUSE DIRECT	OFFICE SUPPLIES	\$36.39
01101624 4507	WEX HEALTH INC	FSA AUGUST	\$471.75
01101624 4579	ALEXIAN BROTHERS CORPORATE HEALTH	DRUG SCREEN	\$193.00
01101624 4579	ALEXIAN BROTHERS CORPORATE HEALTH	DRUG SCREEN & PHYSICAL	\$183.00
01101624 4579	ALEXIAN BROTHERS CORPORATE HEALTH	DRUG SCREENING	\$156.00
01101624 4579	ALEXIAN BROTHERS CORPORATE HEALTH	PHYSICAL & PROFESSIONAL S	\$213.00
01101624 4580	EMPLOYMENT SCREENING ALLIANCE GROUP	EMPLOYEE SCREENING	\$235.00
HUMAN RESOURCES			\$1,488.14
TOTAL GENERAL GOVERNMENT DEPARTMENT			\$4,018.21

VILLAGE OF HOFFMAN ESTATES

September 20, 2021

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
POLICE DEPARTMENT			
01201223 4405	THE FINER LINE	ENGRAVING	\$380.00
01201224 4507	MORIZZO FUNERAL HOME & CREMATION	PROFESSIONAL SERVICES	\$275.00
01201224 4510	MARLIN BUSINESS BANK	COPIER SERVICES	\$688.00
ADMINISTRATIVE			\$1,343.00
01202122 4304	J.G. UNIFORMS, INC.	BODY ARMOR	\$4,500.00
PATROL & RESPONSE			\$4,500.00
01202924 4508	GOLF ROSE PET LODGE	ANIMAL RESCUE	\$2,345.50
ADMINISTRATIVE SERVICES			\$2,345.50
TOTAL POLICE DEPARTMENT			\$8,188.50
FIRE DEPARTMENT			
01301223 4402	OFFICE DEPOT	OFFICE SUPPLIES	\$289.81
ADMINISTRATIVE			\$289.81
01303122	IFSAP	ONLINE TRAINING AURORA MEMBER	\$89.00
01303122 4304	DLS CUSTOM EMBROIDERY	T-SHIRT REPLACEMENTS	\$2,214.00
01303122	AIR ONE EQUIPMENT INC	VARIOUS SUPPLIES	\$53.00
01303124 4542	MARLIN BUSINESS BANK	COPIER SERVICES	\$186.00
SUPPRESSION			\$2,542.00
01303222 4301	JACOB SZAFRANSKI	PARAMEDIC RENEWAL	\$41.00
01303223 4419	AIRGAS USA, LLC	MEDICAL SUPPLIES	\$318.84
EMERGENCY MEDICAL SERVICES			\$359.84
TOTAL FIRE DEPARTMENT			\$3,191.65

VILLAGE OF HOFFMAN ESTATES

September 20, 2021

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
PUBLIC WORKS			
01401223 4414	CANTEEN REFRESHMENT SERVICES	BEVERAGES	\$79.71
ADMINISTRATIVE			\$79.71
01404224 4521	HEALY ASPHALT CO., LLC.	SURFACE MATERIALS	\$388.96
01404224 4545	FULLIFE SAFETY CENTER	GLOVES	\$89.25
PAVEMENT MAINTENANCE			\$478.21
01404324 4510	VERMEER MIDWESTVERMEER-IL	BLADE SHARPENING	\$188.80
FORESTRY			\$188.80
01404424 4502	COMMONWEALTH EDISON	ELECTRIC 5323 PRAIRIE STONE	\$54.56
01404424 4503	NICOR GAS	GAS 1300 WESTBURY	\$171.22
01404424 4507	ACCURATE DOCUMENT DESTRUCTION INC	PROFESSIONAL SERVICES	\$553.14
01404424 4509	CINTAS #22	FLOOR MAT RENTAL AND CLEAN	\$34.48
01404424 4510	ADVANTAGE MECHANICAL INC.	CHILLER REPAIRS	\$560.00
01404424 4510	FACILITY GATEWAY CORPORATION	MAINTENANCE	\$310.40
01404424 4510	GRAINGER INC	REPAIR PARTS	\$50.49
01404424 4510	GRAINGER INC	VARIOUS SUPPLIES	\$21.45
01404424 4510	JOHNSTONE SUPPLY	REPAIRS PARTS	\$1,006.06
01404424 4510	MENARDS - HNVK PARK	REPAIR PARTS	\$39.94
01404424 4510	NEUCO INC	REPAIR PARTS	\$272.28
01404424 4510	TEMPERATURE EQUIPMENT CORPORATION	VARIOUS SUPPLIES	\$464.45
01404424 4510	WEATHERGUARD ROOFING CO.	MAINTENANCE	\$697.75
01404424 4510	WEBMARC DOORS	DOOR REPAIR	\$345.01
01404424 4510	WOLF ELECTRIC SUPPLY CO	REPAIR PARTS	\$510.00
01404424 4516	AMLINGS INTERIOR LANDSCAPE	INTERIOR LANDSCAPING	\$435.81
01404424 4516	WOLF ELECTRIC SUPPLY CO	REPAIR PARTS	\$192.70
01404424 4517	WOLF ELECTRIC SUPPLY CO	REPAIR PARTS	\$304.03
01404424 4518	CINTAS #22	FLOOR MAT RENTAL AND CLEAN	\$67.34
01404424 4518	FACILITY GATEWAY CORPORATION	MAINTENANCE	\$310.40
01404424 4520	WEATHERGUARD ROOFING CO.	MAINTENANCE	\$457.99
01404424 4520	WEATHERGUARD ROOFING CO.	VEHICLE MAINTENANCE	\$808.00
FACILITIES			\$7,667.50

VILLAGE OF HOFFMAN ESTATES

September 20, 2021

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01404522 4304	CINTAS #22	UNIFORM AND MAT RENTAL	\$41.52
01404523 4411	AL WARREN OIL CO INC	FUEL	\$18,616.69
01404524 4510	SYN-TECH SYSTEMS INC	MAINTENANCE	\$550.00
01404524 4513	FIRESTONE TRUCK & SERVICE CENTER	ALIGNMENT	\$55.00
01404524 4514	AEC FIRE-SAFETY & SECURITY INC	REPAIR PARTS	\$118.76
01404524 4514	BUMPER TO BUMPER/ LEE AUTO	REPAIR PARTS	\$322.79
01404524 4514	BUMPER TO BUMPER/ LEE AUTO	RTN REPAIR PARTS	(\$36.32)
01404524 4534	ADVANCE AUTO PARTS	REPAIR PARTS	\$64.36
01404524 4534	AMAZON CAPITAL SERVICES INC	POLARIS SPEED KEY	\$309.99
01404524 4534	AMAZON CAPITAL SERVICES INC	VARIOUS SUPPLIES	\$10.99
01404524 4534	BUMPER TO BUMPER/ LEE AUTO	REPAIR PARTS	\$305.77
01404524 4534	FRIENDLY FORD	VEHICLE REPAIRS	\$173.64
01404524 4534	POMP'S TIRE	VEHICLE TIRES	\$850.00
01404524 4534	RUSH TRUCK CENTER OF ILLINOIS, INC	REPAIR PARTS	\$67.04
01404524 4534	RUSSO POWER EQUIPMENT	CARBURETOR	\$58.99
01404524 4534	RUSSO POWER EQUIPMENT	SPARK PLUG	\$11.37
01404524 4534	RUSSO POWER EQUIPMENT	VARIOUS SUPPLIES	\$35.96
01404524 4534	WEST SIDE TRACTOR SALES	REPAIR PARTS	\$30.21
01404524 4534	WEST SIDE TRACTOR SALES	RTN REPAIR PARTS	(\$30.12)

FLEET SERVICES

\$21,556.64

01404823 4414	GRIMCO INC	VARIOUS SUPPLIES	\$397.20
01404824 4502	COMMONWEALTH EDISON	STREET LIGHTS GRANDCANYON	\$2,138.16
01404824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 5510 PRAIRIESTON	\$1,059.45
01404824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC O SEDGE	\$5,854.84
01404824 4544	3M HAK0206	3M CLEAR TRANSFER TAPE TP	\$1,302.74
01404824 4544	3M HAK0206	3M SCOTCHAL ELECTROCUT FI	\$1,296.00

TRAFFIC CONTROL

\$12,048.39

TOTAL PUBLIC WORKS DEPARTMENT

\$42,019.25

DEVELOPMENT SERVICES

01505024 4542	AMERICAN TAXI DISPATCH INC	TRANSPORTATION COUPONS	\$413.00
---------------	----------------------------	------------------------	----------

PLANNING

\$413.00

01505122 4301	JOHN STASCHKE	REIM FOR INSPECTOR CLASS	\$500.00
01505124 4507	ANIMAL TRACKERS WILDLIFE COMPANY	PEST REMOVAL	\$125.00
01505124 4507	THOMPSON ELEVATOR INSPECTION INC	INSPECTIONS	\$80.00

CODE ENFORCEMENT

\$705.00

VILLAGE OF HOFFMAN ESTATES

September 20, 2021

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01505224 4507	BURNS & MCDONNELL	AUTUMN WOODS WATER SYSTEM	\$4,800.00
01505224 4507	CIVILTECH ENGINEERING, INC.	21/22 NBIS BRIDGE INSPECT	\$3,711.04
01505224 4542	GOVTEMPSUSA LLC	ADMIN SERVICES	\$2,464.00
TRANSPORTATION AND ENGINEERING			\$10,975.04

TOTAL DEVELOPMENT SERVICES DEPARTMENT **\$12,093.04**

BOARDS & COMMISSIONS

01605724 4507	C.O.P.S. TESTING SERVICE, INC	PROFESSIONAL SERVICES	\$800.00
FIRE & POLICE COMMISSION			\$800.00

01605824 5501	MARK HOLIHAN AGENCY	ENTERTAINMENT CELTIC FEST	\$700.00
01605824 5501	THISTLE & HEATHER HIGHLAND DANCERS	ENTERTAINMENT CELTIC FEST	\$250.00
01605824 5502	THE FINER LINE	PRINTING	\$107.00
MISCELLANEOUS B & C			\$1,057.00

TOTAL BOARDS & COMMISSIONS DEPARTMENT **\$1,857.00**

TOTAL GENERAL FUND **\$74,580.14**

ROAD IMPROVEMENT FUND

29000025 4610	CIVILTECH ENGINEERING, INC.	PROFESSIONAL SERVICES	\$4,600.48
TOTAL ROAD IMPROVEMENT FUND			\$4,600.48

CAPITAL VEHICLE & EQUIPMENT FUND

37000025 4602	MARLIN BUSINESS BANK	COPIER SERVICES	\$1,261.00
TOTAL CAPITAL VEHICLE AND EQUIPMENT FUND			\$1,261.00

WATERWORKS & SEWERAGE FUND

40406723 4414	CANTEEN REFRESHMENT SERVICES	BEVERAGES	\$79.72
40406723 4414	MENARDS - HNVR PARK	REPAIR PARTS	\$34.96
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1775 ABBEYWOOD	\$1,915.81

VILLAGE OF HOFFMAN ESTATES

September 20, 2021

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1790 CHIPPENDALE	\$922.07
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 2 N HILLCREST	\$53.92
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 2002 PARKVIEW	\$90.62
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 2150 STONINGTON	\$158.40
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 2550 BEVELY	\$368.25
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 2550 BEVERLY	\$373.02
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 780 HASSELL RD	\$148.54
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 95 ASTER LN	\$618.15
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC S HIGGINS	\$172.03
40406724 4503	NICOR GAS	GAS 4690 OLMSTEAD	\$41.93
40406724 4507	LAKESHORE RECYCLING SYSTEMS	UNIT RENTAL	\$250.00
40406724 4507	PDC LABORATORIES INC	TESTING OF ALL WATER SAMPLES	\$3,108.50
40406724 4526	MENARDS - HNVR PARK	REPAIR PARTS	\$232.95
40406724 4529	ARLINGTON POWER EQUIPMENT	REPAIR PARTS	\$560.00
40406724 4529	BEVERLY MATERIALS, L.L.C.	CLEAN CONCRETE	(\$5.00)
40406724 4529	BEVERLY MATERIALS, L.L.C.	CLEAN FILL	\$150.00
40406724 4529	BEVERLY MATERIALS, L.L.C.	STONE	\$515.03
40406724 4585	ADVANCE AUTO PARTS	REPAIR PARTS	\$34.03
40406724 4585	BUMPER TO BUMPER/ LEE AUTO	REPAIR PARTS	\$125.39
40406724 4585	BUMPER TO BUMPER/ LEE AUTO	RTN REPAIR PARTS	(\$50.00)
40406724 4585	FIRESTONE TRUCK & SERVICE CENTER	VEHICLE ALIGNMENT	\$55.00
40406724 4585	VERMEER MIDWEST/VERMEER-IL	REPAIR PARTS	\$55.37
WATER DIVISION			\$10,008.69

40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1200 KINGSDALE	\$131.70
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1215 MOON LAKE	\$411.61
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1629 CROWFOOT CIR	\$191.65
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1775 HUNTINGTON	\$166.88
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1790 CHIPPENDALE	\$1,383.10
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1869 HAMPTON	\$85.48
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 2094 CARLING	\$78.51
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 2380 GOLF RD	\$347.94
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 515 CENTRAL	\$29.90
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 5400 W GOLF RD	\$1,343.34
40406824 4530	ARLINGTON POWER EQUIPMENT	REPAIR PARTS	\$560.00
40406824 4530	BEVERLY MATERIALS, L.L.C.	CLEAN CONCRETE	(\$5.00)
40406824 4530	BEVERLY MATERIALS, L.L.C.	CLEAN FILL	\$150.00
40406824 4530	BEVERLY MATERIALS, L.L.C.	STONE	\$515.03
SEWER DIVISION			\$5,390.14

40407024 4542	FIRST BILLING SERVICES LLC	BILLING SERVICES	\$5,578.53
40407024 4542	SEBIS DIRECT, INC	BILLING SERVICES	\$1,480.29
BILLING DIVISION			\$7,058.82

TOTAL WATERWORKS AND SEWERAGE FUND **\$22,457.65**

VILLAGE OF HOFFMAN ESTATES

September 20, 2021

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
NOW ARENA OPERATING FUND			
41000023 4414	AMPERAGE ELECTRICAL SUPPLY	STAGE BOOTHS	\$1,221.80
41000024 4542	TEST GAUGE INC	REPLACEMENT DOMESTIC 6" B	\$19,664.17
TOTAL NOW ARENA OPERATING FUND			\$20,885.97
INSURANCE FUND			
46700024 4579	ALEXIAN BROTHERS CORPORATE HEALTH	PHYSICAL	\$95.00
46700024 4579	ALEXIAN BROTHERS CORPORATE HEALTH	RTN TO WORK PHYSICAL	\$190.00
TOTAL INSURANCE FUND			\$285.00
INFORMATION SERVICES			
47008524 4510	SENTINEL IPS BY ECONET, INC.	SENTINEL MONTHLY SERVICE	\$1,647.00
47008524 4542	SCHOOL DISTRICT 300	ANNUAL MAINTENANCE FEE	\$1,322.00
OPERATIONS			\$2,969.00
CAPITAL ASSETS			
47008625 4602	DELL COMPUTERS	DELL DOCK- WD19S 130W POW	\$481.42
47008625 4602	DELL COMPUTERS	DELL LATITUDE 9420	\$2,335.97
TOTAL INFORMATION SYSTEMS FUND			\$5,786.39
2017 A & B GO DEBIT SERVICE			
75000024 4543	AMALGAMATED BANK OF CHICAGO	ADMIN FEE	\$475.00
TOTAL 2017 A & B GO DEBIT SERVICE			\$475.00
BILL LIST TOTAL			\$130,331.63

SUPERION
 DATE: 09/16/2021
 TIME: 09:10:51

VILLAGE OF HOFFMAN ESTATES
 CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 1
 ACCTPA21

SELECTION CRITERIA: transact.t_c='20' and transact.trans_date between '20210826 00:00:00.000' and '20210923 00:00:00.000'
 ACCOUNTING PERIOD: 9/21

FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
0102	121857	V 04/20/21	6925	CATHY DAGIAN STANTON	01556522	MILEAGE REIM FEB-MAR	0.00	-245.28
0102	122107	V 05/18/21	14503	JOHN KOVAKA	01404123	REIM FOR CDL LICENSE	0.00	-30.00
0102	122558	V 07/07/21	2027	BRISTOL HOSE & FITTING	01	REPAIR PARTS	0.00	-118.57
0102	122558	V 07/07/21	2027	BRISTOL HOSE & FITTING	40406724	REPAIR PARTS	0.00	-285.41
0102	122558	V 07/07/21	2027	BRISTOL HOSE & FITTING	01404524	REPAIR PARTS	0.00	-129.00
TOTAL CHECK							0.00	-532.98
0102	123365	V 08/31/21	13996	O'REILLY AUTO PARTS	01404524	REPAIR PARTS	0.00	-20.58
0102	123365	V 08/31/21	13996	O'REILLY AUTO PARTS	01	FILTER	0.00	-57.20
0102	123365	V 08/31/21	13996	O'REILLY AUTO PARTS	01	SSTOCK REPAIR PARTS	0.00	-41.46
TOTAL CHECK							0.00	-119.24
0102	123422	08/31/21	3723	PETER EDGAR	01	C-PAL	0.00	1,411.19
0102	123423	09/01/21	2027	BRISTOL HOSE & FITTING	01	REPAIR PARTS	0.00	118.57
0102	123423	09/01/21	2027	BRISTOL HOSE & FITTING	40406724	REPAIR PARTS	0.00	285.41
0102	123423	09/01/21	2027	BRISTOL HOSE & FITTING	01404524	REPAIR PARTS	0.00	129.00
TOTAL CHECK							0.00	532.98
0102	123424	09/01/21	19229	JEWEL FOOD STORES	01101123	WATER	0.00	40.00
0102	123425	09/01/21	12947	BUMPER TO BUMPER/ LEE AU	01404524	CLAMP	0.00	20.58
0102	123426	09/01/21	13996	O'REILLY AUTO PARTS	01	REPAIR APRTS	0.00	57.20
0102	123426	09/01/21	13996	O'REILLY AUTO PARTS	01	REPAIR PARTS	0.00	41.46
TOTAL CHECK							0.00	98.66
0102	123427	09/03/21	11462	IACE/ C/O CITY OF EVANST	01505122	TRAINING SEP 15,22,29	0.00	225.00
0102	123428	09/03/21	12802	LEAF	01401224	COPIER SERVICES	0.00	101.57
0102	123428	09/03/21	12802	LEAF	40406724		0.00	101.58
TOTAL CHECK							0.00	203.15
0102	123429	09/07/21	11454	THE FUN ONES	01605824	OBSTACLE COURSE	0.00	1,267.50
0102	123430	09/09/21	2226	PETTY CASH	01605824	CASH FOR PLATZKONZERT	0.00	750.00
0102	123556	09/10/21	10673	JOHN WAGNER	01605824	PLATZKONZERT ENTERTAI	0.00	1,700.00
0102	123557	09/10/21	17057	MICHAEL SCHNEIDER	01605824	PLATZKONZERT ENTERTAI	0.00	650.00
0102	123558	09/10/21	18648	DIE MUSIKMEISTERS GERMAN	01605824	PLATZKONZERT ENTERTAI	0.00	1,875.00
0102	123559	09/10/21	20804	BLASKAPELLE MILWAUKEE LL	01605824	PLATZKONZERT ENTERTAI	0.00	3,500.00
0102	123560	09/10/21	20803	ALPINE BLAST	01605824	PLATZKONZERT ENTERTAI	0.00	1,600.00
0102	123561	09/13/21	10280	ILL. WORKERS' COMPENSATI	46700024	SECOND INJURY FUND	0.00	940.89
0102	123562	09/14/21	2226	PETTY CASH	01	PETTY CASH REIM	0.00	51.29

SUPERION
 DATE: 09/16/2021
 TIME: 09:10:51

VILLAGE OF HOFFMAN ESTATES
 CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 2
 ACCTPA21

SELECTION CRITERIA: transact.t_c='20' and transact.trans_date between '20210826 00:00:00.000' and '20210923 00:00:00.000'
 ACCOUNTING PERIOD: 9/21

FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
0102	123562	09/14/21	2226	PETTY CASH	01201223	PETTY CASH REIM	0.00	69.02
0102	123562	09/14/21	2226	PETTY CASH	01202123	PETTY CASH	0.00	12.99
0102	123562	09/14/21	2226	PETTY CASH	01201223	PETTY CASH	0.00	6.59
TOTAL CHECK							0.00	139.89
0102	123563	09/15/21	19492	SEBIS DIRECT, INC	40407024	PROFESSIONAL SERVICES	0.00	1,481.02
0102	123564	09/15/21	4496	VERIZON WIRELESS	01101124	WIRELESS SERVICES	0.00	833.32
0102	123564	09/15/21	4496	VERIZON WIRELESS	01101224	WIRELESS SERVICES	0.00	120.79
0102	123564	09/15/21	4496	VERIZON WIRELESS	01101324	WIRELESS SERVICES	0.00	60.40
0102	123564	09/15/21	4496	VERIZON WIRELESS	01101424	WIRELESS SERVICES	0.00	171.26
0102	123564	09/15/21	4496	VERIZON WIRELESS	01101524	WIRELESS SERVICES	0.00	60.40
0102	123564	09/15/21	4496	VERIZON WIRELESS	01101624	WIRELESS SERVICES	0.00	120.79
0102	123564	09/15/21	4496	VERIZON WIRELESS	01102524	WIRELESS SERVICES	0.00	114.91
0102	123564	09/15/21	4496	VERIZON WIRELESS	01106224	WIRELESS SERVICES	0.00	60.40
0102	123564	09/15/21	4496	VERIZON WIRELESS	01107124	WIRELESS SERVICES	0.00	60.40
0102	123564	09/15/21	4496	VERIZON WIRELESS	01201224	WIRELESS SERVICES	0.00	1,540.84
0102	123564	09/15/21	4496	VERIZON WIRELESS	01301224	WIRELESS SERVICES	0.00	241.59
0102	123564	09/15/21	4496	VERIZON WIRELESS	01303124	WIRELESS SERVICES	0.00	4.70
0102	123564	09/15/21	4496	VERIZON WIRELESS	01303224	WIRELESS SERVICES	0.00	1,214.29
0102	123564	09/15/21	4496	VERIZON WIRELESS	01303324	WIRELESS SERVICES	0.00	262.78
0102	123564	09/15/21	4496	VERIZON WIRELESS	01401224	WIRELESS SERVICES	0.00	109.93
0102	123564	09/15/21	4496	VERIZON WIRELESS	01404224	WIRELESS SERVICES	0.00	116.22
0102	123564	09/15/21	4496	VERIZON WIRELESS	01404324	WIRELESS SERVICES	0.00	321.03
0102	123564	09/15/21	4496	VERIZON WIRELESS	01404424	WIRELESS SERVICES	0.00	438.99
0102	123564	09/15/21	4496	VERIZON WIRELESS	01404524	WIRELESS SERVICES	0.00	60.40
0102	123564	09/15/21	4496	VERIZON WIRELESS	01404624	WIRELESS SERVICES	0.00	141.99
0102	123564	09/15/21	4496	VERIZON WIRELESS	01404724	WIRELESS SERVICES	0.00	91.26
0102	123564	09/15/21	4496	VERIZON WIRELESS	01404824	WIRELESS SERVICES	0.00	193.52
0102	123564	09/15/21	4496	VERIZON WIRELESS	01501224	WIRELESS SERVICES	0.00	120.79
0102	123564	09/15/21	4496	VERIZON WIRELESS	01505024	WIRELESS SERVICES	0.00	60.40
0102	123564	09/15/21	4496	VERIZON WIRELESS	01505124	WIRELESS SERVICES	0.00	973.56
0102	123564	09/15/21	4496	VERIZON WIRELESS	01505224	WIRELESS SERVICES	0.00	695.47
0102	123564	09/15/21	4496	VERIZON WIRELESS	01505924	WIRELESS SERVICES	0.00	159.44
0102	123564	09/15/21	4496	VERIZON WIRELESS	01556524	WIRELESS SERVICES	0.00	120.79
0102	123564	09/15/21	4496	VERIZON WIRELESS	40406724	WIRELESS SERVICES	0.00	1,752.69
0102	123564	09/15/21	4496	VERIZON WIRELESS	41000024	WIRELESS SERVICES	0.00	50.44
0102	123564	09/15/21	4496	VERIZON WIRELESS	47008524	WIRELESS SERVICES	0.00	81.60
0102	123564	09/15/21	4496	VERIZON WIRELESS	47001224	WIRELESS SERVICES	0.00	2,951.71
TOTAL CHECK							0.00	13,307.10
0102	123565	09/15/21	14550	CALL ONE	01404424	LANDLINES	0.00	5,098.63
0102	123565	09/15/21	14550	CALL ONE	40406724	LANDLINES	0.00	1,882.70
0102	123565	09/15/21	14550	CALL ONE	40406824	LANDLINES	0.00	64.97
0102	123565	09/15/21	14550	CALL ONE	01303324	WIRELESS SERVICES	0.00	65.12
0102	123565	09/15/21	14550	CALL ONE	01556524	WIRELESS SERVICES	0.00	61.68
TOTAL CHECK							0.00	7,173.10
0102	123566	09/15/21	4065	THE HOME DEPOT #1904	01303123	VARIOUS SUPPLIES	0.00	19.20
0102	123566	09/15/21	4065	THE HOME DEPOT #1904	01303524	VARIOUS SUPPLIES	0.00	181.96
0102	123566	09/15/21	4065	THE HOME DEPOT #1904	01404424	VARIOUS SUPPLIES	0.00	47.90
0102	123566	09/15/21	4065	THE HOME DEPOT #1904	01404424	VARIOUS SUPPLIES	0.00	175.76

SUPERION
 DATE: 09/16/2021
 TIME: 09:10:51

VILLAGE OF HOFFMAN ESTATES
 CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 3
 ACCTPA21

SELECTION CRITERIA: transact.t_c='20' and transact.trans_date between '20210826 00:00:00.000' and '20210923 00:00:00.000'
 ACCOUNTING PERIOD: 9/21

FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
0102	123566	09/15/21	4065	THE HOME DEPOT #1904	01404224	VARIOUS SUPPLIES	0.00	40.07
0102	123566	09/15/21	4065	THE HOME DEPOT #1904	01404524	VARIOUS SUPPLIES	0.00	17.99
0102	123566	09/15/21	4065	THE HOME DEPOT #1904	01404524	VARIOUS SUPPLIES	0.00	20.31
0102	123566	09/15/21	4065	THE HOME DEPOT #1904	01404624	VARIOUS SUPPLIES	0.00	115.34
0102	123566	09/15/21	4065	THE HOME DEPOT #1904	01404624	VARIOUS SUPPLIES	0.00	155.23
0102	123566	09/15/21	4065	THE HOME DEPOT #1904	01404524	VARIOUS SUPPLIES	0.00	19.98
0102	123566	09/15/21	4065	THE HOME DEPOT #1904	40406723	VARIOUS SUPPLIES	0.00	114.14
0102	123566	09/15/21	4065	THE HOME DEPOT #1904	40406724	VARIOUS SUPPLIES	0.00	147.92
0102	123566	09/15/21	4065	THE HOME DEPOT #1904	40406724	VARIOUS SUPPLIES	0.00	103.96
0102	123566	09/15/21	4065	THE HOME DEPOT #1904	40406823	VARIOUS SUPPLIES	0.00	117.81
0102	123566	09/15/21	4065	THE HOME DEPOT #1904	40406824	VARIOUS SUPPLIES	0.00	468.31
TOTAL CHECK							0.00	1,745.88
TOTAL CASH ACCOUNT							0.00	37,734.44
TOTAL FUND							0.00	37,734.44
TOTAL REPORT							0.00	37,734.44

Detail of Wire/ACH Activity
For the Period 08/01/21 - 08/31/21

<u>Date</u>	<u>Vendor</u>	<u>Description</u>	<u>Source of Funds</u>	<u>Amount</u>
08/02/21	IPBC	Insurance Premium	General	\$ 645,535.34
08/02/21	Payment Express	Credit Card Merchant Fees 07/21	General, Water & Sewer	\$ 36.50
08/03/21	Employer's Claim Service	Workers Comp Claims	Insurance	\$ 312,016.69
08/04/21	CCMSI	General Liability Claims	Insurance	\$ 7,474.84
08/06/21	NIPSTA	Training	General	\$ 1,600.00
08/10/21	IMRF	IMRF July 2021 Payroll Costs	Various	\$ 186,195.57
08/16/21	Neopost	Replenish Postage Machine	General, Water & Sewer	\$ 1,600.00
08/17/21	Vicarious Productions	Retainer for Newsletter Management	General	\$ 2,500.00
08/20/21	JAWA	Monthly Water Usage	Water & Sewer	\$ 816,384.00
08/20/21	SWANCC	Monthly Tipping Fees	Municipal Waste System	\$ 55,459.00
08/20/21	Sebis	Postage Deposit for Water Bills	Water & Sewer	\$ 6,000.00
08/27/21	Neopost	Replenish Postage Machine	General, Water & Sewer	\$ 1,600.00
	TOTAL			\$ 2,036,401.94

ORDINANCE NO. _____ - 2021

VILLAGE OF HOFFMAN ESTATES

**AN ORDINANCE AUTHORIZING THE SALE
OF PERSONAL PROPERTY OWNED BY
THE VILLAGE OF HOFFMAN ESTATES**

WHEREAS, in the opinion of a simple majority of the corporate authorities of the Village of Hoffman Estates, it is no longer necessary or useful to, or for the best interests of the Village of Hoffman Estates to retain ownership of the personal property hereinafter described; and

WHEREAS, it has been determined by the President and Board of Trustees of the Village of Hoffman Estates to sell said personal property at a public auction to be held on an internet auction website (e.g., www.publicsurplus.com or www.obenaufauctions.com).

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: That pursuant to 65 ILCS 5/11-76-4 of the Illinois Revised Statutes, the President and Board of Trustees of the Village of Hoffman Estates find that the described personal property attached as Exhibit A now owned by the Village of Hoffman Estates, is no longer necessary or useful to the Village of Hoffman Estates and that the best interests of the Village of Hoffman Estates will be served by its sale.

Section 2: That pursuant to 65 ILCS 5/11-76-4, the Village Manager is hereby authorized and directed to sell the aforementioned property now owned by the Village of Hoffman Estates at a public auction to be held on an internet auction website, to the highest bidder of said personal property.

Section 3: That no bid which is less than the minimum price set forth in the list of property to be sold shall be accepted.

Section 4: That the Village Manager is hereby authorized and directed to enter into an agreement for the sale of said personal property.

Section 5: That upon payment of the full auction price, the Village Manager is hereby authorized and directed to convey and transfer title to the aforesaid personal property to the successful bidder.

Section 6: That if said personal property is not sold at such auction, then the Village Manager is authorized to sell without bid or properly dispose of or recycle any such property.

Section 7: That the Village Clerk is hereby authorized to publish this ordinance in pamphlet form.

Section 8: That this ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2021

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Michael Gaeta	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
President William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2021

Village President

ATTEST:

Village Clerk

Published in pamphlet form this _____ day of _____, 2021.

EXHIBIT A

Vehicle Make & Model	Mileage	VIN	Running Condition	Engine	Trans- mission
2010 Ford Expedition	86,400	1FMJU1G51AEA43004	Yes	5.4 GAS	Auto
2012 Ford Escape Hybrid	136,000	1FMCU5K37CKA10034	Yes	2.5L Hybrid	Auto
2015 Ford Explorer	132,800	1FM5K8AR1FGC1827	Yes	3.7L gas	Auto
2002 International Dump Truck with snow and ice equipment	66,100	1HTMKAAR82H516970	Yes	DT466E	Auto
1994 8' Trailer with pressure washer		4H102131XR0153318			

Title	Description	Qty	Condition
Mechanic Tool Box	Tool Box	1	Fair
Water Heater Parts	Water heater parts	1	poor
Light Bar	Light Bar	1	poor
12' Flank Plows	12' Flank Plows	2	poor
Headlight adjuster	Headlight adj	1	good
OTC Beakout box	break out box	1	good
Misc trans tools	trans tools	1	good
Black Light	Light Bar	1	fair
NGS Scan tool	Scan tool	1	good
3/4 CP impact	air tool	1	poor
1/2 CP impact	air tool	1	poor
3/8 CP Drill	air tool	1	poor
pin out box	pin out box	1	good
volt meter	meter	1	poor
J24790 Dieseltune kit	tune kit	1	good
alcohol in gas detection kit	detection kit	1	good
CAT service tool	tool	1	good
CAT service tool	tool	1	good
Miller tool	tool	1	good
Ign module tester	tool	1	fair
OTC TPMS monittor	tool	1	poor
Clamp Master banding tool	tool	1	poor
Tech 1	scan tool	1	fair
3/4 IR impact	air tool	1	poor
Rotating light bar	emergency light	2	poor
LED/Strobe light bar	emergency light	1	poor

ORDINANCE NO. _____ - 2021

VILLAGE OF HOFFMAN ESTATES

AN ORDINANCE AMENDING
SECTION 6-2-1-HE-11-1302-A OF THE
HOFFMAN ESTATES MUNICIPAL CODE

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: That Section 6-2-1-HE-11-1302-A, ADDITIONAL NO PARKING STREETS AND AREAS, of the Hoffman Estates Municipal Code be amended by amending sub-section 294, to read as follows:

294. On the south and east side of Bur Oak Drive between Essex Drive and the north property line of 1655 Bur Oak Drive, on the west side of Bur Oak Drive from the north property line of 1660 Bur Oak Drive to the south property line of 1628 Bur Oak Drive, and on the inside of the loop at the south end of Bur Oak Drive.

Section 2: That the Village Clerk is hereby authorized to publish this Ordinance in pamphlet form.

Section 3: That this Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2021

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Michael Gaeta	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
President William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2021

Village President

ATTEST:

Village Clerk

Published in pamphlet form this _____ day of _____, 2021.

VILLAGE OF HOFFMAN ESTATES

**AN ORDINANCE APPROPRIATING NECESSARY FUNDS FOR SHARE
OF COST OF IMPROVEMENTS ALONG
HASSELL ROAD, JONES ROAD AND SALEM DRIVE**

WHEREAS, the Village of Hoffman Estates has entered into an Agreement with the State of Illinois for the improvement of Hassell Road from Rosedale Lane to Jones Road that is approximately 0.09 miles, Jones Road from Hassell Road to Highland Boulevard that is approximately 0.35 miles in length, and Salem Drive from Hoffman Estates Village Limits to Bode Road that is approximately 0.25 miles in length with federal Surface Transportation Program funds for resurfacing.

WHEREAS, in compliance with the aforementioned Agreement, it is necessary for the Village to appropriate sufficient funds to pay its share of the costs of said improvements.

WHEREAS, the estimated total construction and construction engineering costs for the project designated as MFT Section Number 17-00100-00-RS is estimated to be Seven Hundred Twenty-Six Thousand Five Hundred Eighty-Five Dollars (\$726,585) with the local share estimated at One Hundred Eighty-One Thousand Six Hundred Forty-Six Dollars (\$181,646) based on awarded contract.

WHEREAS, Ordinance No. 4830-2020 appropriated the sum of One Hundred Fifty-Five Thousand Dollars (\$155,000) or as much thereof as may be necessary, from any money now or hereinafter allotted to the Village to pay its share of the costs of these improvements as provided in the Agreement.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: That there be appropriated the additional sum of Twenty-Six Thousand Six Hundred Forty-Six Dollars (\$26,646) or as much thereof as may be necessary, from any money now or hereinafter allotted to the Village to pay its share of the costs of these improvements as provided in the Agreement.

Section 2: The Village agrees to pass a supplemental ordinance to provide any necessary funds for its share of the cost of this improvement if the amount appropriated herein proves to be insufficient to cover said cost.

Section 3: The Village Clerk is hereby authorized to publish this ordinance in pamphlet form.

Section 4: This Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2021

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Michael Gaeta	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
President William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2021

Village President

ATTEST:

Village Clerk

Published in pamphlet form this _____ day of _____, 2021.



HOFFMAN ESTATES

GROWING TO GREATNESS

August 6, 2021

To: Mayor and Board of Trustees

TREASURER'S REPORT

July 2021

Attached hereto is the Treasurer's Report for the month of July, 2021, summarizing total cash receipts and disbursements for the various funds of the Village.

For the Operating funds, cash disbursements and transfers-out exceeded cash receipts and transfers-in by \$1.4 million, primarily due to general operating expenses. After including these receipts and disbursements, the balance of cash and investments for the operating funds is \$49.2 million.

For the Operating, Debt Service and Capital Projects funds, cash disbursements and transfers-out exceeded cash receipts and transfers-in by \$1.8 million, primarily due to general operating expenses and monthly operating transfers.

For the Trust Funds, cash disbursements and transfers-out exceeded cash receipts and transfers-in by \$536,082, primarily due to pension fund investment activity.

The total for cash and investments for all funds decreased to \$281.9 million.

Respectfully Submitted,

Stan W. Helgerson
Village Treasurer

Attachment

TREASURER'S REPORT
FOR THE MONTH ENDING July 31, 2021

Fund	Beginning Balance	Receipts/ Transfers - In	Disbursements/ Transfers - Out	Amount in Cash	Amount Invested	Ending Balance
Operating Funds						
General (incl. Veterans' Mem)	\$ 27,883,141	\$ 3,579,460	\$ 5,166,903	\$ 2,554,160	\$ 23,741,538	\$ 26,295,699
Payroll Account	-	3,869,857	3,869,857	-	-	-
Petty Cash	2,100	-	-	2,100	-	2,100
Foreign Fire Ins. Board	169,081	-	-	169,081	-	169,081
Cash, Village Foundation	13,007	-	-	13,007	-	13,007
Cash, Fire Protection District	25,035	1,133	-	26,168	-	26,168
Motor Fuel Tax	703,711	211,702	131,775	20,755	762,882	783,638
Comm. Dev. Block Grant	9,162	-	4,331	4,831	-	4,831
Asset Seizure - Federal	374,027	6,567	76,443	299,778	4,372	304,151
Asset Seizure - State	347,780	1	-	291,786	55,995	347,781
Asset Seizure - Battle	845	-	-	-	845	845
Asset Seizure - U. S. Marshall	7,814	-	-	7,814	-	7,814
Municipal Waste System	599,396	236,322	252,884	574,857	7,978	582,834
Roselle Road TIF	2,011,270	8	240	888,124	1,122,913	2,011,037
Higgins/Hassell TIF	9,232	-	240	8,992	-	8,992
Barrington/Higgins TIF	1,002,668	3	240	683,231	319,200	1,002,431
Water & Sewer	12,500,022	1,812,696	1,714,680	1,630,425	10,967,612	12,598,038
NOW Operating	1,508,500	411,920	276,636	1,483,088	160,696	1,643,784
Insurance	2,448,676	111,973	96,694	270,812	2,193,143	2,463,955
Information Systems	904,527	117,587	125,213	204,518	692,383	896,902
Total Operating Funds	\$ 50,524,366	\$ 10,359,230	\$ 11,716,136	\$ 9,133,529	\$ 40,029,559	\$ 49,167,460
Debt Service						
2015 A & C G.O. Debt Serv.	\$ 4	\$ 750,000	\$ -	\$ 750,004	\$ -	\$ 750,004
2016 G.O. Debt Serv.	75,998	3,120	-	79,118	-	79,118
2018 G.O. Debt Serv.	30,203	163,780	-	193,983	-	193,983
Total Debt Service Funds	\$ 106,206	\$ 916,900	\$ -	\$ 1,023,106	\$ -	\$ 1,023,106
Capital Projects Funds						
Central Road Imp.	\$ 55,399	-	\$ -	\$ 41,811	\$ 13,588	\$ 55,399
Hoffman Blvd Bridge Maintenance	273,885	6	-	3,123	270,768	273,890
Western Corridor	3,399,708	69	33,333	12,649	3,353,795	3,366,444
Traffic Improvement	18,400	-	-	18,400	-	18,400
Prairie Stone Capital	869,317	13	5,135	147,969	716,225	864,194
Road Improvements	4,749,997	355,512	1,422,833	457,057	3,225,619	3,682,677
Central Area Road Impact Fee	126,676	-	-	126,676	-	126,676
Western Area Traff. Impr.	22,910	-	-	22,910	-	22,910
West Area Rd Impr. Impact Fee	71,404	-	-	71,404	-	71,404
Capital Improvements	1,205,016	78,192	128,686	879,729	274,792	1,154,522
Capital Vehicle & Equipment	602,340	80,862	22,583	565,676	94,743	660,419
Capital Replacement	639,512	7	58,333	249,348	331,838	581,186
Stormwater Management	622,247	45,482	218,976	448,752	-	448,752
2019 Capital Projects	335,236	-	-	324,641	10,596	335,237
Total Capital Proj. Funds	\$ 12,992,048	\$ 559,941	\$ 1,889,880	\$ 3,370,146	\$ 8,291,964	\$ 11,662,111
Total Operating, Debt Service and Capital Project Funds	\$ 63,622,620	\$ 11,836,071	\$ 13,606,016	\$ 13,526,781	\$ 48,321,523	\$ 61,852,676
Trust Funds						
Police Pension (June)	\$ 96,452,960	\$ (532,518)	\$ 639,437	\$ 10,960	\$ 95,270,045	\$ 95,281,005
Firefighters Pension (June)	112,546,414	1,230,645	576,750	10,938	113,189,372	113,200,309
EDA Spec. Tax Alloc.	11,597,668	170	18,193	356,808	11,222,838	11,579,646
Total Trust Funds	\$ 220,597,042	\$ 698,297	\$ 1,234,379	\$ 378,705	\$ 219,682,255	\$ 220,060,960
GRAND TOTAL	\$ 284,219,663	\$ 12,534,368	\$ 14,840,395	\$ 13,905,485	\$ 268,003,779	\$ 281,913,636

AGENDA
PUBLIC HEALTH AND SAFETY COMMITTEE
Village of Hoffman Estates
September 27, 2021

7:00 p.m. – Board Room

Members: **Michael Gaeta, Chairman**
 Gary Pilafas, Vice Chairman
 Anna Newell, Trustee
 Karen Mills, Trustee
 Gary Stanton, Trustee
 Karen Arnet, Trustee
 William McLeod, Mayor

- I. Roll Call**
- II. Approval of Minutes – August 16, 2021 Committee Meetings**

NEW BUSINESS

REPORTS (INFORMATION ONLY)

- 1. Police Department Monthly Report.
- 2. Health & Human Services Monthly Report.
- 3. Emergency Management Coordinator Monthly Report.
- 4. Fire Department Monthly Report.

- III. President’s Report**
- IV. Other**
- V. Items in Review**
- VI. Adjournment**

(Further details and information can be found in the agenda packet attached hereto and incorporated herein and can also be viewed online at www.hoffmanestates.org and/or in person in the Village Clerk’s office).

The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.

AGENDA
PUBLIC WORKS & UTILITIES COMMITTEE
Village of Hoffman Estates
September 27, 2021

Draft 9.14.21

Immediately following Public Health & Safety Committee

Members: Anna Newell, Chairperson
Michael Gaeta, Vice Chairperson
Gary Pilafas, Trustee
Karen V. Mills, Trustee

Gary G. Stanton, Trustee
Karen J. Arnet, Trustee
William McLeod, Mayor

- I. Roll Call**
- II. Approval of Minutes – August 16, 2021
September 13, 2021 (Special)**

OLD BUSINESS

- 1. Request approval of a request by CalAtlantic Group, Inc. for an ordinance for the acceptance of public improvements at the Amber Meadows subdivision. *(Deferred from July 19, 2021)*

NEW BUSINESS

- 1. Request authorization to award contract for 2021 Drainage Improvements Project (Bid opening to be held on September 21st)

REPORTS (INFORMATION ONLY)

- 1. Department of Public Works Monthly Report.
- 2. Engineering Division Monthly Report.

- III. President's Report**
- IV. Other**
- V. Items in Review**
- VI. Adjournment**

Further details and information can be found in the agenda packet attached hereto and incorporated herein and can also be viewed online at www.hoffmanestates.org and/or in person in the Village Clerk's office).

The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance call the ADA Coordinator at 847/882-9100.

AGENDA
FINANCE COMMITTEE
Village of Hoffman Estates
September 27, 2021

Immediately following Public Works & Utilities

Draft

Members: Gary Pilafas, Chairperson
Anna Newell, Vice Chairperson
Michael Gaeta, Trustee

Karen Mills, Trustee
Gary Stanton, Trustee
Karen Arnet, Trustee
William McLeod, Mayor

I. Roll Call

II. Approval of Minutes – August 16, 2021

REPORTS (INFORMATION ONLY)

1. Finance Department Monthly Report.
2. Information System Department Monthly Report.
3. NOW Arena Monthly Report.

III. President's Report

IV. Other

V. Items in Review

VI. Adjournment

Further details and information can be found in the agenda packet attached hereto and incorporated herein and can also be viewed online at www.hoffmanestates.org and/or in person in the Village Clerk's office.

The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.

ORDINANCE NO. _____ - 2021

**VILLAGE OF HOFFMAN ESTATES
AN ORDINANCE GRANTING A SITE PLAN AMENDMENT AND SPECIAL USE TO
NWSMG MANAGEMENT LLC FOR THE STONEGATE CONFERENCE AND
BANQUET CENTRE PROPERTY LOCATED AT
2401 W. HIGGINS ROAD, HOFFMAN ESTATES, ILLINOIS**

WHEREAS, the Planning and Zoning Commission, at a public hearing duly called and held according to law on September 15, 2021, considered the request by NWSMG Management LLC (applicant and owner) for a site plan amendment and special use to permit a conference and banquet facility, and shown on Exhibit "A" attached hereto and made a part hereof; and

WHEREAS, the Planning and Zoning Commission made certain Finding of Fact attached hereto and made a part hereof as Exhibit "B" and recommended approval of the site plan amendment and special use to the Board of Trustees; and

WHEREAS, the Corporate Authorities have received and considered said recommendation; and

WHEREAS, the proposed special use has met the standards of Section 9-1-18 of the Zoning Code of the Hoffman Estates Municipal Code; and

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: The Corporate Authorities hereby find that the facts and statements contained in the preamble of this Ordinance are true.

Section 2: A site plan amendment authorized under Section 10-2-2 of the Subdivision Code is hereby granted for property located at 2401 W. Higgins Road.

Section 3: A special use authorized under Section 9-8-2-C-9 of the Zoning Code is hereby granted to NWSMG Management LLC to permit a conference and banquet facility for the property located at 2401 W. Higgins Road.

Section 4: The site plan amendment and special use are granted based upon the plans incorporated in Exhibit B and the following conditions:

1. The building permit for the addition shall be obtained within twelve (12) months of the Village Board action on this request.
2. A final certificate of occupancy shall be applied for and issued for the entirety of the facility prior to commencement of operations.
3. The development shall significantly conform to the plans attached hereto as part of this application except as such plans may be changed to conform to Village Codes and Ordinances.
4. The facility shall be used primarily for conferences, business meetings, banquets, and other similar uses.
5. The maximum occupancy of the space, including the addition, shall be limited to 1,100 persons, or a lower occupancy load limit as determined by the Village building and fire codes.

6. The facility shall be operated in such a manner so that the parking demand generated does not exceed the parking supply available on the site, utilizing approved (marked) parking spaces only. Valet parking that parks cars off-site or outside of approved (marked) parking spaces, or shared parking with other sites, shall be subject to review and approval by the Village through the site plan review process.
7. The petitioner shall enter into a license agreement with the Village providing for the continued use of the outlot parcel along Higgins Road that is owned by the Village for signage, fencing and lighting improvements. This agreement shall be executed prior to the final occupancy permit for the building.

Section 5: The Village Clerk is hereby authorized to publish this Ordinance in pamphlet form.

Section 6: This Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2021

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Michael Gaeta	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2021

Village President

ATTEST:



Village Clerk

Published in pamphlet form this _____ day of _____, 2021.

Exhibit A
2401 W. Higgins Road
P.I.N.: 07-07-100-037-0000



Legend

-  Subject Property
-  Parcel



Planning and Transportation Division
The Village of Hoffman Estates
September 2021

EXHIBIT B



VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING
COMMISSION
FINDING OF FACT

PROJECT NUMBER: 2021-015P
PROJECT NAME: Stonegate Conference and Banquet Centre
ADDRESS/LOCATION: 2401 W. Higgins Rd.
OWNER / PETITIONER: NWSMG Management, LLC / Syed Mustafa Ali
REQUEST: Site Plan Amendment and Special Use for a banquet facility
ZONING / LAND USE: B-2 Community Business District / vacant conference center
PZC MEETING DATE: September 15, 2021
PZC RECOMMENDATION: **APPROVAL** (7 Ayes, 0 Nays, 3 Absent)
VILLAGE BOARD MEETING DATE: September 20, 2021
STAFF ASSIGNED: Kevin Anderson, Associate Planner

MOTIONS

A. Request for a Site Plan Amendment and Special Use for the Stonegate Conference Centre to permit a conference and banquet facility at 2401 W. Higgins Rd.

1. The building permit for the addition shall be obtained within twelve (12) months of the Village Board action on this request.
2. A final certificate of occupancy shall be applied for and issued for the entirety of the facility prior to commencement of operations.
3. The development shall significantly conform to the plans attached hereto as part of this application except as such plans may be changed to conform to Village Codes and Ordinances.
4. The facility shall be used primarily for conferences, business meetings, banquets, and other similar uses.
5. The maximum occupancy of the space, including the addition, shall be limited to 1,100 persons, or a lower occupancy load limit as determined by the Village building and fire codes.
6. The facility shall be operated in such a manner so that the parking demand generated does not exceed the parking supply available on the site, utilizing approved (marked) parking spaces only. Valet parking that parks cars off-site or outside of approved (marked) parking spaces, or shared parking with other sites, shall be subject to review and approval by the Village through the site plan review process.

7. The petitioner shall enter into a license agreement with the Village providing for the continued use of the outlot parcel along Higgins Road that is owned by the Village for signage, fencing and lighting improvements. This agreement shall be executed prior to the final occupancy permit for the building.

FINDING

The Planning & Zoning Commission heard the request from Syed Ali with NWSMG LLC and Shilpa Purohit with Purohit Architects. Mr. Ali is proposing a re-use of the existing facility and a new 5,000 square foot building addition. There would be no major site plan changes with this request.

Ms. Purohit identified the interior updates proposed and the inherited property maintenance violations which the Petitioner is already correcting. She gave an overview the proposed addition on the existing western patio.

Commissioners had questions regarding the maintenance of the detention pond area and the anticipated date of completion/opening. The applicant hopes to be open by mid-December and has been working on pond maintenance. Staff noted they are part of an association for the pond maintenance.

STANDARDS OF A SPECIAL USE

Section 9-1-18-I of the Zoning Code (Standards for a Special Use) states: "No special use shall be recommended by the Planning and Zoning Commission unless said Planning and Zoning Commission shall find:

1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
4. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;
5. That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets; and
6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Planning and Zoning Commission.

AUDIENCE COMMENTS

None

PLANNING AND ZONING COMMISSION VOTE

Commissioner	Roll Call Vote
Chairperson Eva Combs	Aye
Vice-Chairman Greg Ring	Aye
Adam Bauske	Aye
Tom Burnitz	Absent
Lon Harner	Aye
Lenard Henderson	Aye
Myrene Iozzo	Absent
Minerva Milford	Aye
Nancy Trieb	Aye
Denise Wilson	Absent
7 Ayes, 0 Nays, 3 Absent	MOTION APPROVED

ATTACHMENTS

The Planning and Zoning Commission Staff Report dated September 15, 2021 and all associated attachments are hereby made a part of this Finding.



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT NUMBER: 2021-015P
PROJECT NAME: Stonegate Conference and Banquet Centre
ADDRESS/LOCATION: 2401 W. Higgins Rd.
PROPERTY SIZE: ~8 acres
OWNER / PETITIONER: NWSMG Management, LLC / Syed Mustafa Ali
REQUEST: Site Plan Amendment and Special Use for a banquet facility
PUBLIC HEARING: Yes
ZONING / LAND USE: B-2 Community Business District / vacant conference center
ADJACENT PROPERTIES: NORTH: B-2, Barrington Square Animal Clinic and Shopping Center
SOUTH: RPD, St. Alexius Medical Center
EAST: RPD, Vacant
WEST: B-2, Moretti's/Restaurant Mall Subdivision
PZC MEETING DATE: September 15, 2021
STAFF ASSIGNED: Kevin Anderson, Associate Planner

REQUESTED MOTION

Request for a Site Plan Amendment and Special Use for the Stonegate Conference and Banquet Centre property located at 2401 W. Higgins Road.

INCLUDES RECOMMENDED CONDITIONS: YES

BACKGROUND

The subject property was previously Stonegate Conference and Banquet Centre operating under Special Use Ordinance #3174-2000. The space is currently vacant and has not been in operation since 2018. The Petitioner recently purchased the property and is seeking to re-open and operate a banquet facility. The original Special Use was granted specifically to the previous operator and has since expired. Therefore, a new Special Use is required.

The Petitioner's request also includes the construction of a building addition on the west side of the main structure. The proposed addition requires a Site Plan Amendment.

STAFF ANALYSIS

- The Petitioner has purchased the property and is currently in the process of repairing several code violations not addressed by the previous owner.
- The Petitioner currently owns and operates Shalimar Banquets in Addison, IL which has been open since 2015. He is proposing an expansion to the business and this would be his second location.
- The existing structure is approximately 26,000 square feet and includes the main banquet hall, three divisible meeting rooms, offices, dressing rooms, and a full kitchen.

Business Operations

The Petitioner has indicated that the majority of his business will come from wedding receptions but they will also market the space for conferences and business seminars. The space would be available for rent seven days a week. The Petitioner is requesting a liquor license in conjunction with this proposal and the license will determine the allowable hours of operation.

In addition to the Petitioner and his management team, the facility would have 20 full time employees. Additional staff is hired on a part time basis depending on the needs of each specific event. Individual staff members would be cross trained to provide liquor service and security.

The Petitioner indicates that the majority of events are catered and they would not have a full kitchen staff. This is the same manner that Shalimar Banquets operates.

The parking available will ultimately determine the appropriate occupancy for the premises.

Parking

There are currently 368 parking spaces available on the subject property including 8 accessible spaces. The site plan has not been changed since 2002 and is consistent with the original Village approvals. This proposal would have no impact on the layout of the parking lot or the total parking count. The parking demand for this property will be determined by how the facility is operated.

Parking demand would be determined by the number of event attendees and the average number of people who arrive together in a single car, plus the center employees. In 2000, the previous operator had a traffic and parking study completed by their traffic consultant, KLOA. That study suggested the facility would generate one parked vehicle for each three seats (0.33+). Staff is not aware of any parking or traffic issues with the operation of the Stonegate Conference Center while under the previous ownership.

The Petitioner has indicated that the Shalimar facility in Addison experiences similar parking demand of approximately 0.3 spaces per person. Shalimar has a total occupancy of 1,095 people and 365 parking spaces. Staff reached out to the Village of Addison at the time this request was made, and Addison's Staff did not identify any parking issues with the Shalimar facility or operations and noted they have been good neighbors.

The Petitioner has indicated that their policy is to require valet services for any event greater than 600 people, or any time there are more than 198 vehicles coming to the site. The valet plan does not include

the use of any offsite spaces, although the Petitioner has suggested that off-site shared options could be explored if it becomes necessary for any specific event. All valet parking would be required to use designated striped spaces on site.

The Village Code allows the Planning and Zoning Commission the authority to recommend the total number of required spaces for a particular use. In this instance, since the number of parking spaces is already fixed at 368, one the way to determine the parking demand will be met is to place limits on the total permitted occupants on site. Based on the recommended parking ratio of one parked vehicle for each three seats (0.33), staff is recommending that a condition limiting the facility to 1,100 occupants, including staff. The Petitioner has indicated they would be amenable to placing this occupancy limit on the building.

Site Plan

The subject site went through an extensive site plan and operations review in 2000 in conjunction with the original Special Use request. The Petitioner is proposing to update the site to address maintenance and code violations and construct a small building addition. No other site plan amendments are proposed at this time.

Property Maintenance

As a result of a long foreclosure process and the property sitting unoccupied for a number of years, there are a number of property maintenance issues and code violations that must be addressed. The Petitioner has submitted a plan and is in the process of addressing the deficiencies around the exterior of the site including: repaving the parking lot, removing dead trees and replacing landscaping, installing a dumpster enclosure, bringing sidewalks, signage and parking spaces up to ADA compliance, and repairing the building facade. Additionally, the Petitioner is upgrading the interior by replacing the flooring, painting, and rehabbing water damaged bathrooms.

Building Addition

In 2002, a Special Use Amendment was approved allowing the construction of an outdoor patio on the west side of the structure and the installation of a tent on top of the patio. The tent was approved with the condition that the attendance would be managed to ensure parking demand does not exceed supply. The patio was constructed and remains but the tent has been removed since the facility has been out of operation.

The Petitioner is proposing to construct a new permanent expansion to the main building over a portion of the existing patio. The addition would be approximately 53' x 94' (~5,000 sf.). This is the same approximate square footage as the previously approved tent.

The addition is designed as an additional meeting/dining room. The addition would be constructed of materials and colors which match those of the existing building. A curtain wall is proposed on the west façade.

The floorplan for this space indicates seating for 170 people. The occupancy of this space would be included in the total occupancy count for the site.

Variations

There are two Variations related to the property which were approved by Ordinance #3241-2000 and are still in effect. One Variation granted a larger sign size and one allowed a wrought iron style fence in a front yard along Higgins Road. The Petitioner's request would have no impact on either of these plans and they would maintain the existing sign and fence. The Petitioner has submitted plans to re-face the sign pending the Special Use approval.

STANDARDS FOR A SPECIAL USE

No special use shall be recommended by the Planning and Zoning Commission unless said Planning and Zoning Commission shall find:

1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
4. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;
5. That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets; and
6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Planning and Zoning Commission.

RECOMMENDED CONDITIONS

If the Planning and Zoning Commission recommends approval of the site plan amendment, staff recommends the following conditions be included:

1. The building permit for the addition shall be obtained within twelve (12) months of the Village Board action on this request.
2. A final certificate of occupancy shall be applied for and issued for the entirety of the facility prior to commencement of operations.
3. The development shall significantly conform to the plans attached hereto as part of this application except as such plans may be changed to conform to Village Codes and Ordinances.
4. The facility shall be used primarily for conferences, business meetings, banquets, and other similar uses.
5. The maximum occupancy of the space, including the addition, shall be limited to 1,100 persons, or a lower occupancy load limit as determined by the Village building and fire codes.
6. The facility shall be operated in such a manner so that the parking demand generated does not exceed the parking supply available on the site, utilizing approved (marked) parking spaces only. Valet parking that parks cars off-site or outside of approved (marked) parking spaces, or shared parking with other sites, shall be subject to review and approval by the Village through the site plan review process.

7. The petitioner shall enter into a license agreement with the Village providing for the continued use of the outlot parcel along Higgins Road that is owned by the Village for signage, fencing and lighting improvements. This agreement shall be executed prior to the final occupancy permit for the building.

Attachments: Petitioner's Application and Submittal
Location Map



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING GENERAL APPLICATION*

Special Use for _____ Rezoning from _____ to _____

Variation: Commercial Residential Sign

Plat (Subdivision & Others): Preliminary Final

Site Plan: Amendment Concept Preliminary Final

Master Sign Plan: Amendment

Other: _____

*** ADDENDUM MATERIALS ARE REQUIRED FOR SPECIFIC REQUESTS**
Posting of Notification Sign(s) may be required.
Specific requirements will be provided when your request is scheduled.

FOR VILLAGE USE ONLY

Hearing Fee _____ Check No. _____ Date Paid _____

Project Number: _____

Staff Assigned: _____

Meeting Date: _____

Public Hearing: Yes No

Sign Posting Required: Yes No

Date Sign Posted _____

PLEASE PRINT OR TYPE

Date: May 3 2021

Project Name: THE STONE GATE BANQUETS & CONFERENCE CENTER

Project Description: BANQUETS & CONFERENCE

Project Address/Location: 2401 W Higgins Rd Hoffman Estate IL 60169.

Property Index No. 07-07-100-037-0000 / 07-07-100-036-0000

Acres: 7.84 Zoning District: _____

I. Owner of Record

NWSMGA Management LLC
 Name Company
8514 Mango Ave Morton Grove
 Street Address City
IL 60053 773-430-9786
 State Zip Code Telephone Number
847-663-9139 alisyedm0@yahoo.com
 Fax Number E-Mail Address

II. Applicant (Contact Person/Project Manager)

Syed Mustafa Ali
 Name Company
8514 Mango Ave Morton Grove
 Street Address City
IL 60053 773-430-9786
 State Zip Code Telephone Number
847-663-9139 alisyedm0@yahoo.com
 Fax Number E-Mail Address

Applicant's relationship to property: President / Managing Member

III. Owner Consent for Authorized Representative

It is required that the property owner or his designated representative be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. **If the owner cannot be present at the meeting, the following statement must be signed by the owner:**

I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize Shilpa Purohit to act on my behalf and advise that he/she has full authority to act as my/our representative.

[Signature]
Owner Signature

Syed Mustafa Ali
Print Name

IV. Acknowledgement(s)

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

The Owner and Applicant, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature: *[Handwritten Signature]*

Owner's Name (Please Print): Syed Mustafa Ali

Applicant's Signature: *[Handwritten Signature]*
(If other than Owner)

Applicant's Name (Please Print): Syed Mustafa Ali

Date: May 3 2021

All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.

Please contact the Planning Division (located in the Municipal Building) with any questions:

Email: planning@hoffmanestates.org
 Address: 1900 Hassell Road
 Hoffman Estates, IL 60169
 Phone: (847) 781-2660
 Fax: (847) 781-2679

Addendums Attached:

- Special Use Master Sign Plan
- Rezoning Other _____
- Variation
- Plat
- Site Plan



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION SPECIAL USE ADDENDUM

REQUIRED SUBMITTALS:

- General Application
- \$500 Special Use hearing fee/\$750 for "All Other Uses"
- Legal Description
Typically found on a tax bill, survey, mortgage documents or deed
- Current Plat of Survey drawn to scale
- A scale drawing of the floor plan and elevations, including windows and door locations.
- A Project Narrative detailing the use, hours of operation, parking demand, etc. Provide relevant plans, studies, and any other documents to support the request.
- A written response to each of the Standards for a Special Use (see below).

You are responsible for posting a notification sign(s) on your property 10 days before the Planning & Zoning Commission hearing and removing the sign(s) 10 days after final Village Board action. Specific requirements will be provided by Planning Staff.

No special use shall be recommended by the Planning and Zoning Commission unless said Commission finds that adequate evidence is provided to meet the Special Use Standards. (Respond to each standard as it applies to your request either below or address on a separate sheet)

1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

yes I understand the operation will not be
Endanger to the public health because its
Only a banquets and Conference center.

2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;

Yes I understand and agree with all the requirements of the Village.

3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;

Yes I understand and agree with all rules of Village

4. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;

Yes I understand and agree and I will follow all the rules and Codes of Village.

5. That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets; and

Yes I understand and agree with all rules and Codes of Village.

6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Planning and Zoning Commission.

I understand and agree with the Rules,
Codes of Village.



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION SITE PLAN ADDENDUM – NON-RESIDENTIAL

Amendment Concept Preliminary Final

I. DESCRIPTION OF PROJECT:

A. ATTACH A NARRATIVE FOR THE PROPOSED PROJECT ON A SEPARATE SHEET

- ✓ Article 10-6 of the Subdivision Code details the application process and required submittal documents. For relevant items, provide detailed information as part of the project narrative.

B. Total Number of Buildings: 1

C. Total Gross Floor Area: 26,056 square feet

D. Height of tallest building (including antennas, hvac, etc.): 30 feet

E. With respect to this project’s compatibility with adjacent land uses, address the following in the Project Narrative: Building Scale, architectural Materials, Coordinated Color Scheme, Existing and Planned Areas of Visual Interest, Design Concept and Relationship of Building Materials to one another.

F. Estimated start of construction: Site-work to be in progress; Building Addition expanded to start in 2022 _____

G. Estimated time to complete development: November, 2021 (Site Work)
Attach a phasing schedule, if applicable.

H. Does the property contain flood plain lands or wetlands? Yes No
If yes, please address as part of the narrative.

I. Is there any historical or archeological significance to the existing structures or features of this site or the surrounding sites? Yes No
If yes, please address as part of the narrative.

J. Are there any endangered, threatened, or unique plants or animals located in or near the area? Yes No
If yes, please address as part of the narrative.

II. OPERATIONAL CONSIDERATIONS

A. Anticipated hours of operation: Will abide to Village Liquor Code _____ am/pm to 1:00 am/pm

- B. Anticipated number of employees: 20 total - per shift - number of shifts
- C. Estimated number of customers: ^{1,053 Max.} - daily - peak hour
- D. If there is any additional information about the proposed development or its operation that may affect the site development, address as part of the narrative.

III. FINANCIAL CONSIDERATIONS

- A. Estimated annual gross sales of general merchandise subject to sales tax for this project (includes 1% local share of state tax and 1% home rule tax):

Gross Sales (General)		Tax Rate		General Sales Tax
\$800,000	X	2%	=	\$16,000

- B. Estimated annual gross sales subject to food and beverage (F & B) tax for this project (food prepared on premises and alcoholic beverages consumed on premises). See article 13-7 of the Hoffman Estates Municipal Code for detailed definition:

Gross Sales (F & B)		Tax Rate		F & B Tax
\$400,000	X	2%	=	\$3,000

- C. Estimated Annual Hotel Tax: 365 Days X

Estimated Average Room Rate		Number of rooms		Occupancy Percentage		365 Days		Tax Rate		Hotel Tax
N/A	X		X		X		X	6%	=	\$N/A

- D. Other tax/revenue:
(Entertainment tax = 6%, etc.)

		Rate		Tax
	X		=	\$N/A

- E. Estimated Annual Telecommunications (TC) Tax:

Estimated Yearly Phone Bill		Tax Rate		TC tax
	X	6%	=	\$N/A

- F. Current assessment of the property: \$4.2 mil

- G. Estimated value of Construction: Site work: \$500,000

H. Will this project result in any unusual expenditure of public funds or requirements for public services in anyway? Yes No

If yes, please address as part of the narrative.

IV. TRAFFIC CONSIDERATIONS

A. Parking

1. Total number of parking spaces to be provided:

Employees: Customers/
Visitors: Handicapped: 8 Total: 363

2. When is the peak parking period for this project?

Saturdays at 7:00 PM

3. Will this project share parking spaces with other businesses? Yes No

If yes, please address as part of the narrative.

B. Traffic

1. Estimated number of vehicles entering and exiting this site during the peak one hour period between 4:00 p.m. and 6:00 p.m. 20-30 Vehicles - 50-60 Workers

2. Will there be any other peak traffic times for this project? Yes No

If yes, give the time(s) of day and traffic volume: Saturdays, 7PM- 8PM (200 Cars)

3. Will this project contain a drive through? Yes No

If yes, the project narrative should address order processing time, projected stacking demand, and other details to explain the operation.

C. Deliveries

1. The project plan submittal should include turning templates to show all routes to be used for making deliveries to and from site. Is this plan included? Yes No

2. How often will deliveries be made on site? 2-4 deliveries per event

2. What is the frequency and time period expected for deliveries? 2-4 deliveries per event

3. What is the largest delivery vehicle to be used and its size?

Vehicle Type	Size	check
Single Unit truck	30 ft.	<input checked="" type="checkbox"/>
Intermediate Semitrailer	50 ft.	<input type="checkbox"/>
Large Semitrailer	55 ft.	<input type="checkbox"/>
Other		<input type="checkbox"/>

If the delivery truck used fits into the "Other" category, please specify type, size and turning radius: N/A

- D. Any additional site related traffic information not covered above? Yes No
 If yes, please address as part of the narrative. Valet Service shall be provided for events having 600+ guests

V. RECYCLING AND GREEN INITIATIVES

- A. Article 9 of The Municipal Code of the Village of Hoffman Estates requires that businesses maintain an effective recycling program. Address any unique recycling plans as part of the project narrative.
- B. The Village supports and promotes sustainability. Please address any planned green or sustainability initiatives as part of the narrative.
- C. Do you anticipate submitting this project for LEED certification (or any other similar certifications)? Yes No
 If yes, please address as part of the narrative.

VI. GENERAL CONSIDERATIONS

- A. Please list examples of similar uses (including name and location) in the area that can be used for comparison by the Village: N/A
1. Cotillion Banquets, Palatine
 2. Shalimar Banquets, Addison
 3. _____

- B. Will this project contain any noise generators that will adversely affect surrounding areas?
 Yes No
 If yes, please address as part of the narrative.

C. Is there anything included in this project that may be sensitive to surrounding noise generators?

Yes No

If yes, please address as part of the narrative.

D. Do you intend to apply for a liquor license? Yes No

If yes, please contact the Village Clerk's Office at 847.781.2625

E. Will this project contain a cafeteria or food service area (in order to determine applicability of a sewer and water surcharge)? Yes No This is a banquet facility. Whenever there is an event, the food shall be delivered by the outside catering services. The existing kitchen shall mainly be used as a warming kitchen. Food shall either be served directly on to the tables by the servers or shall be buffet style.

If yes, please address as part of the narrative.

F. In the project narrative, please list and explain anything involved in this project that is not covered in this application that should be brought to the Village's attention. Also address any rare or unusual circumstances or needs related to this project.

Please contact the Planning Division with any questions:

Email: planning@hoffmanestates.org

Address: 1900 Hassell Road
Hoffman Estates, IL 60169

Phone: 847.781.2660

Fax: 847.781.2679

Exhibit A
2401 W. Higgins Road
P.I.N.: 07-07-100-037-0000



Legend

- Subject Property
- Parcel



Planning and Transportation Division
The Village of Hoffman Estates
September 2021

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning and Zoning Commission of the Village of Hoffman Estates will hold a public hearing to consider a request for a Special Use in accordance with Section 9-8-2-C-9 of the Zoning Code to permit the operation of a conference and banquet center for the property at 2401 W. Higgins Road. A Site Plan Amendment is also being requested. The Petitioner of this request is NWSMG Management LLC.

P.I.N.: 07-07-100-037-0000

The hearing will be held on Wednesday, September 15, 2021, at 7:00 p.m. in the Hoffman Estates Municipal Building, 1900 Hassell Road, Hoffman Estates, IL.

Eva Combs, Chairperson
Planning and Zoning Commission

To be published by Paddock Publications on Tuesday, August 31, 2021.

PUROHIT ARCHITECTS, INC.

Architects & Planners

251 Bradwell Rd., Inverness, IL 60010

P: 847.220.8037 Email: info@purohitarchitects.com

Website: www.purohitarchitects.com

July/30/2021

To,

Mr. Kevin Anderson, *Associate Planner*

Village of Hoffman Estates

1900 Hassell Road, Hoffman Estates, IL 60169

Ph.: 847-781-2607

Project Name: Stonegate Conference Center

Project Address: 2401 W. Higgins Rd., Hoffman Estates, IL

RE: Special Use Review Responses (dated: July/30/2021)

Dear Mr. Anderson,

Below are the responses to the comments. Please note the responses to comments #1 thru 4 have provided by the Ownership (Mr. Syed Mustafa Ali, MWSMG Management LLC).

Comment #1:

At any given time, we shall have no more than 1,045 Guests & 20 Employees at the Conference Center for Business Meetings/ Conferences. All Business Conferences/ meetings usually are held during the daytime on weekdays. On larger business gatherings, people usually do car-pool (3-4 people/ Car), or they have company arranged buses to bring them to the facility.

As, far as Family gatherings such as Weddings are concerned, we anticipate no more than 800 Guests & 20 Employees any given time. Wedding always shall have sit-down table and chair arrangements. We anticipate 3-4 people arriving / Car.

Comment #2:

Shalimar Banquets falls within the jurisdiction of Village of Addison. Per the Zoning Ordinance of Village of Addison, for Banquet use the Parking Ratio is 3 Occupants/ Car. We have been operating Shalimar Banquets for last five years, and we have never had any issues with the parking. This provides us the confidence that, the ratio of 3 Occupant: 1 Car works for our business model. With 1:3 ratio, our current Parking Capacity of 355 Spaces is adequate to support the 1,065 Occupant load at any given point of time.

Comment #3:

We have a policy of providing a free Valet Parking Services, for any event that is over 600 guests. Guests always appreciate, having a Valet Service. Few of our employees shall be cross trained as Valet Drivers to use the on-site Parking efficiently & wisely. We typically do not use any parking outside of our premises.

Comment #4:

For Larger events, especially when liquor is served, we shall use outside Security Services to make the event go smoothly and in an organized manner. We will also cross-train few of our employees to act as security guards. These employees will also be well trained to check identity cards for drinking age and such.

Comment #5:

Attached find the revised Architectural Drawings for addressing the comments (a) thru (c) and the Inspection Report dated 09/22/2020.

- a: Refer to the revised site plan & details
- b: Refer to revised sheet A1.0 & A1.0a for all missing dimensions
- c: Refer to revised sheets A1.0 thru A1.2

Comment #6:

The ownership would like to propose a new permanent structure at the west patio, where the Patio once had a tent structure. New Proposed building footprint shall be 4,612 Sq. Ft. Please, refer to the conceptual floor plan, exterior elevations & code Matrix provided.

- a: Refer to the code Matrix on added sheet T1.0
- b: A Licensed Structural engineering services has been retained to evaluate the patio structural analysis for its feasibility. Licensed Structural Engineer's drawings/ calculations shall be submitted when applying for Building Permit for the proposed addition.
- c: Required number of exists per code shall be provided for the proposed addition. The existing ADA Compliant Ramp at the main building entry shall serve the entire facility including the addition. Area of Refuge, outside any other exit doors as required by the Building Code/ Fire Department shall be provided/ address when applying of the building permit.

Comment #7:

Per our prior conversation with Mr. Anderson, we understand that the Village Attorney will work with the ownership to obtain the needed access agreement prior to the commencement of work on Site. No action is required at this time from the ownership.

Please let us know if you have any questions after reviewing our submittal for "Special Use Permit" Application. Thank you.

Sincerely,

Shilpa Purohit, *Licensed Architect*

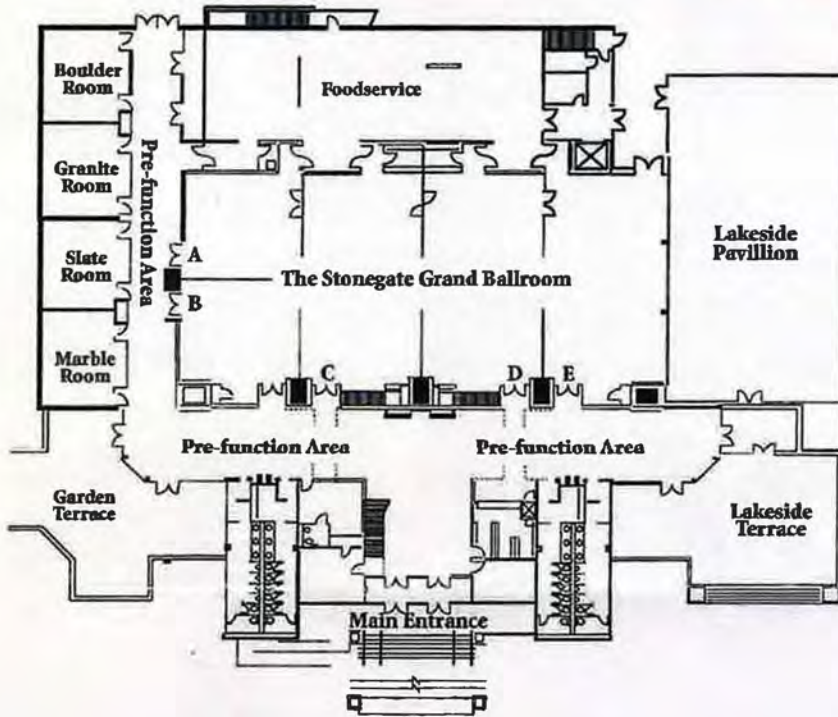
shilpa@purohitarchitects.com

847.757.1618



Welcome

to The Stonegate Conference & Banquet Centre



- The region's leading, state-of-the-art conference and banquet centre.
- 700 capacity Grand Ballroom, additional facilities to accommodate 25 to 400 people.
- Complete audio-visual telecom features, including internet linkup, teleconferencing and audience presentation.
- Complete and highest quality food service and beverage capabilities.
- Professional staff of planners, event coordinators and banquet managers at your service.

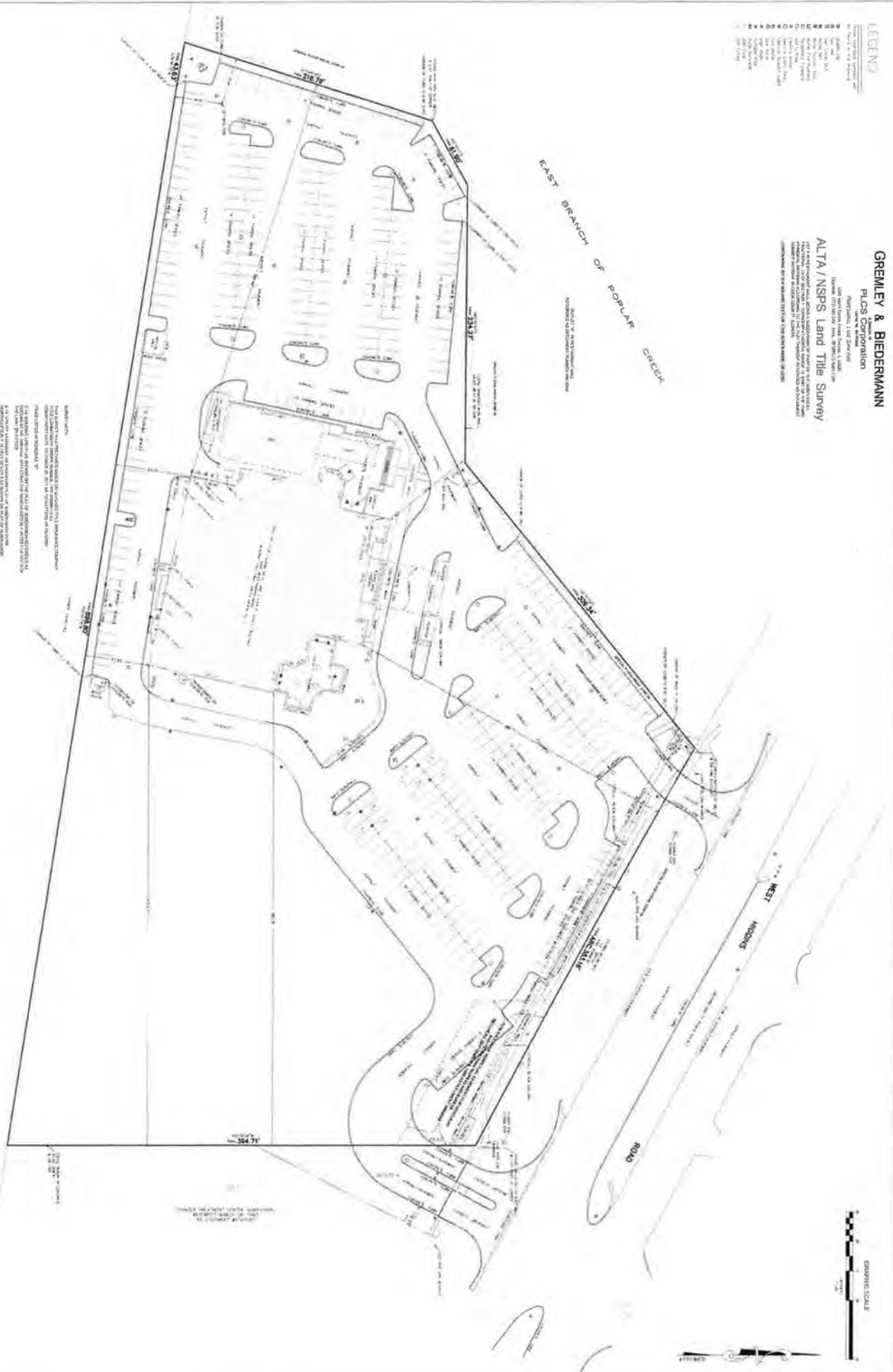
Meeting Room	Dimensions	Square Ft.	Theatre	Schoolroom	Conference	U-Shape	Reception	Banquet
The Stonegate Grand Ballroom	138x60x20	8,200	800	570	---	---	1,000	700
Salon A & B, C, D, E	34x60x20	2,040	250	120	---	---	200	150
Salon A or B	34x30x20	1,020	100	70	40	35	100	50
Boulder Room	22x26x14	572	60	35	25	20	60	40
Granite Room	22x26x14	572	60	35	25	20	60	40
Slate Room	22x26x14	572	60	35	25	20	60	40
Marble Room	22x26x14	572	60	35	25	20	60	40
Pre-Function	----	2,800	---	---	---	---	400	---
Garden Terrace	----	---	---	---	---	---	100	---
Lakeside Terrace	----	---	---	---	---	---	100	---
Lakeside Pavilion	45x80	3,600	350	175	---	---	300	200



- 1. 1" = 100'
- 2. 1" = 50'
- 3. 1" = 25'
- 4. 1" = 12.5'
- 5. 1" = 6.25'
- 6. 1" = 3.125'
- 7. 1" = 1.5625'
- 8. 1" = 0.78125'
- 9. 1" = 0.390625'
- 10. 1" = 0.1953125'
- 11. 1" = 0.09765625'
- 12. 1" = 0.048828125'
- 13. 1" = 0.0244140625'
- 14. 1" = 0.01220703125'
- 15. 1" = 0.006103515625'
- 16. 1" = 0.0030517578125'
- 17. 1" = 0.00152587890625'
- 18. 1" = 0.000762939453125'
- 19. 1" = 0.0003814697265625'
- 20. 1" = 0.00019073486328125'

GREMLEY & BIEDERMANN
 PLOS Corporation
 11500 West 13th Avenue, Suite 100
 Golden, Colorado 80401
 Phone: (303) 440-1100
 Fax: (303) 440-1101
 Email: gremley@plos.com

ALTA / NSPS Land Title Survey
 This is a preliminary map, not a legal instrument. It is intended to show the general location and extent of the land described in the accompanying deed. It is not to be used for any purpose other than to identify the land described in the deed. The survey is subject to the provisions of the Colorado Land Title Act, C.R.S. § 38-10-101 et seq.



GRAPHIC SCALE
 0 10 20 30 40 50 60 70 80 90 100 Feet

2019-27065-001
 GREMLEY & BIEDERMANN
 PLOS Corporation
 11500 West 13th Avenue, Suite 100
 Golden, Colorado 80401
 Phone: (303) 440-1100
 Fax: (303) 440-1101
 Email: gremley@plos.com

THIS IS A PRELIMINARY SURVEY AND IS NOT TO BE USED FOR ANY PURPOSE OTHER THAN TO IDENTIFY THE LAND DESCRIBED IN THE ACCOMPANYING DEED. THE SURVEY IS SUBJECT TO THE PROVISIONS OF THE COLORADO LAND TITLE ACT, C.R.S. § 38-10-101 ET SEQ.

THE SURVEYOR HAS REVIEWED THE RECORDS OF THE COUNTY OF DENVER AND HAS FOUND NO OTHER SURVEYS THAT AFFECT THE LAND DESCRIBED IN THIS SURVEY. THE SURVEYOR HAS ALSO REVIEWED THE RECORDS OF THE COUNTY OF DENVER AND HAS FOUND NO OTHER SURVEYS THAT AFFECT THE LAND DESCRIBED IN THIS SURVEY.

Surveyed and Plotted by
 [Signature]
 Registered Professional Surveyor No. 1000



PROPOSED RENOVATION & ADDITION AT THE STONEGATE BANQUETS & CONFERENCE 2401 W. HIGGINS RD., HOFFMAN ESTATES, IL

CODE DATA

ZONING ORDINANCE
VILLAGE OF HOFFMAN ESTATES, IL ZONING ORDINANCE

- APPLICABLE BUILDING CODES:**
- 2012 INTERNATIONAL BUILDING CODE & APPROX. E.C.
 - 2012 INTERNATIONAL PROPERTY MAINTENANCE CODE
 - 2012 INTERNATIONAL FIRE CODE
 - 2012 INTERNATIONAL PLUMBING CODE
 - 2012 INTERNATIONAL MECHANICAL CODE
 - 2012 INTERNATIONAL ELECTRICAL CODE
 - 2012 NATIONAL ELECTRICAL CODE
 - ILLINOIS ENERGY CONSERVATION LAW AS AMENDED
 - ILLINOIS STATE PLUMBING BOARD REGULATIONS
 - ILLINOIS ELECTRICAL BOARD REGULATIONS

LOCAL PERMITS: PERMIT CLASSIFICATION

- CLASSIFICATION: REPAIRS & MAINTENANCE
- SECTION: 201

PERMITS REQUIRED:

- REQUIRED PERMITS: ELECTRICAL, MECHANICAL
- TOTAL WORKING PERMITS: 2 - 201 WORK PERMITS
- EXISTING PERMITS: 15 - 201 WORK PERMITS

PERMITS REQUIRED:

- REQUIRED PERMITS: ELECTRICAL, MECHANICAL
- TOTAL WORKING PERMITS: 2 - 201 WORK PERMITS

PERMITS REQUIRED:

- REQUIRED PERMITS: ELECTRICAL, MECHANICAL
- TOTAL WORKING PERMITS: 2 - 201 WORK PERMITS

AREA OF BUILDING (TABLE 201.01) AS SHOWN ON DRAWING:

- ALLOWED AREA: 10,000 SQ. FT.
- AREA OF BUILDING: 10,000 SQ. FT.
- TOTAL ALLOWED AREA: 10,000 SQ. FT.

PERMITTED ADDITION:

- AREA OF 1ST FLOOR: 10,000 SQ. FT.
- AREA OF 2ND FLOOR: 10,000 SQ. FT.
- TOTAL AREA: 20,000 SQ. FT.

FLOOR AREA:

- AREA OF 1ST FLOOR: 10,000 SQ. FT.
- AREA OF 2ND FLOOR: 10,000 SQ. FT.
- TOTAL AREA: 20,000 SQ. FT.

PERMITTED ADDITION:

- AREA OF 1ST FLOOR: 10,000 SQ. FT.
- AREA OF 2ND FLOOR: 10,000 SQ. FT.
- TOTAL AREA: 20,000 SQ. FT.

PERMITTED ADDITION:

- AREA OF 1ST FLOOR: 10,000 SQ. FT.
- AREA OF 2ND FLOOR: 10,000 SQ. FT.
- TOTAL AREA: 20,000 SQ. FT.

PERMITTED ADDITION:

- AREA OF 1ST FLOOR: 10,000 SQ. FT.
- AREA OF 2ND FLOOR: 10,000 SQ. FT.
- TOTAL AREA: 20,000 SQ. FT.

PERMITTED ADDITION:

- AREA OF 1ST FLOOR: 10,000 SQ. FT.
- AREA OF 2ND FLOOR: 10,000 SQ. FT.
- TOTAL AREA: 20,000 SQ. FT.

PERMITTED ADDITION:

- AREA OF 1ST FLOOR: 10,000 SQ. FT.
- AREA OF 2ND FLOOR: 10,000 SQ. FT.
- TOTAL AREA: 20,000 SQ. FT.

PERMITTED ADDITION:

- AREA OF 1ST FLOOR: 10,000 SQ. FT.
- AREA OF 2ND FLOOR: 10,000 SQ. FT.
- TOTAL AREA: 20,000 SQ. FT.

DESCRIPTION OF WORK

RENOVATION WORK & ADDITION TO AN EXISTING CONFERENCE CENTER - SPECIAL USE PERMIT

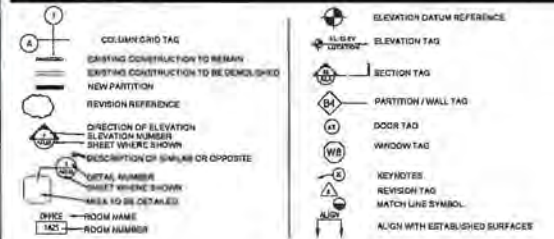
NOTE TO THE CONTRACTOR(S)

- ALL WORK MUST MEET ALL APPLICABLE CURRENT FEDERAL, STATE, AND LOCAL JURISDICTION CODES.
- MINIMUM OF ONE SET OF APPROVED PLANS SHALL BE PROVIDED ON-SITE FOR INSPECTOR'S REFERENCE AND REVIEW. INSPECTIONS WILL NOT BE MADE IF PLANS ARE NOT AVAILABLE ON-SITE AT THE SCHEDULED INSPECTION TIME(S).
- EXISTING FIRE SPRINKLER SYSTEM IN THE EXISTING BUILDING TO REMAIN. MODIFY AS REQUIRED. PROVIDE IN THE PROPOSED ADDITION, UNDER A SEPARATE PERMIT.
- A LICENSED FIRE ALARM CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE THE FIRE ALARM & DETECTION SYSTEM SHOP DRAWINGS SHOWING ALL FIRE ALARM EQUIPMENT, AUDIO VISUAL, BATTERY LOAD CALCULATIONS AND POINT TO POINT WIRING DIAGRAMS ALONG WITH MANUAL ACTUATOR CUT SHEETS IN COMPLIANCE WITH THE SUBMITTAL TO THE VILLAGE FIRE DEPARTMENT FOR REVIEW & PERMIT.
- THE CONTRACTOR SHALL OBTAIN A SEPARATE PERMIT FOR COMMUNICATIONS (LOW VOLTAGE WORK, IF REQUIRED BY THE JURISDICTION).
- THE INSTALLATION OF (ALL) EXTERIOR BUILDING SIGNS WILL REQUIRE A SEPARATE PERMIT AND APPROVAL PROCESS. SIGNAGE CONTRACTOR TO PREPARE REQUIRED SHOP DRAWINGS AND SUBMIT TO THE VILLAGE FOR PERMIT.
- THE OWNER AND/OR GENERAL CONTRACTOR SHALL PROVIDE, INSTALL & MAINTAIN ALL REQUIRED ILLUMINATED EXIT SIGNS, BATTERY BACKED EMERGENCY LIGHTS, EGRESS HARDWARE AT ALL REQUIRED EXITS AS REQUIRED BY THE LOCAL FIRE DEPARTMENT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEYING ALL EXISTING UTILITY LOCATIONS, IF ANY. THIS INCLUDES VERIFYING ALL APPROPRIATE CONNECTION LOCATIONS FOR FINAL JURISDICTIONS IN ORDER FOR SYSTEMS TO WORK IN ACCORDANCE TO ALL THE APPLICABLE CODES AND THE AUTHORITIES HAVING JURISDICTIONS. NO CHANGE ORDERS WILL BE ISSUED. INDEPENDENT OF THE INFORMATION SHOWN OR NOT SHOWN IN THE DRAWINGS, AND OR SHOWN DIAGRAMMATICALLY DIFFERENT FROM ACTUAL CONDITIONS, THE GENERAL CONTRACTOR SHALL INCLUDE ALL NECESSARY SCOPE IN THE BID.
- THESE DRAWINGS AND SPECIFICATIONS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. DECISION OF THE ARCHITECT/ENGINEER AS TO THE ITEMS OF WORK INCLUDED WITHIN THE SCOPE OF THIS DOCUMENT SHALL BE FINAL.
- CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH THE AS-BUILT SET OF ANY ALL THE CHANGES THAT MAY TAKE PLACE DURING THE CONSTRUCTION. ANY TIME & CHANGES NEEDED DURING THE CONSTRUCTION FROM THE PERMITTED DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.
- ALL FINISHES, AS NECESSARY, SHALL BE VERIFIED WITH OWNER/ARCHITECT PRIOR TO ORDERING. TYPICAL.
- CONTRACTOR TO PROVIDE COMPLETE ACCESSIBLE SIGNAGE TECHNICAL SUBMISSION TO THE ARCHITECT VILLAGE FOR APPROVAL PRIOR TO INSTALLATION.

NOTE TO THE OWNER

- THE VILLAGE OF HOFFMAN ESTATES APPROVED MAXIMUM OCCUPANCY CARD / CERTIFICATE SHALL BE POSTED IN A VISIBLE AREA AS REQUIRED AND ISSUED BY THE LOCAL FIRE PROTECTION DISTRICT.
- FOR THE JURISDICTION REQUIREMENTS, A KEY FOR THE BUSINESS SHALL BE PLACED IN THE BUILDING KNOW HOW KEY HOLDER CABINET PRIOR TO THE OCCUPANCY OF THE SPACE. CONTRACTOR TO VERIFY FINAL LOCATION WITH THE FIRE PREVENTION BUREAU (TENANT) LANDLORD.
- OWNER TO NOTIFY THE VILLAGE, IF ANY CHANGES ARE TO OCCUR THAT ARE DIFFERENT FROM THE VILLAGE APPROVED DESCRIPTION OF WORK AND THE CHANGES MUST BE SUBMITTED IMMEDIATELY IN WRITING TO THE VILLAGE FOR THEIR REVIEW AND APPROVAL.
- BUILDING ADDRESS NUMBERS SHALL BE PROVIDED ON THE FRONT OF THE BUILDING, IF NOT ALREADY THERE AND SHALL BE VISIBLE AND LEGIBLE FROM THE PUBLIC RIGHT OF WAY. BAO NUMBERS SHALL COMPLY VISUALLY WITH THEIR BACKGROUND.

GRAPHIC SYMBOLS



DRAWING INDEX

- | | |
|------|---|
| T1.0 | TITLE SHEET, INDEX, GENERAL NOTES & CODE DATA |
| NO.0 | GENERAL NOTES |
| NO.1 | ACCESSIBILITY (SCHEDULED DETAILS) |
| AI.0 | ARCHITECTURAL SITE PLAN |
| AI.1 | ENLARGED SITE PLAN |
| AI.2 | TYPICAL SITE CONSTRUCTION DETAILS |
| AI.3 | MECHANICAL CONSTRUCTION DETAILS |
| AI.4 | ELECTRICAL CONSTRUCTION DETAILS |
| AI.5 | MECHANICAL CONSTRUCTION DETAILS |
| AI.6 | EXTERIOR ELEVATION - PROPOSED ADDITION |

DOCUMENTATION SET

- ALL ITEMS INDICATED IN THE CONSTRUCTION DOCUMENTS ARE TO BE FURNISHED AND INSTALLED BY THE CONTRACTOR UNLESS INDICATED OTHERWISE BY THE CODES.
- IF A CONTRACTOR'S RESPONSIBILITY TO VERIFY THE SCOPE WITH OWNER (ITEMS).
- IF THE OWNER IS FURNISHING ONLY, THE CONTRACTOR SHALL INSTALL THOSE ITEMS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND COORDINATING ALL DELIVERY AND INSTALLATION ACTIVITIES.

STATEMENT OF COMPLIANCE

THIS SEAL APPLIES TO THE FOLLOWING DOCUMENTS: ALL DOCUMENTS UNDER THIS STAMP BEAR THE SAME ISSUE DATE AS THE SEALED COPY.

SHEET NUMBERS: T1.0 THROUGH

I HAVE PREPARED, OR CAUSED TO BE PREPARED UNDER MY DIRECT SUPERVISION THE ATTACHED PLANS AND SPECIFICATIONS AND STATE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF AND TO THE BEST OF MY CONTRACTUAL OBLIGATION, THEY ARE IN COMPLIANCE WITH THE ENVIRONMENTAL BARRIERS ACT (10 ILCS 25) AND THE ILLINOIS ACCESSIBILITY CODE (21 ILL. ADM. CODE 600)

SIGNED: *[Signature]* ARCHITECT DATE: AUGUST 15, 2022

SEAL:

ILLINOIS REGISTRATION NO. 001 018208 EXPIRATION DATE: 11/30/2022

Document Record:

PROJECT NO.	2401 W. HIGGINS RD.
DATE	08/15/2022
REVISION	
DESCRIPTION	
DATE	
BY	
DATE	
BY	
DATE	
BY	

IPAA
PUROHIT ARCHITECTS
125 MADISON ROAD
HOFFMAN, IL 60143
TEL: 815.233.8887
FAX: 815.233.8888
WWW.PUROHITARCHITECTS.COM

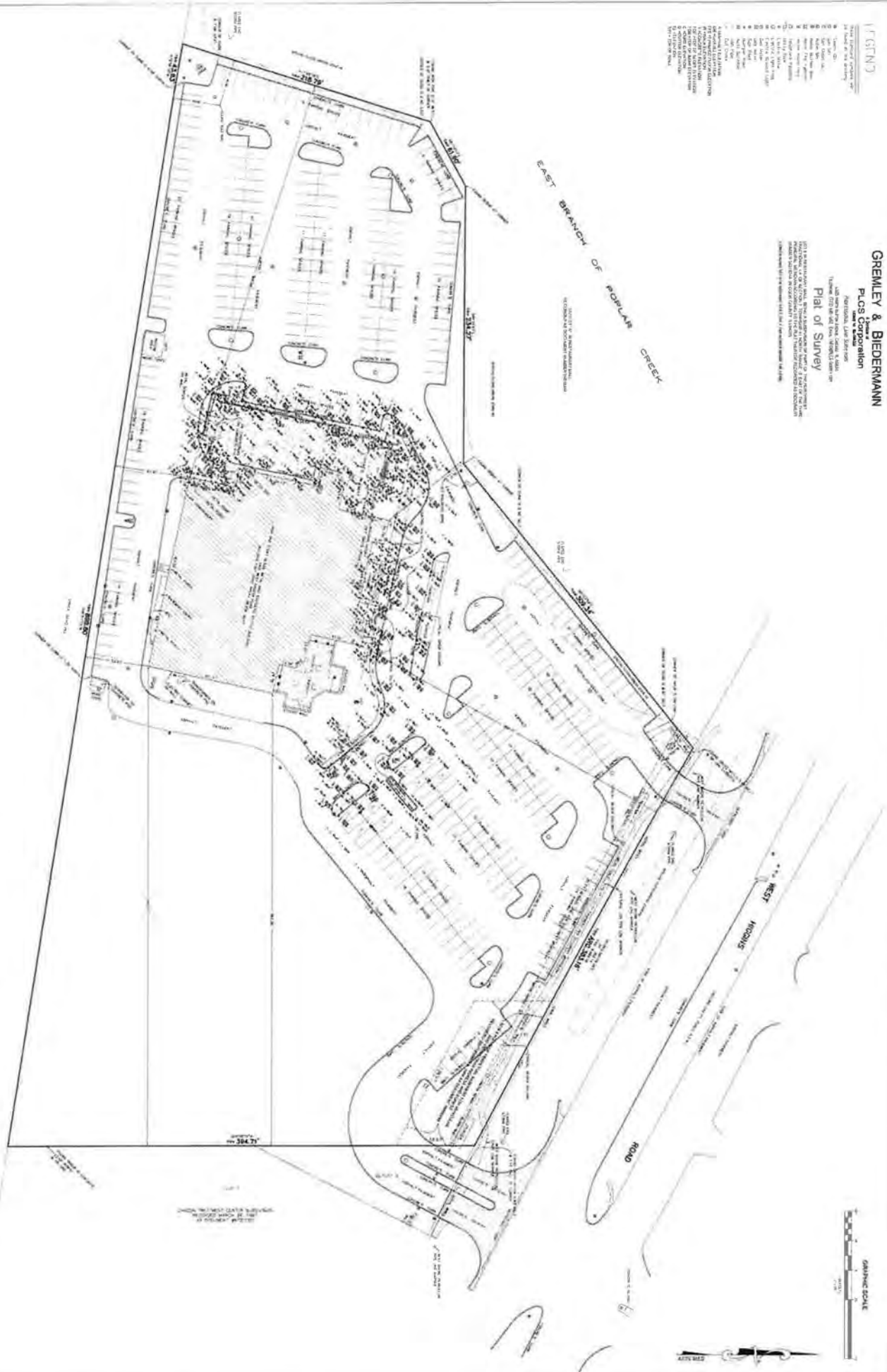
The Stonegate Banquets & Conference
2401 W. Higgins Rd., Hoffman Estates, IL

STONEGATE
TITLE SHEET
CODE DATA
T1.0
PW PROJECT NUMBER
21132/20

Plat of Survey

THIS PLAT OF SURVEY IS A FINAL SURVEY OF PART OF THE TRACT OF LAND...
PREPARED AND CONDUCTED BY THE SURVEYOR REFERENCED TO RECORD...
RECORDING THIS PLAT OF SURVEY IN THE PUBLIC RECORDS OF THE STATE OF ILLINOIS.

- 1. THE PLAT OF SURVEY IS A FINAL SURVEY OF PART OF THE TRACT OF LAND...
- 2. THE PLAT OF SURVEY IS A FINAL SURVEY OF PART OF THE TRACT OF LAND...
- 3. THE PLAT OF SURVEY IS A FINAL SURVEY OF PART OF THE TRACT OF LAND...
- 4. THE PLAT OF SURVEY IS A FINAL SURVEY OF PART OF THE TRACT OF LAND...
- 5. THE PLAT OF SURVEY IS A FINAL SURVEY OF PART OF THE TRACT OF LAND...
- 6. THE PLAT OF SURVEY IS A FINAL SURVEY OF PART OF THE TRACT OF LAND...
- 7. THE PLAT OF SURVEY IS A FINAL SURVEY OF PART OF THE TRACT OF LAND...
- 8. THE PLAT OF SURVEY IS A FINAL SURVEY OF PART OF THE TRACT OF LAND...
- 9. THE PLAT OF SURVEY IS A FINAL SURVEY OF PART OF THE TRACT OF LAND...
- 10. THE PLAT OF SURVEY IS A FINAL SURVEY OF PART OF THE TRACT OF LAND...



2021-28854-001

CREATED BY: G. BIEDERMANN
DATE: 11/11/2021

THIS PLAT OF SURVEY IS A FINAL SURVEY OF PART OF THE TRACT OF LAND...
PREPARED AND CONDUCTED BY THE SURVEYOR REFERENCED TO RECORD...
RECORDING THIS PLAT OF SURVEY IN THE PUBLIC RECORDS OF THE STATE OF ILLINOIS.

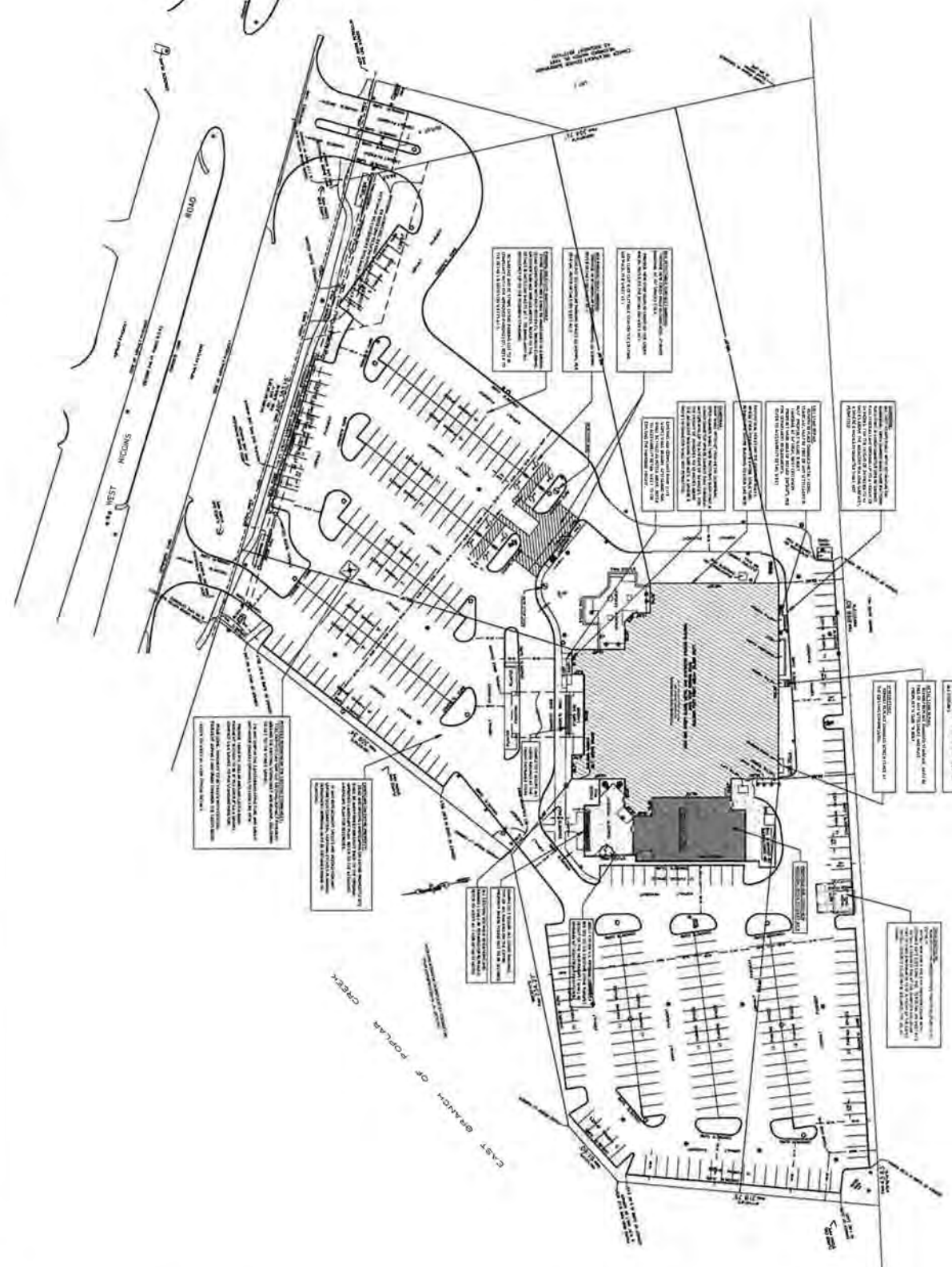
THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE TRACT OF LAND...
AND HAS FOUND THAT THE TRACT OF LAND IS AS SHOWN ON THIS PLAT OF SURVEY...
AND THAT THE TRACT OF LAND IS AS SHOWN ON THIS PLAT OF SURVEY...

THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE TRACT OF LAND...
AND HAS FOUND THAT THE TRACT OF LAND IS AS SHOWN ON THIS PLAT OF SURVEY...
AND THAT THE TRACT OF LAND IS AS SHOWN ON THIS PLAT OF SURVEY...

THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE TRACT OF LAND...
AND HAS FOUND THAT THE TRACT OF LAND IS AS SHOWN ON THIS PLAT OF SURVEY...
AND THAT THE TRACT OF LAND IS AS SHOWN ON THIS PLAT OF SURVEY...



ARCHITECTURAL SITE PLAN
 SCALE: 1/8" = 1'-0"



1

The Stonegate Banquets & Conference
 2401 W. Higgins Rd., Hoffman Estates, IL

PA
PURCHITT
ARCHITECTS

1111 BROADWAY SUITE 200
 CHICAGO, ILLINOIS 60606
 TEL: 312.467.1000
 FAX: 312.467.1001
 WWW.PURCHITT.COM

Architectural Site Plan
 11/15/00

STONEGATE

ARCHITECTURAL
 SITE PLAN
A1.0

11/15/00

STANDARD SPECIFICATIONS

1. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
2. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
3. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
4. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
5. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
6. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
7. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
8. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
9. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
10. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.

GENERAL NOTES

1. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
2. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
3. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
4. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
5. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
6. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
7. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
8. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
9. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
10. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.

STANDARD SPECIFICATIONS

1. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
2. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
3. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
4. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
5. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
6. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
7. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
8. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
9. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
10. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.

GENERAL NOTES

1. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
2. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
3. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
4. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
5. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
6. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
7. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
8. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
9. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.
10. Expansion joints shall be placed at the ends of concrete slabs and at intervals of 12 to 15 feet in the case of sidewalks.

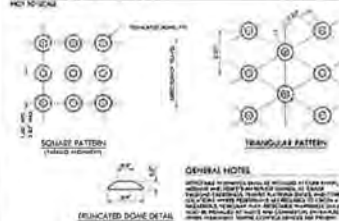


SIDEWALK TOOL JOINT DETAIL
SCALE: NOT TO SCALE

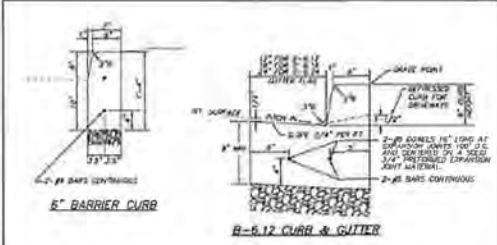
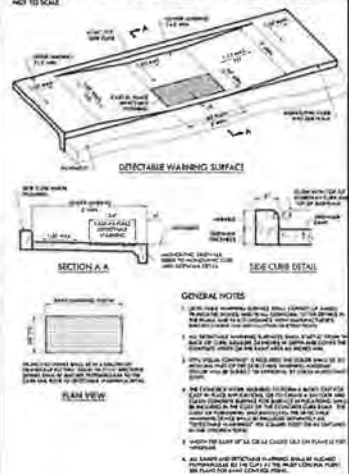


TYPE "B" EXPANSION JOINT
SCALE: NOT TO SCALE

DETECTABLE WARNINGS



ACCESSIBLE RAMP DETAIL
MONOLITHIC CURB AND SIDEWALK APPLICATION



6" BARRIER CURB

R-6.12 CURB & GUTTER

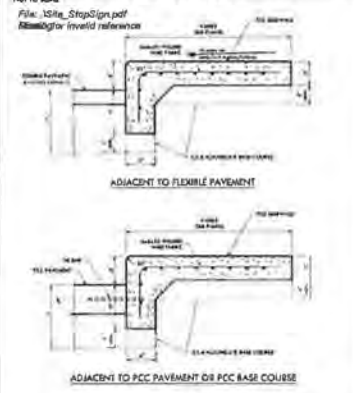
GENERAL NOTES

1. CURB SHALL BE MONOLITHIC WITH SIDEWALK.
2. CURB SHALL BE 6" HIGH AND 12" WIDE.
3. CURB SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER.
4. CURB SHALL BE FINISHED WITH A 1/4" FINISH.
5. CURB SHALL BE PLACED AT THE END OF EACH SIDEWALK.
6. CURB SHALL BE PLACED AT THE END OF EACH SIDEWALK.
7. CURB SHALL BE PLACED AT THE END OF EACH SIDEWALK.
8. CURB SHALL BE PLACED AT THE END OF EACH SIDEWALK.
9. CURB SHALL BE PLACED AT THE END OF EACH SIDEWALK.
10. CURB SHALL BE PLACED AT THE END OF EACH SIDEWALK.

CURB DETAILS

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	6" BARRIER CURB	100	LF	1.00	100.00
2	REINFORCEMENT BARS	100	LF	0.50	50.00
3	FORMWORK	100	SF	0.20	20.00
4	CONCRETE	100	CY	150.00	15000.00
5	FINISH	100	SF	0.10	10.00
6	PAINT	100	SF	0.05	5.00
7	LABOR	100	HR	10.00	1000.00
8	EQUIPMENT	100	HR	5.00	500.00
9	PERMITS	1	LOT	500.00	500.00
10	INSURANCE	1	LOT	100.00	100.00
11	TESTING	1	LOT	200.00	200.00
12	CONTINGENCY	1	LOT	100.00	100.00
13	TOTAL				17305.00

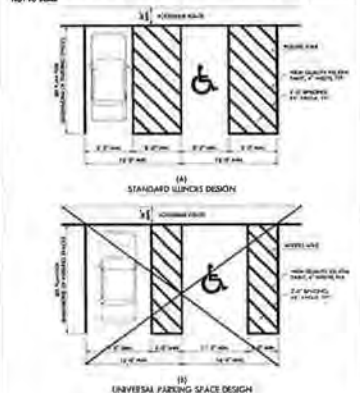
MONOLITHIC CURB AND SIDEWALK



GENERAL NOTES

1. CURB SHALL BE MONOLITHIC WITH SIDEWALK.
2. CURB SHALL BE 6" HIGH AND 12" WIDE.
3. CURB SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER.
4. CURB SHALL BE FINISHED WITH A 1/4" FINISH.
5. CURB SHALL BE PLACED AT THE END OF EACH SIDEWALK.
6. CURB SHALL BE PLACED AT THE END OF EACH SIDEWALK.
7. CURB SHALL BE PLACED AT THE END OF EACH SIDEWALK.
8. CURB SHALL BE PLACED AT THE END OF EACH SIDEWALK.
9. CURB SHALL BE PLACED AT THE END OF EACH SIDEWALK.
10. CURB SHALL BE PLACED AT THE END OF EACH SIDEWALK.

ACCESSIBLE PARKING SPACE



GENERAL NOTES

1. PARKING SPACE SHALL BE 8' WIDE AND 13' DEEP.
2. PARKING SPACE SHALL BE 8' WIDE AND 13' DEEP.
3. PARKING SPACE SHALL BE 8' WIDE AND 13' DEEP.
4. PARKING SPACE SHALL BE 8' WIDE AND 13' DEEP.
5. PARKING SPACE SHALL BE 8' WIDE AND 13' DEEP.
6. PARKING SPACE SHALL BE 8' WIDE AND 13' DEEP.
7. PARKING SPACE SHALL BE 8' WIDE AND 13' DEEP.
8. PARKING SPACE SHALL BE 8' WIDE AND 13' DEEP.
9. PARKING SPACE SHALL BE 8' WIDE AND 13' DEEP.
10. PARKING SPACE SHALL BE 8' WIDE AND 13' DEEP.

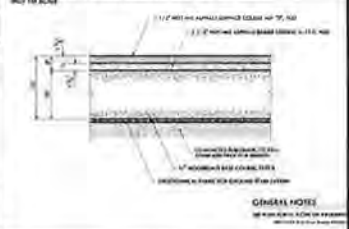
ACCESSIBLE PARKING SIGN



CONCRETE SIDEWALK



BITUMINOUS PAVEMENT CROSS SECTION



Document Report:

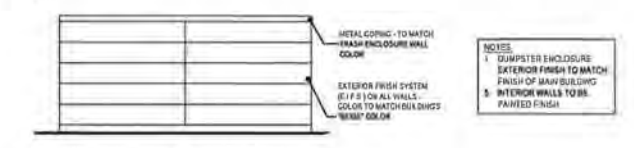
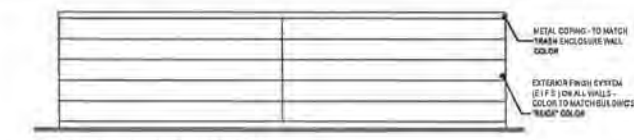
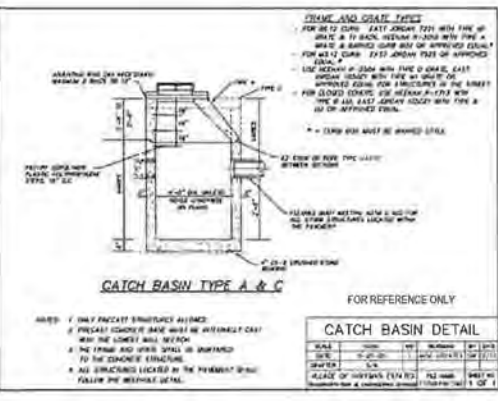
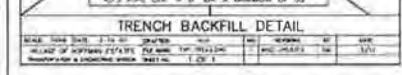
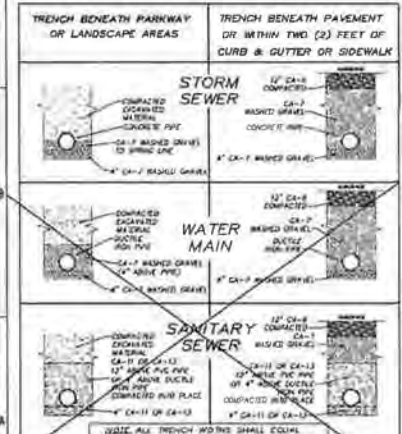
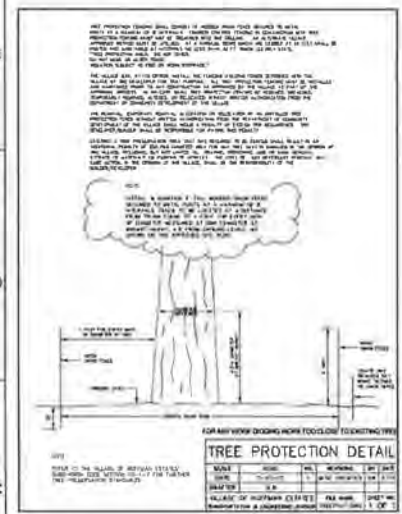
NO.	DESCRIPTION	DATE
1	PROJECT START	10/1/2023
2	PROJECT END	10/31/2023
3	PROJECT STATUS	COMPLETE
4	PROJECT LOCATION	2401 W. HIGGINS RD., HOFFMAN ESTATES, IL
5	PROJECT CLIENT	STONEGATE ARCHITECTS
6	PROJECT ARCHITECT	STONEGATE ARCHITECTS
7	PROJECT ENGINEER	STONEGATE ARCHITECTS
8	PROJECT SURVEYOR	STONEGATE ARCHITECTS
9	PROJECT CONTRACTOR	STONEGATE ARCHITECTS
10	PROJECT INSPECTOR	STONEGATE ARCHITECTS

IPA
PUROHIT ARCHITECTS
231 BROADWAY, SUITE 1000
NEW YORK, NY 10004
TEL: (212) 691-1000
WWW.PUROHITARCHITECTS.COM

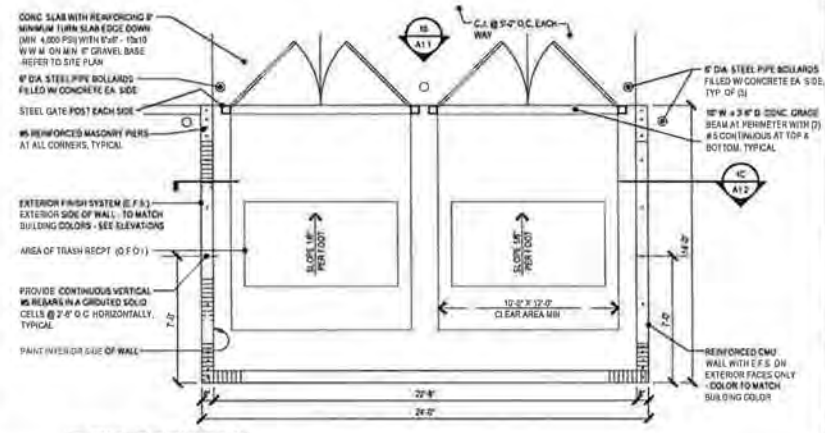
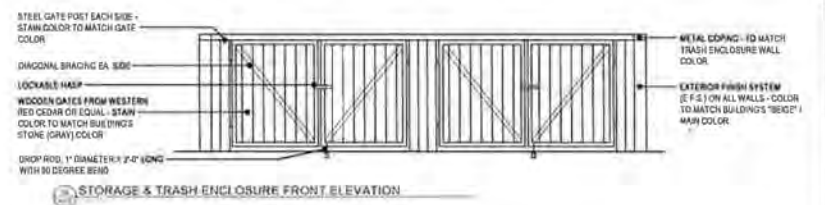
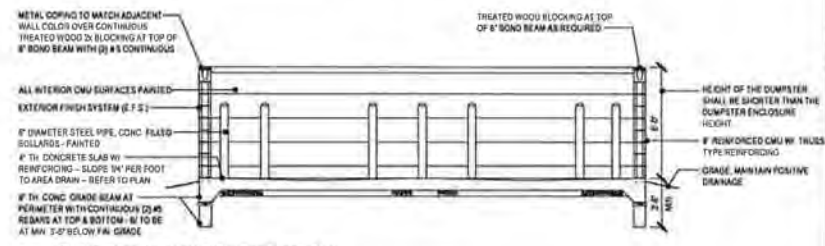
The Stonegate Banquets & Conference
2401 W. Higgins Rd., Hoffman Estates, IL

STONEGATE
TYPICAL SITE CONSTRUCTION DETAILS
A1.1
PROJECT NUMBER: 21135.00

These drawings may have been reproduced or modified without the original owner's consent. The user assumes all liability for any reproduction or modification of these drawings.



- NOTES**
- DUMPSTER ENCLOSURE EXTERIOR FINISH TO MATCH FINISH OF MAIN BUILDING
 - INTERIOR WALLS TO BE PAINTED FINISH



Document Record:

NO.	DATE	DESCRIPTION
1	10/15/2023	ISSUED FOR PERMITS
2	10/20/2023	REVISED PER COMMENTS
3	11/01/2023	ISSUED FOR CONSTRUCTION

IPA Purohit Architects

331 BROADWAY ROAD
SUITE 200
ROSELAND, NJ 07068

TEL: 973.261.8822
CELL: 973.261.8822
WWW.PUROHITARCHITECTS.COM

The Stonegate Banquets & Conference

2401 W. Higgins Rd., Hoffman Estates, IL

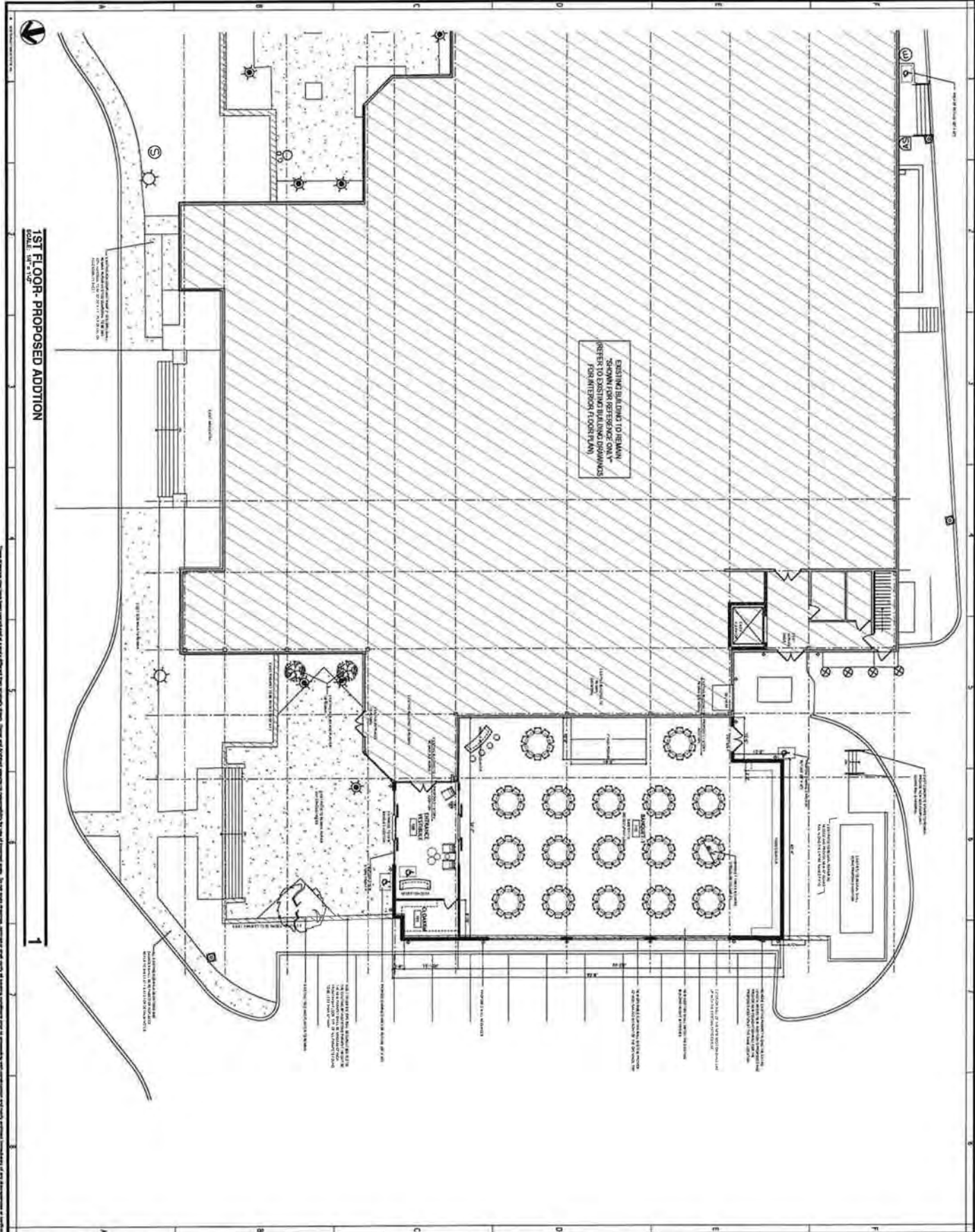
STONEGATE

TYPICAL SITE CONSTRUCTION DETAILS

A1.2

NO. PROJECT NUMBER: 21135.00

This drawing has been prepared at a professional design office and is not to be used for construction without the approval of the design professional. The design professional is not responsible for any errors or omissions in this drawing. The design professional is not responsible for any errors or omissions in this drawing.



1ST FLOOR - PROPOSED ADDITION

1

The Stonegate Banquets & Conference
 2401 W. Higgins Rd., Hoffman Estates, IL



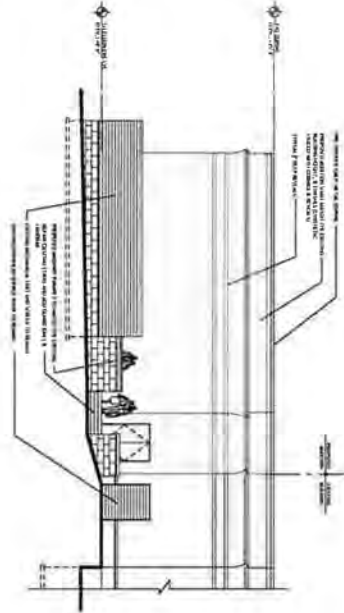
Document Record:

NO.	DATE	DESCRIPTION
1	11/15/20	ISSUED FOR PERMIT
2	11/15/20	ISSUED FOR PERMIT
3	11/15/20	ISSUED FOR PERMIT
4	11/15/20	ISSUED FOR PERMIT
5	11/15/20	ISSUED FOR PERMIT
6	11/15/20	ISSUED FOR PERMIT
7	11/15/20	ISSUED FOR PERMIT
8	11/15/20	ISSUED FOR PERMIT
9	11/15/20	ISSUED FOR PERMIT
10	11/15/20	ISSUED FOR PERMIT

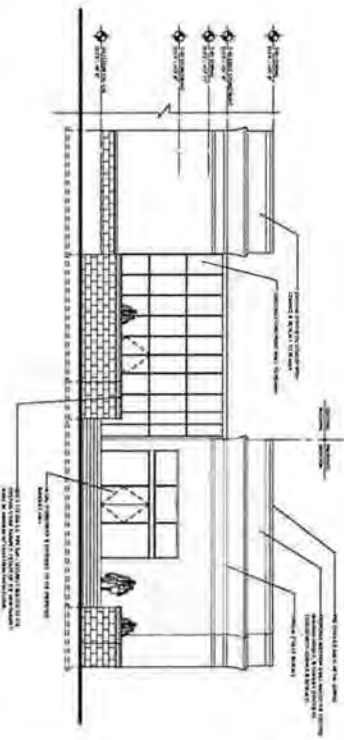
STONEGATE

1ST FLOOR PLAN
 PROPOSED ADDITION
A3.1

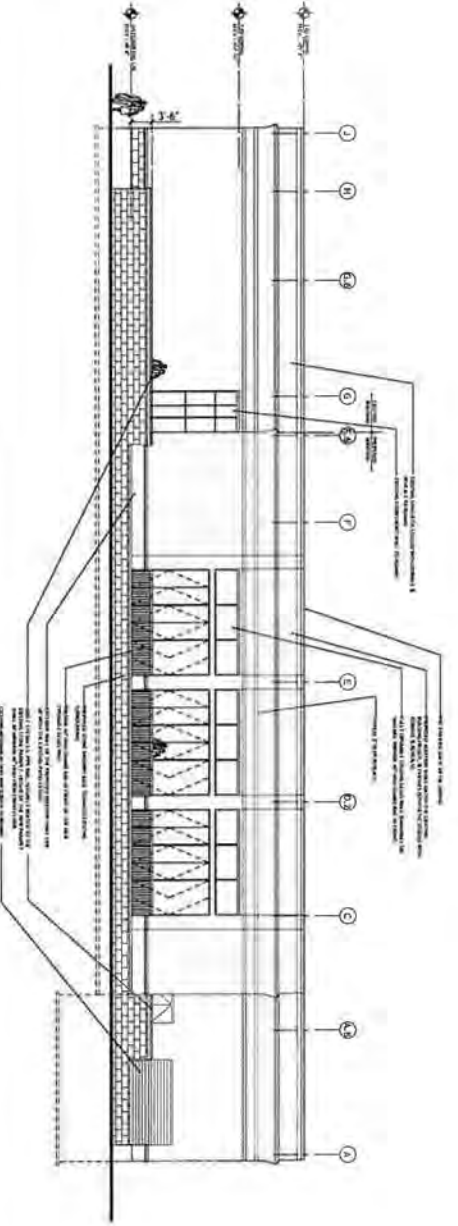
11/15/20



PROPOSED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



PROPOSED NORTH ELEVATION
SCALE: 1/8" = 1'-0"



PROPOSED WEST ELEVATION
SCALE: 1/8" = 1'-0"

Document Revised:	
DATE:	
BY:	
REASON FOR REVISION:	

IPA
PUBRIT
ARCHITECTS

211 EAST BROADWAY
SUITE 200
MIAMI, FL 33139
TEL: 305.375.1111
WWW.IPAPUBRIT.COM

The Stonegate Banquets & Conference
2401 W. Higgins Rd., Hoffman Estates, IL

STONEGATE

EXTERIOR ELEVATION
PROJECT NO. 2401
DATE: 11/18/08

A6.0

PROJECT NUMBER

ORDINANCE NO. _____ - 2021

**VILLAGE OF HOFFMAN ESTATES
AN ORDINANCE GRANTING A SITE PLAN AMENDMENT AND PLAT OF
EASEMENT FOR THE HUNTINGTON PLAZA PROPERTY LOCATED AT
1600-1650 W. ALGONQUIN ROAD, HOFFMAN ESTATES, ILLINOIS**

WHEREAS, the Planning and Zoning Commission, at a public hearing duly called and held according to law on September 15, 2021, considered the request by Huntington Plaza Acquisitions LLC (applicant and owner) for a site plan amendment and plat of easement to permit a Dunkin' at Huntington Plaza at 1600 – 1650 W. Algonquin Rd., and shown on Exhibit "A" attached hereto and made a part hereof; and

WHEREAS, the Planning and Zoning Commission made certain Finding of Fact attached hereto and made a part hereof as Exhibit "B" and recommended approval of the site plan amendment and plat of easement to the Board of Trustees; and

WHEREAS, the Corporate Authorities have received and considered said recommendation; and

WHEREAS, the proposed special use has met the standards of Section 9-1-18 of the Zoning Code of the Hoffman Estates Municipal Code; and

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: The Corporate Authorities hereby find that the facts and statements contained in the preamble of this Ordinance are true.

Section 2: A site plan amendment and plat of easement authorized under Section 10-2-2 of the Subdivision Code is hereby granted for property located at 1600 – 1650 W. Algonquin Road, based upon the plans incorporated in Exhibit B and the following conditions:

1. The building permit shall be obtained within twelve (12) months of the Village Board action on this request.
2. The development shall significantly conform to the plans attached hereto as part of this application except as such plans may be changed to conform to Village Codes and Ordinances.
3. A performance guarantee based on an Engineers Estimate of Cost shall be submitted to the Village prior to issuance of a building permit.
4. A permit from the Metropolitan Water Reclamation District (MWRD) shall be provided prior to site construction commencing.
5. The following conditions relate to the site construction:
 - a. A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
 - b. Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.

- c. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.
- 6. The landscape plan shall be revised to correspond to the final engineering plans.

Section 5: The Village Clerk is hereby authorized to publish this Ordinance in pamphlet form.

Section 6: This Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2021

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Michael Gaeta	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2021

Village President

ATTEST:

Village Clerk



Published in pamphlet form this _____ day of _____, 2021.

1600-1650 Algonquin Road - Huntington Plaza - Outlot

P.I.N.: 02-30-100-018-000 & 02-30-100-017-0000



Legend

-  Subject Property
-  Parcel



Planning and Transportation Division
The Village of Hoffman Estates
September 2021



**VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING
COMMISSION
FINDING OF FACT**

PROJECT NUMBER: 2021-033P
PROJECT NAME: Dunkin' – Huntington Plaza
ADDRESS/LOCATION: Huntington Plaza – 1600-1650 W. Algonquin Rd.
OWNER / PETITIONER: Huntington Plaza Acquisitions LLC
REQUEST: Site Plan Amendment
Master Sign Plan
ZONING / LAND USE: B-1 Neighborhood Business District
PZC MEETING DATE: September 15, 2021
PZC RECOMMENDATION: **APPROVAL** (6 Ayes, 1 Nays, 3 Absent)
VILLAGE BOARD MEETING DATE: September 20, 2021
STAFF ASSIGNED: Kevin Anderson, Associate Planner

MOTIONS

A. Request for a Site Plan Amendment and granting of a Plat of Easement for the Huntington Plaza property located at 1600-1650 W. Algonquin Road.

1. The building permit shall be obtained within twelve (12) months of the Village Board action on this request.
2. The development shall significantly conform to the plans attached hereto as part of this application except as such plans may be changed to conform to Village Codes and Ordinances.
3. A performance guarantee based on an Engineers Estimate of Cost shall be submitted to the Village prior to issuance of a building permit.
4. A permit from the Metropolitan Water Reclamation District (MWRD) shall be provided prior to site construction commencing.
5. The following conditions relate to the site construction:
 - a. A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
 - b. Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.

- c. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.

6. The landscape plan shall be revised to correspond to the final site and engineering plans.

B. Request for a Master Sign Plan for Dunkin' at Huntington Plaza located at 1600-1650 W. Algonquin Road.

1. A sign permit shall be required for all signs

FINDING

The Planning & Zoning Commission heard the request from Eric Carlson with Carlson Architects. Mr. Carlson explained the orientation of the structure and modifications to the parking areas. Mr. Carlson gave an overview of the sign requests.

Staff advised that the parking is sufficient for the shopping center including the proposed drive through.

Chairperson Combs had questions regarding noise, traffic circulation, and the possible impact on visibility for existing tenants of the shopping center.

Mr. Carlson advised the decibels generated from the order board would be surpassed by the decibels generated from traffic on Algonquin Road. Mr. Carlson also noted the proposed building is buffered from the residential neighborhood by other commercial buildings. He also noted that the shopping center owner was in attendance and is supportive of the proposal. He noted that he believes the existing tenants will benefit from the increased exposure to Dunkin' visitors and it will support the viability of the existing tenants.

Commissioners had questions regarding pedestrian and bicycle accessibility. Mr. Carlson noted there are bike racks and areas for walk up customers to sit.

Staff noted that the petitioner is proposing a Master Sign Plan. Section 9-3-8-M-13 of the Zoning Code requires that in instances where the Zoning Code cannot be strictly followed, that the owner may propose a Master Sign Plan to accommodate the signs on the property and to set standards and restrictions on the signs. The Village requires a Master Sign Plan in lieu of sign variations except where a Master Sign Plan is not feasible or warranted (for a very minor request where a variation is deemed acceptable to request). The Zoning Code lists the goals that a Master Sign Plan should achieve as follows:

- Result in architecture and graphics of a scale appropriate for the subject development and the surrounding area;
- Provide signage consistent with the site plan and architecture of the project;
- Avoid visual clutter;
- Allow visitors, employees, and consumers to readily identify the business entrances, while addressing the community's need for attractive, unobtrusive architecture and commercial graphics; and
- Result in a unified theme of signage for the project.

Petitioners are encouraged to take a comprehensive approach to each master sign plan proposal because the plan will provide guidelines for signs that are desired both today, and into the future. The Plan functions as a "mini-sign code" for the property. The creation of a Master Sign Plan involves merging and considering several perspectives, including:

- Current Code requirements.
- Prior variation history on the subject property, as well as similar properties.
- Existing signage on the property.
- Specific current signage requests by the property owner.
- Likely possible signage requests in the future (consider the type use of the property and its location).
- Unique characteristics of the subject property.

AUDIENCE COMMENTS

None

PLANNING AND ZONING COMMISSION VOTE

Commissioner	Roll Call Vote
Chairperson Eva Combs	Nay
Vice-Chairman Greg Ring	Aye
Adam Bauske	Aye
Tom Burnitz	Absent
Lon Hamer	Aye
Lenard Henderson	Aye
Myrene Iozzo	Absent
Minerva Milford	Aye
Nancy Trieb	Aye
Denise Wilson	Absent
6 Ayes, 1 Nays, 3 Absent	ALL MOTIONS APPROVED

ATTACHMENTS

The Planning and Zoning Commission Staff Report dated September 15, 2021 and all associated attachments are hereby made a part of this Finding.

**VILLAGE OF HOFFMAN ESTATES
AN ORDINANCE GRANTING A MASTER SIGN PLAN FOR DUNKIN' AT
HUNTINGTON PLAZA PROPERTY LOCATED AT
1600-1650 W. ALGONQUIN ROAD, HOFFMAN ESTATES, ILLINOIS**

WHEREAS, the Planning and Zoning Commission, at a public hearing duly called and held according to law on September 15, 2021, considered the request by Huntington Plaza Acquisitions LLC (applicant and owner) for a Master Sign Plan for Dunkin' at Huntington Plaza at 1600 – 1650 W. Algonquin Rd., and shown on Exhibit "A" attached hereto and made a part hereof; and

WHEREAS, the Planning and Zoning Commission made certain Finding of Fact attached hereto and made a part hereof as Exhibit "B" and recommended approval of the Master Sign Plan to the Board of Trustees; and

WHEREAS, the Corporate Authorities have received and considered said recommendation; and

WHEREAS, the proposed Master Sign Plan has met the standards of Section 9-3-9-M-13-a-3 of the Zoning Code of the Hoffman Estates Municipal Code; and

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: The Corporate Authorities hereby find that the facts and statements contained in the preamble of this Ordinance are true.

Section 2: A Master Sign Plan, attached hereto and made a part hereof as Exhibit "C" as authorized under Section 9-3-9-M-13 of the Zoning Code is hereby granted for Dunkin' at the Huntington Plaza property located at 1600 – 1650 W. Algonquin Road, with the following condition:

- 1. A building permit shall be required for all signs.

Section 3: The Village Clerk is hereby authorized to publish this Ordinance in pamphlet form.

Section 4: This Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2021

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Michael Gaeta	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2021

Village President

ATTEST:

Village Clerk



Published in pamphlet form this _____ day of _____, 2021.

1600-1650 Algonquin Road - Huntington Plaza - Outlot

P.I.N.: 02-30-100-018-000 & 02-30-100-017-0000



Legend

-  Subject Property
-  Parcel



Planning and Transportation Division
The Village of Hoffman Estates
September 2021



**VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING
COMMISSION
FINDING OF FACT**

PROJECT NUMBER: 2021-033P
PROJECT NAME: Dunkin' – Huntington Plaza
ADDRESS/LOCATION: Huntington Plaza – 1600-1650 W. Algonquin Rd.
OWNER / PETITIONER: Huntington Plaza Acquisitions LLC
REQUEST: Site Plan Amendment
Master Sign Plan
ZONING / LAND USE: B-1 Neighborhood Business District
PZC MEETING DATE: September 15, 2021
PZC RECOMMENDATION: **APPROVAL** (6 Ayes, 1 Nays, 3 Absent)
VILLAGE BOARD MEETING DATE: September 20, 2021
STAFF ASSIGNED: Kevin Anderson, Associate Planner

MOTIONS

A. Request for a Site Plan Amendment and granting of a Plat of Easement for the Huntington Plaza property located at 1600-1650 W. Algonquin Road.

1. The building permit shall be obtained within twelve (12) months of the Village Board action on this request.
2. The development shall significantly conform to the plans attached hereto as part of this application except as such plans may be changed to conform to Village Codes and Ordinances.
3. A performance guarantee based on an Engineers Estimate of Cost shall be submitted to the Village prior to issuance of a building permit.
4. A permit from the Metropolitan Water Reclamation District (MWRD) shall be provided prior to site construction commencing.
5. The following conditions relate to the site construction:
 - a. A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
 - b. Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.

- c. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.

6. The landscape plan shall be revised to correspond to the final site and engineering plans.

B. Request for a Master Sign Plan for Dunkin' at Huntington Plaza located at 1600-1650 W. Algonquin Road.

1. A sign permit shall be required for all signs

FINDING

The Planning & Zoning Commission heard the request from Eric Carlson with Carlson Architects. Mr. Carlson explained the orientation of the structure and modifications to the parking areas. Mr. Carlson gave an overview of the sign requests.

Staff advised that the parking is sufficient for the shopping center including the proposed drive through.

Chairperson Combs had questions regarding noise, traffic circulation, and the possible impact on visibility for existing tenants of the shopping center.

Mr. Carlson advised the decibels generated from the order board would be surpassed by the decibels generated from traffic on Algonquin Road. Mr. Carlson also noted the proposed building is buffered from the residential neighborhood by other commercial buildings. He also noted that the shopping center owner was in attendance and is supportive of the proposal. He noted that he believes the existing tenants will benefit from the increased exposure to Dunkin' visitors and it will support the viability of the existing tenants.

Commissioners had questions regarding pedestrian and bicycle accessibility. Mr. Carlson noted there are bike racks and areas for walk up customers to sit.

Staff noted that the petitioner is proposing a Master Sign Plan. Section 9-3-8-M-13 of the Zoning Code requires that in instances where the Zoning Code cannot be strictly followed, that the owner may propose a Master Sign Plan to accommodate the signs on the property and to set standards and restrictions on the signs. The Village requires a Master Sign Plan in lieu of sign variations except where a Master Sign Plan is not feasible or warranted (for a very minor request where a variation is deemed acceptable to request). The Zoning Code lists the goals that a Master Sign Plan should achieve as follows:

- Result in architecture and graphics of a scale appropriate for the subject development and the surrounding area;
- Provide signage consistent with the site plan and architecture of the project;
- Avoid visual clutter;
- Allow visitors, employees, and consumers to readily identify the business entrances, while addressing the community's need for attractive, unobtrusive architecture and commercial graphics; and
- Result in a unified theme of signage for the project.

Petitioners are encouraged to take a comprehensive approach to each master sign plan proposal because the plan will provide guidelines for signs that are desired both today, and into the future. The Plan functions as a "mini-sign code" for the property. The creation of a Master Sign Plan involves merging and considering several perspectives, including:

- Current Code requirements.
- Prior variation history on the subject property, as well as similar properties.
- Existing signage on the property.
- Specific current signage requests by the property owner.
- Likely possible signage requests in the future (consider the type use of the property and its location).
- Unique characteristics of the subject property.

AUDIENCE COMMENTS

None

PLANNING AND ZONING COMMISSION VOTE

Commissioner	Roll Call Vote
Chairperson Eva Combs	Nay
Vice-Chairman Greg Ring	Aye
Adam Bauske	Aye
Tom Burnitz	Absent
Lon Harner	Aye
Lenard Henderson	Aye
Myrene Iozzo	Absent
Minerva Milford	Aye
Nancy Trieb	Aye
Denise Wilson	Absent
6 Ayes, 1 Nays, 3 Absent	ALL MOTIONS APPROVED

ATTACHMENTS

The Planning and Zoning Commission Staff Report dated September 15, 2021 and all associated attachments are hereby made a part of this Finding.

Exhibit C
Dunkin'
Master Sign Plan
September 15, 2021

Introduction

This Master Sign Plan applies to the proposed Dunkin' building in the Huntington Plaza Shopping Center. The sign plans accompany a site plan amendment including a new restaurant building.

The Master Sign Plan requirements have been developed based on the signage that is unique to the Dunkin' franchise and is specific to this building. The plan has been designed with signage which accounts for certain unique characteristics of this development yet maintains consistency with other similar developments.

A. Area Included in Master Sign Plan

This Master Sign Plan applies only to the proposed Dunkin' leased property at 1600 - 1650 W. Algonquin Road (PIN# 02-30-100-018). The Dunkin' leased area is shown in the Site Plan Signage Exhibit included as Exhibit "A" to this plan.

B. General Provisions

1. Definition. For the purposes of this Master Sign Plan, "Property" shall mean the new structure and lease area of the restaurant tenant as depicted on the attached Exhibit "A".
2. Driver Sight Visibility. No sign shall be placed in a manner that will obstruct driver or pedestrian sight lines and create an unsafe condition based on analysis by the Village's Transportation Division.
3. Illumination. All signs permitted by this Master Sign Plan may be illuminated in accordance with Section 9-3-8-F of the Zoning Code unless otherwise indicated in the approved Master Sign Plan documents.
4. Sign Design. Colors and letter graphic styles on the signs shall be those as shown on the attached plan; however, signs that are of a similar type shall be of a consistent color and graphic style.
5. Calculation of Sign Area. Such signs shall meet the requirements of Section 9-3-8-D, except that the architectural base and support structure of a ground sign shall not be included in the total sign area if these areas do not contain text, logos or any other graphics.
6. Permits. Sign permits shall be required in accordance with Section 9-3-8-A of the Zoning Code.

Dunkin'
Master Sign Plan
September 15, 2021

7. Coordination with Village Sign Code. All regulations of the Zoning Code shall apply unless specifically stated otherwise in this master sign plan. In the event of a conflict between this Master Sign Plan and the Zoning Code, the Master Sign Plan regulations shall apply. Any previous zoning relief granted for signage related to this business is no longer valid.
8. Master Sign Plan. This document and the attached exhibits represent the entire Master Sign Plan.

C. Ground Signs

1. Ground signs shall adhere to the following:
 - a. Number and Size. One ground sign shall be permitted to serve the Dunkin' leased property. The sign shall be a maximum of 6 feet in height and shall have a maximum sign surface area of 60 square feet per side (excluding the base).
 - b. Type. The design of the Ground Sign shall be limited to a ground or monument style sign and shall not be allowed as a freestanding or pole style sign with exposed sign supports.
 - c. Location. The Ground Sign shall be located a minimum of 5 feet from any property line and 2 feet from any paved surface.

D. Wall Signs

1. All wall signs shall adhere to the following:
 - a. Type. Tenant wall signs shall be internally lit channel letters or logos individually set on a raceway. The raceway shall be mounted directly to the building wall surface and shall be painted to match the façade color where it is to be mounted. Wall signs and raceway are not to extend more than 12" from the wall on which it is mounted.
 - b. Number and Size. Wall signs number and size shall be permitted in accordance with the following:

	(#) Size Permitted
South Elevation	(1) Max. 75 sf.
North Elevation	(1) Max. 20 sf.

Dunkin'
Master Sign Plan
September 15, 2021

<i>East Elevation</i>	(1) Max 50 sf.
<i>West Elevation</i>	(1) Max 50 sf.

- c. Location. Each wall sign shall be placed on the associated elevation as noted in Section D1b above.

E. Miscellaneous Signs

1. Directional and Entrance Signs.

- a. Type. Directional and entrance signs shall be permitted on the leased property to direct drivers to different portions of the site. Directional and entrance signs may contain the name of tenant on the property and may contain logos. All directional and entrance signs shall be of a consistent design and shall be separate from traffic control signs.
- b. Size. Directional and entrance signs shall have a maximum sign area of 5 square feet and a maximum height of 4 feet.
- c. Number and Location. There shall be no specific limit to the number of directional or ground signs, but such signs shall be located in manner which does not impede driver or pedestrian line of sight. Such signs are limited to the Dunkin' leased property area and shall not be located elsewhere throughout the Huntington Plaza Shopping Center.

2. Menu Board Signs. Two menu board signs shall be permitted. Such signs may be illuminated.

3. Drive Thru/Clearance Sign. Two "drive thru/clearance" signs shall be permitted. The structures shall not exceed 11 feet in height and shall only include signage relating to height clearance and "Drive Thru".

F. Temporary Signs

1. Special Event Signs. Special event signs shall be permitted as provided in the Zoning Code (Section 9-3-8-K).

G. Huntington Plaza Identification Signs

1. The remainder of the Huntington Plaza shopping center is not included as part of this request and shall remain governed by the sign standards provided by the Zoning Code.

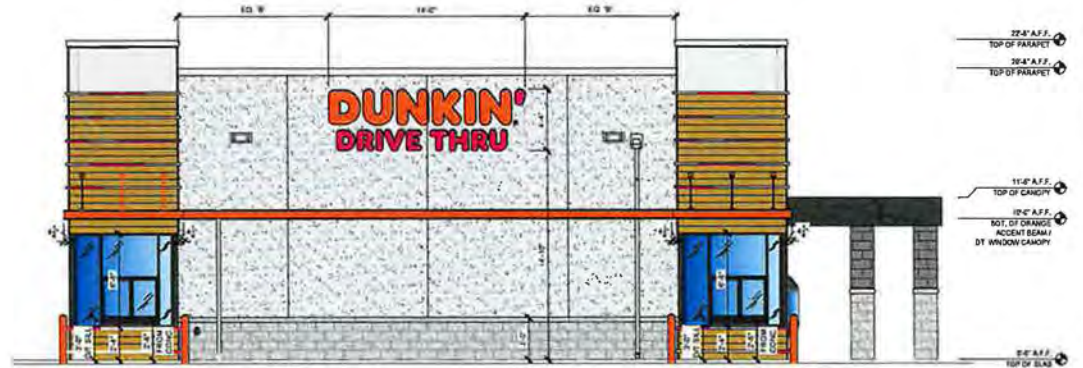
Dunkin'
Master Sign Plan
September 15, 2021

H. Amendments

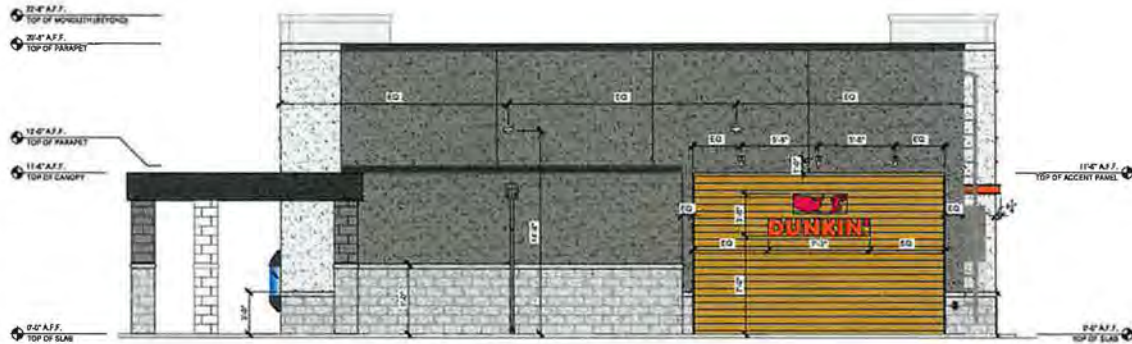
1. Changes. Changes to the text, colors, or graphic style of the signs shall not require a formal amendment to this plan, provided the size and all other requirements of this plan are met and all signs of each type have similar design and colors.
2. Interpretations. Signs that are not explicitly addressed in the provisions of this plan, but that meet the intent of the plan may be permitted through administrative approval.
3. New Signs. The addition of new signs or relocation of existing signs shall not require a formal amendment to this plan, provided the signs meet all requirements of this plan. Any amendment to add additional signs or make substantial changes to the approved signs in this plan shall be subject to review by the Planning & Zoning Commission and approval by the Village Board through the process outlined in the Zoning Code for variations.



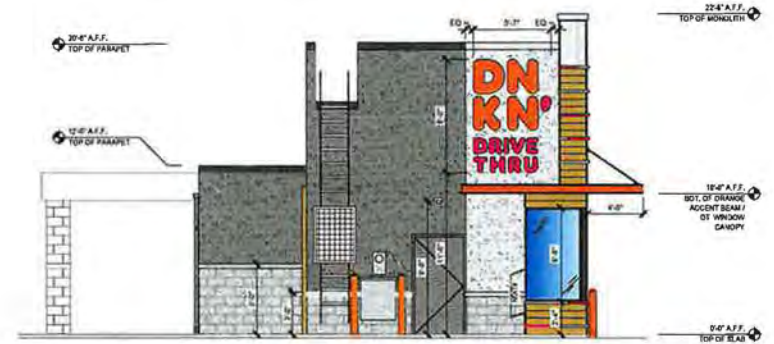
FRONT (EAST) ELEVATION



SIDE (SOUTH) ELEVATION



SIDE (NORTH) ELEVATION



REAR (WEST) ELEVATION

PROPOSED ELEVATIONS

SCALE: 1/4" = 1'-0"

DUNKIN'

DUNKIN | DRIVE-THRU ONLY
 HOFFMAN ESTATES, ILLINOIS
 1 SEPT 2021

ECA ARCHITECTS
 PLANNERS



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT NUMBER: 2021-018P
PROJECT NAME: Dunkin' – Huntington Plaza
ADDRESS/LOCATION: Huntington Plaza – 1600-1650 W. Algonquin Rd.
PROPERTY SIZE: ~5 acres
OWNER / PETITIONER: Huntington Plaza Acquisitions LLC
REQUEST: Site Plan Amendment
Master Sign Plan
PUBLIC HEARING: Yes
ZONING / LAND USE: B-1 Neighborhood Business District
ADJACENT PROPERTIES: NORTH: R-4 One Family Residential
SOUTH: FP Paul Douglas Forest Preserve
EAST: R-4 One Family Residential
WEST: B-1, Neighborhood Business District
PZC MEETING DATE: September 15, 2021
STAFF ASSIGNED: Kevin Anderson, Associate Planner

REQUESTED MOTIONS

1. Request for a Site Plan Amendment and granting of a Plat of Easement for the Huntington Plaza property located at 1600-1650 W. Algonquin Road.
2. Request for a Master Sign Plan for Dunkin' at Huntington Plaza located at 1600-1650 W. Algonquin Road.

INCLUDES RECOMMENDED CONDITIONS: YES

BACKGROUND

Huntington Plaza is a multi-tenant retail center located at the northeast corner of Algonquin Road and Huntington Blvd. The subject property was developed and subdivided as Huntington Plaza in 1987. The bank drive through kiosk was approved for the Huntington Plaza property in 2009.

The subject property includes a portion of the Huntington Plaza parking lot as well as a portion of an open space area located along the Algonquin Road frontage. The Petitioner is proposing to construct a new Dunkin' drive through establishment in this location requiring a site plan amendment to the Huntington

Plaza property. The Petitioner's proposal includes signage which does not comply with the restrictions of the Code which requires a request for approval of a Master Sign Plan.

STAFF ANALYSIS

Business Operations

The current property owners would maintain control of the land and would lease the area being built upon to the Dunkin' franchisee. The franchisees for this request are Asif Nathani and Aziz Nathani with Nathani Elite Management Network, Inc.

The business would be open 24 hours per day 7 days per week. The estimated peak hours of demand would be from 6:00 am to 10:00 am. A maximum of 4 employees would work during the busiest shifts at the restaurant.

The business would be drive through only and would have no interior seating. There would be a walk-up window and seasonal outdoor seating on an adjoining patio.

Site Plan

The proposal includes the construction of an approximately 800 square foot drive through only restaurant. There is no interior seating proposed for this restaurant. There would be dual drive through order lanes and one pick-up window.

The new construction would be partially located on the outer parking area of the shopping center. There would be no impact on the existing curb cuts onto Algonquin Road. One of the access points from the interior access drive into the parking area would be closed to accommodate the development.

There is an existing 70' open space easement on the south side of the Huntington Plaza Subdivision. The Petitioner is proposing to vacate a portion of the easement to accommodate the new structure and drive aisles. The easement language gives the Village the ability to release portions of the easement. A similar release of this open space easement was requested and approved for the PNC Bank drive through kiosk directly east of the subject site.

The plans provide a walk-up window for customers and a patio area for outdoor seating. A new sidewalk extension is being provided from the sidewalk along Algonquin Road. A crosswalk would then connect to the walk-up window area. All of the walkways are ADA accessible.

A new dumpster enclosure is proposed near the northwest corner of the site. The enclosure would be constructed of materials which match those of the proposed building.

Landscaped islands would be reinstalled at the end of each row of parking and would be planted with over-story trees as required by Code. The overall landscape plan complies with the requirements of the Code.

Parking

The proposal would have a slight impact on the total number of parking spaces in the lot. The proposed new development would eliminate 13 existing spaces from the parking lot. Six new spaces would be provided for a net loss of 7 spaces.

On Lot 3 of Huntington Plaza there are currently 155 parking spaces including 6 handicap stalls. The proposal would result in 148 parking spaces including 7 handicap stalls. The Code would suggest a minimum 132 total spaces should be provided for a retail development of this square footage.

The proposed restaurant is not anticipated to generate significant parking demand since it is drive through only. Staff has noted that currently only two of the tenants in the 1600-1650 W. Algonquin building are open before 10:00 a.m.

Engineering

Storm water management was provided for this site during the original development of the area. The original detention volume was calculated to accommodate development of this size. There is no need to provide additional detention volume as part of this proposal.

Water and sewer services would be extended to the new structure from existing services in Huntington Plaza. New easements would be recorded to accommodate the new lines. A Plat of Easement Extinguishment and Grant of Easement have been submitted for final approval and recording with the County.

A new fire hydrant is proposed in proximity to the structure as required by the Fire Prevention Bureau.

Signage

The Petitioner's request includes a total of 4 attached signs and one monument sign. Code would only allow two attached signs for an outbuilding in a shopping center. The proposal would require a Master Sign Plan. Attached signage is proposed per the below chart. The Master Sign Plan would have allowances for similar signage.

	<i>Requested</i>	<i>MSP Size Proposed</i>
<i>South Elevation</i>	61 sf.	Max. 75 sf.
<i>North Elevation</i>	22 sf.	Max. 25 sf.
<i>East Elevation</i>	45 sf.	Max 50 sf.
<i>West Elevation</i>	43 sf.	Max 50 sf.

A freestanding monument sign is proposed near the southeast corner of the site. The sign would be approximately 8 feet wide by 5 feet tall. The actual freestanding sign area would be approximately 40 square feet per side.

MASTER SIGN PLAN STANDARDS

Section 9-3-8-M-13 of the Zoning Code requires that in instances where the Zoning Code cannot be strictly followed, that the owner may propose a Master Sign Plan to accommodate the signs on the property and to set standards and restrictions on the signs. The Village requires a Master Sign Plan in lieu of sign variations except

where a Master Sign Plan is not feasible or warranted (for a very minor request where a variation is deemed acceptable to request). The Zoning Code lists the goals that a Master Sign Plan should achieve as follows:

- Result in architecture and graphics of a scale appropriate for the subject development and the surrounding area;
- Provide signage consistent with the site plan and architecture of the project;
- Avoid visual clutter;
- Allow visitors, employees, and consumers to readily identify the business entrances, while addressing the community's need for attractive, unobtrusive architecture and commercial graphics; and
- Result in a unified theme of signage for the project.

Petitioners are encouraged to take a comprehensive approach to each master sign plan proposal because the plan will provide guidelines for signs that are desired both today, and into the future. The Plan functions as a "mini-sign code" for the property. The creation of a Master Sign Plan involves merging and considering several perspectives, including:

- Current Code requirements.
- Prior variation history on the subject property, as well as similar properties.
- Existing signage on the property.
- Specific current signage requests by the property owner.
- Likely possible signage requests in the future (consider the type use of the property and its location).
- Unique characteristics of the subject property.

The Petitioner has addressed the Standards for a Master Sign Plan in their application.

RECOMMENDED CONDITIONS

If the Planning and Zoning Commission recommends approval of the site plan amendment and master sign plan, staff recommends the following conditions be included:

Motion #1 (Site Plan Amendment)

1. The building permit shall be obtained within twelve (12) months of the Village Board action on this request.
2. The development shall significantly conform to the plans attached hereto as part of this application except as such plans may be changed to conform to Village Codes and Ordinances.
3. A performance guarantee based on an Engineers Estimate of Cost shall be submitted to the Village prior to issuance of a building permit.
4. A permit from the Metropolitan Water Reclamation District (MWRD) shall be provided prior to site construction commencing.
5. The following conditions relate to the site construction:

- a. A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
- b. Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.
- c. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.

Motion #2 (Master Sign Plan)

1. A sign permit shall be required for all signs

Attachments: Petitioner's Application and Submittal
Location Map



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING GENERAL APPLICATION*

Special Use for _____ Rezoning from _____ to _____

Variation: Commercial Residential Sign

Plat (Subdivision & Others): Preliminary Final

Site Plan: Amendment Concept Preliminary Final

Master Sign Plan: Amendment

Other: _____

*** ADDENDUM MATERIALS ARE REQUIRED FOR SPECIFIC REQUESTS**

Posting of Notification Sign(s) may be required.

Specific requirements will be provided when your request is scheduled.

FOR VILLAGE USE ONLY	
Hearing Fee _____	Check No. _____ Date Paid _____
Project Number: _____	
Staff Assigned: _____	
Meeting Date: _____	Public Hearing: Yes <input type="checkbox"/> No <input type="checkbox"/>
Sign Posting Required: Yes <input type="checkbox"/> No <input type="checkbox"/>	Date Sign Posted _____

PLEASE PRINT OR TYPE

Date: 05/12/2021

Project Name: Dunkin' Hoffman Estates

Project Description: Proposed drive-thru only Dunkin' on Huntington Plaza outlot

Project Address/Location: 1650 W Algonquin Rd, Hoffman Estates IL

Property Index No. _____

Acres: _____ Zoning District: B1

I. Owner of Record

<u>Mike Lampignano</u>		<u>Huntington Plaza Acquisition, LLC</u>
Name		Company
<u>501 S. Arthur Avenue</u>		<u>Arlington Heights</u>
Street Address		City
<u>IL</u>	<u>60005</u>	<u>847-394-0696</u>
State	Zip Code	Telephone Number
<u>847-394-0796</u>		<u>lampandson@sbcglobal.net</u>
Fax Number		E-Mail Address

II. Applicant (Contact Person/Project Manager)

<u>Eric Carlson</u>		<u>ECA Architects & Planners</u>
Name		Company
<u>24 N. Bennett St.</u>		<u>Geneva</u>
Street Address		City
<u>IL</u>	<u>60134</u>	<u>630-608-0501</u>
State	Zip Code	Telephone Number
		<u>eric@ecaarchitects.com</u>
Fax Number		E-Mail Address

Applicant's relationship to property: Architect of Record

III. Owner Consent for Authorized Representative

It is required that the property owner or his designated representative be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. **If the owner cannot be present at the meeting, the following statement must be signed by the owner:**

I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize Eric Carlson to act on my behalf and advise that he/she has full authority to act as my/our representative.

<u>Mike Lampignano</u>	<u>Mike Lampignano</u>
Owner Signature	Print Name

IV. Acknowledgement(s)

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

The Owner and Applicant, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature: Mike Lampignano

Owner's Name (Please Print): Mike Lampignano

Applicant's Signature: Eric Carlson
(If other than Owner)

Applicant's Name (Please Print): Eric Carlson

Date: 5/12/2021

All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.

Please contact the Planning Division (located in the Municipal Building) with any questions:

Email: planning@hoffmanestates.org
Address: 1900 Hassell Road
Hoffman Estates, IL 60169
Phone: (847) 781-2660
Fax: (847) 781-2679

Addendums Attached:

- | | |
|---|---|
| <input type="checkbox"/> Special Use | <input type="checkbox"/> Master Sign Plan |
| <input type="checkbox"/> Rezoning | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Variation | |
| <input type="checkbox"/> Plat | |
| <input checked="" type="checkbox"/> Site Plan | |



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION SITE PLAN ADDENDUM – NON-RESIDENTIAL

Amendment Concept Preliminary Final

I. DESCRIPTION OF PROJECT:

A. ATTACH A NARRATIVE FOR THE PROPOSED PROJECT ON A SEPARATE SHEET

- ✓ Article 10-6 of the Subdivision Code details the application process and required submittal documents. For relevant items, provide detailed information as part of the project narrative.

B. Total Number of Buildings: (1) one

C. Total Gross Floor Area: 800 square feet

D. Height of tallest building (including antennas, hvac, etc.): 17 feet

E. With respect to this project’s compatibility with adjacent land uses, address the following in the Project Narrative: Building Scale, architectural Materials, Coordinated Color Scheme, Existing and Planned Areas of Visual Interest, Design Concept and Relationship of Building Materials to one another.

F. Estimated start of construction: August 2021

G. Estimated time to complete development: 6 months
Attach a phasing schedule, if applicable.

H. Does the property contain flood plain lands or wetlands? Yes No
If yes, please address as part of the narrative.

I. Is there any historical or archeological significance to the existing structures or features of this site or the surrounding sites? Yes No
If yes, please address as part of the narrative.

J. Are there any endangered, threatened, or unique plants or animals located in or near the area? Yes No
If yes, please address as part of the narrative.

II. OPERATIONAL CONSIDERATIONS

A. Anticipated hours of operation: 4am am/pm to 11pm am/pm

B. Anticipated number of employees: 9 total 3 per shift 3 number of shifts

C. Estimated number of customers: 700 daily 70 peak hour

D. If there is any additional information about the proposed development or its operation that may affect the site development, address as part of the narrative.

III. FINANCIAL CONSIDERATIONS

A. Estimated annual gross sales of general merchandise subject to sales tax for this project (includes 1% local share of state tax and 1% home rule tax):

Gross Sales (General)		Tax Rate		General Sales Tax
	X	2%	=	\$

B. Estimated annual gross sales subject to food and beverage (F & B) tax for this project (food prepared on premises and alcoholic beverages consumed on premises). See article 13-7 of the Hoffman Estates Municipal Code for detailed definition:

Gross Sales (F & B)		Tax Rate		F & B Tax
1000000	X	2%	=	\$20000

C. Estimated Annual Hotel Tax: 365 Days X

Estimated Average Room Rate		Number of rooms		Occupancy Percentage		365 Days		Tax Rate		Hotel Tax
	X		X		X		X	6%	=	\$

D. Other tax/revenue:
(Entertainment tax = 6%, etc.)

		Rate		Tax
	X		=	\$

E. Estimated Annual Telecommunications (TC) Tax:

Estimated Yearly Phone Bill		Tax Rate		TC tax
	X	6%	=	\$

F. Current assessment of the property: _____

G. Estimated value of Construction: \$600,000

H. Will this project result in any unusual expenditure of public funds or requirements for public services in anyway? Yes No

If yes, please address as part of the narrative.

IV. TRAFFIC CONSIDERATIONS

A. Parking

1. Total number of parking spaces to be provided:

Employees: 4 Customers/Visitors: 1 Handicapped: 1 Total: 6

2. When is the peak parking period for this project?

6am to 10am.

3. Will this project share parking spaces with other businesses? Yes No

If yes, please address as part of the narrative.

B. Traffic

1. Estimated number of vehicles entering and exiting this site during the peak one hour period between 4:00 p.m. and 6:00 p.m. 50

2. Will there be any other peak traffic times for this project? Yes No

If yes, give the time(s) of day and traffic volume: 6am to 10am. 70 vehicles/hr

3. Will this project contain a drive through? Yes No

If yes, the project narrative should address order processing time, projected stacking demand, and other details to explain the operation.

C. Deliveries

1. The project plan submittal should include turning templates to show all routes to be used for making deliveries to and from site. Is this plan included? Yes No

2. How often will deliveries be made on site? Once a day for donuts. Once a week for Supplies

2. What is the frequency and time period expected for deliveries? Donuts - 3am-4am. Supplies - 11am-3pm

3. What is the largest delivery vehicle to be used and its size?

Vehicle Type	Size	check	
Single Unit truck	30 ft.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Intermediate Semitrailer	50 ft.	<input type="checkbox"/>	<input type="checkbox"/>
Large Semitrailer	55 ft.	<input type="checkbox"/>	<input type="checkbox"/>
Other		<input type="checkbox"/>	<input type="checkbox"/>

If the delivery truck used fits into the "Other" category, please specify type, size and turning radius: _____

- D.** Any additional site related traffic information not covered above? Yes No
If yes, please address as part of the narrative.

V. RECYCLING AND GREEN INITIATIVES

- A.** Article 9 of The Municipal Code of the Village of Hoffman Estates requires that businesses maintain an effective recycling program. Address any unique recycling plans as part of the project narrative.
- B.** The Village supports and promotes sustainability. Please address any planned green or sustainability initiatives as part of the narrative.
- C.** Do you anticipate submitting this project for LEED certification (or any other similar certifications)? Yes No
If yes, please address as part of the narrative.

VI. GENERAL CONSIDERATIONS

- A.** Please list examples of similar uses (including name and location) in the area that can be used for comparison by the Village:
1. Dunkin' - 2089 Barrington Rd, Hoffman Estates, IL
 2. Dunkin' - 2716 Sutton Rd, Hoffman Estates, IL
 3. Dunkin' - 1165 Barrington Rd, Hoffman Estates, IL
- B.** Will this project contain any noise generators that will adversely affect surrounding areas?
Yes No
If yes, please address as part of the narrative.

- C. Is there anything included in this project that may be sensitive to surrounding noise generators?
Yes No

If yes, please address as part of the narrative.

- D. Do you intend to apply for a liquor license? Yes No

If yes, please contact the Village Clerk's Office at 847.781.2625

- E. Will this project contain a cafeteria or food service area (in order to determine applicability of a sewer and water surcharge)? Yes No

If yes, please address as part of the narrative.

- F. In the project narrative, please list and explain anything involved in this project that is not covered in this application that should be brought to the Village's attention. Also address any rare or unusual circumstances or needs related to this project.

Please contact the Planning Division with any questions:

Email: planning@hoffmanestates.org
Address: 1900 Hassell Road
Hoffman Estates, IL 60169
Phone: 847.781.2660
Fax: 847.781.2679



12 May 2021

**APPLICATION FOR SITE PLAN ADDENDUM – NON-RESIDENTIAL
NARRATIVE**

To: Village of Hoffman Estates
c/o Planning Division

Subject Property Address: Part of LOT 3 – Huntington Plaza
1650 W Algonquin Rd, Hoffman Estates IL 60192

Proposed Project Narrative:

The proposed development will occupy a portion of the southwest corner of the Huntington Plaza shopping center – Lot 3. The concept site plans provided show the existing conditions, proposed site plan with new building location and parking, grading, stormwater, utilities plan(s), etc. The new drive-thru only Dunkin is a wood frame building of approximately 800 square feet. The building will follow Dunkin prototypical standards and will incorporate Village building and design requirements. The Dunkin drive-thru set up will include two (2) order lanes, as well as a walk-up window. Outdoor patio seating will be provided as shown. Six (6) new parking spaces will be provided, including one (1) handicap accessible parking space. A new private trash enclosure will be provided on site.



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING GENERAL APPLICATION*

Special Use for _____ Rezoning from _____ to _____

Variation: Commercial Residential Sign

Plat (*Subdivision & Others*): Preliminary Final

Site Plan: Amendment Concept Preliminary Final

Master Sign Plan: Amendment

Other: _____

*** ADDENDUM MATERIALS ARE REQUIRED FOR SPECIFIC REQUESTS**

Posting of Notification Sign(s) may be required.

Specific requirements will be provided when your request is scheduled.

FOR VILLAGE USE ONLY

Hearing Fee _____ Check No. _____ Date Paid _____

Project Number: _____

Staff Assigned: _____

Meeting Date: _____ Public Hearing: Yes No

Sign Posting Required: Yes No Date Sign Posted _____

PLEASE PRINT OR TYPE

Date: 08/11/2021

Project Name: Dunkin' Hoffman Estates

Project Description: Proposed drive-thru only Dunkin' on Huntington Plaza outlot

Project Address/Location: 1650 W Algonquin Rd, Hoffman Estates

Property Index No. _____

Acres: _____ Zoning District: B1

I. Owner of Record

Mike Lampignano		Huntington Plaza Acquisition, LLC
Name		Company
501 S Arthur Avenue		Arlington Heights
Street Address		City
IL	60005	847-394-0696
State	Zip Code	Telephone Number
847-394-0796		lampandson@sbcglobal.net
Fax Number		E-Mail Address

II. Applicant (Contact Person/Project Manager)

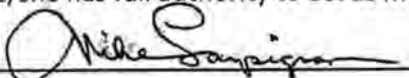
Eric Carlson		ECA Architects & Planners
Name		Company
24 N Bennett St		Geneva
Street Address		City
IL	60134	630-608-0501
State	Zip Code	Telephone Number
		eric@ecaarchitects.com
Fax Number		E-Mail Address

Applicant's relationship to property: Architect of Record

III. Owner Consent for Authorized Representative

It is required that the property owner or his designated representative be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. **If the owner cannot be present at the meeting, the following statement must be signed by the owner:**

I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize Eric Carlson | ECA Architects & Planners to act on my behalf and advise that he/she has full authority to act as my/our representative.



Owner Signature

Mike Lampignano

Print Name

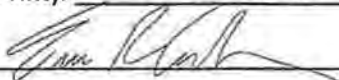
IV. Acknowledgement(s)

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

The Owner and Applicant, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature: 

Owner's Name (Please Print): Mike Lampignano

Applicant's Signature: 
(If other than Owner)

Applicant's Name (Please Print): Eric Carlson

Date: 08/11/2021

All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.

Please contact the Planning Division (located in the Municipal Building) with any questions:

Email: planning@hoffmanestates.org
Address: 1900 Hassell Road
Hoffman Estates, IL 60169
Phone: (847) 781-2660
Fax: (847) 781-2679

Addendums Attached:

- | | |
|--------------------------------------|--|
| <input type="checkbox"/> Special Use | <input checked="" type="checkbox"/> Master Sign Plan |
| <input type="checkbox"/> Rezoning | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Variation | |
| <input type="checkbox"/> Plat | |
| <input type="checkbox"/> Site Plan | |



8 August 2021

APPLICATION FOR MASTER SIGN PLAN ADDENDUM

To: Village of Hoffman Estates
c/o Planning Division

Subject Property Address: Part of LOT 3 – Huntington Plaza
1650 W Algonquin Rd, Hoffman Estates IL 60192

Legal Description: Lot 3 in Huntington Plaza being a subdivision of part of the west 1/2 of the northwest 1/4 of section 30, township 42 north, range 10, east of the third principal meridian, according to the plat of subdivision recorded July 24, 1987 as document 87407887, in Cook County, Illinois.

NARRATIVE

Proposed Project Narrative:

The proposed development will occupy a portion of the southwest corner of the Huntington Plaza shopping center – Lot 3. The concept site plan, elevations, accompanying specifications, and supporting documentation provided show the proposed signage locations, sizes, material(s), and method of illumination.

WRITTEN RESPONSE

It is the opinion of ECA that the proposed Master Sign Plan Addendum as submitted sufficiently addresses each of the following standards set forth by the Village Board of Trustees.

- 1) Result in architecture and graphics of a scale appropriate for the subject development and the surrounding area
 - ***The proposed 800 sf Dunkin' drive-thru only restaurant is of appropriate scale relative to the surrounding area; the number of graphics is appropriate to the size of the building and site.***
- 2) Provide a signage consistent with the site plan and architecture of the project
 - ***The proposed signage is in keeping with the current corporate Dunkin' site planning and design standards.***
- 3) Avoid visual clutter
 - ***The aforementioned Dunkin' sign standards avoid visual clutter by keeping to a limited and selective color palette located for optimal visibility. This provides for a cleaner look and overall design aesthetic.***
- 4) Allow visitors, employees, and customers to readily identify the business entrances, while addressing the community's need for attractive, unobtrusive architecture and commercial graphics
 - ***The proposed Dunkin' combines form (of design) and function, providing distinct yet homogeneous design for customers and employees alike. All site signage is located as needed to safely navigate through the property and entrances.***
- 5) Result in a unified theme of signage for the project.
 - ***The proposed signage is in keeping with the current corporate Dunkin' site planning and design standards. All signs are similar in color and materials.***

Building Sign #1A

DD LED ILLUMINATED CHANNEL LETTERS
SCALE: N.T.S.

ORANGE "DNKN" CROSS SECTION
SCALE: N.T.S.

PINK APOSTROPHE (') CROSS SECTION
SCALE: N.T.S.

1. 3/16" ALUMINUM RETAINS PAINTED TO MATCH PMS 190C
2. 1/8" GAP TO MATCH JUNCTIONS TO 1/8" SPACER
3. 3/16" ALUMINUM BACKING
4. 24" TETRA 8087 (5000K) LEDS
5. 1/8" SILICONE GLASS/PCIT COUPLANT
6. REMOVE POWER SUPPLY AS REQUIRED
7. DRAWING HOLE AS REQUIRED
8. MOUNTING HARDWARE AS DETERMINED BY SITE CONDITIONS
9. 26" ALUMINUM DISK PAINTED WHITE (PMS 111M)
10. 24" 1/16" WHITE ACRYLIC FACE
11. 24" #220-2125 DUNKIN' ORANGE TRANSLUCENT FILM (31 SURFACE
12. 24" #220-2125 DUNKIN' PINK TRANSLUCENT FILM (31 SURFACE

ADDITIONAL NOTES:
ARTWORK FOR: DUNKIN' SALES DISPLAY
CHANNEL LETTER NOT PAINTED REFLECTIVE WHITE
3/16" HOLE: 1/8" DIA. 7/16" DIA. 1/8" DIA.
Q.L. 03/12/12
LET'S TO BE POPULATED FOR EVEN AND CONSISTENT LIGHTING WITHOUT HOT SPOTS OR SHADOWS

SIZE	W	H	D
SMALL	36"	36"	3/16"
MEDIUM	48"	33.25"	1/8"
LARGE	60"	30.5"	1/4"
CL-820W			

ITEM	DESCRIPTION	QTY	UNIT PRICE
1	3/16" ALUMINUM RETAINS PAINTED TO MATCH PMS 190C	24	\$1.23
2	1/8" GAP TO MATCH JUNCTIONS TO 1/8" SPACER	24	\$1.23
3	3/16" ALUMINUM BACKING	24	\$1.23
4	24" TETRA 8087 (5000K) LEDS	24	\$1.23
5	1/8" SILICONE GLASS/PCIT COUPLANT	24	\$1.23
6	REMOVE POWER SUPPLY AS REQUIRED	24	\$1.23
7	DRAWING HOLE AS REQUIRED	24	\$1.23
8	MOUNTING HARDWARE AS DETERMINED BY SITE CONDITIONS	24	\$1.23
9	26" ALUMINUM DISK PAINTED WHITE (PMS 111M)	24	\$1.23
10	24" 1/16" WHITE ACRYLIC FACE	24	\$1.23
11	24" #220-2125 DUNKIN' ORANGE TRANSLUCENT FILM (31 SURFACE	24	\$1.23
12	24" #220-2125 DUNKIN' PINK TRANSLUCENT FILM (31 SURFACE	24	\$1.23

DD BUILDING & SITE SIGNAGE
"DNKN" CHANNEL SIGN

DATE: 06/25/2008 REV: 405
DUNKIN' SALES DISPLAY CONSTRUCTION SERVICES

DD-BS-08

THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN MATERIALS AND MANUFACTURING, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWINGS.

- Location:** East (front) & rear (west) elevations
- Size:** 5'-7" W x 8'-0" H (overall)
- Material:** 3/16" thick white acrylic face w/ Dunkin' orange or pink translucent film
- Illumination:** Internally LED illuminated

Building Sign #2A

1 1/2" x 1/2" ALUMINUM RETURN FINISHED TO MATCH FINISH (FACED)
2 1" TRIM CAP TO MATCH DUNKIN' LOGO (TO BRONZE)
3 3/8" ALUMINUM BACKING
4 6" TYPICAL LED LIGHTING (LED'S) (OR OR REPLACEMENT EQUIVALENT)
5 ELECTRICAL POWER SUPPLY AS REQUIRED
6 ORANGE/ PINK AS REQUIRED
7 MOUNTING HARDWARE, AS DETERMINED BY SITE CONDITIONS
8 3/8" ALUMINUM FINISH (PAINTED TO WHITE) (REQUIRED 1/2")
9 3/16" THICK WHITE ACRYLIC FACE
10 3/16" x 3/16" x 1/2" DUNKIN' ORANGE TRANSLUCENT FILM (SEE SURFACE)
11 3/16" x 3/16" x 1/2" DUNKIN' PINK TRANSLUCENT FILM (SEE SURFACE)

ADDITIONAL NOTE:
 ARTWORK FOR: DUNKIN' SIGN DISPLAY
 CHANNEL LETTERS FINISH PAINTED WITH COLOR WHITE
 ELECTRICAL: (1) 20 AMP / 120 VOLT CIRCUIT
 U.L. LISTED
 LEADS TO BE POPULATED FOR EVEN AND CONSISTENT LIGHTING WITHOUT HOT SPOTS OR SHADOWS

TYPE	W	H	D
SMALL	18"	100.00"	12.00"
MEDIUM	24"	133.75"	32.00"
LARGE	30"	167.50"	34.00"
CUSTOM			

TYPE	W	H	D
SMALL	18"	100.00"	12.00"
MEDIUM	24"	133.75"	32.00"
LARGE	30"	167.50"	34.00"
CUSTOM			

ORANGE "DUNKIN'" CROSS SECTION
SCALE: N.T.S.

PINK APOSTROPHE (') CROSS SECTION
SCALE: N.T.S.

DD BUILDING & SITE SIGNAGE
"DUNKIN'" CHANNEL SIGN

DATE: 06.26.2020 REV: 005
 DUNKIN' BRANDS INC.
 CONSTRUCTION SIGNAGE

DD-BS-01

dunkin'
BRONZE

THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES THE FILED PRINTS PRODUCED MAY DIFFER SLIGHTLY FROM DIMENSIONS.

Location: South (side) elevation

Size: 14'-0" W x 4'-4" H (overall)

Material: 3/16" thick white acrylic face w/ Dunkin' orange or pink translucent film

Illumination: Internally LED illuminated

Building Sign #1B, #2B

DRIVE THRU LED ILLUMINATED CHANNEL LETTERS
SCALE: N.T.S.

PINK "DRIVE THRU" CROSS SECTION
SCALE: N.T.S.

1. 60" x 9" ALUMINUM RETURNS PAINTED TO MATCH PMS 760C
2. 1" FRM GAP TO MATCH JEWELITE 313 BRONZE
3. 3/32" ALUMINUM BANDING
4. GE TETRA MAX 7100K WHITE LEDS
(TO BE REPLACED BY DUNKIN')
5. REMOVE POWER SUPPLY AS REQUIRED
6. DRILL HOLES AS REQUIRED
7. MOUNTING HARDWARE AS DETERMINED BY THE CONTRACTOR
8. 3/16" THICK WHITE ACRYLIC FACE
9. 3M 4520-1376 GRAY 1/4" x 1/4" TRANSLUCENT FILM 131 SURFACE

ADDITIONAL NOTES:
ARTWORK FOR: DUNKIN' BAKED DELI
CHANNEL LETTER INTERIOR PAINTED REFLECTIVE WHITE
ELECTRICAL: (1) 20AMP 110VOLT CIRCUIT
UL LISTED
LEDS TO BE POPULATED FOR EVEN AND CONSISTENT LIGHTING WITHOUT HOT SPOTS OR SHADOWS

SIZE	12"	47 1/2"	6 1/2"
SMALL	12"	47 1/2"	6 1/2"
MEDIUM	18"	69"	9 1/2"
LARGE	24"	94 1/2"	12 1/2"
COLOR			

ITEM	QTY	PRICE
3M 4520-1376 GRAY 1/4" x 1/4" TRANSLUCENT FILM 131 SURFACE	1	\$1.23
3M 4520-1376	1	\$1.23
3M 4520-1376	1	\$1.23
3M 4520-1376	1	\$1.23
3M 4520-1376	1	\$1.23

DD BUILDING & SITE SIGNAGE
"DRIVE THRU" CHANNEL SIGN

DATE: 06/26/2008 REV: 005
DUNKIN' BRAND LLC
CONSTRUCTION SERVICES

DD-BS-DT-01

dunkin'
BRAND LLC

THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES THE END USER SHOULD ALWAYS REFER TO THE ORIGINAL DRAWINGS.

- Location:** East (front), side (south), and rear (west) elevation
- Size:** Varies – See Building Sign #1A and Building Sign #2A
- Material:** 3/16" thick white acrylic face w/ Dunkin' pink translucent film
- Illumination:** Internally LED illuminated

Building Sign #3

Note – Map of continental US to be used in place of the map of Massachusetts

The drawing shows two views of a sign: a front elevation and a side elevation. The front elevation shows a sign with a width of W1 and a height of H1. It features a pink city name, a running man logo, and the word 'DUNKIN'' in orange letters. The side elevation shows a width of W2 and a height of H2. Dimensions are provided for various parts of the sign, including letter heights and spacings. Below the main drawings are two detailed cross-sections: one for the pink city name, running man, and apostrophe (') and another for the orange 'DUNKIN'' letters. Both cross-sections are shown at a 1/2" scale. A table on the right side of the drawing provides material and finish specifications for different sign sizes. At the bottom of the drawing, there is a title block with the project name 'DD BUILDING & SITE SIGNAGE', a description 'STACKED OR HORIZONTAL REBUS CHANNEL SIGN', and a drawing number 'DD-BS-04'. The drawing is dated 08.17.2014 and is the work of Dunkin' Brands Inc. Construction Services.

1. 3/4" ROUTED PVC LETTERS
2. MOUNTING STUDS AS REQUIRED PER SITE CONDITIONS. LETTERS SHOULD BE FINISHED WITH AT LEAST A 1/2" SPACING BETWEEN BACK OF LETTER / MAN AND MOUNTING SURFACE
3. ROUND PVC DISK PAINTED ORANGE PAINT (REVISED '15)
4. "DUNKIN" LETTERS FACED A RET-JANE PAINTED ORANGE PAINT (AG C)
5. MAN, MAN, AND APOSTROPHE (') FACED A RET-JANE PAINTED PINK PAINT (AG C)

ADDITIONAL NOTES:
ARTWORK FONT: DUNKIN SAME DISPLAY
LETTERS SHOULD BE FINISHED WITH AT LEAST A 1/2" SPACING BETWEEN BACK OF LETTER / MAN AND MOUNTING SURFACE
DESIGN PROPOSAL REQUIRES FINAL APPROVAL FROM DESIGNER BEFORE FABRICATION.
STATE MAP OF MASSACHUSETTS SHOWN FOR REFERENCE. ARTWORK OF ALL DUNKIN' MARKET STATE MAPS AVAILABLE ON REQUEST.

SIZE	THICKNESS	HEIGHT	WIDTH	FINISH	SPACING
SMALL	24.25"	15.25"	1"	50.25"	VARIABLE
MEDIUM	24.25"	15.25"	1 1/2"	50.25"	VARIABLE
LARGE	24.25"	17"	1 1/2"	50.25"	VARIABLE
CUSTOM					

SIZE	HEIGHT	WIDTH	FINISH
SMALL	8"	50.25"	VARIABLE
MEDIUM	10"	50.25"	VARIABLE
LARGE	12"	50.25"	VARIABLE

FINISHES:

FINISH	PRODUCT	MANUFACTURER
ORANGE	ORANGE	3M 4380-3125
PINK	PINK	3M 4380-1279
RET-JANE	RET-JANE	3M 47725-41

FINISH OF: BACKGROUND WHITE **BY: 7203**

DD BUILDING & SITE SIGNAGE
STACKED OR HORIZONTAL REBUS CHANNEL SIGN

DD-BS-04

08.17.2014 **08.17.2014**
DUNKIN' BRANDS INC.
CONSTRUCTION SERVICES

THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRODUCT SPECIFICATIONS AND SUBSTRATES THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWINGS.

- Location:** North (side) elevation
- Size:** 7'-3" W x 3'-0" H (overall)
- Material:** 3/4" thick routed PVC painted Dunkin' orange or pink
- Illumination:** Externally illuminated – goose neck light fixtures above

Directional Signs

LED ILLUMINATED DIRECTIONAL SIGN (SIDE A)
SCALE: N.T.S.

LED ILLUMINATED DIRECTIONAL SIGN (SIDE C)
SCALE: N.T.S.

LED ILLUMINATED DIRECTIONAL SIGN (SIDE B)
SCALE: N.T.S.

Materials List:

- 0.5" 1"x1" ALUMINUM SPACE FRAME
- 1"x4" ALUMINUM R-1200119
- 1"x4" 1"x1" ALUMINUM ANGLE
- 4"x4"x 20' SQUARE TUBE SUPPORT PAINTED ORANGE FIN 190 C
- DETACHED MIN 7' FOR WHITE LED'S AS REQUIRED OR BE REPLACEMENT SOLARITY
- 1/16" POLY M SIGNLET'S AS REQUIRED
- 1/4" CLEAR SOLAR GRADE POLYCARBONATE FACE 2ND SURFACE
- BACKGROUN COLOR TO BE ALL WHITE BACK-PLAY
- 3M 42620 3123 DUNKIN' ORANGE TRANSLUCENT FILM 2ND SURFACE
- 3M 42620 1319 DUNKIN' PINK TRANSLUCENT FILM 2ND SURFACE
- 3M 42620 1319 DUNKIN' GRAY TRANSLUCENT FILM 2ND SURFACE

ADDITIONAL NOTES:

- OPTIONAL FONT - DUNKIN' SIGN DISPLAY
- EXTERIOR FINISH - PAINT PANTONE 7540C
- INTERIOR FINISH - PAINT REFLECTIVE WHITE
- RETAINERS / FACE REMOVABLE FOR SERVICE ACCESS
- DIRECT BURRY INSTALLATION PER CODE
- (1) 20 AMP 120 VOLT CIRCUIT
- D1: 1/8" STD

ALL	12"	30"	5"	5.75"
(1) 1/8" STD				
1/2" CLEAR POLYCARBONATE	3M 42620 3123			
1/4" CLEAR POLYCARBONATE	3M 42620 1319			
PAINT FINISH - DUNKIN' ORANGE	3M 42620 1319			
PAINT FINISH - DUNKIN' PINK	3M 42620 1319			
PAINT FINISH - DUNKIN' GRAY	3M 42620 1319			
FINISH - 1/8" STD	3M 42620 1319			

Sign Panel Grid:

A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R
DO NOT ENTER	DO NOT ENTER	DO NOT ENTER	DRIVE THRU	DRIVE THRU	DUNKIN'	DUNKIN'	DRIVE THRU	DRIVE THRU	DRIVE THRU	DRIVE THRU	ENTER	EXIT	WELCOME BACK	DO NOT ENTER	SEE YOU SOON		

DD BUILDING & SITE SIGNAGE
DIRECTIONAL SIGNS

DD-SS-DS-01

Location: Refer to site plan

Size: POST – 34 1/2" W x 58" H
FLAG – 30 1/2" W x 13" H

Material: POST – 4x4 tube steel
FRAME & RETAINER – Aluminum
FLAG – Clear solar grade polycarbonate face w/ Dunkin' orange, pink, or gray translucent film

Illumination: Internally LED illuminated

Monument Sign

LED ILLUMINATED HORIZONTAL PYLON SIGN (SIDE A & SIDE B)
SCALE: N.T.S.

LED ILLUMINATED HORIZONTAL PYLON SIGN (SIDE C)
SCALE: N.T.S.

ADDITIONAL NOTES:

1. ALUMINUM ANGLE FRAME CONSTRUCTION
2. OF ALUMINUM
3. ALUMINUM PERMANENT ACCENT
4. GETTER MAXIMUM WHITE LEADS, AS REQUIRED (SEE 10 PLACEMENT EQUIPMENT)
5. INTERNAL POWER SUPPLY, AS REQUIRED
6. INTERNAL CIRCUITRY: SWITCH
7. SUPPORT TUBE
8. ALUMINUM CHANNEL, REVEAL
9. FACE STUB: 1/4" (1.3) X 1/4" (1.3) X 1/4" (1.3) X 1/4" (1.3)
10. "DUNKIN'" LETTERS TO BE ENGRAVED
11. REGISTERS 2" (51.4) AND "DRIVE THRU" TO BE FLAT GRAPHIC
12. BACKGROUND COLOR AND WHITE BACK SPRAY
13. 3M 8000-1020 DUNKIN' PINK TRANSLUCENT FILM 2ND SURFACE
14. 3M 8000-1020 DUNKIN' PINK TRANSLUCENT FILM 2ND SURFACE
15. 3M 8000-1020 DUNKIN' PINK TRANSLUCENT FILM 2ND SURFACE

ADDITIONAL NOTES:

ARTWORK FONT: DUNKIN' SAVE DISPLAY
EXTERIOR FINISH: PAINT PANTONE 7540C
MILK MOCHA FINISH: PAINTED WHITE
ACCENT FINISH: 1/4" CORNER WRITERS: PAINT PANTONE 7540C
REVEAL AND PALE COVER FINISH: PAINT PANTONE 7540C
SIGNS REMOVABLE FOR SERVICE ACCESS
BASE MOUNT INSTALLATION
ELECTRICAL: (1) 20 AMP, 120 VOLT CIRCUIT
PERMITS: ANGLE: 1" (25.4) X 1/4" (6.35) U.L. LISTED

SIZE	W	H	W	H	W	H
SMALL	60"	33 1/4"	29 1/2"	72"	60"	33 1/4"
MEDIUM	79"	42 1/2"	38 1/2"	88 1/2"	79"	42 1/2"
LARGE	90"	53 1/2"	49 1/2"	100"	90"	53 1/2"
CUSTOM	-	-	-	-	-	-

DD BUILDING & SITE SIGNAGE
MONUMENT SIGN

DD-SS-PS-03

DD-SS-PS-03

Location: Refer to site plan

Size: 90" W x 53 1/4" H (overall)

Material: FRAMING & SUPPORT TUBE – Aluminum
SIGN – Flat clear solar grade polycarbonate with Dunkin' orange or pink translucent film

Illumination: Internally LED illuminated

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning and Zoning Commission of the Village of Hoffman Estates will hold a public hearing to consider a request for a Master Sign Plan in accordance with Section 9-3-8-M-13 of the Zoning Code for the outlot property adjacent to 1600 – 1650 W. Algonquin Road (Huntington Plaza). A Site Plan Amendment is also being requested. The Petitioner of this request is Huntington Plaza Acquisition, LLC.

**P.I.N.: 02-30-100-018-0000
02-30-100-017-0000**

The hearing will be held on Wednesday, September 15, 2021, at 7:00 p.m. in the Hoffman Estates Municipal Building, 1900 Hassell Road, Hoffman Estates, IL.

Eva Combs, Chairperson
Planning and Zoning Commission

To be published by Paddock Publications on Tuesday, August 31, 2021.



Exhibit A

1600-1650 Algonquin Road - Huntington Plaza - Outlot

P.I.N.: 02-30-100-018-000 & 02-30-100-017-0000

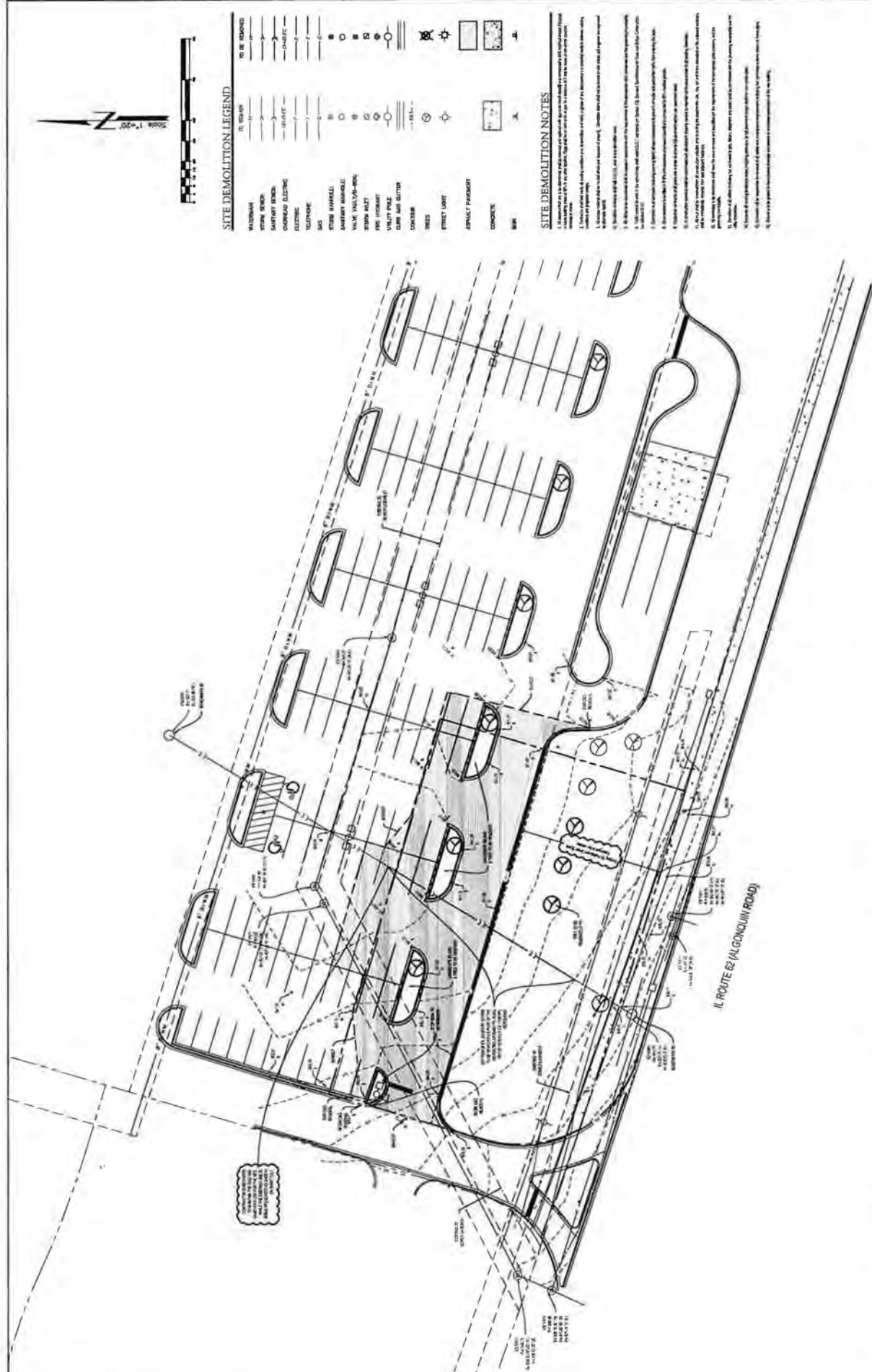


Legend

-  Subject Property
-  Parcel



Planning and Transportation Division
The Village of Hoffman Estates
September 2021



SITE DEMOLITION LEGEND

- | | |
|--|------------------|
| | TO BE DEMOLISHED |
| | TO REMAIN |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

SITE DEMOLITION NOTES

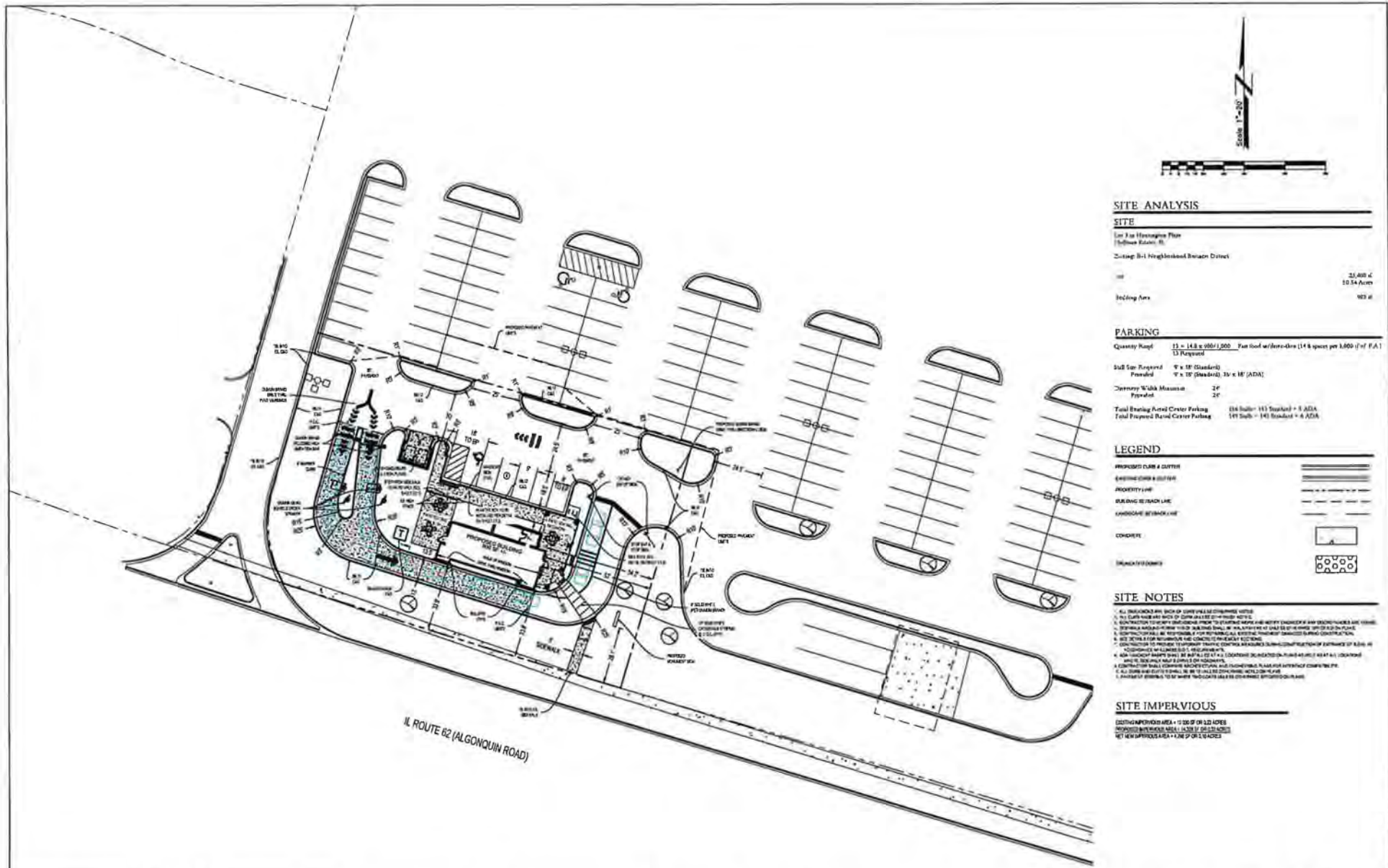
1. Demolition of the structure shall be in accordance with the provisions of the Uniform Fire Code, Section 103.10, and the provisions of the International Building Code, Section 103.10.1, and the provisions of the International Fire Code, Section 103.10.1.1.
2. Demolition shall be in accordance with the provisions of the International Fire Code, Section 103.10.1.1, and the provisions of the International Building Code, Section 103.10.1.1.
3. Demolition shall be in accordance with the provisions of the International Fire Code, Section 103.10.1.1, and the provisions of the International Building Code, Section 103.10.1.1.
4. Demolition shall be in accordance with the provisions of the International Fire Code, Section 103.10.1.1, and the provisions of the International Building Code, Section 103.10.1.1.
5. Demolition shall be in accordance with the provisions of the International Fire Code, Section 103.10.1.1, and the provisions of the International Building Code, Section 103.10.1.1.
6. Demolition shall be in accordance with the provisions of the International Fire Code, Section 103.10.1.1, and the provisions of the International Building Code, Section 103.10.1.1.
7. Demolition shall be in accordance with the provisions of the International Fire Code, Section 103.10.1.1, and the provisions of the International Building Code, Section 103.10.1.1.
8. Demolition shall be in accordance with the provisions of the International Fire Code, Section 103.10.1.1, and the provisions of the International Building Code, Section 103.10.1.1.
9. Demolition shall be in accordance with the provisions of the International Fire Code, Section 103.10.1.1, and the provisions of the International Building Code, Section 103.10.1.1.
10. Demolition shall be in accordance with the provisions of the International Fire Code, Section 103.10.1.1, and the provisions of the International Building Code, Section 103.10.1.1.

Craig R. Knoche & Associates
Civil Engineers, P.C.
 1000 N. Wacker Drive, Suite 1000
 Chicago, IL 60606
 Phone: (312) 467-1000
 Fax: (312) 467-1001
 Website: www.craigknoche.com

DUNKIN' DONUTS
HUNTINGTON PLAZA
HOFFMAN ESTATES, ILLINOIS

EXISTING CONDITIONS
& DEMOLITION PLAN

NO.	DATE	DESCRIPTION



SITE ANALYSIS

SITE

Lot 3 in Historic Plan
 Hoffman Estates, IL
 Zoning: B-1 Neighborhood Business District
 Area: 23,400 sq ft
 Total Area: 20.14 Acres
 Existing Area: 923 sq ft

PARKING

Quantity Required: 148 = 148 x 900 / 1,000 (Per Code w/ 10% Buffer) (14 ft spaces per 1,000 sq ft of P.A.)
 13 Required
 50 ft x 10 ft (Standard)
 9 x 10 (Standard)
 9 x 10 (Standard) 13 x 18 (ADA)
 2 x 10 (Standard)
 2 x 10 (Standard)
 Total Existing Area Center Parking: 134 (100 - 155 Standard) = 8 ADA
 Total Proposed Retail Center Parking: 141 (100 - 141 Standard) = 8 ADA

LEGEND

- PROPOSED CURB & CURTIN
- EXISTING CURB & CURTIN
- PROPERTY LINE
- BUILDING SETBACK LINE
- LANDSCAPE SETBACK LINE
- CONCRETE
- LANDSCAPE PLANTING

SITE NOTES

1. ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED.
2. ALL CURBS SHALL BE 4" HIGH UNLESS OTHERWISE NOTED.
3. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HOFFMAN ESTATES, ILLINOIS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HOFFMAN ESTATES, ILLINOIS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HOFFMAN ESTATES, ILLINOIS.
7. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
8. ALL DIMENSIONS SHALL BE IN FEET UNLESS OTHERWISE NOTED.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HOFFMAN ESTATES, ILLINOIS.
10. ALL DIMENSIONS SHALL BE IN FEET UNLESS OTHERWISE NOTED.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HOFFMAN ESTATES, ILLINOIS.

SITE IMPERVIOUS

EXISTING IMPERVIOUS AREA = 11,200 SF OR 0.22 ACRES
 PROPOSED IMPERVIOUS AREA = 14,200 SF OR 0.28 ACRES
 NET IMPERVIOUS AREA = 1,000 SF OR 0.02 ACRES

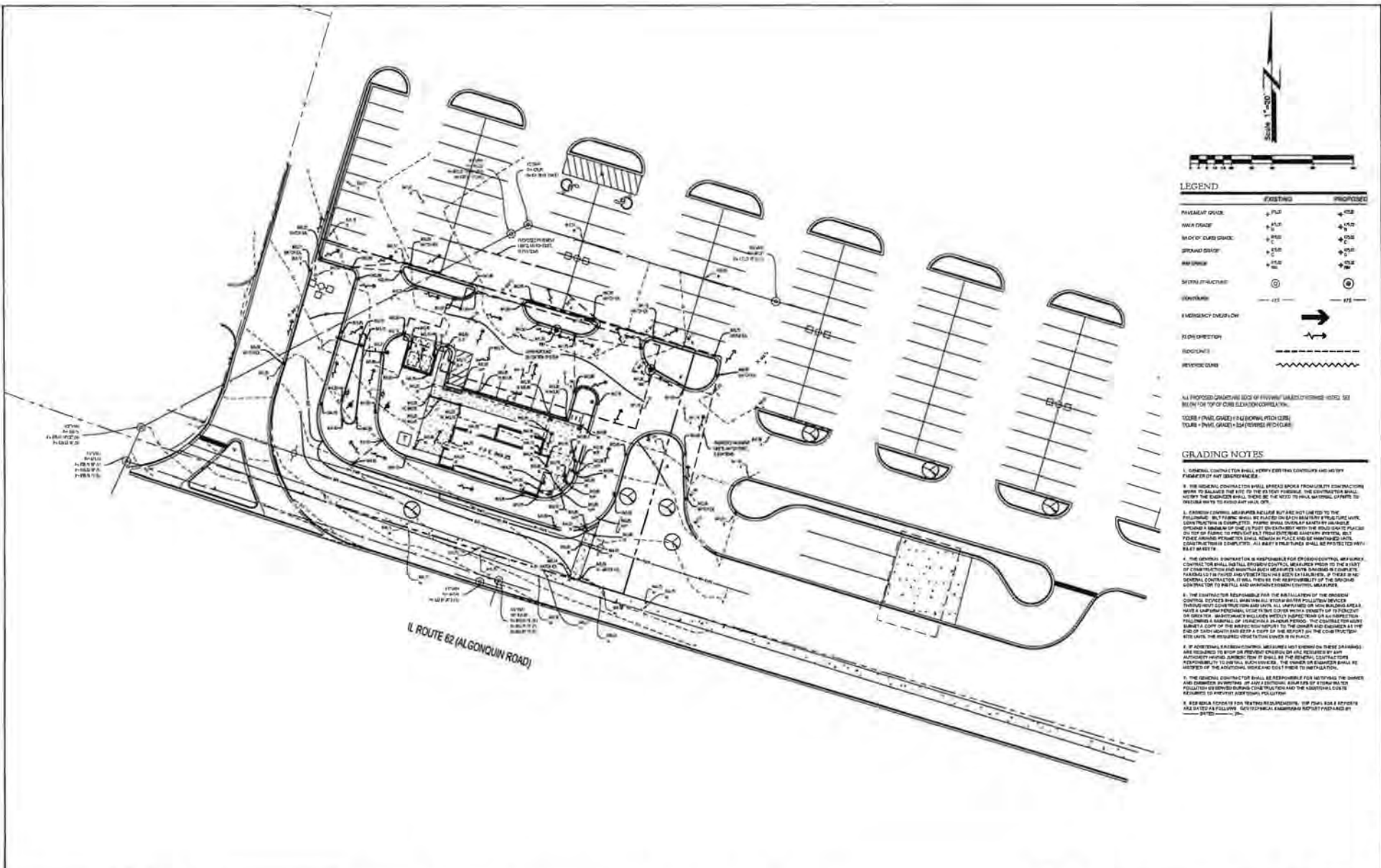
REVISIONS	
NO.	DESCRIPTION
1	ISSUE FOR PERMITS
2	ISSUE FOR PERMITS
3	ISSUE FOR PERMITS
4	ISSUE FOR PERMITS
5	ISSUE FOR PERMITS
6	ISSUE FOR PERMITS
7	ISSUE FOR PERMITS
8	ISSUE FOR PERMITS
9	ISSUE FOR PERMITS
10	ISSUE FOR PERMITS

SITE PLAN

**DUNKIN' DONUTS
 HUNTINGTON PLAZA
 HOFFMAN ESTATES, ILLINOIS**

Craig R. Knoche & Associates
 Civil Engineers, P.C.
 21101 S. ALTON ROAD, SUITE 100, HOFFMAN ESTATES, ILLINOIS 60169
 PHONE: 815-321-9121 FAX: 815-321-9122
 WWW: WWW.CRAIGRKNOCHE.COM
 DATE: 4/29/21
 SHEET: 21-012 C10
 OF: 21-011
C1.1
 SHEET NO.

DUNKIN' DONUTS HOFFMAN ESTATES, ILLINOIS



LEGEND

	EXISTING	PROPOSED
PAVEMENT GRADE	+ PLS	+ PSP
RAW GRADE	+ SLS	+ SPS
WORK OF CURB GRADE	+ CGL	+ CGL
SPREAD GRADE	+ SGL	+ SGL
PAVEMENT	+ PLS	+ PLS
STRUCTURE	⊙	⊙
STRUCTURE	⊙	⊙
EMERGENCY OVERFLOW	→	→
FLOW DIRECTION	→	→
BOUNDARY	---	---
REVERSE CURVE	~	~

ALL PROPOSED GRADES WILL BE IN FEET UNLESS OTHERWISE NOTED. SEE BELOW FOR TOP OF CURB ELEVATION CORRELATIONS.
 YEARS + PAVE. GRADE + 54 SEASONAL SWATH CURVE
 YEARS + PAVE. GRADE + 524 SEASONAL SWATH CURVE

- GRADING NOTES**
1. GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND VERIFY DIMENSIONS OF ANY DISCREPANCIES.
 2. THE GENERAL CONTRACTOR SHALL VERIFY GRADE FROM SURVEY DATA. CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DATA. THE CONTRACTOR SHALL VERIFY THE EXISTING GRADE. THERE BE THE NEED TO PAVE MATERIAL OF PURE TO DISCREPANCY TO EXISTING GRADE.
 3. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION. MULCHING SHALL BE PLACED ON EXPOSED SOILS IMMEDIATELY AFTER CONSTRUCTION. MULCHING SHALL BE PLACED ON EXPOSED SOILS IMMEDIATELY AFTER CONSTRUCTION. MULCHING SHALL BE PLACED ON EXPOSED SOILS IMMEDIATELY AFTER CONSTRUCTION. MULCHING SHALL BE PLACED ON EXPOSED SOILS IMMEDIATELY AFTER CONSTRUCTION.
 4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL MEASURES. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN THEM THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DATA. THE CONTRACTOR SHALL VERIFY THE EXISTING GRADE. THERE BE THE NEED TO PAVE MATERIAL OF PURE TO DISCREPANCY TO EXISTING GRADE.
 5. THE CONTRACTOR RESPONSIBLE FOR THE INSTALLATION OF THE DRAINAGE SYSTEM SHALL BE RESPONSIBLE FOR THE INSTALLATION OF THE DRAINAGE SYSTEM. CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DATA. THE CONTRACTOR SHALL VERIFY THE EXISTING GRADE. THERE BE THE NEED TO PAVE MATERIAL OF PURE TO DISCREPANCY TO EXISTING GRADE.
 6. IF ADDITIONAL EROSION CONTROL MEASURES ARE NEEDED ON THESE SITES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF THE DRAINAGE SYSTEM. CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DATA. THE CONTRACTOR SHALL VERIFY THE EXISTING GRADE. THERE BE THE NEED TO PAVE MATERIAL OF PURE TO DISCREPANCY TO EXISTING GRADE.
 7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF THE DRAINAGE SYSTEM. CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DATA. THE CONTRACTOR SHALL VERIFY THE EXISTING GRADE. THERE BE THE NEED TO PAVE MATERIAL OF PURE TO DISCREPANCY TO EXISTING GRADE.
 8. SEE SHEET FOR THE DRAINAGE SYSTEM. CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DATA. THE CONTRACTOR SHALL VERIFY THE EXISTING GRADE. THERE BE THE NEED TO PAVE MATERIAL OF PURE TO DISCREPANCY TO EXISTING GRADE.

REVISIONS

NO.	DATE	DESCRIPTION	BY	CHK
1	1/23/21	ISSUE FOR PERMIT	ALC	ALC
2	1/23/21	ISSUE FOR PERMIT	ALC	ALC

GRADING PLAN

**DUNKIN' DONUTS
HUNTINGTON PLAZA
HOFFMAN ESTATES, ILLINOIS**

Craig R. Knoche & Associates, P.C.
 Civil Engineers, P.C.
 1430 West 11th Street • Des Plaines, IL 60018 • Phone: 708.441.1111 • Fax: 708.441.1112
 DATE: 1/23/21
 SHEET: 21-212-C10
 TOTAL SHEETS: 21-212-C10
 PROJECT: 21-212-C10

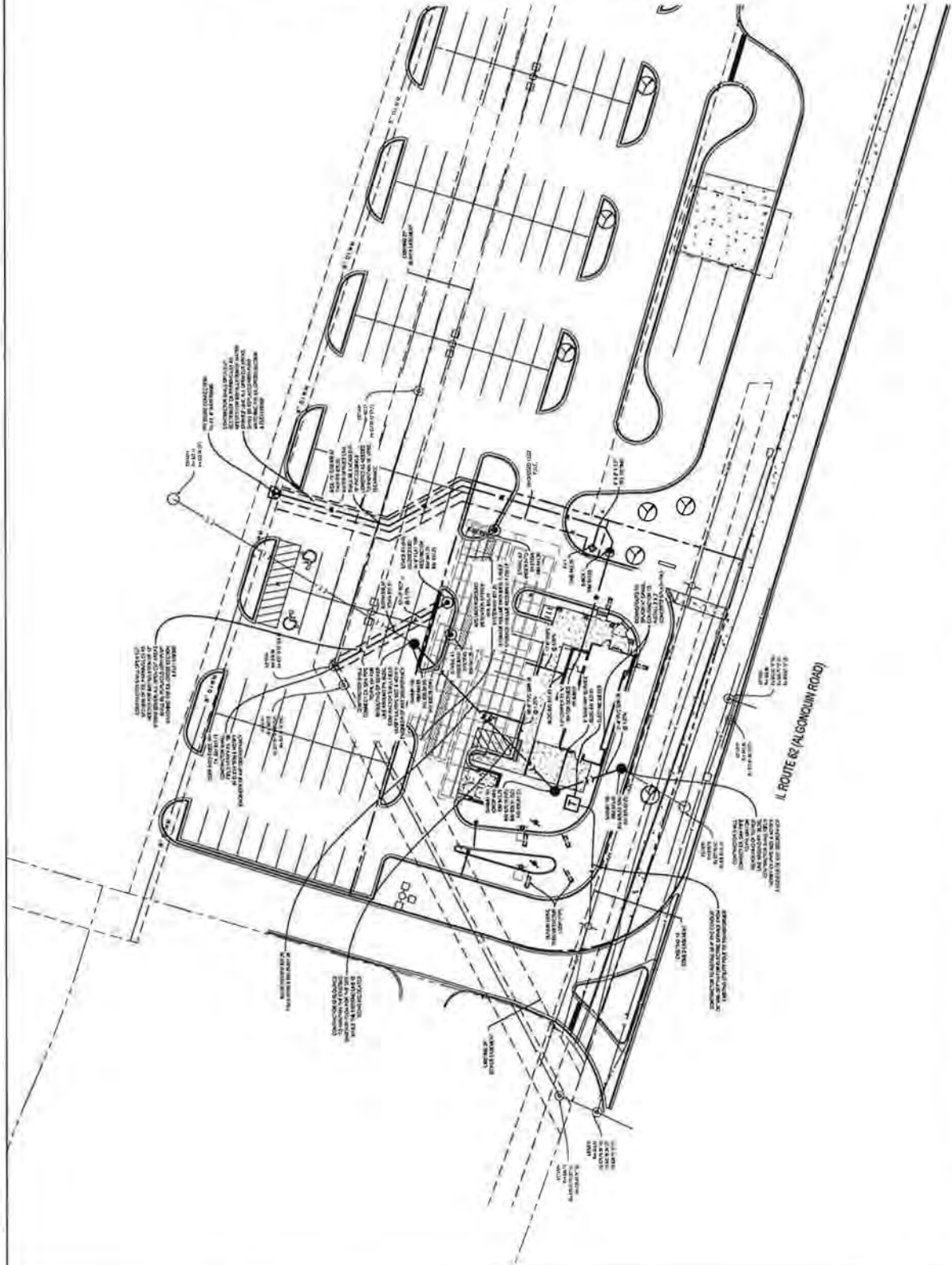


LEGEND

SYMBOL	DESCRIPTION
—	EXISTING UTILITY
- - -	PROPOSED UTILITY
○	EXISTING MANHOLE
○	PROPOSED MANHOLE
○	EXISTING VALVE
○	PROPOSED VALVE
○	EXISTING WATER METER
○	PROPOSED WATER METER
○	EXISTING GAS METER
○	PROPOSED GAS METER
○	EXISTING ELECTRICAL METER
○	PROPOSED ELECTRICAL METER
○	EXISTING TELEPHONE METER
○	PROPOSED TELEPHONE METER
○	EXISTING CABLE METER
○	PROPOSED CABLE METER

UTILITY NOTES

1. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS, FIELD SURVEYS, AND FIELD OBSERVATIONS. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY OF ALL UTILITIES SHOWN.
2. THE LOCATION AND DEPTH OF UTILITIES SHOWN ARE APPROXIMATE. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY OF ALL UTILITIES SHOWN.
3. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS, FIELD SURVEYS, AND FIELD OBSERVATIONS. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY OF ALL UTILITIES SHOWN.
4. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS, FIELD SURVEYS, AND FIELD OBSERVATIONS. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY OF ALL UTILITIES SHOWN.
5. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS, FIELD SURVEYS, AND FIELD OBSERVATIONS. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY OF ALL UTILITIES SHOWN.
6. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS, FIELD SURVEYS, AND FIELD OBSERVATIONS. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY OF ALL UTILITIES SHOWN.
7. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS, FIELD SURVEYS, AND FIELD OBSERVATIONS. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY OF ALL UTILITIES SHOWN.
8. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS, FIELD SURVEYS, AND FIELD OBSERVATIONS. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY OF ALL UTILITIES SHOWN.
9. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS, FIELD SURVEYS, AND FIELD OBSERVATIONS. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY OF ALL UTILITIES SHOWN.
10. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS, FIELD SURVEYS, AND FIELD OBSERVATIONS. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY OF ALL UTILITIES SHOWN.



Craig R. Knoche & Associates, a limited liability corporation
Civil Engineers, P.C.
 2000 South Main Street, Suite 100, Springfield, Illinois 62761
 Phone: (217) 263-1111
 Fax: (217) 263-1112
 Email: craig.knoche@cknoche.com

DUNKIN DONUTS
HUNTINGTON PLAZA
HOFFMAN ESTATES, ILLINOIS

UTILITY PLAN

NO.	REVISION
1	ISSUED FOR PERMITTING

DATE: 08/14/2008
 TIME: 11:58 AM
 DRAWN BY: [Name]
 CHECKED BY: [Name]

SCALE: AS SHOWN
 SHEET NO. 33 OF 33

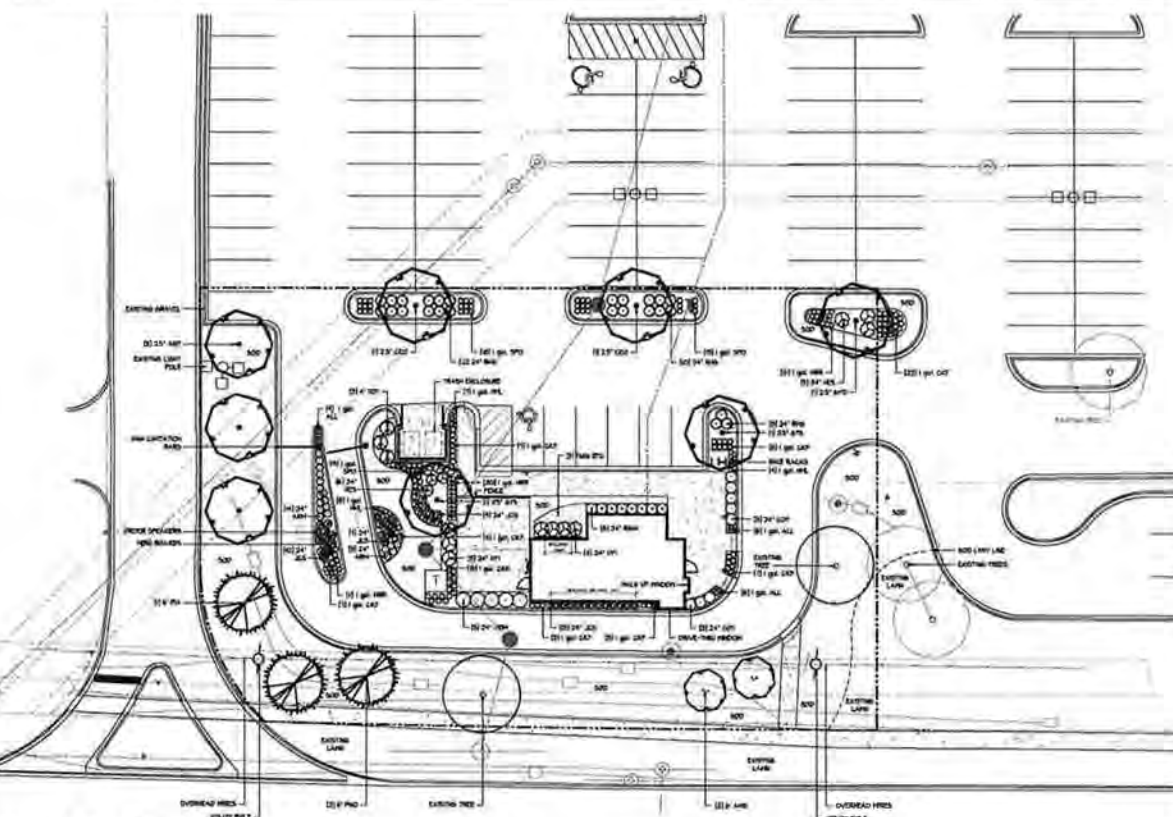
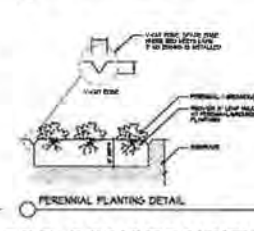
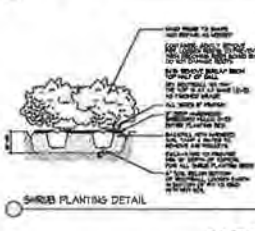
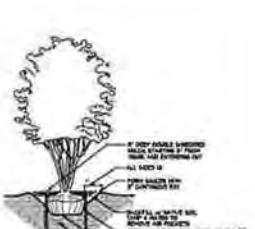
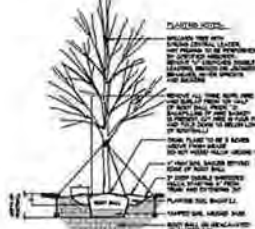
C3.1
 31-113

LANDSCAPE NOTES

- 1. In general, contractor should procure materials with the site and with issues of work prior to the submission of bid proposal and should verify Landmarks Account (LA) under review of any discrepancies between the drawing and existing site conditions.
- 2. Site Proposal shall cover unit prices and quantities for all items shown on this drawing.
- 3. Contractor shall follow and conform to the Village of Hoffman Estates, IL, building codes.
- 4. All site utility and easement and methods of construction are the responsibility of the Contractor.
- 5. Contractor shall be responsible for any damage to buildings or site as a result of executing the work which is part of his contract or additional work which may be ordered by the contract at a later date.
- 6. Site shall be kept clear of all trees and shall be thoroughly cleaned at the end of each working day.
- 7. Overlays shall be installed at all times and compensation for the landscaping program maintained.
- 8. Contractors and work shall be located at all landscaped areas in the field before work begins. Call 312-553-3650 (311) and notify before you dig, including Subcontractors, Owners, and utilities.
- 9. Materials and work methods are submitted and submitted for the review of the owner and professional engineer only. Copies and initial sufficient quantities to complete the work as shown.
- 10. Landmarks Account not responsible for installation permits unless otherwise noted.
- 11. Customer shall maintain and maintain drainage requirements of all plant material.
- 12. Summary: Contractor shall show existing plant material and work as needed where new planting is provided per plan. How typical shall be provided snow protection as needed for the green planting areas.
- 13. Treated: Any new topsoil shall be tested and analyzed. Must be rich in nutrients, 10% clay, 10% sand, 10% silt, 70% organic matter, 10% humus as determined by test or analysis of material. Less than 60% of material passing 1/8" sieve and 100% of material passing 1/4" sieve.
- 14. Annual Existing Soil: Annual existing soil in all planting beds. Annual soil shall be 20% soil conditioner, 20% clean sand and 60% existing soil. Fertilizer amendments to planting beds.
- 15. Plant Material: The Landmarks Account reserves the right to personally select any or all material prior to digging. All plant material shall be the same material as the new plants as they have to be of similar quantity. Plants shall be selected by the Landmarks Account. Plants shall be selected by the Landmarks Account. Plants shall be selected by the Landmarks Account.
- 16. Plant Material: The Landmarks Account reserves the right to personally select any or all material prior to digging. All plant material shall be the same material as the new plants as they have to be of similar quantity. Plants shall be selected by the Landmarks Account. Plants shall be selected by the Landmarks Account. Plants shall be selected by the Landmarks Account.
- 17. Plant Material: The Landmarks Account reserves the right to personally select any or all material prior to digging. All plant material shall be the same material as the new plants as they have to be of similar quantity. Plants shall be selected by the Landmarks Account. Plants shall be selected by the Landmarks Account. Plants shall be selected by the Landmarks Account.
- 18. Plant Material: The Landmarks Account reserves the right to personally select any or all material prior to digging. All plant material shall be the same material as the new plants as they have to be of similar quantity. Plants shall be selected by the Landmarks Account. Plants shall be selected by the Landmarks Account. Plants shall be selected by the Landmarks Account.
- 19. Plant Material: The Landmarks Account reserves the right to personally select any or all material prior to digging. All plant material shall be the same material as the new plants as they have to be of similar quantity. Plants shall be selected by the Landmarks Account. Plants shall be selected by the Landmarks Account. Plants shall be selected by the Landmarks Account.
- 20. Plant Material: The Landmarks Account reserves the right to personally select any or all material prior to digging. All plant material shall be the same material as the new plants as they have to be of similar quantity. Plants shall be selected by the Landmarks Account. Plants shall be selected by the Landmarks Account. Plants shall be selected by the Landmarks Account.
- 21. Plant Material: The Landmarks Account reserves the right to personally select any or all material prior to digging. All plant material shall be the same material as the new plants as they have to be of similar quantity. Plants shall be selected by the Landmarks Account. Plants shall be selected by the Landmarks Account. Plants shall be selected by the Landmarks Account.
- 22. Plant Material: The Landmarks Account reserves the right to personally select any or all material prior to digging. All plant material shall be the same material as the new plants as they have to be of similar quantity. Plants shall be selected by the Landmarks Account. Plants shall be selected by the Landmarks Account. Plants shall be selected by the Landmarks Account.

PLANT LIST

SYMBOL	QTY	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS
1	1	12"	...	...	...
2	1	18"	...	...	...
3	1	24"	...	...	...
4	1	36"	...	...	...
5	1	48"	...	...	...
6	1	60"	...	...	...
7	1	72"	...	...	...
8	1	84"	...	...	...
9	1	96"	...	...	...
10	1	108"	...	...	...
11	1	120"	...	...	...
12	1	132"	...	...	...
13	1	144"	...	...	...
14	1	156"	...	...	...
15	1	168"	...	...	...
16	1	180"	...	...	...
17	1	192"	...	...	...
18	1	204"	...	...	...
19	1	216"	...	...	...
20	1	228"	...	...	...
21	1	240"	...	...	...
22	1	252"	...	...	...
23	1	264"	...	...	...
24	1	276"	...	...	...
25	1	288"	...	...	...
26	1	300"	...	...	...



NOT FOR CONSTRUCTION

CLIENT NAME:
Kovach Engineering, P.C.
24 North Semler Street
Carmel, Illinois
LANDSCAPE ARCHITECTURE
pamelaseif
200 West Oak Street, Suite 201
Hoffman Estates, Illinois 60142
www.pamelaseif.com
LICENSING # 187-20889
STAMP

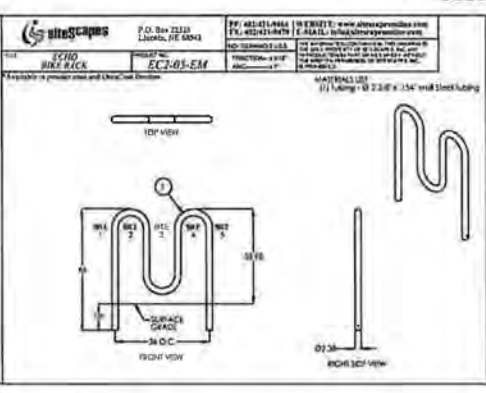
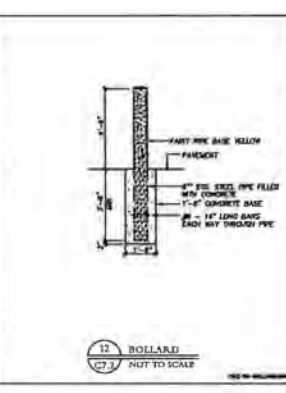
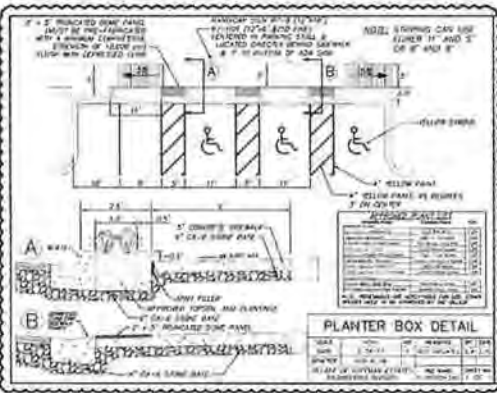
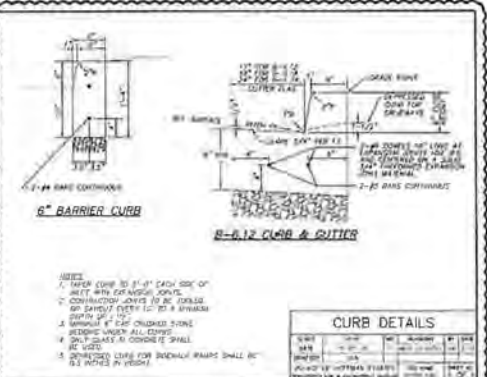
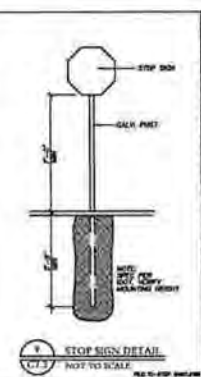
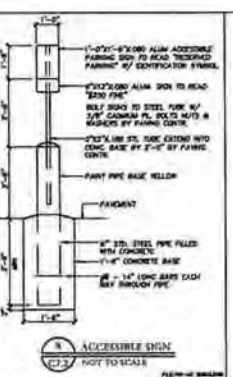
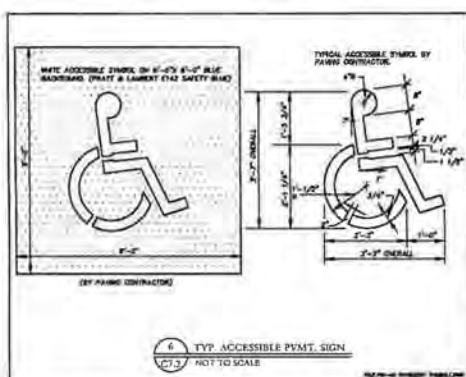
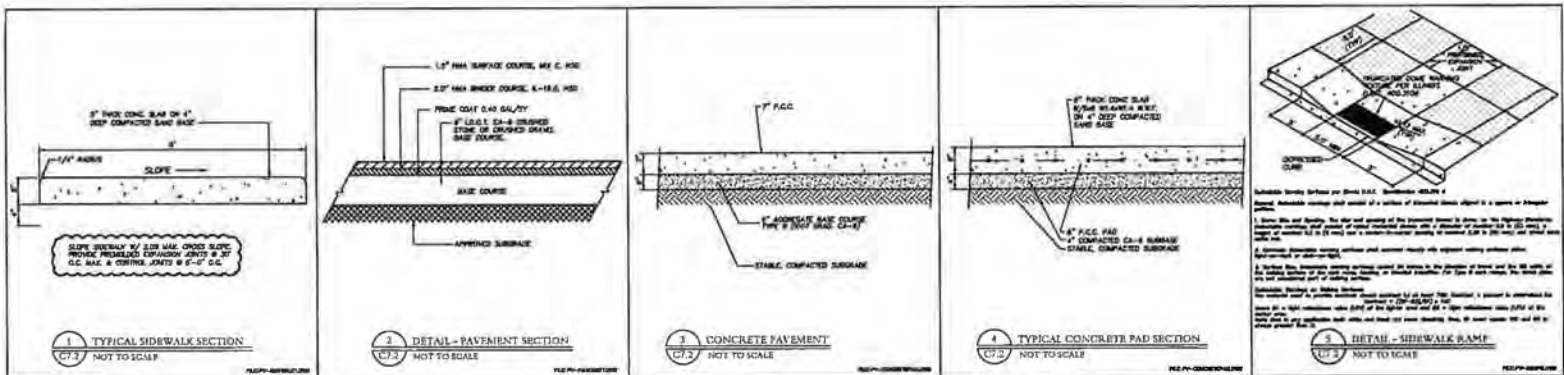
ARCHITECT:
DINA ENGELBERG
GENERAL CONTRACTOR:

DUNKIN DONUTS
Huntington Plaza
Hoffman Estates, Illinois

NO.	DATE	DESCRIPTION
1	10/27/21	PRELIMINARY
2	11/11/21	REVISED
3	11/11/21	REVISED

Design by JOWNSON
Checked by JOWNSON
Start date 10/27/2021
Project:

LANDSCAPE PLAN
L-1.0



REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		

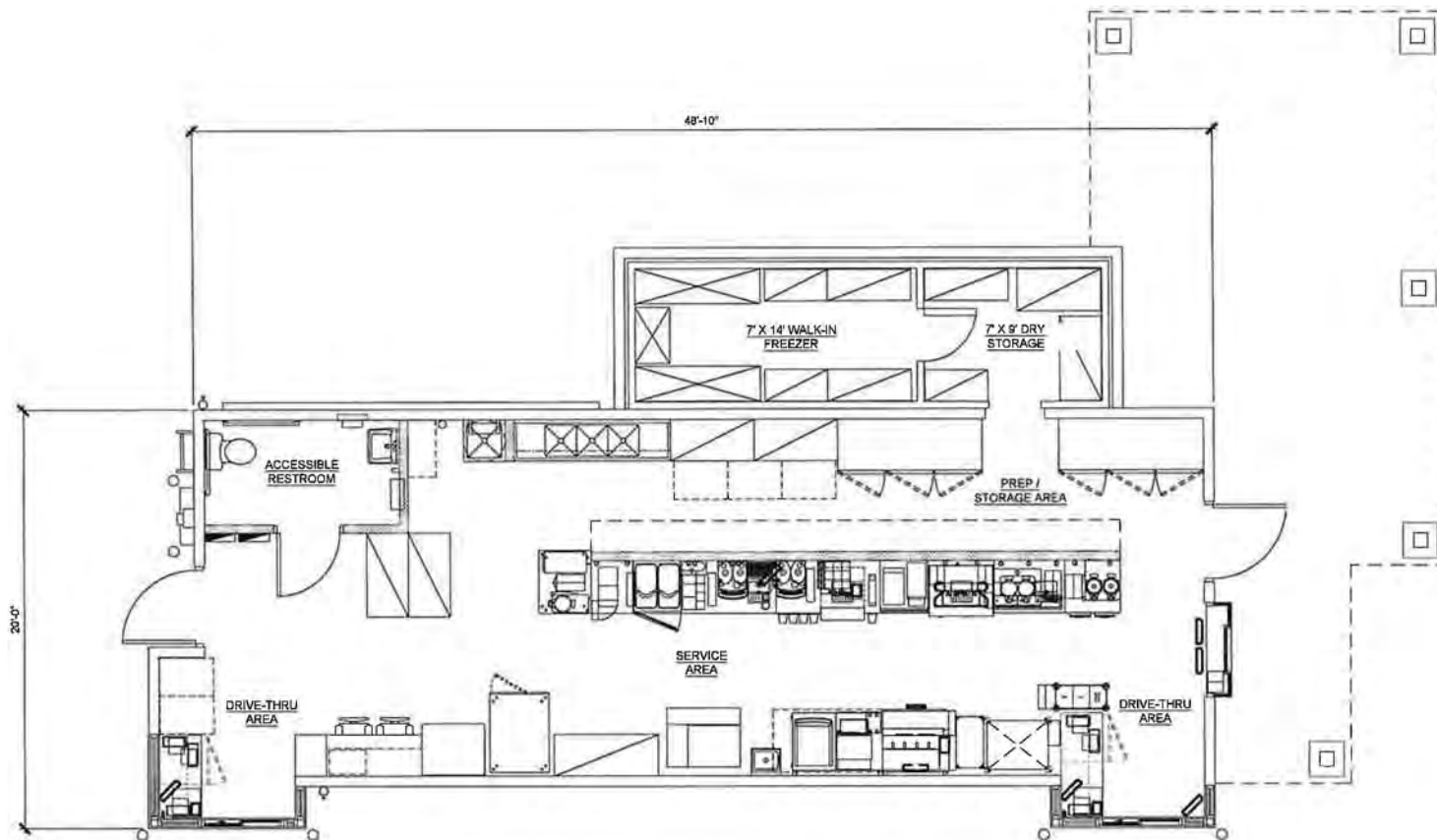
SITE DETAILS

**DUNKIN DONUTS
HUNTINGTON PLAZA
HOFFMAN ESTATES, ILLINOIS**

**Craig R. Knoche & Associates
Civil Engineers, P.C.**

DATE: 4/23/21
FILE: 21-012 CTR
SHEET: 21-012

C7.2



PROPOSED FLOOR PLAN

SCALE: 3/8" = 1'-0"

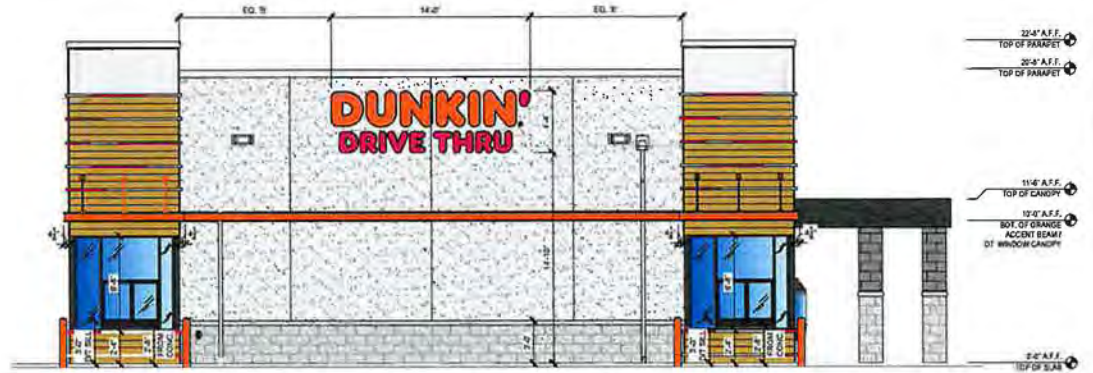


DUNKIN' | DRIVE-THRU ONLY
 HOFFMAN ESTATES, ILLINOIS
 1 SEPT 2021

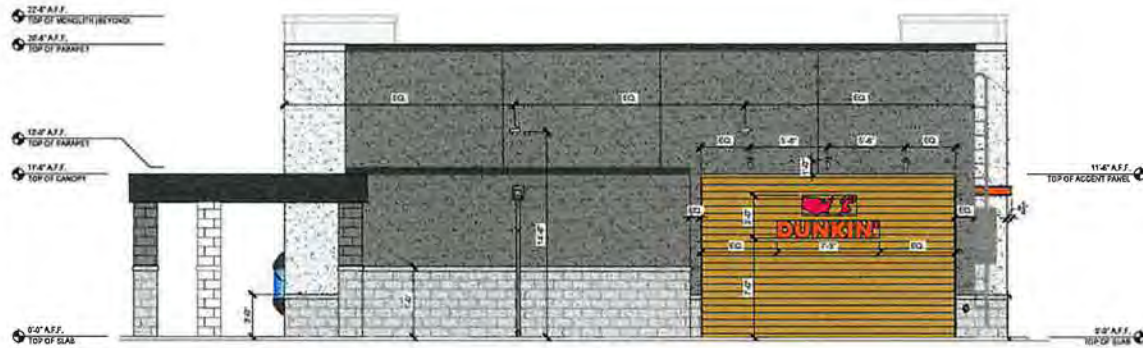
ECA ARCHITECTS
 PLANNERS



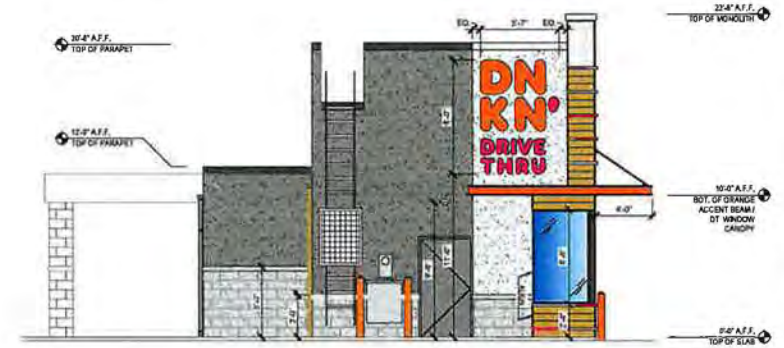
FRONT (EAST) ELEVATION



SIDE (SOUTH) ELEVATION



SIDE (NORTH) ELEVATION



REAR (WEST) ELEVATION

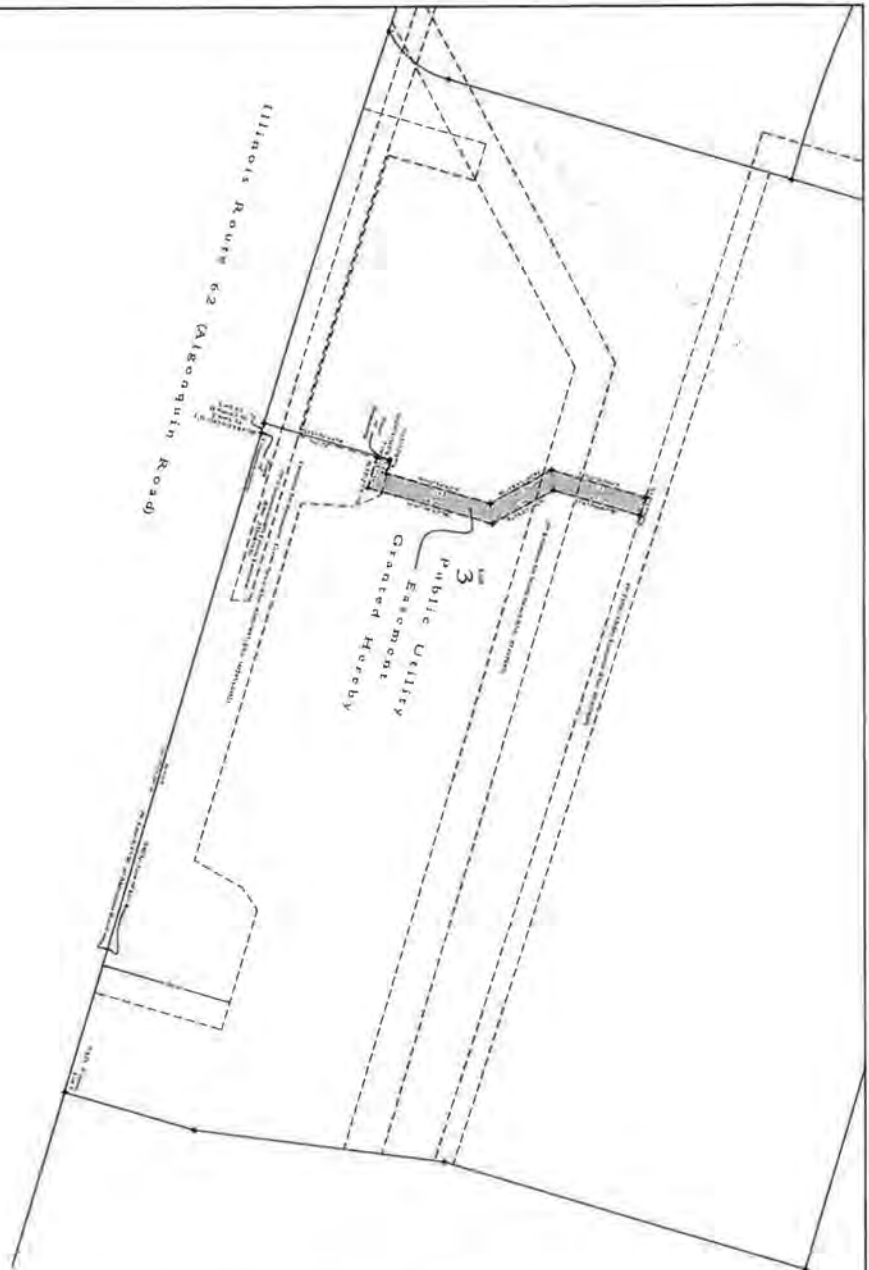
PROPOSED ELEVATIONS

SCALE: 1/4" = 1'-0"

DUNKIN'

DUNKIN' | DRIVE-THRU ONLY
 HOFFMAN ESTATES, ILLINOIS
 1 SEPT 2021

ECA ARCHITECTS
 PLANNERS



Easement Plat
 Being an Extinguishment of Easement
 and Grant of Easement affecting a portion of
 Lot 3 of Huntingdon Plaza



Measurement prepared August 14, 2014
 Prepared, Drawn, and
 First Reviewed 2014



Public Utility Easement
 A 10-foot wide easement, shown in yellow, for the use of the public utility for the installation, maintenance, and repair of overhead power lines, poles, towers, and other structures necessary for the transmission and distribution of electric energy. The easement shall be subject to the terms and conditions of the public utility's standard form of easement agreement, which is attached hereto as Exhibit A. The easement shall be subject to the terms and conditions of the public utility's standard form of easement agreement, which is attached hereto as Exhibit A. The easement shall be subject to the terms and conditions of the public utility's standard form of easement agreement, which is attached hereto as Exhibit A.

Public Utility Easement
 A 10-foot wide easement, shown in yellow, for the use of the public utility for the installation, maintenance, and repair of overhead power lines, poles, towers, and other structures necessary for the transmission and distribution of electric energy. The easement shall be subject to the terms and conditions of the public utility's standard form of easement agreement, which is attached hereto as Exhibit A. The easement shall be subject to the terms and conditions of the public utility's standard form of easement agreement, which is attached hereto as Exhibit A. The easement shall be subject to the terms and conditions of the public utility's standard form of easement agreement, which is attached hereto as Exhibit A.

VILLAGE OF HOFFMAN ESTATES

AN ORDINANCE AMENDING SECTION 8-3-22, NUMBER OF LICENSES OF ARTICLE 3, ALCOHOLIC LIQUORS, OF THE HOFFMAN ESTATES MUNICIPAL CODE (DECREASE IN NUMBER OF CLASS "A" LICENSES FOR OBERKA CAPITAL LLC DBA DI BENEDETTO TRATTORIA, 1766 W. ALGONQUIN ROAD, HOFFMAN ESTATES, IL, AND INCREASE IN NUMBER OF CLASS "A" LICENSES FOR DI BENEDETTO TRATTORIA DGA INC. DBA DI BENEDETTO TRATTORIA, 1766 W. ALGONQUIN ROAD, HOFFMAN ESTATES, IL)

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: That Section 8-3-22, NUMBER OF LICENSES, of the Hoffman Estates Municipal Code be and the same is hereby amended to read as follows:

The number of licenses issued to persons for the sale of alcoholic liquors by the Village of Hoffman Estates shall be limited to fifty-seven (57) Class "A" licenses, two (2) Class "AA" licenses, fifteen (15) Class "B" licenses, unlimited Class "C" licenses, four (4) Class "D" licenses, two (2) Class "DD" licenses, zero (0) Class "F" license, one (1) Class "G" licenses, unlimited Class "H" licenses, one (1) Class "I" license, eleven (11) Class "LC" licenses, one (1) Class "AC" license, and ten (10) Class "J" licenses.

Section 2: That any person, firm or corporation violating any of the provisions of this Ordinance shall be subject to a fine of not less than Ten Dollars (\$10.00) nor more than Five Hundred Dollars (\$500.00) for each offense, and a separate offense shall be deemed committed on each day during or on which a violation occurs or continues.

Section 3: That the Village Clerk is hereby authorized to publish this Ordinance in pamphlet form.

Section 4: That this Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2021

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Michael Gaeta	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2021

Village President

ATTEST:

Village Clerk

Published in pamphlet form this _____ day of _____, 2021.