

AGENDA

*Village of Hoffman Estates
First Meeting of the Month
Village Board of Trustees*

*1900 Hassell Road
Hoffman Estates, IL 60169
847/882-9100*

Board Room

September 13, 2021

(Immediately Following Special Public Works & Utilities Committee)

1. **CALL TO ORDER/ROLL CALL**
2. **PLEDGE OF ALLEGIANCE TO THE FLAG**
3. **RECOGNITION OF AUDIENCE**
4. **APPROVAL OF MINUTES - August 16 & August 30, 2021**
5. **CONSENT AGENDA/OMNIBUS VOTE (Roll Call Vote)**
(All items under the Consent Agenda are considered to be routine in nature and will be enacted by one motion. There will be no separate discussion of these items unless a Trustee so requests. In that event, the discussion will be the first item of business after approval of the Consent Agenda.)
 - A. Approval of Agenda.
 - B. Approval of the schedule of bills for September 13, 2021 - \$2,887,318.95.
6. **REPORTS (INFORMATION ONLY)**
 - A. **President's Report**
... Proclamations
-- National Rail Safety Week.
 - B. **Trustee Comments**
 - C. **Village Manager's Report**
 - D. **Village Clerk's Report**
7. **PLANNING & ZONING COMMISSION RECOMMENDATIONS**
 - A. Request Board concurrence with the Planning and Zoning Commission recommendation and Board approval of an Ordinance granting a site plan amendment and special use to AMITA Health for the St. Alexius Medical Center property located at 1555 N. Barrington Road.
Voting: 7 Ayes, 3 Absent
Motion carried.
 - B. Request Board concurrence with the Planning and Zoning Commission recommendation and Board approval of an Ordinance granting a site plan amendment and special use to Stone Hoffman LLC for the BP Gas Station property located at 2598 W. Higgins Road.
Voting: 8 Ayes, 2 Absent
Motion carried.

7. **PLANNING & ZONING COMMISSION RECOMMENDATIONS - Cont'd**
 - C. Request Board concurrence with the Planning and Zoning Commission recommendation and Board approval of an Ordinance granting a Master Sign Plan for the BP Gas Station property located at 2598 W. Higgins Road.
Voting: 8 Ayes, 2 Absent
Motion carried.
 - D. Request Board concurrence with the Planning and Zoning Commission recommendation and Board approval for a preliminary and final plat of subdivision for the property located at 2598 W. Higgins Road.
Voting: 8 Ayes, 2 Absent
Motion carried.
8. **ADDITIONAL BUSINESS**
9. **ADJOURNMENT -- *Executive Session-Litigation (5 ILCS 120/2-(c)-(11))***

MEETING: HOFFMAN ESTATES VILLAGE BOARD
DATE: AUGUST 16, 2021
PLACE: COUNCIL CHAMBERS
MUNICIPAL BUILDING COMPLEX
1900 HASSELL ROAD
HOFFMAN ESTATES, ILLINOIS

1. CALL TO ORDER:

Village President William McLeod called the meeting to order at 7:27 p.m. The Village Clerk called the roll. Trustees present: Michael Gaeta, Karen Mills, Anna Newell, Gary Pilafas, Gary Stanton

Trustee Pilafas attended electronically.

A quorum was present.

ADMINISTRATIVE PERSONNEL PRESENT:

E. Palm, Village Manager
D. O'Malley, Deputy Village Manager
A. Janura, Corporation Counsel
P. Cross, Asst. Corporation Counsel
K. Cawley, Police Chief
G. Poulos, Asst. Police Chief
D. Felgenhauer, Police Lieutenant
A. Wax, Fire Chief
P. Bilodeau, Deputy Chief
D. Ganziano, Acting Deputy Fire Chief
P. Clark, Acting Battalion Chief
R. Musiala, Finance Director
J. Nebel, PW Director
A. Marks, Asst. H&HS Director
P. Gugliotta, Planning, Building and Code Enforcement Director
P. Seger, HRM Director
R. Signorella, CATV Director
S. Ostrovsky, Asst. to the Village Manager
K. Kramer, Economic Development Director
A. Wenderski, Village Engineer
S. Marcucci, Emergency Management Coordinator

2. PLEDGE OF ALLEGIANCE TO THE FLAG:

The Pledge was led Trustee Gaeta.

3. RECOGNITION OF AUDIENCE:

No one wished to be recognized.

4. APPROVAL OF MINUTES:

Motion by Trustee Gaeta, seconded by Trustee Stanton, to approve Item 4.

Approval of Minutes
Minutes from August 2, 2021.

Roll Call:
Aye: Pilafas, Gaeta, Mills, Newell, Stanton
Nay:
Mayor McLeod voted aye.
Motion carried.

5. CONSENT AGENDA/OMNIBUS VOTE:

Motion by Trustee Gaeta, seconded by Trustee Mills, to approve Item 5.A.

5.A. Approval of Agenda.

Roll Call:
Aye: Pilafas, Gaeta, Mills, Newell, Stanton
Nay:
Mayor McLeod voted aye.
Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Stanton, to approve Item 5.B.

5.B. Approval of the schedule of bills for August 16, 2021 - \$4,130,268.08.

Roll Call:
Aye: Pilafas, Gaeta, Mills, Newell, Stanton
Nay:
Mayor McLeod voted aye.
Motion carried.

6. REPORTS:

6.A. President's Report

Presentations

Schaumburg/Hoffman Estates Legion Post #1983 presented the National Officer of the Year to Police Lieutenant Darin Felgenhauer for his commitment to his profession. Lt. Felgenhauer was congratulated by the Board.

Firefighter/Paramedic Jack Campbell was awarded the Fire Chief's Award of Merit from Chief Wax because of the kindness, compassion and persistence that he showed with a PTSD patient transport and all of the effort that show to make sure that he was okay.

Great Citizen Award

Kimberli Mulford was awarded the Great Citizen Award for her passion and dedication to preserving the monarch butterfly.

Proclamation(s)

Trustee Gaeta read the following proclamation.

Motion by Trustee Stanton, seconded by Trustee Mills, to concur with the proclamation proclaiming Monday, August 16, 2021 as James Johnson Day.

Roll Call:

Aye: Pilafas, Gaeta, Mills, Newell, Stanton

Nay:

Mayor McLeod voted aye.

Motion carried.

Chief Cawley accepted the proclamation for Officer Johnson.

Trustee Mills read the following proclamation.

Motion by Trustee Gaeta, seconded by Trustee Mills, to concur with the proclamation proclaiming Friday, September 3, 2021 as Beatrice Falco Day.

Roll Call:

Aye: Pilafas, Gaeta, Mills, Newell, Stanton

Nay:

Mayor McLeod voted aye.

Motion carried.

Ms. Falco accepted the proclamation and was congratulated by the Board.

Trustee Newell read the following proclamation.

Motion by Trustee Gaeta, seconded by Trustee Stanton, to concur with the proclamation proclaiming Friday, August 20, 2021 as Thomas LaPak Day.

Roll Call:

Aye: Pilafas, Gaeta, Mills, Newell, Stanton

Nay:

Mayor McLeod voted aye.

Motion carried.

Chief Cawley accepted the proclamation for Officer LaPak.

Trustee Stanton read the following proclamation.

Motion by Trustee Gaeta, seconded by Trustee Mills, to concur with the proclamation proclaiming Thursday, September 4, 2021 as Marquella Cnota Day.

Roll Call:

Aye: Pilafas, Gaeta, Mills, Newell, Stanton

Nay:

Mayor McLeod voted aye.

Motion carried.

Mr. Gugliotta accepted the proclamation for Ms. Cnota.

Trustee Gaeta read the following proclamation.

Motion by Trustee Stanton, seconded by Trustee Mills, to concur with the proclamation proclaiming Saturday, August 21, 2021 as National Senior Citizens Day.

Roll Call:

Aye: Pilafas, Gaeta, Mills, Newell, Stanton

Nay:

Mayor McLeod voted aye.

Motion carried.

Dr. Marks accepted the proclamation.

Trustee Mills read the following proclamation.

Motion by Trustee Gaeta, seconded by Trustee Stanton, to concur with the proclamation proclaiming Tuesday, August 31, 2021 as Overdose Awareness Day.

Roll Call:

Aye: Pilafas, Gaeta, Mills, Newell, Stanton

Nay:

Mayor McLeod voted aye.

Motion carried.

Bruce Sewick, SHARE Program, spoke about the organization and accepted the proclamation.

Trustee Stanton read the following proclamation.

Motion by Trustee Gaeta, seconded by Trustee Mills, to concur with the proclamation proclaiming September 6th through September 10th, 2021 as National Payroll Week.

Roll Call:

Aye: Pilafas, Gaeta, Mills, Newell, Stanton

Nay:

Mayor McLeod voted aye.

Motion carried.

Ms. Warren accepted the proclamation.

Motion by Trustee Gaeta, seconded by Trustee Stanton, to accept the appointment of Michael Cahoj to the Platzkonzert Commission.

Roll Call:

Aye: Pilafas, Gaeta, Mills, Newell, Stanton

Nay:

Mayor McLeod voted aye.

Motion carried.

Mayor McLeod read a letter from a resident thanking public works for their action with picking up the tree branches after last week's storm, he read a Facebook posting complimenting the clerk's office on their helpfulness while applying for a passport and another letter from a resident acknowledging Code Inspector Staschke on his professionalism while inspecting their driveway. He stated that he attended our management team meetings, U.S. Conference of Mayors meetings, a Celtic Fest Commission meeting, a meeting with the arena staff, a Metro Mayors Caucus meeting, memorial services for Laverne and Charlie Agnos, Leigh Bartkowiak's mother and former Trustee William Palmer, numerous block parties, the Eagle Court of honor for Gideon Otto, a graduation party for Caleb Pilafas, a meeting with Representative Mussman, a Metro Mayors Diversity Taskforce meeting, a birthday party for Ron Herron, the Welcome Back picnic at Beth Tikvah, a Federation of Indian Association dinner and Trustee Stanton's birthday celebration.

6.B. Trustee Comments

Trustee Gaeta stated that he attended Ron Herron's birthday party, the Beth Tikvah picnic, a Friends of Schaumburg picnic and some block parties.

Trustee Newell stated that she attended a Sustainability Commission meeting, a Schaumburg Township Pack the Bus event, the Eagle Court of Honor, block parties, summer concerts, the Beth Tikvah picnic, she wished Trustee Stanton a Happy Birthday and she reminded everyone of our recycling event on August 28th.

Trustee Pilafas congratulated all of the proclamation recipients and wished Trustee Stanton a Happy Birthday

Trustee Mills said that she attended block parties, she congratulated Lt. Felgenhauer and Firefighter Campbell on receiving their awards and she wished Trustee Stanton a Happy Birthday.

Trustee Stanton stated that he attended two government relations firm meetings and many block parties.

6.C. Village Manager's Report

Village Manager Palm had no report.

6.D. Village Clerk's Report

The Village Clerk had no report.

6.E. Treasurer's Report

Mrs. Musiala stated that during the month of June 2021, for Operating funds, cash receipts and transfers-in exceeded cash disbursements and transfers-out by \$3.1 million, primarily due to property tax receipts and receipts of engineering fees for the Microsoft Data Center project. After including these receipts and disbursements, the balance of cash and investments for the operating funds is \$50.5 million.

For the Operating, Debt Service and Capital Projects funds, cash receipts and transfers-in exceeded cash disbursements and transfers-out by \$2.4 million, primarily due to property tax receipts.

For the Trust Funds, cash receipts and transfers-in exceeded cash disbursements and transfers-out by \$272,127, primarily due to pension fund investment activity.

The total for cash and investments for all funds decreased to \$284.2 million.

7. ADDITIONAL BUSINESS:

Motion by Trustee Mills, seconded by Trustee Stanton, to approve Items 7.A. through 7.F. by omnibus vote.

Roll Call:

Aye: Pilafas, Gaeta, Mills, Newell, Stanton

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Stanton, to approve Item 7.A.

7.A. Request Board approval of Ordinance No. 4874-2021 to transfer land next to Amber Meadows Subdivision (5815 Beacon Pointe Drive) to the Hoffman Estates Park District.

Roll Call:

Aye: Pilafas, Gaeta, Mills, Newell, Stanton

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Stanton, to approve Item 7.B.

7.B. Request Board approval of Ordinance No. 4875-2021 amending Section 8-3-22, Number of Licenses of Article 3, Alcoholic Liquors, of the Hoffman Estates Municipal Code (increase in number of Class "A" licenses for Apple Villa II, D/B/A Apple Villa Pancake House, 3101 N. Barrington Road, Hoffman Estates, IL).

Roll Call:

Aye: Pilafas, Gaeta, Mills, Newell, Stanton

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Stanton, to approve Item 7.C.

7.C. Request Board approval of the Village Drainage Policy and locations for the 2021 Drainage Improvement Project.

Roll Call:

Aye: Pilafas, Gaeta, Mills, Newell, Stanton

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Stanton, to approve Item 7.D.

7.D. Request Board authorization to award contract for Sunderlage House Porch Repairs to Tracy & Ed Construction Inc., Bartlett, IL (low bid), in an amount not to exceed \$27,380.

Roll Call:

Aye: Pilafas, Gaeta, Mills, Newell, Stanton

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Stanton, to approve Item 7.E.

7.E. Request Board authorization to extend 2020 contract for 2021 Valve Assessment Program with concurrent leak survey to Wachs Water Services, Columbia, MD (low qualified proposal), in an amount not to exceed \$25,875.

Roll Call:

Aye: Pilafas, Gaeta, Mills, Newell, Stanton

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Stanton, to approve Item 7.F.

7.F. Request Board authorization to accept a proposal for radio and digital advertising to Audacy Inc., Chicago, Illinois, in an amount not to exceed \$45,000.

Roll Call:

Aye: Pilafas, Gaeta, Mills, Newell, Stanton

Nay:

Mayor McLeod voted aye.

Motion carried.

8. ADJOURNMENT:

Motion by Trustee Mills, seconded by Trustee Stanton, to adjourn the meeting into Executive Session to discuss Executive Session-Collective Bargaining (5 ILCS 120/2-(c)-(2)). Time: 8:19 p.m.

Roll Call:

Aye: Pilafas, Gaeta, Mills, Newell, Stanton

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Mills, to adjourn the meeting. Time: 8:40 p.m.

Roll Call:

Aye: Gaeta, Mills, Newell, Stanton

Nay:

Mayor McLeod voted aye.

Motion carried.

Bev Romanoff Village Clerk

Date Approved

The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.

MEETING:
DATE:
PLACE:

SPECIAL HOFFMAN ESTATES VILLAGE BOARD
AUGUST 30, 2021
COUNCIL CHAMBERS
MUNICIPAL BUILDING COMPLEX
1900 HASSELL ROAD
HOFFMAN ESTATES, ILLINOIS

1. CALL TO ORDER:

Village President William McLeod called the meeting to order at 7:00 p.m. The Village Clerk called the roll. Trustees present: Karen Mills, Anna Newell, Gary Stanton, Michael Gaeta, Karen Arnet

A quorum was present.

Trustee Pilafas was absent.

ADMINISTRATIVE PERSONNEL PRESENT:

E. Palm, Village Manager
D. O'Malley, Deputy Village Manager
A. Janura, Corporation Counsel
P. Cross, Asst. Corporation Counsel
K. Cawley, Police Chief.
A. Wax, Fire Chief
D. Ganziano, Deputy Fire Chief
P. Clark, Deputy Fire Chief
M. Saavedra, H&HS Director
R. Musiala, Finance Director
P. Seger, HRM Director
S. Ostrovsky, Asst. to the Village Manager
R. Signorella, CATV Director

2. PLEDGE OF ALLEGIANCE TO THE FLAG:

The Pledge was led by Trustee Mills.

3. CONSENT AGENDA/OMNIBUS VOTE:

Motion by Trustee Gaeta, seconded by Trustee Arnet, to approve Item 3.A.

3.A. Approval of the schedule of bills for August 30, 2021 - \$2,016,203.39.

Roll Call:

Aye: Mills, Newell, Stanton, Gaeta, Arnet

Nay:

Mayor McLeod voted aye.

Motion carried.

4. REPORTS:**4.A. President's Report****Swearings-In**

Captain Patrick Clarke introduced his family, Mayor McLeod swore Captain Patrick Clarke into the office of Deputy Fire Chief and Deputy Fire Chief Clarke was congratulated by the Board.

Captain David Ganziano introduced his family, Mayor McLeod swore Captain David Ganziano into the office of Deputy Fire Chief and Deputy Fire Chief Ganziano was congratulated by the Board.

Lieutenant Daniel Pearson introduced his family, Mayor McLeod swore Lieutenant Daniel Pearson into the office Fire Captain and Fire Captain Pearson was congratulated by the Board.

Lieutenant Alan O'Brien introduced his family, Mayor McLeod swore Lieutenant Alan O'Brien into the office of Fire Captain and Fire Captain O'Brien was congratulated by the Board.

Firefighter/Paramedic Jason Loeb introduced his family, Mayor McLeod swore Firefighter/Paramedic Jason Loeb into the office Fire Lieutenant and Fire Lieutenant Loeb was congratulated by the Board.

Firefighter/Paramedic Thomas Zito introduced his family, Mayor McLeod swore Firefighter/Paramedic Thomas Zito into the office of Fire Lieutenant and Fire Lieutenant Zito was congratulated by the Board.

Boards & Commissions Appointments

Motion by Trustee Gaeta, seconded by Trustee Mills, to approve the appointment of Motika Anand to the Arts Commission. Voice vote taken. All Ayes. Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Mills, to accept the resignation, with regrets, of Marilyn Dvoratchek from the Commission for Disabled Citizens. Voice vote taken. All Ayes. Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Mills, to accept the resignation of Jerry Arntzen from the Arts Commission and Platzkonzert Commission. Voice vote taken. All Ayes. Motion carried.

5. ADJOURNMENT

Motion by Trustee Arnet, seconded by Trustee Gaeta, to adjourn the meeting. Voice vote taken. All ayes. Motion carried. Time: 7:26 p.m.

Bev Romanoff
Village Clerk

Date Approved

The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.



BILL LIST SUMMARY

BILL LIST AS OF 09/13/2021	\$	1,332,628.73
MANUAL CHECKS 08/25 - 09/09/21	\$	3,621.56
CREDIT CARDS 07/06 - 08/05/2021	\$	221,943.13
PAYROLL 09/10/2021	\$	<u>1,329,125.53</u>
TOTAL	\$	2,887,318.95

VILLAGE OF HOFFMAN ESTATES

September 13, 2021

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
GENERAL FUND			
01 0302	ADVANCE AUTO PARTS	REPAIR PARTS	\$56.49
01 0302	ADVANCE AUTO PARTS	STOCK REPAIR PARTS	\$162.69
01 0302	BUMPER TO BUMPER/ LEE AUTO	REPAIR PARTS	\$9.89
01 0302	BUMPER TO BUMPER/ LEE AUTO	STOCK REPAIR PARTS	\$335.80
01 0302	CHICAGO PARTS & SOUND LLC	REPAIR PARTS	\$32.40
01 0302	FIRESTONE TRUCK & SERVICE CENTER	VEHICLE TIRES	\$346.10
01 0302	LEACH ENTERPRISES INC	REPAIR PARTS	\$48.84
01 0302	O'REILLY AUTO PARTS	REPAIR PARTS	\$63.41
01 0303	PROVEN IT	COPIER SERVICES	\$427.17
CASH AND INVENTORIES			\$1,482.79
01 1432	CHURCH OF THE CROSS	ENGINEERING DEPOSIT RTN	\$1,000.00
01 1445	JUNE'S HOFFMAN ESTATES	RFD OVER PYMT TAXES F&B	\$6.58
01 1445	SAUL EWING ARNSTEIN & LEHR LLP	PROFESSIONAL SERVICES	\$80.00
01 1458	INTOXIMETERS INC	VARIOUS SUPPLIES	\$530.90
PAYMENTS FROM DEPOSITS ON HAND			\$1,617.48
01000010 3104	ALVARO BARRON	RFD STAMP 1852 HANCOCK	\$425.00
01000013 3402	ALDIN MUSIC	VARIATION WITHDRAWAL	\$175.00
GENERAL-REVENUE ACCOUNTS			\$600.00
01101124 4504	METROPOLITAN MAYORS CAUCUS	MEMBERSHIP DUES	\$2,335.28
01101124 4507	MAREN RONAN LTD	SEPTEMBER LOBBYING SERVICE	\$4,000.00
LEGISLATIVE			\$6,335.28
01101224 4542	LANGUAGE LINE SERVICES INC	PROFESSIONAL SERVICES	\$100.00
ADMINISTRATIVE			\$100.00
01101324 4542	ARTHUR L JANURA JR	PROFESSIONAL SERVICES	\$12,000.00
01101324 4542	ARTHUR L JANURA JR	PROFESSIONAL SERVICES JUL	\$12,000.00
01101324 4542	RICHARD A KAVITT ATTORNEY AT LAW	PROFESSIONAL SERVICES	\$1,000.00
01101324 4547	THOMSON REUTERS-WEST	PROFESSIONAL SERVICES	\$2,251.00
01101324 4567	CLARK BAIRD SMITH LLP	PROFESSIONAL SERVICES	\$2,125.00
01101324 4567	FRANCZEK RADELET	PROFESSIONAL SERVICES	\$549.00
01101324 4567	KLEIN, THORPE, & JENKINS LTD	PROFESSIONAL SERVICES	\$875.00
01101324 4567	SAUL EWING ARNSTEIN & LEHR LLP	PROFESSIONAL SERVICES	\$13,429.90
LEGAL			\$44,229.90

VILLAGE OF HOFFMAN ESTATES

September 13, 2021

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01101423 4401	UPS	SHIPPING	\$13.95
01101423 4403	OFFICE DEPOT	OFFICE SUPPLIES	\$170.25
01101423 4403	WAREHOUSE DIRECT	OFFICE SUPPLIES	\$19.46
FINANCE			\$203.66
01101524 4546	PADDOCK PUBLICATIONS INC	BID NOTICES	\$43.50
VILLAGE CLERK			\$43.50
01101623 4402	WAREHOUSE DIRECT	OFFICE SUPPLIES	\$5.39
01101623 4416	PROVEN IT	COPIER SERVICES	\$12.19
HUMAN RESOURCES			\$17.58
01102523 4403	PLUM GROVE PRINTERS INC	BOOKLET ENVELOPES	\$116.09
01102523 4403	PRESSTECH INC.	CITIZENS SEPTEMBER	\$2,601.00
COMMUNICATIONS			\$2,717.09
01106224 4510	INTELLIGENT TECHNOLOGY INC	1 YEAR SUPPORT RENEWAL	\$598.00
CABLE TELEVISION			\$598.00
01107123 4414	OFFICE DEPOT	OFFICE SUPPLIES	\$76.84
EMERGENCY OPERATIONS			\$76.84
 TOTAL GENERAL GOVERNMENT DEPARTMENT			 \$54,321.85
 POLICE DEPARTMENT			
01201223 4405	OFFICE DEPOT	OFFICE SUPPLIES	\$60.05
01201223 4422	CAMIC JOHNSON	SEIZURE IMPOUNDMENT	\$350.00
01201224 4507	AFTERMATH INC	BIO HAZARD CLEAN UP	\$275.00
01201224 4507	MORIZZO FUNERAL HOME & CREMATION	PROFESSIONAL SERVICES 9/4	\$275.00
ADMINISTRATIVE			\$960.05
01202122 4301	ILLINOIS HOMICIDE INVESTIGATORS AS	TRAINING	\$675.00
01202122 4301	ILLINOIS TACTICAL OFFICER'S ASSOC.	ANNUAL TRAINING	\$365.00
01202122 4301	ILLINOIS TACTICAL OFFICER'S ASSOC.	REGISTRATION CONFERENCE	\$365.00
01202122 4304	J.G. UNIFORMS, INC.	BODY ARMOR	\$500.00

VILLAGE OF HOFFMAN ESTATES

September 13, 2021

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01202122 4304	J.G. UNIFORMS, INC.	HOFFMAN ESTATES POLICE OR	\$500.00
01202124 4507	ALEXIAN BROTHERS CORPORATE HEALTH	VACINATION & PHYSICAL	\$153.00
01202124 4510	MOTOROLA SOLUTIONS, INC.	SHOULDER MIC FOR PORTABLE	\$1,077.48
01202124 4542	BEST TECHNOLOGY SYSTEMS	REMOVE AND REPLACE DUST C	\$1,675.00
01202124 4542	BEST TECHNOLOGY SYSTEMS	SUPPLY AND INSTALL HEPA F	\$3,750.00
01202124 4542	BEST TECHNOLOGY SYSTEMS	SUPPLY AND INSTALL PRE FI	\$775.00
01202124 4542	DACRA TECH LLC	SOFTWARE SERVICES	\$1,500.00
PATROL & RESPONSE			\$11,335.48
01202224 4542	AMERICAN TRAFFIC SOLUTIONS	RED LIGHT CAMERA AUG 21	\$27,000.00
TRAFFIC CONTROL			\$27,000.00
01202322 4301	ILLINOIS HOMICIDE INVESTIGATORS AS	TRAINING	\$450.00
01202324 4542	TRANSUNION RISK & ALTERNATIVE	AUG 2021 BILLING	\$75.00
INVESTIGATIONS			\$525.00
01202524 4542	NORTHWEST CENTRAL DISPATCH SYS	OCTOBER DISPATCH SERVICES	\$47,508.98
COMMUNICATIONS			\$47,508.98
TOTAL POLICE DEPARTMENT			\$87,329.51
FIRE DEPARTMENT			
01301222 4305	RALPH O ROTHBAUER	FRAMING FOR RETIREMENT	\$414.00
01301223 4402	OFFICE DEPOT	OFFICE SUPPLIES	\$65.80
ADMINISTRATIVE			\$479.80
01303023 4414	ALERT-ALL CORP.	OPEN HOUSE SUPPLIES	\$1,436.00
PUBLIC EDUCATION			\$1,436.00
01303122 4301.19	IFSAP	FALL SEMINAR ATTENDANCE	\$30.00
01303122 4304	TODAYS UNIFORMS	UNIFORMS	\$2,147.31
01303122 4304.16	MUNICIPAL EMERGENCY SERVICES	EMBROIDERY	\$59.20
01303122 4304.16	MUNICIPAL EMERGENCY SERVICES	SAFETY WEAR	\$309.67
01303124 4510.12	SETCOM CORPORATION	ESTIMATED SHIPPING/HANDLI	\$22.17
01303124 4510.12	SETCOM CORPORATION	SETCOM HEADSET ENGINE 22	\$390.00
01303124 4510.14	JJS TECHNICAL SERVICES	BUMP ALARM TEST GAS	\$390.00
01303124 4510.14	JJS TECHNICAL SERVICES	ESTIMATED SHIPPING/HANDLI	\$60.00
01303124 4510.14	JJS TECHNICAL SERVICES	GAS ALERT QUATTRO MONITOR	\$716.00

VILLAGE OF HOFFMAN ESTATES

September 13, 2021

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01303124 4510.14	JJS TECHNICAL SERVICES	HYDROGEN CYANIDE GAS	\$255.00
01303124 4510.14	JJS TECHNICAL SERVICES	REPLACEMENT COMBUSTABLE S	\$170.00
01303124 4510.14	JJS TECHNICAL SERVICES	REPLACEMENT O2 SENSOR	\$330.00
01303125 4602.17	DJS SCUBA LOCKER INC	DRYSUIT HOOD VALVES	\$40.00
SUPPRESSION			\$4,919.35

01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	XL EXAM GLOVES	\$933.20
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	XL GLOVES	\$1,124.00
EMERGENCY MEDICAL SERVICES			\$2,057.20

01303324 4507	FIRE SAFETY CONSULTANTS INC	SPRINKLER INSPECTIONS	\$460.00
PREVENTION			\$460.00

01303525 4602	JILL WEGEHAUPT	REIM FOR PURCHASES	\$89.99
FIRE STATIONS			\$89.99

TOTAL FIRE DEPARTMENT **\$9,442.34**

PUBLIC WORKS

01401224 4507	ALEXIAN BROTHERS CORPORATE HEALTH	AUDIOGRAM	\$1,707.00
01401224 4507	ALEXIAN BROTHERS CORPORATE HEALTH	DRUG SCREEN	\$482.00
01401224 4507	ALEXIAN BROTHERS CORPORATE HEALTH	EYE CARE	\$266.31
01401224 4507	ALEXIAN BROTHERS CORPORATE HEALTH	RTN TO WORK PHYSICAL	\$95.00
ADMINISTRATIVE			\$2,550.31

01404123 4414	JOHN KOVAKA	REIM FOR CDL RENEWAL	\$30.00
01404124 4507	DTN, LLC	PROFESSIONAL SERVICES	\$216.00
SNOW & ICE REMOVAL			\$246.00

01404224 4521	HEALY ASPHALT CO., LLC.	SURFACE MATERIALS	\$1,130.48
PAVEMENT MAINTENANCE			\$1,130.48

01404323 4408	A.M. LEONARD, INC.	REPAIR PARTS	\$146.99
01404324 4507	V CARDENAS LANDSCAPING	CONTRACTED LANDSCAPE SERV	\$7,390.10
FORESTRY			\$7,537.09

VILLAGE OF HOFFMAN ESTATES

September 13, 2021

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01404424 4501	COMCAST BUSINESS	INTERNET SERVICES	\$173.10
01404424 4503	NICOR GAS	GAS 1900 HASSELL RD	\$45.32
01404424 4503	NICOR GAS	GAS 2305 PEMBROKE	\$145.40
01404424 4503	NICOR GAS	GAS 2405 PEMBROKE	\$164.51
01404424 4503	NICOR GAS	GAS 411 W HIGGINS	\$2,293.92
01404424 4503	NICOR GAS	GAS 5775 BEACON POINTE	\$300.98
01404424 4507	SOUND INC.	BRIVO HOSTING FEES - VILL	\$1,003.87
01404424 4509	CINTAS #22	FLOOR MAT RENTAL AND CLEAN	\$34.48
01404424 4510	DOORS DONE RIGHT INC	DOOR RE	\$250.00
01404424 4510	DOORS DONE RIGHT INC	INSTALLATION OF NEW CONTI	\$1,435.00
01404424 4510	DOORS DONE RIGHT INC	REMOVAL AND INSTALLATION	\$4,710.00
01404424 4510	DOORS DONE RIGHT INC	REMOVAL OF REVOLVING DOOR	\$3,050.00
01404424 4518	ACTIVE ELECTRICAL SUPPLY CO. INC	REPAIR PARTS	\$128.71
01404424 4518	CINTAS #22	FLOOR MAT RENTAL AND CLEAN	\$110.29
01404424 4518	DOORS DONE RIGHT INC	REMOVAL OF AND INSTALLATI	\$1,875.00
01404424 4518	MENARDS - HNVR PARK	REPAIR PARTS	\$47.49
01404424 4518	SOUND INC.	BRIVO HOSTING FEES - FIRE	\$155.11
01404424 4520	WOLF ELECTRIC SUPPLY CO	REPAIR PARTS	\$175.00
01404424 4545	FULLIFE SAFETY CENTER	SAFETY WEAR	\$50.52

FACILITIES

\$16,148.70

01404522 4304	CINTAS #22	UNIFORM AND MAT RENTAL	\$83.04
01404523 4411	AL WARREN OIL CO INC	FUEL	\$18,175.11
01404523 4414	ADVANCE AUTO PARTS	REPAIR PARTS	\$81.83
01404523 4414	SERVICE COMPONENTS INC	REPAIR PARTS	\$253.47
01404524 4507	AMAZON CAPITAL SERVICES INC	MEMBERSHIP FEE	\$179.00
01404524 4510	ACME TRUCK BRAKE & SUPPLY CO.	FUEL STORAGE TANK	\$24.36
01404524 4510	EXCEL ENVIRONMENTAL SERVICES LLC	USED OIL	\$50.00
01404524 4513	RICKY ROCKETS STORE 2095	CAR WASHES SEPT 2021	\$250.00
01404524 4513	RICKY ROCKETS STORE 2095	CARH WASHES AUG 2021	\$250.00
01404524 4513	RT 62 WASH & LUBE	VEHICLE WASHES	\$87.50
01404524 4514	ACME TRUCK BRAKE & SUPPLY CO.	REPAIR PARTS	\$440.16
01404524 4514	ACME TRUCK BRAKE & SUPPLY CO.	RTN REPAIR PARTS	(\$38.49)
01404524 4514	ADVANCE AUTO PARTS	REPAIR PARTS	\$33.99
01404524 4514	ADVANCE AUTO PARTS	RTN REPAIR PARTS	(\$33.99)
01404524 4514	AMAZON CAPITAL SERVICES INC	REGULATOR FOR GENERATOR	\$15.77
01404524 4514	BUMPER TO BUMPER/ LEE AUTO	REPAIR PARTS	\$206.04
01404524 4514	BUMPER TO BUMPER/ LEE AUTO	RTN REPAIR PARTS	(\$710.68)
01404524 4514	INTERSTATE BATTERIES-NORTH CHICAGO	REPAIR PARTS	\$601.56
01404524 4514	KAMMES AUTO & TRUCK REPAIR INC	STATE INSPECTIONS	\$80.00
01404524 4514	MACQUEEN EMERGENCY GROUP	REPAIR PARTS	\$362.87
01404524 4514	MAPES AUTO UPHOLSTERY, INC	SEAT CUSHION	\$100.00
01404524 4514	RUSH TRUCK CENTER OF ILLINOIS, INC	FILTERS	\$141.37
01404524 4514	RUSH TRUCK CENTER OF ILLINOIS, INC	THERMOSTAT	\$59.90
01404524 4514	ULTRA STROBE COMMUNICATIONS	REPAIR PARTS	\$47.95

VILLAGE OF HOFFMAN ESTATES

September 13, 2021

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01404524 4514	WEX BANK	FUEL	\$1,476.93
01404524 4514	WOODSTOCK POWERSPORTS	BELT DRIVE PARTS	\$254.99
01404524 4534	ADVANCE AUTO PARTS	REPAIR PARTS	\$44.37
01404524 4534	BUMPER TO BUMPER/ LEE AUTO	REPAIR PARTS	\$305.02
01404524 4534	BUMPER TO BUMPER/ LEE AUTO	RTN REPAIR PARTS	(\$133.90)
01404524 4534	DRIVE TRAIN SERVICE INC	ESTIMATED SHIPPING/HANDLING	\$35.00
01404524 4534	DRIVE TRAIN SERVICE INC	PTO ASSEMBLY	\$1,882.00
01404524 4534	KAMMES AUTO & TRUCK REPAIR INC	STATE INSPECTIONS	\$139.50
01404524 4534	MCCANN INDUSTRIES	REPAIR PARTS	\$19.29
01404524 4534	POMP'S TIRE	TIRES	\$487.36
01404524 4534	RUSH TRUCK CENTER OF ILLINOIS, INC	BRAKE REPAIR KITS	\$353.64
01404524 4534	RUSH TRUCK CENTER OF ILLINOIS, INC	PAN KIT OIL PAN	\$789.48
01404524 4534	RUSH TRUCK CENTER OF ILLINOIS, INC	REPAIR PARTS	\$346.55
01404524 4534	RUSH TRUCK CENTER OF ILLINOIS, INC	RTN REPAIR KIT	(\$63.84)
01404524 4534	VERMEER MIDWEST\VERMEER-IL	VARIOUS SUPPLIES	\$138.86
01404524 4534	WEST SIDE TRACTOR SALES	REPAIR PARTS	\$30.12
01404524 4535	ADVANCE AUTO PARTS	REPAIR PARTS	\$179.19
01404524 4535	ADVANCE AUTO PARTS	RTN REPAIR PARTS	(\$32.00)
01404524 4535	BUMPER TO BUMPER/ LEE AUTO	REPAIR PARTS	\$16.58
01404524 4535	INTERSTATE BATTERIES-NORTH CHICAGO	REPAIR PARTS	\$113.86
FLEET SERVICES			\$27,123.76
01404723 4408	MENARDS - HNVR PARK	REPAIR PARTS	\$32.97
01404723 4414	MENARDS - HNVR PARK	VARIOUS SUPPLIES	\$99.36
01404724 4522	WELCH BROS INC	VARIOUS SUPPLIES	\$725.00
STORM SEWERS			\$857.33
01404823 4414	GRIMCO INC	VARIOUS SUPPLIES	\$251.30
01404824 4502	COMMONWEALTH EDISON	ELECTRIC GOLD ROSE	\$4.02
01404824 4502	COMMONWEALTH EDISON	ELECTRIC STREET LIGHTS	\$161.17
TRAFFIC CONTROL			\$416.49
TOTAL PUBLIC WORKS DEPARTMENT			\$56,010.16

VILLAGE OF HOFFMAN ESTATES

September 13, 2021

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
DEVELOPMENT SERVICES			
01501223 4402	OFFICE DEPOT	OFFICE SUPPLIES	\$58.42
01501223 4402	WAREHOUSE DIRECT	LABELS	\$8.77
ADMINISTRATIVE			\$67.19
01505024 4542	UNITED DISPATCH	SENIOR TRANSPORTATION COUP	\$672.00
PLANNING			\$672.00
01505124 4507	GILIO LANDSCAPE CONTRACTORS	MOWING FOR CODE	\$280.00
01505124 4507	THOMPSON ELEVATOR INSPECTION INC	INSPECTIONS	\$80.00
CODE ENFORCEMENT			\$360.00
01505224 4542	GOVTEMPSUSA LLC	ADMIN SERVICES	\$4,928.00
TRANSPORTATION AND ENGINEERING			\$4,928.00
TOTAL DEVELOPMENT SERVICES DEPARTMENT			\$6,027.19
HEALTH & HUMAN RESOURCES			
01556522 4301	CATHY DAGIAN STANTON	MILEAGE REIM REPLACE CK	\$245.28
01556523 4413	SANOFI PASTEUR	ADACEL® TDAP 5 SINGLE-DOS	\$425.62
01556523 4413	SANOFI PASTEUR	FLU VACCINES	\$6,327.51
01556523 4413	SANOFI PASTEUR	RTN VACCINES	(\$2,172.89)
01556523 4413	SANOFI PASTEUR	TUBERSOL® TUBERCULIN PURI	\$179.44
01556523 4416	PROVEN IT	COPIER SERVICES	\$37.83
TOTAL HEALTH & HUMAN SERVICES DEPARTMENT			\$5,042.79
BOARDS & COMMISSIONS			
01605724 4507	HEALTH ENDEAVORS SC	MEDICAL EVALUATION	\$1,490.00
FIRE & POLICE COMMISSION			\$1,490.00
TOTAL BOARDS & COMMISSIONS DEPARTMENT			\$1,490.00
TOTAL GENERAL FUND			\$223,364.11

VILLAGE OF HOFFMAN ESTATES

September 13, 2021

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
MFT FUND			
03400024 4512	MEADE ELECTRIC CO., INC.	TRAFFIC SIGNAL MAINTENANC	\$525.00
TOTAL MFT FUND			\$525.00
2015 A&C GO DEBT SERVICE FUND			
17000024 4542	SPECTRA CORPORATE PARTNERSHIPS	NAMING RIGHTS	\$75,000.00
TOTAL 2015 A&C GO DEBT SERVICE FUND			\$75,000.00
PRAIRIE STONE CAPITAL FUND			
27000025 4621	TRIA ARCHITECTURE INC	PROFESSIONAL SERVICES	\$337.52
TOTAL PRAIRIE STONE CAPITAL FUND			\$337.52
ROAD IMPROVEMENT FUND			
29000025 4606	PLOTE INC	2021 STREET REVITALIZATIO	\$707,954.42
29000025 4606	V3 COMPANIES, LTD	JONES RD SALEM DR STP RES	\$24,451.09
TOTAL ROAD IMPROVEMENT FUND			\$732,405.51
CAPITAL VEHICLE & EQUIPMENT FUND			
37000025 4603	MONROE TRUCK EQUIPMENT	BODY AND PLOW UPFITTING N	\$162,674.00
37000025 4603	MONROE TRUCK EQUIPMENT	RTN REPAIR PARTS	(\$1,416.00)
TOTAL CAPITAL VEHICLE & EQUIPMENT FUND			\$161,258.00
WATERWORKS & SEWERAGE FUND			
40 0411	AMIN BEHBOUDI & LEILA JOHAR	UB REFUND	\$77.65
40 0411	ANASTAASIOS & NICOLETTE GIANNOPOULOS	UB REFUND	\$156.73
40 0411	ANN SIMMS	UB REFUND	\$168.51
40 0411	ELAINE PAULICK	UB REFUND	\$90.95
40 0411	FARHAN ALI KHAN & AISHA CHAUDHRY	UB REFUND	\$688.00
40 0411	HELEN JOY SCHUMACHER	UB REFUND	\$6.29
40 0411	JAMES TICKNOR	UB REFUND	\$38.21
40 0411	JEFF GREENWALT	UB REFUND	\$74.39
40 0411	KATE GAMBLE	UB REFUND	\$100.00
40 0411	KHUSHBKHAT AHMED	UB REFUND	\$38.21
40 0411	LORRIE & DAVID STACK	UB REFUND	\$272.62

VILLAGE OF HOFFMAN ESTATES

September 13, 2021

ACCOUNT		VENDOR	DESCRIPTION	AMOUNT
40	0411	LUNISA RAMIREZ	UB REFUND	\$32.14
40	0411	ROSEMARIE FULLONE	UB REFUND	\$30.00
40	0411	SAMEER M NASEERUDDIN & SADIA SHUJA	UB REFUND	\$25.00
40	0411	TAKAO UCHIDA	UB REFUND	\$168.51
40	0411	TEMITOPE OLUTADE	UB REFUND	\$116.70
40	0411	WEI CHEN	UB REFUND	\$24.23
40	0411	YULIANA & ROMAN ROMANENKO	UB REFUND	\$58.97

WATER BILLING MISCELLANEOUS PAYMENT **\$2,167.11**

40406723	4414	MENARDS - HNVR PARK	VARIOUS SUPPLIES	\$24.97
40406724	4503	NICOR GAS	GAS 1775 ABBEYWOOD	\$49.34
40406724	4503	NICOR GAS	GAS 95 ASTER	\$64.91
40406724	4507	SOUND INC.	BRIVO HOSTING FEES - WATER	\$353.69
40406724	4510	KAMMES AUTO & TRUCK REPAIR INC	STATE INSPECTIONS	\$80.00
40406724	4510	MENARDS - HNVR PARK	REPAIR PARTS	\$187.03
40406724	4528	HYDRAFLO INC.	EXTENSION KIT	\$1,263.30
40406724	4528	ZIEBELL WATER SERVICE	REPAIR PARTS	\$897.90
40406724	4529	BEVERLY MATERIALS, L.L.C.	CLEAN FILL	\$390.00
40406724	4529	GREEN SOILS MANAGEMENT LLC	TRIPLE BLEND MATERIALS	\$27.02
40406724	4529	VCNA PRAIRIE LLC	CONCRETE	\$174.87
40406724	4529	WATER PRODUCTS CO.	REPAIR CLAMPS	\$665.84
40406724	4529	ZIEBELL WATER SERVICE	REPAIR PARTS	\$1,820.00
40406724	4545	FULLIFE SAFETY CENTER	SAFETY GLOVES	\$102.60
40406724	4585	ADVANCE AUTO PARTS	REPAIR PARTS	\$100.40
40406724	4585	BUMPER TO BUMPER/ LEE AUTO	REPAIR PARTS	\$85.15
40406724	4585	HENDERSON PRODUCTS INC	REPAIR PARTS	\$78.10
40406724	4585	KAMMES AUTO & TRUCK REPAIR INC	STATE INSPECTIONS	\$159.00
40406724	4585	NORTHWEST TRUCKS, INC	REPAIR PARTS	\$159.08
40406724	4585	NORTHWEST TRUCKS, INC	RTN REPAIR PARTS	(\$103.52)
40406724	4585	RUSH TRUCK CENTER OF ILLINOIS, INC	REPAIR PARTS	\$45.46

WATER DIVISION **\$6,625.14**

40406823	4408	BATTERIES PLUS BULBS	VARIOUS SUPPLIES	\$107.95
40406823	4408	MENARDS - HNVR PARK	REPAIR PARTS	\$35.98
40406824	4525	GRUNDFOS WATER UTILITY INC	INSPECTION OF LIFT STATION	\$1,350.00
40406824	4525	MENARDS - HNVR PARK	REPAIR PARTS	\$295.85
40406824	4530	BEVERLY MATERIALS, L.L.C.	CLEAN FILL	\$390.00
40406824	4530	GREEN SOILS MANAGEMENT LLC	TRIPLE BLEND MATERIALS	\$27.03
40406824	4530	HEALY ASPHALT CO., LLC.	SURFACE MATERIALS	\$126.88
40406824	4530	LEE JENSEN SALES CO., INC.	REPAIR PARTS	\$649.00
40406824	4530	VCNA PRAIRIE LLC	CONCRETE	\$174.88
40406824	4530	VULCAN MATERIALS CO	BEDDING STONE	\$464.76
40406825	4602	FULLIFE SAFETY CENTER	SENSOR	\$166.85
40406825	4608	STATE CHEMICAL SOLUTIONS	SOLE VENDOR FOR CHEMICAL	\$2,526.30
40406825	4608	STATE CHEMICAL SOLUTIONS	SOLE VENDOR OF CHEMICAL S	\$19,912.49

VILLAGE OF HOFFMAN ESTATES

September 13, 2021

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
SEWER DIVISION			\$26,227.97
40407023 4403	ROTARY FORMS & SYSTEMS	15,000 WATER/SEWER BILLS	\$897.75
40407023 4403	ROTARY FORMS & SYSTEMS	FREIGHT FOR THE 15,000 WA	\$110.00
BILLING DIVISION			\$1,007.75
TOTAL WATERWORKS AND SEWERAGE FUND			\$36,027.97
NOW ARENA OPERATING FUND			
41000024 4542	ADVANTAGE MECHANICAL INC.	PER THE BID AWARD ON MAY	\$90,943.00
41000024 4542	PAYNE SPARKMAN MFG INC	FINAL PYMT LIGHTING CONTR	\$8,790.70
TOTAL NOW ARENA OPERATING FUND			\$99,733.70
INSURANCE FUND			
46 1101	MIKE PLOCINSKI	REIM FROM SICK INCENTIVE	\$428.92
46700024 4579	ALEXIAN BROTHERS CORPORATE HEALTH	PHYSICAL	\$98.00
TOTAL INSURANCE FUND			\$526.92
LAKWOOD CENTER TIF			
67000024 4507	REAL ESTATE PUBLISHING CORPORATION	MARKETING MATERIALS	\$2,500.00
TOTAL LAKWOOD CENTER TIF			\$2,500.00
2017 A&B GO DEBT SERVICE			
75000024 4543	AMALGAMATED BANK OF CHICAGO	ADMIN FEE YEARLY	\$475.00
TOTAL 2017 A&B GO DEBT SERVICE			\$475.00
2018 GO DEBT SERVICE			
76000024 4574	AMALGAMATED BANK OF CHICAGO	ADMIN FEE	\$475.00
TOTAL 2018 GO DEBT SERVICE			\$475.00
BILL LIST TOTAL			\$1,332,628.73

SUPERION
 DATE: 09/09/2021
 TIME: 11:20:10

VILLAGE OF HOFFMAN ESTATES
 CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 1
 ACCTPA21

SELECTION CRITERIA: transact.t_c='20' and transact.trans_date between '20210825 00:00:00.000' and '20210909 00:00:00.000'
 ACCOUNTING PERIOD: 9/21

FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
0102	121857	V 04/20/21	6925	CATHY DAGIAN STANTON	01556522	MILEAGE REIM FEB-MAR	0.00	-245.28
0102	122107	V 05/18/21	14503	JOHN KOVAKA	01404123	REIM FOR CDL LICENSE	0.00	-30.00
0102	122558	V 07/07/21	2027	BRISTOL HOSE & FITTING	01404524	REPAIR PARTS	0.00	-129.00
0102	122558	V 07/07/21	2027	BRISTOL HOSE & FITTING	01	REPAIR PARTS	0.00	-118.57
0102	122558	V 07/07/21	2027	BRISTOL HOSE & FITTING	40406724	REPAIR PARTS	0.00	-285.41
TOTAL CHECK							0.00	-532.98
0102	123365	V 08/31/21	13996	O'REILLY AUTO PARTS	01404524	REPAIR PARTS	0.00	-20.58
0102	123365	V 08/31/21	13996	O'REILLY AUTO PARTS	01	FILTER	0.00	-57.20
0102	123365	V 08/31/21	13996	O'REILLY AUTO PARTS	01	SSTOCK REPAIR PARTS	0.00	-41.46
TOTAL CHECK							0.00	-119.24
0102	123422	08/31/21	3723	PETER EDGAR	01	C-PAL	0.00	1,411.19
0102	123423	09/01/21	2027	BRISTOL HOSE & FITTING	01404524	REPAIR PARTS	0.00	129.00
0102	123423	09/01/21	2027	BRISTOL HOSE & FITTING	01	REPAIR PARTS	0.00	118.57
0102	123423	09/01/21	2027	BRISTOL HOSE & FITTING	40406724	REPAIR PARTS	0.00	285.41
TOTAL CHECK							0.00	532.98
0102	123424	09/01/21	19229	JEWEL FOOD STORES	01101123	WATER	0.00	40.00
0102	123425	09/01/21	12947	BUMPER TO BUMPER/ LEE AU	01404524	CLAMP	0.00	20.58
0102	123426	09/01/21	13996	O'REILLY AUTO PARTS	01	REPAIR APRTS	0.00	57.20
0102	123426	09/01/21	13996	O'REILLY AUTO PARTS	01	REPAIR PARTS	0.00	41.46
TOTAL CHECK							0.00	98.66
0102	123427	09/03/21	11462	IACE/ C/O CITY OF EVANST	01505122	TRAINING SEP 15,22,29	0.00	225.00
0102	123428	09/03/21	12802	LEAF	01401224	COPIER SERVICES	0.00	101.57
0102	123428	09/03/21	12802	LEAF	40406724		0.00	101.58
TOTAL CHECK							0.00	203.15
0102	123429	09/07/21	11454	THE FUN ONES	01605824	OBSTACLE COURSE	0.00	1,267.50
0102	123430	09/09/21	2226	PETTY CASH	01605824	CASH FOR PLATZKONZERT	0.00	750.00
TOTAL CASH ACCOUNT							0.00	3,621.56
TOTAL FUND							0.00	3,621.56
TOTAL REPORT							0.00	3,621.56

VILLAGE OF HOFFMAN ESTATES
 Monthly Credit Card Activity

From: 07/06/2021

To: 8/5/2021

Account Name	Merchant Name	Transaction Date	Accounting Code	Accounting Code	Transaction Amount	Expense Description
ANTHONY FASHODA	AMZN MKTP US*2938A7VX0	07/06/2021	01101423	4414	\$12.42	PHONE CASE
ANTHONY FASHODA	ILLINOIS GOVERNMENT FI	07/19/2021	01101422	4301	\$325.00	CONFERENCE REG-FASHODA
ANTHONY FASHODA	MAILFINANCE	07/06/2021	01101424	4510	\$745.50	FOLDING MACHINE LEASE
ANTHONY FASHODA	MAILFINANCE	07/06/2021	40407024	4510	\$745.50	FOLDING MACHINE LEASE
BEN GIBBS	ASCAP LICENSE FEE	07/31/2021	01	1445	\$537.00	NOW-RENEWAL
BEN GIBBS	BROADCAST MUSIC INC BM	08/02/2021	01	1445	\$765.90	NOW-SUBSCRIPTION
BEN GIBBS	BURNT PIZZA - HOFFMAN	07/13/2021	01	1445	\$140.42	NOW-MTG
BEN GIBBS	DISPLAYS2GO	07/24/2021	01	1445	\$241.45	NOW-SUPPLIES
BEN GIBBS	INCSTORES LLC	07/14/2021	01	1445	\$267.97	NOW-SUPPLIES
BEN GIBBS	MONOPRICE, INC.	07/09/2021	01	1445	\$35.01	NOW-SUPPLIES
BEN GIBBS	NAVY PIER PARKING	07/30/2021	01	1445	\$26.00	NOW-PARKING
BEN GIBBS	NAVY PIER PARKING	07/30/2021	01	1445	\$37.00	NOW-PARKING
BEN GIBBS	PAYPAL *DROPBOX	07/31/2021	01	1445	\$11.99	NOW-SUBSCRIPTION
BEN GIBBS	SPOTIFY USA	08/05/2021	01	1445	\$9.99	NOW-SUBSCRIPTION
BEN GIBBS	WRISTBANDEXPRESSCOM	07/23/2021	01	1445	\$101.70	NOW-SUPPLIES
BEVERLY ROMANOFF	AMAZON.COM*2E4EH7L80	07/15/2021	01101523	4403	\$28.98	OFFICE LICENSING
BEVERLY ROMANOFF	AMZN MKTP US*299D74GI0	07/05/2021	01101523	4402	\$50.92	OFFICE SUPPLIES
BEVERLY ROMANOFF	AMZN MKTP US*2E4HS4G61	07/15/2021	01101523	4402	\$7.97	OFFICE SUPPLIES
BRYAN ACKERLUND	ENVELOPES.COM	07/16/2021	01505123	4403	\$638.95	PERMIT RECORD ENVELOPES
BRYAN ACKERLUND	NWBOCA	07/30/2021	01505122	4301	\$400.00	ANNUAL GOLF OUTING
DARIN W FELGENHAUER	EAGLE RIDGE RESORT & S	07/06/2021	01202122	4301	\$148.74	FBINAA CONFR TRAINING
DEBRA SCHOOP	MICHAELS STORES 1266	07/09/2021	01101223	4414	\$333.00	ZONING MAP FRAMING
ERIC J PALM	AMERICAN 0012193009181	08/04/2021	01101222	4301	\$304.81	AIRFARE-ICSC
ERIC J PALM	DUNKIN #351868 Q35	07/17/2021	01101222	4301	\$13.43	COFFEE WITH THE BOARD
ERIC J PALM	DUNKIN #351868 Q35	07/17/2021	01101222	4301	\$23.51	COFFEE WITH THE BOARD
ERIC J PALM	MORETTI'S	07/06/2021	01101222	4301	\$113.89	WELCOME LUNCH-WAX
ERIC J PALM	MORETTI'S	07/15/2021	01101222	4301	\$45.71	BUSINESS LUNCH
FRED BESENHOFFER	AMAZON PRIME*2P2VB40W1	07/24/2021	47001222	4303	\$12.99	PRIME MEMBERSHIP FEE
FRED BESENHOFFER	CDW GOVT #G999611	07/16/2021	01404424	4510	\$151.19	MEMORY
FRED BESENHOFFER	COMCAST CHICAGO	07/08/2021	47008524	4542	\$308.35	INTERNET SERVICE
FRED BESENHOFFER	COMCAST CHICAGO	07/09/2021	47008524	4542	\$227.95	INTERNET SERVICE
FRED BESENHOFFER	COMCAST CHICAGO	07/28/2021	47008524	4542	\$293.35	INTERNET SERVICE
FRED BESENHOFFER	COMCAST CHICAGO	07/29/2021	47008524	4542	\$79.90	INTERNET SERVICE
FRED BESENHOFFER	DLS INTERNET SERVICES	07/13/2021	47008524	4542	-\$420.02	CHARGE CREDIT
FRED BESENHOFFER	DLS INTERNET SERVICES	07/22/2021	47008524	4542	\$432.48	INTERNET SERVICE
FRED BESENHOFFER	DMI* DELL HLTHCR/PTR	07/27/2021	47008525	4602	\$535.50	DRIVES
FRED BESENHOFFER	DYN*DYN.COM/CHARGE	07/11/2021	41000024	4507	\$20.00	SCA DNS SERVICE
FRED BESENHOFFER	LOGMEIN*GOTOMEETING	07/21/2021	47008524	4542	\$55.00	SUBSCRIPTION
JENNIFER DJORDJEVIC	AMZN MKTP US*2E4JM4RJ2	07/30/2021	01101123	4402	\$54.43	MAYOR-MOPHIE
JENNIFER DJORDJEVIC	BUONA 6	08/02/2021	01101123	4414	\$115.97	TRUSTEE DINNER
JENNIFER DJORDJEVIC	FABBRINIS FLOWERS	08/02/2021	01101123	4414	\$50.00	FLOWERS
JENNIFER DJORDJEVIC	HOO*HOOTSUITE INC	07/08/2021	01101123	4414	\$75.00	SUBSCRIPTION
JENNIFER DJORDJEVIC	JIMMY JOHNS - 424 - EC	07/19/2021	01101123	4414	\$11.79	MAYOR

VILLAGE OF HOFFMAN ESTATES
Monthly Credit Card Activity

From: 07/06/2021

To: 8/5/2021

Account Name	Merchant Name	Transaction Date	Accounting Code	Accounting Code	Transaction Amount	Expense Description
JENNIFER DJORDJEVIC	JIMMY JOHNS - 424 - EC	07/22/2021	01101123	4414	\$11.79	MAYOR
JENNIFER DJORDJEVIC	JIMMY JOHNS - 424 - EC	07/29/2021	01101123	4414	\$11.79	MAYOR
JENNIFER DJORDJEVIC	LOS FERNANDEZ	07/06/2021	01101123	4414	\$143.81	TRUSTEE DINNER
JENNIFER DJORDJEVIC	MARIANOS #506	07/06/2021	01101123	4414	\$27.99	TRUSTEE OFFICES
JENNIFER DJORDJEVIC	MARIANOS #506	07/19/2021	01101123	4414	\$51.42	TRUSTEE OFFICES
JENNIFER DJORDJEVIC	PAYPAL *POC	07/13/2021	01101122	4301	\$700.00	POC SPONSORSHIP/GOLF OUTING
JENNIFER DJORDJEVIC	POPLAR CREEK BOWL & BA	07/28/2021	01101122	4301	\$205.00	WINE WEDNESDAY-JULY
JENNIFER DJORDJEVIC	ROSATIS PIZZA - HOFFMA	07/20/2021	01101122	4301	\$34.97	MAYOR'S MEETING
JENNIFER DJORDJEVIC	STARBUCKS STORE 27406	07/22/2021	01101122	4301	\$12.04	NOW ARENA DISCUSSION
JENNIFER DJORDJEVIC	UNITED 01623603611766	07/29/2021	01101122	4301	\$240.80	AIRFARE
JENNIFER DJORDJEVIC	UNITED 01699340066815	07/29/2021	01101122	4301	\$21.00	AIRFARE
JENNIFER DJORDJEVIC	UNITED 01699340066826	07/29/2021	01101122	4301	\$18.00	AIRFARE
JENNIFER DJORDJEVIC	USMAYORS	07/15/2021	01101122	4301	\$1,500.00	CITY SUMMIT
JENNIFER DJORDJEVIC	WWW.VOLGISTICS.COM	07/29/2021	01101123	4404	\$48.00	SUBSCRIPTION
JOHN JANICKI	AMAZON PRIME*2969062Q0	07/10/2021	01	1445	\$119.00	NOW-SUPPLIES
JOHN JANICKI	AMAZON.COM*2E3482M40	07/21/2021	01	1445	\$1,288.02	NOW-SUPPLIES
JOHN JANICKI	AMZN MKTP US*291HV1UH2	07/14/2021	01	1445	\$67.96	NOW-SUPPLIES
JOHN JANICKI	AMZN MKTP US*295B423G2	07/05/2021	01	1445	\$47.98	NOW-SUPPLIES
JOHN JANICKI	AMZN MKTP US*2E05J4SW0	07/24/2021	01	1445	\$20.97	NOW-SUPPLIES
JOHN JANICKI	AMZN MKTP US*2E1PP5QN2	07/26/2021	01	1445	\$28.99	NOW-SUPPLIES
JOHN JANICKI	AMZN MKTP US*2E2HY4812	07/26/2021	01	1445	\$23.99	NOW-SUPPLIES
JOHN JANICKI	AMZN MKTP US*2E7307K41	07/20/2021	01	1445	\$50.96	NOW-SUPPLIES
JOHN JANICKI	AMZN MKTP US*2E8FS7S22	07/27/2021	01	1445	\$99.80	NOW-SUPPLIES
JOHN JANICKI	AMZN MKTP US*2P2GV9AM2	08/04/2021	01	1445	\$900.60	NOW-SUPPLIES
JOHN JANICKI	AMZN MKTP US*2P5U10JH2	08/03/2021	01	1445	\$89.99	NOW-SUPPLIES
JOHN JANICKI	AMZN MKTP US*2P6511DP1	08/04/2021	01	1445	\$433.00	NOW-SUPPLIES
JOHN JANICKI	DNH*GODADDY.COM	08/04/2021	01	1445	\$36.51	NOW-WEB ASSISTANCE
JOHN JANICKI	EIG*CONSTANTCONTACT.CO	07/16/2021	01	1445	\$100.94	NOW-WEB ASSISTANCE
JOHN JANICKI	ENDICIA	07/20/2021	01	1445	\$14.57	NOW-POSTAGE MACHINE
JOHN JANICKI	FACEBK *2HUCR57TB2	08/04/2021	01	1445	\$900.00	NOW-ADVERTISING
JOHN JANICKI	FACEBK *GBTEF5PTB2	07/31/2021	01	1445	\$718.99	NOW-ADVERTISING
JOHN JANICKI	FACEBK *H6A9A5KTB2	07/09/2021	01	1445	\$900.00	NOW-ADVERTISING
JOHN JANICKI	FACEBK *T8NBH5PSB2	07/22/2021	01	1445	\$900.00	NOW-ADVERTISING
JOHN JANICKI	FACEBK *W5LLH6BTB2	07/28/2021	01	1445	\$900.00	NOW-ADVERTISING
JOHN JANICKI	FACEBK *XBAFA57TB2	07/17/2021	01	1445	\$900.00	NOW-ADVERTISING
JOHN JANICKI	GOOGLE *ADS6015163255	07/12/2021	01	1445	\$486.08	NOW-ADVERTISING
JOHN JANICKI	KULTURECITY	07/06/2021	01	1445	\$99.00	NOW-CERTIFICATION
JOHN JANICKI	USPS STAMPS ENDICIA	07/14/2021	01	1445	\$50.00	NOW-POSTAGE
JOHN JANICKI	WIX.COM*945285783	07/06/2021	01	1445	\$4.99	NOW-WEB ASSISTANCE
JOSEPH CAPIGA	APPLE.COM/BILL	07/12/2021	01404524	4501	\$0.99	50GB STORAGE PLAN
JOSEPH CAPIGA	LIQUIDSPRING LLC	07/29/2021	01404524	4514	\$142.22	AUTO PARTS
JOSEPH CAPIGA	MCNICHOLS COMPANY	07/15/2021	40406724	4585	\$348.12	METAL
JOSEPH CAPIGA	O'HARE KARS INC.	07/28/2021	01404524	4513	\$50.00	AUTO PARTS

VILLAGE OF HOFFMAN ESTATES
Monthly Credit Card Activity

From: 07/06/2021

To: 8/5/2021

Account Name	Merchant Name	Transaction Date	Accounting Code	Accounting Code	Transaction Amount	Expense Description
JOSEPH NEBEL	APPLE.COM/BILL	08/02/2021	40406722	4301	\$0.99	ICLOUD 50GB STORAGE PLAN
JOSEPH NEBEL	COMCAST CHICAGO	07/15/2021	40406724	4501	\$108.35	BUSINESS INTERNET-XIAO
JOSEPH NEBEL	ILLINOIS AWWA	07/20/2021	40406722	4301	\$900.00	WATERCON CONF REG
JOSEPH NEBEL	ILLINOIS AWWA	07/20/2021	40406722	4301	\$100.00	WATERCON CONF REG
KATHRYN CAWLEY	AMAZON.COM*291K99W00	07/13/2021	01201223	4414	\$21.48	25FT HDMI CABLE
KATHRYN CAWLEY	AMZN MKTP US*2E24F2MT2	07/24/2021	01201223	4402	\$109.99	STANDING DESK COVERTER
KATHRYN CAWLEY	AMZN MKTP US*2P4OU2F32	08/01/2021	01201223	4402	\$46.53	OFFICE SUPPLIES
KATHRYN CAWLEY	PNEU-DART INC	07/22/2021	01202123	4414	\$81.51	ICC TYPE P RDD/5PK
KATHRYN CAWLEY	SAFE KIDS WORLDWIDE	08/02/2021	01202222	4301	\$55.00	RENEWAL CHILD SEAT CERTIFICTN
KATHRYN CAWLEY	SAMSCLUB.COM	07/07/2021	01201223	4417	\$118.34	PRISONER MEALS
KATHRYN CAWLEY	WAL-MART #1420	07/07/2021	01201223	4402	\$38.24	VGA TO HDMI ADAPTER
KELLY KERR	2 XL CORPORATION	08/04/2021	01404423	4412	\$158.83	DISINFECTING WIPES
KELLY KERR	2 XL CORPORATION	08/04/2021	01404624	4519	\$158.82	DISINFECTING WIPES
KELLY KERR	AMZN MKTP US*292611TR2	07/06/2021	40406723	4414	\$326.58	WIRELESS HEADSET LIFTERS
KELLY KERR	APPLE.COM/BILL	08/03/2021	40406723	4408	\$0.99	ICLOUD 50GB STORAGE PLAN
KELLY KERR	HANOVER GLASS & MIRROR	07/19/2021	01404623	4414	\$53.50	1/8" MIRROR
KELLY KERR	HOLIDAY INN	07/16/2021	01401222	4301	\$575.00	IPSA CONFERENCE-JANKE
KELLY KERR	LOWES #01845*	08/03/2021	01404323	4414	\$136.78	FENCE GATE REPLACEMENT
KELLY KERR	NYSTROM INC	07/16/2021	40406824	4525	-\$720.00	RETURNED HINGES
KEVIN D KRAMER	CHICAGO TRIB SUBSCRIPT	07/19/2021	01505922	4301	\$7.96	ONLINE SUBSCRIPTION
KEVIN D KRAMER	COSTAR GROUP INC	07/13/2021	01505924	4542	\$400.00	MAGAZINE ADS
KEVIN D KRAMER	DAILY HERALD*ONLINE	07/19/2021	01505923	4404	\$99.00	ONLINE SUBSCRIPTION
KEVIN D KRAMER	HE CHAMBER	08/03/2021	01505922	4301	\$10.00	REG BACK TO BUSINESS
KEVIN D KRAMER	IEDC ONLINE	07/28/2021	01505922	4301	\$650.00	REG ED STRATEGIC PLANNING
KEVIN D KRAMER	ILAWARDS_2021_SINGLESE	07/13/2021	01505922	4301	\$750.00	IL AWARDS 2021 ATTENDANCE
KEVIN D KRAMER	MINUTEMAN PRESS HOFF E	07/12/2021	01605824	4575	\$506.00	SUMMER CONCERTS FLYER
KEVIN D KRAMER	SAUL EWING ARNSTEIN &	07/19/2021	01505924	4542	\$1,050.00	RENEW 59/90 LOGO TRADEMARK
KEVIN D KRAMER	SP * OKTOBERFEST HAUS	07/20/2021	01605824	5502	\$46.83	LANYARDS-PLATZKONZERT
KEVIN D KRAMER	WWW.1AND1.COM	07/21/2021	01605824	4575	\$10.00	ARTS COMM WEBSITE
MONICA SAAVEDRA	AMAZON.COM*2E5B08562	07/24/2021	01556523	4413	\$44.40	MEDICAL SUPPLIES
MONICA SAAVEDRA	AMZN MKTP US*294RS20E2	07/07/2021	01605824	4560	\$89.85	YOUTH COMM UNPLUG/PLAY EVENT
MONICA SAAVEDRA	AMZN MKTP US*297X260V2	07/07/2021	01605824	4560	\$515.62	YOUTH COMM UNPLUG/PLAY EVENT
MONICA SAAVEDRA	AMZN MKTP US*2E45V1SD0	07/24/2021	01556523	4413	\$13.42	BANDAIDS
MONICA SAAVEDRA	BHN*GIFTCARDS	08/03/2021	01556524	4564	\$75.00	FITNESS CHALLENGE PRIZE
MONICA SAAVEDRA	CS *ALBERTSONSGCARDS	08/04/2021	01556524	4564	\$50.00	FITNESS CHALLENGE PRIZE
MONICA SAAVEDRA	CS *REDROBIN GIFTCARD	08/04/2021	01556524	4564	\$50.00	FITNESS CHALLENGE PRIZE
MONICA SAAVEDRA	ULTA GIFT CARDS	08/04/2021	01556524	4564	\$50.00	FITNESS CHALLENGE PRIZE
PATRICK J SEGER	CABELA'S ONLINE U.S.	07/19/2021	01101623	4405	\$200.00	ANNV GC-TRENTACOSTE
PATRICK J SEGER	CABELA'S ONLINE U.S.	07/28/2021	01101623	4405	\$150.00	ANNV GC-JOHNSON
PATRICK J SEGER	CS *ALBERTSONSGCARDS	07/23/2021	01101623	4405	\$75.00	ANNV GC-CROSS
PATRICK J SEGER	DT *DULUTH TRADING CO	07/27/2021	01101623	4405	\$20.00	ANNV GC-BEES
PATRICK J SEGER	JEWEL OSCO 3316	08/02/2021	01101623	4405	\$49.99	ANNV CAKE-CROSS
PATRICK J SEGER	JEWEL OSCO 3316	08/02/2021	01201223	4405	\$44.99	CHIEF CAWLEY'S CAKE

VILLAGE OF HOFFMAN ESTATES
Monthly Credit Card Activity

From: 07/06/2021

To: 8/5/2021

Account Name	Merchant Name	Transaction Date	Accounting Code	Accounting Code	Transaction Amount	Expense Description
PATRICK J SEGER	PERSONALIZATION MALL	07/20/2021	01101623	4405	\$56.98	RETIRE CLOCK-STOY
PATRICK J SEGER	TARGET.COM *	07/14/2021	01101623	4405	\$200.00	RETIRE GC-STOY
PATRICK J SEGER	TARGET.COM *	07/20/2021	01101623	4405	\$100.00	ANNV GC-DIANOVSKY
PATRICK J SEGER	TARGET.COM *	07/20/2021	01101623	4405	\$25.00	ANNV GC-DIANOVSKY
PATRICK J SEGER	TARGET.COM *	07/23/2021	01101623	4405	\$100.00	ANNV GC-FURNO
PATRICK J SEGER	WGC*ACEHARDWARE	07/22/2021	01101623	4405	\$202.50	ANNV GC-RICHTER
PAUL BILODEAU JR	AMAZON.COM*293LI09X1	07/08/2021	01404424	4518	\$369.99	OFFICE CHAIRS
PAUL BILODEAU JR	AMAZON.COM*2P2H81T02	08/04/2021	01303124	4510.15	\$319.98	UPS SURGE PROTECTORS
PAUL BILODEAU JR	AMERICAN HEART SHOPCPR	07/14/2021	01303023	4414.21	\$684.50	CPR INSTRUCTION MATERIALS
PAUL BILODEAU JR	AMZN MKTP US*296D83Y51	07/08/2021	01404424	4518	\$109.95	DESK RISER
PAUL BILODEAU JR	AMZN MKTP US*2P0FY3T62	08/03/2021	01301223	4402	\$32.14	OFFICE SUPPLIES
PAUL BILODEAU JR	GARIBALDIS ITALIAN EAT	07/24/2021	01301223	4414	\$48.98	EMS STAND-BY CREW LUNCH
PAUL BILODEAU JR	INT'L CODE COUNCIL INC	07/14/2021	01303322	4303	\$121.00	CERTIFICATION RENEWAL-SOLICK
PAUL BILODEAU JR	SAMSCLUB.COM	07/13/2021	01303523	4412	\$988.18	STATION SUPPLIES
PAUL BILODEAU JR	SAMSCLUB.COM	07/16/2021	01303523	4412	\$724.12	STATION SUPPLIES
PAUL W PETRENKO	AMZN MKTP US*2E9594OQ0	07/14/2021	01404424	4510	\$59.99	LAPTOP BATTERY REPLACEMENT
PAUL W PETRENKO	AMZN MKTP US*2P12Q8J51	07/27/2021	01404424	4510	\$25.98	SSD ENCLOSURE ADAPTOR
PAUL W PETRENKO	APPLE.COM/BILL	07/08/2021	01404424	4510	\$0.99	ICLOUD 50GB STORAGE PLAN
PAUL W PETRENKO	APPLE.COM/BILL	08/04/2021	01404424	4510	\$0.99	ICLOUD 50GB STORAGE PLAN
PETER GUGLIOTTA	AMERICAN PLANNING A	07/23/2021	01501222	4303	\$724.00	ANN APA DUES-PETE
PETER GUGLIOTTA	AMERICAN PLANNING A	07/29/2021	01505022	4303	\$668.00	ANN APA DUES-JENNY
RACHEL E MUSIALA	GOVERNMENT FINANCE OFF	07/15/2021	01101422	4303	\$595.00	VILLAGE MEMBERSHIP
RACHEL E MUSIALA	IL TOLLWAY-WEB	07/16/2021	01101122	4301	\$10.75	IPASS
RACHEL E MUSIALA	IL TOLLWAY-WEB	07/16/2021	01401222	4301	\$1.20	IPASS
RACHEL E MUSIALA	IL TOLLWAY-WEB	07/16/2021	01505222	4301	\$2.00	IPASS
RACHEL E MUSIALA	IL TOLLWAY-WEB	07/16/2021	01404522	4301	\$19.80	IPASS
RACHEL E MUSIALA	ILLINOIS GOVERNMENT FI	07/19/2021	01101422	4301	\$325.00	CONFR REG-WARREN
RACHEL E MUSIALA	ILLINOIS GOVERNMENT FI	07/19/2021	01101422	4301	\$325.00	CONFR REG-ARROYO
RACHEL E MUSIALA	ILLINOIS GOVERNMENT FI	07/19/2021	01101422	4301	\$325.00	CONFR REG-MUSIALA
RACHEL E MUSIALA	WCI*GROOT EAST	07/19/2021	09000024	4542	\$186,618.72	VLG REFUSE SERVICE
WILLIAM D MCLEOD	THE ASSEMBLY AMERICAN	07/26/2021	01101122	4301	\$61.48	MEETING
Total					\$221,943.13	

**VILLAGE OF HOFFMAN ESTATES
AN ORDINANCE GRANTING A SITE PLAN AMENDMENT AND
SPECIAL USE TO AMITA HEALTH FOR THE ST. ALEXIUS
MEDICAL CENTER PROPERTY LOCATED AT
1555 N. BARRINGTON ROAD, HOFFMAN ESTATES, ILLINOIS**

WHEREAS, the Planning and Zoning Commission, at a public hearing duly called and held according to law on September 1, 2021, considered the request by AMITA Health (applicant and owner) for a site plan amendment and special use to permit an expansion of the emergency department at the St. Alexius Medical Center property at 1555 N. Barrington Road, and shown on Exhibit "A" attached hereto and made a part hereof; and

WHEREAS, the Planning and Zoning Commission made certain Finding of Fact attached hereto and made a part hereof as Exhibit "B" and recommended approval of the site plan amendment and special use to the Board of Trustees; and

WHEREAS, the Corporate Authorities have received and considered said recommendation; and

WHEREAS, the proposed special use has met the standards of Section 9-1-18 of the Zoning Code of the Hoffman Estates Municipal Code; and

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: The Corporate Authorities hereby find that the facts and statements contained in the preamble of this Ordinance are true.

Section 2: A site plan amendment authorized under Section 10-2-2 of the Subdivision Code is hereby granted for property located at 1555 N. Barrington Road.

Section 3: A special use authorized under Section 9-9-1-C-1 of the Zoning Code is hereby granted to AMITA Health to permit expansion of the emergency department at the St. Alexius Medical Center property located at 1555 N. Barrington Road.

Section 4: The site plan amendment and special use are granted based upon the plans incorporated in Exhibit B and the following conditions:

1. The building permit shall be obtained within twelve (12) months of the Village Board action on this request.
2. The following Subdivision Code waiver is granted:
 - a. A waiver from Section 10-5-2-A-3 of the Municipal Code to allow the use of curb stops for the back-in ambulance spaces immediately adjacent to the new expansion.
3. A performance guarantee based on an Engineers Estimate of Cost shall be submitted to the Village prior to issuance of a building permit.
4. If determined by the Metropolitan Water Reclamation District (MWRD) that a permit is required, the permit shall be provided to the Village prior to site construction commencing.

5. The following conditions relate to the site construction:
 - a. A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
 - b. Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.
 - c. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.

Section 5: The Village Clerk is hereby authorized to publish this Ordinance in pamphlet form.

Section 6: This Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2021

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Michael Gaeta	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2021

Village President

ATTEST:



Village Clerk

Published in pamphlet form this _____ day of _____, 2021.

Exhibit "A"
1555 - 1585 Barrington Road
P.I.N.: 07-07-300-027-0000 & 07-07-300-025-0000



Legend

-  Subject Property
-  Project Location



Planning and Transportation
The Village of Hoffman Estates
September 2021

EXHIBIT B



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION FINDING OF FACT

PROJECT NUMBER: 2021-030P
PROJECT NAME: St. Alexius Medical Center Emergency Department Renovation
ADDRESS/LOCATION: 1555 N. Barrington Rd.
OWNER / PETITIONER: AMITA Health / Kimley-Horn Engineering
REQUEST: Special Use
Site Plan Amendment
ZONING / LAND USE: RPD Residential Planned Development
PZC MEETING DATE: September 1, 2021
PZC RECOMMENDATION: **APPROVAL** (7 Ayes, 0 Nays, 3 Absent)
VILLAGE BOARD MEETING DATE: September 13, 2021
STAFF ASSIGNED: Jim Donahue, Senior Planner

MOTION

Request for a Special Use under Section 9-5-11-G-5 of the Municipal Code and Site Plan Amendment to permit expansion of an Emergency Department located at 1555 N. Barrington Road, subject to the following conditions:

1. The building permit shall be obtained within twelve (12) months of the Village Board action on this request.
2. The following Subdivision Code waiver is granted:
 - a. A waiver from Section 10-5-2-A-3 of the Municipal Code to allow the use of curb stops for the back-in ambulance spaces immediately adjacent to the new expansion.
3. A performance guarantee based on an Engineers Estimate of Cost shall be submitted to the Village prior to issuance of a building permit.
4. If determined by the Metropolitan Water Reclamation District (MWRD) that a permit is required, the permit shall be provided to the Village prior to site construction commencing.
5. The following conditions relate to the site construction:
 - a. A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.

- b. Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.
- c. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.

FINDING

The Planning & Zoning Commission heard the request from the petitioner who stated that existing operational issues at the current facility include a shortage of dedicated behavioral health rooms, a disjointed flow from triage into the department, and poor connectivity to the pediatrics/observation pods. They stated that the project will include construction of a 1-story ED Annex and a new ambulance canopy. Reconfiguration of the registration and triage area will be included as minor renovation. The remainder of the ED will receive finishes, furniture and casework replacement. The work will be conducted over a series of phases to maintain operations of the department at all times. At the end of the project the Emergency Department is intended to appear “like new” although most rooms will not change their configuration.

Staff noted that the subject property the subject property is zoned RPD, Residential Planned Development District and a hospital is listed as a special use in the RPD District. The existing building has been a hospital for a number of years and has an existing Special Use. Due the building addition, a new Special Use is required. The petitioner has provided a narrative describing the expansion and proposed site improvements.

Per Section 9-1-18-1 of the Zoning Code (Standards for a Special Use) states: “No special use shall be recommended by the Planning and Zoning Commission unless said Planning and Zoning Commission shall find:

1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
4. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;
5. That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets; and
6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Planning and Zoning Commission.

The petitioner has provided a response to the standards for a Special Use which was included in the packets and was considered by the Planning & Zoning Commission.

The Commission learned that the access to the site will remain unchanged from both Barrington Road and Moon Lake Boulevard. During construction, internal access will be temporarily rerouted around the construction area. The Commission heard that as part of this project, seven parking spaces are being reconfigured to be used as ambulance parking. These new six spaces are in addition to the back-in ambulance spaces immediately adjacent to the new expansion.

Staff noted that Section 10-5-2-A-3 of the Municipal Code states that the use of curb stops or bumper blocks shall be prohibited. The petitioner is requesting a waiver for the use of curb stops for the back-in ambulance spaces immediately adjacent to the new expansion. This is needed to prevent overhang of vehicles while unloading patients. The Commission had no issues with this waiver.

The petitioner reviewed all aspects of the site development including access and parking, site engineering, landscaping, lighting and explained in detail how the site would function.

Commissioner questions included:

- Will the ER still function as this project moves forward? (The petitioner explained the logistics and stated the ER operations will not be impacted.)
- Can the proposed new behavioral health rooms be used in the event of an emergency? (Petitioner stated yes, the rooms will serve for behavioral health and they could be used for an emergency.)
- Will visitor parking be impacted? (Petitioner stated no.)
- Existing lighting levels need improvement (Petitioner stated there have been recent improvements to the lighting, including the addition of LED lights).
- Are there security cameras in the parking garage? (Petitioner said yes.)
- How will a car entering from Barrington Road would get to the emergency room entrance. (Petitioner stated the route would be the same)
- Various aspects of construction phasing. (Petitioner explained all phasing and that current pedestrian and auto access would not be impacted)

AUDIENCE COMMENTS

None

PLANNING AND ZONING COMMISSION VOTE

Commissioner	Roll Call Vote
Chairperson Eva Combs	Aye
Vice-Chairman Greg Ring	Aye
Adam Bauske	Aye
Tom Burnitz	Aye
Lon Harner	Aye
Lenard Henderson	Absent
Myrene Iozzo	Absent
Minerva Milford	Aye
Nancy Trieb	Aye
Denise Wilson	Absent
7 Ayes, 0 Nays, 3 Absent	MOTION APPROVED

ATTACHMENTS

The Planning and Zoning Commission Staff Report dated September 1, 2021 and all associated attachments are hereby made a part of this Finding.



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT NUMBER: 2021-030P
PROJECT NAME: St. Alexius Medical Center Emergency Department Renovation
ADDRESS/LOCATION: 1555 N. Barrington Rd.
PROPERTY SIZE: +/- 40 Acres (whole campus)
OWNER / PETITIONER: AMITA Health / Kimley-Horn Engineering
REQUESTS: Special Use
Site Plan Amendment
PUBLIC HEARING: Yes
ZONING / LAND USE: RPD Residential Planned Development
ADJACENT PROPERTIES: NORTH: B-2 Community Business (Stonegate Conference Center)
SOUTH: RPD - Residential Planned Development (Brookdale Senior Care)
WEST: FP - Forest Preserve
EAST: RPD - Residential Planned Development (Behavioral Health)
PZC MEETING DATE: September 1, 2021
STAFF ASSIGNED: Jim Donahue, Senior Planner

REQUESTED MOTION

Request for a Special Use under Section 9-5-11-G-5 of the Municipal Code and Site Plan Amendment to permit expansion of an Emergency Department located at 1555 N. Barrington Road

INCLUDES RECOMMENDED CONDITIONS: YES

BACKGROUND

The St. Alexius Medical Center campus has gone through many site upgrades over the past 15 years including a new parking decks, a building expansion in 2011 for the Women and Children Hospital wing as well as a revised ER drop-off area. A building expansion for the Emergency Department is currently being proposed.

PROPOSAL

The existing Emergency Department (ED) is approximately 33,115 sf. Per the petitioner, existing operational issues include a shortage of dedicated behavioral health rooms, a disjointed flow from triage into the department, and poor connectivity to the pediatrics/observation pods. The project will include construction of a 1-story ED Annex and a new ambulance canopy. Reconfiguration of the registration and triage area will be included as minor renovation. The remainder of the ED will receive finishes, furniture and

casework replacement. The work will be conducted over a series of phases to maintain operations of the department at all times. At the end of the project the Emergency Department is intended to appear "like new" although most rooms will not change their configuration.

Exterior site changes include the reconfiguration to the site to accommodate an ambulance back-in and 6 new ambulance overflow parking spaces.

SPECIAL USE – ZONING CODE SECTION 9-5-11-G-5

The subject property is zoned RPD, Residential Planned Development District and a hospital is listed as a special use in the RPD District. The existing building has been a hospital for a number of years and has an existing Special Use. Due the building addition, a new Special Use is required. The petitioner has provided a narrative describing the expansion and proposed site improvements.

Section 9-1-18-I of the Zoning Code (Standards for a Special Use) states: "No special use shall be recommended by the Planning and Zoning Commission unless said Planning and Zoning Commission shall find:

1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
4. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;
5. That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets; and
6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Planning and Zoning Commission.

The petitioner has provided a response to the standards for a Special Use which is included in the packets.

SITE PLAN

Vehicular Access and Circulation – Subdivision Code Section 10-5

Access to the site will remain unchanged from both Barrington Road and Moon Lake Boulevard. During construction, internal access will be temporarily rerouted around the construction area.

Parking – Subdivision Code Section 10-5-2

As part of this project seven parking spaces are being reconfigured to be used as ambulance parking. These new six spaces are in addition to the back-in ambulance spaces immediately adjacent to the new expansion.

Section 10-5-2-A-3 of the Municipal Code states that the use of curb stops or bumper blocks shall be prohibited. The petitioner is requesting a waiver for the use of curb stops for the back-in ambulance spaces immediately adjacent to the new expansion. This is needed to prevent overhang of vehicles while unloading patients. Staff has no issues with this waiver.

Engineering – Subdivision Code Section 10-3

The plans do not include new sewer or water mains, but the addition will tie into the existing system. New storm sewer pipe is proposed in the ambulance parking area that will tie into the existing storm system. The Engineering Division has reviewed the proposed engineering, grading, utility, and erosion control plans and the plans are acceptable. The Petitioner is still working with MWRD to determine if the project will require a permit.

Landscaping – Subdivision Code Section 10-4

Because of the minor amount of work being proposed, the landscaping improvements will be minimal. The proposed landscape plan incorporates trees, shrubs and perennials into the site design in the impacted areas.

Building Design – Subdivision Code Section 10-5-3-H

The building addition will match the existing brick veneer building.

Exterior Lighting – Subdivision Code Section 10-5-3-G

No new light poles are proposed.

RECOMMENDED CONDITIONS

1. The building permit shall be obtained within twelve (12) months of the Village Board action on this request.
2. The following Subdivision Code waiver is granted:
 - a. A waiver from Section 10-5-2-A-3 of the Municipal Code to allow the use of curb stops for the back-in ambulance spaces immediately adjacent to the new expansion.
3. A performance guarantee based on an Engineers Estimate of Cost shall be submitted to the Village prior to issuance of a building permit.
4. If determined by the Metropolitan Water Reclamation District (MWRD) that a permit is required, the permit shall be provided to the Village prior to site construction commencing.
5. The following conditions relate to the site construction:

- a. A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
- b. Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.
- c. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.

Attachments: Petitioner's Applications and Submittals
Location Map



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING GENERAL APPLICATION*

Special Use for HOSPITAL Rezoning from _____ to _____

Variation: Commercial Residential Sign

Plat (Subdivision & Others): Preliminary Final

Site Plan: Amendment Concept Preliminary Final

Master Sign Plan: Amendment

Other: _____

*** ADDENDUM MATERIALS ARE REQUIRED FOR SPECIFIC REQUESTS**

Posting of Notification Sign(s) may be required.

Specific requirements will be provided when your request is scheduled.

FOR VILLAGE USE ONLY

Hearing Fee \$1000⁰⁰ Check No. 216808991+992 Date Paid 8/4/21

Project Number: 2021-030P

Staff Assigned: J. DONAHUE

Meeting Date: 9/1/21

Public Hearing: Yes No

Sign Posting Required: Yes No

Date Sign Posted 8/14/21

PLEASE PRINT OR TYPE

Date: June 4th, 2021

Project Name: SAMC ED Renovation

Project Description: Building expansion & renovation for existing emergency facilities. The expansion will also include additional Ambulance parking. _____

Project Address/Location: 1555 Barrington Road, Hoffman Estates, IL 60169

Property Index No. 07-07-300-027-0000 & 07-07-300-025-0000

Acres: 11.91 & 2.50 Zoning District: RPD

I. Owner of Record

Michael Bathe

Medxcel

Name

Company

2601 Navistar Drive

Lisle

Street Address

City

IL 60532

630-926-5542

State

Zip Code

Telephone Number

michael.bathe@medxcelfm.com

Fax Number

E-Mail Address

II. Applicant (Contact Person/Project Manager)

Andrew Heinen

Kimley-Horn

Name

Company

4201 Winfield Road, Suite 600

Warrenville

Street Address

City

IL 60555

630-487-5553

State

Zip Code

Telephone Number

Andy.Heinen@kimley-horn.com

Fax Number

E-Mail Address

Applicant's relationship to property: Civil Engineer

III. Owner Consent for Authorized Representative

It is required that the property owner or his designated representative be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. **If the owner cannot be present at the meeting, the following statement must be signed by the owner:**

I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize _____ to act on my behalf and advise that he/she has full authority to act as my/our representative.

Owner Signature

Print Name

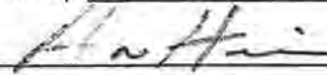
IV. Acknowledgement(s)

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

The Owner and Applicant, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature: 

Owner's Name (Please Print): Michael Bathe

Applicant's Signature: 
(If other than Owner)

Applicant's Name (Please Print): Andrew Henken

Date: 6/28/21

All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.

Please contact the Planning Division (located in the Municipal Building) with any questions:

Email: planning@hoffmanestates.org
Address: 1900 Hassell Road
Hoffman Estates, IL 60169
Phone: (847) 781-2660
Fax: (847) 781-2679

Addendums Attached:

- | | |
|---|---|
| <input type="checkbox"/> Special Use | <input type="checkbox"/> Master Sign Plan |
| <input type="checkbox"/> Rezoning | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Variation | |
| <input type="checkbox"/> Plat | |
| <input checked="" type="checkbox"/> Site Plan | |



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION SPECIAL USE ADDENDUM

REQUIRED SUBMITTALS:

- General Application
- \$500 Special Use hearing fee/\$750 for "All Other Uses"
- Legal Description
Typically found on a tax bill, survey, mortgage documents or deed
- Current Plat of Survey drawn to scale Topographic Survey has been provided at this time
- A scale drawing of the floor plan and elevations, including windows and door locations.
- A Project Narrative detailing the use, hours of operation, parking demand, etc. Provide relevant plans, studies, and any other documents to support the request.
- A written response to each of the Standards for a Special Use (see below).

You are responsible for posting a notification sign(s) on your property 10 days before the Planning & Zoning Commission hearing and removing the sign(s) 10 days after final Village Board action. Specific requirements will be provided by Planning Staff.

No special use shall be recommended by the Planning and Zoning Commission unless said Commission finds that adequate evidence is provided to meet the Special Use Standards. (Respond to each standard as it applies to your request either below or address on a separate sheet)

1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

The proposed ambulance bay expansion is intended to

aid and enhance the safety, occupancy and overall

functionality of the existing Saint Alexius Medical

Campus (SAMC).

2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;

The construction design of the ambulance bay expansion is within the existing SAMC and therefore should not disturb or diminish adjacent property values.

3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;

The construction design of the ambulance bay expansion is within the existing SAMC and therefore should not impede the normal and orderly development and improvement of surrounding properties.

4. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;

The proposed project will utilize underground storm sewer and a singular storm inlet to ensure proper drainage for the expansion. The proposed storm sewer will connect to a nearby existing storm structure.

Sanitary sewer service will be provided for the expansion and will discharge to a nearby existing sanitary manhole on site.

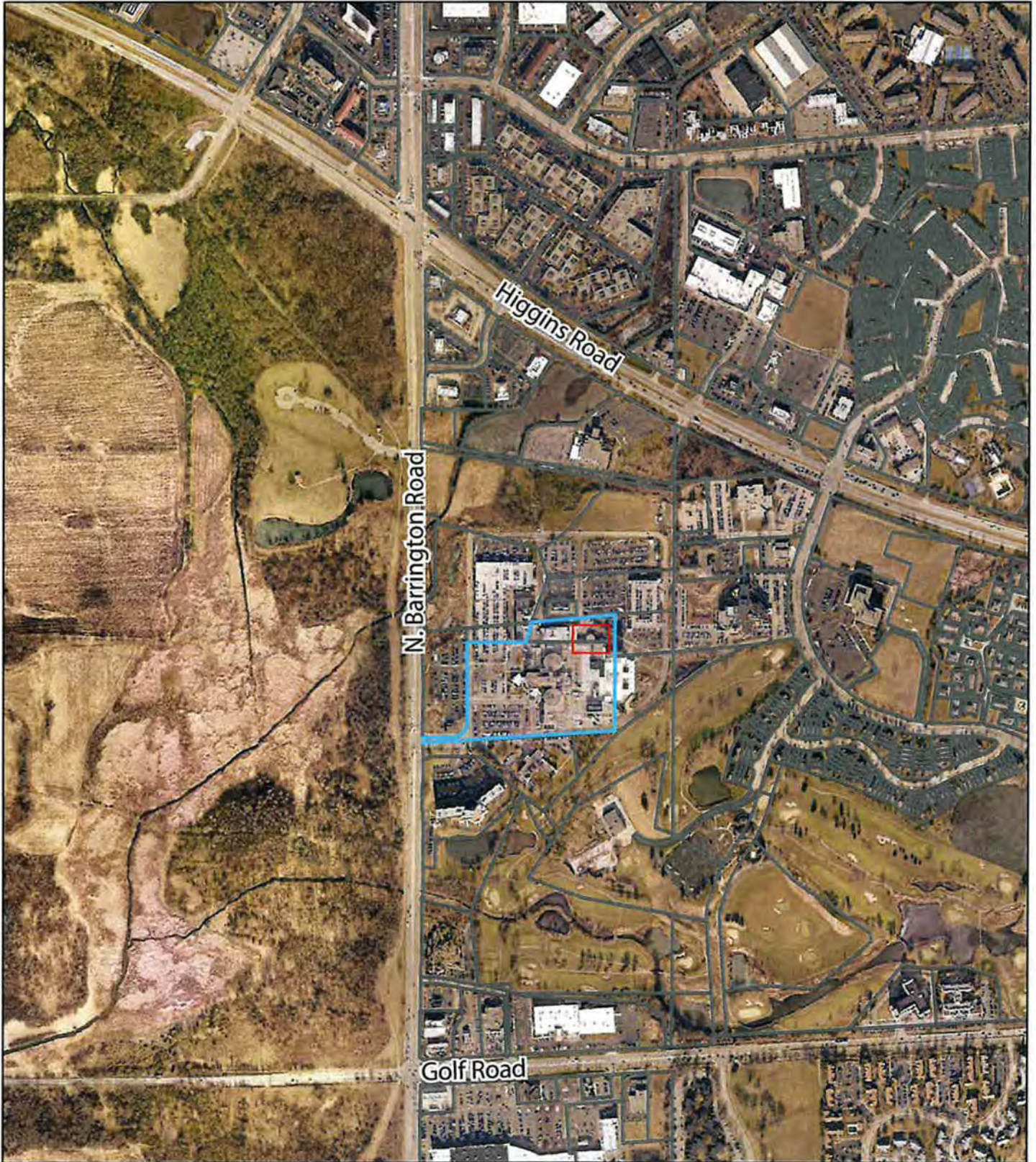
5. That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets; and .

The proposed project is not expected to increase employee or patient volumes, thus is not expected to affect traffic congestion in public streets.



6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Planning and Zoning Commission.

N/A

Exhibit "A"
1555 - 1585 Barrington Road
P.I.N.: 07-07-300-027-0000 & 07-07-300-025-0000



Legend

-  Subject Property
-  Project Location



Planning and Transportation
The Village of Hoffman Estates
September 2021



June 24, 2021
Mr. Jim Donahue
Senior Planner
Village of Hoffman Estates
Development Services Department
(847) 781-2660

RE: SAMC ED Renovation
1555 Barrington Road
Hoffman Estates, IL 60169

Project Narrative:

INTRODUCTION

Medxcel has engaged Gresham Smith to provide design services for the AMITA – Saint Alexius Medical Center Emergency Department Addition and Renovation project.

The existing ED is approximately 33,115 sf (including 1 East). Existing operational issues include a shortage of dedicated BHS rooms, a disjointed flow from Triage into the department, and poor connectivity to the pediatrics / observation pods. This project will include new construction of a 1-story ED Annex and a new ambulance canopy. Reconfiguration of the registration / triage area will be included as minor renovation. The remainder of the ED will receive finishes, furniture and casework replacement to be in line with the Ascension Interior Standards. This work will be conducted over a series of phases to maintain operations of the department. At the end of the project the Emergency Department is intended to appear "like new" although most rooms will not change their configuration.

There are currently safety concerns within the existing ED due to the lack of a dedicated Behavioral Health Suite. The ED Annex will be located in a discreet location within the ED with its own unit entrance adjacent to the ambulance entrance. It will be a secured unit, possibly with a sallyport at the entry.

The design will be conducted in two phases. Phase 1 will focus on the design of the ED Annex and Ambulance Garage. This will also include the reconfiguration to the site to accommodate an ambulance back-in and 6 new ambulance overflow parking spaces. Phase 2 will include renovation and reconfiguration of the reception / intake and finish upgrades throughout the rest of unit.

PHASE 1

Design

A new 7 behavioral health exam room ED Annex and ambulance canopy will be located north of the administration offices and will be approximately 5,500 sf. The ambulance canopy will be designed to accommodate 4 covered ambulances and is approximately 3,000sf. A fifth ambulance will still be able to back into an existing space west of the generator building, and space for six additional ambulances will be provided across the street. Access to the existing generator building and the exit corridor will be maintained. The plan indicates that Exam Room 'G' will be eliminated in order to create a corridor connection from the AC-4 pod to the new ED Annex. The existing corridor in the MOB west of the ED Annex will serve as an exit from the hospital and will be upgraded to 2-hour construction.

A central nurse station within the ED annex will have good visual observation to all exam rooms. One single entrance with double doors will be added to unit. A secondary exit is required by code and will be a single door with card reader access to enter and key punch device for exiting.

Construction

The Annex will be a one story building over an insulated slab-on-grade with vapor barrier. A portion of it will be located under the existing canopy structure, which will be thermally insulated and fireproofed at the underside of the deck and the structural members. The remaining portion and the new ambulance canopy will be located under a new insulated roof

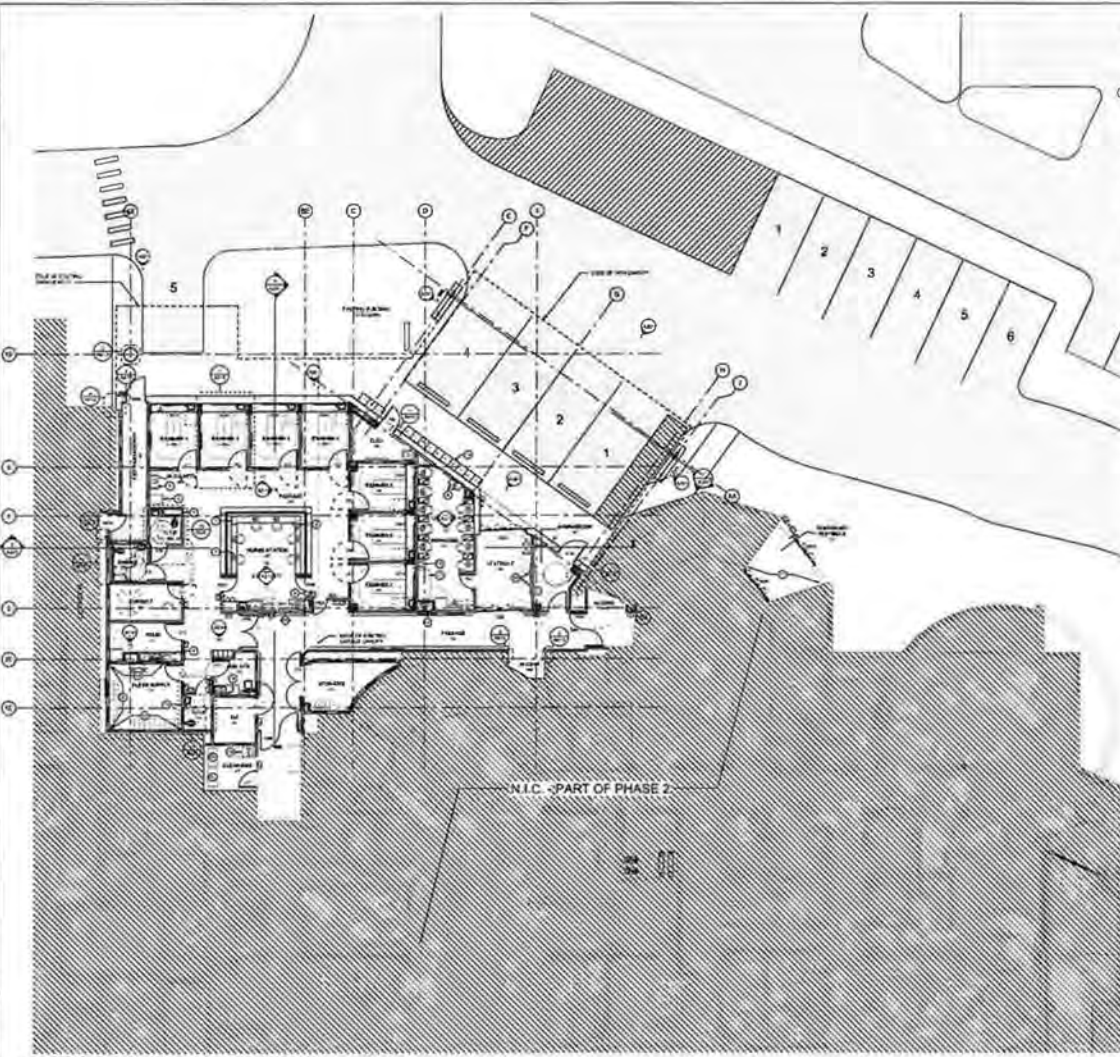


over concrete slab on metal decking over a steel frame. A portion of the roof will be where air handlers and other rooftop equipment may be located. Structural members will be thermally insulated on the interior side with closed-cell spray foam where they form a thermal bridge. Exterior walls will be non-load-bearing cold-formed metal framing with sheathing, continuous moisture/air/vapor barrier membrane, rigid insulation and masonry exterior to match the existing brick. Windows will be fixed aluminum with insulated glazing units. Exterior doors and frames will be insulated hollow metal or aluminum sliders with auto-operators. A skylight unit will be included above the new ambulance canopy for additional natural light.

Interior construction will be typical hospital construction following Ascension standards. Design of the ED Annex will include:

- 7 Behavioral Health type exam rooms
 - All exam rooms to have motor-operated overhead door to conceal all med gases and fixtures
 - All exam rooms to have anti-ligature accessories, plumbing fixtures, hardware, equipment, sprinkler heads and furnishings
 - All exam rooms to have hard ceilings
 - All exam rooms to have laminated glazing
- Central Nurse station with good visibility to all exam rooms
 - Nurse station to have glass enclosure – laminated glazing
- 2 Toilet Rooms
 - Toilet room to have anti-ligature accessories, plumbing fixtures, hardware
 - One toilet room to be a "wet-room" with shower and tiling

In response to comment #7, "Section 10-5-2-A-3 of the Municipal Code states that the use of curb stops or bumper blocks shall be prohibited. Please revise plans or include a request for a waiver in writing as part of the narrative" Received on 07/19/2021 from Village Review, this project would indeed like to request a waiver for the use of curb stops.



GENERAL NOTES FOR NEW CONSTRUCTION FLOOR PLANS

1. GENERAL NOTES FOR NEW CONSTRUCTION FLOOR PLANS SHALL BE READ IN CONJUNCTION WITH THE ARCHITECTURAL SPECIFICATIONS AND THE PROJECT MANUAL.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
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NEW CONSTRUCTION LEGEND

- THICK SOLID LINE: NEW CONSTRUCTION WALL
- DOTTED LINE: EXISTING WALL
- THIN SOLID LINE: NEW CONSTRUCTION DOOR
- THIN DOTTED LINE: EXISTING DOOR
- THIN SOLID LINE WITH ARC: NEW CONSTRUCTION WINDOW
- THIN DOTTED LINE WITH ARC: EXISTING WINDOW
- THIN SOLID LINE WITH ARC: NEW CONSTRUCTION SERVICE
- THIN DOTTED LINE WITH ARC: EXISTING SERVICE
- THIN SOLID LINE WITH ARC: NEW CONSTRUCTION STAIR
- THIN DOTTED LINE WITH ARC: EXISTING STAIR
- THIN SOLID LINE WITH ARC: NEW CONSTRUCTION ELEVATOR
- THIN DOTTED LINE WITH ARC: EXISTING ELEVATOR
- THIN SOLID LINE WITH ARC: NEW CONSTRUCTION RAMP
- THIN DOTTED LINE WITH ARC: EXISTING RAMP
- THIN SOLID LINE WITH ARC: NEW CONSTRUCTION ROOF
- THIN DOTTED LINE WITH ARC: EXISTING ROOF

FURNITURE LEGEND

- CIRCLE WITH NUMBER: OFFICE DESK
- CIRCLE WITH NUMBER: OFFICE CHAIR
- CIRCLE WITH NUMBER: RECEPTION DESK
- CIRCLE WITH NUMBER: RECEPTION CHAIR
- CIRCLE WITH NUMBER: CONFERENCE TABLE
- CIRCLE WITH NUMBER: CONFERENCE CHAIR
- CIRCLE WITH NUMBER: STORAGE UNIT
- CIRCLE WITH NUMBER: BOOKSHELF
- CIRCLE WITH NUMBER: COFFEE MACHINE
- CIRCLE WITH NUMBER: VENDING MACHINE
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1 FIRST FLOOR NEW CONSTRUCTION PLAN
10-1-10

Gresham Smith
Architects

1100 North LaSalle Street
Chicago, Illinois 60610
Tel: 312.427.4000

AMITA
St. Alexius Medical Center
2000 North Dearborn Street
Chicago, Illinois 60610

SAMC ED ADDITION / RENOVATION
1000 North Dearborn Street
Chicago, Illinois 60610

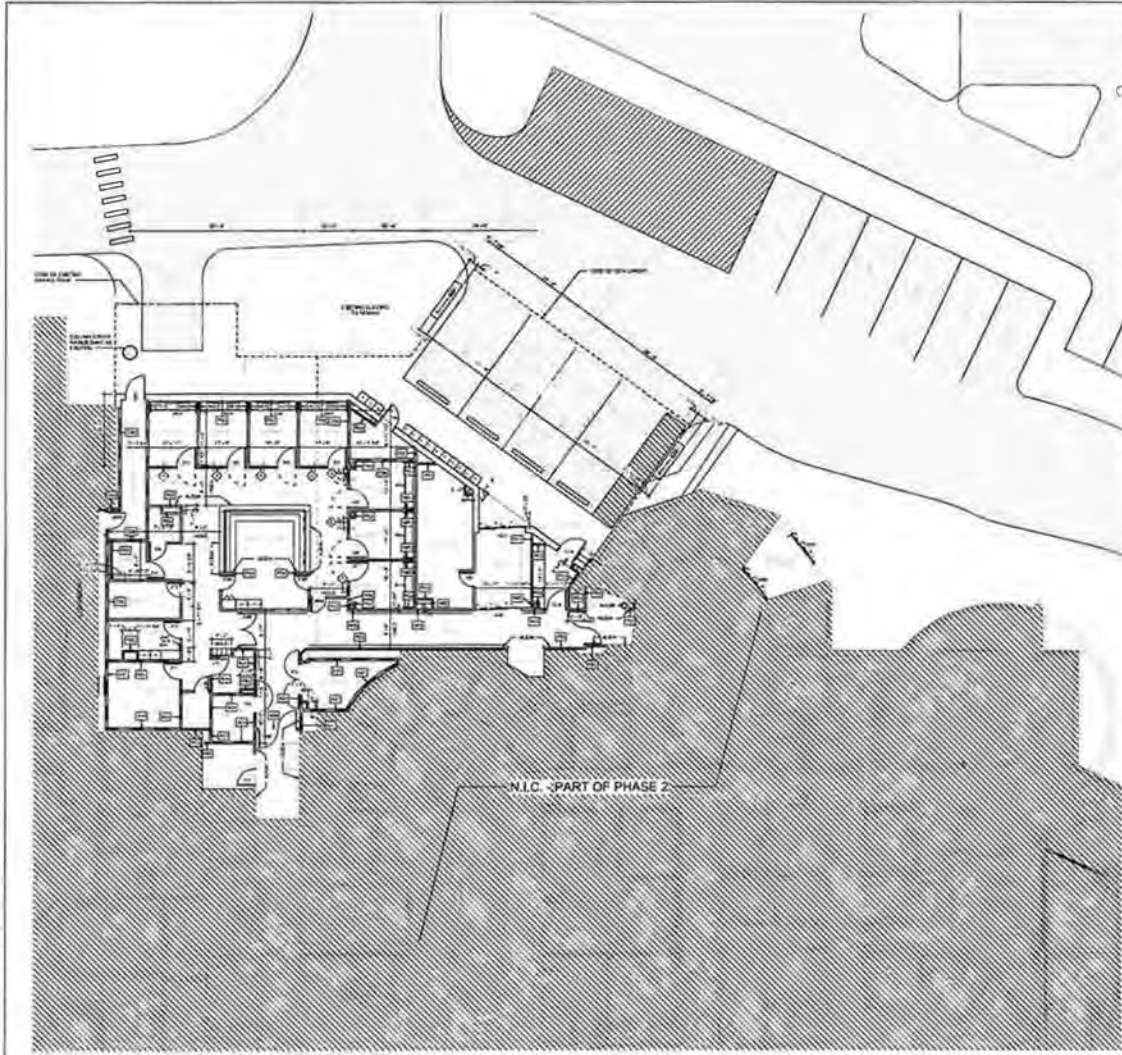
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LEVEL 1 NEW CONSTRUCTION PLAN
A201

SCALE: AS SHOWN

DATE: 04/11/18
DRAWN BY: [unintelligible]
CHECKED BY: [unintelligible]



GENERAL NOTES FOR DIMENSION FLOOR PLANS

1. DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. DIMENSIONS TO FACE OF CURVED WALLS ARE TO FACE OF CURVATURE.
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Gresham Smith
GreshamSmith.com

11 East Morris, Suite 3000
Chicago, IL 60612
312.627.4600

AMITA
St. Alexius Medical Center

SAMC ED ADDITION / RENOVATION
1100 Morris Street, St. Alexius

NOT FOR CONSTRUCTION

Revisions		
No.	Date	Description
1	04/11/18	ISSUED FOR PERMIT

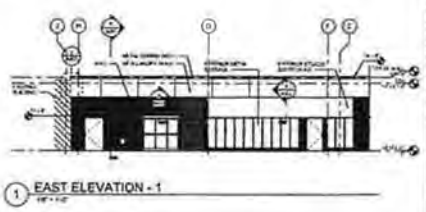
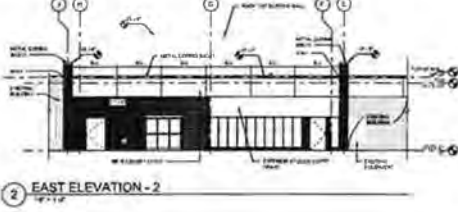
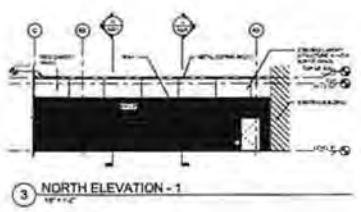
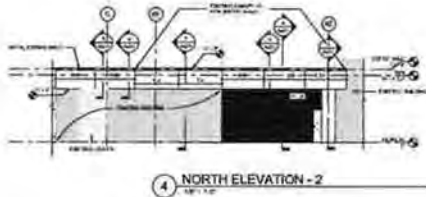
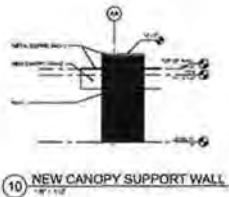
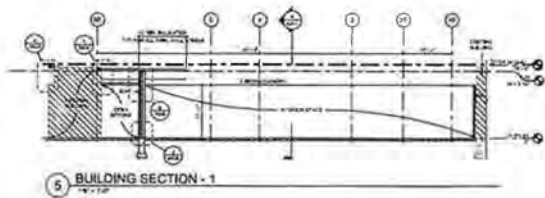
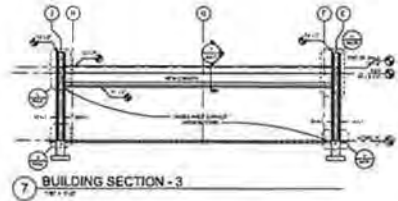
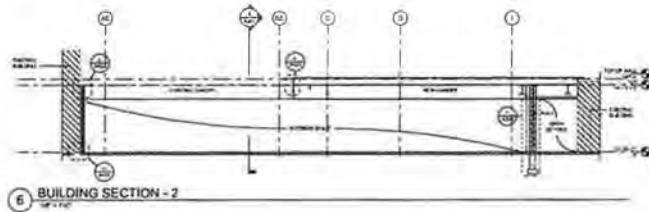
LEVEL 1 DIMENSION PLAN
A201A
WALTER BENTON



1 FIRST FLOOR DIMENSION PLAN
10'-0" x 14'-0"

GENERAL NOTES FOR EXTERIOR ELEVATIONS

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL ORDINANCES.
- 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL ORDINANCES.
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- 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL ORDINANCES.



Gresham Smith
GROUP INCORPORATED

M. Ed. Moore, P.E., S.E.
Chicago, IL 60601
312.427.2000

AMITA - E.O. 14176
St. Alexius
Medical Center

SAMC ED ADDITION / RENOVATION
Architect: Gresham Smith & Partners

NOT FOR CONSTRUCTION

Revisions		
No.	Date	Description

EXTERIOR ELEVATIONS AND BUILDING SECTIONS
A301
AUGUST 2018



ARMSTRONG FREEMAN MAPLE



SKYLINE HONEY LOCUST



IVORY SILK JAPANESE TREE LILAC



BLUE MUFFIN VIBURNUM



SEA GREEN JUNIPER



FEATHER REED GRASS



SUMMER BEAUTY ONION



CHERRY CHEEKS DAYLILLY

ST. ALEXIUS | PLANT PALETTE

HOFFMAN ESTATES, IL | AUGUST 23, 2021



FINAL ENGINEERING PLANS SAMC ED RENOVATION

1555 BARRINGTON ROAD
HOFFMAN ESTATES, IL 60169

UTILITY AND GOVERNING AGENCY CONTACTS

ILLINOIS AND IOWA DEPARTMENT OF TRANSPORTATION
VILLAGE OF HOFFMAN ESTATES
1600 HAZELLE ROAD
HOFFMAN ESTATES, IL 60169
TEL: (847) 381-2800
CONTACT: JAMES DOMANUK

STATE POWER SERVICE
VILLAGE OF HOFFMAN ESTATES
1500 HAZELLE ROAD
HOFFMAN ESTATES, IL 60169
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CONTACT: ALAN WICKERSKI

SEWER ENGINEER
COMMERCIAL IN DIVISION
2100 SWIFT DR
CHICAGO, IL 60602
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NATURAL GAS COMPANY
TECO
1011 WILEY ROAD
SCHWABERG, IL 60173
TEL: (847) 548-6000

TELEPHONE
ATA1
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WATER SERVICE
VILLAGE OF HOFFMAN ESTATES
1600 HAZELLE ROAD
HOFFMAN ESTATES, IL 60169
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CONTACT: ALAN WICKERSKI

ROADWAY AGENCIES
LITTON DOT
301 WEST CENTER COURT
SCHWABERG, IL 60173
TEL: (847) 703-4133
CONTACT: MARY ROBINSON

ILLINOIS DEPARTMENT OF TRANSPORTATION
500 EAST ERG STREET
CHICAGO, IL 60611
TEL: 588-4035

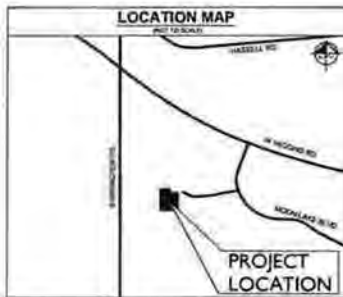
PROJECT TEAM

SUBDIVISION
CONIFER SURVEYING
2831 OGDON WOODS Pkwy, SUITE 100
ALHAMBRA, IL 60002
TEL: (820) 800-7030
CONTACT: SCOTT KRIBBS

ARCHITECT
CROSBURN SMITH
50 EAST HOWARD, SUITE 3003
CHICAGO, IL 60610
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EMAIL: kate.dohle@crobsburnsmith.com
CONTACT: KATE DOHLE

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NARRAGANSETT, IL 60050
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EMAIL: ANDY.HORN@HUNT-HORN.COM
CONTACT: ANDY HORN
TEL: (820) 487-2418
EMAIL: BRETT.HORN@HUNT-HORN.COM
CONTACT: BRETT HORN

LANDSCAPE ARCHITECT
HUNT-HORN AND ASSOCIATES, INC.
4301 WINDFORD ROAD, SUITE 800
NARRAGANSETT, IL 60050
TEL: (820) 487-5523
EMAIL: AMANDA.TOLSON@HUNT-HORN.COM
CONTACT: AMANDA TOLSON



Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
V0.0	SURVEY
C1.0	GENERAL NOTES
C2.0	DEMOLITION PLAN
C3.0	SITE PLAN
C3.1	TEMPORARY CONSTRUCTION TRAFFIC PLAN
C4.0	EROSION CONTROL PLAN
C4.1	EROSION CONTROL & DETAILS
C5.0	GRADING PLAN
C6.0	LUTILITY PLAN
C7.0	CONSTRUCTION DETAILS
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE NOTES AND DETAILS

BENCHMARKS	
SEE BENCHMARKS	
REFERENCE BM - ILLINOIS MONUMENT CO. DOT A. P. 11 ADDRESS, LOCATED NEAR THE INTERSECTION OF HAZELLE ROAD AND CENTRAL PARK IN SCHWABERG DATUM=NAVD83 ELEVATION=771.10	
BM1 - CUT DITCH IN SIDEWALK NEAR THE NORTHWEST CORNER OF SUBJECT PROPERTY ELEVATION=416.81	
BM2 - NORTHEAST CORNER OF FIRE HYDRANT NEAR THE NORTHEAST CORNER OF BUILDING AT THE CHERRYCREEK ENTRANCE ELEVATION=416.86	
BM3 - CROSS CUT IN TOP OF CURB +/- 70 FEET EAST OF CHERRYCREEK ST. ELEVATION=417.43	

PROFESSIONAL ENGINEER'S CERTIFICATION

I, ANDREW HORN, A LICENSED PROFESSIONAL ENGINEER BY IL, HEREBY CERTIFY THAT THIS SUBMISSION PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE BUT INCLUDING DETAILS PREPARED BY OTHERS WAS PREPARED ON BEHALF OF CROSBURN SMITH BY HUNT-HORN AND ASSOCIATES, INC. UNDER MY PERSONAL SUPERVISION. THIS TECHNICAL SUPERVISION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS 31st DAY OF AUGUST, A.D. 2021.

Andrew Horn
A LICENSED PROFESSIONAL ENGINEER (DW)-008868
BY LICENSE EXPIRES ON 1/26/2027
LICENSE REGISTRATION NUMBER 141022013-0088

Kimley-Horn & Associates, Inc.
1555 BARRINGTON ROAD
HOFFMAN ESTATES, IL 60169
TEL: (847) 331-5800
WWW.KIMLEY-HORN.COM

CROSBURN SMITH
50 EAST HOWARD, SUITE 3003
CHICAGO, IL 60610
TEL: (312) 637-8875
WWW.CROSBURNSMITH.COM

SAMC ED RENOVATION
1555 BARRINGTON ROAD
HOFFMAN ESTATES, IL 60169

DATE: 08/31/21
PROJECT NO: 1555BARRINGTON
SHEET NUMBER: C0.0

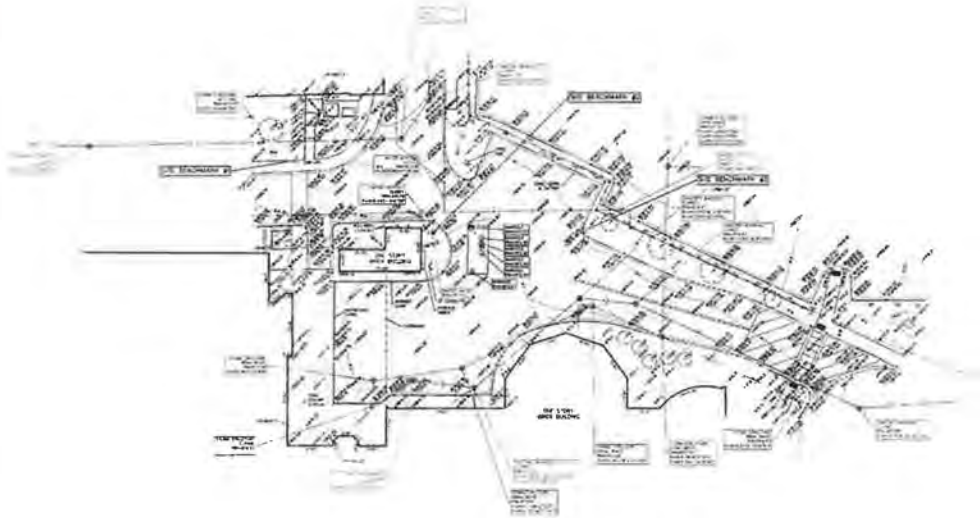
TOPOGRAPHIC SURVEY

OVER PORTION OF
ST. ALEXIS MEDICAL CENTER
HOFFMAN ESTATES, IL



VELOCITY MAP

- BENCHMARKS**
 BM 1: 2011.12.15
 BM 2: 2011.12.15
 BM 3: 2011.12.15
- BY-PRODUCTS**
 1. SURVEY REPORT
 2. SURVEY DATA SHEET
 3. SURVEY PLAN
- ABBREVIATIONS**
 A: AREA
 B: BENCH MARK
 C: CURB
 D: DRIVE
 E: ELEVATION
 F: FINISH
 G: GRASS
 H: HATCH
 I: INTERSECTION
 J: JOINT
 K: KEY
 L: LINE
 M: MOUNTAIN
 N: NORTH
 O: OPEN
 P: PAVED
 Q: QUANTITY
 R: ROAD
 S: SIDEWALK
 T: TERRACE
 U: UTILITY
 V: VENT
 W: WALL
 X: XING
 Y: YARD
 Z: ZONE
- LEGEND**
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REVISIONS

NO.	DATE	DESCRIPTION
1	01/15/11	ISSUED FOR PERMIT
2	02/10/11	REVISED PER PERMIT COMMENTS
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811
 CALIFORNIA
 CALIFORNIA
 CALIFORNIA

Kimley-Horn

1234 MAIN STREET
 SUITE 500
 HOFFMAN ESTATES, IL 60142
 TEL: (708) 531-2000
 FAX: (708) 531-2001
 WWW.KIMLEY-HORN.COM

COMPASS SURVEYING LTD.

1234 MAIN STREET
 SUITE 500
 HOFFMAN ESTATES, IL 60142
 TEL: (708) 531-2000
 FAX: (708) 531-2001
 WWW.COMPASS-SURVEYING.COM

DATE: 11/15/11
 VERSION: V0.0

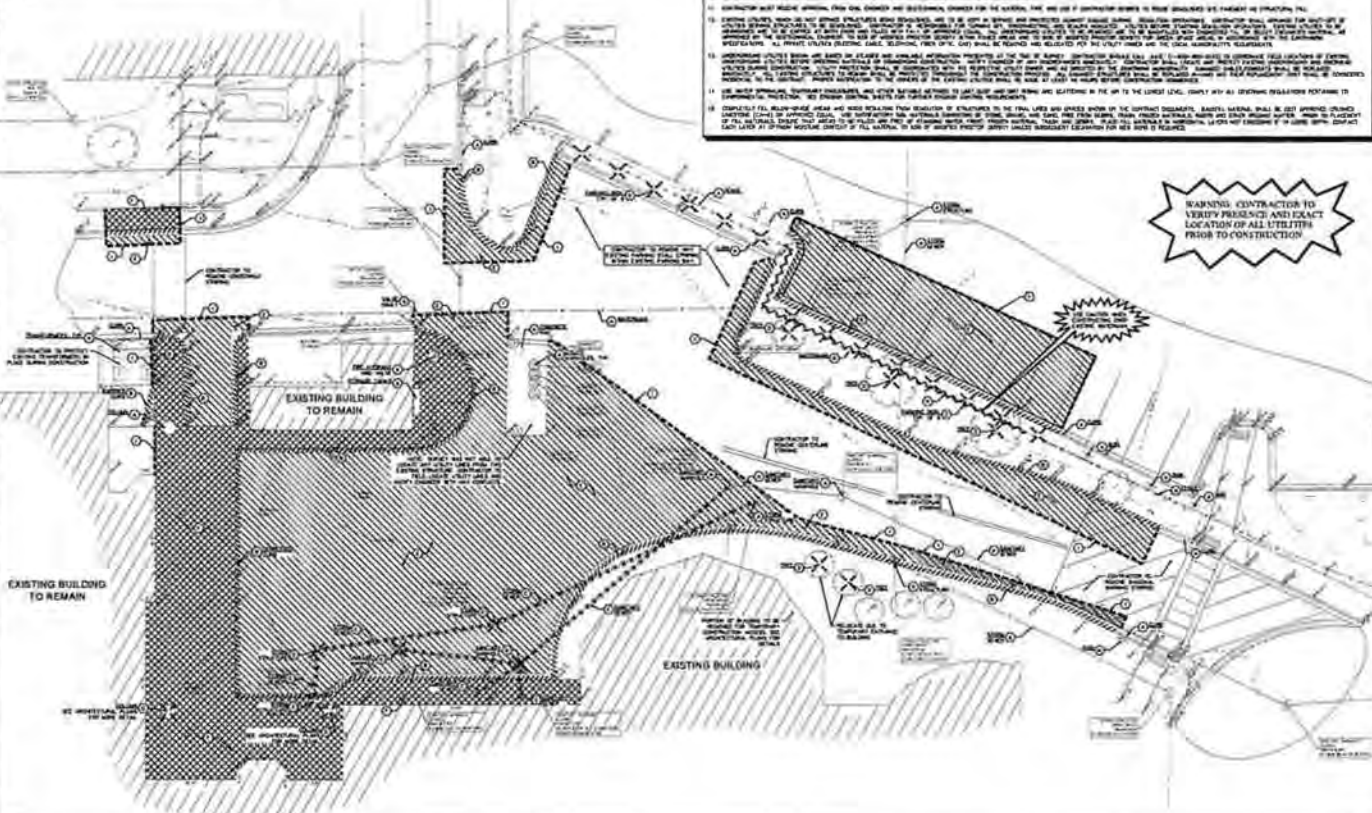
DEMOLITION LEGEND

- TO BE MAINTAINED DURING CONSTRUCTION
- TO BE DEMOLISHED
- TO BE RECONSTRUCTED
- TO BE RECONSTRUCTED WITH REINFORCED CONCRETE
- TO BE RECONSTRUCTED WITH CONCRETE
- TO BE RECONSTRUCTED WITH BRICK
- TO BE RECONSTRUCTED WITH STONE
- TO BE RECONSTRUCTED WITH BLOCK
- TO BE RECONSTRUCTED WITH TILE
- TO BE RECONSTRUCTED WITH OTHER MATERIAL

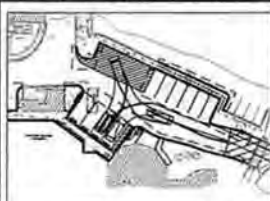


DEMOLITION NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL EXISTING UTILITIES, PAVEMENT AND ALL OTHER EXISTING APPROPRIATE AS NOTED.
2. CONTRACTOR TO BE RESPONSIBLE FOR ALL DEMOLITION AND OTHER RELATED ITEMS NOT INDICATED AND CURRENT REGULATIONS OPERATING THEREIN. ALL WORK SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS CONCERNING DEMOLITION.
3. THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO SAFELY PROTECT EXISTING ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASE OF THIS PROJECT. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT PROPERTIES OR TO ANY OTHER PROPERTY OR TO ANY OTHER PERSON OR PROPERTY CAUSED BY THE CONTRACTOR'S NEGLIGENCE OR CARELESSNESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT PROPERTIES OR TO ANY OTHER PROPERTY OR TO ANY OTHER PERSON OR PROPERTY CAUSED BY THE CONTRACTOR'S NEGLIGENCE OR CARELESSNESS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES, PAVEMENT AND ALL OTHER EXISTING APPROPRIATE AS NOTED.
5. IF REMOVAL OF EXISTING UTILITIES IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES AND OBTAIN PERMISSION TO REMOVE THE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES, PAVEMENT AND ALL OTHER EXISTING APPROPRIATE AS NOTED.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES, PAVEMENT AND ALL OTHER EXISTING APPROPRIATE AS NOTED.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES, PAVEMENT AND ALL OTHER EXISTING APPROPRIATE AS NOTED.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES, PAVEMENT AND ALL OTHER EXISTING APPROPRIATE AS NOTED.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES, PAVEMENT AND ALL OTHER EXISTING APPROPRIATE AS NOTED.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES, PAVEMENT AND ALL OTHER EXISTING APPROPRIATE AS NOTED.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES, PAVEMENT AND ALL OTHER EXISTING APPROPRIATE AS NOTED.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES, PAVEMENT AND ALL OTHER EXISTING APPROPRIATE AS NOTED.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES, PAVEMENT AND ALL OTHER EXISTING APPROPRIATE AS NOTED.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES, PAVEMENT AND ALL OTHER EXISTING APPROPRIATE AS NOTED.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES, PAVEMENT AND ALL OTHER EXISTING APPROPRIATE AS NOTED.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES, PAVEMENT AND ALL OTHER EXISTING APPROPRIATE AS NOTED.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES, PAVEMENT AND ALL OTHER EXISTING APPROPRIATE AS NOTED.
18. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES, PAVEMENT AND ALL OTHER EXISTING APPROPRIATE AS NOTED.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES, PAVEMENT AND ALL OTHER EXISTING APPROPRIATE AS NOTED.
20. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING UTILITIES, PAVEMENT AND ALL OTHER EXISTING APPROPRIATE AS NOTED.



PROJECT NO.	100-0000000000
DATE	10/20/2020
SCALE	AS SHOWN
DRAWN BY	W. J. SMITH
CHECKED BY	W. J. SMITH
APPROVED BY	W. J. SMITH
DATE	10/20/2020
PROJECT NAME	SAMC ED RENOVATION
CLIENT	Kimley-Horn
LOCATION	100-0000000000
SHEET NO.	C2.0
TOTAL SHEETS	10



Notes:
 1. Vehicle: 2013 Ford F-Series Ambulance
 2. Wheelbase: 110" (9' 2")
 3. Overall Length: 20' 0"
 4. Overall Width: 8' 0"
 5. Overall Height: 10' 0"
 6. Minimum Turning Radius: 25' 0"



PAVING AND CURB LEGEND

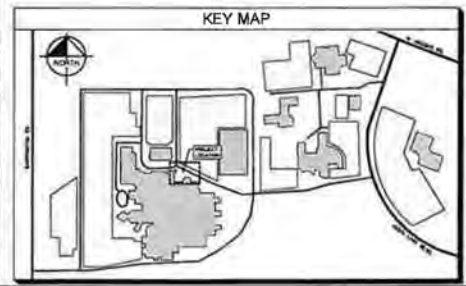
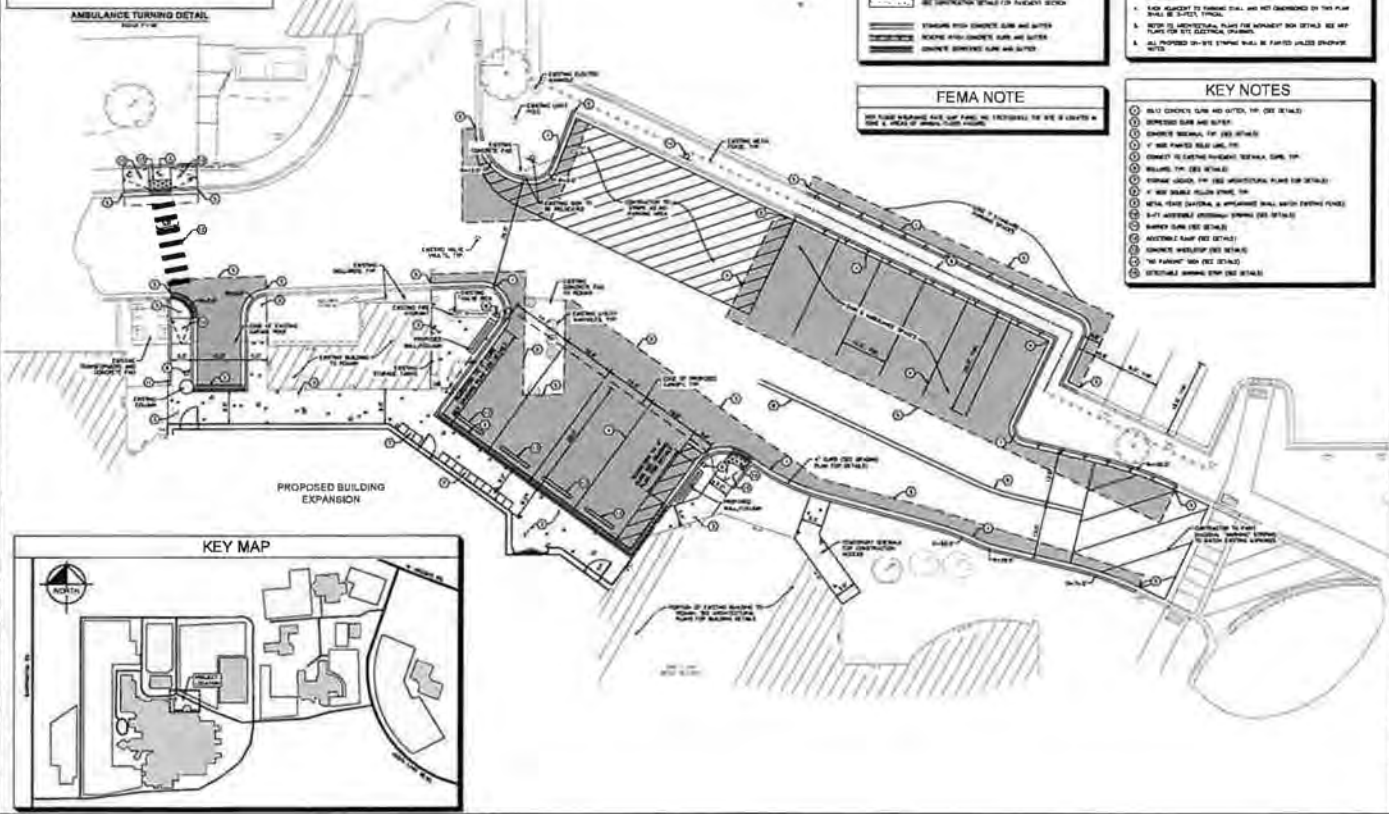
	CONCRETE CURB AND GUTTER
	CONCRETE CURB AND GUTTER WITH AGGREGATE BASE
	CONCRETE CURB AND GUTTER WITH AGGREGATE BASE AND DRAINAGE
	CONCRETE CURB AND GUTTER WITH AGGREGATE BASE AND DRAINAGE AND SLOPE

- GENERAL NOTES**
1. ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 2. SLOPING DIMENSIONS ARE TO THE SURFACE FACE OF BUILDING EXCEPT OTHERWISE NOTED.
 3. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
 4. L&P SUBJECT TO FINISH ELEVATION AND NOT DIMENSIONS ON THIS PLAN SHALL BE STRICTLY FOR INFORMATION.
 5. REFER TO ARCHITECTURAL PLANS FOR ANCHORAGE BOX DETAILS. SEE ANY PLANS FOR SITE SPECIFIC INFORMATION.
 6. ALL PROPOSED IN-SITU CURB SHALL BE FINISHED UNLESS OTHERWISE NOTED.

FEMA NOTE

SEE FEMA ELEVATION AND L&P FOR ALL INFORMATION ON FEMA ELEVATIONS AND AREAS OF SPECIAL CONCERN.

- KEY NOTES**
1. ALL CURB, GUTTER, AND SLOPE (SEE DETAILS)
 2. CONCRETE CURB AND GUTTER (SEE DETAILS)
 3. CONCRETE CURB AND GUTTER WITH AGGREGATE BASE (SEE DETAILS)
 4. CONCRETE CURB AND GUTTER WITH AGGREGATE BASE AND DRAINAGE (SEE DETAILS)
 5. CONCRETE CURB AND GUTTER WITH AGGREGATE BASE AND DRAINAGE AND SLOPE (SEE DETAILS)
 6. METAL CURB (SEE DETAILS)
 7. METAL CURB WITH AGGREGATE BASE AND DRAINAGE (SEE DETAILS)
 8. METAL CURB WITH AGGREGATE BASE AND DRAINAGE AND SLOPE (SEE DETAILS)
 9. METAL CURB WITH AGGREGATE BASE AND DRAINAGE AND SLOPE WITH FINISH FLOOR (SEE DETAILS)
 10. METAL CURB WITH AGGREGATE BASE AND DRAINAGE AND SLOPE WITH FINISH FLOOR AND SLOPE (SEE DETAILS)
 11. METAL CURB WITH AGGREGATE BASE AND DRAINAGE AND SLOPE WITH FINISH FLOOR AND SLOPE AND SLOPE (SEE DETAILS)
 12. METAL CURB WITH AGGREGATE BASE AND DRAINAGE AND SLOPE WITH FINISH FLOOR AND SLOPE AND SLOPE AND SLOPE (SEE DETAILS)
 13. METAL CURB WITH AGGREGATE BASE AND DRAINAGE AND SLOPE WITH FINISH FLOOR AND SLOPE AND SLOPE AND SLOPE AND SLOPE (SEE DETAILS)
 14. METAL CURB WITH AGGREGATE BASE AND DRAINAGE AND SLOPE WITH FINISH FLOOR AND SLOPE AND SLOPE AND SLOPE AND SLOPE AND SLOPE (SEE DETAILS)
 15. METAL CURB WITH AGGREGATE BASE AND DRAINAGE AND SLOPE WITH FINISH FLOOR AND SLOPE AND SLOPE AND SLOPE AND SLOPE AND SLOPE AND SLOPE (SEE DETAILS)



PROJECT NO.	10000000000000000000
DATE	10/10/2023
SCALE	AS SHOWN
DESIGNED BY	KL
DRAWN BY	KL
CHECKED BY	KL
APPROVED BY	KL
DATE	10/10/2023
PROJECT NO.	10000000000000000000
DATE	10/10/2023
SCALE	AS SHOWN
DESIGNED BY	KL
DRAWN BY	KL
CHECKED BY	KL
APPROVED BY	KL
DATE	10/10/2023

Kimley-Horn

Graham Smith

SITE PLAN

SAMC ED RENOVATION

C3.0



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BARRINGTON ROAD

MOON LAKE BLVD



SAMC ED RENOVATION <small>1901 BARRINGTON ROAD HOPKINSVILLE, KY 40484</small>		Kimley-Horn <small>INCORPORATED IN KY</small> <small>1000 W. MAIN ST., SUITE 200 LEWISBURG, KY 40361 PH: 606-338-5800 WWW.KIMLEY-HORN.COM</small>	DATE: 12/15/2011
			DRAWN BY: JMM CHECKED BY: JMM SCALE: AS SHOWN
TEMPORARY CONSTRUCTION TRAFFIC PLAN	PROJECT NO.: 11-001	SHEET NO.: 10	DATE: 12/15/2011
C3.1	PROJECT NAME: SAMC ED RENOVATION	SHEET TITLE: TEMPORARY CONSTRUCTION TRAFFIC PLAN	DATE: 12/15/2011

EROSION CONTROL LEGEND

- 1. EROSION CONTROL SCHEDULE AND REQUIREMENTS
- 2. EROSION CONTROL SCHEDULE AND REQUIREMENTS
- 3. EROSION CONTROL SCHEDULE AND REQUIREMENTS
- 4. EROSION CONTROL SCHEDULE AND REQUIREMENTS
- 5. EROSION CONTROL SCHEDULE AND REQUIREMENTS
- 6. EROSION CONTROL SCHEDULE AND REQUIREMENTS
- 7. EROSION CONTROL SCHEDULE AND REQUIREMENTS
- 8. EROSION CONTROL SCHEDULE AND REQUIREMENTS
- 9. EROSION CONTROL SCHEDULE AND REQUIREMENTS
- 10. EROSION CONTROL SCHEDULE AND REQUIREMENTS

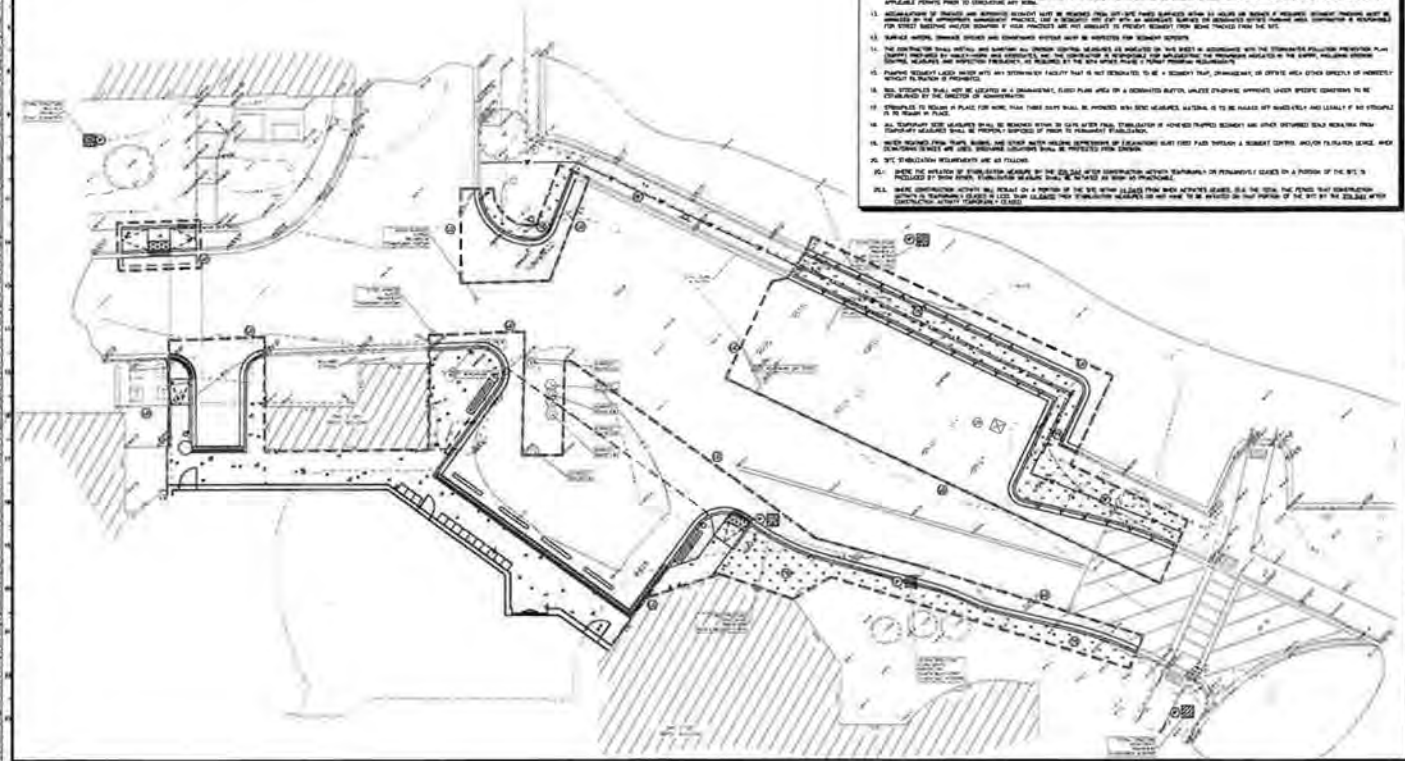


EROSION CONTROL SCHEDULE AND REQUIREMENTS:

- 1. EROSION CONTROL SCHEDULE AND REQUIREMENTS
- 2. EROSION CONTROL SCHEDULE AND REQUIREMENTS
- 3. EROSION CONTROL SCHEDULE AND REQUIREMENTS
- 4. EROSION CONTROL SCHEDULE AND REQUIREMENTS
- 5. EROSION CONTROL SCHEDULE AND REQUIREMENTS
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- 8. EROSION CONTROL SCHEDULE AND REQUIREMENTS
- 9. EROSION CONTROL SCHEDULE AND REQUIREMENTS
- 10. EROSION CONTROL SCHEDULE AND REQUIREMENTS

EROSION CONTROL NOTES

1. EROSION CONTROL SCHEDULE AND REQUIREMENTS
2. EROSION CONTROL SCHEDULE AND REQUIREMENTS
3. EROSION CONTROL SCHEDULE AND REQUIREMENTS
4. EROSION CONTROL SCHEDULE AND REQUIREMENTS
5. EROSION CONTROL SCHEDULE AND REQUIREMENTS
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9. EROSION CONTROL SCHEDULE AND REQUIREMENTS
10. EROSION CONTROL SCHEDULE AND REQUIREMENTS



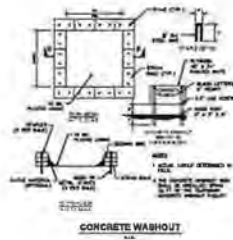
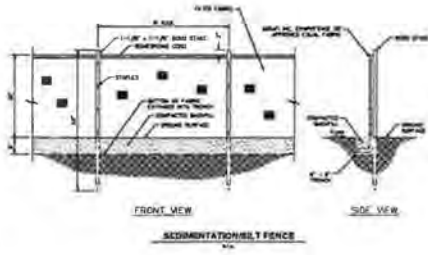
Kimley-Horn
 CONSULTING ENGINEERS
 1000 EAST 17TH AVENUE, SUITE 200
 DENVER, COLORADO 80202
 PHONE: 303.733.1100
 FAX: 303.733.1101
 WWW: WWW.KIMLEY-HORN.COM

Grubham Smith

SAMCO ED RENOVATION
 1000 EAST 17TH AVENUE, SUITE 200
 DENVER, COLORADO 80202

EROSION CONTROL PLAN

C4.0



PROVISION	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	JULY	AUG	SEPT	OCT	NOV	DEC
CONCRETE														
SEDIMENTATION														
WASHOUT														
INLET PROTECTION														
MAINTENANCE														

- 1. SEDIMENTATION SILT FENCE SHALL BE CONSTRUCTED WITH 12" TOP RAIL AND 6" BOTTOM RAIL.
- 2. SEDIMENTATION SILT FENCE SHALL BE CONSTRUCTED WITH 12" TOP RAIL AND 6" BOTTOM RAIL.
- 3. SEDIMENTATION SILT FENCE SHALL BE CONSTRUCTED WITH 12" TOP RAIL AND 6" BOTTOM RAIL.
- 4. SEDIMENTATION SILT FENCE SHALL BE CONSTRUCTED WITH 12" TOP RAIL AND 6" BOTTOM RAIL.
- 5. SEDIMENTATION SILT FENCE SHALL BE CONSTRUCTED WITH 12" TOP RAIL AND 6" BOTTOM RAIL.
- 6. SEDIMENTATION SILT FENCE SHALL BE CONSTRUCTED WITH 12" TOP RAIL AND 6" BOTTOM RAIL.
- 7. SEDIMENTATION SILT FENCE SHALL BE CONSTRUCTED WITH 12" TOP RAIL AND 6" BOTTOM RAIL.
- 8. SEDIMENTATION SILT FENCE SHALL BE CONSTRUCTED WITH 12" TOP RAIL AND 6" BOTTOM RAIL.
- 9. SEDIMENTATION SILT FENCE SHALL BE CONSTRUCTED WITH 12" TOP RAIL AND 6" BOTTOM RAIL.
- 10. SEDIMENTATION SILT FENCE SHALL BE CONSTRUCTED WITH 12" TOP RAIL AND 6" BOTTOM RAIL.

EROSION CHART

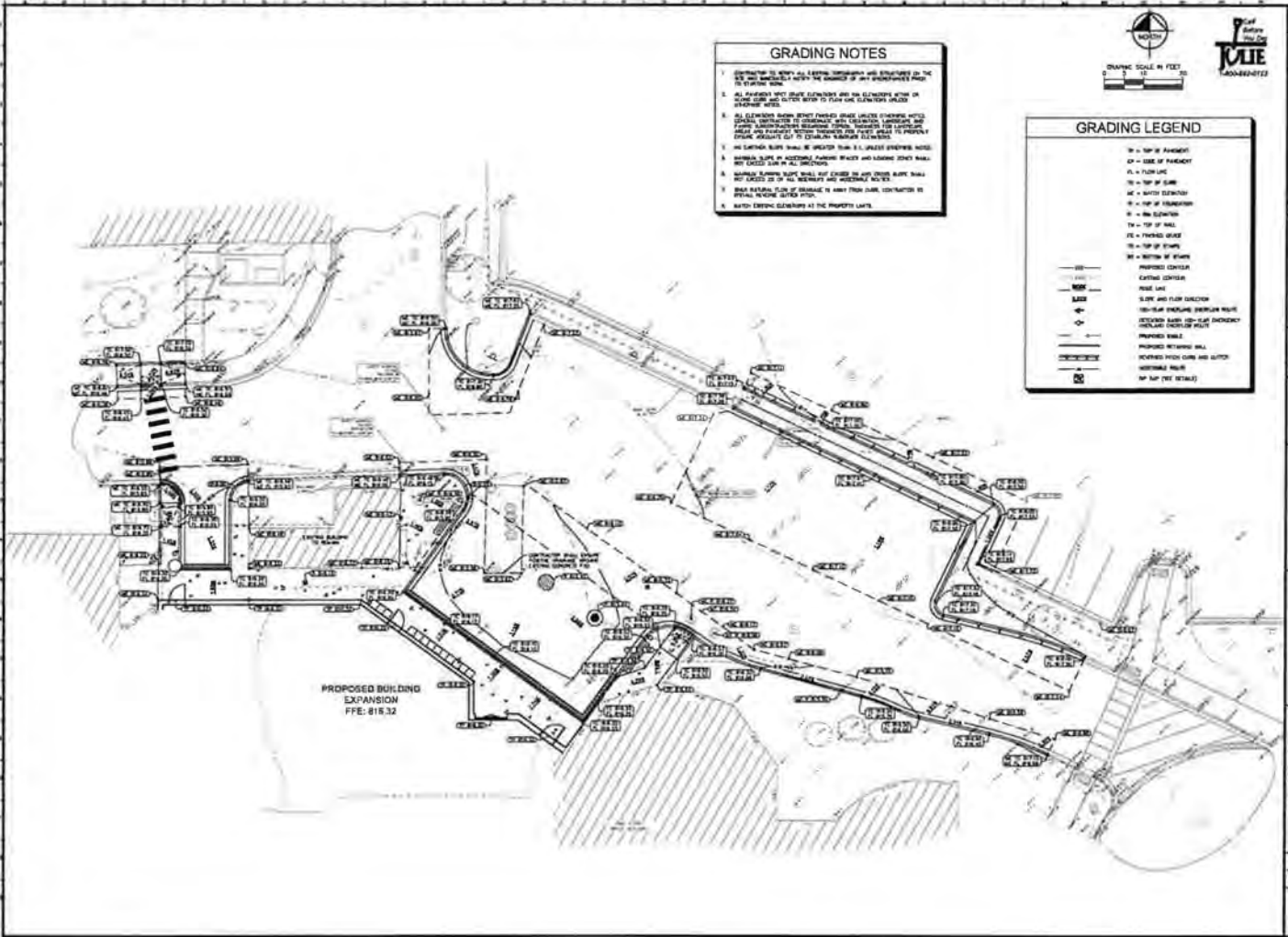
Kimley-Horn
INCORPORATED
1000 EAST 17TH AVENUE
DENVER, COLORADO 80202
TEL: 303.733.8900
WWW.KIMLEY-HORN.COM

CRENSHAW SMITH

EROSION NOTES & DETAILS

SAMCED RENOVATION
WILSON/AMERICAN ROAD
SOUTHMAN STREET, DENVER

DESIGN DATE: 08/11/2011
DESIGN PROJECT NO: 08122011
SHEET NUMBER: C4.1



GRADING NOTES

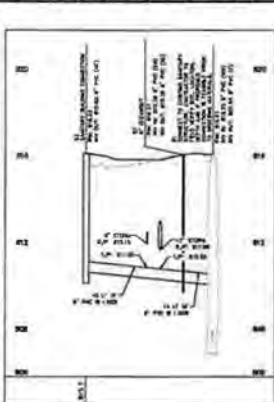
1. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES AND STRUCTURES ON THE SITE AND ADJUST THE GRADING TO AVOID INTERFERENCE AND TO EXPOSE THEM.
2. ALL PROPOSED SPOT GRADE ELEVATIONS AND ALL ELEVATIONS AT THE END OF CURBS AND AT THE ENDS OF DRIVEWAYS SHALL BE GIVEN TO THE CONTRACTOR BY THE ARCHITECT.
3. ALL EXISTING EXPOSED SPOT GRADE ELEVATIONS SHALL BE GIVEN TO THE CONTRACTOR BY THE ARCHITECT. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THESE ELEVATIONS AND SHALL REPORT TO THE ARCHITECT ANY DISCREPANCIES.
4. ALL EXISTING SPOT GRADE ELEVATIONS SHALL BE GIVEN TO THE CONTRACTOR BY THE ARCHITECT. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THESE ELEVATIONS AND SHALL REPORT TO THE ARCHITECT ANY DISCREPANCIES.
5. ALL EXISTING SPOT GRADE ELEVATIONS SHALL BE GIVEN TO THE CONTRACTOR BY THE ARCHITECT. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THESE ELEVATIONS AND SHALL REPORT TO THE ARCHITECT ANY DISCREPANCIES.
6. ALL EXISTING SPOT GRADE ELEVATIONS SHALL BE GIVEN TO THE CONTRACTOR BY THE ARCHITECT. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THESE ELEVATIONS AND SHALL REPORT TO THE ARCHITECT ANY DISCREPANCIES.
7. ALL EXISTING SPOT GRADE ELEVATIONS SHALL BE GIVEN TO THE CONTRACTOR BY THE ARCHITECT. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THESE ELEVATIONS AND SHALL REPORT TO THE ARCHITECT ANY DISCREPANCIES.
8. ALL EXISTING SPOT GRADE ELEVATIONS SHALL BE GIVEN TO THE CONTRACTOR BY THE ARCHITECT. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THESE ELEVATIONS AND SHALL REPORT TO THE ARCHITECT ANY DISCREPANCIES.
9. ALL EXISTING SPOT GRADE ELEVATIONS SHALL BE GIVEN TO THE CONTRACTOR BY THE ARCHITECT. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THESE ELEVATIONS AND SHALL REPORT TO THE ARCHITECT ANY DISCREPANCIES.
10. ALL EXISTING SPOT GRADE ELEVATIONS SHALL BE GIVEN TO THE CONTRACTOR BY THE ARCHITECT. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THESE ELEVATIONS AND SHALL REPORT TO THE ARCHITECT ANY DISCREPANCIES.

GRADING LEGEND

	TP = TOP OF PAVEMENT
	EP = EDGE OF PAVEMENT
	FL = FLOOR LINE
	TS = TOP OF SLAB
	SE = SPOT ELEVATION
	TF = TOP OF FOUNDATION
	WE = WALL ELEVATION
	TW = TOP OF WALL
	FG = FINISHED GRADE
	TS = TOP OF STORM
	BS = BOTTOM OF STORM
	PC = PROPOSED CENTER
	EC = EXISTING CENTER
	RL = ROAD LINE
	SFS = SLOPE AND FLOOR SECTION
	100Y = 100-YEAR FREQUENCY STORMWATER INLET
	25Y = 25-YEAR FREQUENCY STORMWATER INLET
	PS = PROPOSED STORM
	PRW = PROPOSED RETAINING WALL
	PCO = PROPOSED POND CURVE AND OUTLET
	EPD = EXISTING POND
	1/2" = 1/2" (SEE DETAIL)

PROPOSED BUILDING EXPANSION
FFE: 815.32

Kimley-Horn	
INCORPORATED ENGINEERS AND ARCHITECTS	
1100 WEST 12TH STREET, SUITE 200 DENVER, CO 80202 TEL: 303.733.1100 WWW.KIMLEY-HORN.COM	
PROJECT: SMMC ED RENOVATION	
SHEET: GRADING PLAN	
SHEET NUMBER: C5.0	
DATE: 08/15/2011 DRAWN BY: JLD CHECKED BY: JLD IN CHARGE: JLD PROJECT NO: 1100012100	



STRUCTURE NAME	DEPTH
STORM STRUCTURE	14.50
STORM STRUCTURE	14.50
STORM STRUCTURE	14.50
STORM STRUCTURE	14.50

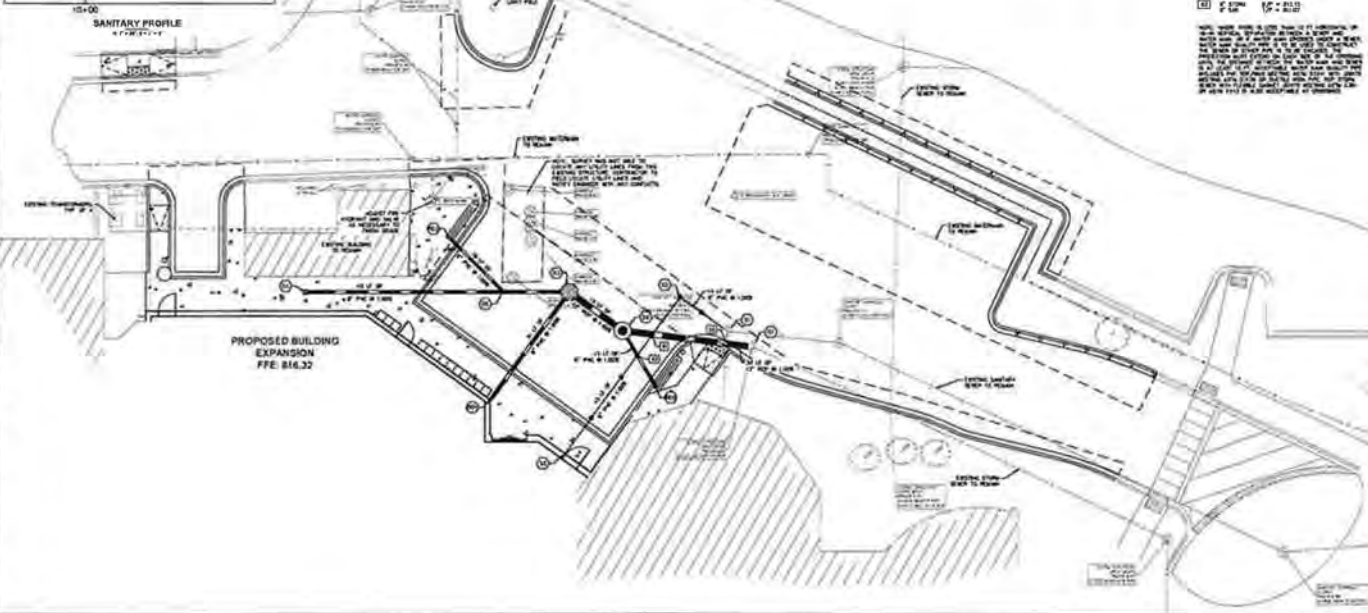
STRUCTURE NAME	DEPTH
STORM STRUCTURE	14.50
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STORM STRUCTURE	14.50

STRUCTURE NAME	DEPTH
STORM STRUCTURE	14.50
STORM STRUCTURE	14.50
STORM STRUCTURE	14.50
STORM STRUCTURE	14.50

- ### UTILITY NOTES
1. ALL UTILITY LINES SHALL BE SHOWN WITH THE PROPER CLASSIFICATION.
 2. ALL UTILITY LINES SHALL BE SHOWN WITH THE PROPER CLASSIFICATION AND DEPTH.
 3. ALL UTILITY LINES SHALL BE SHOWN WITH THE PROPER CLASSIFICATION AND DEPTH.
 4. ALL UTILITY LINES SHALL BE SHOWN WITH THE PROPER CLASSIFICATION AND DEPTH.
 5. ALL UTILITY LINES SHALL BE SHOWN WITH THE PROPER CLASSIFICATION AND DEPTH.

UTILITY LEGEND

[Symbol]	EX. WATER LINE
[Symbol]	EX. SEWER LINE
[Symbol]	EX. SANITARY SEWER LINE
[Symbol]	EX. SANITARY SEWER MANHOLE
[Symbol]	EX. STORM SEWER LINE
[Symbol]	EX. STORM SEWER MANHOLE
[Symbol]	EX. SANITARY MANHOLE
[Symbol]	EX. SANITARY MANHOLE
[Symbol]	EX. SANITARY MANHOLE



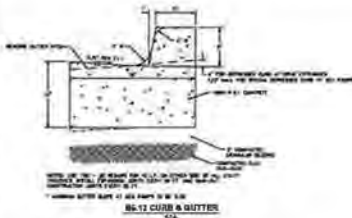
DATE: 11/20/2013
TIME: 10:30 AM
PROJECT: SAMC ED RENOVATION
SHEET NUMBER: C6.0

Kimley-Horn
INCORPORATED
1000 PARKWAY DRIVE
DURHAM, NC 27704
TEL: 919.486.1100
WWW.KIMLEY-HORN.COM

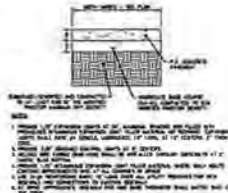
Crescent Smith
INCORPORATED
1000 PARKWAY DRIVE
DURHAM, NC 27704
TEL: 919.486.1100
WWW.CRESCENTSMITH.COM

SAMC ED RENOVATION
1000 PARKWAY DRIVE
DURHAM, NC 27704

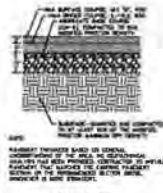
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SHEET NUMBER: C6.0



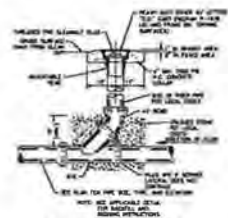
6x12 CURB & GUTTER
S.I.A.



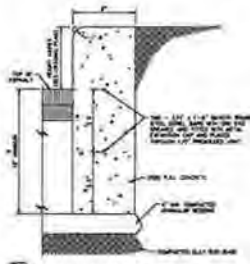
CONCRETE SIDEWALK
S.I.A.



HEAVY DUTY ASPHALT PAVEMENT SECTION
S.I.A.



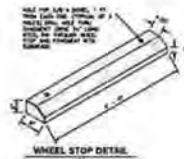
SANITARY/STORM CLEAN-OUT
S.I.A.



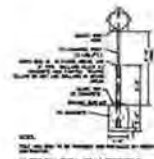
BARRIER CURB
S.I.A.



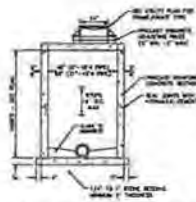
6\"/>



WHEEL STOP DETAIL
S.I.A.



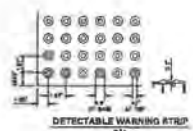
STANDARD BOX BASE
S.I.A.



STORM MANHOLE (FLAT TOP)
S.I.A.

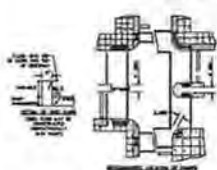


PAINTED CROSS-WALK DETAIL
S.I.A.



DETECTABLE WARNING STRIP
S.I.A.

- REMARKS:**
1. THE TOP OF CURB SHALL BE 1.5\"/>

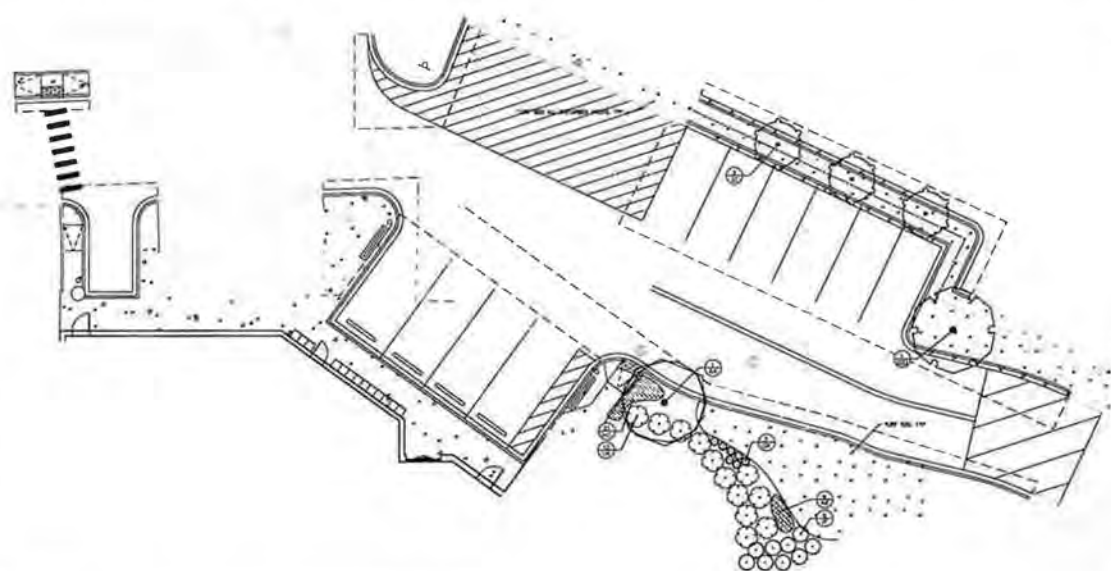


SIDEWALK AND SIDEWALK RAMP
S.I.A.



SMALL MANHOLE BASE
S.I.A.

PROJECT NO. 15-00000000 SHEET NO. 15-00000000-01 DATE 08/20/15	DRAWN BY: J. H. HARRIS CHECKED BY: J. H. HARRIS IN CHARGE: J. H. HARRIS
CONSTRUCTION DETAILS	
SAMC ED RENOVATION (100 N. MARKET ST. W. 1ST FLOOR) VICTORIA, BRITISH COLUMBIA, CANADA	
SHEET NUMBER C7.0	



PLANT SCHEDULE

SYMBOL	CODE	QTY	DESCRIPTION	UNIT	SIZE	NOTES
(Symbol)	AK	1	ACER FREESHANE VARIETAL (HELMAN GARDEN)	EA	7 GAL	SEE
(Symbol)	GD	1	GRAPES THACHACHIS WITBLAU (FRANCO VINICULT)	EA	7 GAL	SEE
(Symbol)	LD	12	LEONARDUS (COMMON NAME)	EA	6 IN	SEE
(Symbol)	W	1	WINDMILL PALM (PALM TREE)	EA	7 GAL	SEE
(Symbol)	LD	12	LEONARDUS (COMMON NAME)	EA	6 IN	SEE
(Symbol)	VA	12	VIBURNUM (COMMON NAME)	EA	48 IN	SEE
(Symbol)	LD	12	LEONARDUS (COMMON NAME)	EA	6 IN	SEE
(Symbol)	SP	8	SPYRIS (COMMON NAME)	EA	48 IN	SEE
(Symbol)	LD	12	LEONARDUS (COMMON NAME)	EA	6 IN	SEE
(Symbol)	DR	7	DRACOPAN (COMMON NAME)	EA	48 IN	SEE
(Symbol)	LD	12	LEONARDUS (COMMON NAME)	EA	6 IN	SEE
(Symbol)	AB	8	ABUTILON (COMMON NAME)	EA	1 GAL	SEE
(Symbol)	HE	88	HEDERA (COMMON NAME)	EA	1 GAL	SEE
(Symbol)			LEONARDUS (COMMON NAME)	EA		SEE
(Symbol)			LEONARDUS (COMMON NAME)	EA		SEE

Kimley-Horn
 CONSULTING ENGINEERS
 1000 N. W. 10th St., Suite 100
 Ft. Lauderdale, FL 33304
 PHONE: (954) 576-1000
 FAX: (954) 576-1001
 WWW: www.kimley-horn.com

Gresham Smith

SAMC ED RENOVATION PLAN

LANDSCAPE PLAN

PROJECT NO. 1000000000

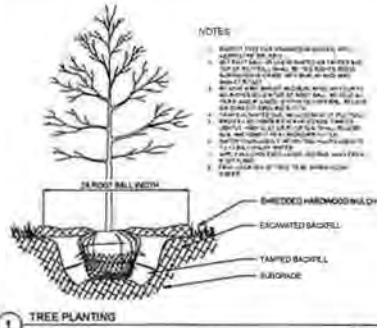
DATE: 01/15/2010

PROJECT NAME: SAMC ED RENOVATION

PROJECT LOCATION: 1000 N. W. 10th St., Ft. Lauderdale, FL 33304

PROJECT NUMBER: L1.0

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REMOVE UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLANT VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT. PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- NO PLANTING WILL BE INSTALLED UNTIL ALL SHOWING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR BRANCHES OR EXCAVATIONS THAT SETTLE.
- ALL PLANTS TO BE SPECIMEN GRADE, WELL BRANCHED, HEALTHY, FULL, PRECULCATED AND FERTILIZED PLANTS SHALL BE FREE FROM DISEASE, PESTS, WEEDS, AND SIGNS OF WEEDS. PLANTS SHALL BE FREE FROM PINE NEEDLE EATING SCALE INSECTS. ON DISINFESTED PLANTS SHALL BE FREE FROM SPIDERS OR LEAD-BRANCHES. PLANTS WILL BE WAXED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS PART OF THIS CONTRACT.
- THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFOLIATED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
- ALL NURSERY STOCK SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR FROM DATE OF FINAL INSPECTION. THE GUARANTEED PERIOD OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING 15' ON PLANTING.
- PLANTS TO MEET AMERICAN BRANDED FOR JANUARY STOCK (AND 1/2" N-3/4" OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- PLANT PLANTS AS NECESSARY FOR STANDARD NURSERY PRACTICES AND TO CORRECT POOR SANGRAPHY OF EXISTING AND PROPOSED TREES.
- TOPSOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO 4 INCHES BELOW FINISHED GRADE IN TURF AREAS AND 18 INCHES IN PLANTING AREAS.
- PLANTING AREA TOPSOIL SHALL BE AMENDED WITH 2% SPHAGNUM PEATMOSS OR HUMUS AND 2% FERTILIZED SOIL FOR ALL NEW TURF SEED MIX AREAS. (SPRUS OPERATIONAL, GRASS, PERENNIAL AND ANNUAL SEEDS).
- SEEDING LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SOOCCOED ALL AREAS WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SEEDING MIXES.
- SOOCCOED TO BE A SPACED EDGE UNLESS NOTED OTHERWISE ON THE PLAN. SPACED EDGES TO FINISH 6 INCHES DEPTH AND WIDTH TO CORRECT SPACING. BETWEEN MULCH AND GRASS. A SPACED EDGE SHALL BEHOLD MULCH FROM TURF OR BUSHED AREAS. A SPACED EDGE IS NOT REQUIRED ALONG CURVED EDGES.
- CONTRACTOR SHALL INSTALL SPREADER HORNWOOD MULCH AT 2" DEPTH TO ALL TREES, SHRUBS, PERENNIAL AND GROUNDCOVER AREAS. THIS IS PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 FT YARD WASHUM TREE 1/2" WITH 2" DEPTH SPREADER HORNWOOD MULCH.
- INSTALLATION OF TREES WITHIN PARALLELS SHALL BE COORDINATED IN THE FIELD WITH LOCATIONS OF UNDERGROUND UTILITIES. TREES SHALL NOT BE LOCATED CLOSER THAN 18" FROM UNDERGROUND UTILITIES AND NO CLOSER THAN 10' FROM UTILITY STRUCTURES.
- DO NOT OBTAIN THE EXISTING PLANNING, LIGHTING, OR LANDSCAPING THAT CONTRADICTS TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
- ALL DISTURBED AREAS TO BE SOOCCOED OR REEDED UNLESS OTHERWISE NOTED. SOOCCOED SHALL BE LOCAL, HARDY TURF GRASS MIX UNLESS OTHERWISE NOTED.
- PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.



- NOTES
- VERIFY TREE FOR DIMENSIONS BEFORE ORDERING FOR SITE.
 - DO NOT USE ANY PLANTS OR MATERIALS THAT ARE NOT LISTED ON THE PLAN.
 - ALL PLANTS SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
 - PLANTS SHALL BE FREE FROM DISEASE, PESTS, WEEDS, AND SIGNS OF WEEDS.
 - PLANTS SHALL BE WAXED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE.
 - THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS PART OF THIS CONTRACT.
 - ALL PLANTS TO BE SPECIMEN GRADE, WELL BRANCHED, HEALTHY, FULL, PRECULCATED AND FERTILIZED PLANTS SHALL BE FREE FROM DISEASE, PESTS, WEEDS, AND SIGNS OF WEEDS.
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 - THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS PART OF THIS CONTRACT.

NO. 1	NO. 2	NO. 3	NO. 4	NO. 5	NO. 6	NO. 7	NO. 8	NO. 9	NO. 10	NO. 11	NO. 12	NO. 13	NO. 14	NO. 15	NO. 16	NO. 17	NO. 18	NO. 19	NO. 20	
LANDSCAPE NOTES AND DETAILS																				
SAMC ED RENOVATION <small>3000 W. 10th Street, Suite 100, Denver, CO 80202</small>																				
SHEET TITLE: LANDSCAPE NOTES AND DETAILS SHEET NUMBER: L2.0																				

ORDINANCE NO. _____ - 2021

VILLAGE OF HOFFMAN ESTATES
AN ORDINANCE GRANTING A SITE PLAN AMENDMENT AND SPECIAL USE TO
STONE HOFFMAN LLC FOR THE BP GAS STATION PROPERTY LOCATED AT
2598 W. HIGGINS ROAD, HOFFMAN ESTATES, ILLINOIS

WHEREAS, the Planning and Zoning Commission, at a public hearing duly called and held according to law on August 18, 2021, considered the request by Stone Hoffman LLC (applicant and owner) for a site plan amendment and special use to permit an Automobile Service Station at 2598 W. Higgins Road, and shown on Exhibit "A" attached hereto and made a part hereof; and

WHEREAS, the Planning and Zoning Commission made certain Finding of Fact attached hereto and made a part hereof as Exhibit "B" and recommended approval of the site plan amendment and special use to the Board of Trustees; and

WHEREAS, the Corporate Authorities have received and considered said recommendation; and

WHEREAS, the proposed special use has met the standards of Section 9-1-18 of the Zoning Code of the Hoffman Estates Municipal Code; and

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: The Corporate Authorities hereby find that the facts and statements contained in the preamble of this Ordinance are true.

Section 2: A site plan amendment authorized under Section 10-2-2 of the Subdivision Code is hereby granted for property located at 2598 W. Higgins Road.

Section 3: A special use authorized under Section 9-9-1-C-1 of the Zoning Code is hereby granted to Stone Hoffman LLC to permit an Automobile Service Station for the property located at 2598 W. Higgins Road.

Section 4: The site plan amendment and special use are granted based upon the plans incorporated in Exhibit B and the following conditions:

1. The building permit shall be obtained within twelve (12) months of the Village Board action on this request.
2. The following Subdivision Code landscaping waivers are granted:
 - a. A waiver from Section 10-4-4-B. a. allowing the following landscape setbacks:
 - A front yard landscape setback of 8' versus the required 10' for the south side of the site.
 - A side yard landscape setback of 6.6' versus the required 10' for the east side of the site.
 - A side yard landscape setback of 0' versus the required 10' for the west side of the site.
 - A rear yard landscape setback of 0' versus the required 10' for the north side of the site.

- b. A waiver from Section 10-4-4 D. a. to not provide foundation landscaping on the front (south) building façade.
 - c. A waiver from Section 10-4-4 A. 2. a. to not provide a shade tree in the public right of way due to the lack of space and overhead wires.
3. A performance guarantee based on an Engineers Estimate of Cost shall be submitted to the Village prior to issuance of a building permit.
 4. A permit from IDOT shall be submitted prior to construction commencing in the Golf Road right-of-way.
 5. A permit from the Metropolitan Water Reclamation District (MWRD) shall be provided prior to site construction commencing.
 6. The following conditions relate to the site construction:
 - a. A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
 - b. Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.
 - c. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.

Section 5: The Village Clerk is hereby authorized to publish this Ordinance in pamphlet form.

Section 6: This Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2021

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Michael Gaeta	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2021

Village President

ATTEST:

Village Clerk

Published in pamphlet form this _____ day of _____, 2021.

EXHIBIT A

2598 W. Higgins Road

P.I.N.: 07-07-100-017-0000



Legend

- Parcel
- Subject Property



Planning and Transportation
The Village of Hoffman Estates
August 2021



**VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING
COMMISSION
FINDING OF FACT**

PROJECT NUMBER: 2019-050P
PROJECT NAME: 2598 W. Higgins - BP Gas Station
ADDRESS/LOCATION: 2598 W. Higgins Rd.
OWNER / PETITIONER: Stone Hoffman LLC
REQUEST: Special Use
Preliminary and Final Plat of Subdivision
Preliminary and Final Site Plan Amendment
Master Sign Plan
ZONING / LAND USE: B-2 Community Business/Gas Station
PZC MEETING DATE: August 18, 2021
PZC RECOMMENDATION: **APPROVAL** (8 Ayes, 0 Nays, 2 Absent)
VILLAGE BOARD MEETING DATE: September 13, 2021
STAFF ASSIGNED: Jim Donahue, Senior Planner

MOTIONS

A. Request for a Special Use under Section 9-8-2-C-1 of the Zoning Code and Site Plan Amendment for site redevelopment to permit an Automobile Service Station at 2598 W. Higgins Rd.

1. The building permit shall be obtained within twelve (12) months of the Village Board action on this request.
2. The following Subdivision Code landscaping waivers are granted:
 - a. A waiver from Section 10-4-4-B. a. allowing the following landscape setbacks:
 - A front yard landscape setback of 8' versus the required 10' for the south side of the site.
 - A side yard landscape setback of 6.6' versus the required 10' for the east side of the site.
 - A side yard landscape setback of 0' versus the required 10' for the west side of the site.
 - A rear yard landscape setback of 0' versus the required 10' for the north side of the site.

- b. A waiver from Section 10-4-4 D. a. to not provide foundation landscaping on the front (south) building façade.
 - c. A waiver from Section 10-4-4 A. 2. a. to not provide a shade tree in the public right of way due to the lack of space and overhead wires.
 3. A performance guarantee based on an Engineers Estimate of Cost shall be submitted to the Village prior to issuance of a building permit.
 4. A permit from IDOT shall be submitted prior to construction commencing in the Golf Road right-of-way.
 5. A permit from the Metropolitan Water Reclamation District (MWRD) shall be provided prior to site construction commencing.
 6. The following conditions relate to the site construction:
 - a. A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
 - b. Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.
 - c. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.

B. Request for a Preliminary and Final Plat of Subdivision for the property located at 2598 W. Higgins Rd.

1. Final Plat of Subdivision shall be approved by the Village prior to final Certificate of Occupancy.

C. Request for a Master Sign Plan in accordance with Section 9-3-8-M-13 of the Zoning Code for the property located at 2598 W. Higgins Rd., subject to the following conditions:

1. A sign permit shall be required for all signs.

FINDING

The Planning & Zoning Commission heard the request from Stone Hoffman LLC which is proposing a redevelopment of the existing site with a new 3,267 square foot convenience store and new pumps and canopy constructed on site. The existing carwash would remain as part of the redevelopment.

Staff noted that the subject property has been operating on this parcel for a number of years. It has gone through a number of changes since its original development, most notably IDOT took portions of the property (with compensation paid to the property owner at the time) for expansions to both Barrington Road and Higgins Road.

The Commission learned that the property currently has curb cuts on both Barrington and Higgins Roads. These existing curb cuts will be reduced and will have proper radii as part of the new curbed entrance design. Per IDOT requirements, each curb cut will have a triangular raised island installed to further enforce the right-in-right-out movements by vehicles. Vehicular access to the carwash would be one-way circulation from Higgins Road. Cars entering off Barrington Road would enter the site and circle the building to get into the carwash queue.

Staff noted that In order to improve the functionality of the site, the petitioner is proposing to reduce various landscape setbacks. These were all noted in the conditions of approval.

The petitioner noted that the building is proposed to be precast concrete faced with brick and stone. Awnings are proposed over the windows along with gooseneck lighting on the back and sides of the building. Pre-molded EIFS cornices are proposed on portions of the façade for visual interest. The carwash will be refaced to match the primary building.

Staff stated that the subject property was never a formally subdivided. As part of the redevelopment, a plat of subdivision is being created to make it a lot of record. The newly created lot (Lot 1) would be approximately 0.94 acres in size. Required easements are being dedicated as per Village code.

The petitioner reviewed all aspects of the site development including access and parking, site engineering, landscaping, lighting and explained in detail how the site would function.

Per code, since the subject property is zoned B-2, Community Business District and an automobile service station (gas station) is listed as a special use in this district. The petitioner has provided a narrative describing the operations of the business and proposed site improvements.

Section 9-1-18-I of the Zoning Code (Standards for a Special Use) states: "No special use shall be recommended by the Planning and Zoning Commission unless said Planning and Zoning Commission shall find:

1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
4. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;
5. That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets; and

6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Planning and Zoning Commission.

Staff noted that the petitioner is proposing a Master Sign Plan. Section 9-3-8-M-13 of the Zoning Code requires that in instances where the Zoning Code cannot be strictly followed, that the owner may propose a Master Sign Plan to accommodate the signs on the property and to set standards and restrictions on the signs. The Village requires a Master Sign Plan in lieu of sign variations except where a Master Sign Plan is not feasible or warranted (for a very minor request where a variation is deemed acceptable to request). The Zoning Code lists the goals that a Master Sign Plan should achieve as follows:

- Result in architecture and graphics of a scale appropriate for the subject development and the surrounding area;
- Provide signage consistent with the site plan and architecture of the project;
- Avoid visual clutter;
- Allow visitors, employees, and consumers to readily identify the business entrances, while addressing the community's need for attractive, unobtrusive architecture and commercial graphics; and
- Result in a unified theme of signage for the project.

Petitioners are encouraged to take a comprehensive approach to each master sign plan proposal because the plan will provide guidelines for signs that are desired both today, and into the future. The Plan functions as a "mini-sign code" for the property. The creation of a Master Sign Plan involves merging and considering several perspectives, including:

- Current Code requirements.
- Prior variation history on the subject property, as well as similar properties.
- Existing signage on the property.
- Specific current signage requests by the property owner.
- Likely possible signage requests in the future (consider the type use of the property and its location).
- Unique characteristics of the subject property.

Commissioner questions included:

- Size of current building? (Petitioner stated about 1500 sq. ft.)
- Is parking sufficient? (Staff confirmed it was.)
- Timing of electric charging station. (Petitioner explained later, when more financially viable.)
- Public sidewalk changes? (Petitioner stated IDOT is making them replace the sidewalk to meet ADA requirements).
- Are underground tanks being replaced? (Petitioner said yes.)
- What if proposed gambling isn't approved? (Petitioner explained he would find another tenant)
- Snow removal procedures. (Petitioner explained current and proposed procedures.)

AUDIENCE COMMENTS

None

PLANNING AND ZONING COMMISSION VOTE

Commissioner	Roll Call Vote
Chairperson Eva Combs	Aye
Vice-Chairman Greg Ring	Absent
Adam Bauske	Aye
Tom Burnitz	Aye
Lon Harner	Aye
Lenard Henderson	Absent
Myrene Iozzo	Aye
Minerva Milford	Aye
Nancy Trieb	Aye
Denise Wilson	Aye
8 Ayes, 0 Nays, 2 Absent	ALL MOTIONS APPROVED

ATTACHMENTS

The Planning and Zoning Commission Staff Report dated August 18, 2021 and all associated attachments are hereby made a part of this Finding.

ORDINANCE NO. _____ - 2021

VILLAGE OF HOFFMAN ESTATES

AN ORDINANCE GRANTING A MASTER SIGN PLAN FOR THE BP GAS STATION PROPERTY LOCATED AT 2598 W. HIGGINS ROAD, HOFFMAN ESTATES, ILLINOIS

WHEREAS, the Planning and Zoning Commission, at a public hearing duly called and held according to law on August 18, 2021, considered the request by Stone Hoffman, LLC (applicant and owner) for a Master Sign Plan (dated August 18, 2021) under Section 9-3-8-M-13 of the Zoning Code for the property commonly referred to as 2598 W. Higgins Road, and shown on Exhibit "A" and attached hereto and made a part hereof; and

WHEREAS, the Planning and Zoning Commission made certain Finding of Fact attached hereto and made a part hereof as Exhibit "B" and recommended approval of a Master Sign Plan to the Board of Trustees; and

WHEREAS, the Corporate Authorities have received and considered said recommendation; and

WHEREAS, the proposed Master Sign Plan has met the standards of Section 9-3-8-M-13 of the Zoning Code of the Hoffman Estates Municipal Code; and

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: The Corporate Authorities hereby find that the facts and statements contained in the preamble of this Ordinance are true.

Section 2: A Master Sign Plan (dated August 18, 2021), attached hereto and made a part hereof as Exhibit "C", as authorized under Section 9-3-8-M-13 of the Zoning Code is hereby granted for the property located at 2598 W. Higgins Road, with the following condition:

1. A sign permit shall be required for all signs.

Section 3: The Village Clerk is hereby authorized to publish this Ordinance in pamphlet form.

Section 4: This Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2021

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Michael Gaeta	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2021

Village President

ATTEST:

Village Clerk
Published in pamphlet form this _____ day of _____, 2021.

ORDINANCE NO. _____ - 2021

**VILLAGE OF HOFFMAN ESTATES
AN ORDINANCE GRANTING A SITE PLAN AMENDMENT AND
SPECIAL USE TO AMITA HEALTH FOR THE ST. ALEXIUS
MEDICAL CENTER PROPERTY LOCATED AT
1555 N. BARRINGTON ROAD, HOFFMAN ESTATES, ILLINOIS**

WHEREAS, the Planning and Zoning Commission, at a public hearing duly called and held according to law on September 1, 2021, considered the request by AMITA Health (applicant and owner) for a site plan amendment and special use to permit an expansion of the emergency department at the St. Alexius Medical Center property at 1555 N. Barrington Road, and shown on Exhibit "A" attached hereto and made a part hereof; and

WHEREAS, the Planning and Zoning Commission made certain Finding of Fact attached hereto and made a part hereof as Exhibit "B" and recommended approval of the site plan amendment and special use to the Board of Trustees; and

WHEREAS, the Corporate Authorities have received and considered said recommendation; and

WHEREAS, the proposed special use has met the standards of Section 9-1-18 of the Zoning Code of the Hoffman Estates Municipal Code; and

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: The Corporate Authorities hereby find that the facts and statements contained in the preamble of this Ordinance are true.

Section 2: A site plan amendment authorized under Section 10-2-2 of the Subdivision Code is hereby granted for property located at 1555 N. Barrington Road.

Section 3: A special use authorized under Section 9-9-1-C-1 of the Zoning Code is hereby granted to AMITA Health to permit expansion of the emergency department at the St. Alexius Medical Center property located at 1555 N. Barrington Road.

Section 4: The site plan amendment and special use are granted based upon the plans incorporated in Exhibit B and the following conditions:

1. The building permit shall be obtained within twelve (12) months of the Village Board action on this request.
2. The following Subdivision Code waiver is granted:
 - a. A waiver from Section 10-5-2-A-3 of the Municipal Code to allow the use of curb stops for the back-in ambulance spaces immediately adjacent to the new expansion.
3. A performance guarantee based on an Engineers Estimate of Cost shall be submitted to the Village prior to issuance of a building permit.
4. If determined by the Metropolitan Water Reclamation District (MWRD) that a permit is required, the permit shall be provided to the Village prior to site construction commencing.

5. The following conditions relate to the site construction:
 - a. A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
 - b. Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.
 - c. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.

Section 5: The Village Clerk is hereby authorized to publish this Ordinance in pamphlet form.

Section 6: This Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2021

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Michael Gaeta	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2021

Village President

ATTEST:

Village Clerk

Published in pamphlet form this _____ day of _____, 2021.

EXHIBIT A
2598 W. Higgins Road
P.I.N.: 07-07-100-017-0000



Legend

- Parcel
- Subject Property



Planning and Transportation
The Village of Hoffman Estates
August 2021



**VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING
COMMISSION
FINDING OF FACT**

PROJECT NUMBER: 2019-050P
PROJECT NAME: 2598 W. Higgins - BP Gas Station
ADDRESS/LOCATION: 2598 W. Higgins Rd.
OWNER / PETITIONER: Stone Hoffman LLC
REQUEST: Special Use
Preliminary and Final Plat of Subdivision
Preliminary and Final Site Plan Amendment
Master Sign Plan
ZONING / LAND USE: B-2 Community Business/Gas Station
PZC MEETING DATE: August 18, 2021
PZC RECOMMENDATION: **APPROVAL** (8 Ayes, 0 Nays, 2 Absent)
VILLAGE BOARD MEETING DATE: September 13, 2021
STAFF ASSIGNED: Jim Donahue, Senior Planner

MOTIONS

A. Request for a Special Use under Section 9-8-2-C-1 of the Zoning Code and Site Plan Amendment for site redevelopment to permit an Automobile Service Station at 2598 W. Higgins Rd.

1. The building permit shall be obtained within twelve (12) months of the Village Board action on this request.
2. The following Subdivision Code landscaping waivers are granted:
 - a. A waiver from Section 10-4-4-B. a. allowing the following landscape setbacks:
 - A front yard landscape setback of 8' versus the required 10' for the south side of the site.
 - A side yard landscape setback of 6.6' versus the required 10' for the east side of the site.
 - A side yard landscape setback of 0' versus the required 10' for the west side of the site.
 - A rear yard landscape setback of 0' versus the required 10' for the north side of the site.

- b. A waiver from Section 10-4-4 D. a. to not provide foundation landscaping on the front (south) building façade.
 - c. A waiver from Section 10-4-4 A. 2. a. to not provide a shade tree in the public right of way due to the lack of space and overhead wires.
 3. A performance guarantee based on an Engineers Estimate of Cost shall be submitted to the Village prior to issuance of a building permit.
 4. A permit from IDOT shall be submitted prior to construction commencing in the Golf Road right-of-way.
 5. A permit from the Metropolitan Water Reclamation District (MWRD) shall be provided prior to site construction commencing.
 6. The following conditions relate to the site construction:
 - a. A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
 - b. Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.
 - c. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.

B. Request for a Preliminary and Final Plat of Subdivision for the property located at 2598 W. Higgins Rd.

1. Final Plat of Subdivision shall be approved by the Village prior to final Certificate of Occupancy.

C. Request for a Master Sign Plan in accordance with Section 9-3-8-M-13 of the Zoning Code for the property located at 2598 W. Higgins Rd., subject to the following conditions:

1. A sign permit shall be required for all signs.

FINDING

The Planning & Zoning Commission heard the request from Stone Hoffman LLC which is proposing a redevelopment of the existing site with a new 3,267 square foot convenience store and new pumps and canopy constructed on site. The existing carwash would remain as part of the redevelopment.

Staff noted that the subject property has been operating on this parcel for a number of years. It has gone through a number of changes since its original development, most notably IDOT took portions of the property (with compensation paid to the property owner at the time) for expansions to both Barrington Road and Higgins Road.

The Commission learned that the property currently has curb cuts on both Barrington and Higgins Roads. These existing curb cuts will be reduced and will have proper radii as part of the new curbed entrance design. Per IDOT requirements, each curb cut will have a triangular raised island installed to further enforce the right-in-right-out movements by vehicles. Vehicular access to the carwash would be one-way circulation from Higgins Road. Cars entering off Barrington Road would enter the site and circle the building to get into the carwash queue.

Staff noted that In order to improve the functionality of the site, the petitioner is proposing to reduce various landscape setbacks. These were all noted in the conditions of approval.

The petitioner noted that the building is proposed to be precast concrete faced with brick and stone. Awnings are proposed over the windows along with gooseneck lighting on the back and sides of the building. Pre-molded EIFS cornices are proposed on portions of the façade for visual interest. The carwash will be refaced to match the primary building.

Staff stated that the subject property was never a formally subdivided. As part of the redevelopment, a plat of subdivision is being created to make it a lot of record. The newly created lot (Lot 1) would be approximately 0.94 acres in size. Required easements are being dedicated as per Village code.

The petitioner reviewed all aspects of the site development including access and parking, site engineering, landscaping, lighting and explained in detail how the site would function.

Per code, since the subject property is zoned B-2, Community Business District and an automobile service station (gas station) is listed as a special use in this district. The petitioner has provided a narrative describing the operations of the business and proposed site improvements.

Section 9-1-18-I of the Zoning Code (Standards for a Special Use) states: "No special use shall be recommended by the Planning and Zoning Commission unless said Planning and Zoning Commission shall find:

1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
4. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;
5. That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets; and

6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Planning and Zoning Commission.

Staff noted that the petitioner is proposing a Master Sign Plan. Section 9-3-8-M-13 of the Zoning Code requires that in instances where the Zoning Code cannot be strictly followed, that the owner may propose a Master Sign Plan to accommodate the signs on the property and to set standards and restrictions on the signs. The Village requires a Master Sign Plan in lieu of sign variations except where a Master Sign Plan is not feasible or warranted (for a very minor request where a variation is deemed acceptable to request). The Zoning Code lists the goals that a Master Sign Plan should achieve as follows:

- Result in architecture and graphics of a scale appropriate for the subject development and the surrounding area;
- Provide signage consistent with the site plan and architecture of the project;
- Avoid visual clutter;
- Allow visitors, employees, and consumers to readily identify the business entrances, while addressing the community's need for attractive, unobtrusive architecture and commercial graphics; and
- Result in a unified theme of signage for the project.

Petitioners are encouraged to take a comprehensive approach to each master sign plan proposal because the plan will provide guidelines for signs that are desired both today, and into the future. The Plan functions as a "mini-sign code" for the property. The creation of a Master Sign Plan involves merging and considering several perspectives, including:

- Current Code requirements.
- Prior variation history on the subject property, as well as similar properties.
- Existing signage on the property.
- Specific current signage requests by the property owner.
- Likely possible signage requests in the future (consider the type use of the property and its location).
- Unique characteristics of the subject property.

Commissioner questions included:

- Size of current building? (Petitioner stated about 1500 sq. ft.)
- Is parking sufficient? (Staff confirmed it was.)
- Timing of electric charging station. (Petitioner explained later, when more financially viable.)
- Public sidewalk changes? (Petitioner stated IDOT is making them replace the sidewalk to meet ADA requirements).
- Are underground tanks being replaced? (Petitioner said yes.)
- What if proposed gambling isn't approved? (Petitioner explained he would find another tenant)
- Snow removal procedures. (Petitioner explained current and proposed procedures.)

AUDIENCE COMMENTS

None

PLANNING AND ZONING COMMISSION VOTE

Commissioner	Roll Call Vote
Chairperson Eva Combs	Aye
Vice-Chairman Greg Ring	Absent
Adam Bauske	Aye
Tom Burnitz	Aye
Lon Harner	Aye
Lenard Henderson	Absent
Myrene Iozzo	Aye
Minerva Milford	Aye
Nancy Trieb	Aye
Denise Wilson	Aye
8 Ayes, 0 Nays, 2 Absent	ALL MOTIONS APPROVED

ATTACHMENTS

The Planning and Zoning Commission Staff Report dated August 18, 2021 and all associated attachments are hereby made a part of this Finding.

EXHIBIT C



BP

**Convenience Store,
Carwash and Fuel Station**

2598 W. Higgins Road
Northeast Corner of Barrington Road and Higgins Road
PIN 07-07-100-017-0000

Master Sign Plan

August 18, 2021

BP Fuel Station
Master Sign Plan
August 18, 2021

Introduction

This Master Sign Plan applies to one lot at 2598 W. Higgins Road on the Northeast corner of Barrington Road and Higgins Road. The property includes a convenience store, car wash, canopy and fuel pumps.

The Master Sign Plan requirements have been developed based on the signage that is unique to the BP Gas Station property. The lot contains approximately 1 acre. This plan has been designed for this development that maintains consistency with other similar developments, yet takes into account certain unique characteristics of this development, specifically previously approved variations. Sign requirements for all buildings are included in this Plan to promote cohesion among all signs.

A. Area Included in Master Sign Plan

This Master Sign Plan applies to 2598 W Higgins Road, and all future addresses assigned to the two buildings (Retail Building and Car Wash).

B. General Provisions

1. Definition. For the purposes of this master sign plan, the following definition is hereby incorporated.
 - a. *Property* – “Property” shall mean the lot currently addressed 2598 W Higgins Road on the northeast corner of Barrington Road and Higgins Road. In the event the lot is subdivided in the future, the definition of property shall also apply to the resulting lots.
2. Driver Sight Visibility. No sign shall be placed in a manner that will obstruct driver or pedestrian sight lines and create an unsafe condition based on analysis by the Village Department of Development Services.
3. Landscaping. Landscaping shall be provided at the base of all ground signs, unless determined to be unsafe or not feasible by the Village Department of Development Services.
4. Illumination. All signs permitted by this Master Sign Plan may be illuminated in accordance with Section 9-3-8-F of the Zoning Code unless otherwise indicated in the approved Master Sign Plan documents.
5. Sign Design. Colors and letter graphic styles on the signs shall be determined by the owners of the property; however, signs that are of a similar type shall be of a consistent color and graphic style.

BP Fuel Station

Master Sign Plan

August 18, 2021

6. Calculation of Sign Area. Such signs shall meet the requirements of Section 9-3-8-D, except that the architectural base and support structure of a monument ground sign shall not be included in the total sign area if these areas do not contain text, logos or any other graphics.
7. Permits. Sign permits shall be required in accordance with Section 9-3-8-A of the Zoning Code.
8. Coordination with Village Sign Code. All regulations of the Zoning Code shall apply unless specifically stated otherwise in this master sign plan. In the event of a conflict between this Master Sign Plan and the Zoning Code, the Master Sign Plan regulations shall apply.
9. Prior Variations. Any and all prior signage variations are henceforth null and void.

C. Ground Signs

1. Ground Sign.
 - a. Type. A freestanding or monument sign that will identify the BP convenience store and gas station, including an LED displays to identify the gas prices. The sign will also include a 6' x 3' electronic message board.
 - b. Number and size. One Ground Sign shall be permitted on the property. The sign shall be a maximum of 18 feet in height. The maximum square footage of the sign copy shall not exceed 110 square feet per side with a maximum 220 square feet total.
 - c. Location. The Ground Sign shall be a minimum of 5 feet from any property line and 2 feet from any paved surface and shall not obstruct traffic or pedestrian sign lines.
 - d. Sign Design. The sign shall match the plans attached hereto shall not be of "Pole Sign" design.

D. Wall Signs

1. Retail Building Signs
 - a. Type. Retail Store Wall Signs shall be internally illuminated channel letters or logos individually mounted the building façade or set on raceway. Raceway

BP Fuel Station
Master Sign Plan
August 18, 2021

shall be mounted directly to the building wall surface and shall be painted to match façade color where it is to be mounted.

- b. **Number and Size.** Four (4) Wall Signs shall be permitted on the retail building. Total Square footage of all signs shall not exceed 150 square feet.
- c. **Location.** The wall sign shall be centered horizontally within the selected façade or over an architectural entry feature of such front façade.

2. Car Wash Wall signs

- a. **Type.** Car wash wall signs shall be channel letters or logos individually set on raceway or façade; alternatively they may be mounted on approved awning surfaces. Wall signs and raceways are not to extend more than 12" from wall on which it is mounted or must be flush mounted on an approved awning. Signs may be illuminated.
- b. **Number and Size.** Three signs shall be permitted on the south side of the car wash building. Each sign shall not exceed 10 square feet.
- c. **Location.** Each car wash wall sign shall be centered horizontally and spaced evenly along the south facade.
- d. **Entrance/Exit Signs -** One "Car Wash Entrance" Sign with Clearance Height is permitted at the carwash entrance. The cantilevered sign shall not exceed 10' in height and 100 square feet in area.

E. Fuel Station Related Signs

- 1. Fuel Pump Canopy Signs Fuel pump canopy signs shall be permitted on three sides of the canopy. The signs shall be a maximum of 10 square feet each and shall not extend above or below the canopy. Canopy signs may be illuminated.
- 2. Under Canopy Identification Signs. Under canopy identification signs shall be permitted as provided in the Zoning Code (Section 9-3-8-M-10-c-6).
- 3. Fuel Pump signs. Fuel pump signs shall be permitted as provided in the Zoning Code (Section 9-3-8-M-10-c-7).

F. Miscellaneous Signs

- 1. Instructional Signs. Instructional signs shall be permitted on the property to direct drivers to different portions of the site. Such signs shall be a maximum of 5 square feet in size and 6 feet in height. Instructional signs shall not contain any

BP Fuel Station
Master Sign Plan
August 18, 2021

corporate names of logos. All signs shall be of a consistent design and shall be separate from traffic control signs.

2. Menu Board Signs. Menu board signs shall be permitted as provided in the Zoning Code (Section 9-3-8-M-10-e-1). Car wash menu board signs shall also be permitted following the regulation for drive-thru menu boards at restaurants, except that such signs shall not exceed 20 square feet in size.

G. Temporary Signs

1. Construction Signs. During construction of any portion of this development, temporary signs may be permitted as determined necessary by the Village Department of Development Services. These signs shall be used to identify altered traffic routes, closed drives or parking lots, relocated building entrances, etc. Such signs shall not be subject to the requirements of the Directional Signage Section of this plan.
2. Special Event Signs. Special event signs shall be permitted as provided in the Zoning Code (Section 9-3-8-K).

H. Amendments

1. Changes. Changes to the text, colors, or graphic style of the signs shall not require a formal amendment to this plan, provided the size and all other requirements of this plan are met and all signs of each type have identical design and colors.
2. Interpretations. Signs that are not explicitly addressed in the provisions of this plan, but that meet the intent of the plan may be permitted through administrative approval.
3. New Signs. The addition of new signs or relocation of existing signs shall not require a formal amendment to this plan, provided the signs meet all requirements of this plan. Any amendment to add additional signs or make substantial changes to the approved signs in this plan shall be subject to review by the Planning & Zoning Commission and approval by the Village Board through the process outlined in the Zoning Code for variations.



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT NUMBER: 2019-050P
PROJECT NAME: 2598 W. Higgins - BP Gas Station
ADDRESS/LOCATION: 2598 W. Higgins Rd.
PROPERTY SIZE: .94 Acres
OWNER / PETITIONER: Stone Hoffman LLC
REQUESTS: Special Use
Preliminary and Final Plat of Subdivision
Preliminary and Final Site Plan Amendment
Master Sign Plan
PUBLIC HEARING: Yes
ZONING / LAND USE: B-2 Community Business/Gas Station

ADJACENT PROPERTIES: NORTH: B-2 Community Business (Multi-tenant retail)
SOUTH: B-2 Community Business (Burger King)
WEST: B-2 Community Business (Chili's Restaurant)
EAST: B-2 Community Business (Northwest Corporate Center)

PZC MEETING DATE: August 18, 2021
STAFF ASSIGNED: Jim Donahue, Senior Planner

REQUESTED MOTIONS

1. Request for a Special Use under Section 9-8-2-C-1 of the Zoning Code and Preliminary and Final Site Plan Amendment for site redevelopment to permit an Automobile Service Station at 2598 W. Higgins Road.
2. Request for a Preliminary and Final Plat of Subdivision for the property located at 2598 W. Higgins Road.
3. Request for a Master Sign Plan in accordance with Section 9-3-8-M-13 of the Zoning Code for the property located at 2598 W. Higgins Road.

INCLUDES RECOMMENDED CONDITIONS: YES

BACKGROUND

The BP Gas Station has been operating on this parcel for a number of years. It has gone through a number of changes since its original development, most notably IDOT took portions of the property (with compensation paid to the property owner at the time) for expansions to both Barrington Road and Higgins Road. The current owner is looking to make changes to the site to make it more competitive with other recently built gas stations in the area.

PROPOSAL

The petitioner is proposing a redevelopment of the site with a new 3,267 square foot convenience store and new pumps and canopy constructed on site. The existing carwash would remain as part of the redevelopment.

SPECIAL USE – ZONING CODE SECTION 9-8-2-C-1

The subject property is zoned B-2, Community Business District and an automobile service station (gas station) is listed as a special use in this district. The petitioner has provided a narrative describing the operations of the business and proposed site improvements.

Section 9-1-18-I of the Zoning Code (Standards for a Special Use) states: "No special use shall be recommended by the Planning and Zoning Commission unless said Planning and Zoning Commission shall find:

1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
4. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;
5. That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets; and
6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Planning and Zoning Commission.

The petitioner has provided a response to the standards for a Special Use which is included in the packets.

SITE PLAN

Vehicular Access and Circulation – Subdivision Code Section 10-5

The property currently has curb cuts on both Barrington and Higgins Roads. The existing curb cuts will be reduced and have proper radii as part of the new curbed entrance design. Per IDOT requirements, each curb cut will have a triangular raised island installed to further enforce the right-in-right-out movements by vehicles.

Vehicular access to the carwash would be one-way circulation from Higgins Road. Cars entering off Barrington Road would enter the site and circle the building to get into the carwash queue.

Sidewalk connections are proposed from the Barrington Road public sidewalk to allow pedestrian access into the site to the convenience store.

The Fire Department has reviewed the plans and worked with the petitioner to locate the Fire Department Connection (FDC) on the southeast corner of the building.

Parking – Subdivision Code Section 10-5-2

A total of 12 parking spaces are provided for the convenience store component (not including the pump parking spaces). According to the Village's code and industry standards, 13 spaces would be recommended for the size of this building (3,267 sq. ft.); however, our code does not include parking next to the pumps that will be utilized by some patrons as well. Village staff has reviewed the site plan and does not foresee any parking issues due to the short visit times typically involved with this type of use.

Engineering – Subdivision Code Section 10-3

The Engineering Division has reviewed the proposed engineering, grading, utility, and erosion control plans and the plans are acceptable.

Per Village and MWRD requirements, the petitioner is installing volume control system for stormwater into the site design to improve stormwater quality. The Petitioner is still working with MWRD on final approval of the volume control system, but site changes are not expected to occur based on MWRD comments.

An IDOT permit will be required for all work proposed in their Right of Way (ROW). A condition has been added that that permit needs to be secured before starting any ROW work.

Landscaping – Subdivision Code Section 10-4

The proposed landscape plan incorporates trees, shrubs and perennials into the site design where feasible. Because so much of the site has been reduced by past takings by IDOT, the site can't meet all setbacks and still function.

In order to improve the functionality of the site, the petitioner is proposing to reduce various landscape setbacks. Waivers from Section 10-4-4-B a. are requested for some setbacks. The portions of the overall site that do not meet the required 10' landscape setback include:

- o A front yard landscape setback of 8' versus the required 10' for the south side of the site.
- o A side yard landscape setback of 6.6' versus the required 10' for the east side of the site.
- o A side yard landscape setback of 0' versus the required 10' for the west side of the site.
- o A rear yard landscape setback of 0' versus the required 10' for the north side of the site.

A landscape waiver is requested from Section 10-4-4 D. a. to not provide foundation landscaping on the front (south) building façade. This building frontage has sidewalk for pedestrian access. Landscape is being provided in those areas where it can fit.

A landscape waiver is requested from Section 10-4-4 A. 2. A. to not provide a shade tree in the public right of way along Higgins and Barrington Roads due to the lack of space and overhead wires and IDOT signal control boxes.

Building Design – Subdivision Code Section 10-5-3-H

The building is proposed to be precast concrete faced with brick and stone. Awnings are proposed over the windows along with gooseneck lighting on the back and sides of the building. Pre-molded EIFS cornices are proposed on portions of the façade for visual interest. The carwash will be refaced to match the primary building.

Exterior Lighting – Subdivision Code Section 10-5-3-G

New light poles and fixtures are proposed around the parking lot. The lighting levels and downcast fixtures are in compliance with the standards in the Subdivision Code.

PRELIMINARY AND FINAL PLAT OF SUBDIVISION

The subject property was never a formally subdivided. As part of the redevelopment, a plat of subdivision is being created to make it a lot of record. The newly created lot (Lot 1) would be approximately 0.94 acres in size. Required easements are being dedicated as per Village code.

The plat meets all the Village requirements for a plat of resubdivision and will legally establish this parcel as a lot in accordance with Village Code.

MASTER SIGN PLAN

A Master Sign Plan has been drafted for the property by staff based on the petitioner's submittals. The proposal allows for wall signage, one monument sign, and menu boards. A copy of the proposed Master Sign plan is included.

The proposed Master Sign Plan includes the following allowances for site signage:

<u>Signage Type</u>	<u>Proposed</u>
Wall	Four Wall Signs totaling 150 square feet

Ground	18' Monument ground sign LED Message Center totaling 110 square feet per side
Gas Canopy Signs	3 canopy signs
Entrance/Exit	4 Directional Signs

The proposed sizes, locations and design of the signs are included in the Master Sign Plan packet included with this report.

MASTER SIGN PLAN STANDARDS

Section 9-3-8-M-13 of the Zoning Code requires that in instances where the Zoning Code cannot be strictly followed, that the owner may propose a Master Sign Plan to accommodate the signs on the property and to set standards and restrictions on the signs. The Village requires a Master Sign Plan in lieu of sign variations except where a Master Sign Plan is not feasible or warranted (for a very minor request where a variation is deemed acceptable to request). The Zoning Code lists the goals that a Master Sign Plan should achieve as follows:

- Result in architecture and graphics of a scale appropriate for the subject development and the surrounding area;
- Provide signage consistent with the site plan and architecture of the project;
- Avoid visual clutter;
- Allow visitors, employees, and consumers to readily identify the business entrances, while addressing the community's need for attractive, unobtrusive architecture and commercial graphics; and
- Result in a unified theme of signage for the project.

Petitioners are encouraged to take a comprehensive approach to each master sign plan proposal because the plan will provide guidelines for signs that are desired both today, and into the future. The Plan functions as a "mini-sign code" for the property. The creation of a Master Sign Plan involves merging and considering several perspectives, including:

- Current Code requirements.
- Prior variation history on the subject property, as well as similar properties.
- Existing signage on the property.
- Specific current signage requests by the property owner.
- Likely possible signage requests in the future (consider the type use of the property and its location).
- Unique characteristics of the subject property.

The petitioner has provided a response to the Standards for a Master Sign Plan in their application.

RECOMMENDED CONDITIONS

Motion #1

1. The building permit shall be obtained within twelve (12) months of the Village Board action on this request.
2. The following Subdivision Code landscaping waivers are granted:
 - a. A waiver from Section 10-4-4-B. a. allowing the following landscape setbacks:
 - A front yard landscape setback of 8' versus the required 10' for the south side of the site.
 - A side yard landscape setback of 6.6' versus the required 10' for the east side of the site.
 - A side yard landscape setback of 0' versus the required 10' for the west side of the site.
 - A rear yard landscape setback of 0' versus the required 10' for the north side of the site.
 - b. A waiver from Section 10-4-4 D. a. to not provide foundation landscaping on the front (south) building façade.
 - c. A waiver from Section 10-4-4 A. 2. a. to not provide a shade tree in the public right of way due to the lack of space and overhead wires.
3. A performance guarantee based on an Engineers Estimate of Cost shall be submitted to the Village prior to issuance of a building permit.
4. A permit from IDOT shall be submitted prior to construction commencing in the Golf Road right-of-way.
5. A permit from the Metropolitan Water Reclamation District (MWRD) shall be provided prior to site construction commencing.
6. The following conditions relate to the site construction:
 - a. A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
 - b. Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.
 - c. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.

Motion #2

1. Final Plat of Subdivision shall be approved by the Village prior to final Certificate of Occupancy.

Motion #3

1. A sign permit shall be required for all signs.

Attachments: Petitioner's Applications and Submittals
Location Map



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING GENERAL APPLICATION*

Special Use for GAS STATION Rezoning from _____ to _____

Variation: Commercial Residential Sign

Plat (Subdivision & Others): Preliminary Final

Site Plan: Amendment Concept Preliminary Final

Master Sign Plan: Amendment

Other: _____

*** ADDENDUM MATERIALS ARE REQUIRED FOR SPECIFIC REQUESTS**

Posting of Notification Sign(s) may be required.

Specific requirements will be provided when your request is scheduled.

FOR VILLAGE USE ONLY

Hearing Fee 3250⁰⁰ Check No. 5308+5585 Date Paid 3/11/21

Project Number: 2019-050P

Staff Assigned: J. Donahue

Meeting Date: 8/18/21 Public Hearing: Yes No

Sign Posting Required: Yes No Date Sign Posted 8/6/21

PLEASE PRINT OR TYPE

Date: 3/5/21

Project Name: Hoffman BP Redevelopment

Project Description: 2598 W Higgins Rd demolition and rebuild

Project Address/Location: 2598 W Higgins Road.

Property Index No. 07-07-100-017-0000

Acres: .94 Zoning District: B2

I. Owner of Record

Joseph Stone Stone Hoffman LLC
Name Company
2598 W Higgins Road Hoffman Estates
Street Address City
IL 60169 217-494-6404
State Zip Code Telephone Number
Fax Number hoffmanestatesbp@yahoo.com
E-Mail Address

II. Applicant (Contact Person/Project Manager)

Joseph Stone Stone Hoffman LLC
Name Company
2598 W Higgins Road Hoffman Estates
Street Address City
IL 60169 217-494-6404
State Zip Code Telephone Number
Fax Number hoffmanestatesbp@yahoo.com
E-Mail Address

Applicant's relationship to property: owner

III. Owner Consent for Authorized Representative

It is required that the property owner or his designated representative be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. **If the owner cannot be present at the meeting, the following statement must be signed by the owner:**

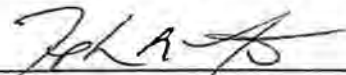
I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize _____ to act on my behalf and advise that he/she has full authority to act as my/our representative.

Owner Signature **Print Name**

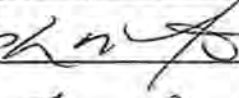
IV. Acknowledgement(s)

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

The Owner and Applicant, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature: 

Owner's Name (Please Print): Stone Hoffmann LLC

Applicant's Signature: 
(If other than Owner)

Applicant's Name (Please Print): Joseph Stone

Date: 3/5/21

All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.

Please contact the Planning Division (located in the Municipal Building) with any questions:

Email: planning@hoffmanestates.org

Address: 1900 Hassell Road
Hoffman Estates, IL 60169

Phone: (847) 781-2660

Fax: (847) 781-2679

Addendums Attached:

- | | |
|--------------------------------------|---|
| <input type="checkbox"/> Special Use | <input type="checkbox"/> Master Sign Plan |
| <input type="checkbox"/> Rezoning | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Variation | |
| <input type="checkbox"/> Plat | |
| <input type="checkbox"/> Site Plan | |



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION SITE PLAN ADDENDUM – NON-RESIDENTIAL

Amendment Concept Preliminary Final

I. DESCRIPTION OF PROJECT:

A. ATTACH A NARRATIVE FOR THE PROPOSED PROJECT ON A SEPARATE SHEET

- ✓ Article 10-6 of the Subdivision Code details the application process and required submittal documents. For relevant items, provide detailed information as part of the project narrative.

B. Total Number of Buildings: 2

C. Total Gross Floor Area: 4255 square feet

D. Height of tallest building (including antennas, hvac, etc.): 21 feet

E. With respect to this project's compatibility with adjacent land uses, address the following in the Project Narrative: Building Scale, architectural Materials, Coordinated Color Scheme, Existing and Planned Areas of Visual Interest, Design Concept and Relationship of Building Materials to one another.

F. Estimated start of construction: July 2021

G. Estimated time to complete development: 6 months
Attach a phasing schedule, if applicable.

H. Does the property contain flood plain lands or wetlands? Yes No
If yes, please address as part of the narrative.

I. Is there any historical or archeological significance to the existing structures or features of this site or the surrounding sites? Yes No
If yes, please address as part of the narrative.

J. Are there any endangered, threatened, or unique plants or animals located in or near the area? Yes No
If yes, please address as part of the narrative.

II. OPERATIONAL CONSIDERATIONS

A. Anticipated hours of operation: 12:00 am pm to 11:59 am/pm 24 hours.

- B. Anticipated number of employees: 17 total 4 per shift 3 number of shifts
- C. Estimated number of customers: 600 daily 100 peak hour
- D. If there is any additional information about the proposed development or its operation that may affect the site development, address as part of the narrative.

III. FINANCIAL CONSIDERATIONS

- A. Estimated annual gross sales of general merchandise subject to sales tax for this project (includes 1% local share of state tax and 1% home rule tax):

Gross Sales (General)		Tax Rate		General Sales Tax
<u>767,500</u>	X	<u>2%</u>	=	<u>\$15,750</u>

- B. Estimated annual gross sales subject to food and beverage (F & B) tax for this project (food prepared on premises and alcoholic beverages consumed on premises). See article 13-7 of the Hoffman Estates Municipal Code for detailed definition:

Gross Sales (F & B)		Tax Rate		F & B Tax
<u>228,000</u>	X	<u>2%</u>	=	<u>\$ 4560</u>

- C. Estimated Annual Hotel Tax: 365 Days X

Estimated Average Room Rate		Number of rooms		Occupancy Percentage		365 Days		Tax Rate		Hotel Tax
	X		X		X		X	<u>6%</u>	=	<u>\$ 0</u>

- D. Other tax/revenue:
(Entertainment tax = 6%, etc.)

		Rate		Tax
<u>17,000</u>	X	<u>.06</u>	=	<u>\$ 1020</u>

gas tax 140,000 X .025 = 3500

- E. Estimated Annual Telecommunications (TC) Tax:

Estimated Yearly Phone Bill		Tax Rate		TC tax
<u>6000</u>	X	<u>6%</u>	=	<u>\$ 400</u>

- F. Current assessment of the property: 279,441

- G. Estimated value of Construction: 2,250,000

- H. Will this project result in any unusual expenditure of public funds or requirements for public services in anyway? Yes No

If yes, please address as part of the narrative.

IV. TRAFFIC CONSIDERATIONS

A. Parking

1. Total number of parking spaces to be provided:

Employees: 8 Customers/Visitors: 4 Handicapped: 1 Total: 13

2. When is the peak parking period for this project?

5pm-6pm

3. Will this project share parking spaces with other businesses? Yes No

If yes, please address as part of the narrative.

B. Traffic

1. Estimated number of vehicles entering and exiting this site during the peak one hour period between 4:00 p.m. and 6:00 p.m. 100

2. Will there be any other peak traffic times for this project? Yes No

If yes, give the time(s) of day and traffic volume: 7am-9am

3. Will this project contain a drive through? Yes No

If yes, the project narrative should address order processing time, projected stacking demand, and other details to explain the operation.

C. Deliveries

1. The project plan submittal should include turning templates to show all routes to be used for making deliveries to and from site. Is this plan included? Yes No

2. How often will deliveries be made on site? daily

2. What is the frequency and time period expected for deliveries? 10-15 min

3. What is the largest delivery vehicle to be used and its size?

Vehicle Type	Size	check	
Single Unit truck	30 ft.	<input type="checkbox"/>	<input type="checkbox"/>
Intermediate Semitrailer	50 ft.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Large Semitrailer	55 ft.	<input type="checkbox"/>	<input type="checkbox"/>
Other		<input type="checkbox"/>	<input type="checkbox"/>

If the delivery truck used fits into the "Other" category, please specify type, size and turning radius: _____

- D. Any additional site related traffic information not covered above? Yes No
If yes, please address as part of the narrative.

V. RECYCLING AND GREEN INITIATIVES

- A. Article 9 of The Municipal Code of the Village of Hoffman Estates requires that businesses maintain an effective recycling program. Address any unique recycling plans as part of the project narrative.
- B. The Village supports and promotes sustainability. Please address any planned green or sustainability initiatives as part of the narrative.
- C. Do you anticipate submitting this project for LEED certification (or any other similar certifications)? Yes No
If yes, please address as part of the narrative.

VI. GENERAL CONSIDERATIONS

- A. Please list examples of similar uses (including name and location) in the area that can be used for comparison by the Village:

1. Picky Baskets Shell 2590 W. Golf Road
2. Picky Baskets Mobil 2095 Barrington Road
3. _____

- B. Will this project contain any noise generators that will adversely affect surrounding areas?
Yes No
If yes, please address as part of the narrative.

C. Is there anything included in this project that may be sensitive to surrounding noise generators?

Yes No

If yes, please address as part of the narrative.

D. Do you intend to apply for a liquor license? Yes No

If yes, please contact the Village Clerk's Office at 847.781.2625

E. Will this project contain a cafeteria or food service area (in order to determine applicability of a sewer and water surcharge)? Yes No

If yes, please address as part of the narrative.

F. In the project narrative, please list and explain anything involved in this project that is not covered in this application that should be brought to the Village's attention. Also address any rare or unusual circumstances or needs related to this project.

Please contact the Planning Division with any questions:

Email:

Address: 1900 Hassell Road
Hoffman Estates, IL 60169

Phone: 847.781.2660

Fax: 847.781.2679



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION SPECIAL USE ADDENDUM

REQUIRED SUBMITTALS:

- General Application
- \$500 Special Use hearing fee/\$750 for "All Other Uses"
- Legal Description
Typically found on a tax bill, survey, mortgage documents or deed
- Current Plat of Survey drawn to scale
- A scale drawing of the floor plan and elevations, including windows and door locations.
- A Project Narrative detailing the use, hours of operation, parking demand, etc. Provide relevant plans, studies, and any other documents to support the request.
- A written response to each of the Standards for a Special Use (see below).

You are responsible for posting a notification sign(s) on your property 10 days before the Planning & Zoning Commission hearing and removing the sign(s) 10 days after final Village Board action. Specific requirements will be provided by Planning Staff.

No special use shall be recommended by the Planning and Zoning Commission unless said Commission finds that adequate evidence is provided to meet the Special Use Standards. (Respond to each standard as it applies to your request either below or address on a separate sheet)

1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

The proposed project is the same general use that currently exists. This is a re-development of a current gas station to modernize and add more elaborate food service as well as video gaming.

2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;

The proposed development will re-invest over 2 million to modernizing the current use and expand services offered. This will increase property values in the area.

3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;

Main purposed of the property will not be changed, therefore, will not impede the normal and orderly development and improvement of the surrounding property uses.

4. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;

All utilities will be in accordance with the village requirements. Driveways off Barrington & Higgins will be adjusted per IDOT requirements. Drainage will meet MWRD standards.

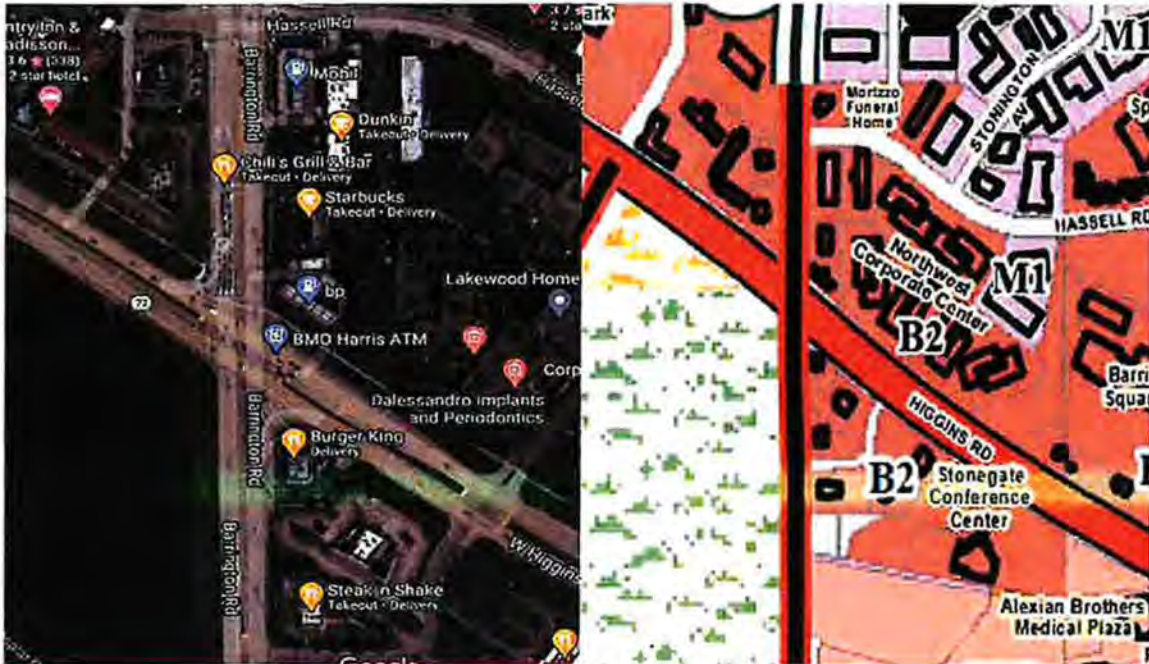
5. That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets; and

Site plan has been created to allow seamless ingress, egress and easy flow/manueverability throughout the property. All 2 way drive aisles have a width of 24 feet and all 1 way traffic has 20 feet drive aisles.

6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Planning and Zoning Commission.

We have done our best to conform to most regulations and standard set forth by the zoning code. However, a few variances will be requested as some standards were not achievable given the property size. The land required by IDOT's intersection expansion created a large challenge for this development and some of the village's standards.

Project Description and Narrative
2598 W Higgins Road



The North property is a commercial building which contains Starbucks, Jimmy Johns and a pharmacy (B2 Zoning). The property to the East is a medical office center (B2 Zoning). The property to the West is a Denny's (B2 Zoning). The property to the South is a Burger King (B2 Zoning).

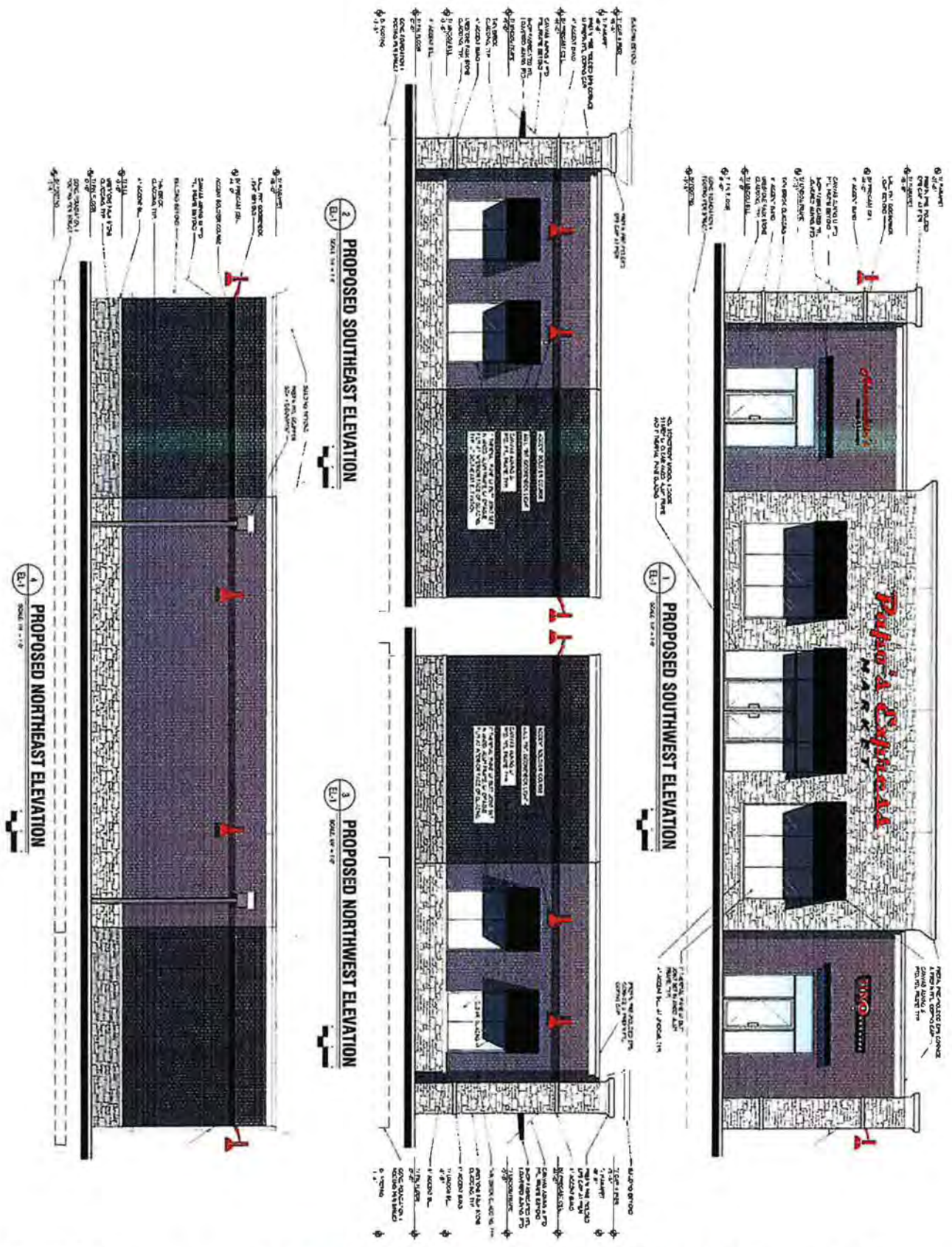
Project Narrative:

Total Re-development building construction will be 3,267 square feet. This includes both the square footage of the convenience store and the gaming lounge. The maximum height for the buildings will be 21 feet. The building construction will be precast concrete faced with stone and brick. The stone on the center of the building and the corner accents as well as the base on the sides and back will be a light gray color. The brick surrounding the secondary door and the upper portion of the side and back of the building will be a charcoal gray color with a blue undertone. The car wash material and color scheme will match. The colors and materials were selected to create a traditional architecture combined with contemporary colors to establish a grand, elegant, modern feeling for the re-development. The landscape plan was created based on MWRD requirements, villages standards as well as the best way to complement the development while allowing the best visibility to the developments focal points.

Development sustainability:

The site will construct the infrastructure to allow Electric Vehicle charging stations. Proposed location will be the left two parking spaces furthest left in front of the convenience store. The EV chargers to be installed in the future as the current demand does not support being installed at this time. Additionally, the efficiency/effectiveness of the chargers is low as they are early in their technology and will evolve quickly to better products.

Moreover, a portion of the fuel tank will be used for green fuels. This portion will be used for Bio-diesel and can be converted to hydrogen or another alternative green fuel in the future.



REDEVELOPMENT OF EXISTING GAS STATION & C-STORE FACILITY FOR:

Papo's Express

MARKET

IPSA
 Architects & Design
 1166 WEST ORLAND AVENUE
 CHICAGO, ILLINOIS 60606
 PHONE: (312) 242-2000
 FAX: (312) 242-9970

2888 W. MICHIGAN RD.
 HOFFMAN ESTATES, IL
 60149

DATE: 01/14/2021
 PROJECT: 20190518

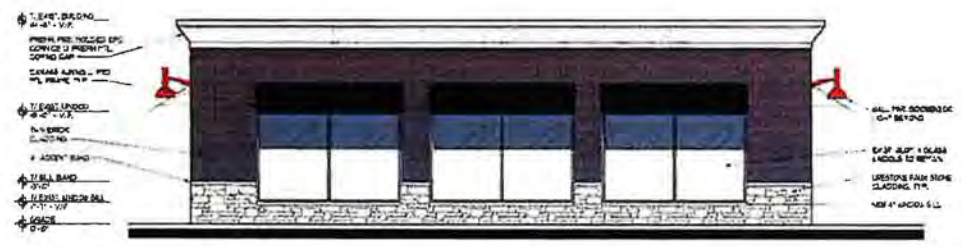


REDEVELOPMENT OF EXISTING GAS STATION & C-STORE FACILITY FOR:

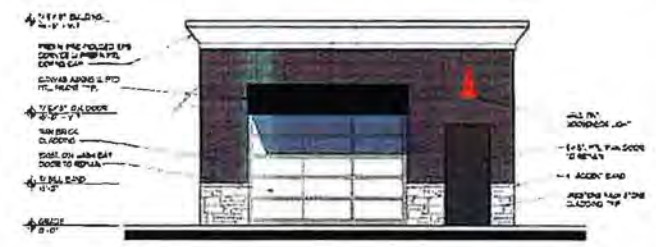
Papa's Express
MARKET

2598 W. HIGGINS RD.
HOFFMAN ESTATES, IL
60169

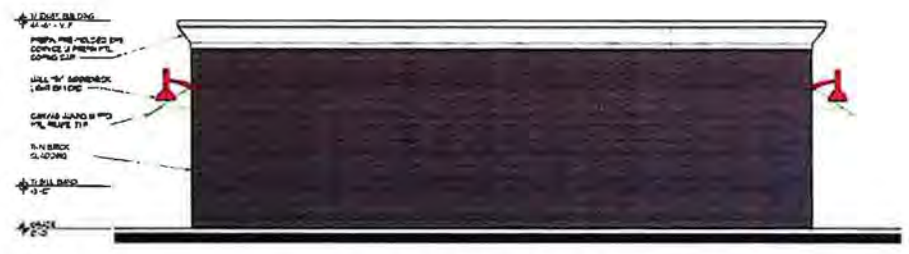
DATE 01/14/2021
PROJECT # 20190518



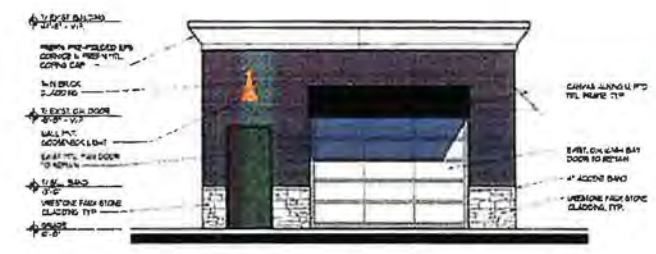
1
EL-2
PROPOSED SOUTH ELEVATION
SCALE 1/4" = 1'-0"



1
EL-2
PROPOSED EAST ELEVATION
SCALE 1/4" = 1'-0"



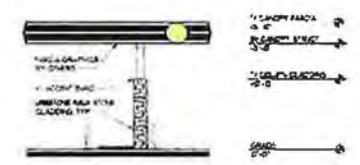
2
EL-2
PROPOSED NORTH ELEVATION
SCALE 1/4" = 1'-0"



2
EL-2
PROPOSED WEST ELEVATION
SCALE 1/4" = 1'-0"



5
EL-2
CANOPY ELEVATION - NORTH/SOUTH
SCALE 1/4" = 1'-0"



8
EL-2
CANOPY ELEVATION - EAST/WEST
SCALE 1/4" = 1'-0"

EXHIBIT "A"
2598 W. Higgins Road
P.I.N.: 07-07-100-017-0000



Legend

- Parcel
- Subject Property



Planning and Transportation
The Village of Hoffman Estates
August 2021



BP
**Convenience Store,
Carwash and Fuel Station**

2598 W. Higgins Road
Northeast Corner of Barrington Road and Higgins Road
PIN 07-07-100-017-0000

Master Sign Plan

August 18, 2021

BP Fuel Station
Master Sign Plan
August 18, 2021

Introduction

This Master Sign Plan applies to one lot at 2598 W. Higgins Road on the Northeast corner of Barrington Road and Higgins Road. The property includes a convenience store, car wash, canopy and fuel pumps.

The Master Sign Plan requirements have been developed based on the signage that is unique to the BP Gas Station property. The lot contains approximately 1 acre. This plan has been designed for this development that maintains consistency with other similar developments, yet takes into account certain unique characteristics of this development, specifically previously approved variations. Sign requirements for all buildings are included in this Plan to promote cohesion among all signs.

A. Area Included in Master Sign Plan

This Master Sign Plan applies to 2598 W Higgins Road, and all future addresses assigned to the two buildings (Retail Building and Car Wash).

B. General Provisions

1. Definition. For the purposes of this master sign plan, the following definition is hereby incorporated.
 - a. Property – “Property” shall mean the lot currently addressed 2598 W Higgins Road on the northeast corner of Barrington Road and Higgins Road. In the event the lot is subdivided in the future, the definition of property shall also apply to the resulting lots.
2. Driver Sight Visibility. No sign shall be placed in a manner that will obstruct driver or pedestrian sight lines and create an unsafe condition based on analysis by the Village Transportation Division.
3. Landscaping. Landscaping shall be provided at the base of all ground signs, unless determined to be unsafe or not feasible by the Village Department of Development Services.
4. Illumination. All signs permitted by this Master Sign Plan may be illuminated in accordance with Section 9-3-8-F of the Zoning Code unless otherwise indicated in the approved Master Sign Plan documents.
5. Sign Design. Colors and letter graphic styles on the signs shall be determined by the owners of the property; however, signs that are of a similar type shall be of a consistent color and graphic style.

BP Fuel Station
Master Sign Plan
August 18, 2021

6. Calculation of Sign Area. Such signs shall meet the requirements of Section 9-3-8-D, except that the architectural base and support structure of a monument ground sign shall not be included in the total sign area if these areas do not contain text, logos or any other graphics.
7. Permits. Sign permits shall be required in accordance with Section 9-3-8-A of the Zoning Code.
8. Coordination with Village Sign Code. All regulations of the Zoning Code shall apply unless specifically stated otherwise in this master sign plan. In the event of a conflict between this Master Sign Plan and the Zoning Code, the Master Sign Plan regulations shall apply.
9. Prior Variations. Any and all prior signage variations are henceforth null and void.

C. Ground Signs

1. Ground Sign.
 - a. Type. A freestanding or monument sign that will identify the BP convenience store and gas station, including an LED displays to identify the gas prices. The sign will also include a 6' x 3' electronic message board.
 - b. Number and size. One Ground Sign shall be permitted on the property. The sign shall be a maximum of 18 feet in height. The maximum square footage of the sign copy shall not exceed 110 square feet per side with a maximum 220 square feet total.
 - c. Location. The Ground Sign shall be a minimum of 5 feet from any property line and 2 feet from any paved surface.
 - d. Sign Design. The sign shall match the plans attached hereto shall not be of "Pole Sign" design.

D. Wall Signs

1. Retail Building Signs
 - a. Type. Retail Store Wall Signs shall be internally illuminated channel letters or logos individually mounted the building façade or set on raceway. Raceway shall be mounted directly to the building wall surface and shall be painted to match façade color where it is to be mounted.

BP Fuel Station
Master Sign Plan
August 18, 2021

- b. **Number and Size.** Four (4) Wall Signs shall be permitted on the retail building. Total Square footage of all signs shall not exceed 150 square feet.
- c. **Location.** The wall sign shall be centered horizontally within the selected façade or over an architectural entry feature of such front façade.

2. Car Wash Wall signs

- a. **Type.** Car wash wall signs shall be channel letters or logos individually set on raceway or façade; alternatively they may be mounted on approved awning surfaces. Wall signs and raceways are not to extend more than 12" from wall on which it is mounted or must be flush mounted on an approved awning. Signs may be illuminated.
- b. **Number and Size.** Three signs shall be permitted on the south side of the car wash building. Each sign shall not exceed 10 square feet.
- c. **Location.** Each car wash wall sign shall be centered horizontally and spaced evenly along the south facade.
- d. **Entrance/Exit Signs -** One "Car Wash Entrance" Sign with Clearance Height is permitted at the carwash entrance. The cantilevered sign shall not exceed 10' in height and 100 square feet in area.

E. Fuel Station Related Signs

- 1. Fuel Pump Canopy Signs Fuel pump canopy signs shall be permitted on three sides of the canopy. The signs shall be a maximum of 10 square feet each and shall not extend above or below the canopy. Canopy signs may be illuminated.
- 2. Under Canopy Identification Signs. Under canopy identification signs shall be permitted as provided in the Zoning Code (Section 9-3-8-M-10-c-6).
- 3. Fuel Pump signs. Fuel pump signs shall be permitted as provided in the Zoning Code (Section 9-3-8-M-10-c-7).

F. Miscellaneous Signs

- 1. Instructional Signs. Instructional signs shall be permitted on the property to direct drivers to different portions of the site. Such signs shall be a maximum of 5 square feet in size and 6 feet in height. Instructional signs shall not contain any corporate names or logos. All signs shall be of a consistent design and shall be separate from traffic control signs.

BP Fuel Station
Master Sign Plan
August 18, 2021

2. Menu Board Signs. Menu board signs shall be permitted as provided in the Zoning Code (Section 9-3-8-M-10-e-1). Car wash menu board signs shall also be permitted following the regulation for drive-thru menu boards at restaurants, except that such signs shall not exceed 20 square feet in size.

G. Temporary Signs

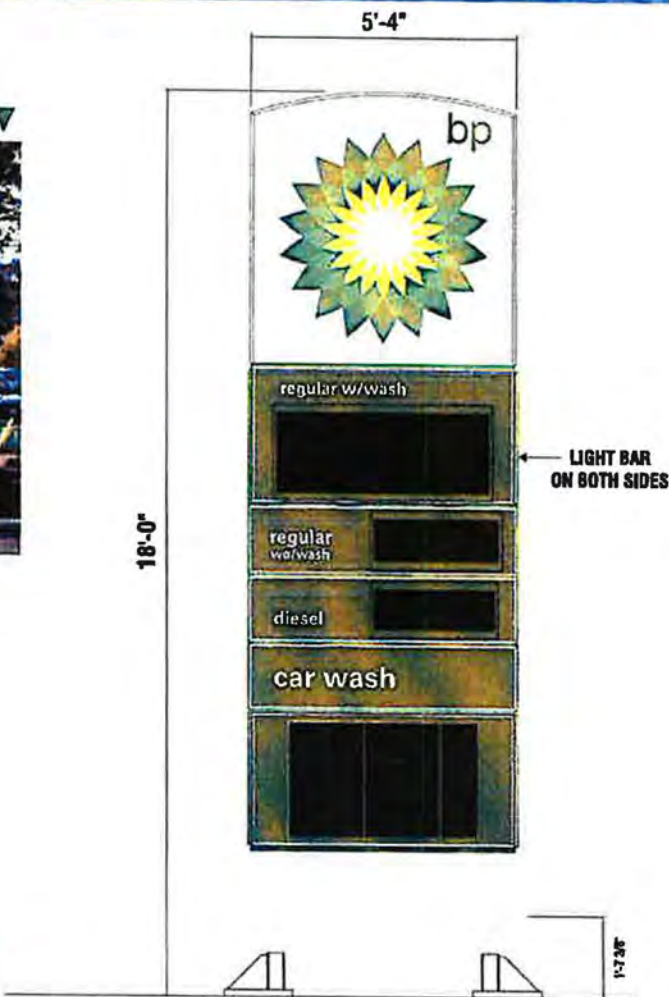
1. Construction Signs. During construction of any portion of this development, temporary signs may be permitted as determined necessary by the Village Department of Development Services. These signs shall be used to identify altered traffic routes, closed drives or parking lots, relocated building entrances, etc. Such signs shall not be subject to the requirements of the Directional Signage Section of this plan.
2. Special Event Signs. Special event signs shall be permitted as provided in the Zoning Code (Section 9-3-8-K).

H. Amendments

1. Changes. Changes to the text, colors, or graphic style of the signs shall not require a formal amendment to this plan, provided the size and all other requirements of this plan are met and all signs of each type have identical design and colors.
2. Interpretations. Signs that are not explicitly addressed in the provisions of this plan, but that meet the intent of the plan may be permitted through administrative approval.
3. New Signs. The addition of new signs or relocation of existing signs shall not require a formal amendment to this plan, provided the signs meet all requirements of this plan. Any amendment to add additional signs or make substantial changes to the approved signs in this plan shall be subject to review by the Planning & Zoning Commission and approval by the Village Board through the process outlined in the Zoning Code for variations.



EXISTING ▼



PROPOSED ►

ACTION ITEMS REQUIRED PRIOR TO PRODUCTION

- 1. NEW FOUNDATION REQUESTED

ADDITIONAL NOTES

- 1. DOES NOT FOLLOW BP STANDARDS - INVIGORATE LOGO NOT INCLUDED
- 2. STANDARD SIZE EMC FOR 64" GEMINI WILL BE 3 LINES OF TILES TALL

CUSTOMER INITIALS

Initials _____

These drawings are not for construction purposes. The information disclosed herein is intended to express design intent only. This original design is the sole property of Blair Companies. It cannot be reproduced, copied, or published, in whole or in part, without first obtaining written consent from Blair Companies.



5107 Kissell Ave.
 Altoona, PA 16601
 P: 814.949.8287
 F: 814.949.8293
 blairimage.com

PROJECT INFORMATION

CLIENT: BP
 ADDRESS: ...
 2500 W HIGGINS
 HOFFMAN ESTATES, IL 60195
 M NUMBER: 94839
 DATE: 02.01.21
 RENDERED: RSF
 FILE NAME:
 CATEGORY:

REVISION

02.16.21: INCREASE DAH, CHG TO NEW FOUNDATION & EMC TO 2X HIGH

Drawing will expire 90 days after date on cover. If production required to start in after 90 days, 24 hours is required to receive approval.



Hoffman
Estate
SIGNS

Done

9 of 9



NEW PORTLAND CEMENT BLOCK
5" X 8" - CLEAR GLASS W/ W/ FRAME
DO - 1" RECESSED FRAME SIGNING

1
EL-1

PROPOSED SOUTHWEST ELEVATION

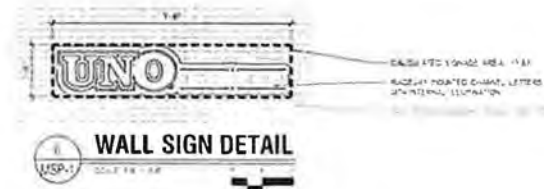
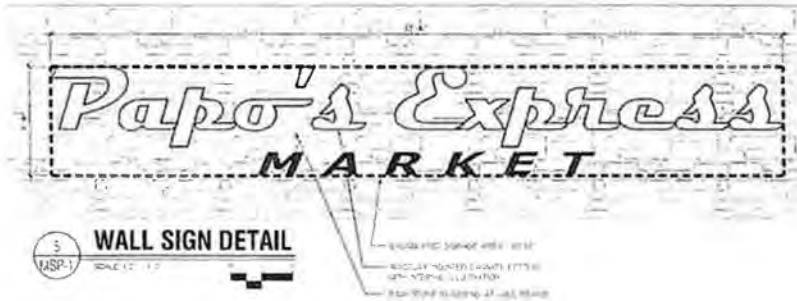
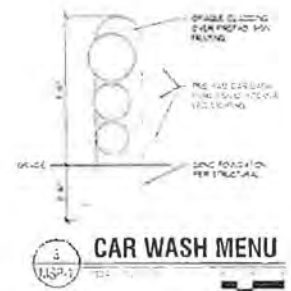
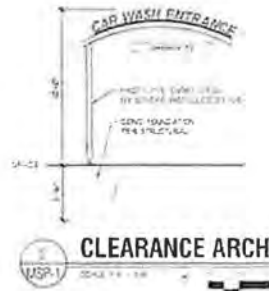
SCALE 1/4" = 1'-0"

TEMP. PANEL SIGN
2ND SET PANEL SIGN
FRAME 1/4"

PROVIDE 1/4" SET PNL
CORNER & REAR PNL
DO NOT COR.

PAVEMENT
CAP AT PER





WALL SIGN DATA	
CALCULATED SIGNAGE AREA	11'-0" X 11'-0"
SIGN BOARD AREA	121'-0" SQ. FT.
SIGNAGE INFORMATION: SEE SIGNAGE INFORMATION SHEET	
CALCULATED SIGNAGE AREA	4'-0" X 4'-0"
SIGN BOARD AREA	16'-0" SQ. FT.
SIGNAGE INFORMATION: SEE SIGNAGE INFORMATION SHEET	
CALCULATED SIGNAGE AREA	4'-0" X 4'-0"
SIGN BOARD AREA	16'-0" SQ. FT.
SIGNAGE INFORMATION: SEE SIGNAGE INFORMATION SHEET	

NOTE: PROJECT LOCATION: 2598 W HIGGINS RD, HOFFMAN ESTATES, IL 60189

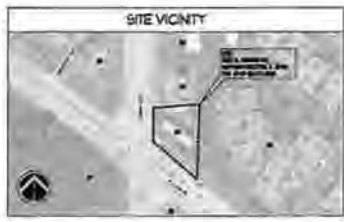
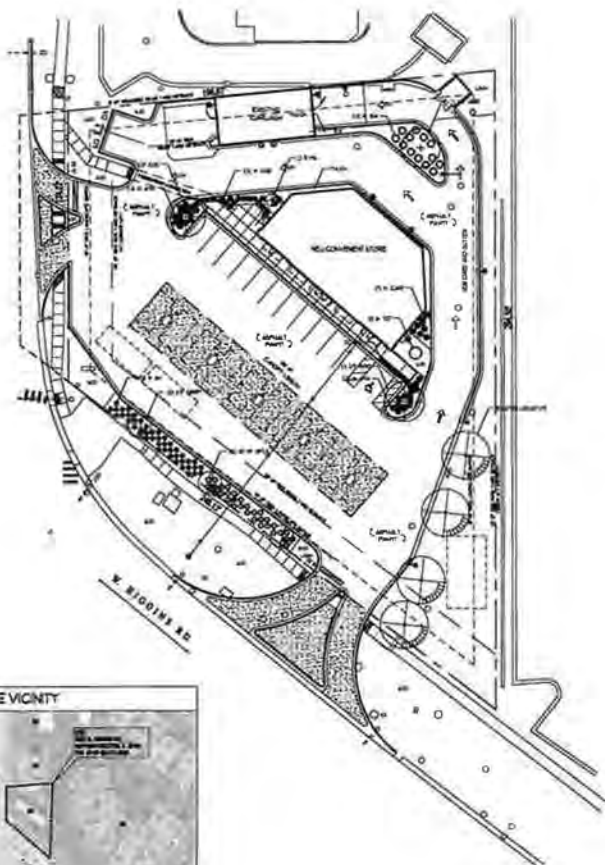
REDEVELOPMENT OF EXISTING GAS STATION & C-STORE FACILITY FOR:

Papo's Express
MARKET

2598 W HIGGINS RD
HOFFMAN ESTATES, IL
60189

DATE: 05/13/2021
PROJECT #: 20190512





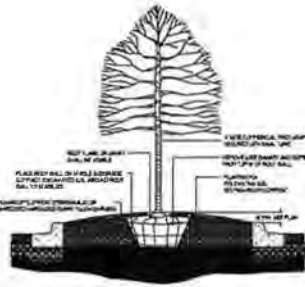
PLANT LIST

ID#	Common Name	Botanical Name	Size	Quantity	Notes
1	Andromeda Hedge	Andromeda 'Robusta'	12"	800	APR
2	Chingford Shrubbery	Coffea scandiolaris 'Chingford'	12"	800	DEC
3	Bigleaf Hydrangea	Hydrangea 'Nana'	12"	800	APR
4	Sagebrush	Artemisia tridentata	12"	800	NOV
5	Trident Yucca	Yucca tridentata	12"	800	NOV
6	Yucca filamentosa	Yucca filamentosa	12"	800	NOV
7	Yucca filamentosa	Yucca filamentosa	12"	800	NOV
8	Yucca filamentosa	Yucca filamentosa	12"	800	NOV
9	Yucca filamentosa	Yucca filamentosa	12"	800	NOV
10	Yucca filamentosa	Yucca filamentosa	12"	800	NOV
11	Yucca filamentosa	Yucca filamentosa	12"	800	NOV
12	Yucca filamentosa	Yucca filamentosa	12"	800	NOV
13	Yucca filamentosa	Yucca filamentosa	12"	800	NOV
14	Yucca filamentosa	Yucca filamentosa	12"	800	NOV
15	Yucca filamentosa	Yucca filamentosa	12"	800	NOV
16	Yucca filamentosa	Yucca filamentosa	12"	800	NOV
17	Yucca filamentosa	Yucca filamentosa	12"	800	NOV
18	Yucca filamentosa	Yucca filamentosa	12"	800	NOV
19	Yucca filamentosa	Yucca filamentosa	12"	800	NOV
20	Yucca filamentosa	Yucca filamentosa	12"	800	NOV
21	Yucca filamentosa	Yucca filamentosa	12"	800	NOV
22	Yucca filamentosa	Yucca filamentosa	12"	800	NOV
23	Yucca filamentosa	Yucca filamentosa	12"	800	NOV

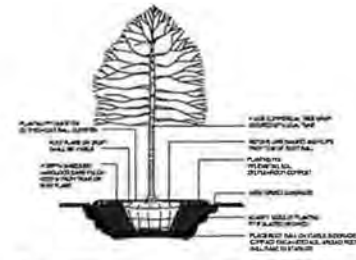
NOTES:

- The Landscape Contractor shall provide and install all plant materials in the quantities and sizes sufficient to complete planting as shown on the Landscape Plans. All plants shall comply with the requirements of the current American Standard for Nursery Stock published by The American Nursery and Landscape Association. Plants shall meet the general appearance and quality and be in good healthy free of insects, diseases or other "No term" plant materials that are accepted. Trees not exhibiting a canopy or weight bearing will be rejected unless noted on the plan. All materials shall be delivered to the site in a timely manner. The Landscape Contractor shall verify all quantities and sizes of a contractor's, the owner's, and/or the architect's plant materials. No plants will be accepted if they do not meet the requirements of the American Standard for Nursery Stock.
- All plants shall be installed during the first planting season. A meeting shall be held to agree on the site with the Owner before planting and a schedule of when and how the plants shall be installed shall be prepared. The Landscape Contractor shall verify all quantities and sizes of a contractor's, the owner's, and/or the architect's plant materials. The Landscape Contractor shall verify all quantities and sizes of a contractor's, the owner's, and/or the architect's plant materials. The Landscape Contractor shall verify all quantities and sizes of a contractor's, the owner's, and/or the architect's plant materials.
- Plants shall be installed and installed within otherwise noted on the Landscape Plans. No-plant materials shall be accepted and all shipping materials shall be removed or garbage shall be removed at the time of planting. It is the responsibility of the Landscape Contractor to keep the planting area free of all debris.
- Replacement plants shall be installed within 30 days of the original planting date. The Landscape Contractor shall verify all quantities and sizes of a contractor's, the owner's, and/or the architect's plant materials. The Landscape Contractor shall verify all quantities and sizes of a contractor's, the owner's, and/or the architect's plant materials.
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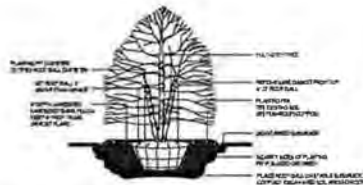
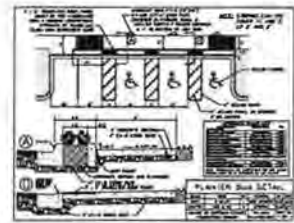




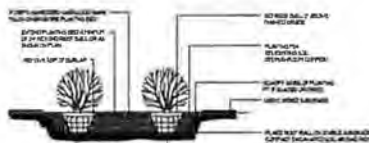
0206
DECIDUOUS TREE PLANTING IN PARKING LOT ISLAND



0207
DECIDUOUS TREE PLANTING



0208
DECIDUOUS ORNAMENTAL TREE PLANTING



0209
SHRUB PLANTING



0210
PERENNIAL PLANTING

Hoffman Estates BP Landscape Palette



Acer rubrum
"Redpointe Maple"



Celtis occidentalis
"Chicagoland Hackberry"



Quercus robur
"Regal Prince English Oak"

Hoffman Estates BP Landscape Palette



Malus sargentii
"Sargent Crabapple"



Thuja occidentalis
"Techny Arborvitae"



Aronia melanocarpa
"Low Mound Scape Chokeberry"



Allium Allium
"Summer Beauty"

Hoffman Estates BP Landscape Palette



Baptisia australis
"Blue False Indigo"



Calamagrostis acutiflora
"Karl Foerster Reed Grass"



Sporobolus heterolepis
"Prairie Dropseed"

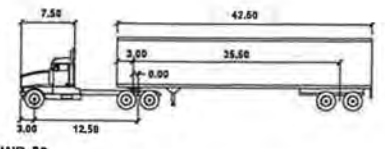
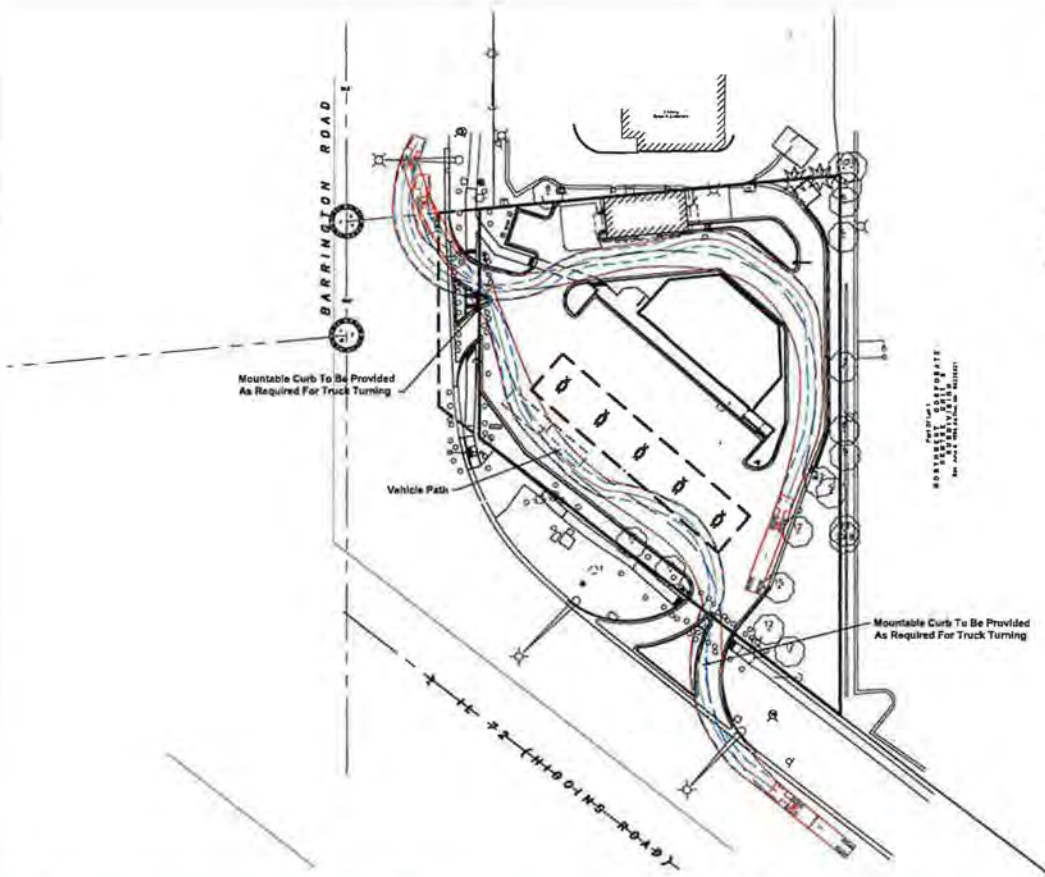


Stachys monieri 'Hummelo
"Hummelo Betony"



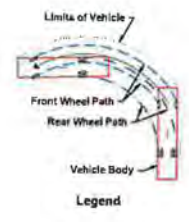
Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
CalcFile 1	illumRatio	FC	8.23	81.3	0.0	n.a.

Luminaire Schedule						
SYNO	Qty	Label	Arrangement	Total Lamp Lumens	LF	Description
1	18	RECURSIVE/150W	SINGLE	7000	1.000	RECURSIVE/150W
2	5	WALL/150W/1500000-150W-150	SINGLE	7500	1.000	WALL/150W/1500000-150W-150
3	8	GR-20K42-20	SINGLE	3622.24	1.000	



WB-50

	feet		
Tractor Width	: 7.50	Lock to Lock Time	: 5.0
Trailer Width	: 3.00	Steering Angle	: 17.7
Tractor Track	: 3.00	Articulating Angle	: 70.0
Trailer Track	: 9.00		

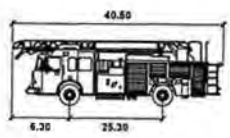
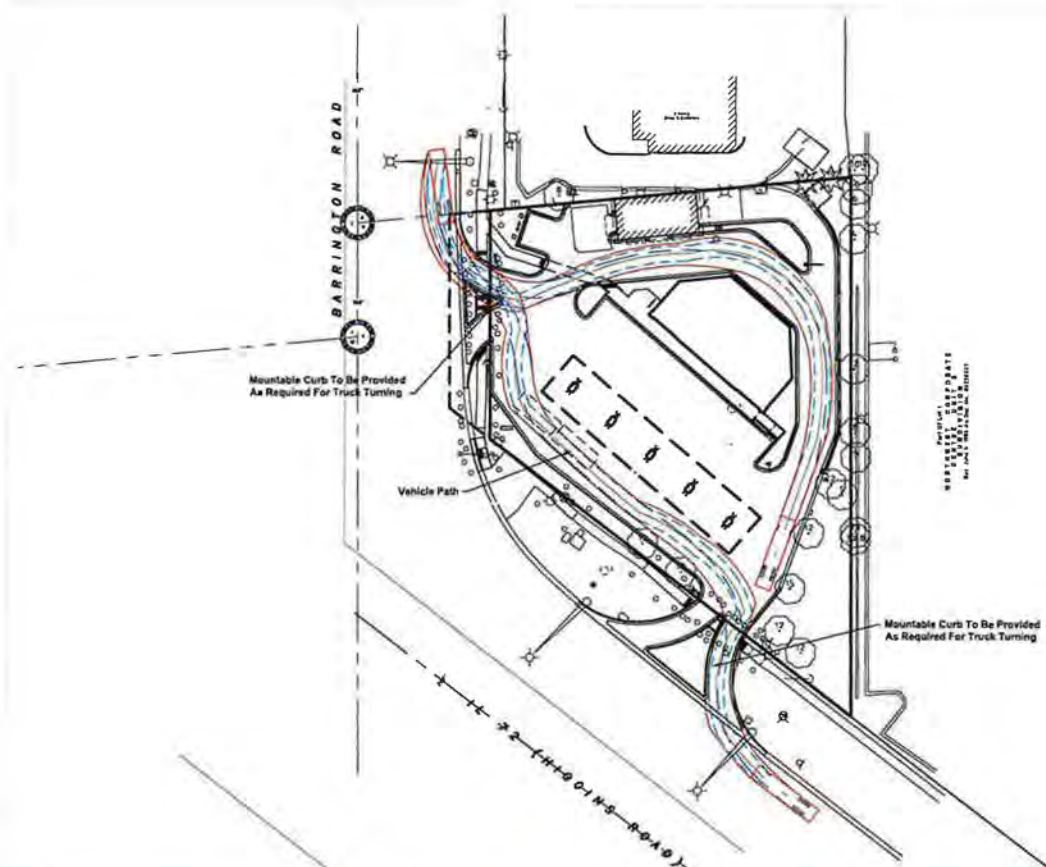


No.	Date	Revision

TRUCK TURNING EXHIBIT
BP GAS STATION AND CONVENIENCE STORE
 HORNWAT ESTATES, COOK COUNTY, ILLINOIS

HAEGER ENGINEERING
 4400 W. 111th Street, Skokie, IL 60077 Tel: 847.294.0200 Fax: 847.294.0201
 Email: info@haegereng.com www.haegereng.com

Project Manager: M.L.A.
 Engineer: M.L.A.
 Date: 04.29.2021
 Project No.: 20-053
 Sheet: 1 / 4
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FIRE TRUCK

	feet
Width	: 6.50
Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 41.8



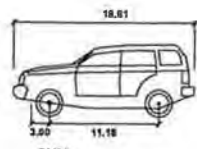
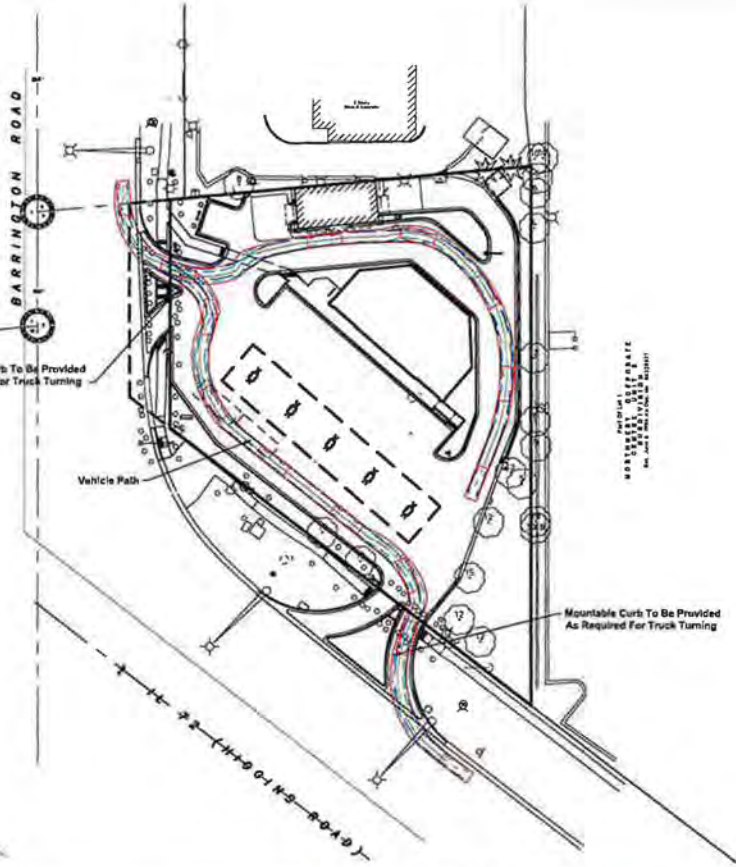
No.	Title	Revised

FIRE TRUCK TURNING EXHIBIT
BP GAS STATION AND CONVENIENCE STORE
 HORNMAN ESTATES, COOK COUNTY, ILLINOIS

HAEGER ENGINEERING
 consulting engineers • land surveyors
 120 East Lake Parkway, Schaumburg, IL 60197 Tel: 630.294.8888 Fax: 630.294.8888
 Email: hae@haeger.com Website: www.haeger.com

Project Manager	M.L.A.
Engineer	M.L.A.
Date	04/29/2009
Project No.	20-253
Sheet	3 / 4

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SUV

	feet
Width	: 6.75
Track	: 6.71
Lock to Lock Time	: 3.0
Steering Angle	: 40.0

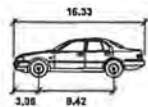
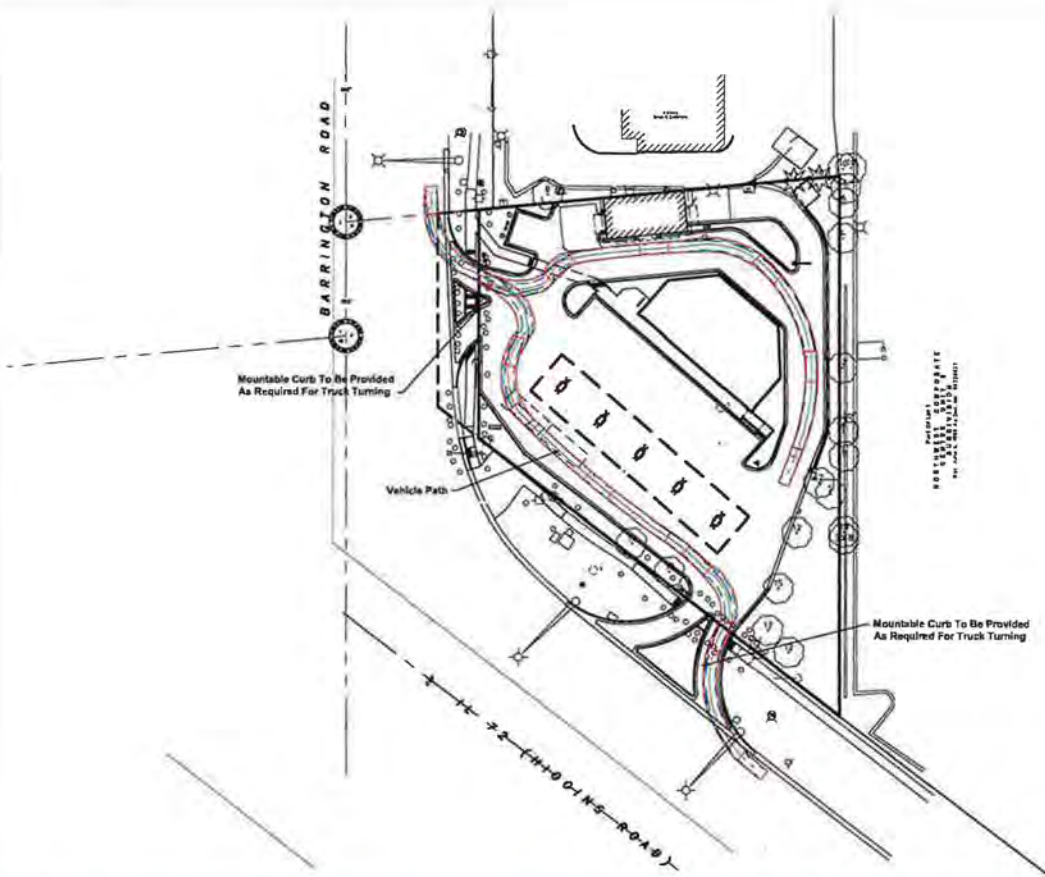


No.	Date	Revision

SUV TURNING EXHIBIT
BP GAS STATION AND
CONVENIENCE STORE
 HOFFMAN ESTATES, COOK COUNTY, ILLINOIS

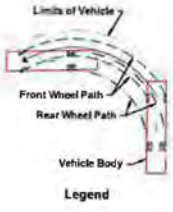
HAEGER ENGINEERING
 CHICAGO, ILLINOIS
 100 East Dow Jones, Chicago, IL 60601 Tel: 847.261.0000 Fax: 847.261.0000
 Email: info@haeger-engineering.com

Project Manager: M.L.A.
 Engineer: M.L.A.
 Date: 04.29.2021
 Project No.: 20-053
 Sheet: 3 / 4
 © 2021 Haeger Engineering, LLC



4 door sedan

	feet
Width	: 5.00
Track	: 6.00
Lock to Lock Time	: 3.0
Steering Angle	: 31.5



SEDAN TURNING EXHIBIT
BP GAS STATION AND
CONVENIENCE STORE
 HOFFMAN ESTATES, COOK COUNTY, ILLINOIS

HAEGER ENGINEERING
 CONSULTING ENGINEERS • 3400 W. 141ST STREET • CHICAGO, ILLINOIS 60641
 (773) 225-1000 • FAX (773) 225-1001 • WWW.HAEGERENGINEERING.COM

Project Manager: M.L.A.
 Engineer: M.L.A.
 Date: 04.29.2021
 Project No.: 20-053
 Sheet: 4 / 4
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BP GAS STATION AND CONVENIENCE STORE 2598 W. HIGGINS ROAD SITE IMPROVEMENT PLANS

SECTION 7 TOWNSHIP 41 NORTH RANGE 10 EAST HOFFMAN ESTATES, ILLINOIS COOK COUNTY



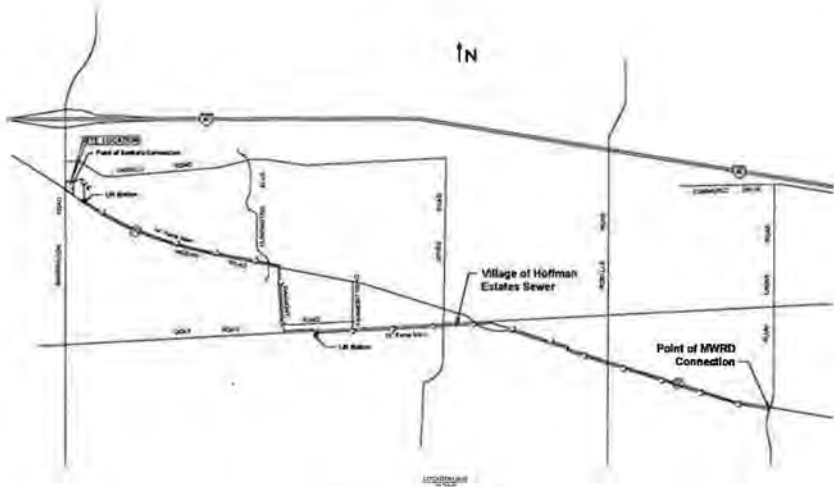
DATE: 11-11-2011

OWNER:
Deshaeger Engineering, LLC
2598 W. Higgins Road
Hoffman Estates, IL 60142
Tel: 815.463.1234

DESIGNED BY:
Deshaeger Engineering, LLC
2598 W. Higgins Road
Hoffman Estates, IL 60142
Tel: 815.463.1234
www.deshaegereng.com

VILLAGE OF HOFFMAN ESTATES:
1000 Central Road
Hoffman Estates, IL 60142
Tel: 815.463.1234

No.	Description
CP 811 (See Survey)	Construction, 811 in (Survey)
CP 812 (See Survey)	Construction, 812 in (Survey)
CP 813 (See Survey)	Construction, 813 in (Survey)
CP 814 (See Survey)	Construction, 814 in (Survey)
CP 815 (See Survey)	Construction, 815 in (Survey)
CP 816 (See Survey)	Construction, 816 in (Survey)
CP 817 (See Survey)	Construction, 817 in (Survey)
CP 818 (See Survey)	Construction, 818 in (Survey)
CP 819 (See Survey)	Construction, 819 in (Survey)
CP 820 (See Survey)	Construction, 820 in (Survey)
CP 821 (See Survey)	Construction, 821 in (Survey)
CP 822 (See Survey)	Construction, 822 in (Survey)
CP 823 (See Survey)	Construction, 823 in (Survey)
CP 824 (See Survey)	Construction, 824 in (Survey)
CP 825 (See Survey)	Construction, 825 in (Survey)
CP 826 (See Survey)	Construction, 826 in (Survey)
CP 827 (See Survey)	Construction, 827 in (Survey)
CP 828 (See Survey)	Construction, 828 in (Survey)
CP 829 (See Survey)	Construction, 829 in (Survey)
CP 830 (See Survey)	Construction, 830 in (Survey)
CP 831 (See Survey)	Construction, 831 in (Survey)
CP 832 (See Survey)	Construction, 832 in (Survey)
CP 833 (See Survey)	Construction, 833 in (Survey)
CP 834 (See Survey)	Construction, 834 in (Survey)
CP 835 (See Survey)	Construction, 835 in (Survey)
CP 836 (See Survey)	Construction, 836 in (Survey)
CP 837 (See Survey)	Construction, 837 in (Survey)
CP 838 (See Survey)	Construction, 838 in (Survey)
CP 839 (See Survey)	Construction, 839 in (Survey)
CP 840 (See Survey)	Construction, 840 in (Survey)
CP 841 (See Survey)	Construction, 841 in (Survey)
CP 842 (See Survey)	Construction, 842 in (Survey)
CP 843 (See Survey)	Construction, 843 in (Survey)
CP 844 (See Survey)	Construction, 844 in (Survey)
CP 845 (See Survey)	Construction, 845 in (Survey)
CP 846 (See Survey)	Construction, 846 in (Survey)
CP 847 (See Survey)	Construction, 847 in (Survey)
CP 848 (See Survey)	Construction, 848 in (Survey)
CP 849 (See Survey)	Construction, 849 in (Survey)
CP 850 (See Survey)	Construction, 850 in (Survey)



Abbreviation	Description	Abbreviation	Description
AS	Asphalt Surface	AS	Asphalt Surface
CS	Concrete Surface	CS	Concrete Surface
GS	Grass	GS	Grass
LS	Light Pavement	LS	Light Pavement
MS	Medium Pavement	MS	Medium Pavement
PS	Heavy Pavement	PS	Heavy Pavement
RS	Reinforced Concrete	RS	Reinforced Concrete
SS	Structural Steel	SS	Structural Steel
TS	Timber	TS	Timber
US	Unimproved	US	Unimproved
VS	Vertical Curve	VS	Vertical Curve
WS	Water Surface	WS	Water Surface
XS	Existing Sewer	XS	Existing Sewer
YS	Proposed Sewer	YS	Proposed Sewer
ZS	Proposed Storm Sewer	ZS	Proposed Storm Sewer
AS	Asphalt	AS	Asphalt
CS	Concrete	CS	Concrete
GS	Grass	GS	Grass
LS	Light Pavement	LS	Light Pavement
MS	Medium Pavement	MS	Medium Pavement
PS	Heavy Pavement	PS	Heavy Pavement
RS	Reinforced Concrete	RS	Reinforced Concrete
SS	Structural Steel	SS	Structural Steel
TS	Timber	TS	Timber
US	Unimproved	US	Unimproved
VS	Vertical Curve	VS	Vertical Curve
WS	Water Surface	WS	Water Surface
XS	Existing Sewer	XS	Existing Sewer
YS	Proposed Sewer	YS	Proposed Sewer
ZS	Proposed Storm Sewer	ZS	Proposed Storm Sewer
AS	Asphalt	AS	Asphalt
CS	Concrete	CS	Concrete
GS	Grass	GS	Grass
LS	Light Pavement	LS	Light Pavement
MS	Medium Pavement	MS	Medium Pavement
PS	Heavy Pavement	PS	Heavy Pavement
RS	Reinforced Concrete	RS	Reinforced Concrete
SS	Structural Steel	SS	Structural Steel
TS	Timber	TS	Timber
US	Unimproved	US	Unimproved
VS	Vertical Curve	VS	Vertical Curve
WS	Water Surface	WS	Water Surface
XS	Existing Sewer	XS	Existing Sewer
YS	Proposed Sewer	YS	Proposed Sewer
ZS	Proposed Storm Sewer	ZS	Proposed Storm Sewer



DES HAEGER ENGINEERING
2598 W. HIGGINS ROAD
HOFFMAN ESTATES, IL 60142
TEL: 815.463.1234

TITLE SHEET
BP GAS STATION
2598 W. HIGGINS ROAD
HOFFMAN ESTATES, IL

Project Number: 11-11-2011
Scale: AS SHOWN
Date: 11-11-2011

SECTION 01000

1.01 SUMMARY
A. Section Includes
1. General
2. Foundation
3. Footing
4. Wall
5. Slab
6. Column
7. Beam
8. Deck
9. Staircase
10. Floor
11. Ceiling
12. Partition
13. Door
14. Window
15. Staircase
16. Floor
17. Ceiling
18. Partition
19. Door
20. Window

1.02 REFERENCES
A. Specifications for Structural Steel Buildings, Allowable Stress Design and Plastic Design, 13th Edition, American Institute of Steel Construction, Inc., 1989
B. Specifications for Structural Steel Buildings, Plastic Design, 13th Edition, American Institute of Steel Construction, Inc., 1989
C. Specifications for Structural Steel Buildings, Allowable Stress Design and Plastic Design, 13th Edition, American Institute of Steel Construction, Inc., 1989
D. Specifications for Structural Steel Buildings, Plastic Design, 13th Edition, American Institute of Steel Construction, Inc., 1989

1.03 RELATED SECTIONS
A. Foundation
B. Formwork
C. Reinforcing Steel
D. Concrete
E. Steel Decking
F. Staircase
G. Floor
H. Ceiling
I. Partition
J. Door
K. Window

1.04 QUANTITY TAKEOFF
A. Foundation
B. Formwork
C. Reinforcing Steel
D. Concrete
E. Steel Decking
F. Staircase
G. Floor
H. Ceiling
I. Partition
J. Door
K. Window

1.05 CONSTRUCTION METHODS
A. Foundation
B. Formwork
C. Reinforcing Steel
D. Concrete
E. Steel Decking
F. Staircase
G. Floor
H. Ceiling
I. Partition
J. Door
K. Window

1.06 QUALITY CONTROL
A. Foundation
B. Formwork
C. Reinforcing Steel
D. Concrete
E. Steel Decking
F. Staircase
G. Floor
H. Ceiling
I. Partition
J. Door
K. Window

1.07 MATERIALS
A. Foundation
B. Formwork
C. Reinforcing Steel
D. Concrete
E. Steel Decking
F. Staircase
G. Floor
H. Ceiling
I. Partition
J. Door
K. Window

1.08 LABOR AND EQUIPMENT
A. Foundation
B. Formwork
C. Reinforcing Steel
D. Concrete
E. Steel Decking
F. Staircase
G. Floor
H. Ceiling
I. Partition
J. Door
K. Window

1.09 NOTES
A. Foundation
B. Formwork
C. Reinforcing Steel
D. Concrete
E. Steel Decking
F. Staircase
G. Floor
H. Ceiling
I. Partition
J. Door
K. Window

1.10 SPECIAL NOTES
A. Foundation
B. Formwork
C. Reinforcing Steel
D. Concrete
E. Steel Decking
F. Staircase
G. Floor
H. Ceiling
I. Partition
J. Door
K. Window

1.11 GENERAL NOTES
A. Foundation
B. Formwork
C. Reinforcing Steel
D. Concrete
E. Steel Decking
F. Staircase
G. Floor
H. Ceiling
I. Partition
J. Door
K. Window

1.12 REFERENCES
A. Foundation
B. Formwork
C. Reinforcing Steel
D. Concrete
E. Steel Decking
F. Staircase
G. Floor
H. Ceiling
I. Partition
J. Door
K. Window

1.13 RELATED SECTIONS
A. Foundation
B. Formwork
C. Reinforcing Steel
D. Concrete
E. Steel Decking
F. Staircase
G. Floor
H. Ceiling
I. Partition
J. Door
K. Window

1.14 QUANTITY TAKEOFF
A. Foundation
B. Formwork
C. Reinforcing Steel
D. Concrete
E. Steel Decking
F. Staircase
G. Floor
H. Ceiling
I. Partition
J. Door
K. Window

1.15 CONSTRUCTION METHODS
A. Foundation
B. Formwork
C. Reinforcing Steel
D. Concrete
E. Steel Decking
F. Staircase
G. Floor
H. Ceiling
I. Partition
J. Door
K. Window

GENERAL NOTES AND SPECIFICATIONS
BY GAS STATION
2898 W. HAWTHORNE ROAD
RES HAUSER ENGINEERING
C2.0

GENERAL NOTES AND SPECIFICATIONS

1. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

2. The contractor shall maintain a clean and safe work site at all times.

3. The contractor shall be responsible for the safety of all workers and the public.

4. The contractor shall be responsible for the quality of all workmanship.

5. The contractor shall be responsible for the timely completion of the project.

6. The contractor shall be responsible for the cost of the project.

7. The contractor shall be responsible for the coordination of all subcontractors.

8. The contractor shall be responsible for the protection of all existing utilities.

9. The contractor shall be responsible for the removal and disposal of all debris.

10. The contractor shall be responsible for the final inspection and acceptance of the project.

11. The contractor shall be responsible for the maintenance of all records and documents.

12. The contractor shall be responsible for the payment of all taxes and fees.

13. The contractor shall be responsible for the insurance of all workers and equipment.

14. The contractor shall be responsible for the bonding of the project.

15. The contractor shall be responsible for the compliance with all applicable laws and regulations.

16. The contractor shall be responsible for the communication with the project owner and all stakeholders.

17. The contractor shall be responsible for the coordination of all meetings and reports.

18. The contractor shall be responsible for the timely submission of all invoices and payments.

19. The contractor shall be responsible for the protection of all confidential information.

20. The contractor shall be responsible for the overall success of the project.

GENERAL NOTES & SPECIFICATIONS

REG HAGER ENGINEERING
INCORPORATED

10000 130th Avenue, Suite 100
Bridgeton, NJ 08302

Phone: 856-681-1111
Fax: 856-681-1112
Email: info@reghager.com

2598 W. HIGGINS ROAD
BRIDGETON, NJ 08302

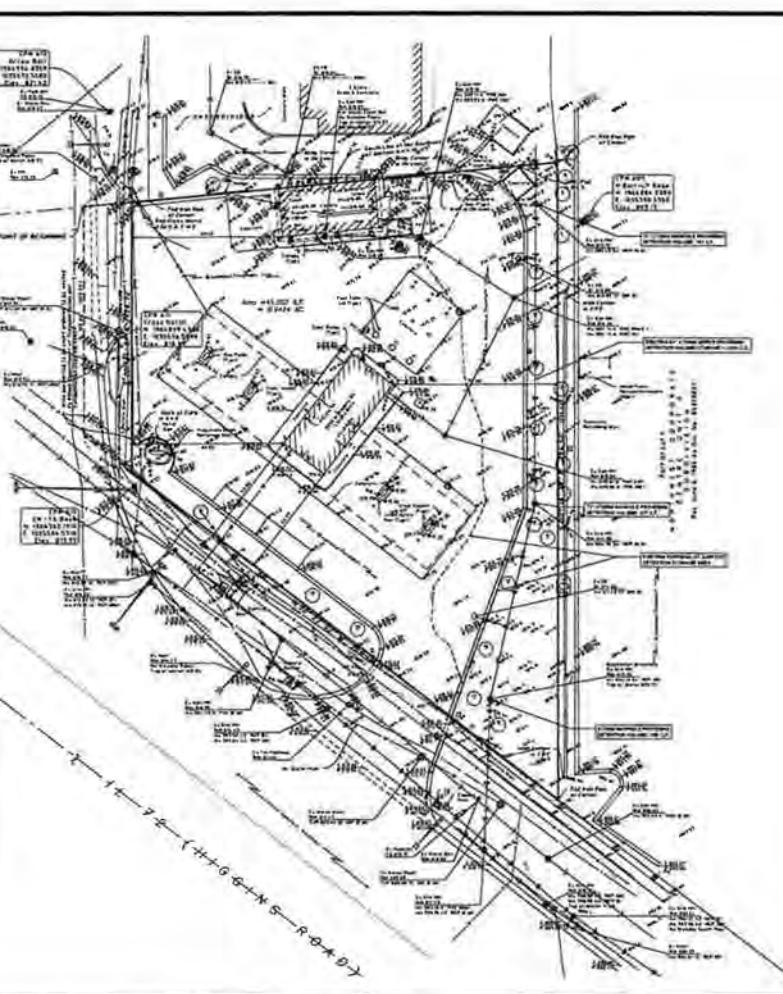
Project No. 10000
Date: 10/1/2010

Scale: As Shown

Drawn by: J. Hager

Checked by: J. Hager

Approved by: J. Hager



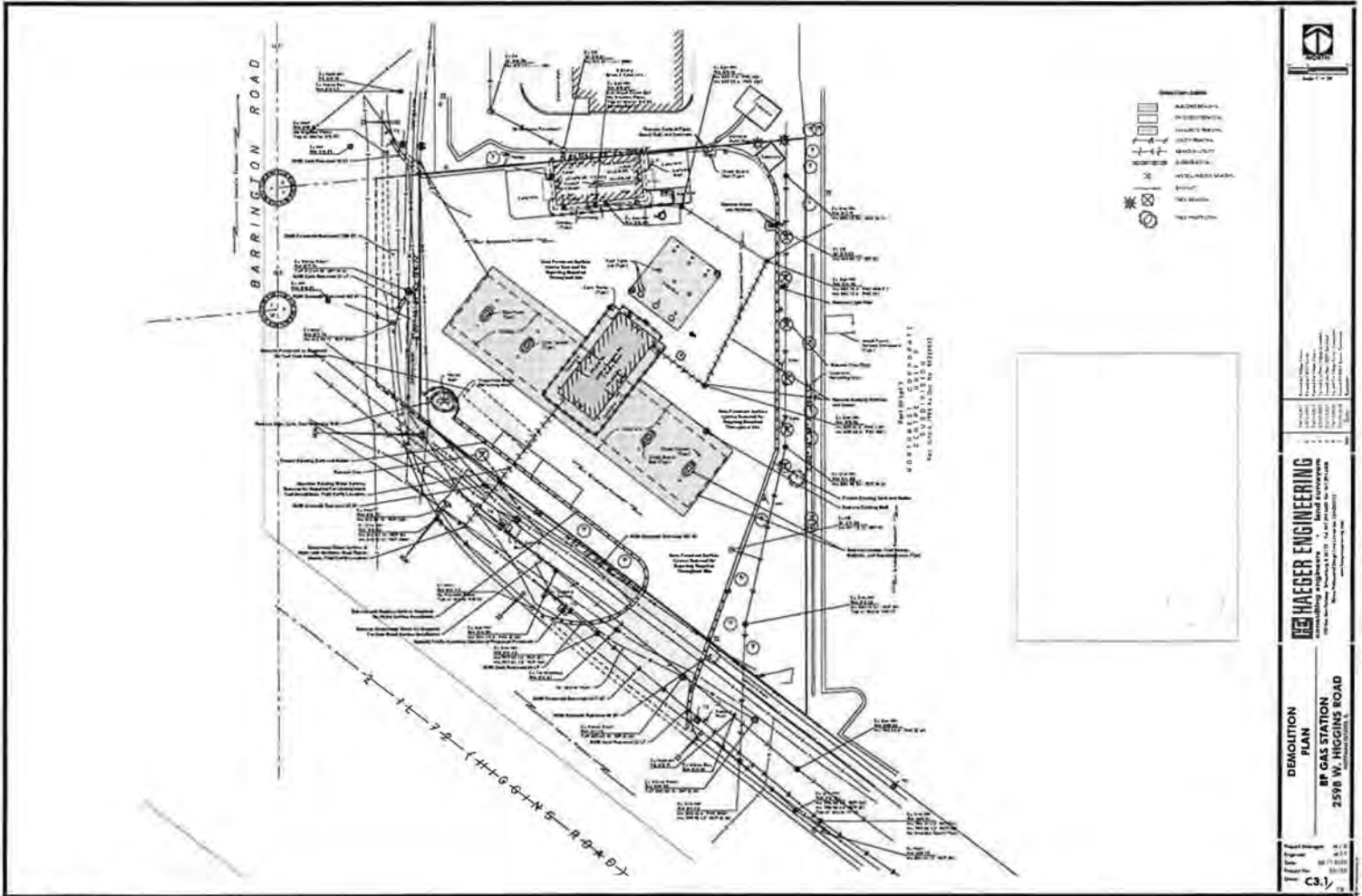
Quantity	Design	Proposed
12" Reinforced Concrete	2,281 CC	2,144 CC
6" Wall on 16" Spacing	688 CC	549 CC
Reinforced Footing	3,273 CC	360 CC
Structural Framing Steel	6,734 CC	2,993 CC
Total	13,076 CC	5,146 CC

Total Volume Proposed over Original Design: 7,930 CC (217.7 J. Area)
Actual Volume Storage Proposed:

HAEGER ENGINEERING
INCORPORATED
1800 N. 10TH AVE., SUITE 200
DENVER, CO 80202
TELEPHONE: (303) 733-1111
FAX: (303) 733-1112
WWW.HAEGERENGINEERING.COM

EXISTING CONDITIONS PLAN
BP GAS STATION
3598 W. JACOBS ROAD
DENVER, CO 80231

Project No.: 04-01
Scale: AS SHOWN
Date: 04/04/04
C.S.O.



- DEMOLITION LEGEND**
- FOUNDATION
 - EXTERIOR WALL
 - INTERIOR WALL
 - ROOF STRUCTURE
 - FLOOR STRUCTURE
 - UTILITY
 - EXISTING STRUCTURE
 - NEW STRUCTURE

DEMOLITION PLAN

BP GAS STATION
2598 W. HIGHTWAY ROAD

DE HAEGER ENGINEERING
1100 N. WASHINGTON ST. SUITE 200
MILWAUKEE, WI 53233
TEL: 414-224-1100 FAX: 414-224-1101
WWW.DEMOLITIONENGINEERING.COM

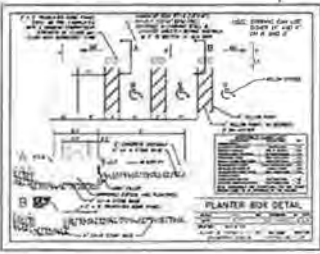
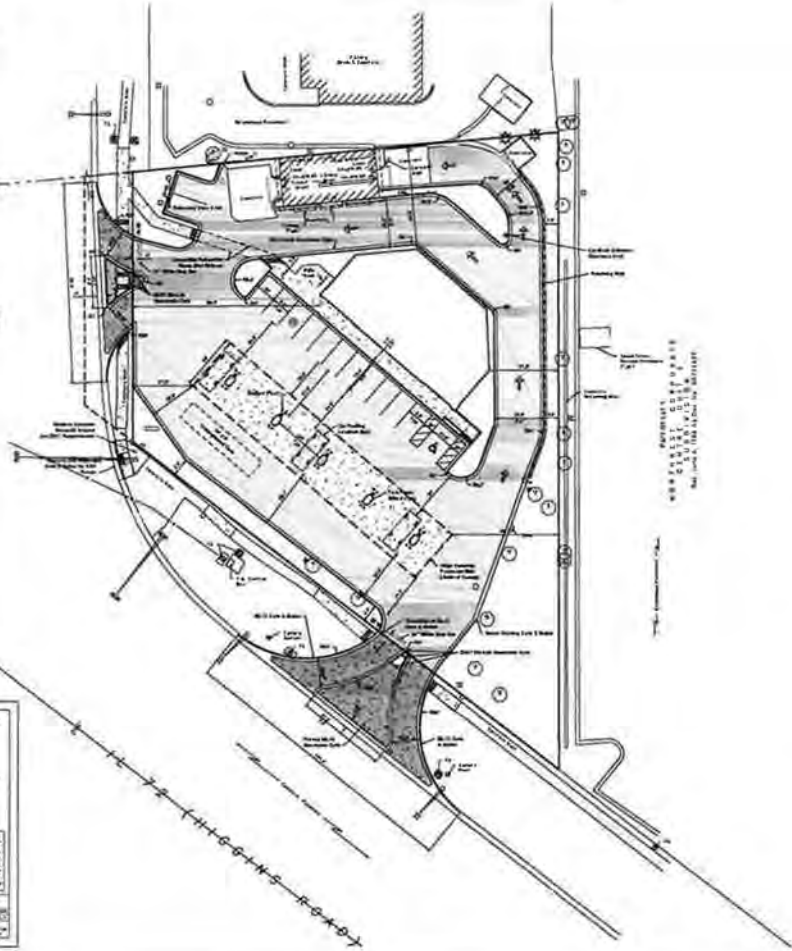
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Date: 11/11/11

Sheet: C3.1

BARRINGTON ROAD

HIGGINS ROAD

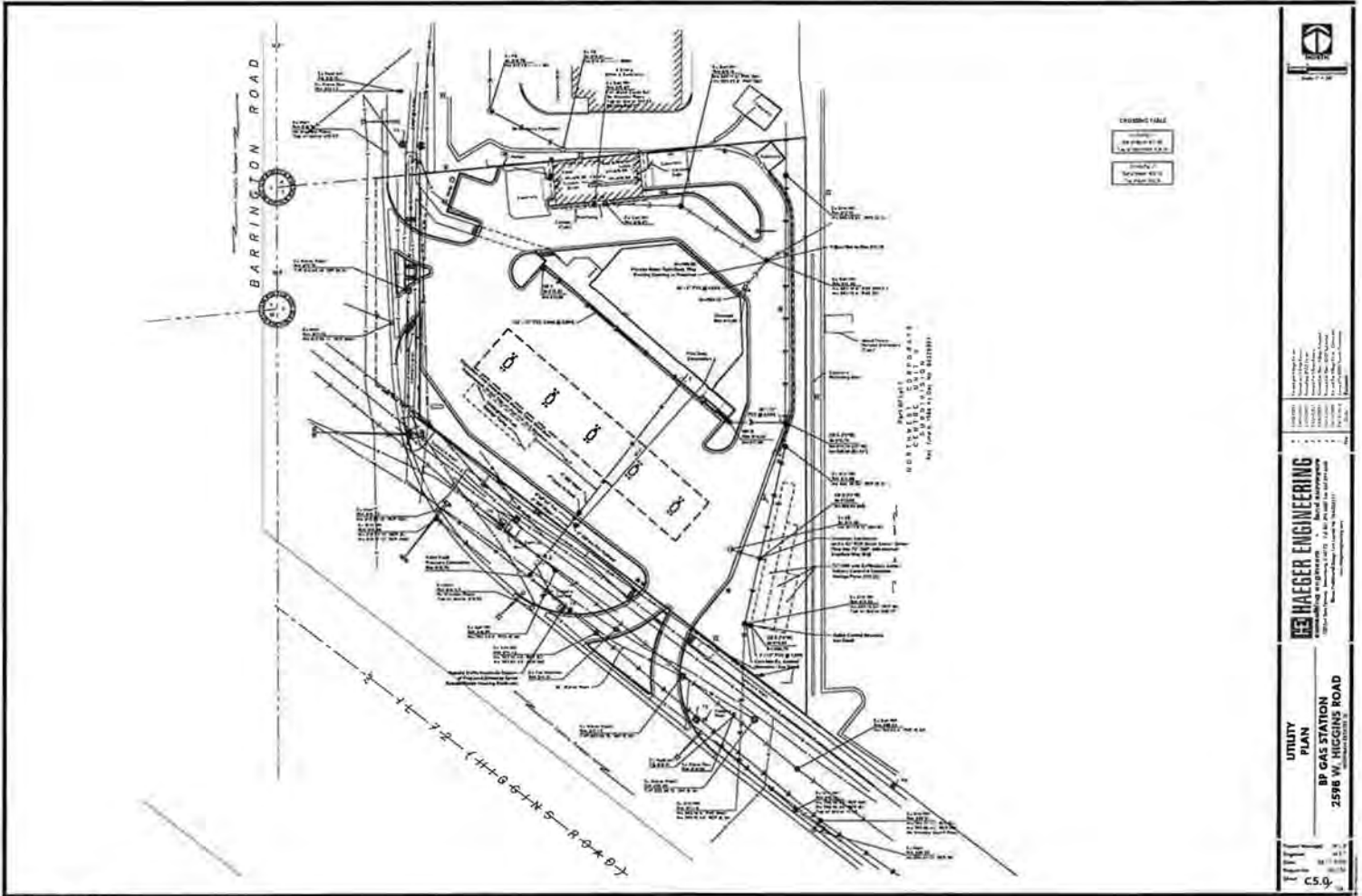


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- 2. 1/2" Concrete on 4" Reinforced Concrete Slab
- 3. 1/2" Concrete on 4" Reinforced Concrete Slab
- 4. 1/2" Concrete on 4" Reinforced Concrete Slab
- 5. 1/2" Concrete on 4" Reinforced Concrete Slab

- 1. 1/2" Concrete on 4" Reinforced Concrete Slab
- 2. 1/2" Concrete on 4" Reinforced Concrete Slab
- 3. 1/2" Concrete on 4" Reinforced Concrete Slab



ES HAEGER ENGINEERING
 GEOMETRY, PAVING, STRIPING & SIGNAGE PLAN
 BP GAS STATION
 2598 W. HIGGINS ROAD
 C4.0

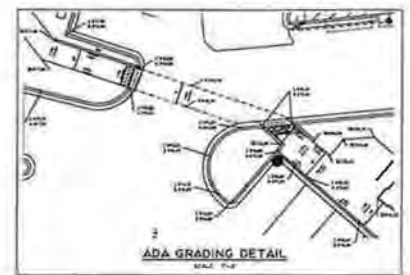
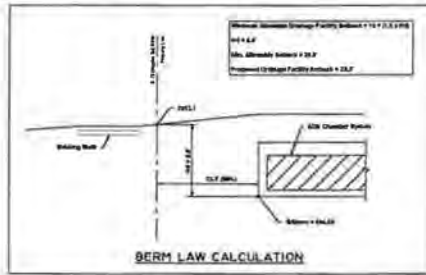
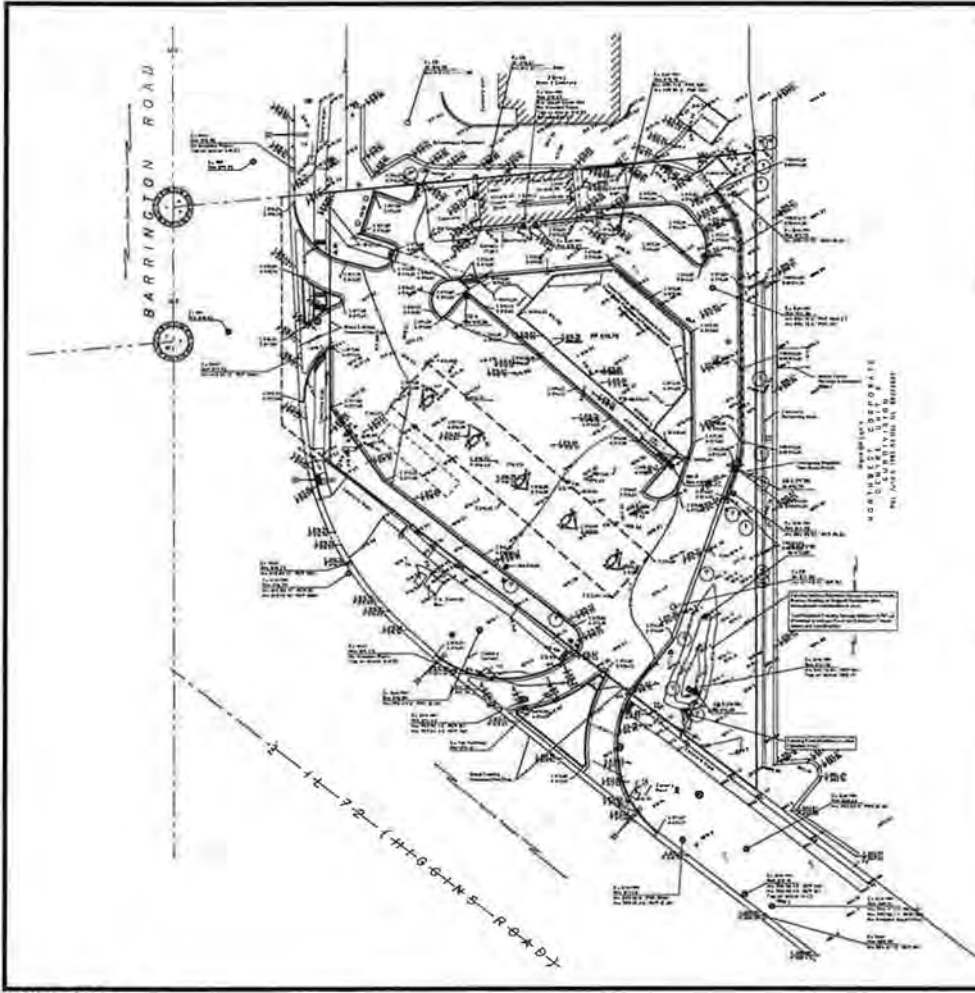


CROSSING TABLE

Utility	Location
Gas	See Note 1
Water	See Note 2
Sewer	See Note 3
Electric	See Note 4
Cable	See Note 5

HAEGER ENGINEERING
 1000 W. Higgins Road, Suite 100
 Barrington, IL 60015
 Phone: (847) 381-1111
 Fax: (847) 381-1112
 Website: www.haeger-engineering.com

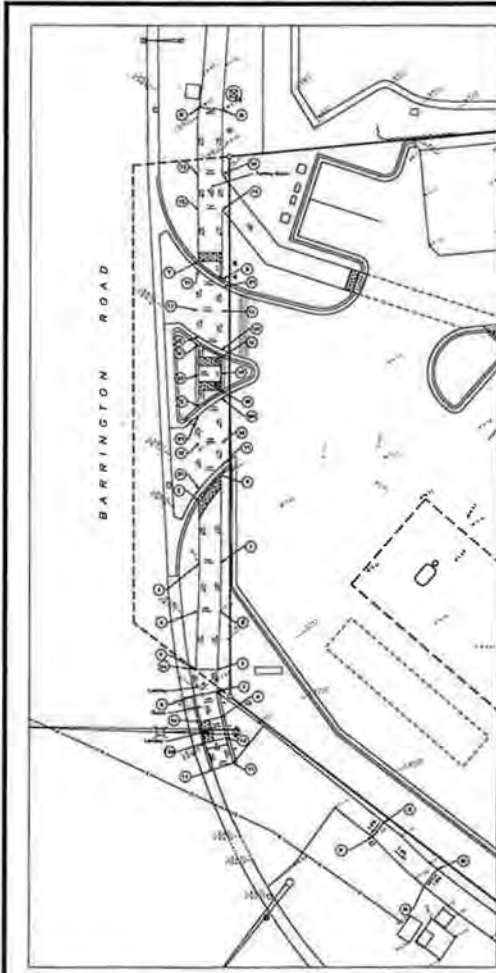
UTILITY PLAN
 BP GAS STATION
 2598 W. HIGGINS ROAD
 C5.0



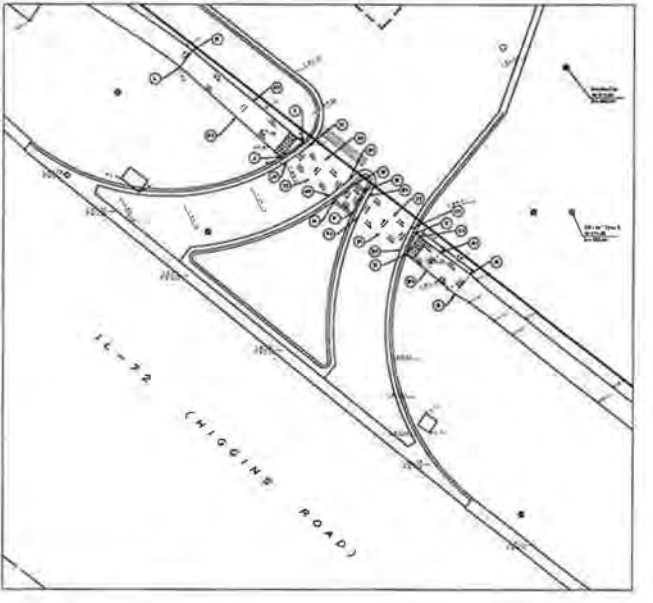
HEI HAEGER ENGINEERING
 2598 W. HIGGINS ROAD
 SUITE 100
 BOSTON, MA 02118
 TEL: 617.552.1234 FAX: 617.552.1235
 WWW.HEIHAEGER.COM

SITE GRADING & DRAINAGE PLAN
 BY GAS STATION
 2598 W. HIGGINS ROAD
 C6.0

DATE: 11/11/11



STATION	DEPTH	CLASSIFICATION
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STATION	DEPTH	CLASSIFICATION
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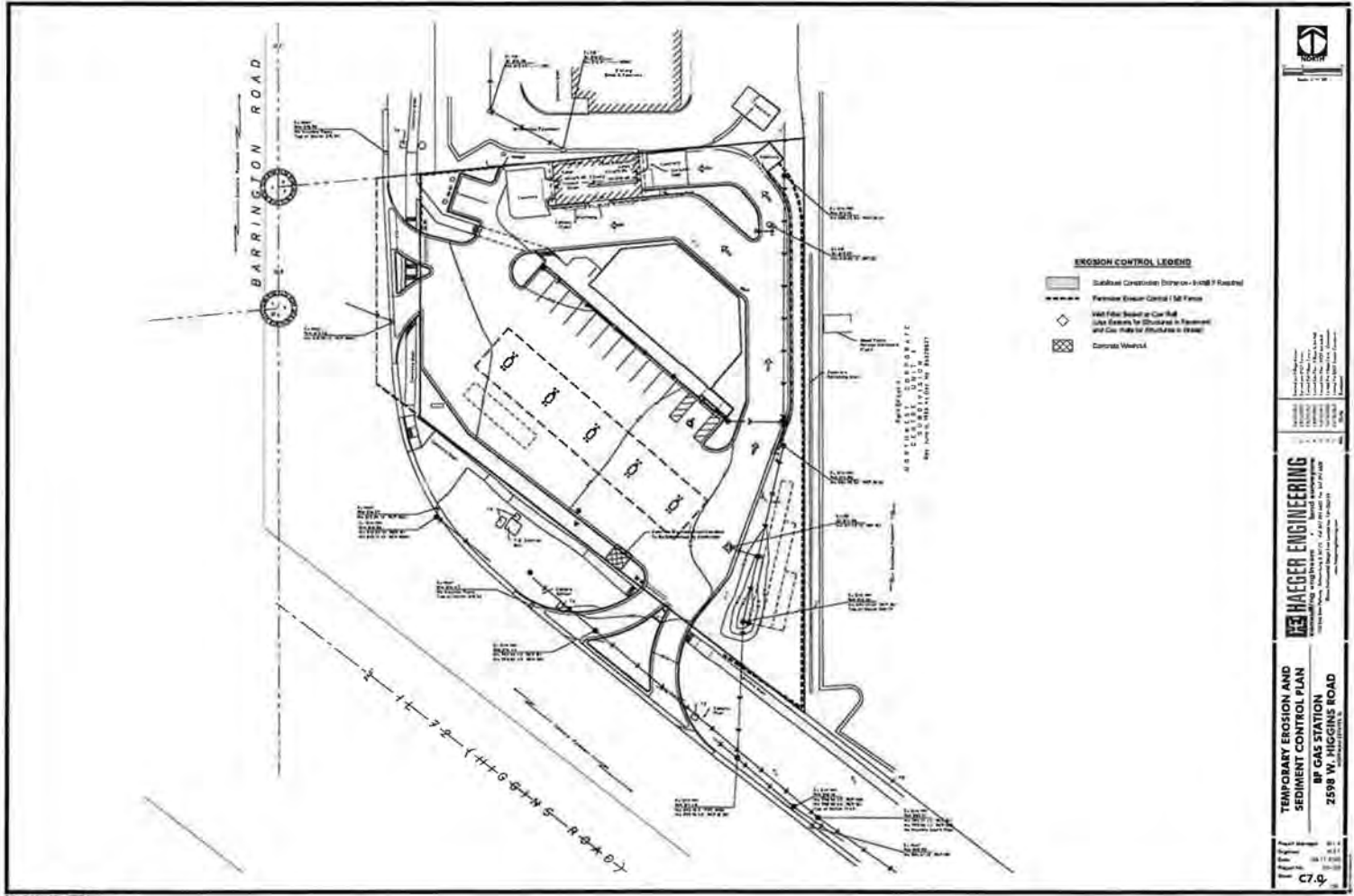
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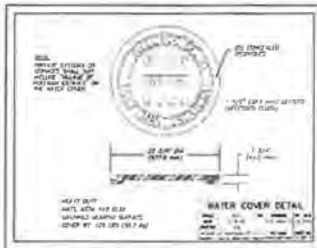
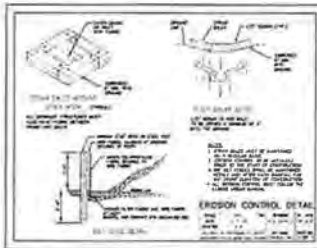
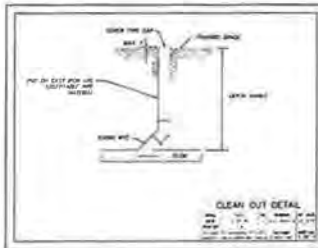
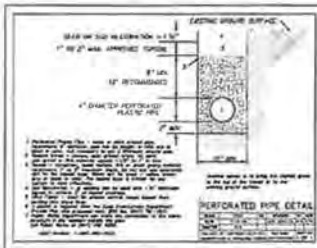
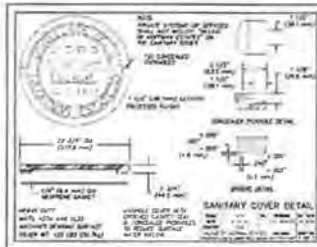
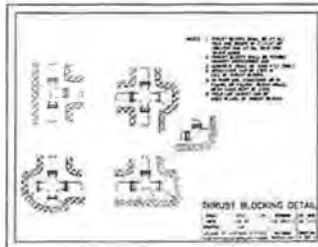
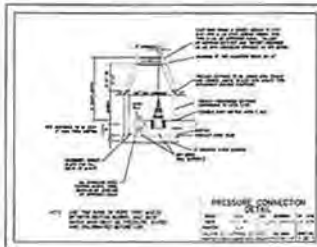
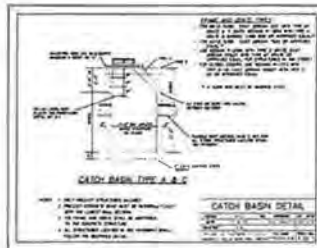
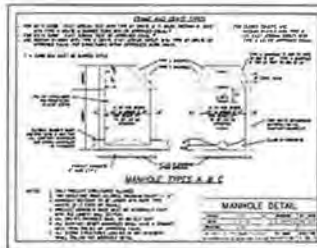
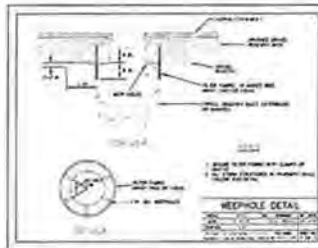
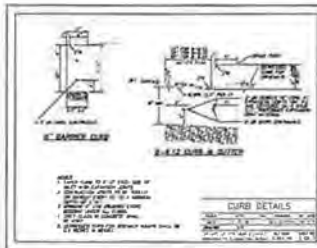
BP GAS STATION
2598 W. HIGGINS ROAD

LEE HAGER ENGINEERING
CONSULTING ENGINEERS

Project Number: H-14
Date: 11/11/2010
Scale: AS SHOWN

C6.1



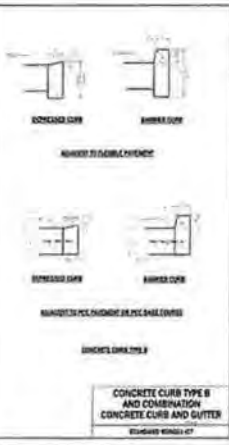
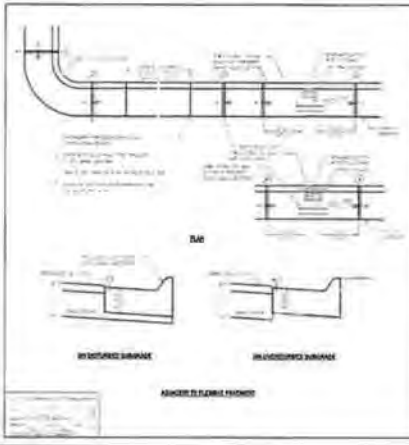
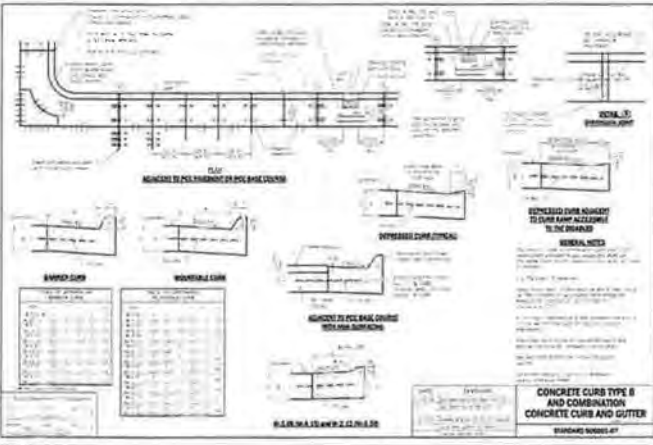
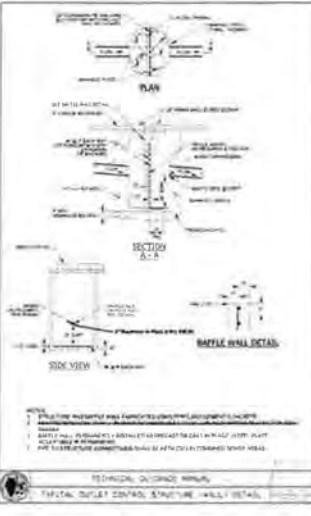
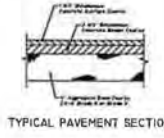
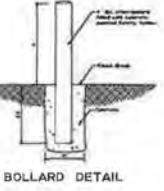
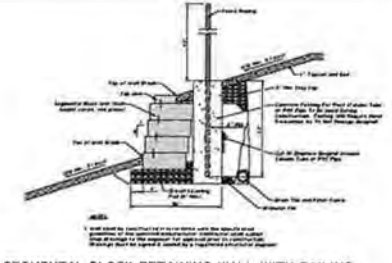
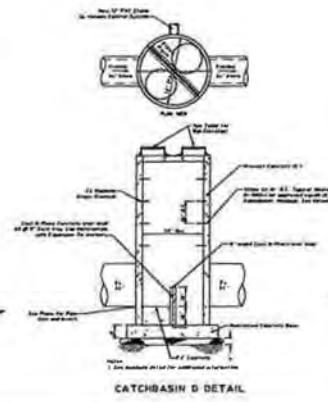
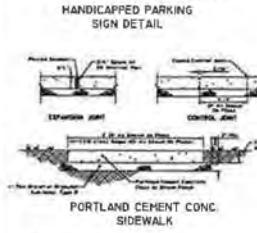
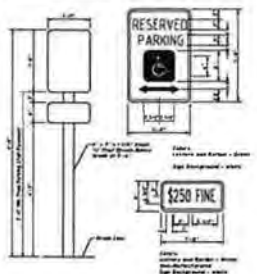


RES HAEBER ENGINEERING
 ARCHITECTURAL ENGINEERS
 2598 W. HIGGINS ROAD
 SUITE 100
 DENVER, CO 80231
 (303) 751-1100
 www.reshaeber.com

TYPICAL DETAILS

RP GAS STATION
 2598 W. HIGGINS ROAD
 DENVER, CO 80231

Project No. 11-11
 Sheet No. 11-11
 Date: 11/11/11
 Scale: 1" = 1'-0"
 Drawn By: J. J. [Name]
 Checked By: J. J. [Name]
 Title: CB.0

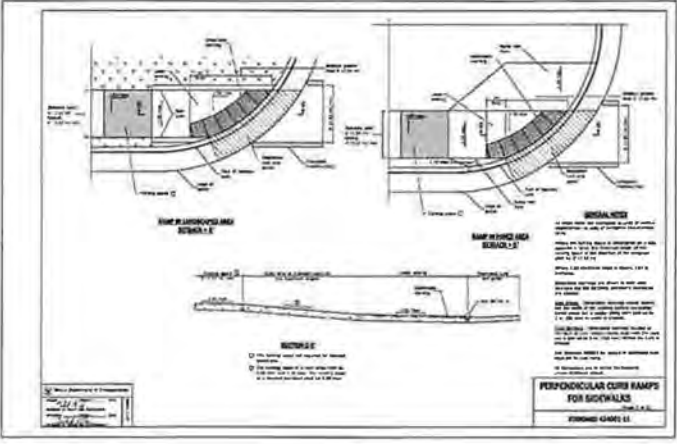
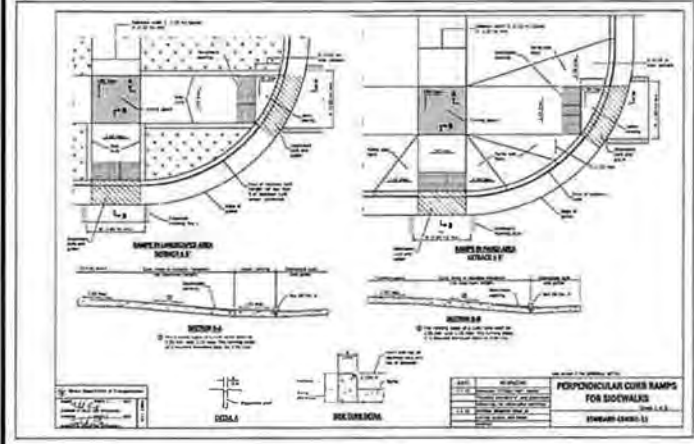
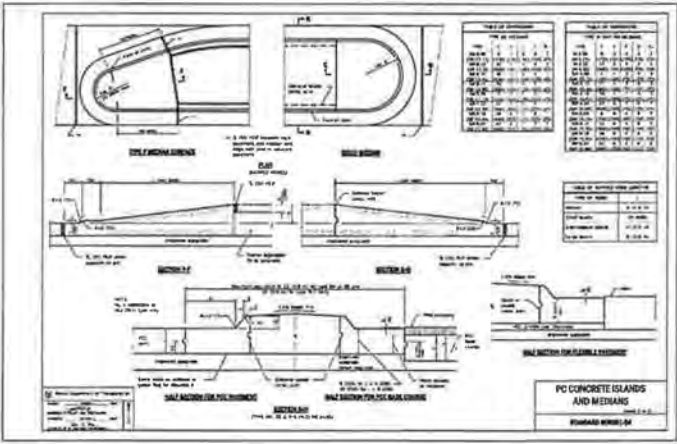
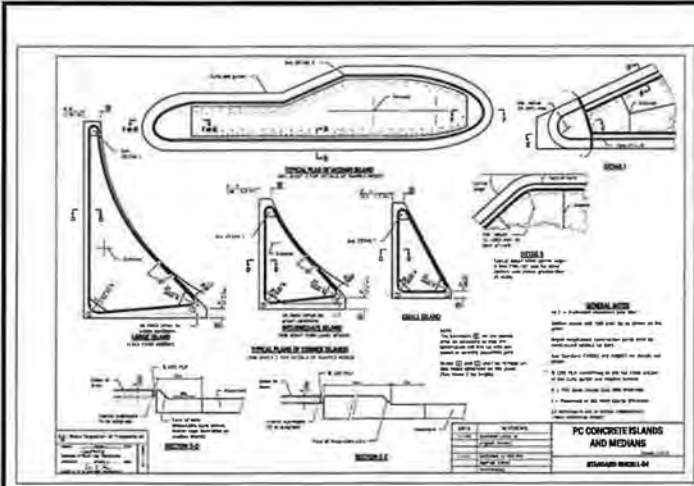


HAEGER ENGINEERING
 2598 W. HUNTER ROAD
 BOULDER, CO 80504
 TEL: 303.440.1100
 FAX: 303.440.1101
 WWW.HAEGERENGINEERING.COM

TYPICAL DETAILS
 BR GLE STATION
 2598 W. HUNTER ROAD

Project Manager: [Name]
 Engineer: [Name]
 Designer: [Name]
 Checker: [Name]

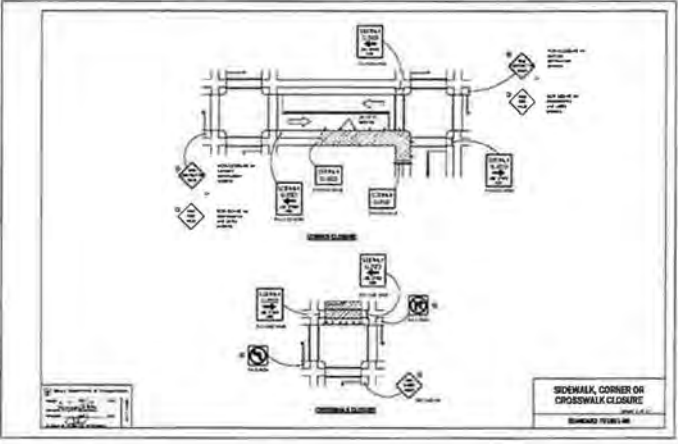
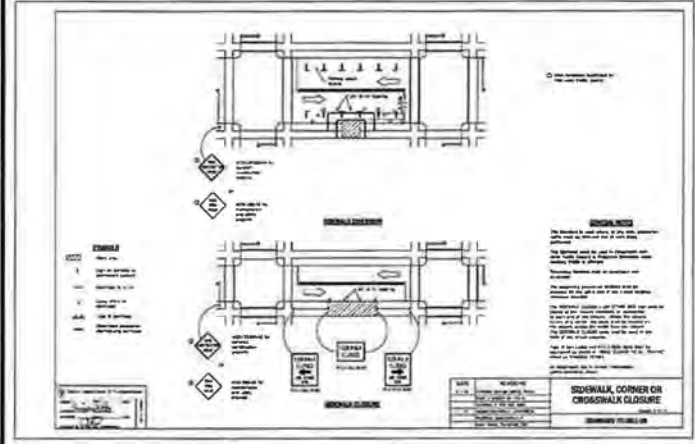
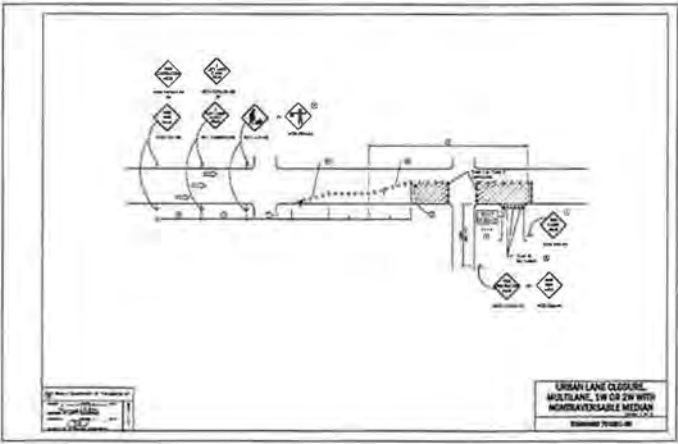
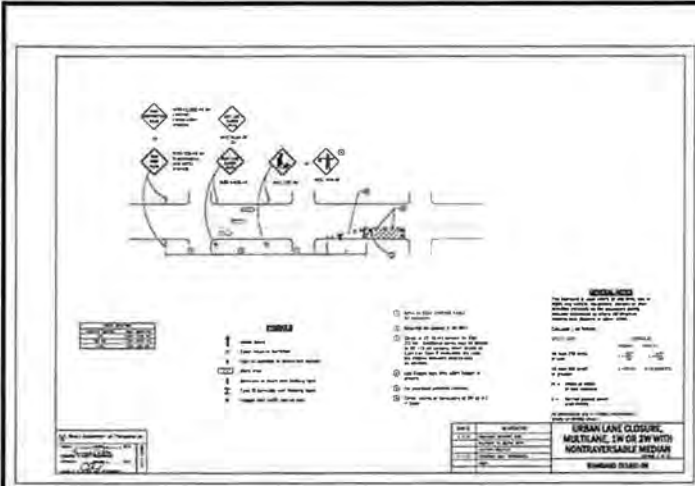
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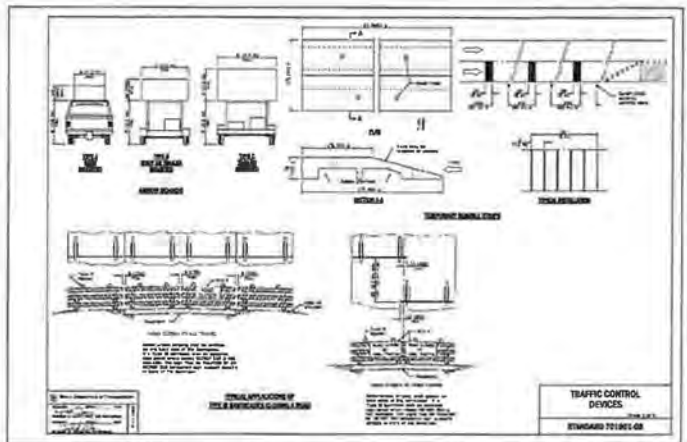
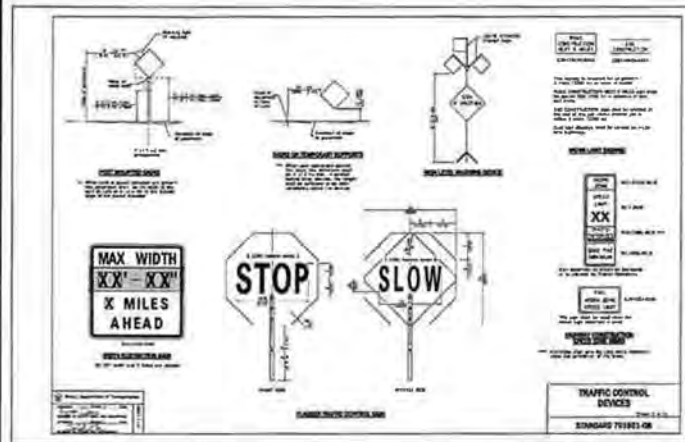
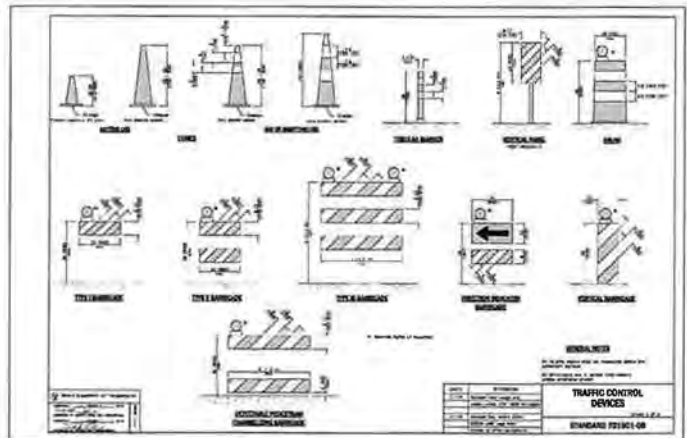
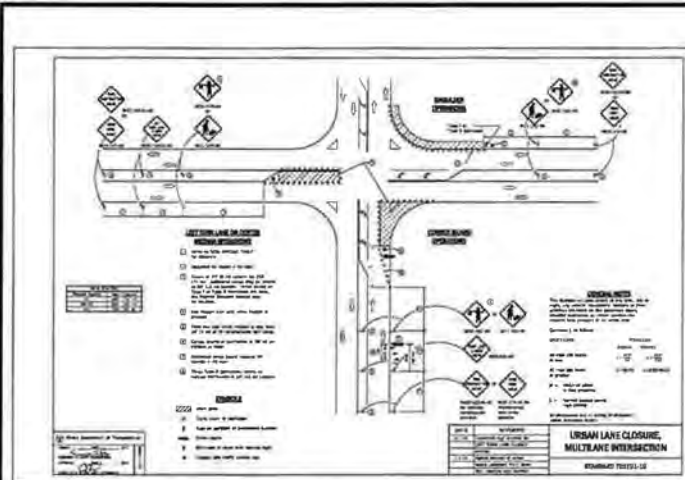
LEO HAERER ENGINEERING
 2598 W. INDEPENDENCE ROAD
 BOULDER, CO 80504
 (303) 440-1111
 FAX (303) 440-1112
 WWW.LEOHAERER.COM

BOB DETALS
 BP GAS STATION
 2598 W. INDEPENDENCE ROAD

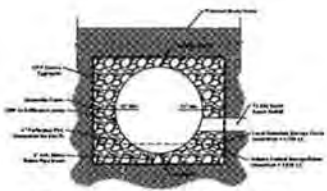
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 Designer: M. J. ...
 Checker: M. J. ...
 Date: 08/11/2015
 Scale: AS SHOWN
 Drawing No.: 14, 15
 Sheet No.: 14, 15



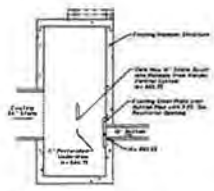
HAEDER ENGINEERING
 2598 W. HUGOBON ROAD
 BOULDER, CO 80501
 TEL: 303.440.1111
 FAX: 303.440.1112
 WWW.HAEDERENGINEERING.COM



HAGER ENGINEERING
 2598 W. MISSOURI ROAD
 MISSOURI, MISSOURI
 64401



72" CMP VOLUME CONTROL & DETENTION CROSS SECTION
NOT TO SCALE



EXISTING CONTROL STRUCTURE CONNECTION DETAIL
NOT TO SCALE

TYPICAL DETENTION DETAIL

TYPICAL BACKFILL DETAIL

48\"/>

FLUSH END CMP RISER PIPE

FLUSH END CMP RISER PIPE

1. 12\"/>

3\"/>

3\"/>

48\"/>

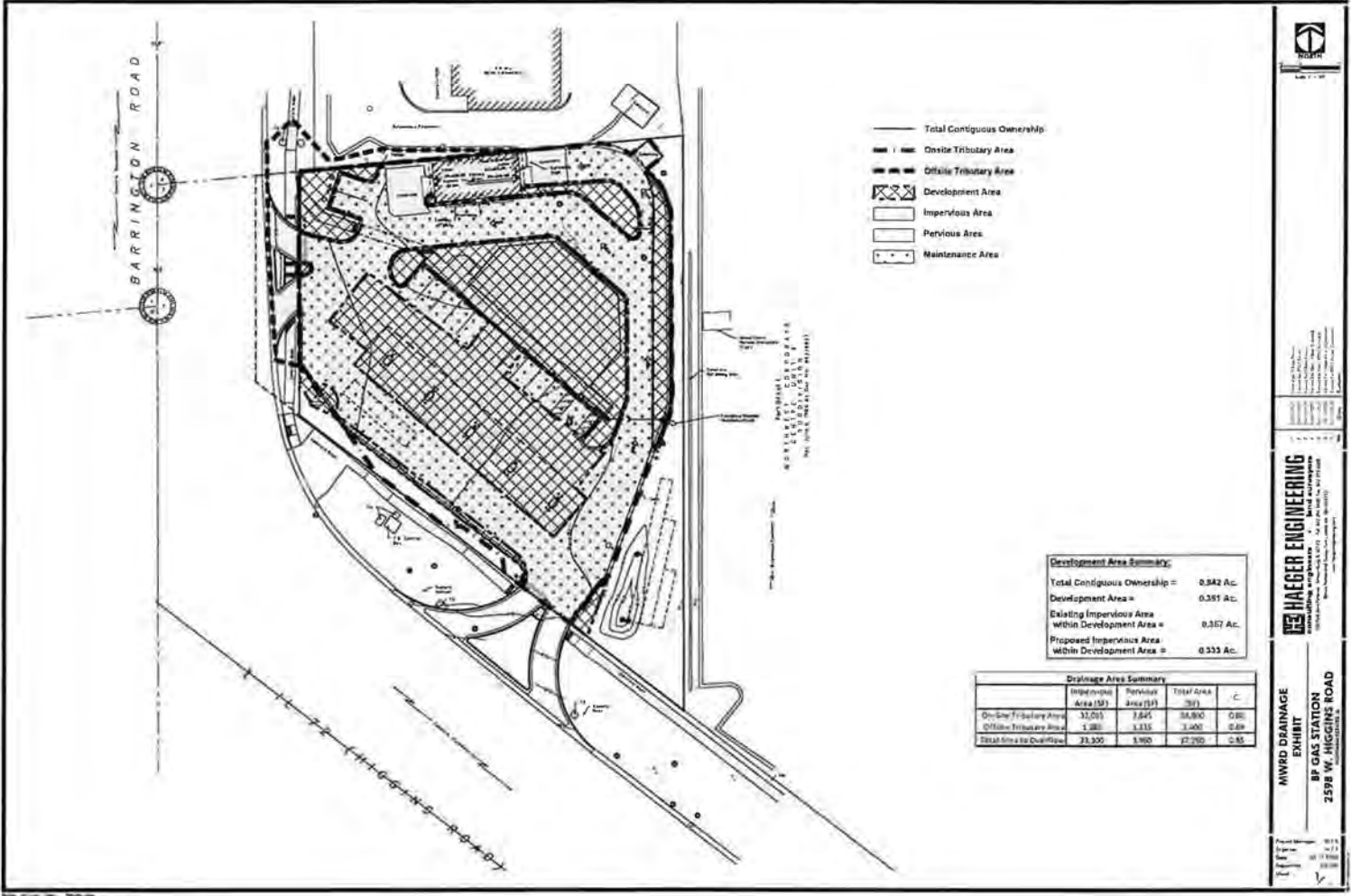
CONSTRUCTION LOADING DIAGRAM

REINFORCING TABLE

NO.	DESCRIPTION	QUANTITY	UNIT
1	12\"/>	100	LINEAL FEET
2	12\"/>	50	LINEAL FEET
3	12\"/>	20	LINEAL FEET
4	12\"/>	10	LINEAL FEET
5	12\"/>	5	LINEAL FEET
6	12\"/>	2	LINEAL FEET
7	12\"/>	1	LINEAL FEET
8	12\"/>	1	LINEAL FEET
9	12\"/>	1	LINEAL FEET
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100	12\"/>	1	LINEAL FEET

48\"/>

HAER ENGINEERING
 DETENTION - VOLUME CONTROL CONTROL SYSTEM
 BB GALE STATION
 2598 W. HICKORY ROAD
 CHICAGO, IL 60642
 (773) 344-1100
 www.haereng.com



Development Area Summary:

Total Contiguous Ownership = 0.842 Ac.
 Development Area = 0.381 Ac.
 Existing Impervious Area within Development Area = 0.367 Ac.
 Proposed Impervious Area within Development Area = 0.333 Ac.

Drainage Area Summary

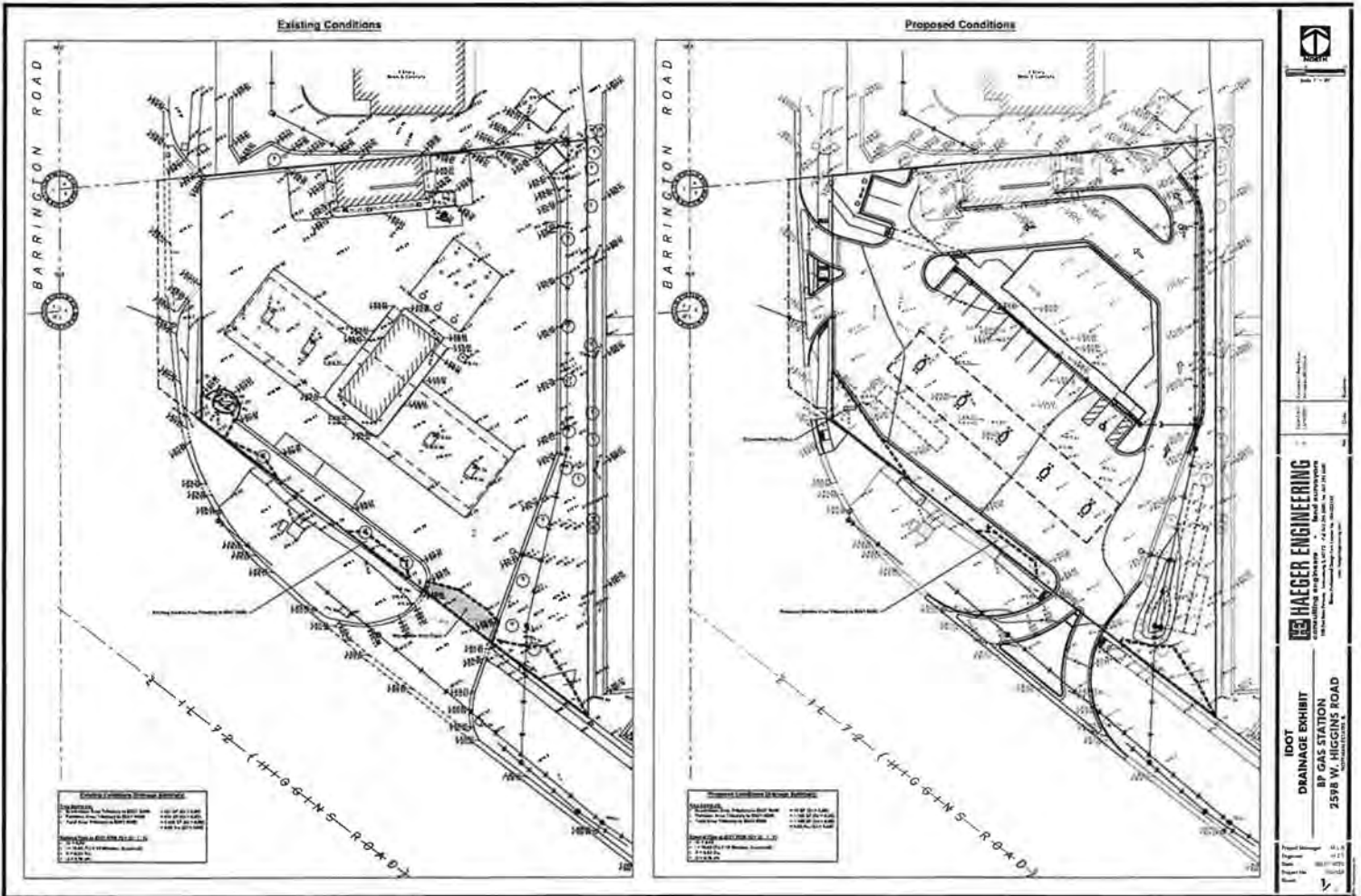
	Impervious Area (sq ft)	Pervious Area (sq ft)	Total Area (sq ft)	C
On-Site Tributary Area	33,015	3,645	36,660	0.80
Off-Site Tributary Area	1,380	3,315	4,695	0.29
TOTAL Area to Outflow	34,395	6,960	41,355	0.85


HAGER ENGINEERING
 Consulting Engineers & Surveyors
 2598 W. Higgins Road
 Barrington, Illinois 60015
 Phone: (847) 381-1100
 Fax: (847) 381-1101
 Email: info@hagereng.com
 Website: www.hagereng.com

MWRD DRAINAGE EXHIBIT
BP GAS STATION
2598 W. HIGGINS ROAD
 11/15/10

Existing Conditions

Proposed Conditions



Scale 1" = 40'

DATE: 11/15/11
 DRAWN BY: J. H. HAEGER
 CHECKED BY: J. H. HAEGER

HAEGER ENGINEERING
 CONSULTING ENGINEERS
 2598 W. HIGGINS ROAD
 GAITHERSBURG, MARYLAND 20878
 TEL: 301-281-1100
 FAX: 301-281-1101
 WWW: HAEGERENGINEERING.COM

MDOT
 DRAINAGE EXHIBIT
 BP GAS STATION
 2598 W. HIGGINS ROAD
 GAITHERSBURG, MD

11/15/11

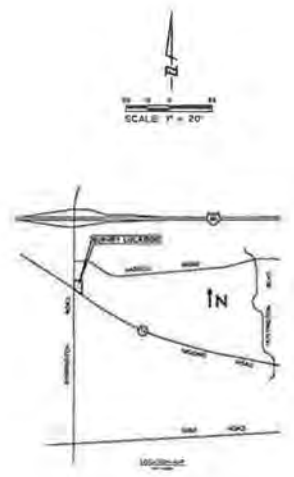
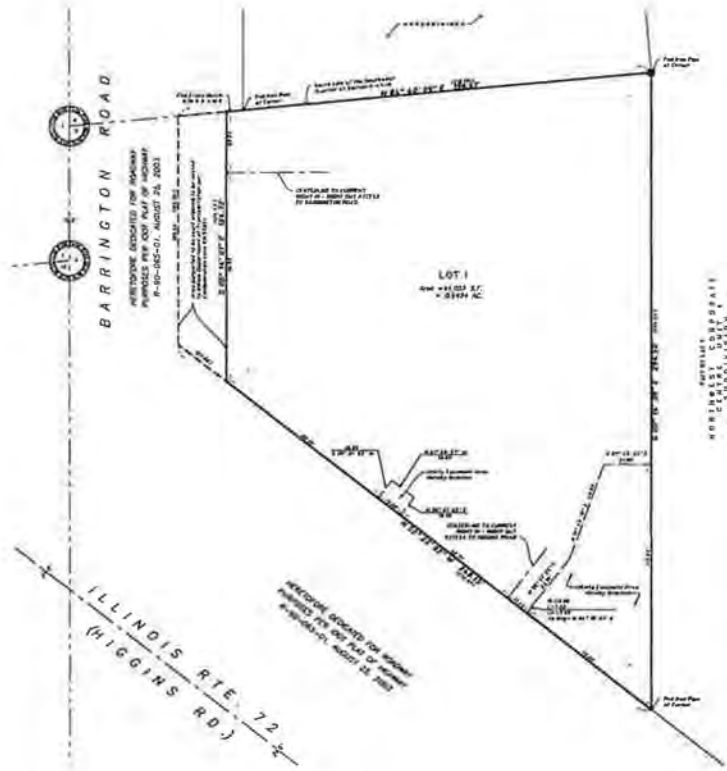
P.L.N. No. 27-07-08-07

DATE PLATED
HAEGER ENGINEERING LLC
CONSULTING CIVIL/PLANNING AND LAND SURVEYORS
100 EAST CLAY PARKWAY
INDIANAPOLIS, IN 46217
VILLAGE DE WESTWAY ESTATES
100 WASHINGTON
INDIANAPOLIS, IN 46219

FINAL PLAT OF HIGGINS BP SUBDIVISION

SHEET 1 OF 1

BEING A SUBDIVISION IN THE NORTHWEST QUARTER OF SECTION 1, TOWNSHIP 4,
NORTH RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY,
ILLINOIS



LEGEND

- LOT 1
- 1. The Subdivision Lot No. Containing the Property Corner
 - 2. Subdivision Boundary Line
 - 3. Easement Line
 - 4. Road

- RECORDING NOTES
1. THE SUBDIVISION BEING A SUBDIVISION OF LAND AND NOT A SUBDIVISION OF A SUBDIVISION.
 2. THE SUBDIVISION BEING A SUBDIVISION OF LAND AND NOT A SUBDIVISION OF A SUBDIVISION.
 3. THE SUBDIVISION BEING A SUBDIVISION OF LAND AND NOT A SUBDIVISION OF A SUBDIVISION.

DATE OF PLAT: 08/24/2023
 DRAWN BY: J. HAEGER
 CHECKED BY: J. HAEGER
 ORIGINALY PREPARED: 07/12/2023
 PLAT NO. 27-07-08-07

HAEGER ENGINEERING
 CONSULTING CIVIL/PLANNING AND LAND SURVEYORS
 100 EAST CLAY PARKWAY
 INDIANAPOLIS, IN 46217
 TEL: 317.426.1111
 FAX: 317.426.1112
 WWW.HAEGERENGINEERING.COM

FINAL PLAT OF HIGGINS BP SUBDIVISION

STATE OF ALABAMA
 COUNTY OF CALHOUN

TO ALL WHOM THESE PRESENTS SHALL COME, I, the undersigned, do hereby certify that the within and foregoing plat was duly prepared and recorded in the office of the Calhoun County Auditor in accordance with the provisions of the Alabama Constitution and the laws of this State, and that the same is a true and correct copy of the original as the same appears on the records of the said Auditor.

WITNESSED my hand and official seal this 15th day of June, 2010.

 Auditor

NOTARY CERTIFICATE

I, _____, Notary Public in and for the County of Calhoun, State of Alabama, do hereby certify that the within and foregoing plat was duly prepared and recorded in the office of the Calhoun County Auditor in accordance with the provisions of the Alabama Constitution and the laws of this State, and that the same is a true and correct copy of the original as the same appears on the records of the said Auditor.

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 Notary Public

RECORDER'S CERTIFICATE

I, _____, Recorder of Deeds for the County of Calhoun, State of Alabama, do hereby certify that the within and foregoing plat was duly prepared and recorded in the office of the Calhoun County Auditor in accordance with the provisions of the Alabama Constitution and the laws of this State, and that the same is a true and correct copy of the original as the same appears on the records of the said Auditor.

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SEND SUBSEQUENT TAX BILLS TO:

STATE OF ALABAMA
 COUNTY OF CALHOUN

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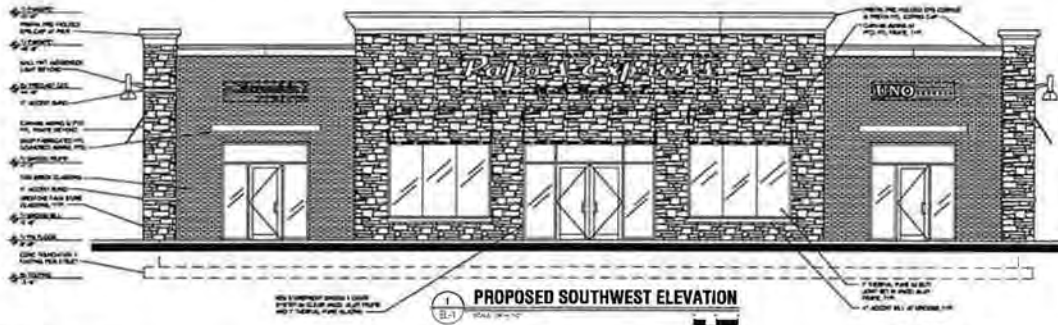
WITNESSED my hand and official seal this 15th day of June, 2010.

 Notary Public

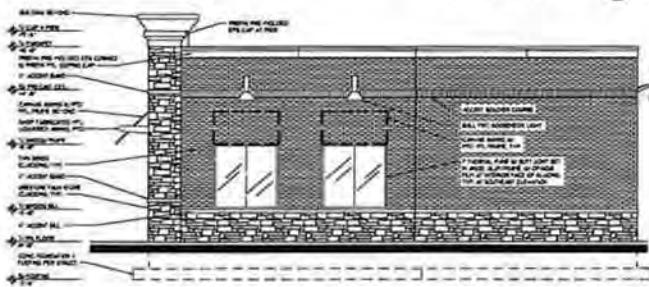
SEND SUBSEQUENT TAX BILLS TO:



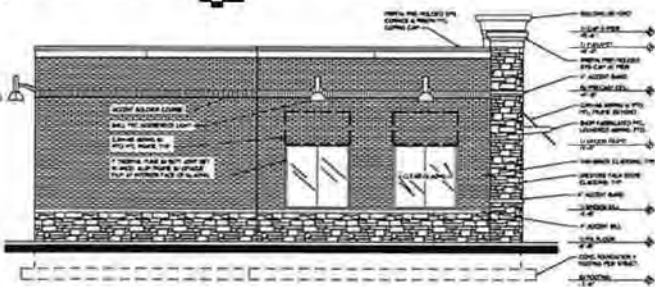
Record 87520807
 Original Prepared 07/16/2009 Printed No. 10-053
HAEGER ENGINEERING
 1800 Highway 101, Suite 100
 Calhoun, Georgia 30511
 Phone: 706.387.1000
 Fax: 706.387.1001
 Website: www.haegerengineering.com



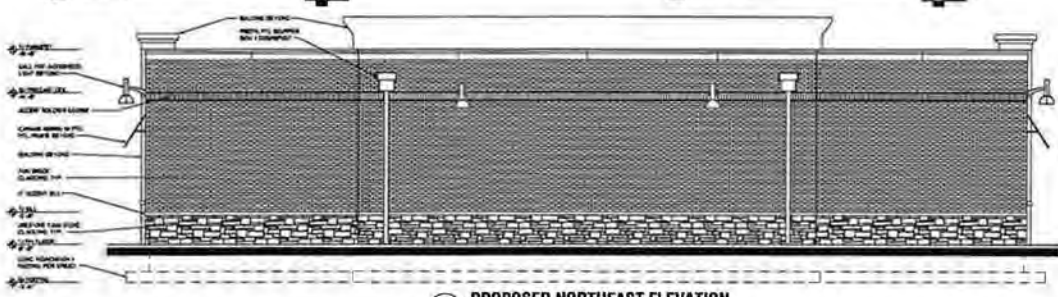
1 PROPOSED SOUTHWEST ELEVATION
SCALE: 1/8" = 1'-0"



2 PROPOSED SOUTHEAST ELEVATION
SCALE: 1/8" = 1'-0"



3 PROPOSED NORTHWEST ELEVATION
SCALE: 1/8" = 1'-0"



4 PROPOSED NORTHEAST ELEVATION
SCALE: 1/8" = 1'-0"

IPSA
Architecture & Design
1196 WEST GRAND AVENUE
CHICAGO, ILLINOIS 60642
PHONE: (312) 243-2500
FAX: (312) 243-9370

REDEVELOPMENT OF EXISTING GAS STATION & C-STORE FACILITY FOR:

Papa's Express
MARKET

258 W. HIGGINS RD.
HOFFMAN ESTATES, IL
60149

DATE: 08/04/2021
PROJECT #: 20190518

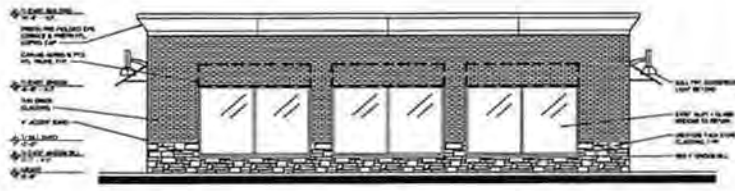
EL-1

REDEVELOPMENT OF EXISTING GAS STATION & C-STORE FACILITY FOR:

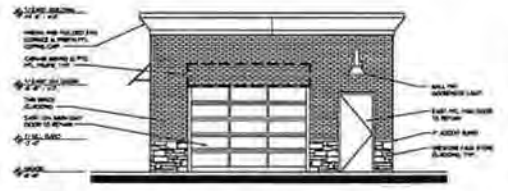
Papa's Express
 MARKET

2500 W. HOGGINS RD.
 HOFFMAN ESTATES, IL
 60139

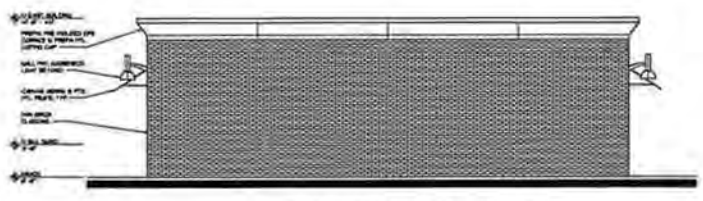
DATE: 08/04/2021
 PROJECT # 20190518



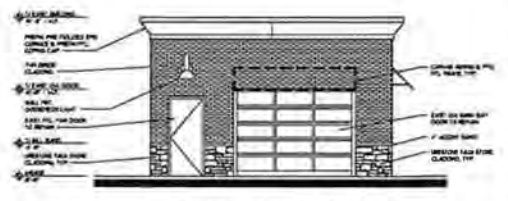
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PROPOSED SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



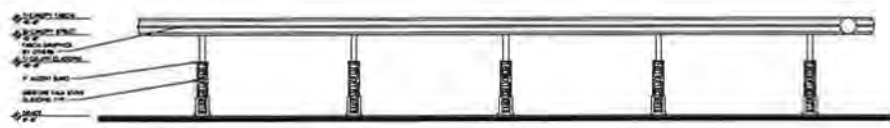
1
PROPOSED EAST ELEVATION
 SCALE: 1/8" = 1'-0"



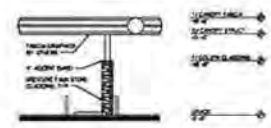
2
PROPOSED NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



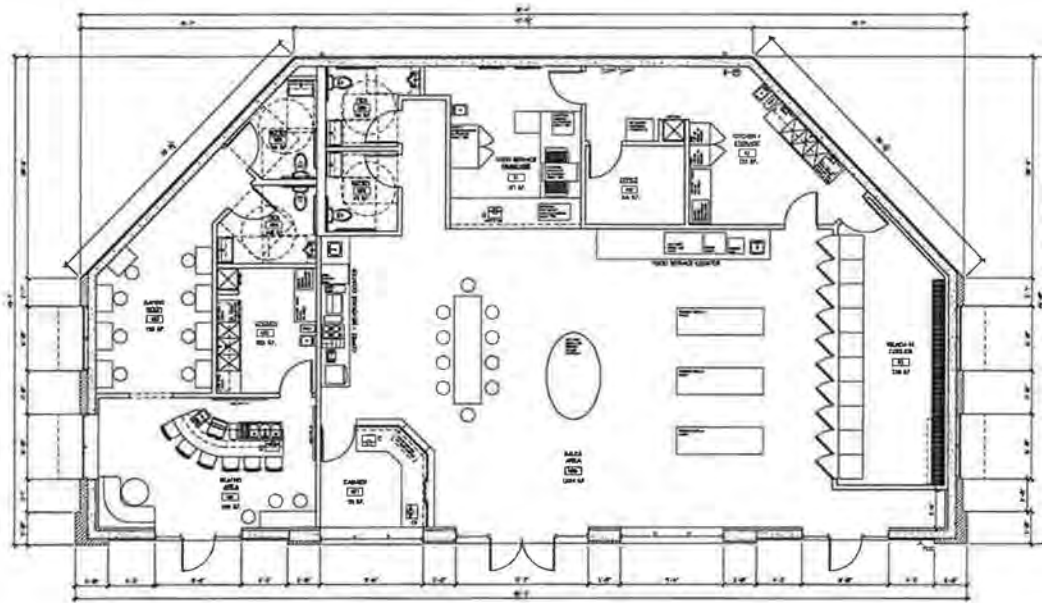
3
PROPOSED WEST ELEVATION
 SCALE: 1/8" = 1'-0"



5
CANOPY ELEVATION - NORTH/SOUTH
 SCALE: 1/8" = 1'-0"



6
CANOPY ELEVATION - EAST/WEST
 SCALE: 1/8" = 1'-0"





PROPOSED FLOOR PLAN

IPSA

Architecture & Design
 ARCHITECTURE & CONSTRUCTION SERVICES
 1166 WEST GRAND AVENUE
 CHICAGO, ILLINOIS 60607
 PHONE: (312) 245-2900
 FAX: (312) 245-9970

REDEVELOPMENT OF EXISTING GAS STATION & C-STORE FACILITY FOR:

Papa's Express
MARKET

3588 W. HIGGINS RD.
 HOFFMAN ESTATES, IL
 60149

DATE: 08/04/2021
 PROJECT #: 20190518

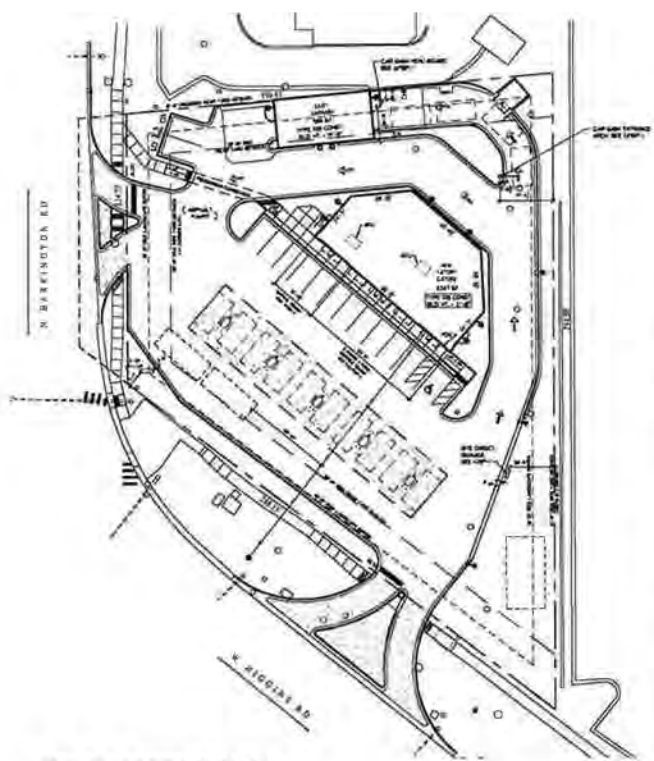
FP-1

REDEVELOPMENT OF EXISTING GAS STATION & C-STORE FACILITY FOR:

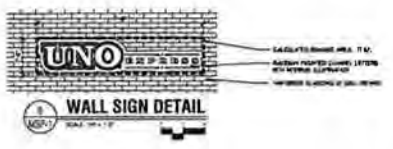
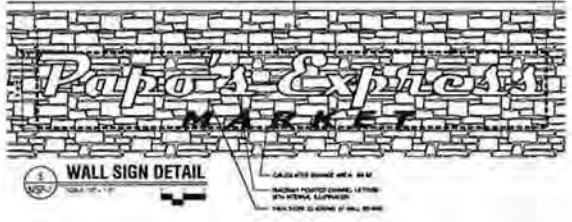
Papa's Express
MARKET

238A W. HIGGINS RD.
HOFFMAN ESTATES, IL
60139

DATE 05/13/2021
 PROJECT# 20180518



SIGNAGE SITE PLAN
 SCALE 1/4" = 1'-0"



WALL SIGN DATA	
TYPE & NUMBER	W-1, 2, 3
DATE	05/13/21
DESIGNED BY	IPSA
APPROVED BY	IPSA
DATE	05/13/21
PROJECT NAME	REDEVELOPMENT OF EXISTING GAS STATION & C-STORE FACILITY FOR PAPA'S EXPRESS MARKET
PROJECT ADDRESS	238A W. HIGGINS RD., HOFFMAN ESTATES, IL 60139
CLIENT	PAPA'S EXPRESS
ARCHITECT	IPSA
DATE	05/13/21

