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## VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION STAFF REPORT

**PROJECT NUMBER:** 2021-015P  
**PROJECT NAME:** Stonegate Conference and Banquet Centre  
**ADDRESS/LOCATION:** 2401 W. Higgins Rd.  
**PROPERTY SIZE:** ~8 acres  
**OWNER / PETITIONER:** NWSMG Management, LLC / Syed Mustafa Ali  
**REQUEST:** Site Plan Amendment and Special Use for a banquet facility  
**PUBLIC HEARING:** Yes  
**ZONING / LAND USE:** B-2 Community Business District / vacant conference center  
**ADJACENT PROPERTIES:** NORTH: B-2, Barrington Square Animal Clinic and Shopping Center  
SOUTH: RPD, St. Alexius Medical Center  
EAST: RPD, Vacant  
WEST: B-2, Moretti's/Restaurant Mall Subdivision  
**PZC MEETING DATE:** September 15, 2021  
**STAFF ASSIGNED:** Kevin Anderson, Associate Planner

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### REQUESTED MOTION

**Request for a Site Plan Amendment and Special Use for the Stonegate Conference and Banquet Centre property located at 2401 W. Higgins Road.**

**INCLUDES RECOMMENDED CONDITIONS: YES**

### BACKGROUND

The subject property was previously Stonegate Conference and Banquet Centre operating under Special Use Ordinance #3174-2000. The space is currently vacant and has not been in operation since 2018. The Petitioner recently purchased the property and is seeking to re-open and operate a banquet facility. The original Special Use was granted specifically to the previous operator and has since expired. Therefore, a new Special Use is required.

The Petitioner's request also includes the construction of a building addition on the west side of the main structure. The proposed addition requires a Site Plan Amendment.

## **STAFF ANALYSIS**

- The Petitioner has purchased the property and is currently in the process of repairing several code violations not addressed by the previous owner.
- The Petitioner currently owns and operates Shalimar Banquets in Addison, IL which has been open since 2015. He is proposing an expansion to the business and this would be his second location.
- The existing structure is approximately 26,000 square feet and includes the main banquet hall, three divisible meeting rooms, offices, dressing rooms, and a full kitchen.

### ***Business Operations***

The Petitioner has indicated that the majority of his business will come from wedding receptions but they will also market the space for conferences and business seminars. The space would be available for rent seven days a week. The Petitioner is requesting a liquor license in conjunction with this proposal and the license will determine the allowable hours of operation.

In addition to the Petitioner and his management team, the facility would have 20 full time employees. Additional staff is hired on a part time basis depending on the needs of each specific event. Individual staff members would be cross trained to provide liquor service and security.

The Petitioner indicates that the majority of events are catered and they would not have a full kitchen staff. This is the same manner that Shalimar Banquets operates.

The parking available will ultimately determine the appropriate occupancy for the premises.

### ***Parking***

There are currently 368 parking spaces available on the subject property including 8 accessible spaces. The site plan has not been changed since 2002 and is consistent with the original Village approvals. This proposal would have no impact on the layout of the parking lot or the total parking count. The parking demand for this property will be determined by how the facility is operated.

Parking demand would be determined by the number of event attendees and the average number of people who arrive together in a single car, plus the center employees. In 2000, the previous operator had a traffic and parking study completed by their traffic consultant, KLOA. That study suggested the facility would generate one parked vehicle for each three seats (0.33+). Staff is not aware of any parking or traffic issues with the operation of the Stonegate Conference Center while under the previous ownership.

The Petitioner has indicated that the Shalimar facility in Addison experiences similar parking demand of approximately 0.3 spaces per person. Shalimar has a total occupancy of 1,095 people and 365 parking spaces. Staff reached out to the Village of Addison at the time this request was made, and Addison's Staff did not identify any parking issues with the Shalimar facility or operations and noted they have been good neighbors.

The Petitioner has indicated that their policy is to require valet services for any event greater than 600 people, or any time there are more than 198 vehicles coming to the site. The valet plan does not include

the use of any offsite spaces, although the Petitioner has suggested that off-site shared options could be explored if it becomes necessary for any specific event. All valet parking would be required to use designated striped spaces on site.

The Village Code allows the Planning and Zoning Commission the authority to recommend the total number of required spaces for a particular use. In this instance, since the number of parking spaces is already fixed at 368, one the way to determine the parking demand will be met is to place limits on the total permitted occupants on site. Based on the recommended parking ratio of one parked vehicle for each three seats (0.33), staff is recommending that a condition limiting the facility to 1,100 occupants, including staff. The Petitioner has indicated they would be amenable to placing this occupancy limit on the building.

### ***Site Plan***

The subject site went through an extensive site plan and operations review in 2000 in conjunction with the original Special Use request. The Petitioner is proposing to update the site to address maintenance and code violations and construct a small building addition. No other site plan amendments are proposed at this time.

### ***Property Maintenance***

As a result of a long foreclosure process and the property sitting unoccupied for a number of years, there are a number of property maintenance issues and code violations that must be addressed. The Petitioner has submitted a plan and is in the process of addressing the deficiencies around the exterior of the site including: repaving the parking lot, removing dead trees and replacing landscaping, installing a dumpster enclosure, bringing sidewalks, signage and parking spaces up to ADA compliance, and repairing the building facade. Additionally, the Petitioner is upgrading the interior by replacing the flooring, painting, and rehabbing water damaged bathrooms.

### ***Building Addition***

In 2002, a Special Use Amendment was approved allowing the construction of an outdoor patio on the west side of the structure and the installation of a tent on top of the patio. The tent was approved with the condition that the attendance would be managed to ensure parking demand does not exceed supply. The patio was constructed and remains but the tent has been removed since the facility has been out of operation.

The Petitioner is proposing to construct a new permanent expansion to the main building over a portion of the existing patio. The addition would be approximately 53' x 94' (~5,000 sf.). This is the same approximate square footage as the previously approved tent.

The addition is designed as an additional meeting/dining room. The addition would be constructed of materials and colors which match those of the existing building. A curtain wall is proposed on the west façade.

The floorplan for this space indicates seating for 170 people. The occupancy of this space would be included in the total occupancy count for the site.

### ***Variations***

There are two Variations related to the property which were approved by Ordinance #3241-2000 and are still in effect. One Variation granted a larger sign size and one allowed a wrought iron style fence in a front yard along Higgins Road. The Petitioner's request would have no impact on either of these plans and they would maintain the existing sign and fence. The Petitioner has submitted plans to re-face the sign pending the Special Use approval.

### **STANDARDS FOR A SPECIAL USE**

No special use shall be recommended by the Planning and Zoning Commission unless said Planning and Zoning Commission shall find:

1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
4. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;
5. That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets; and
6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Planning and Zoning Commission.

### **RECOMMENDED CONDITIONS**

If the Planning and Zoning Commission recommends approval of the site plan amendment, staff recommends the following conditions be included:

1. The building permit for the addition shall be obtained within twelve (12) months of the Village Board action on this request.
2. A final certificate of occupancy shall be applied for and issued for the entirety of the facility prior to commencement of operations.
3. The development shall significantly conform to the plans attached hereto as part of this application except as such plans may be changed to conform to Village Codes and Ordinances.
4. The facility shall be used primarily for conferences, business meetings, banquets, and other similar uses.
5. The maximum occupancy of the space, including the addition, shall be limited to 1,100 persons, or a lower occupancy load limit as determined by the Village building and fire codes.
6. The facility shall be operated in such a manner so that the parking demand generated does not exceed the parking supply available on the site, utilizing approved (marked) parking spaces only. Valet parking that parks cars off-site or outside of approved (marked) parking spaces, or shared parking with other sites, shall be subject to review and approval by the Village through the site plan review process.

7. The petitioner shall enter into a license agreement with the Village providing for the continued use of the outlot parcel along Higgins Road that is owned by the Village for signage, fencing and lighting improvements. This agreement shall be executed prior to the final occupancy permit for the building.

Attachments: Petitioner's Application and Submittal  
Location Map



# VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING GENERAL APPLICATION\*

Special Use for \_\_\_\_\_  Rezoning from \_\_\_\_\_ to \_\_\_\_\_

Variation:  Commercial  Residential  Sign

Plat (Subdivision & Others):  Preliminary  Final

Site Plan:  Amendment  Concept  Preliminary  Final

Master Sign Plan:  Amendment

Other: \_\_\_\_\_

**\* ADDENDUM MATERIALS ARE REQUIRED FOR SPECIFIC REQUESTS**

**Posting of Notification Sign(s) may be required.**

**Specific requirements will be provided when your request is scheduled.**

### FOR VILLAGE USE ONLY

Hearing Fee \_\_\_\_\_ Check No. \_\_\_\_\_ Date Paid \_\_\_\_\_

Project Number: \_\_\_\_\_

Staff Assigned: \_\_\_\_\_

Meeting Date: \_\_\_\_\_

Public Hearing: Yes  No

Sign Posting Required: Yes  No

Date Sign Posted \_\_\_\_\_

### PLEASE PRINT OR TYPE

Date: May 3 2021

Project Name: THE STONE GATE BANQUETS & CONFERENCE CENTER

Project Description: BANQUETS & CONFERENCE

Project Address/Location: 2401 W Higgins Rd Hoffman Estate IL 60169.

Property Index No. 07-07-100-037-0000 / 07-07-100-036-0000

Acres: 7.84 Zoning District: \_\_\_\_\_

**I. Owner of Record**

NWSMG Management LLC  
Name Company  
8514 Mango Ave  
Street Address City Morton Grove  
IL 60053 773-430-9786  
State Zip Code Telephone Number  
847-663-9139 alisyedm0@yahoo.com  
Fax Number E-Mail Address

**II. Applicant (Contact Person/Project Manager)**

Syed Mustafa Ali  
Name Company  
8514 Mango Ave  
Street Address City Morton Grove  
IL 60053 773-430-9786  
State Zip Code Telephone Number  
847-663-9139 alisyedm0@yahoo.com  
Fax Number E-Mail Address

Applicant's relationship to property: President / Managing Member

**III. Owner Consent for Authorized Representative**

It is required that the property owner or his designated representative be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. **If the owner cannot be present at the meeting, the following statement must be signed by the owner:**

I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize \_\_\_\_\_ to act on my behalf and advise that he/she has full authority to act as my/our representative.

  
Owner Signature

Syed Mustafa Ali  
Print Name

#### IV. Acknowledgement(s)

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

**The Owner and Applicant**, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature: \_\_\_\_\_  
Owner's Name (Please Print): Syed Mustafa Ali  
Applicant's Signature: \_\_\_\_\_  
(If other than Owner)  
Applicant's Name (Please Print): Syed Mustafa Ali  
Date: May 3 2021

**All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.**

Please contact the Planning Division (located in the Municipal Building) with any questions:

Email: [planning@hoffmanestates.org](mailto:planning@hoffmanestates.org)  
Address: 1900 Hassell Road  
Hoffman Estates, IL 60169  
Phone: (847) 781-2660  
Fax: (847) 781-2679

Addendums Attached:

- Special Use       Master Sign Plan  
 Rezoning       Other \_\_\_\_\_  
 Variation  
 Plat  
 Site Plan





# VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION SPECIAL USE ADDENDUM

## REQUIRED SUBMITTALS:

- General Application
- \$500 Special Use hearing fee/\$750 for "All Other Uses"
- Legal Description  
Typically found on a tax bill, survey, mortgage documents or deed
- Current Plat of Survey drawn to scale
- A scale drawing of the floor plan and elevations, including windows and door locations.
- A Project Narrative detailing the use, hours of operation, parking demand, etc. Provide relevant plans, studies, and any other documents to support the request.
- A written response to each of the Standards for a Special Use (see below).

*You are responsible for posting a notification sign(s) on your property 10 days before the Planning & Zoning Commission hearing and removing the sign(s) 10 days after final Village Board action. Specific requirements will be provided by Planning Staff.*

**No special use shall be recommended by the Planning and Zoning Commission unless said Commission finds that adequate evidence is provided to meet the Special Use Standards. (Respond to each standard as it applies to your request either below or address on a separate sheet)**

1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

yes I understand the operation will not be  
Endanger to the public health, because its  
Only a banquets and Conference center.

2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;

Yes I understand and agree with all the requirements of the Village.

3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;

Yes I understand and agree with all rules of Village

4. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;

Yes I understand and agree and I will follow all the rules and codes of Village.

5. That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets; and

Yes I understand and agree with all rules and codes of Village.

6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Planning and Zoning Commission.

I understand and agree with the Rules,  
Codes of Village.

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# VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION SITE PLAN ADDENDUM – NON-RESIDENTIAL

Amendment  Concept  Preliminary  Final

## I. DESCRIPTION OF PROJECT:

### A. ATTACH A NARRATIVE FOR THE PROPOSED PROJECT ON A SEPARATE SHEET

- ✓ Article 10-6 of the Subdivision Code details the application process and required submittal documents. For relevant items, provide detailed information as part of the project narrative.

B. Total Number of Buildings: 1

C. Total Gross Floor Area: 26,000 square feet

D. Height of tallest building (including antennas, hvac, etc.): 30 feet

E. With respect to this project’s compatibility with adjacent land uses, address the following in the Project Narrative: Building Scale, architectural Materials, Coordinated Color Scheme, Existing and Planned Areas of Visual Interest, Design Concept and Relationship of Building Materials to one another.

F. Estimated start of construction: ongoing

G. Estimated time to complete development: Nov., 2021  
Attach a phasing schedule, if applicable.

H. Does the property contain flood plain lands or wetlands? Yes  No   
If yes, please address as part of the narrative.

I. Is there any historical or archeological significance to the existing structures or features of this site or the surrounding sites? Yes  No   
If yes, please address as part of the narrative.

J. Are there any endangered, threatened, or unique plants or animals located in or near the area? Yes  No   
If yes, please address as part of the narrative.

## II. OPERATIONAL CONSIDERATIONS

A. Anticipated hours of operation: per liquor code am/pm to            am/pm

B. Anticipated number of employees: 25 total \_\_\_\_\_ per shift \_\_\_\_\_ number of shifts

C. Estimated number of customers: 1,100 daily \_\_\_\_\_ peak hour

D. If there is any additional information about the proposed development or its operation that may affect the site development, address as part of the narrative.

### III. FINANCIAL CONSIDERATIONS

A. Estimated annual gross sales of general merchandise subject to sales tax for this project (includes 1% local share of state tax and 1% home rule tax):

Gross Sales (General)		Tax Rate		General Sales Tax
	X	2%	=	\$

B. Estimated annual gross sales subject to food and beverage (F & B) tax for this project (food prepared on premises and alcoholic beverages consumed on premises). See article 13-7 of the Hoffman Estates Municipal Code for detailed definition:

Gross Sales (F & B)		Tax Rate		F & B Tax
	X	2%	=	\$

C. Estimated Annual Hotel Tax: 365 Days X

Estimated Average Room Rate		Number of rooms		Occupancy Percentage		365 Days		Tax Rate		Hotel Tax
	X		X		X		X	6%	=	\$

D. Other tax/revenue:  
(Entertainment tax = 6%, etc.)

		Rate		Tax
	X		=	\$

E. Estimated Annual Telecommunications (TC) Tax:

Estimated Yearly Phone Bill		Tax Rate		TC tax
	X	6%	=	\$

F. Current assessment of the property: \_\_\_\_\_

G. Estimated value of Construction: \_\_\_\_\_

H. Will this project result in any unusual expenditure of public funds or requirements for public services in anyway?  Yes  No

If yes, please address as part of the narrative.

#### IV. TRAFFIC CONSIDERATIONS

##### A. Parking

1. Total number of parking spaces to be provided:

Employees: \_\_\_\_\_ Customers/  
Visitors: \_\_\_\_\_ Handicapped: 8 Total: 368

2. When is the peak parking period for this project?

Saturdays 7:00 pm

3. Will this project share parking spaces with other businesses?  Yes  No

If yes, please address as part of the narrative.

##### B. Traffic

1. Estimated number of vehicles entering and exiting this site during the peak one hour period between 4:00 p.m. and 6:00 p.m. 20

2. Will there be any other peak traffic times for this project?  Yes  No

If yes, give the time(s) of day and traffic volume: \_\_\_\_\_

3. Will this project contain a drive through?  Yes  No

If yes, the project narrative should address order processing time, projected stacking demand, and other details to explain the operation.

##### C. Deliveries

1. The project plan submittal should include turning templates to show all routes to be used for making deliveries to and from site. Is this plan included?  Yes  No

2. How often will deliveries be made on site? per event basis

2. What is the frequency and time period expected for deliveries? per event basis

**3. What is the largest delivery vehicle to be used and its size?**

Vehicle Type	Size	check	
Single Unit truck	30 ft.	<input type="checkbox"/>	<input type="checkbox"/>
Intermediate Semitrailer	50 ft.	<input type="checkbox"/>	<input type="checkbox"/>
Large Semitrailer	55 ft.	<input type="checkbox"/>	<input type="checkbox"/>
Other		<input type="checkbox"/>	<input type="checkbox"/>

If the delivery truck used fits into the "Other" category, please specify type, size and turning radius: \_\_\_\_\_

- D.** Any additional site related traffic information not covered above?  Yes  No  
If yes, please address as part of the narrative.

**V. RECYCLING AND GREEN INITIATIVES**

- A.** Article 9 of The Municipal Code of the Village of Hoffman Estates requires that businesses maintain an effective recycling program. Address any unique recycling plans as part of the project narrative.
- B.** The Village supports and promotes sustainability. Please address any planned green or sustainability initiatives as part of the narrative.
- C.** Do you anticipate submitting this project for LEED certification (or any other similar certifications)?  Yes  No  
If yes, please address as part of the narrative.

**VI. GENERAL CONSIDERATIONS**

- A.** Please list examples of similar uses (including name and location) in the area that can be used for comparison by the Village:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

- B.** Will this project contain any noise generators that will adversely affect surrounding areas?  
Yes  No   
If yes, please address as part of the narrative.



C. Is there anything included in this project that may be sensitive to surrounding noise generators?

Yes  No

If yes, please address as part of the narrative.

D. Do you intend to apply for a liquor license?  Yes  No

If yes, please contact the Village Clerk's Office at 847.781.2625

E. Will this project contain a cafeteria or food service area (in order to determine applicability of a sewer and water surcharge)? Yes  No

If yes, please address as part of the narrative.

F. In the project narrative, please list and explain anything involved in this project that is not covered in this application that should be brought to the Village's attention. Also address any rare or unusual circumstances or needs related to this project.

Please contact the Planning Division with any questions:

Email: [planning@hoffmanestates.org](mailto:planning@hoffmanestates.org)  
Address: 1900 Hassell Road  
Hoffman Estates, IL 60169  
Phone: 847.781.2660  
Fax: 847.781.2679

# PUROHIT ARCHITECTS, INC.

Architects & Planners

251 Bradwell Rd., Inverness, IL 60010

P: 847.220.8037 Email: info@purohitarchitects.com

Website: www.purohitarchitects.com

July/30/2021

To,

Mr. Kevin Anderson, *Associate Planner*

Village of Hoffman Estates

1900 Hassell Road, Hoffman Estates, IL 60169

Ph.: 847-781-2607

**Project Name: Stonegate Conference Center**

**Project Address: 2401 W. Higgins Rd., Hoffman Estates, IL**

**RE: Special Use Review Responses (dated: July/30/2021)**

Dear Mr. Anderson,

Below are the responses to the comments. Please note the responses to comments #1 thru 4 have provided by the Ownership (Mr. Syed Mustafa Ali, MWSMG Management LLC).

## Comment #1:

At any given time, we shall have no more than 1,045 Guests & 20 Employees at the Conference Center for Business Meetings/ Conferences. All Business Conferences/ meetings usually are held during the daytime on weekdays. On larger business gatherings, people usually do car-pool (3-4 people/ Car), or they have company arranged buses to bring them to the facility.

As, far as Family gatherings such as Weddings are concerned, we anticipate no more than 800 Guests & 20 Employees any given time. Wedding always shall have sit-down table and chair arrangements. We anticipate 3-4 people arriving / Car.

## Comment #2:

Shalimar Banquets falls within the jurisdiction of Village of Addison. Per the Zoning Ordinance of Village of Addison, for Banquet use the Parking Ratio is 3 Occupants/ Car. We have been operating Shalimar Banquets for last five years, and we have never had any issues with the parking. This provides us the confidence that, the ratio of 3 Occupant: 1 Car works for our business model. With 1:3 ratio, our current Parking Capacity of 355 Spaces is adequate to support the 1,065 Occupant load at any given point of time.

## Comment #3:

We have a policy of providing a free Valet Parking Services, for any event that is over 600 guests. Guests always appreciate, having a Valet Service. Few of our employees shall be cross trained as Valet Drivers to use the on-site Parking efficiently & wisely. We typically do not use any parking outside of our premises.

## Comment #4:

For Larger events, especially when liquor is served, we shall use outside Security Services to make the event go smoothly and in an organized manner. We will also cross-train few of our employees to act as security guards. These employees will also be well trained to check identity cards for drinking age and such.

Comment #5:

Attached find the revised Architectural Drawings for addressing the comments (a) thru (c) and the Inspection Report dated 09/22/2020.

- a: Refer to the revised site plan & details
- b: Refer to revised sheet A1.0 & A1.0a for all missing dimensions
- c: Refer to revised sheets A1.0 thru A1.2

Comment #6:

The ownership would like to propose a new permanent structure at the west patio, where the Patio once had a tent structure. New Proposed building footprint shall be 4,612 Sq. Ft. Please, refer to the conceptual floor plan, exterior elevations & code Matrix provided.

- a: Refer to the code Matrix on added sheet T1.0
- b: A Licensed Structural engineering services has been retained to evaluate the patio structural analysis for its feasibility. Licensed Structural Engineer's drawings/ calculations shall be submitted when applying for Building Permit for the proposed addition.
- c: Required number of exists per code shall be provided for the proposed addition. The existing ADA Compliant Ramp at the main building entry shall serve the entire facility including the addition. Area of Refuge, outside any other exit doors as required by the Building Code/ Fire Department shall be provided/ address when applying of the building permit.

Comment #7:

Per our prior conversation with Mr. Anderson, we understand that the Village Attorney will work with the ownership to obtain the needed access agreement prior to the commencement of work on Site. No action is required at this time from the ownership.

Please let us know if you have any questions after reviewing our submittal for "Special Use Permit" Application. Thank you.

Sincerely,

Shilpa Purohit, *Licensed Architect*

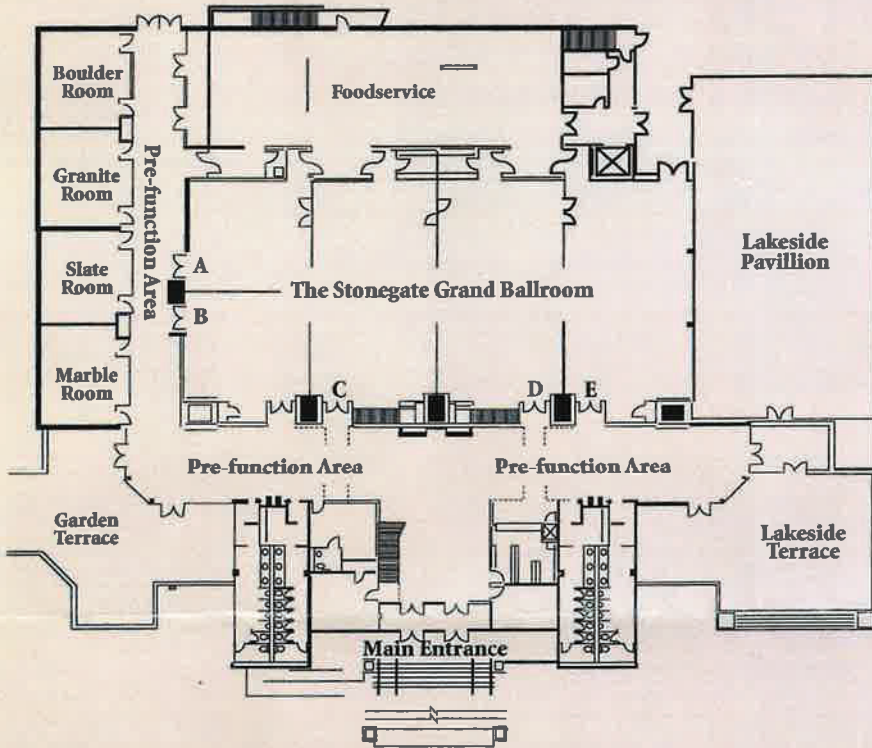
[shilpa@purohitarchitects.com](mailto:shilpa@purohitarchitects.com)

847.757.1618



# Welcome

to The Stonegate Conference & Banquet Centre



- The region's leading, state-of-the-art conference and banquet centre.
- 700 capacity Grand Ballroom, additional facilities to accommodate 25 to 400 people.
- Complete audio-visual telecom features, including internet linkup, teleconferencing and audience presentation.
- Complete and highest quality food service and beverage capabilities.
- Professional staff of planners, event coordinators and banquet managers at your service.

Meeting Room	Dimensions	Square Ft.	Theatre	Schoolroom	Conference	U-Shape	Reception	Banquet
The Stonegate Grand Ballroom	138x60x20	8,200	800	570	---	---	1,000	700
Salon A & B, C, D, E	34x60x20	2,040	250	120	---	---	200	150
Salon A or B	34x30x20	1,020	100	70	40	35	100	50
Boulder Room	22x26x14	572	60	35	25	20	60	40
Granite Room	22x26x14	572	60	35	25	20	60	40
Slate Room	22x26x14	572	60	35	25	20	60	40
Marble Room	22x26x14	572	60	35	25	20	60	40
Pre-Function	----	2,800	---	---	---	---	400	---
Garden Terrace	----	---	---	---	---	---	100	---
Lakeside Terrace	----	---	---	---	---	---	100	---
Lakeside Pavillion	45x80	3,600	350	175	---	---	300	200



LEGEND

- These standard symbols will be found in the drawing.
- Storm CB
- San Man
- San Clean Out
- Water Meter
- Water Burfalo Box
- Water Fire Hydrant
- Telephone Pedestal
- Utility Pole
- Electric Meter
- Electric Light Pole
- Electric Ground Light
- Gas Meter
- Gas Valve
- Sign Post
- Bumper Post
- Auto Sprinkler
- Iron Pipe
- Out Cross

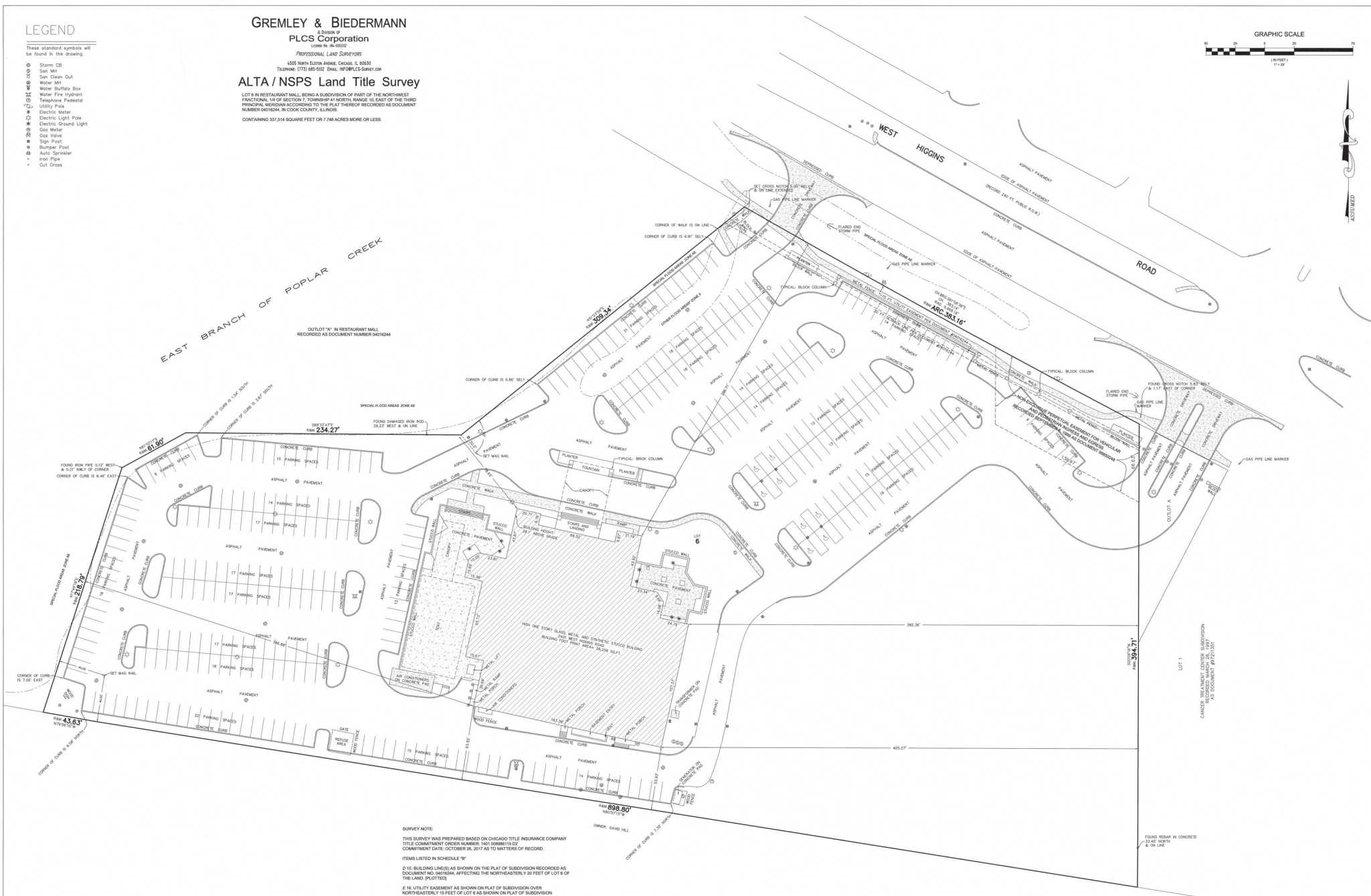
GREMLEY & BIEDERMANN
PLCS Corporation
LOT IN RESTAURANT MALL BEING A SUBDIVISION OF PART OF THE NORTHWEST
FRACTIONAL 1/4 OF SECTION 7, TOWNSHIP 41 NORTH, RANGE 10, EAST OF THE THIRD
PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT
NUMBER 04019244, IN COOK COUNTY, ILLINOIS.
CONTAINING 337,514 SQUARE FEET OR 7.748 ACRES MORE OR LESS.

GRAPHIC SCALE



AS SHOWN

EAST BRANCH OF POPLAR CREEK
OUTLOT 'W' IN RESTAURANT MALL
RECORDED AS DOCUMENT NUMBER 04019244



SURVEY NOTE:

THIS SURVEY WAS PREPARED BASED ON CHICAGO TITLE INSURANCE COMPANY
TITLE COMMITMENT ORDER NUMBER: 1451 008818102
COMMITMENT DATE: OCTOBER 26, 2017 AS MATTERS OF RECORD.

ITEMS LISTED IN SCHEDULE 'B'

- 15. BUILDING LINES AS SHOWN ON THE PLAT OF SUBDIVISION RECORDED AS
DOCUMENT NO. 04019244, AFFECTING THE NORTHEASTERLY 20 FEET OF LOT 6 OF THE
LAND PLOTTED
16. UTILITY EASEMENT AS SHOWN ON PLAT OF SUBDIVISION OVER
NORTHEASTERLY 15 FEET OF LOT 6 AS SHOWN ON PLAT OF SUBDIVISION
RECORDED AS DOCUMENT 04019244, PLOTTED
17. EASEMENT IN FAVOR OF AMERITECH, THE COMMONWEALTH EDISON
COMPANY, CONTINENTAL CABLEVISION, NORTHERN ILLINOIS GAS COMPANY,
NILGAGE OF HORTMAN ESTATES, AND THEIR RESPECTIVE SUCCESSORS AND
ASSIGNEES TO INSTALL, OPERATE AND MAINTAIN ALL EQUIPMENT NECESSARY FOR
THE PURPOSE OF SERVING THE LAND AND THE PROPERTY, TOGETHER WITH
THE RIGHT OF ACCESS TO SAID EQUIPMENT AND THE PROVISIONS RELATING
THEREIN CONTAINED IN THE PLAT RECORDED FILED AS DOCUMENT NO.
04019244, AFFECTING THE AREAS SHOWN ON PLAT AND MARKED UTILITY
EASEMENT OF THE LAND, PLOTTED
18. DECLARATION OF EASEMENT MADE BY BARRINGTON VENTURE
PARTNERSHIP, AN ILLINOIS GENERAL PARTNERSHIP, GRANTING AN EASEMENT
FOR INGRESS AND EGRESS AND UTILITIES FROM PROPOSED LOT 3 TO HIGGINS
ROAD FOR THE BENEFIT OF PROPOSED LOT 2 AND HIGGINS ROAD, TO BE USED
FOR VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS
FOR ACCESS TO AND FROM THE LOT 2 AND HIGGINS ROAD, TO BE USED
NON-EXCLUSIVE BASED OVER AND ABOVE THAT PORTION OF PROPOSED LOT 1
RECORDED SEPTEMBER 1, 1996 AS DOCUMENT 04019244, PLOTTED
19. RIGHTS OF THE PUBLIC, THE STATE OF ILLINOIS AND THE MUNICIPALITY IN
AND TO THAT PART OF THE LAND, IF ANY, TAKEN OR USED FOR ROAD PURPOSES.
ALL REMAINING ITEMS ARE NOT A MATTER OF SURVEY.

SURVEY NOTES:

REGARDING TABLE A ITEM 3 FLOOD ZONE CLASSIFICATION (WITH PROPER
ANNOTATION BASED ON FEDERAL FLOOD INSURANCE RATE MAPS ON THE STATE OR
LOCAL EQUIVALENT) DEPICTED BY SCALED MAP LOCATION AND GRAPHIC PLOTTING
ONLY
PROPERTY APPEARS IN ZONE X, AREAS OF MINIMAL FLOOD HAZARD AREA, PER
FLOOD INSURANCE RATE MAP COOK COUNTY ILLINOIS, MAP NO. 17031C 0167L,
EFFECTIVE DATE AUGUST 18, 2008.
AND
PORTIONS OF THE PROPERTY APPEAR IN 'OTHER FLOOD AREAS' ZONE X, AREAS OF
1/2% ANNUAL CHANCE FLOOD AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE
DEPTH OF LESS THAN 1 FOOT OR WITH CHANGE AREAS LESS THAN 1 SQUARE
MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD
AND
PORTIONS OF THE PROPERTY APPEAR IN 'SPECIAL FLOOD AREAS' (SFHA) SUBJECT
TO FLOODATION BY THE 1% ANNUAL CHANCE FLOOD ZONE AE, WITHOUT BASE FLOOD
ELEVATIONS DETERMINED.

This is to certify that this map or plat and the survey on which it is based were made in
accordance with the 2018 Minimum Standard Detail Requirements for ALTA and NSPS, and includes items 1, 2, 3, 4, 7, 9,
10, 11, 12, 13, 14, 15, and 16 of Table A thereof.
The field work was completed on August 21, 2019.
Date of Plat August 29, 2019
Robert G. Biedermann
Professional Illinois Land Surveyor No. 2802

Project information including client name (Gremley & Biedermann), address, phone number (2019-27055-001), and a small logo.

Professional information for the surveyor, including license number (2802) and name (Robert G. Biedermann).





# PROPOSED RENOVATION & ADDITION AT THE STONEGATE BANQUETS & CONFERENCE

2401 W. HIGGINS RD., HOFFMAN ESTATES, IL

### CODE DATA

**ZONING ORDINANCE:**  
 02 (COMMUNITY BUSINESS DISTRICT)  
 VILLAGE OF HOFFMAN ESTATES, IL ZONING ORDINANCE

**APPLICABLE BUILDING CODES:**

- 2015 INTERNATIONAL BUILDING CODE & APPENDIX K
- 2015 INTERNATIONAL PROPERTY MAINTENANCE CODE
- 2015 INTERNATIONAL FIRE CODE
- 2015 INTERNATIONAL FUEL GAS CODE
- 2015 INTERNATIONAL MECHANICAL CODE
- 2015 INTERNATIONAL EXISTING BUILDING CODES
- 2017 NATIONAL ELECTRICAL CODE
- ILLINOIS ENERGY CONSERVATION CODE, CURRENT EDITION
- ILLINOIS STATE PLUMBING CODE, CURRENT EDITION
- ILLINOIS ACCESSIBILITY CODE-71 ILL. ADM. CODE (4/24/97), ANSI A117.1 (CURRENT EDITION)

**USE GROUP (TENANT SPACE) OCCUPANCY CLASSIFICATION:**

- GROUP A2 (BANQUET HALLS); SECTION 303.1

**SITE AREA (EXISTING- NO CHANGE)**

- AREA OF SITE: 185,128 SQ. FT. (4.25 ACRES)

**PARKING REQUIRED:**

- REQUIRED PARKING RATIO: 3 OCCUPANTS / SPACE (1:3)
- TOTAL REQUIRED PARKING: 1,065 OCCUPANTS / 355 SPACES REQUIRED
- EXISTING PARKING: 338 SPACES (347 REGULAR + 9 H.C.) - TO REMAIN- NO CHANGE
- PROPOSED REESTRIPPING, INCLUDING OF ADA PARKING STALLS
- PROPOSED ADA CROSSWALK, PER SITE PLAN

**CONSTRUCTION TYPE (TENANT SPACES)**

- TYPIC B-B (NON-COMBUSTIBLE)- EXISTING TO REMAIN- NO CHANGE
- BUILDING SHALL BE FULLY SPRINKLERED (EXISTING & PROPOSED).

**HEIGHT (CEILING BUILDING) (TABLE 503-A2 GROUP A-2)**

- ALLOWED HEIGHT: 2 STORIES, 57'-0" MAX
- EXISTING HEIGHT: 1 STORY, 28'-4" HEIGHT (NO CHANGE PROPOSED)
- PROPOSED ADDITION SHALL BE NO TALLER THAN EXISTING BUILDING HEIGHT

**AREA OF BUILDING (TABLE 503-A1 GROUP A-2)**

- ALLOWED BASE AREA: 9,500 SQ. FT.
- +30% INCREASE DUE TO AUTOMATIC SPRINKLER SYSTEM (SECTION 506.3): +19,000 SQ. FT.
- +SCEASE DUE TO FOOTING ON ALL 48 SBDS (SECTION 506.2): -7,125 SQ. FT.
- TOTAL ALLOWED AREA (WITH AREA MODIFICATIONS) = 3,080 + 19,000 - 7,125 = 24,955 SQ. FT.

**EXISTING:**

- AREA OF 1<sup>ST</sup> FLOOR: 26,056 SQ. FT.
- AREA OF MEZZANINE FLOOR: 1,949 SQ. FT.
- TOTAL AREA: 30,005 SQ. FT.

**PROPOSED ADDITION:**

- AREA OF 1<sup>ST</sup> FLOOR: 4,612 SQ. FT.
- TOTAL BUILDING AREA (EXISTING + PROPOSED):
- AREA OF 1<sup>ST</sup> FLOOR: 28,668 SQ. FT. = 4,612 SQ. FT. + 24,056 SQ. FT. (OK)

**REQUIRED FIRE RESISTANCE RATINGS (IBC TABLE 601) EXISTING TO REMAIN (TYPE II-B) SPRINKLED**

	MINIMUM REQUIRED
PRIMARY STRUCTURAL FRAME	0-HR
BEARING WALLS (EXTERIOR & INTERIOR)	0-HR
NON BEARING WALLS & PARTITIONS (EXTERIOR & INTERIOR)	0-HR
FLOOR CONSTRUCTION & ASSOCIATED SECONDARY MEMBERS	0-HR
ROOF CONSTRUCTION & ASSOCIATED SECONDARY MEMBERS	0-HR

**TRAVEL DISTANCE / COMMON PATH OF TRAVEL / DISTANCE TO EXIT:**

- MAXIMUM TRAVEL DISTANCE 250'-0" - TABLE 1016.2 (AUTOMATIC SPRINKLER SYSTEM)
- PROVIDED: 95'-0" MAX.

**NUMBER OF EXITS (TABLE 1015.1):**

- REQUIRED: (1) EXITS PROVIDED EXIST (OCCUPANT LOAD 1,865)
- (1) ADA COMPLIANT EXIT RAMP AT THE MAIN ENTRANCE TO REMAIN
- ALL OTHER REQUIRED EXITS SHALL HAVE AREA OF REFUGE, IF NOT EXISTING DIRECTLY ON GRADE.

**INTERIOR FINISHES:**

- THE FLAME SPREAD OF ALL INTERIOR FINISHES SHALL BE "CLASS C" (FLAME SPREAD 76-200; SMOKE DEVELOPED 4-150 PER SECTION 803.1 & TABLE 803.5, INTERNAL BUILDING CODE).

**PLUMBING FIXTURE COUNT (PER 2014 ILLINOIS STATE PLUMBING CODE (MECHANICAL USE))**

	MALE (32.5 OCCUPANTS)	FEMALE (32.5 OCCUPANTS)		
REQUIRED	PROVIDED	REQUIRED	PROVIDED	
WATER CLOSETS	4801-800	510ASH	7401-800	11 (164)
URINALS	8401-800	810ASH	0	0
LAVATORIES	2401-500	710ASH	3401-500	710ASH
DRINKING FOUNTAINS	11-100 = 6	210ASH	11-100 = 6	210ASH
		(Water shall be Served as Request)	(Water shall be Served as Request)	
MOP SINK / SERVICE SINKS	REQUIRED (1); PROVIDED (1)			

**FIRE SUPPRESSION:**

- FIRE SPRINKLER IN EXISTING BUILDING - TO REMAIN
- FIRE SPRINKLER IN PROPOSED BUILDING SHALL BE PROVIDED UNDER SEPARATE PERMIT.

**FIRE ALARM:**

- THIS BUILDING REQUIRES A CODE COMPLIANT ADDRESSABLE AUTOMATIC ALARM SYSTEM. SUBMIT UNDER SEPARATE PERMIT.

**NOTE:**

- ALL ITEMS TO BE SUSPENDED (SUSPENDED CEILING, ELECTRICAL EQUIPMENT, MECHANICAL EQUIPMENT, PLUMBING EQUIPMENT, ETC.) SHALL BE SUSPENDED FROM THE TOP CHORD OF THE BAR JOISTS UNLESS SPECIFICALLY STATED OTHERWISE BY THE STRUCTURAL ENGINEER.

### DESCRIPTION OF WORK

RENOVATION WORK & ADDITION TO AN EXISTING CONFERENCE CENTER - SPECIAL USE PERMIT

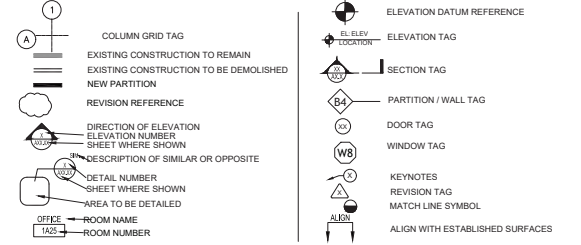
### NOTE TO THE CONTRACTOR(S)

- ALL WORK MUST MEET ALL APPLICABLE CURRENT FEDERAL, STATE, AND LOCAL JURISDICTION CODES.
- MINIMUM OF ONE SET OF APPROVED PLANS SHALL BE PROVIDED ON-SITE FOR INSPECTOR'S REFERENCE AND REVIEW. INSPECTIONS WILL NOT BE MADE IF PLANS ARE NOT AVAILABLE ON-SITE AT THE SCHEDULED INSPECTION TIME/DATE.
- EXISTING FIRE SPRINKLER SYSTEM IN THE EXISTING BUILDING TO REMAIN-MODIFY AS REQUIRED. PROVIDE IN THE PROPOSED ADDITION, UNDER A SEPARATE PERMIT.
- A LICENSED FIRE ALARM CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE THE FIRE ALARM & DETECTION SYSTEM SHOP DRAWINGS/PLANS SHOWING ALL FIRE ALARM EQUIPMENT, AUDIO VISUAL, BATTERY LOAD CALCULATIONS AND POINT TO POINT WIRING DIAGRAMS ALONG WITH MANUFACTURE CUT SHEETS IN COMPLIANCE WITH NFPA72 WITH THE SUBMITTAL TO THE VILLAGES FIRE DEPARTMENT FOR REVIEW & PERMIT.
- THE CONTRACTOR SHALL OBTAIN A SEPARATE PERMIT FOR COMMUNICATION/ LOW VOLTAGE WORK, IF REQUIRED BY THE JURISDICTION.
- THE INSTALLATION OF (ALL) EXTERIOR BUILDING SIGNS WILL REQUIRE A SEPARATE PERMIT AND APPROVAL PROCESS. SIGNAGE CONTRACTOR TO PREPARE REQUIRED SHOP DRAWINGS AND SUBMIT TO THE VILLAGES FOR PERMIT.
- THE OWNER AND/OR GENERAL CONTRACTOR SHALL PROVIDE, INSTALL & MAINTAIN ALL REQUIRED ILLUMINATED EXIT SIGNS, BATTERY BACKED EMERGENCY LIGHTS, EGRESS HARDWARE AT ALL REQUIRED EXITS AS REQUIRED BY THE LOCAL FIRE DEPARTMENT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEYING ALL EXISTING UTILITY LOCATIONS, IF ANY. THIS INCLUDES VERIFYING ALL TAPPING INTERCEPTION/ CONNECTION LOCATIONS FOR FINAL CONNECTIONS IN ORDER FOR SYSTEMS TO WORK IN ACCORDANCE TO ALL THE APPLICABLE CODES AND THE AUTHORITIES HAVING JURISDICTIONS. NO CHANGE ORDERS WILL BE ISSUED, INDEPENDENT OF THE INFORMATION SHOWN OR NOT SHOWN IN THE DRAWINGS, AND/ OR SHOWN DIAGRAMMATICALLY DIFFERENT FROM ACTUAL CONDITIONS. THE GENERAL CONTRACTOR SHALL INCLUDE ALL NECESSARY SCOPE IN THE BID.
- THESE DRAWINGS AND SPECIFICATIONS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED, THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. DECISION OF THE ARCHITECT / ENGINEER AS TO THE ITEMS OF WORK INCLUDED WITHIN THE SCOPE OF THIS DOCUMENT SHALL BE FINAL.
- CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH THE AS-BUILT SET OF ANY ALL THE CHANGES THAT MAY TAKE PLACE DURING THE CONSTRUCTION. ANY TIME A CHANGE IS NEEDED DURING THE CONSTRUCTION FROM THE PERMITTED DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.
- ALL FINISHES, AS NECESSARY, SHALL BE VERIFIED WITH OWNER / ARCHITECT PRIOR TO ORDERING, TYPICAL.
- CONTRACTOR TO PROVIDE COMPLETE ACCESSIBILITY SIGNAGE TECHNICAL SUBMISSION TO THE ARCHITECT/ VILLAGES FOR APPROVAL, PRIOR TO INSTALLATION.

### NOTE TO THE OWNER

- THE VILLAGES OF HOFFMAN ESTATES APPROVED MAXIMUM OCCUPANCY CARD / CERTIFICATE SHALL BE POSTED IN A VISIBLE AREA AS REQUIRED AND ISSUED BY THE LOCAL FIRE PROTECTION DISTRICT.
- PER THE JURISDICTIONS REQUIREMENTS, A KEY FOR THE BUSINESS SHALL BE PLACED IN THE BUILDING KNOX BOX / KEY HOLDER CABINET PRIOR TO THE OCCUPANCY OF THE SPACE. CONTRACTOR TO VERIFY FINAL LOCATION WITH THE FIRE PREVENTION BUREAU/ TENANT (LANDLORD).
- OWNER TO NOTIFY THE VILLAGES, IF ANY CHANGES ARE TO OCCUR THAT ARE DIFFERENT FROM THE VILLAGES APPROVED DESCRIPTION OF WORK AND THE CHANGES MUST BE SUBMITTED IMMEDIATELY IN WRITING TO THE VILLAGES FOR THEIR REVIEW AND APPROVAL.
- BUILDING ADDRESS NUMBERS SHALL BE PROVIDED ON THE FRONT OF THE BUILDING, IF NOT ALREADY THERE AND SHALL BE VISIBLE AND LEGIBLE FROM THE PUBLIC RIGHT-OF-WAY. SAID NUMBERS SHALL CONTRAST VISUALLY WITH THEIR BACKGROUND.

### GRAPHIC SYMBOLS



### DRAWING INDEX

- T1.0 TITLE SHEET, INDEX, GENERAL NOTES & CODE DATA
- EXISTING PLAT OF SURVEY (FOR REFERENCE)
- A0.0 GENERAL NOTES
- A0.1 ACCESSIBILITY GUIDELINES / DETAILS
- A1.0 ARCHITECTURAL SITE PLAN
- A1.0a ENLARGED SITE PLAN
- A1.1 TYPICAL, SITE CONSTRUCTION DETAILS
- A1.2 SITE CONSTRUCTION DETAILS
- A3.1 1ST FLOOR PLAN- PROPOSED ADDITION
- A6.0 EXTERIOR ELEVATION- PROPOSED ADDITION

### DOCUMENTATION SET

- ALL ITEMS INDICATED IN THE CONSTRUCTION DOCUMENTS ARE TO BE FURNISHED AND INSTALLED BY THE CONTRACTOR UNLESS DIRECTED OTHERWISE BY THE OWNER.
- IT IS CONTRACTOR'S RESPONSIBILITY TO VERIFY THE SCOPE WITH OWNER.
- IF THE OWNER IS FURNISHING ONLY, THE CONTRACTOR SHALL INSTALL THOSE ITEMS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND COORDINATING ALL DELIVERY AND INSTALLATION ACTIVITIES.

### STATEMENT OF COMPLIANCE

THIS SEAL APPLIES TO THE FOLLOWING DOCUMENTS. ALL DOCUMENTS UNDER THIS STAMP BEAR THE SAME ISSUE DATE AS THE SEALED COPY.

SHEET NUMBERS: T1.0 THRU A6.0

I HAVE PREPARED, OR CAUSED TO BE PREPARED UNDER MY DIRECT SUPERVISION, THE ATTACHED PLANS AND SPECIFICATIONS AND STATE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF AND TO THE EXTENT OF MY CONTRACTUAL OBLIGATION, THEY ARE IN COMPLIANCE WITH THE ENVIRONMENTAL BARRIERS ACT (410 ILCS 25) AND THE ILLINOIS ACCESSIBILITY CODE (71 ILL. ADM. CODE 400).

SIGNED: *Shirley Purditt* AUGUST 10, 2021  
ARCHITECT DATE



ILLINOIS REGISTRATION NO.: 0011919398  
EXPIRATION DATE: 11.30.2022

**Document Record:**

Issued Date	Description
07/29/2021	ISSUED FOR PERMITS (SPECIAL USE PERMIT REVIEW)
08/10/2021	ISSUED FOR PERMITS (SPECIAL USE PERMIT REVIEW)

2401 W. Higgins Rd. Hoffman Estates, IL 60139  
 351 BRADWELL ROAD, HOFFMAN ESTATES, IL 60139  
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 Cell: (847) 757-1618  
 info@purohitarchitects.com  
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**PAU**  
 PUROHIT ARCHITECTS

*The Stonegate Banquets & Conference*  
2401 W. Higgins Rd., Hoffman Estates, IL

**STONEGATE**  
 ARCHITECTS

Issue Date: 08/10/2021  
 Scale: P24  
 Sheet: T1.0  
 TITLE SHEET  
 CODE DATA  
**T1.0**  
 PAI PROJECT NUMBER  
 21135.00

LEGEND

These standard symbols will be found in this drawing.

- Storm CB
San MH
San Catch Out
Water MH
Water Bubbler Box
Water Fire Hydrant
Water Hand Hose
Telephone Pedestal
Utility Pole
Electric Meter
Electric Light Pole
Electric Ground Light
Gas Meter
Gas Valve
Sign Post
Bumper Post
Auto Sprinkler
Iron Pipe
Cut Grass
A-ASPHALT ELEVATION
GR-GRAVEL ELEVATION
FFE-FINISHED FLOOR ELEVATION
WF-WALKWAY ELEVATION
X-CONCRETE ELEVATION
TOS-TOP OF SIGN ELEVATION
TOS-TOP OF SIGN ELEVATION
E-CHURCH ELEVATION
EL-ELEVATION
TIV-TOP OF WALL

GREMLEY & BIEDERMANN

A Division of
PLCS Corporation
1455 NORTH ELSTON AVENUE, CHICAGO, IL 60630
TELEPHONE: (773) 685-5102 EMAIL: INFO@PLCS-SURVEY.COM

PROFESSIONAL LAND SURVEYORS
Plat of Survey

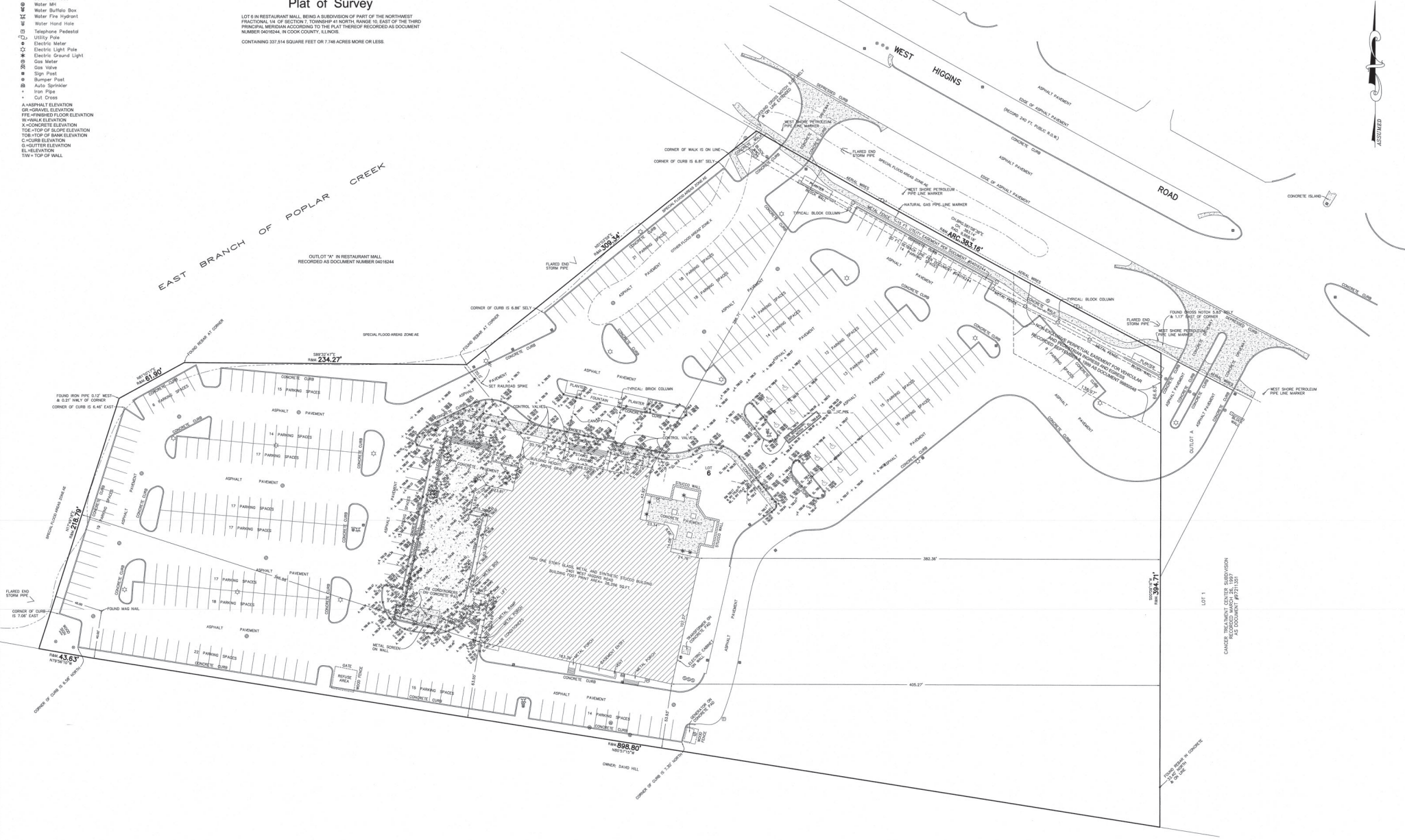
LOT 6 IN RESTAURANT MALL BEING A SUBDIVISION OF PART OF THE NORTHWEST
FRACCTIONS 1/4 OF SECTION 7, TOWNSHIP 41 NORTH, RANGE 10 EAST OF THE THIRD
PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT
NUMBER 28954 IN COOK COUNTY, ILLINOIS
CONTAINING 323,514 SQUARE FEET OR 7.346 ACRES MORE OR LESS

GRAPHIC SCALE



AS SHOWN

EAST BRANCH OF POPLAR CREEK
OUTLOT 'A' IN RESTAURANT MALL
RECORDED AS DOCUMENT NUMBER 9016284



ORDER BY: GREMLEY & BIEDERMANN
ADDRESS: 1455 NORTH ELSTON AVENUE, CHICAGO, IL 60630
TELEPHONE: (773) 685-5102 EMAIL: INFO@PLCS-SURVEY.COM
ORDER NO: 2021-28954-001
DATE: 07/13/2021
PAGE NO: 1 of 1

SURVEY NOTES
SURVEYOR'S LICENSE EXPIRES November 30, 2022
HORIZONTAL DATUM NAD83(2011)
VERTICAL DATUM NAVD83 (2011)
IN REFERENCE TO A CORS (Continuously Operating Reference Station) NETWORK
MAINTAINED BY NOAA CORP.
LATEST INFORMATION INCLUDING POSITIONS AND VELOCITIES ARE AVAILABLE IN THE
COORDINATE AND LOG FILES ACCESSIBLE BY ANONYMOUS FTP OR THE WORLDWIDE
WEB
Call DIGGER - (312) 744-7000 within the City of Chicago.
Outside of the City of Chicago call J.U.L.I.E. (800) 892-0123 prior to construction or excavation.

UTILITY WARNING
The underground utilities shown have been located from field survey information and existing
drawings. The surveyor makes NO guarantee that the underground utilities shown comprise all
utilities in the area, either in service or abandoned. The surveyor further does not warrant
that the underground utilities shown are in the exact location indicated although he does certify
that they are located as accurately as possible from information available. The surveyor has not
physically located the underground utilities.
Call DIGGER - (312) 744-7000 within the City of Chicago.
Outside of the City of Chicago call J.U.L.I.E. (800) 892-0123 prior to construction or excavation.

BENCH MARK
The underground utilities shown have been located from field survey information and existing
drawings. The surveyor makes NO guarantee that the underground utilities shown comprise all
utilities in the area, either in service or abandoned. The surveyor further does not warrant
that the underground utilities shown are in the exact location indicated although he does certify
that they are located as accurately as possible from information available. The surveyor has not
physically located the underground utilities.
Call DIGGER - (312) 744-7000 within the City of Chicago.
Outside of the City of Chicago call J.U.L.I.E. (800) 892-0123 prior to construction or excavation.

SURVEY NOTES
REGARDING TABLE A ITEM 3 FLOOD ZONE CLASSIFICATION (WITH PROPER
ANNOTATION BASED ON FEDERAL FLOOD INSURANCE RATE MAPS OR THE STATE OR
LOCAL EQUIVALENTS) DEPICTED BY SCALED MAP LOCATION AND GRAPHIC PLOTTING
ONLY.
PROPERTY APPEARS IN ZONE X, AREAS OF MINIMAL FLOOD HAZARD AREA, PER
FLOOD INSURANCE RATE MAP COOK COUNTY ILLINOIS, MAP NO. 170310-0313,
EFFECTIVE DATE AUGUST 19, 2008.
AND
PORTIONS OF THE PROPERTY APPEAR IN OTHER FLOOD AREAS ZONE X, AREAS OF
0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE
DEPTH OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE
MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.
AND
PORTIONS OF THE PROPERTY APPEAR IN SPECIAL FLOOD AREAS (SFPAS) SUBJECT
TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD ZONE AS, WITHOUT BASE FLOOD
ELEVATIONS DETERMINED.

STATE OF ILLINOIS
COUNTY OF COOK
WE, GREMLEY & BIEDERMANN, INC. HEREBY CERTIFY THAT WE HAVE SURVEYED THE
ABOVE DESCRIBED PROPERTY AND THAT THE PLAT HEREON DRAWN IS A CORRECT
REPRESENTATION OF SAID SURVEY CORRECTED TO A TEMPERATURE OF 62
FAHRENHEIT.
FIELD MEASUREMENTS COMPLETED ON JULY 1, 2021.
SIGNED ON JULY 1, 2021.
PROFESSIONAL LAND SURVEYOR NO. 2892
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM
STANDARDS FOR A BOUNDARY SURVEY.



**GENERAL NOTES-FLOOR PLAN**

1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
2. ADA ISSUES COMPLY TO THE ACCESSIBILITY CODE AS ESTABLISHED BY THE STATE.
3. THE GENERAL CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, APPROVALS, LICENSES AND CERTIFICATES TO COMPLETE THE PROJECT.
4. THE GENERAL CONTRACTOR SHALL CARRY WORKMAN'S COMPENSATION, PUBLIC LIABILITY, AND PROPERTY DAMAGE AND PAY FOR SAME.
5. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE START OF WORK. A COMPLETE LAYOUT AND SPECIFICATION OF ALL DIMENSIONS SHALL BE COMPLETED. VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO START OF DEMOLITION. REPORT ANY DISCREPANCIES AND/OR CONFLICTS TO THE ARCHITECT/FRANCHISOR'S PROJECT MANAGER PRIOR TO PROCEEDING WITH THE WORK.
6. THE GENERAL CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, AIR DUCTS, MECHANICAL EQUIPMENTS, METERS, PANELS, RFPZ VALVES, ETC. AND INDICATIONS OF PROPOSED CONNECTIONS TO SAME. ANY DISCREPANCIES AND/OR CONFLICTS SHALL BE REPORTED TO THE ARCHITECT/FRANCHISOR'S PROJECT MANAGER PRIOR TO PROCEEDING WITH THE WORK.
7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK, WHETHER PERFORMED BY HISHER FORCES OR SUBCONTRACTORS, AS WELL AS WORK COMPLETED BY FRANCHISOR OR OTHERS.
8. ALL CONTRACTORS WILL PROVIDE ADEQUATE BRACING AND/OR SHORING TO INSURE STRUCTURAL STABILITY OF THE BUILDING AND ALL RELATED BUILDING COMPONENTS I.E. STRUCTURE WALLS, INTERIOR WALL ASSEMBLIES, ETC. DURING THE CONSTRUCTION PHASE OF THIS PROJECT.
9. ALL MATERIALS USED WILL BE NEW AND BEAR U.L. LABELS WHERE REQUIRED AND MEET APPROPRIATE N.E.A.S. STANDARDS.
10. ALL CONTRACTOR WILL GUARANTEE ALL LABOR AND MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF ISSUE OF FINAL OCCUPANCY PERMIT AND OR AT THE FINAL PAY OUT FROM OWNER.
11. THE GENERAL CONTRACTOR SHALL MAINTAIN A CLEAN WORKSITE DURING CONSTRUCTION AND SHALL PROVIDE THROU GH FINAL CLEANING OF AREAS UNDER THIS CONTRACT PRIOR TO ACCEPTANCE BY OWNER.
12. THE GENERAL CONTRACTOR SHALL PROTECT ALL EXISTING SURFACES, MATERIALS, FIXTURES, EQUIPMENTS, ETC. SO THAT THEY WILL REMAIN FREE FROM DAMAGE DURING THE COURSE OF THE PROJECT. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE CAUSED BY HIMSELF OR HIS SUBCONTRACTORS DURING THE COURSE OF THE PROJECT. REPAIRS SHALL MATCH ADJOINING EXISTING MATERIALS SURFACES AND BE ACCEPTABLE TO THE OWNER, LANDLORD AND LOCAL BUILDING OFFICIALS.
13. THE GENERAL CONTRACTOR SHALL FURNISH AND INSTALL CONSTRUCTION BARRICADES AS REQUIRED AROUND AREAS OF CONSTRUCTION TO PROTECT THE SAFETY OF THE CUSTOMER, EMPLOYEES AND ALL OTHER USERS OF THE SPACE.
14. THE SIGN CONTRACTOR WHERE APPLICABLE SHALL BE RESPONSIBLE FOR SUBMITTING FOR AND OBTAINING ALL REQUIRED PERMITS AND APPROVALS FROM LOCAL CODE OFFICIALS AND LANDLORD PRIOR TO THE INSTALLATION.
15. EACH BIDDER SHOULD VISIT THE SITE AND FULLY ACCOUNT THEMSELVES WITH THE EXISTING CONDITIONS AND THE SCOPE OF THE PROJECT PRIOR TO SUBMITTING THEIR BIDS.
16. THE ARCHITECT SHALL NEITHER HAVE CONTROL OVER OR CHARGE OF NOR BE RESPONSIBLE FOR THE CONSTRUCTION METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK SINCE THESE ARE SOLELY THE GENERAL CONTRACTOR'S CONTRACTORS RIGHTS AND RESPONSIBILITIES UNDER THE CONTRACT DOCUMENTS.
17. GENERAL CONTRACTOR TO SCHEDULE PRE-CONSTRUCTION MEETING WITH OWNER, LANDLORD'S PROPERTY MANAGEMENT TEAM IF APPLICABLE PRIOR TO START OF ANY WORK.
18. CONTRACTOR SHALL CONTROL NOISE, VIBRATIONS (STEREOS) AT ALL TIMES AS REQUIRED BY THE LANDLORD.
19. FACILITIES TO BE REFINISHED TO LOOK LIKE NEW CONDITION.
20. REFER TO THE EQUIPMENT SCHEDULE FOR OWNER SUPPLIED, OWNER INSTALLED, E. EQUIPMENT, IF ANY PIECE OF EQUIPMENT IS NOT SPECIFICALLY LISTED, THAT IT SHALL BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR.
21. DO NOT SCALE DRAWINGS.

**DISABLED ACCESS NOTES**

1. ALL FLOOR MATERIALS SHALL BE SLIP-RESISTANT TO COMPLY WITH IAC 2018 VERSION.
2. ALL ACCESSIBILITY SIGNAGE SHALL COMPLY WITH IAC 2018 VERSION.
3. LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH/PULL ACTUATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPERATING HARDWARE. MOUNT DOOR OPERATING HARDWARE BETWEEN 36" AND 48" ABOVE FLOOR FINISH. CENTER HAND ACTIVATED DOOR OPERATING HARDWARE BETWEEN 36" AND 48" ABOVE THE FLOOR.
4. MAXIMUM PULL OR PUSH EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8.5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS. MEASURED AT RIGHT ANGLES TO HINGED DOORS AND AT CENTER PLANE OF SLIDING OR FOLDING DOORS. CORRESPONDING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. MAXIMUM EFFORT TO OPERATE REQUIRED DOOR DEVICES MAY BE INCREASED TO NOT EXCEED 5 POUNDS.
5. EVERY REQUIRED ENTRANCE OR PASSAGE DOORWAY SHALL BE NOT LESS THAN 36" IN WIDTH AND NOT LESS THAN 8' IN HEIGHT. DOORS SHALL BE CAPABLE OF OPENING AT LEAST 90 DEGREES AND SHALL BE SO MOUNTED THAT THE CLEAR WIDTH OF THE DOORWAY IS NOT LESS THAN 32" WHERE A PAIR OF DOORS IS UTILIZED AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR UNOBSTRUCTED OPENING WIDTH OF 32" WITH THE LEAF POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.
6. THE FLOOR OR LANDING ON EACH SIDE OF AN ENTRANCE OR PASSAGE DOOR SHALL BE LEVEL AND CLEAR. THE LEVEL AND CLEAR AREA SHALL HAVE A LENGTH IN THE DIRECTION OF DOOR SWING OF AT LEAST 60" AND THE LENGTH OPPOSITE THE DIRECTION OF DOOR SWING OF 48" AS MEASURED AT RIGHT ANGLES TO THE PLANE OF THE DOOR IN ITS CLOSED POSITION. FLOORS OR LANDINGS SHALL BE NOT MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN 1/2" AND 1/2" SHALL BE BELIEVED WITH A SLOPE NO GREATER THAN 1:2.
7. CENTER ELECTRICAL RECEPTACLE OUTLETS NOT LESS THAN 15" ABOVE THE FLOOR OR WORKING PLATFORM.
8. TOILET ROOM ACCESSORIES
  - 8.1. MOUNT BOTTOM EDGE OF MIRRORS/ REFLECTIVE SURFACE NO HIGHER THAN 40" FROM THE FLOOR.
  - 8.2. MOUNT TOILET TISSUE DISPENSERS BETWEEN 7 TO 9" FROM THE FRONT EDGE OF THE TOILET SEAT.
  - 8.3. MOUNT DISPENSING AND DISPOSAL FIXTURES (TOWEL, SANITARY WIPING, WASTE, CON SUETS, ETC.) WITH OPERATING PARTS NO HIGHER THAN 40" FROM THE FLOOR.
9. SINGLE ACCOMMODATION TOILET FACILITY
  - 9.1. WATER CLOSET TO HAVE A 2" CLEARANCE FROM A FIXTURE AND 32" FROM A WALL.
  - 9.2. MINIMUM CLEAR SPACE IN FRONT OF WATER CLOSET TO BE 48"
  - 9.3. A SPACE 36" X 48" IS FORMATED IN FRONT OF EXISTING WATER CLOSET ACCESSIBLE TO THE HANDICAPPED.
10. THE HEIGHT OF THE WATER CLOSET (TOP OF SEAT) SHALL BE BETWEEN 17" AND 19". MOUNT FLUSH VALVE CONTROL NO MORE THAN 48" ABOVE THE FLOOR. ON THE SIDE OF THE TOILET WITH THE GREATEST SEPARATION FROM ADJACENT WALL OR OTHER SURFACE.
  11. PROVIDE GRAB BARS ON EACH SIDE, OR ONE SIDE AND BACK WITH LOCAL CODE CLOSURE.
    - 11.1. GRAB BARS TO BE 33" ABOVE AND PARALLEL TO THE FLOOR.
    - 11.2. SIDE BARS TO BE 47" LONG AND PROJECT 24" IN FRONT OF WATER CLOSET STUOL. GRAB BARS AT BACK TO BE 36" LONG.
    - 11.3. DIAMETER OF GRAB BARS TO BE 1-1/4" TO 1-1/2".
    - 11.4. PROVIDE 1-1/2" CLEARANCE BETWEEN GRAB BARS AND WALL.
    - 11.5. GRAB BARS (INCLUDING CONNECTIONS, FASTENERS, SUPPORT BANDING, ETC.) SHALL SUPPORT A 250 POUND LOAD.
    - 11.6. GRAB BARS SHALL NOT ROTATE WITH THEIR FITTINGS.
    - 11.7. GRAB BARS AND ANY ADJACENT SURFACE SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS.
    - 11.8. EDGES SHALL HAVE A MINIMUM RADIUS OF 18".
12. PROVIDE A CLEAR FLOOR SPACE 30" X 48" IN FRONT OF LAVATORY TO PERMIT A FORWARD APPROACH. MOUNT LAVATORIES WITH A MINIMUM CLEARANCE OF 28" FROM THE FLOOR TO THE BOTTOM OF THE ARM. PROVIDE MINIMUM CLEARANCE UNDER THE FRONT UP EXTENDING A MINIMUM OF 30" IN WIDTH WITH 8" MINIMUM WIDTH, AND SHALL BE A MINIMUM OF 9" HIGH FROM THE FLOOR. A MINIMUM OF 17" DEEP FROM THE FRONT OF THE LAVATORY. INSULATE OR OTHERWISE COVER HOT WATER AND DRAIN PIPES UNDER LAVATORIES. THESE SHALL BE NO SHARP OR ABRASIVE SURFACE UNDER LAVATORIES.
13. FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE BOTTOM OF THE OPERATING CONTROLS SHALL BE NO GREATER THAN 5 POUNDS. LEVER OPERATED, PUSH TYPE AND ELECTRICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGN. SELF-CLOSING ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.

**ENERGY CONSERVATION NOTES**

1. ALL COMMERCIAL BUILDING NEED TO COMPLY WITH THE REQUIREMENTS OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE, CHAPTER 8.
2. PROVIDE LEVEL SWITCHING OR OCCUPANT-SENSING DEVICES IN ALL AREAS WITH MORE THAN 1 LUMINAIRE, OTHER THAN CORRIDORS, STOREROOMS OR BATHROOMS IN ACCORDANCE WITH THE ILLINOIS ENERGY CONSERVATION LAW (2018 IEC).  
 3. THE THERMOSTAT SHALL BE PROGRAMMABLE AND SHALL HAVE SETBACK CAPABILITIES (2018 IEC).

**FLOOR PLAN NOTES**

1. DIMENSIONS SHOWN ARE TO THE FACE OF FINISH, UNLESS OTHERWISE NOTED.
2. DIMENSIONS SHOWN ON THIS PLAN ARE FOR GUIDANCE ONLY. CONTRACTOR TO COORDINATE ALL REQUIRED DIMENSIONS FOR SITE SPECIFIC LOCATIONS.
3. PROVIDE ADEQUATE BRACING AT THE SHELVING, 3 COMPARTMENT SINK, T AND S SPRAY BRACKET, POT RACK, HAND SINKS, MOP SINK FAUCETS, GRAB BARS, LAVATORIES, HAND DRYERS, MIRRORS, PAPER TOWEL DISPENSERS, SOAP DISPENSERS, OTHER ACCESSORIES AS REQUIRED, UNLESS OTHERWISE NOTED.
4. FURNISH AND INSTALL FIRESTOPS IN ALL RATED/NON-RATED VERTICAL AND HORIZONTAL ASSEMBLIES AS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
5. ALL FLOOR DRAINS AND FLOOR SINKS SHOWN ON THIS PLAN RELATE TO SPECIFIC EQUIPMENT ITEMS. GENERAL FLOOR DRAINS FOR CLEANING PURPOSES OR AS REQUIRED BY LOCAL CODE ARE NOT SHOWN ON THIS DRAWING.
6. ALL PARTITIONS, CEILING, LIGHT FIXTURES, DUCT WORK, ETC. SHALL BE BRACED TO BUILDING STRUCTURE IN A WAY ACCEPTABLE TO LOCAL CODE OFFICIALS TO RESIST LOCAL SEISMIC LOADING.
7. ALL NEW AND EXISTING HOT WATER LINES SHALL BE INSULATED. THE CONTRACTOR SHALL PROVIDE PROTECTIVE PPE COVERS FOR ALL EXPOSED PIPING UNDER NEW AND EXISTING HAND SINK (TYPICAL) PPE COVERS FINISH SHALL BE WHITE IN COLOR.
8. ALL FLOOR AND FLOORCEILING PENETRATIONS IF APPLICABLE SHALL BE SLEEVED AND SEALED COMPLETELY IN A WAY ACCEPTABLE TO THE LANDLORD/OWNER AND TO THE LOCAL BUILDING OFFICIALS.
9. ALL RETURN AIR GRILLES SHALL BE COVERED AT ALL TIMES DURING CONSTRUCTION, TYPICAL.
10. CONTRACTOR SHALL INSTALL ALL RESTROOM DISPENSER FURNISHED BY THE OWNER.

**DEMOLITION NOTES**

1. COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
2. PROVIDE AND MAINTAIN BARRICADES, LIGHTING, AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
3. PROVIDE SHORING, BRACING, AND SUPPORT AS NEEDED TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF THE STRUCTURE ELEMENTS THAT IS TO REMAIN. PROTECT EXISTING ADJACENT FINISH WORK THAT IS TO REMAIN IN PLACE.
4. ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS IF REQUIRED TO PREVENT SPREAD OF DUST, FLAMES, AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. ON COMPLETION, REMOVE PARTITIONS AND REPAIR/DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
5. REMOVE FROM SITE ALL AND LEGALLY DISPOSING OF REFUSE, DEBRIS, RUBBER, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
6. REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT, AND FIXTURES AS REQUIRED FOR NEW WORK.
7. REMOVE ALL ABANDONED HVAC EQUIPMENT, INCLUDING DUCT WORK.
8. REMOVE ALL ABANDONED ELECTRICAL FIXTURES AND PHONE AND DATA CABLES AND DEVICES, UNLESS OTHERWISE NOTED.
9. REMOVE EXISTING FLOOR FINISHES AND PREPARE SUBFLOOR AS REQUIRED TO RECEIVE NEW FLOOR FINISHES.
11. TERMINATE AND CAP ALL ABANDONED PLUMBING LINES.

**FINISH NOTES**

1. THE FLAME SPREAD OF ALL INTERIOR FINISHES SHALL BE LESS THAN 200 PER TABLE 8.03, INTERNATIONAL BUILDING CODE.
2. ENSURE SURFACES TO RECEIVE FINISHES ARE CLEAN, TRUE, AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
3. REPAIR EXISTING SURFACES TO REMAIN AS REQUIRED FOR APPLICATION OF NEW FINISHES.
4. PROVIDE STRAIGHT, FLUSH RESILIENT BASE AT CARPETED AREAS, AND COVERED, TOP SET RESILIENT BASE AT RESILIENT FLOORING, UNLESS OTHERWISE NOTED.

**REFLECTED CEILING NOTES**

1. DESIGN SUSPENDED CEILING FRAMING SYSTEMS TO RESIST A LATERAL FORCE OF 20% OF THE WEIGHT OF THE CEILING ASSEMBLY AND ANY LOADS TRANSFERRED TO THE SYSTEM. USE A MINIMUM CEILING WEIGHT OF 5 POUNDS PER SQUARE FOOT TO DETERMINE THE LATERAL FORCE.
2. WHERE CEILING LOADS DO NOT EXCEED 5 POUNDS PER SQUARE FOOT AND WHERE PARTITIONS ARE NOT CONNECTED TO THE CEILING SYSTEM, THE FOLLOWING BRACING METHODS MAY BE EMPLOYED:
  - 2.1. PROVIDE LATERAL SUPPORT BY FOUR WIRES OF MINIMUM NO. 12 GAUGE GALVANIZED FOUR DIRECTIONS 90 DEGREES APART, AND CONNECTED TO THE MAIN RUNNER WITHIN 2" OF THE CROSS RUNNER AND TO THE STRUCTURE ABOVE AT AN ANGLE NOT EXCEEDING 45 DEGREES FROM THE PLANE OF THE CEILING. PROVIDE THESE LATERAL SUPPORT POINTS 12 FEET ON CENTER IN EACH DIRECTION, WITH THE FIRST POINT WITH 4" FROM EACH WALL.
  - 2.2. ALLOW FOR LATERAL MOVEMENT OF THE SYSTEM. ATTACH MAIN RUNNERS AND CROSS RUNNERS AT TWO ADJACENT WALLS. MAINTAIN CLEARANCE BETWEEN THE WALL AND THE RUNNERS AT THE OTHER TWO WALLS.
  - 2.3. PROVIDE VERTICAL SUPPORT AS REQUIRED IN BUILDING CODES. IN ADDITION, VERTICALLY SUPPORT ENDS OF RUNNERS WITHIN 8" OF DISCONTINUITIES SUCH AS ANY OCCUR WHERE THE CEILING IS INTERRUPTED BY A WALL.
  - 2.4. SUPPORT LIGHT FIXTURES AND AIR DIFFUSERS DIRECTLY BY WIRES TO THE STRUCTURE ABOVE.
3. LOCATE REGISTERS AND LIGHTING FIXTURES WITHIN GRID LINES. CENTER SPRINKLER HEADS, SPEAKERS, RECESSED FIXTURES, AND SIMILAR CEILING ELEMENTS IN ACCURATE UNITS, UNLESS OTHERWISE NOTED.
4. FINISH HVAC DIFFUSERS; MATCH ADJACENT FINISH, UNLESS OTHERWISE NOTED.
5. ALL RECESSED "DROP-IN" CEILING LIGHT FIXTURES SHALL BE SECURED TO BAR STUDS OR THE DECK ABOVE BY A MINIMUM OF 2 SUSPENSION WIRES AT OPPOSITE ENDS OF EACH FIXTURE.

**HEALTH & SANITATION NOTES**

1. VERIFY THAT ALL OPEN WIRE SHELVING UNITS, WALL SHELF, PREP TABLES ARE NSF STAINLESS STEEL AND DUNNAGE RACKS IN WALK-IN FREEZER, IF ANY ARE TO BE HEAVY DUTY NSF APPROVED.
2. PROVIDE SEPARATE DESIGNATED WATERLINES WITH A TESTABLE RFPZ (REDUCED PRESSURE ZONE BACKFLOW DEVICE) FOR ANY CHEMICAL FEEDS AT JANITORIAL SINK OR COMPARTMENT SINK.
3. PROVIDE WATTS NP (DUAL CHECK WITH A VENT BACKFLOW DEVICE) ON PRE-RISE SPRAYERS.
4. PROVIDE ALL THE CABINERY IN THE SEVERITY WITH HIGH STAINLESS STEEL LEGS OR OPEN TO FLOOR DESIGN PER LOCAL HEALTH DEPARTMENT'S REQUIREMENTS.
5. EXISTING NEW WALK-IN FREEZER, IF ANY SHALL HAVE A VAPOR PROOF FLOURESCENT FIXTURE WITH COLD TOLERANT BALLASTS WITH QUICK STARTS OR MULTIPLE FLUORESCENT LIGHTS.
6. BOTTLED BEVERAGES AND MISCELLANEOUS ITEMS NEED TO BE STORED AT LEAST 6 INCHES OFF THE FLOOR.
7. PROVIDE BACK SPLASH (SOLID SURFACE OR STAINLESS STEEL) AT ANY CABINERY USED FOR FOOD PREPARATION.
8. ALL EQUIPMENTS IN THE KITCHEN SHALL ADHERE TO THE FOOD ESTABLISHMENT PLAN REVIEW GUIDE 2000 SECTION 3, AS PUBLISHED BY THE FOOD AND DRUG ADMINISTRATION.

**CABINERY INSTALLATION NOTES**

1. PROVIDE SHOP DRAWINGS FOR ALL THE BUILT-IN CASEHORN/ MILLWORK TO THE ARCHITECT FOR FINAL APPROVAL BEFORE MANUFACTURING OR INSTALLING IT.
2. INTERIOR OF ALL CABINETS - EXCEPT WHERE NOTED TO BE WHITE LAMINATE.
3. SECURELY ATTACH WORK TO BUILDING ELEMENTS IN ACCORDANCE WITH WITH APPROVED SHOP DRAWINGS AND/OR INSTALLATION MANUAL. PROVIDE FASTENERS APPROPRIATE FOR CONDITION OF USE.
4. PROVIDE ALL UTILITIES IN FIXTURES NECESSARY TO ACCOMMODATE ELECTRICAL, TELEPHONE, MECHANICAL, OR PLUMBING EQUIPMENT.
5. INSTALL ALL FINISH WORK USING CONCEALED FASTENERS TO FALLEST EXTENT POSSIBLE.
6. WHERE SURFACE NAILING IS UNAVOIDABLE, SET NAIL HEADS APPROXIMATELY 3/32" BELOW SURFACE. FILL WITH COLOR MATCHING FILLER FOR ADJACENT MATERIAL.
7. CUT JOINTS ACCURATELY TO A HARLINE FIT. MITER EXTERNAL CORNERS, COPE INTERNAL CORNERS. FILL SAND SMOOTH ALL JOINTS TO AN INVISIBLE CONDITION. PRIME SURFACE FOR PAINT.
8. IDENTIFY KEYS FOR LOCKING HARDWARE, AND DELIVER KEYS TO OWNER.
9. PROVIDE REQUIRED BLOCKING PER MANUFACTURERS INSTRUCTIONS FOR ALL FIXTURES BEFORE ANY INSTALLATION.

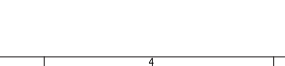
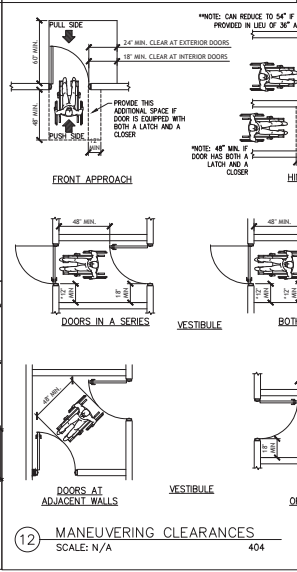
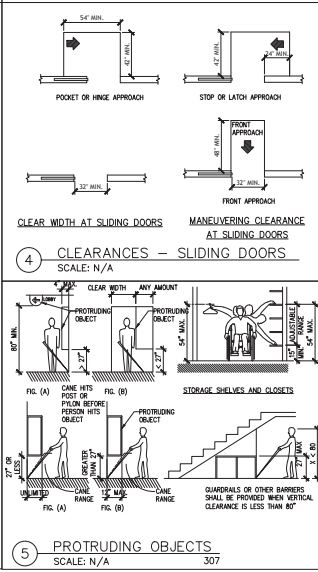
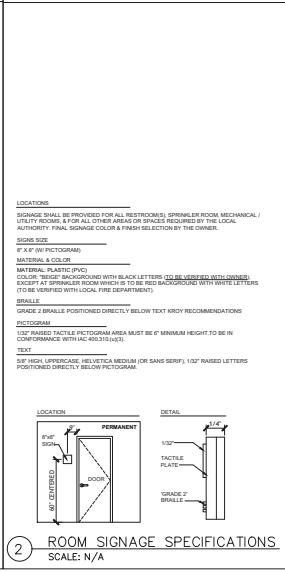
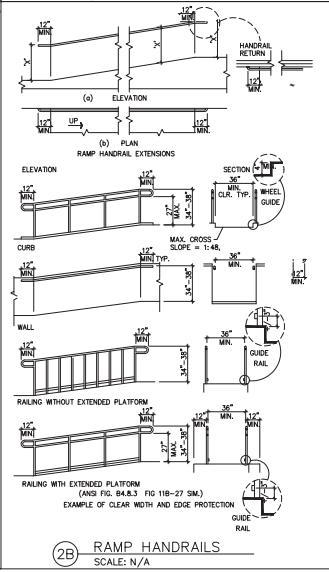
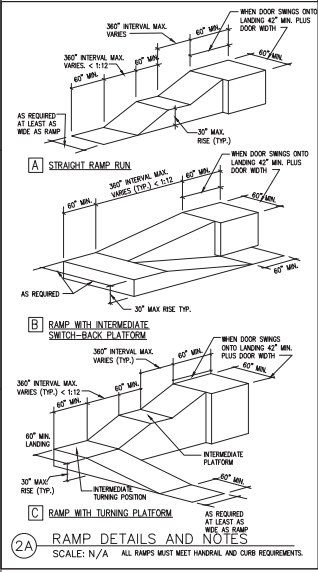
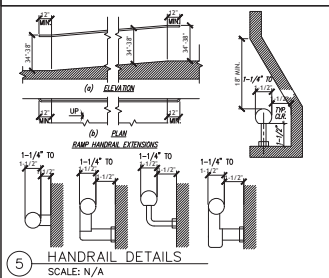
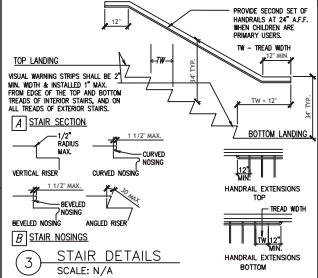
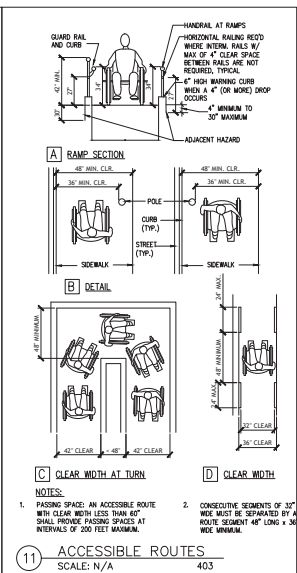
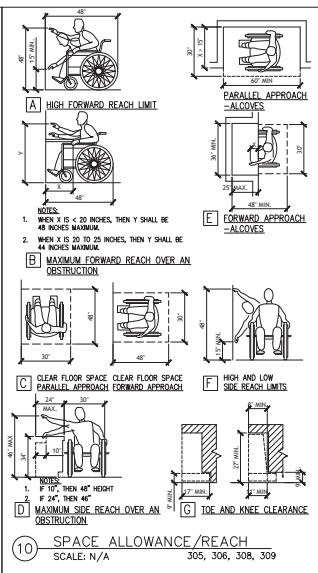
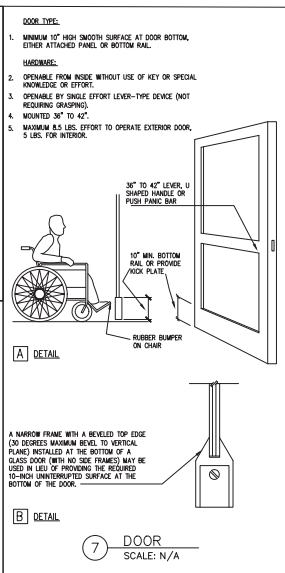
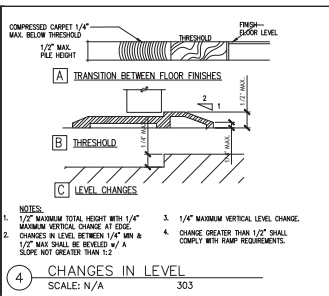
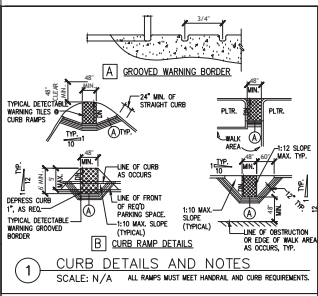
**FIRE DEPARTMENT NOTES**

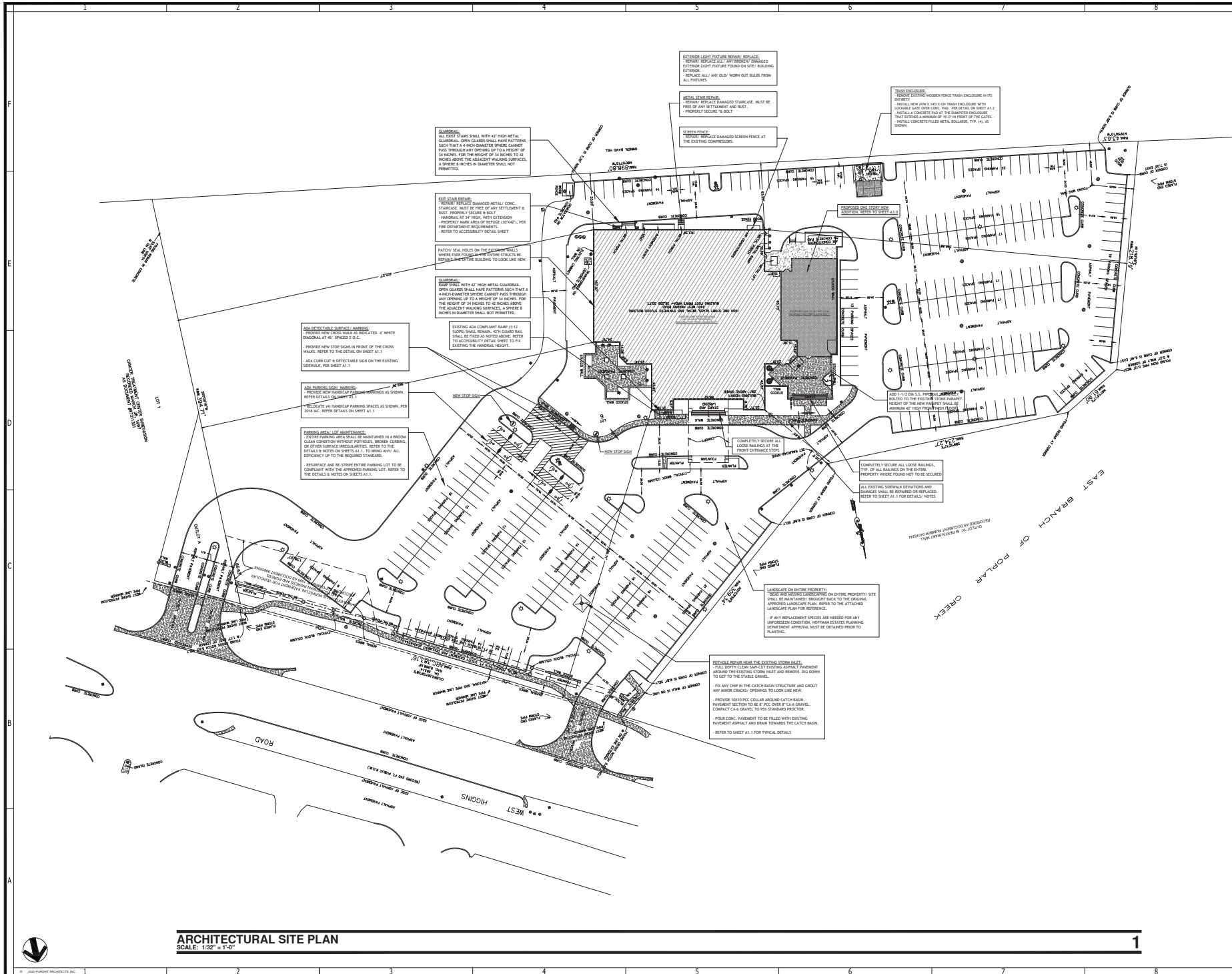
1. ALL EGRESS DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT (IBC 10B.1). SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE. ALL NEW DOORS SHALL HAVE APPROVED LEVER HANDLES.
2. THE MEANS OF EGRESS SHALL BE ILLUMINATED SUCH THAT THE INITIAL ILLUMINATION LEVEL IS AT LEAST AN AVERAGE OF ONE FOOT CANDLE MEASURED ALONG THE PATH OF TRAVEL AT THE FLOOR LEVEL. PROVIDE BATTERY BACK-UP DEVICES TO ILLUMINATE THE MEANS OF EGRESS ON ALL LEVELS AS INDICATED. DEVICES IN TOILET ROOMS MUST BE DOUBLE HEAD TYPE AND PER THE 2011 NEC, ALL DEVICES SHALL BE LED TYPE.
3. PROVIDE MINIMUM OF 1 FOOT CANDLE OF EMERGENCY LIGHTING AT THE FLOOR LEVEL ALONG ALL AREAS OF THE EGRESS CORRIDOR (WITHIN THE PROVIDED AREA OF CONSTRUCTION).
4. PROVIDE EXIT SIGN WITH 8" LETTERS OVER REQUIRED EXITS, WHERE SHOWN ON DRAWINGS, AND ADDITIONAL SIGNS AS REQUIRED BY FIRE PREVENTION BUREAU. CONNECT EXIT SIGNS TO EMERGENCY POWER CIRCUITS.
5. EXIT SIGNS AND EMERGENCY LIGHTING ARE TO BE BATTERY BACK-UP TYPE. MINIMUM MINUTE: ALL EMERGENCY EXIT AND EGRESS LIGHTING LOCATIONS SHALL MEET THE REQUIREMENTS OF THE 2012 IBC, SECTIONS 1000.1011 & 1210. AND 2012 IBC SECTION 1027.1. MINUTE.
6. MAINTAIN ASLETS AT LEAST 44" WIDE AT PUBLIC AREAS.
7. EXIT DOORS SHALL SWING IN THE DIRECTION OF TRAVEL WHEN SERVING SO OR MORE PERSONS AND IN ANY HAZARDOUS AREA.
8. STORAGE, DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS, FLAMMABLE GAS AND HAZARDOUS SUBSTANCES SHALL COMPLY WITH NATIONAL FIRE CODE REGULATIONS.
9. BRANCH CIRCUIT FEEDING THE EMERGENCY LIGHTS SHALL BE THE SAME BRANCH CIRCUIT AS THAT FEEDING THE NORMAL LIGHTING FIXTURES IN THE AREA.
10. PROVIDE FIRE DAMPERS OR DOORS WHERE AIR DUCTS PENETRATE FIRE-RATED WALLS OR CEILING.
11. WOOD BLOCKING SHALL BE FIRE TREATED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS.
12. LOCATE THE CENTER OF FIRE ALARM INITIATING DEVICES 48" ABOVE THE LEVEL OF THE FLOOR, WORKING PLATFORM, GROUND SURFACE OR SIDEWALK, UNLESS OTHERWISE NOTED.
13. EMERGENCY WARNING SYSTEMS SHALL ACTIVATE A MEANS OF WARNING THE HEARING IMPAIRED. FLASHING VISUAL WARNING SHALL HAVE A FREQUENCY OF NOT MORE THAN 80 FLASHERS PER MINUTE.

**FIRE EXTINGUISHER NOTES**

1. THE CLASSIFICATION AND RATING OF FIRE EXTINGUISHERS AND THEIR INSTALLATION SHALL BE IN THE MANNER PRESCRIBED IN NFPA 96, STANDARD FOR THE INSTALLATION OF PORTABLE FIRE EXTINGUISHERS, PUBLISHED BY THE NATIONAL FIRE PROTECTION ASSOCIATION IN 1971. THE LOCAL JURISDICTION CONTRACTOR TO VERIFY WITH FIRE MARSHAL.
2. FINAL LOCATIONS & TYPE OF EXTINGUISHERS SHALL BE FIELD VERIFIED WITH LOCAL JURISDICTION & THE FIRE PREVENTION BUREAU.
3. PROVIDE MULTIPURPOSE DRY CHEMICAL (ABC) FIRE EXTINGUISHER WITH 10 LB CAPACITY AND A W.L. RATING NO LESS THAN 3-B, B-C, AND 4. 30RHS AS MANUF. BY GRANGER OR SIMILAR. VERIFY WITH FIRE PREVENTION BUREAU.
- 3.1. ONLY FIRE EXTINGUISHERS WITH A GLASS CRYSTAL BALL SHALL BE INSTALLED FOR USE UPON FINISH ELECTRICAL EQUIPMENT CONTRACTOR TO VERIFY WITH FIRE PREVENTION BUREAU.
- 3.2. IN HAZARDOUS CHEMICAL ROOMS, THE NATURE OF THE CHEMICAL CONTENTS OF SUCH ROOMS SHALL DETERMINE THE EXTINGUISHER REQUIREMENTS.
4. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH 75 FOOT TRAVEL DISTANCE TO ALL PORTERS OF THE BUILDING ON EACH FLOOR, AND ADDITIONAL EXTINGUISHERS AS REQUIRED BY FIRE PREVENTION BUREAU INSPECTOR OR BUILDING SPT INSPECTOR.
5. FIRE EXTINGUISHERS SHALL BE INSTALLED SO THAT THE HANDLE IS LOCATED NO MORE THAN 48" ABOVE THE FLOOR AND BE READILY IDENTIFIED AND ACCESSIBLE.
6. PROVIDE THE SIGNS AT ALL THE FIRE EXTINGUISHERS (OR AT THE LEAST WHERE AN EXTINGUISHER IS LIKELY TO BE OBTAINED BY PILES OF STOCK OR OTHERWISE), SIGNS SHALL BE WHITE WITH RED TYPE HAVE A PICTOGRAM OF A FIRE EXTINGUISHER, CHOOSE PRESSURE SENSITIVE OR RIGID PLASTIC, DEPENDS ON PREFERENCE. ENVIRONMENT. PROVIDE GLOW-IN-THE-DARK VARIANTS IN THE CORRIDORS.
7. EVERY REQUIRED (OR NON REQUIRED) FIRE, WHEN INSTALLED SHALL BE FULLY CHARGED AND READY FOR IMMEDIATE USE.







**ARCHITECTURAL SITE PLAN**  
SCALE: 1/32" = 1'-0"

**Document Record:**

Issue Date	Description
07/20/2017	ISSUE FOR PERMITS - SPECIALIST STAFF REVIEW-1
08/16/2017	ISSUE FOR PERMITS - SPECIALIST STAFF REVIEW-2
08/16/2017	ISSUE FOR PERMITS - SPECIALIST STAFF REVIEW-3

PAI PROJECT NUMBER: 21135.00  
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 2401 W. Higgins Rd., Hoffman Estates, IL

**STONEGATE**  
 ARCHITECTURAL  
 SITE PLAN

Issue Date: 08/10/2017  
 Scale: 1/32" = 1'-0"  
 Sheet: ARCHITECTURAL SITE PLAN  
**A1.0**  
 PAI PROJECT NUMBER: 21135.00

These drawings may have been reproduced at a scale different than originally drawn. Owner and Architect assume no responsibility for use of incorrect scale. Do not scale drawings. Contractor shall verify all existing conditions prior to proceeding with construction and notify architect immediately of any discrepancies or conflicts.

**PARKING STRIPING NOTES**

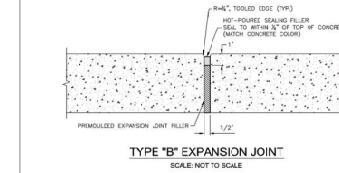
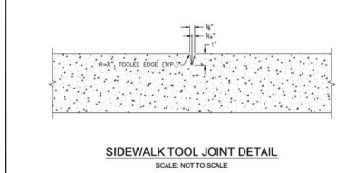
1. PARKING SPACES ARE 9' WIDE BY 17' 0" LONG TO THE FACE OF CURB & GUTTER. HANDICAP SPACES ARE 16' 0" WIDE.
2. REFER TO THE PLAN FOR ACCESSIBLE PARKING STRIPING.
3. MARKING PAINT SHALL BE HIGH QUALITY TRAFFIC PAINT INTENDED FOR STRIPING ASPHALT PARKING LOTS.
4. COLOR: WHITE.
5. WIDTH: 4" FOR 10' SPACES; 5" FOR 8' SPACES.
6. CROSSOVERS: 400 FEET PER GALLON PER FOOT ARTICLE 702.
7. THE HANDICAP ACCESS AREA SHALL HAVE A 4% GRADE. 4" YELLOW YELLOW DIAGONAL STRIPING.
8. COLOR: ALL CURB MARKS WITH YELLOW.
9. ALL SIGNS MUST BE INSTALLED AT A 7° MOUNTING HEIGHT AND CONFORMING TO MVD.

**CONCRETE NOTES**

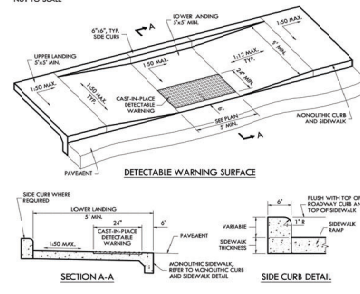
1. CLEAN FULL DEPTH SAWCUT THROUGH EXISTING SIDEWALK & REINFORCE SCHEDULED FOR REMOVAL. REPLACE TO MATCH EXISTING.
2. SUBGRADE BASE COURSE FOR NEW SIDEWALK SHALL CONSIST OF 4" SAND BASE.
3. CONCRETE SIDEWALK PAVEMENT SHALL CONSIST OF MINIMUM 7" THICK 2" ALL CONCRETE SHALL BE MINIMUM 5000 PSI.
4. CONCRETE AND BASE COURSE SHALL BE IN ACCORDANCE WITH SECTION 020 STANDARD SPECIFICATIONS.
5. SIDEWALK CROSS CURVES SHALL BE 1/2" RADIUS. 1/2" RADIUS. 1/2" RADIUS.
6. HANDICAP ACCESS MARKS SHALL BE 1/2" MINIMUM. 1/2" MINIMUM. 1/2" MINIMUM.
7. ALL 7" RADIUS CURVES SHALL BE REINFORCED WITH THE NEW PAVEMENT OR SIDEWALK ABOUT ANY BUILDING CONNECTION JOINTS SHALL BE SAWN CUT WITH A MINIMUM OF TWO INCHES DEEP WITH A 1/2" MINIMUM CONCRETE REINFORCEMENT. REFER TO SECTION 020 FOR CONCRETE REINFORCEMENT. REFER TO SECTION 020 FOR CONCRETE REINFORCEMENT.
8. ALL CURB SHALL BE 4" HIGH UNLESS OTHERWISE NOTED. AREA OF BARBER CURB ONLY 4" HIGH. GUTTER SHOWN ON PLANS SHALL BE 4" HIGH UNLESS OTHERWISE NOTED. PLACE PROTECTIVE STRIPS ON CURB TO PREVENT DAMAGE TO CURB TOP SURFACE WHERE THE SIDEWALK CROSSES TRENCHES.
9. CONTRACTOR AND OWNER THESE STRUCTURES SHALL BE SAWN CUT SPACES WITH A THREE FOOT MINIMUM LENGTH PER LINE OF 'C' BETWEEN CONTRACTOR JOINTS IN CURB OR SIDEWALK.
10. MINIMUM 8" 'C' BETWEEN CONTRACTOR JOINTS IN CURB OR SIDEWALK.

**ASPHALT NOTES**

1. FINISH PAVEMENT TO REMAIN. MILL SURFACE COURSE AND REFINISH THE ENTIRE PARKING LOT.
2. MAINTAIN THE ORIGINAL PERMITTED EXISTING GRADING.
3. INCREASES OF THE COURSE OF SURFACE COURSE OVER EXISTING SURFACE COURSE MAY VARY BASED ON THE GRADES SHOWN ON THE PERMITTED GRADING PLAN.
4. TRANSITION SPACES CHANGED TO THE SPECIFICATIONS.
5. MARKING PAINT SHALL BE HIGH QUALITY TRAFFIC PAINT INTENDED FOR STRIPING ASPHALT PARKING LOTS. COLOR SHALL BE YELLOW. WIDTH: 4" FOR 10' SPACES; 5" FOR 8' SPACES. 400 FEET PER GALLON PER FOOT ARTICLE 702.
6. ASPHALT SECTIONS AS DETAILLED ON PERMITTED DRAWINGS.

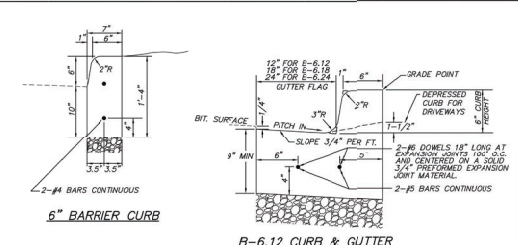


**ACCESSIBLE RAMP DETAIL MONOLITHIC CURB AND SIDEWALK APPLICATION**



**GENERAL NOTES**

1. DETECTABLE WARNING SURFACE SHALL CONSIST OF BASES TRUNCATED DOME AND SHALL CONFORM TO THE DETAILS IN THE PLAN AND IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. ALL DETECTABLE WARNING SURFACES SHALL BE 4" FROM THE COMPLETE WIDTH OF THE RAMP AREA IN EACH DIRECTION.
3. 2" DIA. CONTRAST 5" SPACING. THE COLOR SHALL BE AN INDICATOR OF THE DETECTABLE WARNING SURFACE. COLOR SHALL BE SUBJECT TO APPROVAL BY LOCAL AUTHORITIES.
4. THE CONTRACTOR SHALL PROVIDE A 1/2" RAMP FOR CURB ON EACH SIDE APPLICATION, OR TO CLEAR A SMOOTH RAMP FOR CURB ON EITHER SIDE OF THE RAMP. THE RAMP SHALL BE REINFORCED IN THE CURB OF THE CONCRETE CURB RAMP. THE CURB SHALL BE REINFORCED WITH 2" DIA. BARS AT 12" ON CENTER. THE CURB SHALL BE REINFORCED WITH 2" DIA. BARS AT 12" ON CENTER. THE CURB SHALL BE REINFORCED WITH 2" DIA. BARS AT 12" ON CENTER.
5. WIDTH OF RAMP AREA OR AS CALLED OUT ON PLAN (3 FEET MINIMUM).
6. ALL BARS AND DETECTABLE WARNING SHALL BE ADJUSTED PERPENDICULAR TO THE CURB AT THE BUILT CONTACT POINT. SEE PLAN FOR BUILT CONTACT POINT.

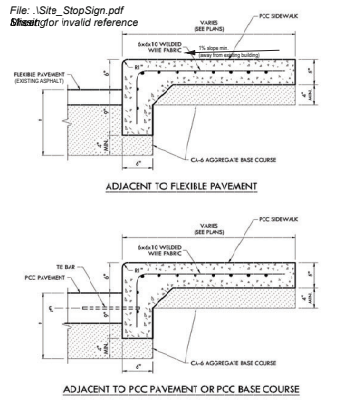


**GENERAL NOTES**

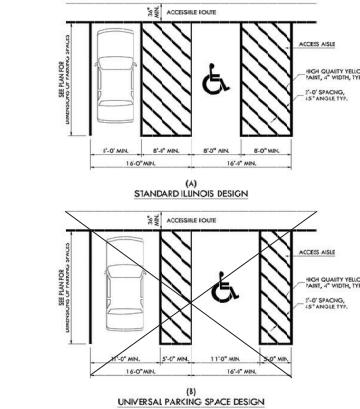
1. TAPER CURB TO 5"-0" EACH SIDE OF INLET WITH EXPANSION JOINTS.
2. CONTRACTOR JOINTS TO BE TOOLED OR SAWCUT EVERY 15' TO A MINIMUM DEPTH OF 1 1/2".
3. MINIMUM 4" CA3 CRUSHED STONE BEDDING UNDER ALL CURBS.
4. ONLY CLASS 'SI' CONCRETE SHALL BE USED.
5. DEPRESSURE CURB FOR SIDEWALK RAMPS SHALL BE 0.5 INCHES IN HEIGHT.

CURB DETAILS					
SCALE	TITLE	NO.	REVISIONS	BY	DATE
SCALE	SCALE	NO.	NO.	NO.	NO.
DATE	DATE	NO.	NO.	NO.	NO.
DESIGNER	DESIGNER	NO.	NO.	NO.	NO.
VILLAGE OF HOFFMAN ESTATES FILE NAME: SHEET NO. 1 OF 1					

**MONOLITHIC CURB AND SIDEWALK**



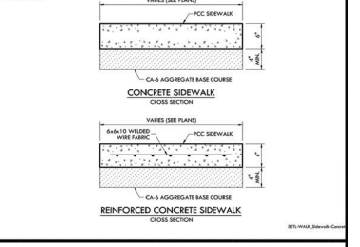
**ACCESSIBLE PARKING SPACE**



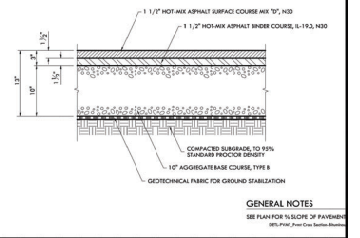
**ACCESSIBLE PARKING SIGN**



**CONCRETE SIDEWALK**



**BITUMINOUS PAVEMENT CROSS SECTION**



**GENERAL NOTES**

1. THICKNESS OF PAVEMENT SECTION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING SIDEWALK AND CURB AND REINFORCE TO MATCH EXISTING.
3. THE FINISH GRADE SHOWN IN THIS SECTION IS THE FINISH GRADE OF THE SURFACE OF THE CURB AND SHALL BE IMPROVED TO THE FINISH GRADE SHOWN IN THIS SECTION.
4. ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE SPECIFIED.

**GENERAL NOTES**

1. THE FINISH GRADE SHOWN IN THIS SECTION IS THE FINISH GRADE OF THE SURFACE OF THE CURB AND SHALL BE IMPROVED TO THE FINISH GRADE SHOWN IN THIS SECTION.
2. ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE SPECIFIED.

**GENERAL NOTES**

1. SEE PLAN FOR FINISH GRADE.
2. SEE PLAN FOR FINISH GRADE.

**Document Record:**

Issue Date	Description
07/20/2021	ISSUED FOR PERMITS (STAFF REVIEW)
08/10/2021	ISSUED FOR PERMITS (STAFF REVIEW)
08/10/2021	ISSUED FOR PERMITS (STAFF REVIEW)

PAU PROJECT NUMBER: 21135.00

**PAU**  
PUROHIT ARCHITECTS

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*The Stonegate Banquets & Conference*  
2401 W. Higgins Rd., Hoffman Estates, IL

**STONEGATE**  
CONSTRUCTION SERVICES

Issue Date: 08/10/2021  
Drawn By: J. PAU  
Sheet: TYPICAL SITE CONSTRUCTION DETAILS  
**A1.1**  
PAU PROJECT NUMBER: 21135.00

Table with columns: Issue Date, Description, Staff Reviewer. Includes entries for 07/20/2017 and 08/10/2017.

PA PROJECT NUMBER 21135.00



251 BRADWELL ROAD, INVERNESS, FL 32050. Tel: (847) 228-8037. Call: (847) 757-6618. info@purohitarchitects.com www.purohitarchitects.com

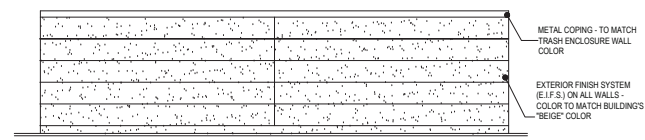
The Stonegate Banquets & Conference 2401 W. Higgins Rd., Hoffman Estates, IL



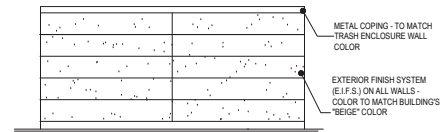
Issue Date: 08/10/2017. Scale: AS SHOWN. Sheet: 1 of 2.

Sheet: TYPICAL SITE CONSTRUCTION DETAILS A1.2

PAI PROJECT NUMBER 21135.00

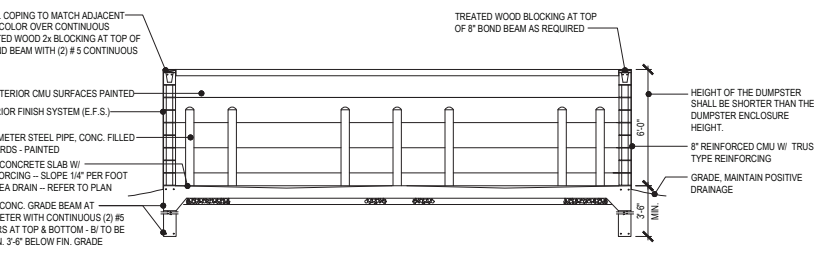


16 TRASH ENCLOSURE REAR ELEVATION

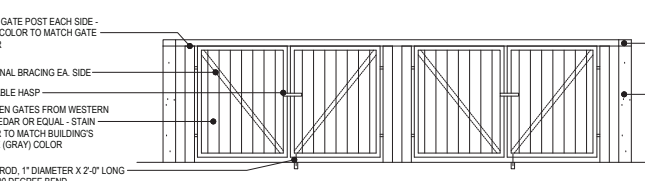


10 TRASH ENCLOSURE SIDE(S) ELEVATION

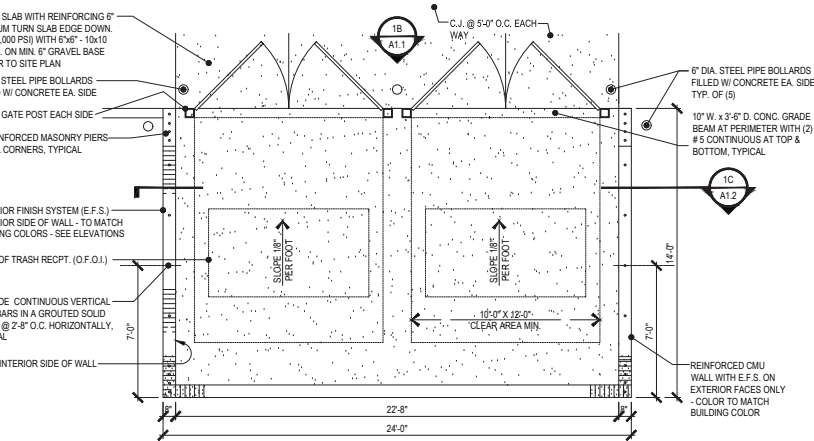
NOTES: 1. DUMPSTER ENCLOSURE EXTERIOR FINISH TO MATCH FINISH OF MAIN BUILDING. 5. INTERIOR WALLS TO BE PAINTED FINISH.



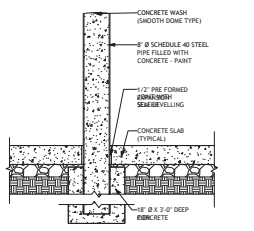
15 STORAGE & TRASH ENCLOSURE SECTION



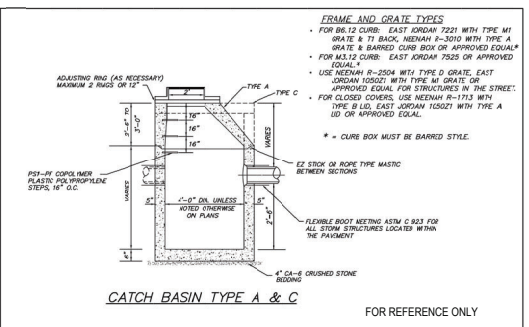
15 STORAGE & TRASH ENCLOSURE FRONT ELEVATION



16 TRASH ENCLOSURE PLAN

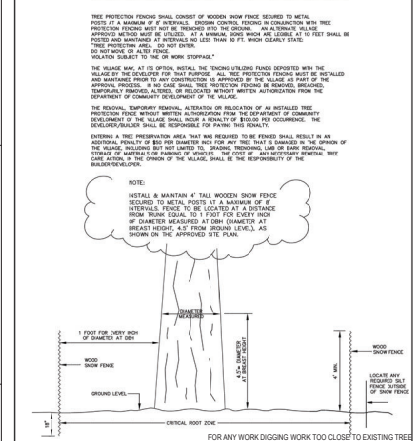


16 CONCRETE BOLLARD DETAIL



CATCH BASIN DETAIL

NOTES: 1. ONLY PRECAST STRUCTURES ALLOWED. 2. PRECAST CONCRETE BASE MUST BE INTEGRALLY CAST WITH THE LOWEST WALL SECTION. 3. THE FRAME AND GRATE SHALL BE MORTARED TO THE CONCRETE STRUCTURE. 4. ALL STRUCTURES LOCATED IN THE PAVEMENT SHALL FOLLOW THE MEZFOLE DETAIL.



TREE PROTECTION DETAIL

Table with columns: SCALE, DATE, DRAWER, NO., REVISIONS, BY, DATE. Includes project name and sheet number.

TRENCH BENEATH PARKWAY OR LANDSCAPE AREAS

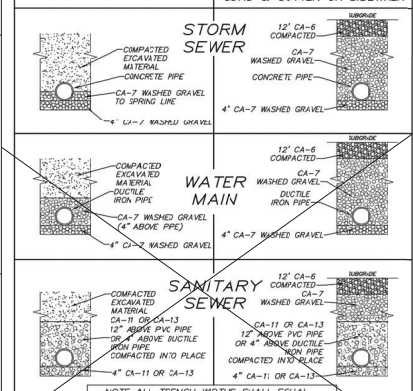
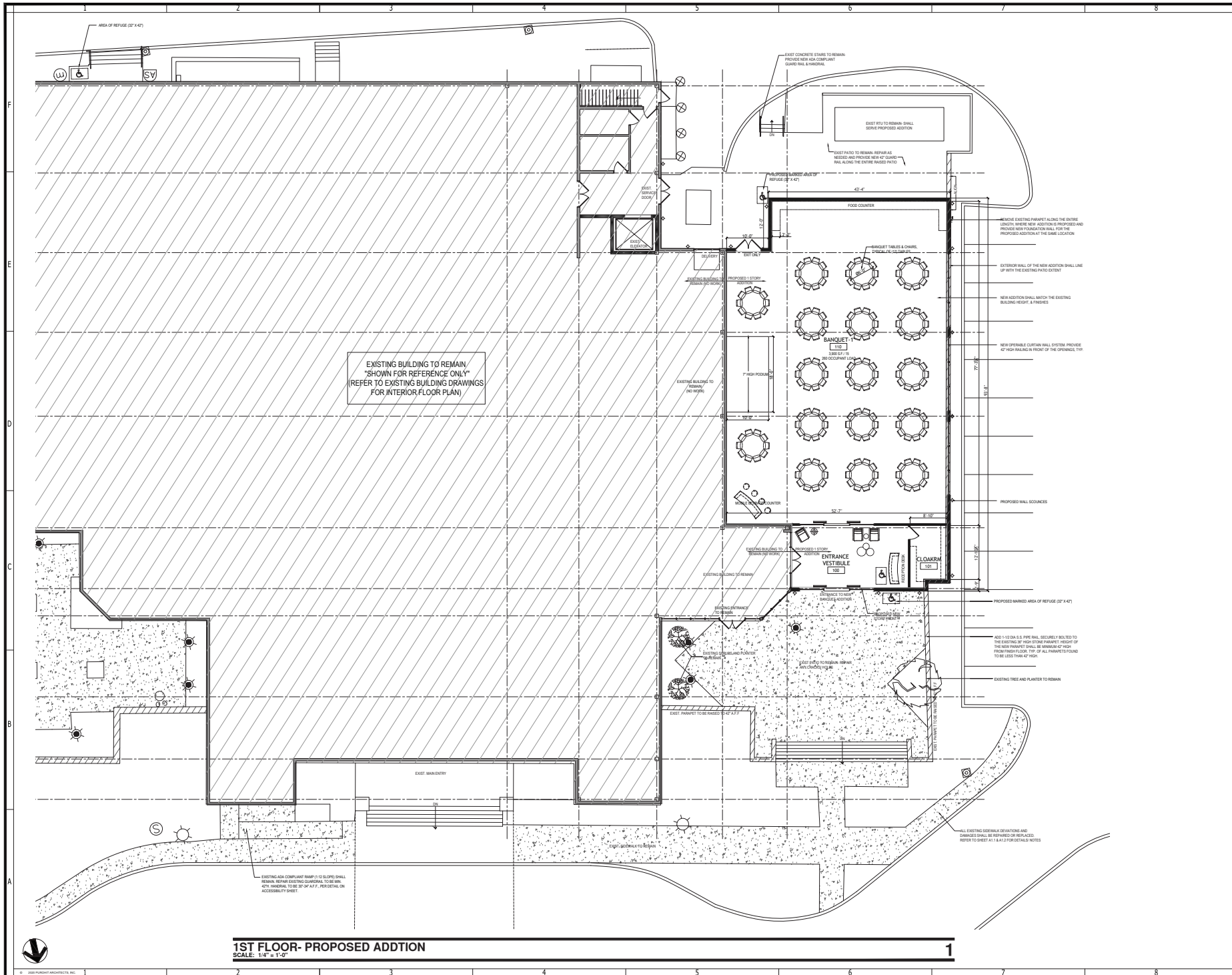


Table with columns: SCALE, DATE, DRAWER, NO., REVISIONS, BY, DATE. Includes project name and sheet number.



EXISTING BUILDING TO REMAIN  
 "SHOWN FOR REFERENCE ONLY"  
 (REFER TO EXISTING BUILDING DRAWINGS  
 FOR INTERIOR FLOOR PLAN)

**1ST FLOOR- PROPOSED ADDITION**  
 SCALE: 1/4" = 1'-0"

**Document Record:**

Issue Date	Description
07/20/2017	ISSUED FOR PERMITS (STAFF REVIEW)
08/16/2017	ISSUED FOR PERMITS (OWNER STAFF REVIEW)
08/16/2017	ISSUED FOR PERMITS (OWNER STAFF REVIEW)

DO NOT SCALE THE DRAWINGS. VERIFY DIMENSIONS, IN PARTICULAR, BEFORE CONSTRUCTION. THE OWNER MUST BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK SITE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK SITE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY.

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**PURHIT**  
**ARCHITECTS**

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**The Stonegate Banquets & Conference**  
 2401 W. Higgins Rd., Hoffman Estates, IL

**STONEGATE**  
 ARCHITECTURE

Issue Date: 08/10/2017  
 Drawn by: PJA  
 Sheet: 1ST FLOOR PLAN PROPOSED ADDITION  
**A3.1**  
 PAI PROJECT NUMBER 21135.00

These drawings may have been reproduced at a scale different than originally drawn. Owner and Architect assume no responsibility for use of incorrect scale. Do not scale drawings. Contractor shall verify all existing conditions prior to proceeding with construction and notify architect immediately of any discrepancies or conflicts.

Document Record:

Project Name	Stonegate Banquets & Conference
Project No.	21155.00
Issue No.	1
Issue Date	08/10/2024
Drawn By	PAI
Checked By	
Project Location	
Project Description	
Architect	
Engineer	
Interior Designer	
MEP Engineer	
Structural Engineer	
Other	

THESE PLANS AND SPECIFICATIONS ARE PREPARED BY THE ARCHITECT FOR THE USE OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.

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*The Stonegate Banquets & Conference*  
 2401 W. Higgins Rd., Hoffman Estates, IL.

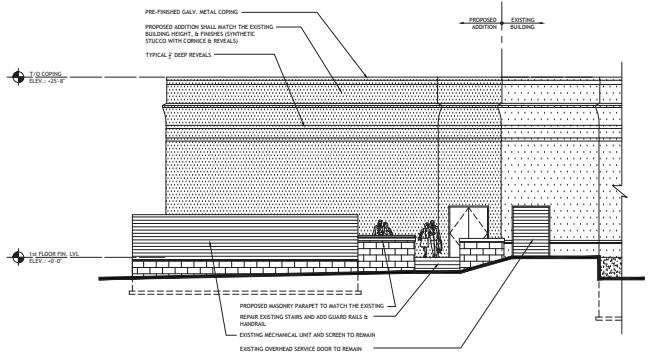
**STONEGATE**  
 ARCHITECTS & INTERIORS

Issue Date: 08/10/2024  
 Drawn By: PAI  
 Check By:

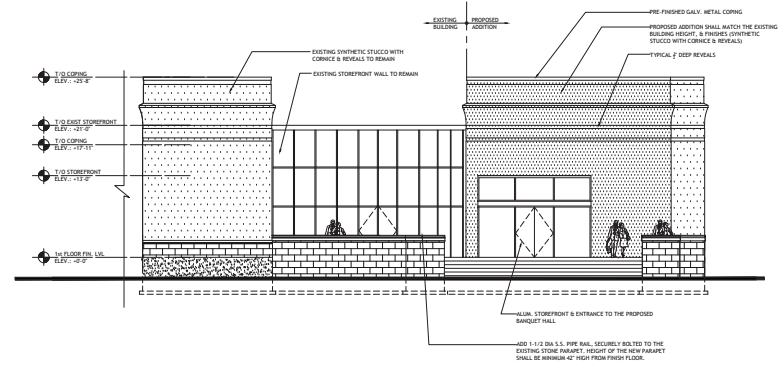
EXTERIOR ELEVATION  
 (PROPOSED ADDITION)

**A6.0**

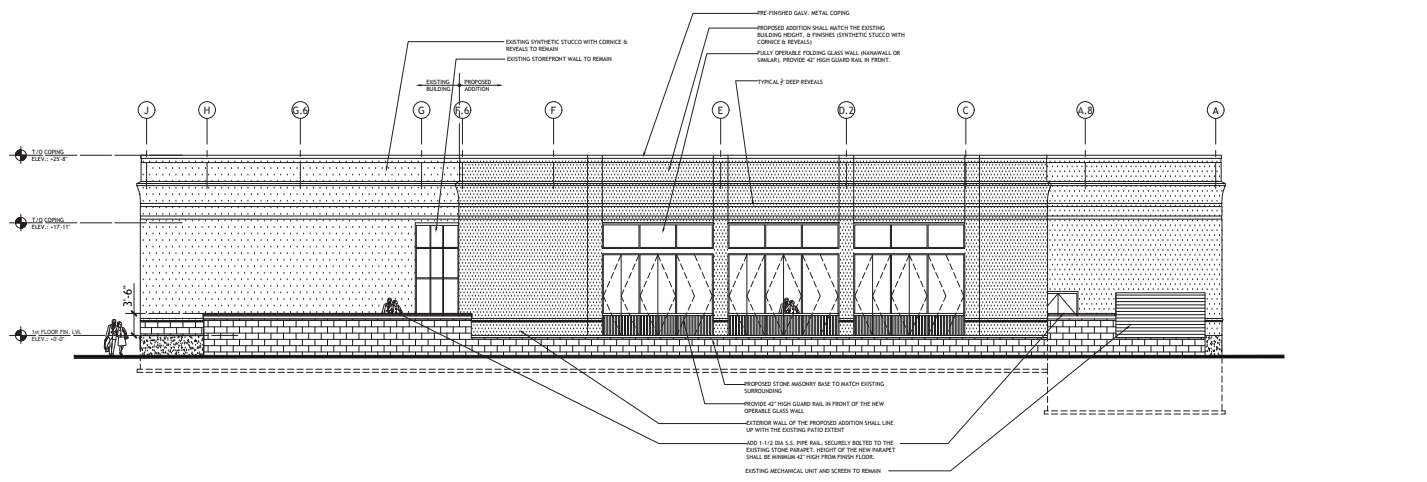
PAI PROJECT NUMBER  
 21155.00



**PROPOSED SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0" **3**



**PROPOSED NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0" **2**





**PROPOSED WEST ELEVATION**  
 SCALE: 1/8" = 1'-0" **1**

Exhibit A  
2401 W. Higgins Road  
P.I.N.: 07-07-100-037-0000



Legend

-  Subject Property
-  Parcel



Planning and Transportation Division  
The Village of Hoffman Estates  
September 2021

## **NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Planning and Zoning Commission of the Village of Hoffman Estates will hold a public hearing to consider a request for a Special Use in accordance with Section 9-8-2-C-9 of the Zoning Code to permit the operation of a conference and banquet center for the property at 2401 W. Higgins Road. A Site Plan Amendment is also being requested. The Petitioner of this request is NWSMG Management LLC.

**P.I.N.: 07-07-100-037-0000**

The hearing will be held on Wednesday, September 15, 2021, at 7:00 p.m. in the Hoffman Estates Municipal Building, 1900 Hassell Road, Hoffman Estates, IL.

Eva Combs, Chairperson  
Planning and Zoning Commission

To be published by Paddock Publications on Tuesday, August 31, 2021.