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## VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION STAFF REPORT

**PROJECT NUMBER:** 2019-050P  
**PROJECT NAME:** 2598 W. Higgins - BP Gas Station  
**ADDRESS/LOCATION:** 2598 W. Higgins Rd.  
**PROPERTY SIZE:** .94 Acres  
**OWNER / PETITIONER:** Stone Hoffman LLC  
**REQUESTS:** Special Use  
Preliminary and Final Plat of Subdivision  
Preliminary and Final Site Plan Amendment  
Master Sign Plan  
**PUBLIC HEARING:** Yes  
**ZONING / LAND USE:** B-2 Community Business/Gas Station  
  
**ADJACENT PROPERTIES:** NORTH: B-2 Community Business (Multi-tenant retail)  
SOUTH: B-2 Community Business (Burger King)  
WEST: B-2 Community Business (Chili's Restaurant)  
EAST: B-2 Community Business (Northwest Corporate Center)  
**PZC MEETING DATE:** August 18, 2021  
**STAFF ASSIGNED:** Jim Donahue, Senior Planner

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### REQUESTED MOTIONS

1. Request for a Special Use under Section 9-8-2-C-1 of the Zoning Code and Preliminary and Final Site Plan Amendment for site redevelopment to permit an Automobile Service Station at 2598 W. Higgins Road.
2. Request for a Preliminary and Final Plat of Subdivision for the property located at 2598 W. Higgins Road.
3. Request for a Master Sign Plan in accordance with Section 9-3-8-M-13 of the Zoning Code for the property located at 2598 W. Higgins Road.

**INCLUDES RECOMMENDED CONDITIONS: YES**

## **BACKGROUND**

The BP Gas Station has been operating on this parcel for a number of years. It has gone through a number of changes since its original development, most notably IDOT took portions of the property (with compensation paid to the property owner at the time) for expansions to both Barrington Road and Higgins Road. The current owner is looking to make changes to the site to make it more competitive with other recently built gas stations in the area.

## **PROPOSAL**

The petitioner is proposing a redevelopment of the site with a new 3,267 square foot convenience store and new pumps and canopy constructed on site. The existing carwash would remain as part of the redevelopment.

## **SPECIAL USE – ZONING CODE SECTION 9-8-2-C-1**

The subject property is zoned B-2, Community Business District and an automobile service station (gas station) is listed as a special use in this district. The petitioner has provided a narrative describing the operations of the business and proposed site improvements.

Section 9-1-18-I of the Zoning Code (Standards for a Special Use) states: "No special use shall be recommended by the Planning and Zoning Commission unless said Planning and Zoning Commission shall find:

1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
4. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;
5. That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets; and
6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Planning and Zoning Commission.

The petitioner has provided a response to the standards for a Special Use which is included in the packets.

## **SITE PLAN**

### ***Vehicular Access and Circulation – Subdivision Code Section 10-5***

The property currently has curb cuts on both Barrington and Higgins Roads. The existing curb cuts will be reduced and have proper radii as part of the new curbed entrance design. Per IDOT requirements, each curb cut will have a triangular raised island installed to further enforce the right-in-right-out movements by vehicles.

Vehicular access to the carwash would be one-way circulation from Higgins Road. Cars entering off Barrington Road would enter the site and circle the building to get into the carwash queue.

Sidewalk connections are proposed from the Barrington Road public sidewalk to allow pedestrian access into the site to the convenience store.

The Fire Department has reviewed the plans and worked with the petitioner to locate the Fire Department Connection (FDC) on the southeast corner of the building.

### ***Parking – Subdivision Code Section 10-5-2***

A total of 12 parking spaces are provided for the convenience store component (not including the pump parking spaces). According to the Village's code and industry standards, 13 spaces would be recommended for the size of this building (3,267 sq. ft.); however, our code does not include parking next to the pumps that will be utilized by some patrons as well. Village staff has reviewed the site plan and does not foresee any parking issues due to the short visit times typically involved with this type of use.

### ***Engineering – Subdivision Code Section 10-3***

The Engineering Division has reviewed the proposed engineering, grading, utility, and erosion control plans and the plans are acceptable.

Per Village and MWRD requirements, the petitioner is installing volume control system for stormwater into the site design to improve stormwater quality. The Petitioner is still working with MWRD on final approval of the volume control system, but site changes are not expected to occur based on MWRD comments.

An IDOT permit will be required for all work proposed in their Right of Way (ROW). A condition has been added that that permit needs to be secured before starting any ROW work.

### ***Landscaping – Subdivision Code Section 10-4***

The proposed landscape plan incorporates trees, shrubs and perennials into the site design where feasible. Because so much of the site has been reduced by past takings by IDOT, the site can't meet all setbacks and still function.

In order to improve the functionality of the site, the petitioner is proposing to reduce various landscape setbacks. Waivers from Section 10-4-4-B a. are requested for some setbacks. The portions of the overall site that do not meet the required 10' landscape setback include:

- A front yard landscape setback of 8' versus the required 10' for the south side of the site.
- A side yard landscape setback of 6.6' versus the required 10' for the east side of the site.
- A side yard landscape setback of 0' versus the required 10' for the west side of the site.
- A rear yard landscape setback of 0' versus the required 10' for the north side of the site.

A landscape waiver is requested from Section 10-4-4 D. a. to not provide foundation landscaping on the front (south) building façade. This building frontage has sidewalk for pedestrian access. Landscape is being provided in those areas where it can fit.

A landscape waiver is requested from Section 10-4-4 A. 2. A. to not provide a shade tree in the public right of way along Higgins and Barrington Roads due to the lack of space and overhead wires and IDOT signal control boxes.

### ***Building Design – Subdivision Code Section 10-5-3-H***

The building is proposed to be precast concrete faced with brick and stone. Awnings are proposed over the windows along with gooseneck lighting on the back and sides of the building. Pre-molded EIFS cornices are proposed on portions of the façade for visual interest. The carwash will be refaced to match the primary building.

### ***Exterior Lighting – Subdivision Code Section 10-5-3-G***

New light poles and fixtures are proposed around the parking lot. The lighting levels and downcast fixtures are in compliance with the standards in the Subdivision Code.

## **PRELIMINARY AND FINAL PLAT OF SUBDIVISION**

The subject property was never a formally subdivided. As part of the redevelopment, a plat of subdivision is being created to make it a lot of record. The newly created lot (Lot 1) would be approximately 0.94 acres in size. Required easements are being dedicated as per Village code.

The plat meets all the Village requirements for a plat of resubdivision and will legally establish this parcel as a lot in accordance with Village Code.

### **MASTER SIGN PLAN**

A Master Sign Plan has been drafted for the property by staff based on the petitioner's submittals. The proposal allows for wall signage, one monument sign, and menu boards. A copy of the proposed Master Sign plan is included.

The proposed Master Sign Plan includes the following allowances for site signage:

<b><u>Signage Type</u></b>	<b><u>Proposed</u></b>
Wall	Four Wall Signs totaling 150 square feet

Ground	18' Monument ground sign LED Message Center totaling 110 square feet per side
Gas Canopy Signs	3 canopy signs
Entrance/Exit	4 Directional Signs

The proposed sizes, locations and design of the signs are included in the Master Sign Plan packet included with this report.

### **MASTER SIGN PLAN STANDARDS**

Section 9-3-8-M-13 of the Zoning Code requires that in instances where the Zoning Code cannot be strictly followed, that the owner may propose a Master Sign Plan to accommodate the signs on the property and to set standards and restrictions on the signs. The Village requires a Master Sign Plan in lieu of sign variations except where a Master Sign Plan is not feasible or warranted (for a very minor request where a variation is deemed acceptable to request). The Zoning Code lists the goals that a Master Sign Plan should achieve as follows:

- Result in architecture and graphics of a scale appropriate for the subject development and the surrounding area;
- Provide signage consistent with the site plan and architecture of the project;
- Avoid visual clutter;
- Allow visitors, employees, and consumers to readily identify the business entrances, while addressing the community's need for attractive, unobtrusive architecture and commercial graphics; and
- Result in a unified theme of signage for the project.

Petitioners are encouraged to take a comprehensive approach to each master sign plan proposal because the plan will provide guidelines for signs that are desired both today, and into the future. The Plan functions as a "mini-sign code" for the property. The creation of a Master Sign Plan involves merging and considering several perspectives, including:

- Current Code requirements.
- Prior variation history on the subject property, as well as similar properties.
- Existing signage on the property.
- Specific current signage requests by the property owner.
- Likely possible signage requests in the future (consider the type use of the property and its location).
- Unique characteristics of the subject property.

The petitioner has provided a response to the Standards for a Master Sign Plan in their application.

## RECOMMENDED CONDITIONS

### Motion #1

1. The building permit shall be obtained within twelve (12) months of the Village Board action on this request.
2. The following Subdivision Code landscaping waivers are granted:
  - a. A waiver from Section 10-4-4-B. a. allowing the following landscape setbacks:
    - A front yard landscape setback of 8' versus the required 10' for the south side of the site.
    - A side yard landscape setback of 6.6' versus the required 10' for the east side of the site.
    - A side yard landscape setback of 0' versus the required 10' for the west side of the site.
    - A rear yard landscape setback of 0' versus the required 10' for the north side of the site.
  - b. A waiver from Section 10-4-4 D. a. to not provide foundation landscaping on the front (south) building façade.
  - c. A waiver from Section 10-4-4 A. 2. a. to not provide a shade tree in the public right of way due to the lack of space and overhead wires.
3. A performance guarantee based on an Engineers Estimate of Cost shall be submitted to the Village prior to issuance of a building permit.
4. A permit from IDOT shall be submitted prior to construction commencing in the Golf Road right-of-way.
5. A permit from the Metropolitan Water Reclamation District (MWRD) shall be provided prior to site construction commencing.
6. The following conditions relate to the site construction:
  - a. A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
  - b. Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.
  - c. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.

**Motion #2**

1. Final Plat of Subdivision shall be approved by the Village prior to final Certificate of Occupancy.

**Motion #3**

1. A sign permit shall be required for all signs.

Attachments: Petitioner's Applications and Submittals  
Location Map



# VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING GENERAL APPLICATION\*

Special Use for GAS STATION       Rezoning from \_\_\_\_\_ to \_\_\_\_\_

Variation:     Commercial     Residential     Sign

Plat (Subdivision & Others):     Preliminary     Final

Site Plan:     Amendment     Concept     Preliminary     Final

Master Sign Plan:     Amendment

Other: \_\_\_\_\_

**\* ADDENDUM MATERIALS ARE REQUIRED FOR SPECIFIC REQUESTS**

**Posting of Notification Sign(s) may be required.**

**Specific requirements will be provided when your request is scheduled.**

FOR VILLAGE USE ONLY			
Hearing Fee	<u>3250<sup>00</sup></u>	Check No. <u>5308+5585</u>	Date Paid <u>3/11/21</u>
Project Number:	<u>2019-050P</u>		
Staff Assigned:	<u>J. Donahue</u>		
Meeting Date:	<u>8/18/21</u>	Public Hearing: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
Sign Posting Required:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Date Sign Posted	<u>8/6/21</u>

**PLEASE PRINT OR TYPE**

Date: 3/5/21

Project Name: Hoffman BP Redevelopment

Project Description: 2598 W Higgins Rd demolition and rebuild

Project Address/Location: 2598 W Higgins Road.

Property Index No. 07-07-100-017-0000

Acres: .94      Zoning District: B2



#### IV. Acknowledgement(s)

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

**The Owner and Applicant**, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature: John A. Stone

Owner's Name (Please Print): Stone Hoffman LLC

Applicant's Signature: John A. Stone  
(If other than Owner)

Applicant's Name (Please Print): Joseph Stone

Date: 3/5/21

**All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.**

Please contact the Planning Division (located in the Municipal Building) with any questions:

Email: [planning@hoffmanestates.org](mailto:planning@hoffmanestates.org)  
Address: 1900 Hassell Road  
Hoffman Estates, IL 60169  
Phone: (847) 781-2660  
Fax: (847) 781-2679

#### Addendums Attached:

- Special Use
- Rezoning
- Variation
- Plat
- Site Plan
- Master Sign Plan
- Other \_\_\_\_\_



# VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION SITE PLAN ADDENDUM – NON-RESIDENTIAL

Amendment  Concept  Preliminary  Final

## I. DESCRIPTION OF PROJECT:

### A. ATTACH A NARRATIVE FOR THE PROPOSED PROJECT ON A SEPARATE SHEET

- ✓ Article 10-6 of the Subdivision Code details the application process and required submittal documents. For relevant items, provide detailed information as part of the project narrative.

B. Total Number of Buildings: 2

C. Total Gross Floor Area: 4255 square feet

D. Height of tallest building (including antennas, hvac, etc.): 21 feet

E. With respect to this project's compatibility with adjacent land uses, address the following in the Project Narrative: Building Scale, architectural Materials, Coordinated Color Scheme, Existing and Planned Areas of Visual Interest, Design Concept and Relationship of Building Materials to one another.

F. Estimated start of construction: July 2021

G. Estimated time to complete development: 6 months  
Attach a phasing schedule, if applicable.

H. Does the property contain flood plain lands or wetlands? Yes  No   
If yes, please address as part of the narrative.

I. Is there any historical or archeological significance to the existing structures or features of this site or the surrounding sites? Yes  No   
If yes, please address as part of the narrative.

J. Are there any endangered, threatened, or unique plants or animals located in or near the area? Yes  No   
If yes, please address as part of the narrative.

## II. OPERATIONAL CONSIDERATIONS

A. Anticipated hours of operation: 12:00 am/pm to 11:59 am/pm 24 hours.

- B. Anticipated number of employees: 17 total 4 per shift 3 number of shifts
- C. Estimated number of customers: 600 daily 100 peak hour
- D. If there is any additional information about the proposed development or its operation that may affect the site development, address as part of the narrative.

### III. FINANCIAL CONSIDERATIONS

- A. Estimated annual gross sales of general merchandise subject to sales tax for this project (includes 1% local share of state tax and 1% home rule tax):

Gross Sales (General)		Tax Rate		General Sales Tax
<u>787,500</u>	X	<u>2%</u>	=	<u>\$15,750</u>

- B. Estimated annual gross sales subject to food and beverage (F & B) tax for this project (food prepared on premises and alcoholic beverages consumed on premises). See article 13-7 of the Hoffman Estates Municipal Code for detailed definition:

Gross Sales (F & B)		Tax Rate		F & B Tax
<u>228,000</u>	X	<u>2%</u>	=	<u>\$ 4560</u>

- C. Estimated Annual Hotel Tax: 365 Days X

Estimated Average Room Rate		Number of rooms		Occupancy Percentage		365 Days		Tax Rate		Hotel Tax
	X		X		X		X	<u>6%</u>	=	<u>\$ 0</u>

- D. Other tax/revenue:  
(Entertainment tax = 6%, etc.)

		Rate		Tax
<u>17,000</u>	X	<u>.06</u>	=	<u>\$ 1020</u>

*gas tax*  
140,000 X .025 = 3500

- E. Estimated Annual Telecommunications (TC) Tax:

Estimated Yearly Phone Bill		Tax Rate		TC tax
<u>6000</u>	X	<u>6%</u>	=	<u>\$ 400</u>

- F. Current assessment of the property: 279,441

- G. Estimated value of Construction: 2,250,000

- H. Will this project result in any unusual expenditure of public funds or requirements for public services in anyway?  Yes  No  
If yes, please address as part of the narrative.

#### IV. TRAFFIC CONSIDERATIONS

##### A. Parking

1. Total number of parking spaces to be provided:

Employees: 8 Customers/Visitors: 4 Handicapped: 1 Total: 13

2. When is the peak parking period for this project?

5pm-6pm

3. Will this project share parking spaces with other businesses?  Yes  No

If yes, please address as part of the narrative.

##### B. Traffic

1. Estimated number of vehicles entering and exiting this site during the peak one hour period between 4:00 p.m. and 6:00 p.m. 100

2. Will there be any other peak traffic times for this project?  Yes  No

If yes, give the time(s) of day and traffic volume: 7am-9am

3. Will this project contain a drive through?  Yes  No

If yes, the project narrative should address order processing time, projected stacking demand, and other details to explain the operation.

##### C. Deliveries

1. The project plan submittal should include turning templates to show all routes to be used for making deliveries to and from site. Is this plan included?  Yes  No

2. How often will deliveries be made on site? daily

2. What is the frequency and time period expected for deliveries? 10-15 min

3. What is the largest delivery vehicle to be used and its size?

Vehicle Type	Size	check	
Single Unit truck	30 ft.	<input type="checkbox"/>	<input type="checkbox"/>
Intermediate Semitrailer	50 ft.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Large Semitrailer	55 ft.	<input type="checkbox"/>	<input type="checkbox"/>
Other		<input type="checkbox"/>	<input type="checkbox"/>

If the delivery truck used fits into the "Other" category, please specify type, size and turning radius: \_\_\_\_\_

- D. Any additional site related traffic information not covered above?  Yes  No  
 If yes, please address as part of the narrative.

**V. RECYCLING AND GREEN INITIATIVES**

- A. Article 9 of The Municipal Code of the Village of Hoffman Estates requires that businesses maintain an effective recycling program. Address any unique recycling plans as part of the project narrative.
- B. The Village supports and promotes sustainability. Please address any planned green or sustainability initiatives as part of the narrative.
- C. Do you anticipate submitting this project for LEED certification (or any other similar certifications)?  Yes  No  
 If yes, please address as part of the narrative.

**VI. GENERAL CONSIDERATIONS**

- A. Please list examples of similar uses (including name and location) in the area that can be used for comparison by the Village:

1. Picky Pockets Shell 2590 W. Golf Road
2. Picky Pockets Mobil 2095 Barrington Road
3. \_\_\_\_\_

- B. Will this project contain any noise generators that will adversely affect surrounding areas?  
 Yes  No   
 If yes, please address as part of the narrative.

C. Is there anything included in this project that may be sensitive to surrounding noise generators?

Yes  No

If yes, please address as part of the narrative.

D. Do you intend to apply for a liquor license?  Yes  No

If yes, please contact the Village Clerk's Office at 847.781.2625

E. Will this project contain a cafeteria or food service area (in order to determine applicability of a sewer and water surcharge)? Yes  No

If yes, please address as part of the narrative.

F. In the project narrative, please list and explain anything involved in this project that is not covered in this application that should be brought to the Village's attention. Also address any rare or unusual circumstances or needs related to this project.

Please contact the Planning Division with any questions:

Email:

Address: 1900 Hassell Road  
Hoffman Estates, IL 60169

Phone: 847.781.2660

Fax: 847.781.2679



# VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION SPECIAL USE ADDENDUM

## **REQUIRED SUBMITTALS:**

- General Application
- \$500 Special Use hearing fee/\$750 for "All Other Uses"
- Legal Description  
Typically found on a tax bill, survey, mortgage documents or deed
- Current Plat of Survey drawn to scale
- A scale drawing of the floor plan and elevations, including windows and door locations.
- A Project Narrative detailing the use, hours of operation, parking demand, etc. Provide relevant plans, studies, and any other documents to support the request.
- A written response to each of the Standards for a Special Use (see below).

*You are responsible for posting a notification sign(s) on your property 10 days before the Planning & Zoning Commission hearing and removing the sign(s) 10 days after final Village Board action. Specific requirements will be provided by Planning Staff.*

**No special use shall be recommended by the Planning and Zoning Commission unless said Commission finds that adequate evidence is provided to meet the Special Use Standards. (Respond to each standard as it applies to your request either below or address on a separate sheet)**

1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

The proposed project is the same general use that currently exists. This is a re-development of a current gas station to modernize and add more elaborate food service as well as video gaming.

2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;

The proposed development will re-invest over 2 million to modernizing the current use and expand services offered. This will increase property values in the area.

3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;

Main purposed of the property will not be changed, therefore, will not impede the normal and orderly development and improvement of the surrounding property uses.

4. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;

All utilities will be in accordance with the village requirements. Driveways off Barrington & Higgins will be adjusted per IDOT requirements. Drainage will meet MWRD standards.

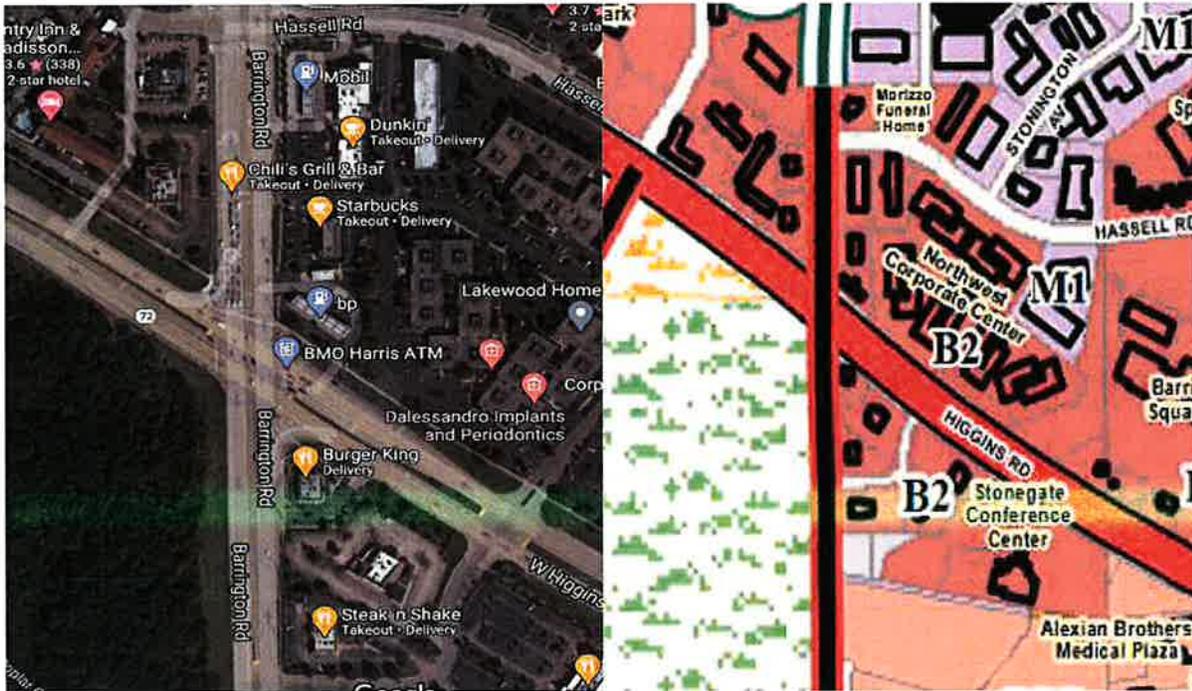
5. That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets; and

Site plan has been created to allow seamless ingress, egress and easy flow/manueverability throughout the property. All 2 way drive aisles have a width of 24 feet and all 1 way traffic has 20 feet drive aisles.

6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Planning and Zoning Commission.

We have done our best to conform to most regulations and standard set forth by the zoning code. However, a few variances will be requested as some standards were not achievable given the property size. The land required by IDOT's intersection expansion created a large challenge for this development and some of the village's standards.

Project Description and Narrative  
2598 W Higgins Road



The North property is a commercial building which contains Starbucks, Jimmy Johns and a pharmacy (B2 Zoning). The property to the East is a medical office center (B2 Zoning). The property to the West is a Denny's (B2 Zoning). The property to the South is a Burger King (B2 Zoning).

Project Narrative:

Total Re-development building construction will be 3,267 square feet. This includes both the square footage of the convenience store and the gaming lounge. The maximum height for the buildings will be 21 feet. The building construction will be precast concrete faced with stone and brick. The stone on the center of the building and the corner accents as well as the base on the sides and back will be a light gray color. The brick surrounding the secondary door and the upper portion of the side and back of the building will be a charcoal gray color with a blue undertone. The car wash material and color scheme will match. The colors and materials were selected to create a traditional architecture combined with contemporary colors to establish a grand, elegant, modern feeling for the re-development. The landscape plan was created based on MWRD requirements, villages standards as well as the best way to complement the development while allowing the best visibility to the development's focal points.

Development sustainability:

The site will construct the infrastructure to allow Electric Vehicle charging stations. Proposed location will be the left two parking spaces furthest left in front of the convenience store. The EV chargers to be installed in the future as the current demand does not support being installed at this time. Additionally, the efficiency/effectiveness of the chargers is low as they are early in their technology and will evolve quickly to better products.

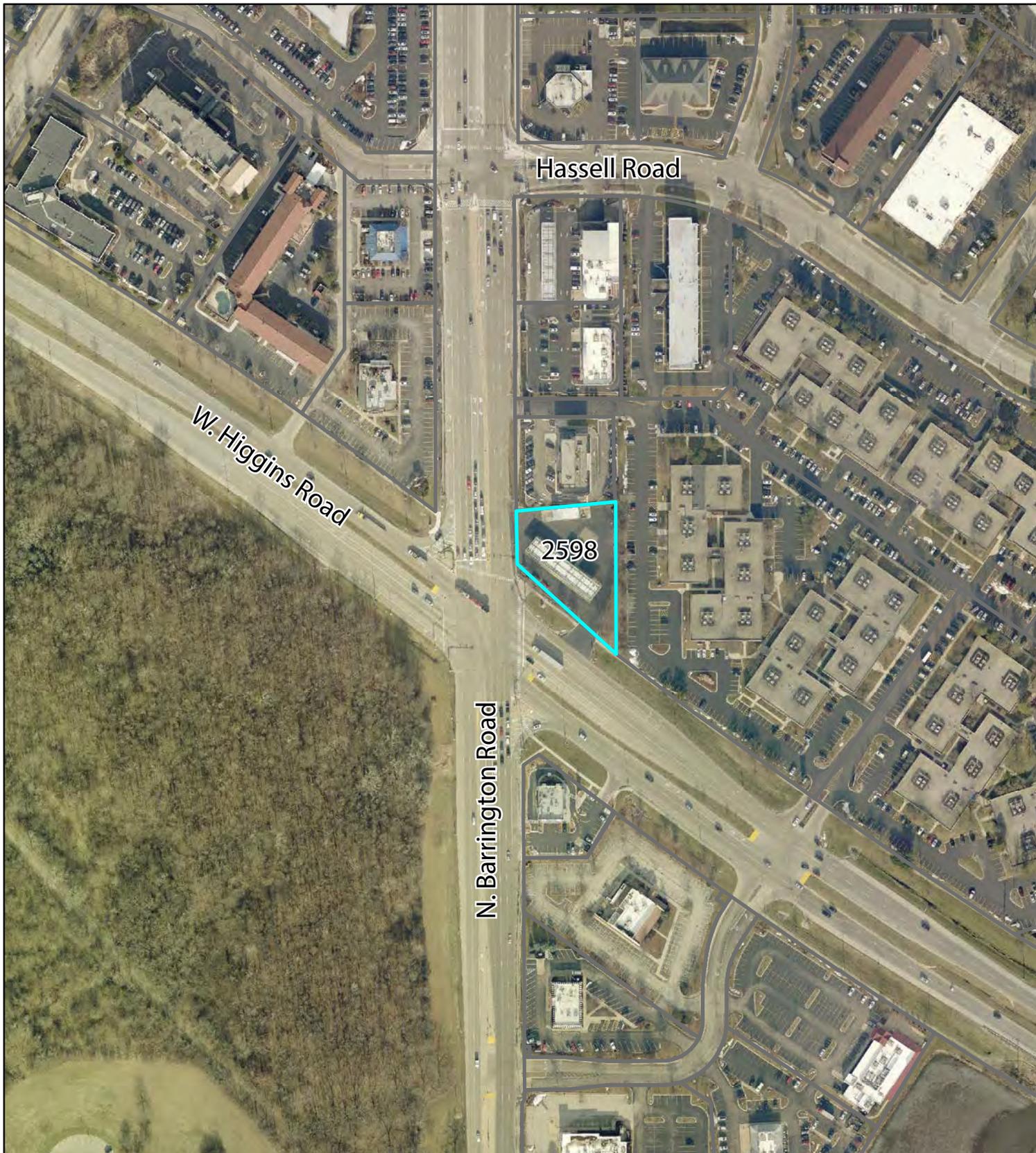
Moreover, a portion of the fuel tank will be used for green fuels. This portion will be used for Bio-diesel and can be converted to hydrogen or another alternative green fuel in the future.





# 2598 W. Higgins Road

P.I.N.: 07-07-100-017-0000



### Legend

- Parcel
- Subject Property



Planning and Transportation  
The Village of Hoffman Estates  
August 2021



# BP

## Convenience Store, Carwash and Fuel Station

2598 W. Higgins Road  
Northeast Corner of Barrington Road and Higgins Road  
PIN 07-07-100-017-0000

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### Master Sign Plan

August 18, 2021

# *BP Fuel Station*

## **Master Sign Plan**

August 18, 2021

### ***Introduction***

This Master Sign Plan applies to one lot at 2598 W. Higgins Road on the Northeast corner of Barrington Road and Higgins Road. The property includes a convenience store, car wash, canopy and fuel pumps.

The Master Sign Plan requirements have been developed based on the signage that is unique to the BP Gas Station property. The lot contains approximately 1 acre. This plan has been designed for this development that maintains consistency with other similar developments, yet takes into account certain unique characteristics of this development, specifically previously approved variations. Sign requirements for all buildings are included in this Plan to promote cohesion among all signs.

### ***A. Area Included in Master Sign Plan***

This Master Sign Plan applies to 2598 W Higgins Road, and all future addresses assigned to the two buildings (Retail Building and Car Wash).

### ***B. General Provisions***

1. Definition. For the purposes of this master sign plan, the following definition is hereby incorporated.
  - a. *Property* – “Property” shall mean the lot currently addressed 2598 W Higgins Road on the northeast corner of Barrington Road and Higgins Road. In the event the lot is subdivided in the future, the definition of property shall also apply to the resulting lots.
2. Driver Sight Visibility. No sign shall be placed in a manner that will obstruct driver or pedestrian sight lines and create an unsafe condition based on analysis by the Village Transportation Division.
3. Landscaping. Landscaping shall be provided at the base of all ground signs, unless determined to be unsafe or not feasible by the Village Department of Development Services.
4. Illumination. All signs permitted by this Master Sign Plan may be illuminated in accordance with Section 9-3-8-F of the Zoning Code unless otherwise indicated in the approved Master Sign Plan documents.
5. Sign Design. Colors and letter graphic styles on the signs shall be determined by the owners of the property; however, signs that are of a similar type shall be of a consistent color and graphic style.

# *BP Fuel Station*

## **Master Sign Plan**

August 18, 2021

6. Calculation of Sign Area. Such signs shall meet the requirements of Section 9-3-8-D, except that the architectural base and support structure of a monument ground sign shall not be included in the total sign area if these areas do not contain text, logos or any other graphics.
7. Permits. Sign permits shall be required in accordance with Section 9-3-8-A of the Zoning Code.
8. Coordination with Village Sign Code. All regulations of the Zoning Code shall apply unless specifically stated otherwise in this master sign plan. In the event of a conflict between this Master Sign Plan and the Zoning Code, the Master Sign Plan regulations shall apply.
9. Prior Variations. Any and all prior signage variations are henceforth null and void.

### **C. Ground Signs**

#### 1. Ground Sign.

- a. Type. A freestanding or monument sign that will identify the BP convenience store and gas station, including an LED displays to identify the gas prices. The sign will also include a 6' x 3' electronic message board.
- b. Number and size. One Ground Sign shall be permitted on the property. The sign shall be a maximum of 18 feet in height. The maximum square footage of the sign copy shall not exceed 110 square feet per side with a maximum 220 square feet total.
- c. Location. The Ground Sign shall be a minimum of 5 feet from any property line and 2 feet from any paved surface.
- d. Sign Design. The sign shall match the plans attached hereto shall not be of "Pole Sign" design.

### **D. Wall Signs**

#### 1. Retail Building Signs

- a. Type. Retail Store Wall Signs shall be internally illuminated channel letters or logos individually mounted the building façade or set on raceway. Raceway shall be mounted directly to the building wall surface and shall be painted to match façade color where it is to be mounted.

## *BP Fuel Station*

### **Master Sign Plan**

August 18, 2021

- b. **Number and Size.** Four (4) Wall Signs shall be permitted on the retail building. Total Square footage of all signs shall not exceed 150 square feet.
- c. **Location.** The wall sign shall be centered horizontally within the selected façade or over an architectural entry feature of such front façade.

#### **2. Car Wash Wall signs**

- a. **Type.** Car wash wall signs shall be channel letters or logos individually set on raceway or façade; alternatively they may be mounted on approved awning surfaces. Wall signs and raceways are not to extend more than 12" from wall on which it is mounted or must be flush mounted on an approved awning. Signs may be illuminated.
- b. **Number and Size.** Three signs shall be permitted on the south side of the car wash building. Each sign shall not exceed 10 square feet.
- c. **Location.** Each car wash wall sign shall be centered horizontally and spaced evenly along the south facade.
- d. **Entrance/Exit Signs -** One "Car Wash Entrance" Sign with Clearance Height is permitted at the carwash entrance. The cantilevered sign shall not exceed 10' in height and 100 square feet in area.

#### ***E. Fuel Station Related Signs***

1. Fuel Pump Canopy Signs Fuel pump canopy signs shall be permitted on three sides of the canopy. The signs shall be a maximum of 10 square feet each and shall not extend above or below the canopy. Canopy signs may be illuminated.
2. Under Canopy Identification Signs. Under canopy identification signs shall be permitted as provided in the Zoning Code (Section 9-3-8-M-10-c-6).
3. Fuel Pump signs. Fuel pump signs shall be permitted as provided in the Zoning Code (Section 9-3-8-M-10-c-7).

#### ***F. Miscellaneous Signs***

1. Instructional Signs. Instructional signs shall be permitted on the property to direct drivers to different portions of the site. Such signs shall be a maximum of 5 square feet in size and 6 feet in height. Instructional signs shall not contain any corporate names or logos. All signs shall be of a consistent design and shall be separate from traffic control signs.

# *BP Fuel Station*

## **Master Sign Plan**

August 18, 2021

2. Menu Board Signs. Menu board signs shall be permitted as provided in the Zoning Code (Section 9-3-8-M-10-e-1). Car wash menu board signs shall also be permitted following the regulation for drive-thru menu boards at restaurants, except that such signs shall not exceed 20 square feet in size.

### **G. Temporary Signs**

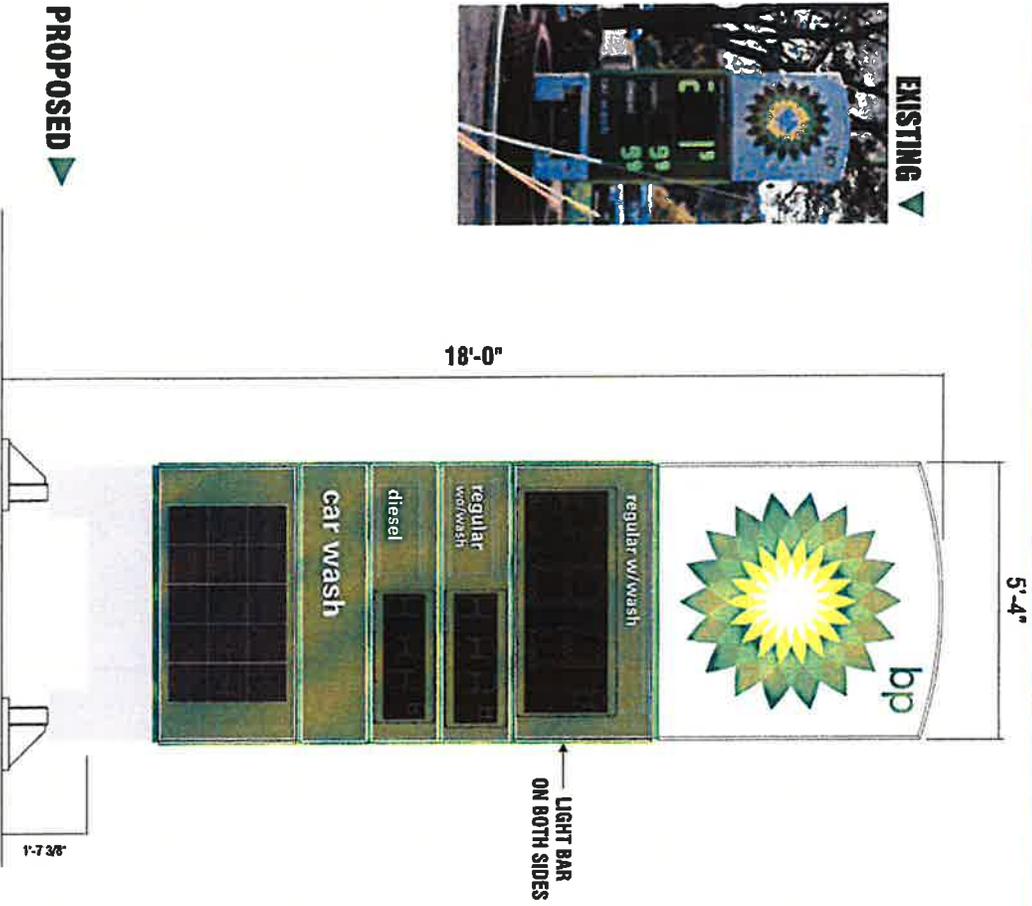
1. Construction Signs. During construction of any portion of this development, temporary signs may be permitted as determined necessary by the Village Department of Development Services. These signs shall be used to identify altered traffic routes, closed drives or parking lots, relocated building entrances, etc. Such signs shall not be subject to the requirements of the Directional Signage Section of this plan.
2. Special Event Signs. Special event signs shall be permitted as provided in the Zoning Code (Section 9-3-8-K).

### **H. Amendments**

1. Changes. Changes to the text, colors, or graphic style of the signs shall not require a formal amendment to this plan, provided the size and all other requirements of this plan are met and all signs of each type have identical design and colors.
2. Interpretations. Signs that are not explicitly addressed in the provisions of this plan, but that meet the intent of the plan may be permitted through administrative approval.
3. New Signs. The addition of new signs or relocation of existing signs shall not require a formal amendment to this plan, provided the signs meet all requirements of this plan. Any amendment to add additional signs or make substantial changes to the approved signs in this plan shall be subject to review by the Planning & Zoning Commission and approval by the Village Board through the process outlined in the Zoning Code for variations.



EXISTING ▼



PROPOSED ▼

**ACTION ITEMS REQUIRED PRIOR TO PRODUCTION**

- 1. NEW FOUNDATION REQUESTED

**ADDITIONAL NOTES**

- 1. DOES NOT FOLLOW BP STANDARDS - INVICORATE LOGO NOT INCLUDED
- 2. STANDARD SIZE EMC FOR 64" GEMINI WILL BE 3 LINES OF TILES TALL

**CUSTOMER INITIALS**

Initials \_\_\_\_\_

These drawings are not for construction purposes. The information contained herein is intended to express design intent only. This original design is the sole property of Blair Companies. It cannot be reproduced, copied or embodied in whole or in part without first obtaining written consent from Blair Companies.

**blair**  
IMAGE ELEMENTS  
5107 Kissell Ave.  
Altoona, PA 16801  
P: 814.949.8287  
F: 814.949.8293  
blairimage.com

**PROJECT INFORMATION**

CLIENT: BP  
ADDRESS: 2598 W. HIGGINS  
HOFMANN ESTATES, L. 60195  
M. NUMBER: 94638  
DATE: 02.01.21  
RENDERED: RSP  
FILE NAME:  
CATEGORY:

**REVISION**

02.16.21: INCREASE OAH,  
CHG TO NEW FOUNDATION &  
EMC TO 2X HIGH

Printing with metric 89 days after date of issue. If production required to meet in view 90 days, 24 hours is required to review drawings.

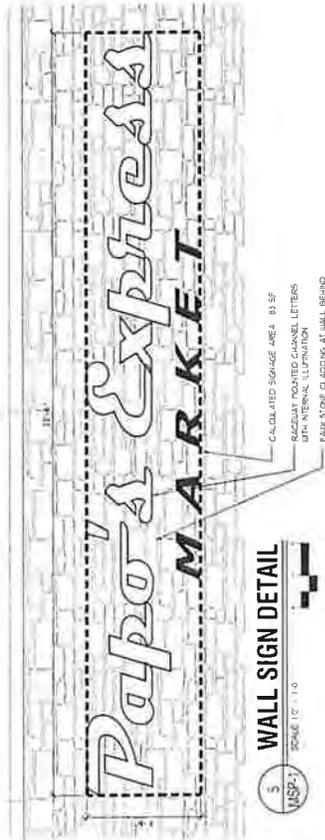
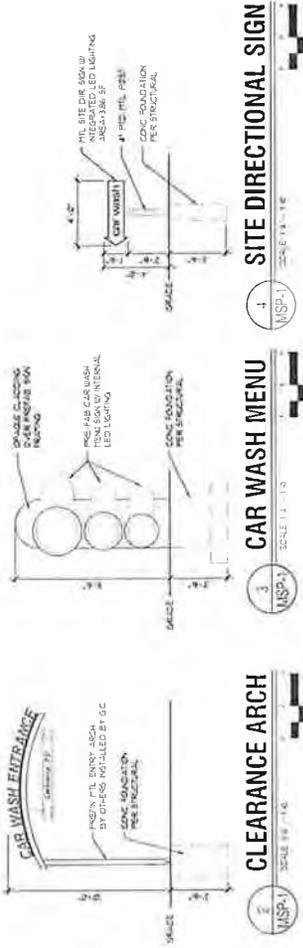




REDEVELOPMENT OF EXISTING GAS STATION & C-STORE FACILITY FOR:  
**Papa's Express**  
 MARKET

2598 W. HIGGINS RD  
 HOFFMAN ESTATES, IL  
 60169

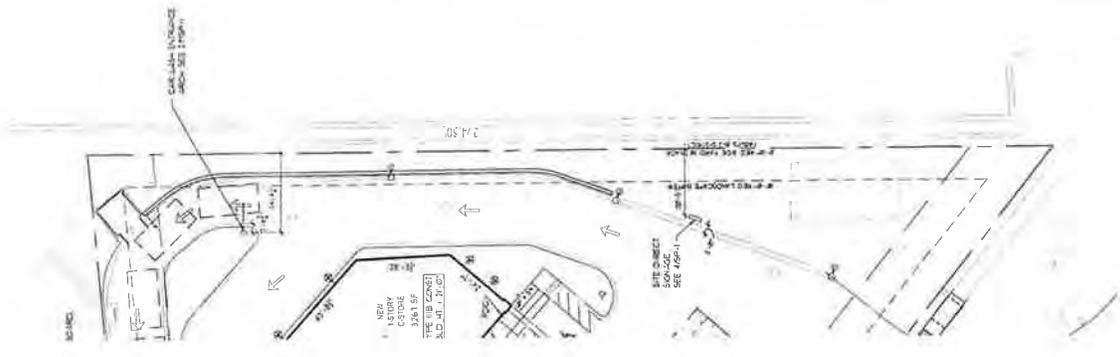
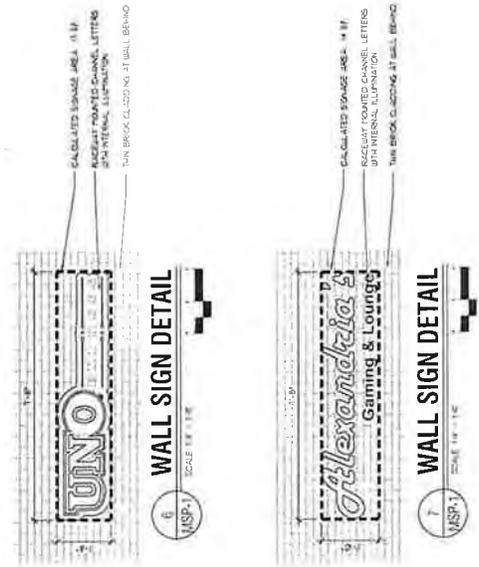
DATE 05/13/2021  
 PROJECT # 20190518  
 SHEET #

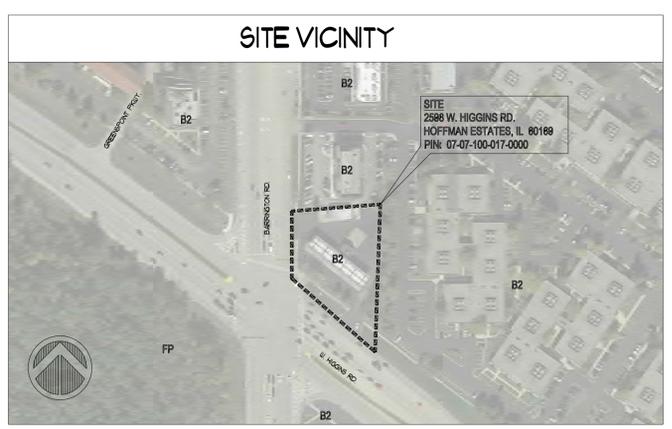
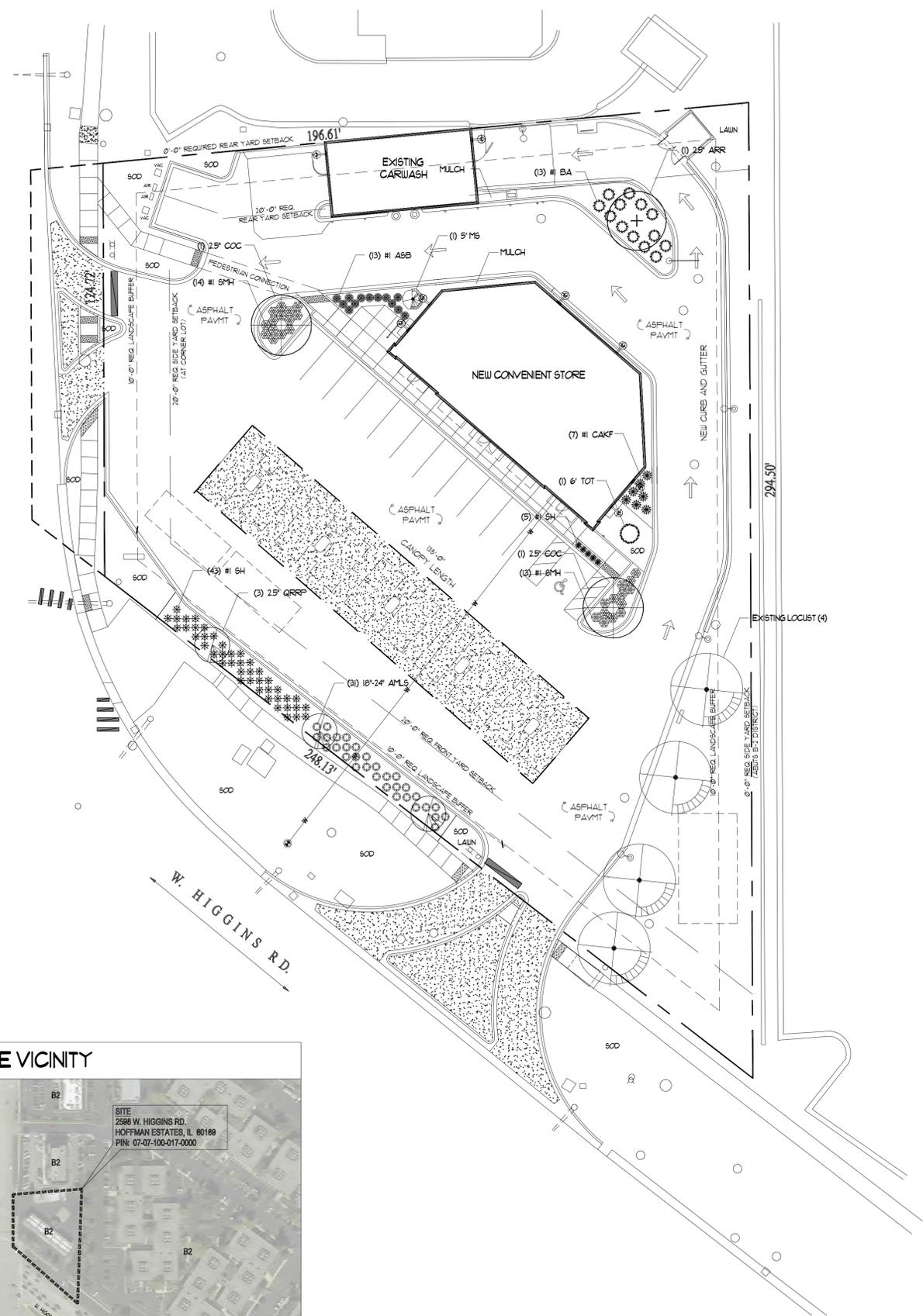


**WALL SIGN DATA**

TOTAL BUILDING FRONTAGE	50 FT LF
CLEARANCE ARCH	22 FT LF
CLEARANCE ARCH	28 FT LF
CLEARANCE ARCH	28 FT LF
ALUMINUM WALL SIGNAGE (5' FEET L.F. OF BUILDING FRONTAGE)	176 SF
CLEARANCE ARCH	28 SF
CLEARANCE ARCH	28 SF
TOTAL AREA ALLOWABLE WALL SIGNAGE	232 SF
WALL SIGNAGE	176 SF
WALL SIGNAGE	28 SF
WALL SIGNAGE	28 SF
TOTAL AREA WALL SIGNAGE	232 SF
PROPOSED WALL SIGNAGE	176 SF
CLEARANCE ARCH	28 SF
CLEARANCE ARCH	28 SF
TOTAL AREA WALL SIGNAGE	232 SF

NOTE: WALL SIGNAGE SHALL BE INSTALLED ON THE SOUTH SIDE OF THE BUILDING WALL SIGNAGE.





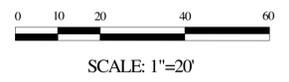
**PLANT LIST**

Qty.	Common Name	Botanical Name	Size	Remarks	Key
1	Redpointe Maple	Acer rubrum 'Redpointe'	2.5"	B&B	ARR
2	Chicagoland Hackberry	Celtis occidentalis 'Chicagoland'	2.5"	B&B	COC
3	Regal Prince English Oak #	Quercus robur 'Regal Prince'	2.5"	B&B	QRPP
1	Sargent Crabapple	Malus sargentii	5'	B&B	MS
1	Techny Arborvitae	Thuja occidentalis 'Techny'	6'	B&B	TOT
31	Low Mound Scape Chokeberry	Aronia melanocarpa 'Low Scape'	18"-24"	Cont.	AMLS
13	Summer Beauty Allium	Allium 'Summer Beauty'	#1	Pots	ASB
13	Blue False Indigo	Baptisia australis	#1	Pots	BA
7	Karl Foerster Reed Grass	Calamagrostis acutiflora 'Karl Foerster'	#1	Pots	CAKF
48	Prairie Dropseed	Sporobolus heterolepis	#1	Pots	SH
27	Hummelo Betony	Stachys monieri 'Hummelo'	#1	Pots	SMH

# High Branched

**NOTES:**

- The Landscape Contractor shall provide and install all plant materials in the quantities and sizes sufficient to complete planting as shown on the Landscape Plans. All plants shall comply with the requirements of the current American Standard for Nursery Stock published by The American Nursery and Landscape Association. Plants shall meet size, genus, species and variety and be in good health, free of insects, diseases or defects. No "park grade" materials shall be accepted. Trees not exhibiting a central (or single) leader will be rejected unless noted in the plant list as multi-stem. Quantity lists are supplied for convenience. The Landscape Contractor shall verify all quantities and, in case of a discrepancy, the drawn plan shall prevail over the plant list. No plants are to be changed or substituted without approval of the Owner or a representative of James Dowden & Associates, Inc.
- All plants shall be watered during the first 24-hour period following installation. A watering schedule must be agreed upon with the Owner (before plantings are installed) of whom, when and how plant materials are to be properly watered. The Landscape Contractor shall verify proper watering is being done for the establishment and health of all plant materials. The Landscape Contractor shall warranty all plant materials for one year from the time of installation and project acceptance.
- Plants shall be balled and burlapped unless otherwise noted on the Landscape Plans. No root bound materials shall be accepted and all wrapping materials made of synthetics or plastics shall be removed at the time of planting. It is the option of the Landscape Contractor to roll back the burlap from the top of the root ball.
- Recommended mulch depth is three inches (3") of shredded hardwood bark. The Landscape Contractor shall avoid over-mulching and the creation of "mulch volcanoes." Mulch Beds shall extend a minimum of two feet (2') beyond the center of a tree or shrub. Mulch must be pulled back at least two inches (2") from the base of a tree so the base of the trunk and root crown are exposed.
- Prepare all perennial beds with one cubic yard of garden compost per 100 sf and the compost shall be rototilled to an 8" depth.
- All plants shall be set plumb. It is the option of the landscape contractor to stake deciduous trees but it is also the responsibility of the Landscape Contractor to guarantee the plants remain plumb until the end of the guarantee period.
- Trees shall be installed a minimum of five feet (5') horizontally from underground electrical feeders, sanitary sewers, sanitary services, water mains, and water services. Trees shall be installed a minimum of ten feet (10') horizontally from utility structures including, but not limited to, manholes, valve vaults and valve boxes. Shade trees shall be a minimum of ten feet (10') from all light poles and all shrubs shall be a minimum of three to five feet (3'-5') from all fire hydrants.
- The Landscape Contractor shall locate the existence of all underground utilities prior to starting work. The Landscape Contractor must also keep the pavement and work areas in neat and orderly condition throughout the construction process. The Landscape Contractor shall acquaint himself with. And verify. Working conditions in advance of submitting a proposal. Failure to recognize inherent responsibilities does not relieve the contractor of obligations due to miscalculations.
- Property owners shall be responsible for maintaining all landscaping shown on the approved plans throughout the life of the development.
- All turf shall be premium bluegrass sod in all disturbed areas. All landscape surfaces shall be graded, covered with a minimum of six inches of top soil and sodded.
- Any changes to the landscape plans after final development approval Require review and approval by the planning and zoning administrator.
- Trees and shrubs shall not be located closer than ten (10) feet to fire hydrants, transformers, or other above ground utilities.
- Bare root plants shall not be allowed as part of this project.



REVISIONS:  
 08.10.20 (OWNER REVIEW)  
 09.12.20 (OWNER REVIEW)  
 09.12.20 (SITE PLAN UPDATE)  
 02.18.21 (SITE PLAN UPDATE)  
 02.23.21 (OWNER REVIEW)  
 05.05.21 (VILLAGE REVIEW & SITE PLAN UPDATE)

**DOWDEN DESIGN GROUP**  
 LANDSCAPE ARCHITECTURE, DESIGN & PLANNING  
 P.O. BOX 415, LIBERTYVILLE, IL, 60148  
 DOWDENDESIGNGROUP.COM PHONE (847) 362-1254

**PAPO'S EXPRESS MARKET**  
 2598 W. HIGGINS ROAD  
 HOFFMAN ESTATES, ILLINOIS

**LANDSCAPE PLAN**

DATE: 05/04/20  
 SCALE: 1"=20'  
 DRAWN: CD



**LIOI**



# Hoffman Estates BP Landscape Palette



**Acer rubrum**  
*“Redpointe Maple”*



**Celtis occidentalis**  
*“Chicagoland Hackberry”*



**Quercus robur**  
*“Regal Prince English Oak”*

# Hoffman Estates BP Landscape Palette



**Malus sargentii**  
*"Sargent Crabapple"*



**Thuja occidentalis**  
*"Techny Arborvitae"*



**Aronia melanocarpa**  
*"Low Mound Scape Chokeberry"*



**Allium Allium**  
*"Summer Beauty"*

## Hoffman Estates BP Landscape Palette



**Baptisia australis**  
*"Blue False Indigo"*



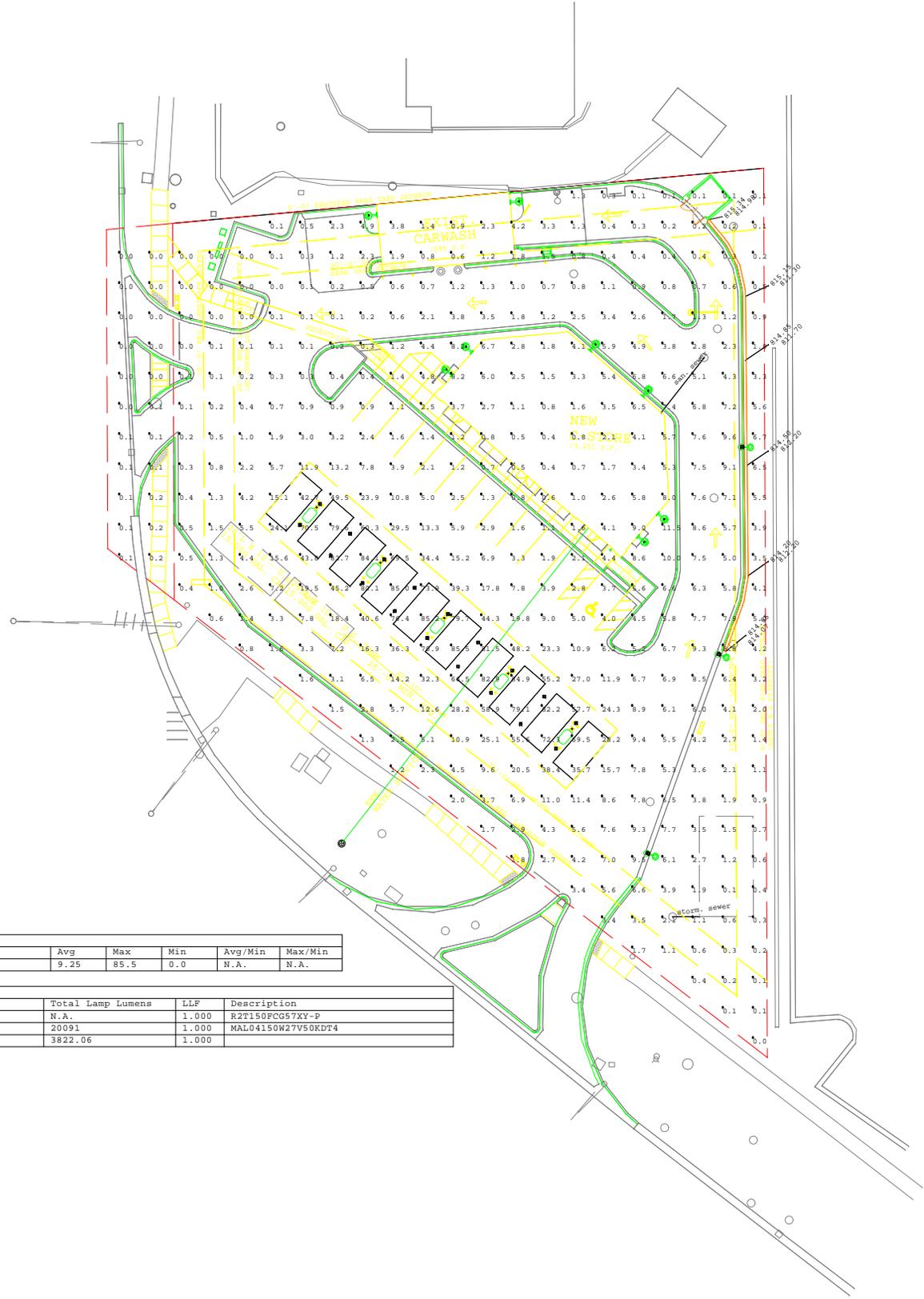
**Calamagrostis acutiflora**  
*"Karl Foerster Reed Grass"*



**Sporobolus heterolepis**  
*"Prairie Dropseed"*



**Stachys monieri 'Hummelo'**  
*"Hummelo Betony"*



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	9.25	85.5	0.0	N.A.	N.A.

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
☐	18	R2T150FCG57XY-P ies	SINGLE	N.A.	1.000	R2T150FCG57XY-P
☐	3	MAL04150W27V50KDT4-NVLAP-IES	SINGLE	20091	1.000	MAL04150W27V50KDT4
☐	8	GBL-30K42-BR	SINGLE	3822.06	1.000	

BARRINGTON ROAD

160'

160'

1  
6  
7

1  
12  
7

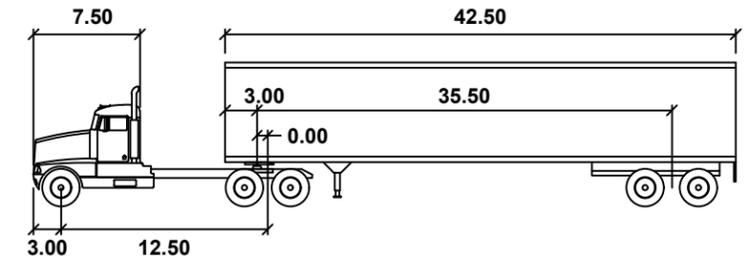
Mountable Curb To Be Provided  
As Required For Truck Turning

Vehicle Path

Mountable Curb To Be Provided  
As Required For Truck Turning

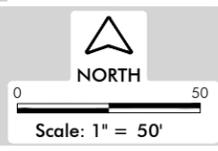
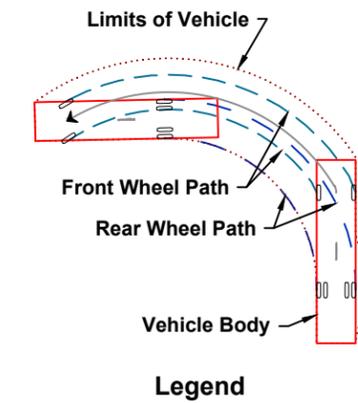
Part of Lot 1  
NORTHWEST CORPORATE  
CENTRAL DIVISION II  
Rec. June 6, 1986, As Doc. No. 86228827

72 (HOGGINS ROAD)



WB-50

	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 17.7
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		



No.	Date	Revision

**TRUCK TURNING EXHIBIT**  
**BP GAS STATION AND**  
**CONVENIENCE STORE**  
 HOFFMAN ESTATES, COOK COUNTY, ILLINOIS

**HAEGER ENGINEERING**  
 consulting engineers • land surveyors  
 100 East State Parkway, Schaumburg, IL 60173 Tel: 847.394.6600 Fax: 847.394.6608  
 Illinois Professional Design Firm License No. 184-003152 www.HaegerEngineering.com

Project Manager: M L A  
 Engineer: M L A  
 Date: 04.29.2021  
 Project No. 20-053  
 Sheet 1 / 4

BARRINGTON ROAD



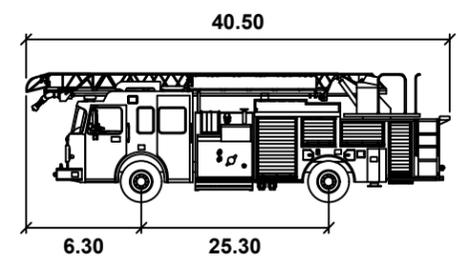
Mountable Curb To Be Provided  
As Required For Truck Turning

Vehicle Path

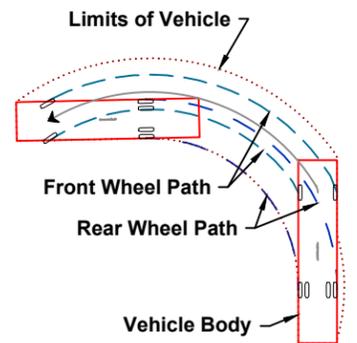
Mountable Curb To Be Provided  
As Required For Truck Turning

Part of Lot 1  
NORTHWEST CORPORATE  
CENTRE, DIVISION II  
Rec. June 6, 1986, As Doc. No. 86228827

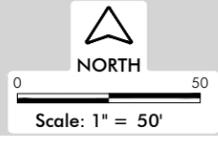
72 (HOGGINS ROAD)



FIRE TRUCK		feet
Width	:	8.50
Track	:	8.50
Lock to Lock Time	:	6.0
Steering Angle	:	41.9



Legend

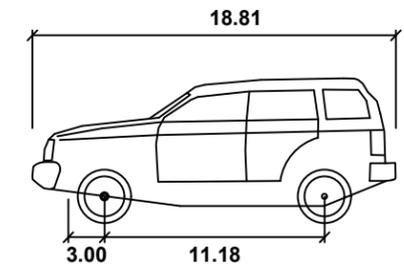
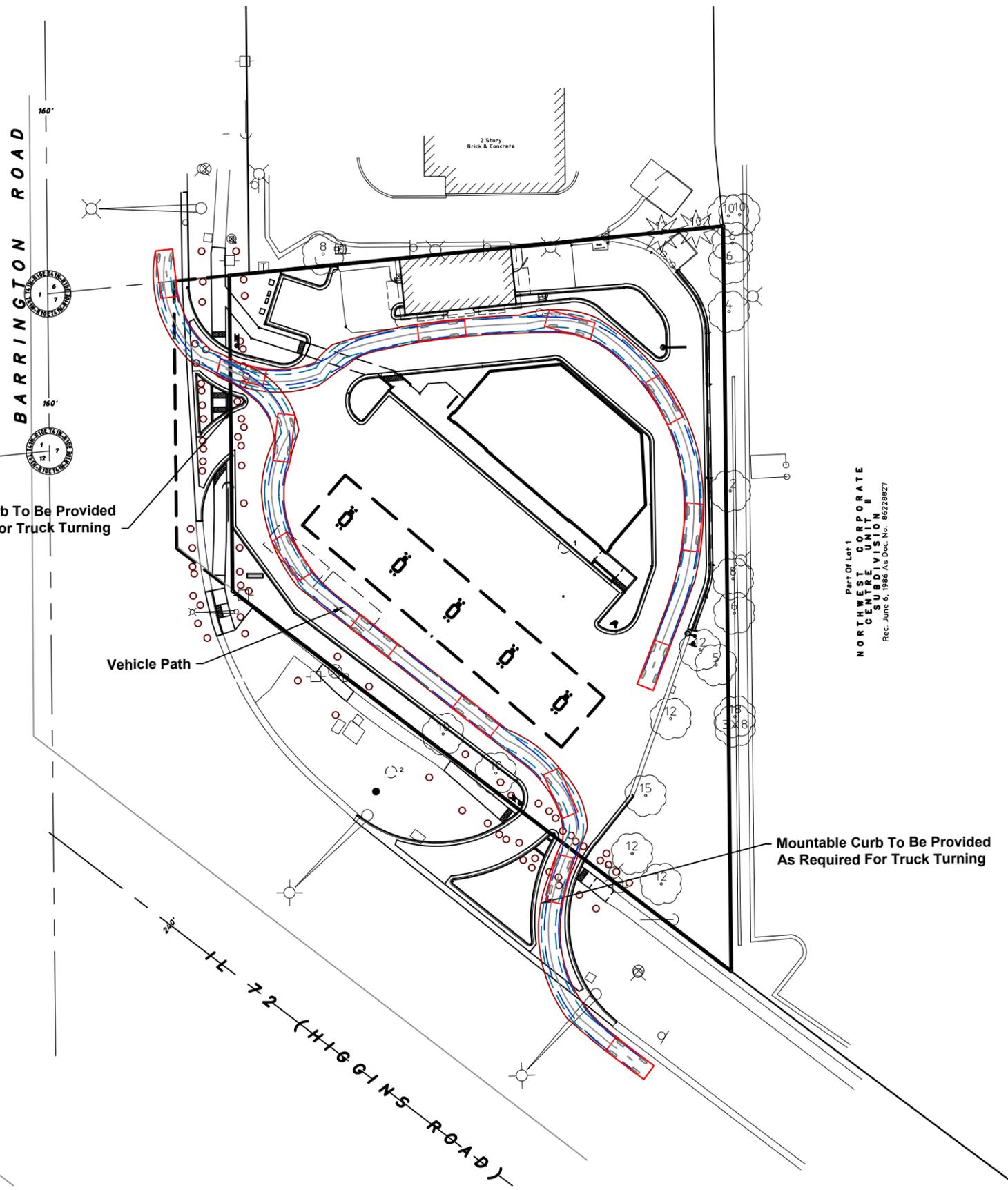


No.	Date	Revision

**FIRE TRUCK TURNING EXHIBIT**  
**BP GAS STATION AND CONVENIENCE STORE**  
HOFFMAN ESTATES, COOK COUNTY, ILLINOIS

**HAEGER ENGINEERING**  
consulting engineers • land surveyors  
100 East State Parkway, Schaumburg, IL 60173 Tel: 847.394.6600 Fax: 847.394.6608  
Illinois Professional Design Firm License No. 184-003152 www.HaegerEngineering.com

Project Manager: M L A  
Engineer: M L A  
Date: 04.29.2021  
Project No. 20-053  
Sheet 2 / 4



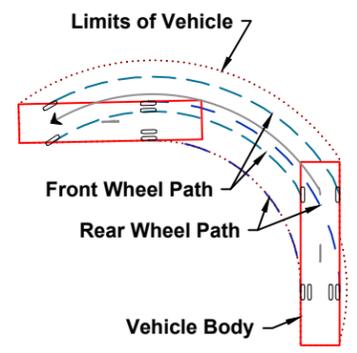
**SUV**

	feet
Width	: 6.75
Track	: 5.71
Lock to Lock Time	: 3.0
Steering Angle	: 40.0

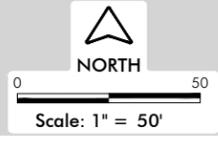
Mountable Curb To Be Provided  
As Required For Truck Turning

Vehicle Path

Mountable Curb To Be Provided  
As Required For Truck Turning



**Legend**

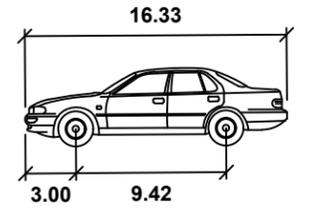


No.	Date	Revision

**SUV TURNING EXHIBIT**  
**BP GAS STATION AND**  
**CONVENIENCE STORE**  
 HOFFMAN ESTATES, COOK COUNTY, ILLINOIS

**HAEGER ENGINEERING**  
 consulting engineers • land surveyors  
 100 East State Parkway, Schaumburg, IL 60173 Tel: 847.394.6600 Fax: 847.394.6608  
 Illinois Professional Design Firm License No. 184-003152 www.HaegerEngineering.com

Project Manager: M L A  
 Engineer: M L A  
 Date: 04.29.2021  
 Project No. 20-053  
 Sheet 3 / 4



**4 door sedan**

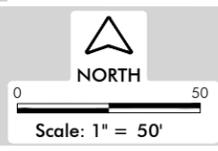
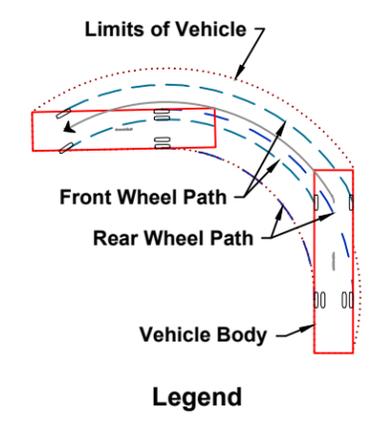
	feet
Width	: 6.00
Track	: 6.00
Lock to Lock Time	: 3.0
Steering Angle	: 31.9

Mountable Curb To Be Provided  
As Required For Truck Turning

Vehicle Path

Mountable Curb To Be Provided  
As Required For Truck Turning

Part of Lot 1  
NORTHWEST CORPORATE  
CENTRAL VILLAGE II  
Rec. June 6, 1986, As Doc. No. 86228827



No.	Date	Revision

**SEDAN TURNING EXHIBIT**  
**BP GAS STATION AND CONVENIENCE STORE**  
 HOFFMAN ESTATES, COOK COUNTY, ILLINOIS

**HAEGER ENGINEERING**  
 consulting engineers • land surveyors  
 100 East State Parkway, Schaumburg, IL 60173 Tel: 847.394.6600 Fax: 847.394.6608  
 Illinois Professional Design Firm License No. 184-003152 www.HaegerEngineering.com

Project Manager: M L A  
 Engineer: M L A  
 Date: 04.29.2021  
 Project No. 20-053  
 Sheet 4 / 4

# BP GAS STATION AND CONVENIENCE STORE 2598 W. HIGGINS ROAD SITE IMPROVEMENT PLANS

SECTION 7 TOWNSHIP 41 NORTH RANGE 10 EAST  
HOFFMAN ESTATES, ILLINOIS  
COOK COUNTY



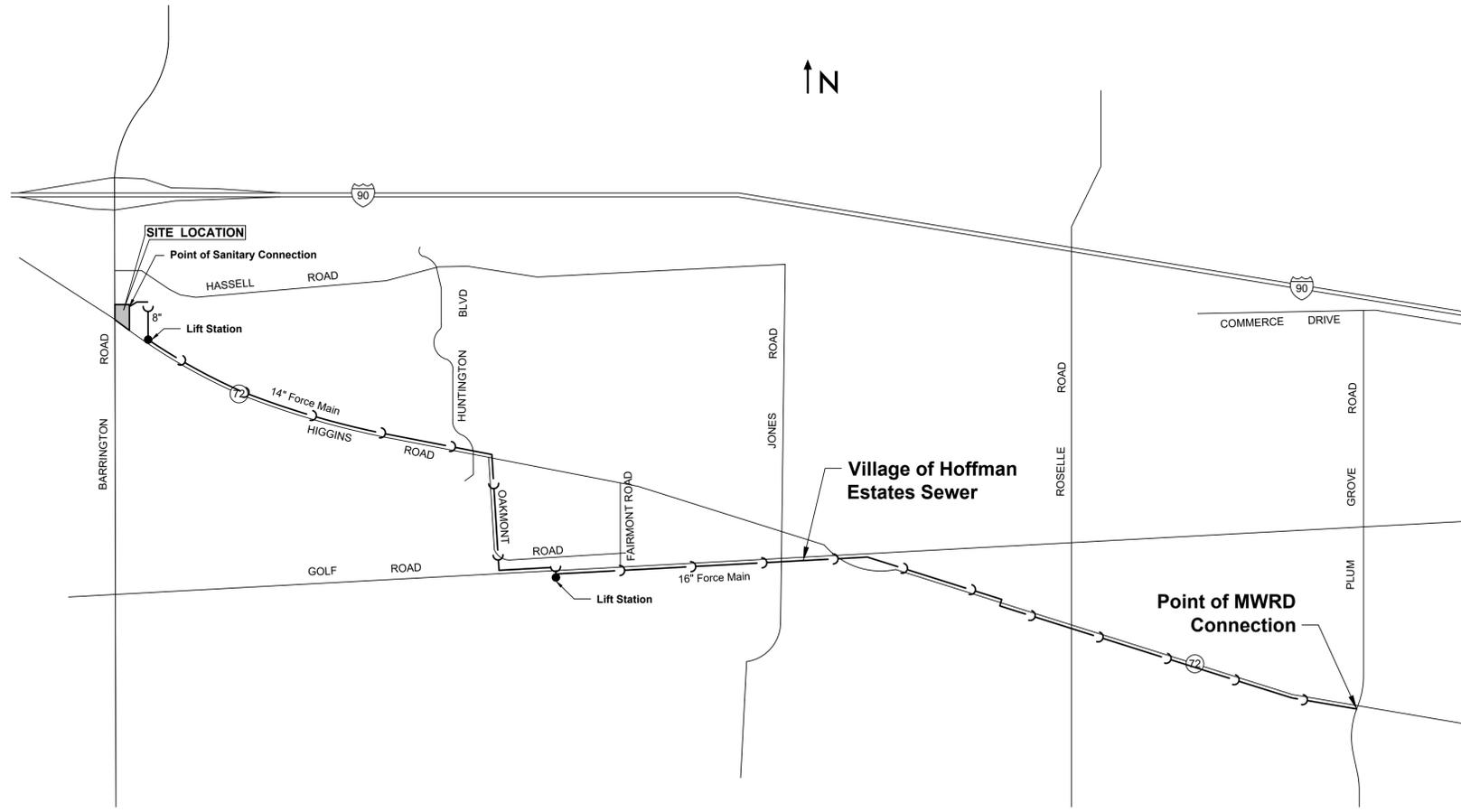
EXPIRES 11-30-21

**OWNER:**  
Stone Ventures Inc  
2598 W. Higgins Road  
Hoffman Estates, IL 60169  
Tel: 847-843-3398

**PREPARED BY:**  
Haeger Engineering LLC  
Illinois Prof. Design Firm #184-003152  
100 E. State Parkway  
Schaumburg, IL 60173  
Tel: 847-394-6600  
Fax: 847-394-6608  
www.haegerengineering.com

**VILLAGE OF HOFFMAN ESTATES**  
1900 Hassell Road  
Hoffman Estates, IL 60169  
Tel: 847-882-9100

Benchmark	
<b>Site Benchmarks</b>	
CP # 613 (See Survey)	Description: Bolt on Hydrant
	Elevation: 821.42 NAVD 88 (Geoid 12A)
CP # 607 (See Survey)	Description: Iron Rod
	Elevation: 809.74 NAVD 88 (Geoid 12A)



LOCATION MAP  
Not To Scale

INDEX TO SHEETS	
NO.	DESCRIPTION
C1.0	TITLE SHEET
C2.0	GENERAL NOTES & SPECIFICATIONS
C2.1	GENERAL NOTES & SPECIFICATIONS
C3.0	EXISTING CONDITIONS PLAN
C3.1	DEMOLITION PLAN
C4.0	GEOMETRY, PAVING, STRIPING & SIGNAGE PLAN
C5.0	UTILITY PLAN
C6.0	SITE GRADING & DRAINAGE PLAN
C6.1	ADA ACCESSIBILITY DETAILS
C7.0	TEMPORARY EROSION AND SEDIMENT CONTROL PLAN
C8.0	TYPICAL DETAILS
C8.1	TYPICAL DETAILS
C8.2	IDOT DETAILS
C8.3	IDOT DETAILS
C8.4	IDOT DETAILS
C8.5	ADS VOLUME CONTROL DETAILS

Existing Symbol	Description	Proposed Symbol
	Storm Sewer Manhole	
	Catch Basin	
	Inlet	
	Flared End Section	
	Headwall	
	Area Drain	
	Sanitary Sewer Manhole	
	Clean Out	
	Storm Sewer	
	Storm Sewer Service	
	Perforated Underdrain	
	Sanitary Sewer	
	Sanitary Sewer Service	
	Combined Sewer	
	Force Main	
	Water Main	
	Water Main Service	
	Fire Hydrant	
	Valve Vault	
	Valve Box	
	B-Box	
	Well Head	
	Light Pole	
	Light Pole With Mast Arm	
	Traffic Signal	
	Traffic Signal With Mast Arm	
	Hand Hole	
	Fence	
	Guardrail	
	Pipe Bollard	
	Sign	
	Gas Valve	
	Gas Line	
	Electric Line	
	Overhead Utility Line	
	Fiber Optic Line	
	Electrical Pedestal	
	Electric Manhole	
	Guy Wire	
	Utility Pole	
	Telephone Pedestal	
	Telephone Manhole	
	Telephone Line	
	Cable TV Line	
	Cable TV Pedestal	
	Flagpole	
	Mailbox	
	Handicapped Parking Stall	
	Number of Parking Stalls	
	Curb & Gutter	
	Reverse Pitch Curb & Gutter	
	Depressed Curb	
	Retaining Wall	
	Curb Elevation and Gutter/Pavement Elevation	
	Gutter/Pavement Elevation	
	Pavement Elevation	
	Sidewalk Elevation	
	Ground Elevation	
	Top of Wall Elevation	
	Bottom of Wall Elevation	
	Open Lid Frame & Grate	
	Closed Lid Frame & Lid	
	Finish Grade	
	Garage Floor	
	Top of Foundation	
	Swale	
	Hardscape Flow	
	Softscape Flow	
	Contour Line	
	Deciduous Tree	
	Coniferous Tree	
	Bush	
	Brushline	
	Over Land Flow Route	

Revision	Date	Description
7	06/14/2021	Revised per Village Review
6	05/10/2021	Revised per IDOT Review
5	04/29/2021	Revised per Village Review
4	02/16/2021	Revised per Village Review
3	10/14/2020	Revised per Village Review
2	10/14/2020	Revised per Village Review
1	09/18/2020	Revised per IDOT Review

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**TITLE SHEET**  
BP GAS STATION AND CONVENIENCE STORE  
2598 W. HIGGINS ROAD  
HOFFMAN ESTATES, IL

Project Manager: M L A  
Engineer: M E T  
Date: 06.11.2020  
Project No. 20-053  
Sheet C1.0 / C8



Note:  
Call 811 at least 48 hours, excluding weekends and holidays, before you dig.

GENERAL NOTES

- 1. Definition of Terms:
a. 'Owner' shall mean the person or entity with which Haeger Engineering, LLC has been contracted to prepare the Plans and Specifications.
b. 'Engineer' shall mean Haeger Engineering, LLC.
c. 'Contractor' shall mean the persons or entities responsible for performing and constructing the work described in the Plans, Specifications and other Contract Documents...
2. The Specifications governing this project are as follows:
a. All applicable Village/City and other applicable Jurisdictional Agency Ordinances, Codes, Regulations, Requirements, Policies, Specifications, Standards, etc.
b. Highway and Earthwork construction shall conform to the Illinois Department of Transportation (IDOT) 'Standard Specifications for Road and Bridge Construction'...
3. Contract Documents:
a. The Engineer's Plans and Specifications shall be included as part of the Contract Documents.
b. All Contractors shall carefully examine the Plans and Specifications, and other Contract Documents prepared for the work...
4. Should it appear that the work covered by the Plans and Specifications or other Contract Documents is not sufficiently detailed or explained, a Request For Information (RFI) Form shall be submitted to the Engineer for further explanations and drawings as may be necessary to clarify the point in question prior to the contract award...
5. Whenever the performance of work is indicated on the Plans, and no specific item is included in the Contract for payment, the work shall be considered incidental to the Contract and no additional compensation will be allowed...
6. The base plan/drawing for the Engineering Plans (existing conditions, site topography, utilities, rights-of-way, etc.) was obtained from the topographic survey prepared by Haeger Engineering.
7. The Owner shall obtain the necessary approvals from the following Jurisdictional Agencies:
a. Village/City
b. Metropolitan Water Reclamation District of Greater Chicago (MWRD)
c. Illinois Department of Transportation (IDOT)
8. The Contractor, unless otherwise agreed upon in writing with the Owner prior to the start of Construction, shall at his own expense, obtain all other approvals including permits, licenses, etc., as may be required for the execution of this work...
9. No work shall proceed until the appropriate permit or permits have been obtained for the item or items to be constructed...
10. The Contractor shall indemnify and hold harmless the Owner, Engineer, Village/City, and other Jurisdictional Agencies as well as all of their respective officers, employees, agents, and Engineers from and against all losses, claims, demands, payments, suits, actions, recoveries, and judgment of every nature and description brought or recovered against them...
11. The construction shall be under the general inspection and observation of the designated individual authorized by the Village/City or other applicable Jurisdictional Agencies...
12. The location of existing underground utilities such as water mains, sewers, gas lines, electric lines, cable TV lines, fiber optic lines, etc., as shown on the Plans, has been determined from the best available information and has been provided for the convenience of the Contractor...
13. In some instances, the existing utilities are shown on the Plans according to information obtained from the utility companies (alias information) and/or surveys performed by Others...
14. The Contractor will be required to cooperate with all utility companies involved in connection with the removal, temporary relocation, construction, reconstruction or abandonment by these companies of any and all services or facilities owned or operated by them within the limits or general vicinity of the proposed improvements...
15. Before doing any work which will damage, disturb or leave unsupported, or unprotected any utility lines or related appurtenances encountered, the Contractor shall notify the respective Owner thereof...
16. No extra compensation will be allowed by the Contractor for any expense incurred for complying with all of these aforementioned utility coordination and cooperation requirements...
17. Prior to commencing work, the Contractor is to field check and verify all critical locations, elevations, materials, sizes, dimensions, and conditions affecting the work, and notify the Engineer immediately if there are any suspected discrepancies...

- 18. The Contractor shall maintain positive drainage at all times during construction. Construction shall not block off-site drainage and the flow from any drainage ways, field tiles, storm sewers or similar draining off-site properties. All on-site drainage field tiles, storm sewers or similar drainage ways or similar enclosures or damaged during construction shall be maintained, restored to their original pre-construction condition or better, properly re-routed, and/or connected to the proposed stormwater drainage system...
19. No construction activities, disturbance or fill shall occur within the limits of natural resources such as wetlands, floodplains, creeks, streams, ponds, lakes, basins, reservoirs, etc. or their respective buffers...
20. The Contractor shall confine their activities to within the project boundaries, work areas, or easements specified...
21. The Contractor is responsible for returning all areas affected by equipment, materials and/or laborers to pre-construction condition or better...
22. Clean-up and final restoration shall be performed immediately upon completion of each phase of the work or when directed to do so by the Owner...
23. All proposed grades shown on the Plans shall be considered to be finished grade surface elevations unless noted otherwise...
24. The Contractor shall observe and comply with all the Occupational Safety and Health Administration (OSHA) standards, rules and regulations, as well as any other applicable local, state and federal safety thereon...
25. All construction means and methods, techniques, procedures, scheduling, sequencing, and job site safety is the sole responsibility of the Contractor...
26. The Contractor shall take whatever steps necessary to protect the public from open trenches, excavations, and other site obstructions or hazards...
27. All trenching, shoring, bracing and construction work performed shall be in accordance with the Occupational Safety and Health Administration (OSHA) standards...
28. During construction the Contractor and their Sub-Contractors shall keep the premises clean by removing all rubbish, debris, waste material and other accumulations as necessary...
29. Village/City shall have appropriate equipment and materials including street sweepers and private roads and/or pavement. The Contractor shall immediately remove any sediment or debris including but not limited to dirt, mud, clay, sediment, concrete, gravel, sand, stones, plant material, refuse, garbage, oil, grease, etc. deposited on any roadway, street, walk, alley or other pavement...
30. The Contractor shall be responsible for the installation and maintenance of adequate signs, traffic control devices, and warning devices, in accordance with the Plans, applicable IDOT Standard Specifications and the MUTCD Standards to inform and protect the public during all phases of construction...
31. The Contractor shall at all times maintain proper dust control at the site and shall have a watering truck readily available during all working hours...
32. Trees not marked for removal shall be protected as necessary by the Contractor...
33. Where overhanging branches, limbs, or roots interfere with the required construction activities, said branches, limbs, or roots shall be trimmed or pruned as necessary in accordance with Section 201 of the IDOT Standard Specifications...
34. The Contractor is responsible for the installation and maintenance of adequate signs, traffic control devices, and warning devices...
35. Where noted in the Plans, the Contractor shall have Shop Drawings and any other required supporting documentation or calculations prepared and submitted for review and approval prior to any fabrication, placement, or construction...
36. The Contractor is responsible for having a set of approved Plans and Specifications with the latest revision date on the job site at all times during the construction period...
37. The Contractor shall maintain a clean, legible, undamaged set of Field Marked Construction Plans...
38. All work that is performed that is not in conformity with the Plans, Specifications or other Contract Documents or that is defective shall be removed and replaced, or otherwise corrected or remedied by and at the sole expense of the Contractor...
39. All work performed under the Plans, Specifications or other Contract Documents shall be guaranteed against all defects in materials and workmanship of whatever nature by the Contractor and his surety for a minimum period of 12 months from the date of final acceptance of the work...
40. If required, the Owner shall have As-built or Record Drawings prepared and submitted to the Village/City and all other applicable Jurisdictional Agencies for approval after the completion of construction...
41. If required, the Owner shall have As-built or Record Drawings prepared and submitted to the Village/City and all other applicable Jurisdictional Agencies for approval after the completion of construction...

DEMOLITION AND CLEARING

- 1. The Contractor shall perform all demolition, clearing, grubbing, and tree removal and protection work in accordance with all applicable Federal, State, County and Local requirements or as noted in the Plans.
2. Prior to the commencement of any demolition or clearing activities, the Owner or Contractor shall obtain all applicable permits to disconnect the existing utility services to each building proposed for demolition.
3. The Contractor shall coordinate all demolition work with the Village/City, utility companies, and other Jurisdictional Agencies, so as to ensure the protection of all existing sewer, water main, and other utilities, and further to ensure that proper stormwater conveyance is attained until the proposed improvements can be installed and placed into operation.
4. Clearing shall consist of the removal and legal disposal of all obstructions such as trees, hedges, fences, walls, accumulations of rubbish of whatever nature, and all low vegetation, brush, grass, weeds, and other vegetation and stumps. These items shall be removed whenever they are found within the street right-of-ways or within the limits of construction. Trees to be saved or protected shall be identified by the Engineer on the Plans or in the field. All trees except those designated to be saved or protected, as well as all stumps and hedges within the limits of construction, shall be removed...
5. All items shown to be removed on the Plans including items not specifically noted but necessary to be removed to construct the proposed improvements shall be demolished or removed as necessary and disposed of legally off-site or as approved by the Owner.
6. Existing utilities to be disconnected shall be done so at the main or as directed by the applicable Jurisdictional Agency or as noted on the Plans.
7. Utilities marked to be abandoned shall be abandoned as required by the applicable Jurisdictional Agency or as noted on the Plans.
8. All existing pavement or concrete to be removed shall be saw-cut along the limits of the proposed removal to provide a clean vertical edge. The cost of saw-cutting shall be considered incidental to the removal of each item.
9. All voids left by any item removed under any proposed building, pavement walk and other structural areas or within zones of influence thereof shall be properly backfilled with suitable backfill material and/or compacted as necessary by the Contractor.
10. The Contractor shall implement a daily program for dust control as it relates to the demolition and clearing activities. This program is to be approved by the Village/City prior to the start of any demolition or clearing work.
11. All existing building services serving buildings that are to be removed shall be disconnected and removed to construct the proposed improvements shall be demolished or removed as necessary and disposed of legally off-site or as approved by the Owner.
12. All existing wells shown on the Plans to be abandoned or that are discovered during the course of construction shall be exposed and cut-off three (3) feet below the proposed finished grade and sealed by the Contractor in accordance with Section 920 of the 'Illinois Water Well Construction Code', latest edition, or as required by the Health Department or by any other Local, County, State or Federal rules and regulations.
13. All existing septic tanks, grease traps or similar shown on the Plans to be abandoned or that are discovered during the course of construction shall have all liquids and solids removed and disposed of legally off-site by a licensed commercial waste hauler in accordance with the requirements of the Health Department or as required by any Local, County, State or Federal rules and regulations.
14. Any material containing asbestos or other hazardous materials found within existing structures or other items shown to be removed in order to construct the proposed improvements shall be removed from the site and legally disposed of off-site by the Contractor in accordance with applicable County, State or Federal rules and regulations.
15. All fire access lanes or routes located within the existing project area shall remain in service, clean of debris, and accessible for use by emergency vehicles at all times while demolition and clearing work is being performed.
16. It shall be the responsibility of the Contractor to legally remove from the site any and all materials and debris which results from their demolition or clearing operations at no additional expense to the Owner. Burning or incineration on the site is not permitted.

EARTHWORK AND GRADING

- 1. All earthwork and grading activities shall be performed in accordance with the IDOT Standard Specifications or as noted in the Plans. Included in this work, but not necessarily limited to the following are: stripping and stockpiling of topsoil, mass grading and fine grading of the site and roadways, excavation of unsuitable materials and adequate disposal of unsuitable materials and their replacement with suitable materials where required, construction of detention ponds, berm construction, and miscellaneous topsoil spread and seeding.
2. Any earthwork quantities, calculations, summaries that have been furnished by the Engineer are for information purposes only and are provided without any guarantee by the Owner or Engineer whatsoever as to their sufficiency or accuracy. They are intended to be used solely as a guide for the Contractor in determining the scope of the completed project. It is the responsibility of the Contractor to determine all material quantities and appraise themselves of all site conditions. The Contractor warrants that he has performed his own investigations as necessary and his own calculations to determine site soil conditions and earthwork quantities. The Engineer makes no representation or guarantee regarding earthwork quantities or that the earthwork for this project will balance due to the varying field conditions, changing soil types, allowable construction practices and construction methods that are beyond the control of the Engineer. In the event that the Earthwork is indicated to be Lump Sum then the Contract Price submitted by the Contractor shall be considered as Lump Sum and shall include all items necessary for the complete project and no claims for extra work will be recognized unless authorized in writing by the Owner.
3. The initial establishment of soil erosion and sediment control measures such as the placement of erosion control silt fence, stabilized construction entrance, inlet protection, etc. shall be installed by the Contractor prior to the start of demolition, clearing and mass grading.
4. All earthwork and grading operations are to be supervised and inspected by a qualified Geotechnical/Soils Engineer or their designated representative. All testing, inspection, observation, and supervision of soil quality, unsuitable soil removal and its replacement, compaction testing, and other soils related operations shall be entirely the responsibility of the Geotechnical/Soils Engineer. Furthermore, no undercut or other recommended remediation work shall be performed without authorization by the Owner and documentation of extent by the Geotechnical/Soils Engineer.
5. Topsoil stripping or excavation shall initially consist of the removal of the uppermost layers of organic soil and stockpiling at a location shown on the Plans, in another area deemed appropriate by the Contractor and approved by the Owner, or at a location specified by the Owner or Engineer. No stockpile location shall be finalized without the explicit approval from the Owner. Further, stockpiles shall not be located within flood prone areas or within designated buffer areas.
6. Stripping of vegetation or ground cover, grading, or other soil disturbance activities shall be done in a manner which will minimize soil erosion. Further, the disturbance shall be kept to a minimum and all disturbed areas shall be stabilized with temporary or permanent measures within fourteen (14) days of active hydrologic disturbance or re-disturbance.
7. The Contractor shall take precautionary measures to minimize earthwork and other activities in the areas where trees are to be saved or protected so as not to cause injury to roots or trunks.
8. Embankment placement including preparation of existing ground surface prior to embankment placement and compaction shall be in accordance with Section 205 of the IDOT Standard Specifications. All embankments located within structural fill areas or zones of influence thereof shall be constructed to a minimum 95% of the modified proctor density in accordance with ASTM D1557. Embankments located in non-structural fill areas shall be constructed to a minimum of 90% of the modified proctor density in accordance with ASTM D1557.
9. Topsoil respread shall consist of placing a minimum of a four (4) inch layer of topsoil or depth indicated on the Plans over the disturbed ungraded areas within the construction limits. These areas shall then be seeded, sodded, landscaped, stabilized, etc. as indicated on the Plans.
10. Sod shall be placed on all disturbed areas within the right-of-way and at other locations indicated on the Plans.
11. Refer to the Landscape Plans prepared by Others for additional information on the landscaping and ground cover requirements.
12. Completed subgrade grading and final finished grading for all proposed improvements shall be within a tolerance of plus or minus one-tenth (0.1) foot of the design elevation.
13. Contractor shall provide uniform slopes between proposed grades and smooth vertical curves/transitions through all high and low points. Smooth transitions shall be provided where any proposed improvements attach into or abut existing improvements.
14. The subgrade for the proposed streets and other pavement areas shall be proof-rolled by the Contractor in the presence of the Village/City Engineer or applicable Jurisdictional Agency and the Geotechnical/Soils Engineer. Any unstable areas or failures encountered shall be removed and replaced or remediated as directed by the Village/City Engineer or applicable Jurisdictional Agency and Geotechnical/Soils Engineer. Any unstable areas or failures encountered during remediation method including approximate size, quantity, etc. shall be documented by the Geotechnical/Soils Engineer.
15. It shall be the responsibility of the Contractor to legally remove from the site any and all materials and debris which results from their construction operations at no additional expense to the Owner. Burning or incineration on the site is not permitted.

SEWER AND WATER MAIN GENERAL NOTES

- 1. All sanitary sewers, storm sewers and water mains as well as their services and other related appurtenances shall be constructed and tested in accordance with the 'Standard Specifications for Water and Sewer Construction in Illinois', latest edition, the requirements of the applicable Jurisdictional Agency, and the applicable Typical Details.

- 2. Rough grading shall be within one (1) foot of finished subgrade elevation shall be completed prior to the commencement of the underground utility construction in accordance with the 'Standard Specifications for Water and Sewer Construction in Illinois', latest edition and other related appurtenances shall be in accordance with applicable Trench Section Details.
3. When in the opinion of the Geotechnical/Soils Engineer, unsuitable soil conditions are encountered within utility trenches which require the removal of unsuitable materials below the depth of the bedding support field tiles are encountered, the Contractor shall remove the material with granular compacted bedding material as directed by the Geotechnical/Soils Engineer, Village/City or other applicable Jurisdictional Agency. The depth of the required removal and replacement shall be documented by the Geotechnical/Soils Engineer and witnessed by the Contractor. This work, when approved by the Owner and Geotechnical/Soils Engineer, will be measured and paid for at the contract unit price specified in the Plans and further that the work has been permitted. The Contractor shall take sufficient precautions to protect these natural resources that are to remain, whether on-site or adjacent property, to protect them from sediment, fuels, oils, bitumens, calcium chloride, or other harmful materials that may be a detriment. The Contractor shall conduct and schedule their Construction so as to avoid siltation, or other disturbance or impact to these natural resource areas.
4. The Contractor shall not legally dispose of off-site or as otherwise designated on the Plans or authorized by the Owner. Trees designated to be saved or protected as indicated on the Plans or as directed by the Engineer, shall be protected from damage in accordance with the procedures outlined in Section 201 of the IDOT Standard Specifications.
5. All items shown to be removed on the Plans including items not specifically noted but necessary to be removed to construct the proposed improvements shall be demolished or removed as necessary and disposed of legally off-site or as approved by the Owner.
6. Existing utilities to be disconnected shall be done so at the main or as directed by the applicable Jurisdictional Agency or as noted on the Plans.
7. Utilities marked to be abandoned shall be abandoned as required by the applicable Jurisdictional Agency or as noted on the Plans.
8. All existing pavement or concrete to be removed shall be saw-cut along the limits of the proposed removal to provide a clean vertical edge. The cost of saw-cutting shall be considered incidental to the removal of each item.
9. All voids left by any item removed under any proposed building, pavement walk and other structural areas or within zones of influence thereof shall be properly backfilled with suitable backfill material and/or compacted as necessary by the Contractor.
10. The Contractor shall implement a daily program for dust control as it relates to the demolition and clearing activities. This program is to be approved by the Village/City prior to the start of any demolition or clearing work.
11. All existing building services serving buildings that are to be removed shall be disconnected and removed to construct the proposed improvements shall be demolished or removed as necessary and disposed of legally off-site or as approved by the Owner.
12. All existing wells shown on the Plans to be abandoned or that are discovered during the course of construction shall be exposed and cut-off three (3) feet below the proposed finished grade and sealed by the Contractor in accordance with Section 920 of the 'Illinois Water Well Construction Code', latest edition, or as required by the Health Department or by any other Local, County, State or Federal rules and regulations.
13. All existing septic tanks, grease traps or similar shown on the Plans to be abandoned or that are discovered during the course of construction shall have all liquids and solids removed and disposed of legally off-site by a licensed commercial waste hauler in accordance with the requirements of the Health Department or as required by any Local, County, State or Federal rules and regulations.
14. Any material containing asbestos or other hazardous materials found within existing structures or other items shown to be removed in order to construct the proposed improvements shall be removed from the site and legally disposed of off-site by the Contractor in accordance with applicable County, State or Federal rules and regulations.
15. All fire access lanes or routes located within the existing project area shall remain in service, clean of debris, and accessible for use by emergency vehicles at all times while demolition and clearing work is being performed.
16. It shall be the responsibility of the Contractor to legally remove from the site any and all materials and debris which results from their demolition or clearing operations at no additional expense to the Owner. Burning or incineration on the site is not permitted.

SANITARY SEWER

- 1. Refer to Sewer and Water Main General Notes for additional requirements.
2. Gravity Sanitary Sewer Pipe shall be constructed from one or more of the following materials as specified on the Plans:
a. Polyvinyl Chloride (PVC) Pipe conforming to ASTM D3034 with a Standard Dimension Ratio (SDR) of 26 unless noted otherwise on the Plans with elastomeric gasket joints conforming to ASTM D3212 and F477.
b. Ductile Iron Pipe (DIP), Class 52, conforming to ANSI A21.51 and AWWA C151 with rubber gasket joints conforming to ANSI A21.4 and AWWA C111. The interior of the pipe and fittings shall be cement-mortar lined in accordance with ANSI A21.4 and AWWA C104. The exterior of all pipes and fittings shall be coated with an asphaltic coating per ANSI A21.51 and AWWA C151 for ductile iron pipe, and ANSI A21.10/A21.53 and AWWA C110/C153 for fittings.
3. Where water main quality pipe and joints are required to meet the water main protection requirements of the local jurisdiction, the Contractor shall be provided with one or more of the following materials as specified on the Plans:
a. Polyvinyl Chloride (PVC) Pipe conforming to ASTM D2241 with a Standard Dimension Ratio (SDR) of 26 unless noted otherwise on the Plans with elastomeric gasket joints conforming to ASTM D3139 and F477.
b. Ductile Iron Pipe, Class 52, conforming to ANSI A21.51 and AWWA C151 with rubber gasket joints conforming to ANSI A21.4 and AWWA C111. The interior of the pipe and fittings shall be cement-mortar lined in accordance with ANSI A21.4 and AWWA C104. The exterior of all pipes and fittings shall be coated with an asphaltic coating per ANSI A21.51 and AWWA C151 for ductile iron pipe, and ANSI A21.10/A21.53 and AWWA C110/C153 for fittings.
4. All sanitary manholes shall be constructed of precast reinforced concrete sections with longue and groove joints conforming to ASTM C478 and shall have a minimum inside diameter of 48-inches. If manhole diameter is not specified in the Plans the required manhole diameter shall be determined by size of pipes and their orientation. The precast reinforced concrete base and bottom section shall be monolithically cast. All pipe openings in the structure shall be precast into the structure walls at the proper invert elevation and orientation. Benches and defined channel invert flow lines shall be provided at bottom of structure to provide smooth deflow path between all inlet and outlet pipe inverts. Sanitary manholes shall have eccentric offset cones, except where necessary due to height and opening restrictions, where a precast reinforced concrete flat top slab section shall be provided in-lieu of an eccentric cone section. Flat top slabs shall conform to IDOT Standard Detail 602601 as well as meet the H-20/HS-20 loading requirement. Concrete adjusting rings will be permitted where necessary to adjust the manhole diameter to meet the required manhole diameter. All joints between structure sections, adjusting rings and frames shall be securely sealed to one another using a resilient, flexible, non-hardening bituminous mastic or butyl seaming compound in accordance with ASTM C990, or flexible rubber gasket in accordance with ASTM C443 in order to provide a watertight joint. The Contractor shall be responsible for the placement and sealing of manhole sections on inside of structure and external chimney seals shall be provided on all sanitary manholes and all sanitary manholes shall be watertight.
5. Sanitary manhole frames and lids shall be Neenah R-1713 with Type B, self-sealing, watertight lids with concealed pick holes or approved equal, unless noted otherwise in the Plans. Sanitary manhole lids shall be imprinted with the word 'SANITARY' cast into the lid.
6. Manhole steps shall be furnished and installed in all Sanitary and Storm structures in accordance with the 'Standard Specifications for Water and Sewer Construction', latest edition and as shown on the Plans. Steps shall be polypropylene coated steel core reinforced steps with slip, load, and pullout ratings in accordance with ASTM C478 and OSHA requirements. The steps shall be placed uniformly at twelve (12) to sixteen (16) inches on-center and shall be located directly below the manhole frame opening and shall not be located directly over a pipe opening with the alignment of the steps generally perpendicular to the pipe flow direction wherever possible.
7. An external drop manhole structure in accordance with Plans or other Jurisdictional Agency requirements shall be provided where the difference between inverts is greater than or equal to two (2) feet.
8. The minimum cover over sanitary sewer lines and services shall be five (5) feet.
9. The minimum sanitary service line size shall be 6-inch diameter pipe at a 1.0% minimum slope. All services stubs shall be capped with a watertight plug until connection is ready to be made. The plug shall be properly secured to withstand the required test pressures.
10. Sanitary sewer service risers shall be installed where the mainline sewer depth is greater than twelve (12) feet below the manhole invert.
11. Cleanouts shall be provided in locations shown on the Plans or as required by the Jurisdictional Agency.
12. All floor drains shall discharge into the sanitary sewer.
13. External grease traps, if applicable, shall be provided in accordance with the Jurisdictional Agency requirements and the applicable Typical Details. The Contractor shall submit shop drawings for review and approval prior to ordering or fabricating the grease trap.
14. Sanitary sewers and related appurtenances shall be tested and televised in accordance with the following:
a. All sanitary sewers shall be tested for acceptability by either an air test, infiltration of water test, or exfiltration of water test as a combination thereof in accordance with the 'Standard Specifications for Water and Sewer Construction', latest edition or in accordance with the requirements of the Village/City or applicable Jurisdictional Agency, whichever is more restrictive. The maximum allowable rate of infiltration or exfiltration shall not exceed 200 gallons per inch diameter of pipe per mile of pipe per day.
b. All fixtures and sanitary sewers shall be deflection tested in accordance with the 'Standard Specifications for Water and Sewer Construction', latest edition or in accordance with the requirements of the Village/City or applicable Jurisdictional Agency, whichever is more restrictive. Deflection shall not exceed the manufacturer's recommended deflection limits or a maximum of 5% of the internal diameter of the pipe, whichever is more stringent.
c. All sanitary manholes shall be tested for watertightness using a leakage test in accordance with ASTM C898 - 'Standard Practice for Infiltration/Exfiltration Acceptance Testing of Installed Precast Concrete Pipe Sewer Lines' or ASTM C1244 - 'Standard Test Method for Concrete Sewer Manholes with the Negative Pressure (Vacuum) Test Prior to Backfill'.
d. The Contractor shall televise all newly constructed sanitary sewers in accordance with applicable

Jurisdictional Agency requirements prior to the completion of the project and final acceptance. A copy of the inspection video shall be provided to the applicable Jurisdictional Agency and the Engineer for review.

Table with 3 columns: No., Date, Revision. Contains revision history for the document.

Project Manager: M L A
Engineer: M E T
Date: 06.11.2020
Project No. 20-053
Sheet C2.0 of 38
GENERAL NOTES & SPECIFICATIONS
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**STORM SEWER**

- 1. Refer to Sewer and Water Main General Notes for additional requirements.
2. Storm Sewer Pipe shall be constructed from one or more of the following materials as specified on the Plans:
a. Reinforced Concrete Pipe (RCP) conforming to ASTM C76 with O-Ring gasket joints conforming to ASTM C443. Pipe class shall be per Section 550 of IDOT Standard Specifications, except that pipe shall be a minimum Class III in non-structural areas (i.e., grass, parkway, etc.) and a minimum of Class IV in or within zone of influence of all structural areas (i.e., roadways, parking lots, curbs, walks, etc.).
b. High Density Polyethylene (HDPE) Pipe with smooth wall interior conforming to ASTM D3350 with joints conforming to ASTM D3212 and ASTM D3350. Advanced Drainage Systems N-12 or approved equal.
3. Where water main quality pipe and joints are required to meet the water main protection requirements the storm sewer pipe shall be constructed from one or more of the following materials as specified on the Plans:
a. Reinforced Concrete Pipe (RCP) conforming to ASTM C361 with O-Ring gasket joints conforming to ASTM C443 and Class III in non-structural areas (i.e., grass, parkway, etc.) and a minimum of Class IV in or within zone of influence of all structural areas (i.e., roadways, parking lots, curbs, walks, etc.).
b. Polyvinyl Chloride (PVC) Pipe conforming to ASTM D2241 with a Standard Dimension Ratio (SDR) of 26 unless noted otherwise on the Plans with elastomeric gasket joints conforming to ASTM D3139 and F477.
c. High Density Polyethylene (HDPE) pressure pipe with smooth wall interior and joints conforming to AWWA C-906.
d. Ductile Iron Pipe (DIP), Class 52, conforming to ANSI A21.51 and AWWA C151 with rubber gasket joints conforming to ANSI A21.11 and AWWA C111. The interior of the pipe and fittings shall be cement-mortar lined in accordance with ANSI A21.4 and AWWA C104. The exterior of all pipes and fittings shall be coated with an asphaltic coating per ANSI A21.51 and AWWA C151 for ductile iron pipe, and ANSI A21.10/A21.53 and AWWA C110/C153 for fittings.
4. All storm structures shall be constructed of precast reinforced concrete sections with tongue and groove joints conforming to ASTM C478. If the structure diameter is not specified in the Plans the required manhole diameter shall be determined by size of pipes and their orientation. The precast reinforced concrete base and bottom section shall be monolithically cast. All pipe openings in the structure shall be precast into the structure walls at the proper invert elevation and orientation. Benches and defined channel invert flow lines shall be provided at bottom of structures to provide smooth defined flow path between all inlet and outlet pipe inverts. Storm manholes and catch basins shall have concentric offset cones, except where necessary due to height and opening restrictions, where a precast reinforced concrete flat top slab section shall be provided in-lieu of an eccentric cone section. Flat top slabs shall conform to IDOT Standard Detail 602601 as well as meet the H-20/HS-20 loading requirement. Catch Basins shall have the sump depth as specified in the Plans. Concrete adjusting rings will be permitted where necessary and shall be limited to two (2) adjusting rings totaling not more than eight (8) inches in height. All joints between structure sections, adjusting rings and frames shall be securely sealed to one another using a resilient, flexible, non-hardening bituminous mastic or butyl sealing compound in accordance with ASTM C990, or flexible rubber gasket in accordance with ASTM C443 in order to provide a watertight joint. The Contractor shall remove all excess mastic on inside of structure and butter joints with mortar.
5. Manhole steps shall be installed in all Sanitary Sewer Storm structures in accordance with the "Standard Specifications for Water and Sewer Construction", latest edition and as shown on the Plans. Steps shall be polypropylene coated steel core reinforced steps with slip, load, and pullout ratings in accordance with ASTM C478 and OSHA requirements. The steps shall be placed uniformly at twelve (12) to sixteen (16) inches on-center and shall be located directly below the manhole frame opening and shall not be located directly over a pipe opening with the alignment of the steps generally perpendicular to the pipe flow direction wherever possible.
6. Open lid storm structures are designated with "Gr" on the Plans and closed lid storm structures are designated with "Rim" on the Plans.
7. Closed lid storm structures frames and lids shall be Neenah R-1713 with Type B lid, or approved equal, unless noted otherwise in the Plans. Closed lid storm lids shall be imprinted with the word "STORM" cast into the lid.
8. Open lid storm structures frames and lids shall be Neenah R-2504-D, or approved equal, unless noted otherwise in the Plans.
9. Cleanouts shall be provided in locations shown on the Plans or as required by the Jurisdictional Agency.
10. All downspouts, footing drains, and outside storm drains shall discharge to the storm sewer or discharge at grade. No stormwater shall be discharged into the sanitary sewer system.
11. Perforated pipe underdrains shall be corrugated flexible HDPE pipe conforming to AASHTO M252 or M294, perforated polyethylene pipe of diameter specified on the Plans with a smooth interior and wrapped in a soil filter fabric sock supplied and installed by the Contractor.
12. Elevations of structures located in curb and gutter are flow line elevations.

**WATER MAIN**

- 1. Refer to Sewer and Water Main General Notes for additional requirements.
2. Water Main Pipe shall be constructed from one or more of the following materials as specified on the Plans:
a. Ductile Iron Pipe (DIP), Class 52 conforming to ANSI A21.51 and AWWA C151 with a 150 psi working pressure, with push-on double sealing rubber gasket joints conforming to ANSI A21.11 and AWWA C111. The interior of the pipe and fittings shall be cement-mortar lined in accordance with ANSI A21.4 and AWWA C104. The exterior of all pipes and fittings shall be coated with an asphaltic coating per ANSI A21.51 and AWWA C151 for ductile iron pipe, and ANSI A21.10/A21.53 and AWWA C110/C153 for fittings. If specified, the ductile iron pipe and fittings shall be encased by a polyethylene encasement with an 8 mil thickness, Class C (Black) conforming to ANSI A21.5 and AWWA C105. Installation of DIP and fittings shall be in accordance with AWWA C900.
3. Ductile iron fittings or cast iron fittings shall conform to ANSI A21.10 and AWWA C111; and compact ductile iron fittings shall conform to ANSI A21.53 and AWWA C153.
4. All water structures shall be constructed of precast reinforced concrete sections with tongue and groove joints conforming to ASTM C478 and shall have a minimum inside diameter of 48-inches. If structure diameter is not specified in the Plans the required structure diameter shall be determined by size of pipes and appurtenances that need to be located within said structure. The precast reinforced concrete base and bottom section shall be monolithically cast. All pipe openings in the structure shall be precast into the structure walls at the proper invert elevation and orientation. Water structures shall have concentric cones, except where necessary due to height and opening restrictions, where a precast reinforced concrete flat top slab section shall be provided in-lieu of an eccentric cone section. Flat top slabs shall conform to IDOT Standard Detail 602601 as well as meet the H-20/HS-20 loading requirement. Concrete adjusting rings will be permitted where necessary and shall be limited to two (2) adjusting rings totaling not more than eight (8) inches in height. All joints between structure sections, adjusting rings and frames shall be securely sealed to one another using a resilient, flexible, non-hardening bituminous mastic or butyl sealing compound in accordance with ASTM C990, or flexible rubber gasket in accordance with ASTM C443 in order to provide a watertight joint. The Contractor shall remove all excess mastic on inside of structure and butter joints with mortar. All water structures shall be watertight.
5. Valve vaults shall have minimum inside diameter of forty-eight (48) inches for eight (8) inch diameter and smaller valves, and have a minimum inside diameter of sixty (60) inches for ten (10) inch and larger valves.
6. The minimum cover from finished grade to the top of the water main and water services shall be 5 feet.
7. Water main valves (i.e., bends, elbows, tees, reducers, etc.) may not be specifically referenced on the Plans and are to be considered incidental and included in the linear footage cost of the watermain.
8. The standards for maximum deflection at pipe joints, laying radius and pipe lengths shall be per Manufacturer's requirements.
9. Thrust blocking shall be installed on water mains at all tees, elbows, plugs, and bends 1 1/2 degrees or greater etc. per the "Standard Specifications for Water and Sewer Construction", latest edition. Thrust blocking shall be poured in place Portland Cement Concrete.
10. All bends greater than 10 degrees, hydrants, tees, and fittings shall be mechanical joint with Mega-Lug retaining glands or Field Lok gaskets in castings, between fittings and at grade changes.
11. All bolts and nuts shall be stainless steel.
12. A tracer wire shall be installed on all non-metallic water mains. The wire shall be continuous from valve vault to valve vault.
13. Frame and lids for water structures shall be Neenah R-1713 or approved equal and lids shall be imprinted with the word "WATER" cast into the lid.
14. All water valves, fire hydrants, b-boxes, corporation stops, curb stops, ground key stops, service boxes, tapping sleeves, and other water main related appurtenances shall conform to Village/City or applicable Jurisdictional Agency Requirements and shall furnish and install the same. Contractor shall verify exact model, style, type, and manufacturer required prior to ordering. All fire hydrants shall be installed in accordance with the applicable Jurisdictional Agency requirements.
15. Valves shall be non-rising stem type and shall close by turning clockwise. All valves shall be resilient wedge gate or ball valves, except that butterfly valves shall be installed on all water mains 16" diameter and larger, conforming to AWWA C500 with a minimum rated working pressure of 200 psi and in accordance with applicable Jurisdictional Agency requirements. Specialty valves and fittings such as cut-in-valves, tapping sleeves and valves, pressure reducing valve insertion valves, and air release valves shall conform to the requirements of the applicable Jurisdictional Agency requirements and shall be installed at locations indicated on the Plans.
16. When making connections to existing water mains requires a shutdown that requires an interruption in service, the Contractor shall contact the Owner of the water main and they shall mutually agree upon a date and a time for connections which will allow ample time to complete the work required in order to make the required connection. Notifications of all users to be affected by the interruption shall be provided a minimum of twenty-four (24) hours prior to the service interruption. All water mains opened to atmosphere must be disinfected prior to returning the water main to service.
17. Water Main and related appurtenances shall be tested in accordance with the following:

- a. All water mains shall be tested by means of a pressure test and leakage test, in accordance with the "Standard Specifications for Water and Sewer Construction", latest edition, AWWA C600, and in accordance with applicable Jurisdictional Agency requirements.
b. All water structures (i.e., valve vaults) shall be subject to a leakage test in accordance with IEPA guidelines and Jurisdictional Agency requirements.
19. After completion of the water main testing, the water mains and related appurtenances shall be flushed clean and disinfected (chlorinated) in accordance with the "Standard Specifications for Water and Sewer Construction", latest edition and in accordance with applicable Jurisdictional Agency requirements.

**WATER MAIN PROTECTION REQUIREMENTS**

Water mains, water services and related appurtenances shall be protected from any existing or proposed drains, sanitary sewers, storm sewers, combined sewers, force mains, and sewer services. All these previously mentioned items shall collectively be referred to as "sewers" for the remainder of this section. Horizontal and vertical separation requirements between water mains and sewers as well as other water main protection requirements shall be in accordance with Standard Specifications for Water and Sewer Construction in Illinois, latest edition and per the following:

- 1. Horizontal Separation:
a. Whenever possible, an existing or proposed water main must be at least ten (10) feet horizontally from any existing or proposed drain, storm sewer, sanitary sewer, combined sewer, or existing service.
b. Should local conditions exist which would prevent a lateral separation of ten (10) feet, an existing or proposed water main may be closer than ten (10) feet to a sewer provided that the water main invert is at least eighteen (18) inches above the crown of the sewer, and is either in a separate trench or in the same trench on an undisturbed earth shelf located to one side of the sewer.
c. If it is impossible to obtain proper horizontal and vertical separation as described in Items 1a and 1b above, both the water main and sewer shall be constructed of pipe and joint material that conforms to water main quality pipe and joint standards, and be pressure tested to the maximum expected surcharge head to assure water tightness before backfilling.
2. Vertical Separation:
a. Whenever water mains cross sewers, the water main shall be laid at such an elevation that the invert of the water main is at least eighteen (18) inches above the crown of the sewer. This vertical separation shall be maintained for that portion of the water main located within ten (10) feet horizontally of any sewer crossing. This must be measured as the perpendicular distance from the water main to the sewer. A length of water main pipe shall be centered over the sewer to be crossed with joints placed equidistant from the sewer.
b. Where conditions exist that the minimum vertical separation set forth in Item 2a above cannot be maintained, or it is necessary for the water main to pass under a sewer, one of the following two measures must be taken:
i. The water main shall be installed within a PVC casing pipe that conforms to water main quality pipe and joint standards and the casing pipe shall extend on each side of the crossing until the normal distance from the water main to the sewer is at least ten (10) feet.
ii. The involved sewer shall be constructed of pipe and joint material which would conform to water main quality pipe and joint standards until the normal distance on either side of the crossing from the water main to the sewer is at least ten (10) feet.
c. In making such crossings, a length of water main pipe shall be centered over the sewer to be crossed with joints equidistant from the sewer.
3. The horizontal and vertical separation between water service lines and sewers or related service lines shall be the same as for water mains, as detailed above, except that when minimum horizontal and vertical separation cannot be maintained, water main quality pipe and joints as described under Vertical Separation above, may be used for sewer or related service lines.
4. Water mains or services shall not be allowed to pass through or come into contact with sewer structures.
5. Water mains shall be separated from septic tanks, disposal fields, sewage beds, and sewage lift stations by a minimum of twenty-five (25) feet.
6. Water mains shall be separated from sanitary sewer force mains by a minimum of at least ten (10) feet horizontally and there shall be an eighteen (18) inch vertical separation at crossings.
7. The Contractor shall protect water mains and service lines from the entrance of hydrocarbons through diffusion through any material used in the construction of the line.
8. Catch pipe shall be installed in locations and material specified on the Plans or where necessary to meet the water main protection requirements. The carrier pipe shall be securely blocked and banded with appropriately spaced spacers, and sanitary and storm sewers shall maintain the specified gradient. Upon installing the carrier pipe the voids between the casing and carrier pipe shall be filled with sand, pea gravel or flowable fill and the ends shall be sealed.

**PAVEMENT, CURB & GUTTER, AND WALKS**

- 1. All work under this Section shall be performed in accordance with the IDOT Standard Specifications or as specified in the Plans.
2. Concrete curb or curb and gutter shall be constructed in accordance with the Plans and Section 606 of the IDOT Standard Specifications. A 3/4" pre-molded fiber joint filler along with two (2) 18" long x 1/2" (#4) epoxy coated smooth round dowel bars with greased end caps, centered on joint, shall be provided at expansion joints. Expansion joints shall be provided at a maximum of fifty (50) foot intervals and at all points of curvature and tangency, curb returns, and (5) feet either side of edge of structures, and at the end of each curb. Construction joints shall be provided at maximum twenty (20) foot intervals.
3. Where proposed curb or curb and gutter connects to an existing curb or curb and gutter, the existing curb or curb and gutter shall be saw-cut and then two 18" long x 1/2" (#4) epoxy coated smooth round dowel bars with greased end caps shall be drilled and installed in the existing curb and gutter and proposed curb. Bars shall be installed in a location similar to that of the expansion joint in the curb or curb and gutter as applicable.
4. All curb and curb and gutter constructed over a utility trench shall be reinforced with two (2) #4 epoxy coated reinforcing bars for a length of ten (10) feet centered over the trench or as shown on the plans.
5. Reversed pitched curb and gutter shall be installed in areas where pavement slopes down from the curb.
6. Sidewalks and walks shall be constructed in accordance with the Plans and Section 424 of the IDOT Standard Specifications. Concrete sidewalks and walks shall be thickened to a minimum of 6" at all driveways. All sidewalks and walks shall be IDOT Portland Cement Concrete, Class Sl, on compacted aggregate base course as shown on the Plans. Scored construction joints shall be provided at five (5) foot intervals or as specified in the Plans. Expansion joints consisting of a 3/2" pre-molded fiber joint filler shall be provided at maximum fifty (50) foot intervals, and adjacent to concrete curbs, drives, foundations, ramps, etc. as well as when meeting existing concrete walks.
7. Sidewalks and walks constructed over a utility trench shall be reinforced with three (3) #4 round epoxy coated reinforcing bars for a length of ten (10) feet centered over the utility trench or as shown on the plans.
8. Curb ramps accessible to the disabled with raised truncated dome detectable warning surface of standard brick red color or other contrasting color shall be provided at all locations where sidewalk meets curb and at other locations shown on the Plans in accordance with the Illinois Accessibility Code (IAC), latest edition and IDOT Standard 424001, latest revision.
9. Curing and protection of all exposed concrete surfaces shall be in accordance with the IDOT Standard Specifications. No "honey-combing" or other similar failures of the concrete surfaces will be accepted.
10. Aggregate base course shall be in accordance with the Plans and Section 351 of the IDOT Standard Specifications. Aggregate base course material shall be CA-6, Type B, 100% crushed gravel conforming to Section 1004 of the IDOT Standard Specifications.
11. Bituminous binder and surface courses shall be Hot Mix Asphalt (HMA) of type and compacted thickness as specified in the Plans and shall be constructed in accordance with Section 406 of the IDOT Standard Specifications. The surface course shall be made with virgin materials; no recycled materials shall be allowed unless specified otherwise on the Plans. The Contractor shall provide and pay for the services of a competent paving laboratory to design and supervise the control of the paving material. All paving materials shall be IDOT approved and their performance is impaired.
12. Portland cement concrete (PCC) pavement shall be Class PV with reinforcement as specified on Plans and be constructed in accordance with Section 420 of the IDOT Standard Specifications.
13. All concrete work shall be finished with a broom finish unless specified otherwise in the Plans.
14. The Contractor shall saw-cut the exposed edges of all existing pavement adjacent to any proposed pavement, along sidewalks, curb and gutter or similar to provide a smooth, clean edge that is free of loose material. A proper transition for joint and/or taper shall also be provided as necessary. Refer to joint detail for additional information.
15. The testing of the subgrade, aggregate base course, bituminous aggregate material, binder course, surface course, and concrete work shall be required and be performed in accordance with the IDOT Standard Specifications and requirements of the applicable Jurisdictional Agency. A qualified testing firm shall be employed to perform the required testing to ensure quality and conformance, and provide the results to the Engineer, Owner, and Jurisdictional Agency. The Contractor shall provide the Owner with a construction schedule and shall coordinate all required testing with the testing firm.
16. Prior to the commencement of any paving activities, a proof-roll must be performed by the Contractor and approved by the Village/City or applicable Jurisdictional Agency, and the Owner. All areas not passing the proof-roll shall be remediated as recommended by the Soils/Geotechnical Engineer and approved by the Owner. Any remediate areas shall be re-tested.
17. Prior to installation of the aggregate base course:
a. The subgrade shall be prepared in accordance with Section 301 of the IDOT Standard Specifications.
b. The Contractor shall be responsible for all subgrade compaction and preparation to within 0.1-ft of the proposed subgrade elevation. Subgrade shall be compacted to a minimum 95% of the modified proctor density in accordance with ASTM D1557.
c. Sub-grade shall pass a proof-roll and any unsuitable areas in the subgrade shall be remediated as

- recommended by the Soils/Geotechnical Engineer and approved by the Owner.
18. Prior to the installation of the binder course:
a. The aggregate base course shall be prepared in accordance with Section 351 of the IDOT Standard Specifications.
b. The aggregate base course shall be clean and dry.
c. The bituminous priming material shall be prepared and applied according to Section 403 of the IDOT Standard Specifications.
d. The Contractor shall prime the aggregate base course at a rate of 0.25 gallons per square yard prior to the placement of the binder course.
e. The binder course shall be placed only when the temperature in the shade is at least 40° F and the forecast is for rising temperatures.
19. Prior to the installation of the surface course:
a. The Contractor shall patch and repair all damaged and failed areas in the binder course to the satisfaction of the Village/City or applicable Jurisdictional Agency, and the Owner.
b. The Contractor shall repair all damaged curb and gutter or other concrete pavement to the satisfaction of the Village/City or applicable Jurisdictional Agency, and the Owner.
c. Structures within pavement shall be adjusted to final surface grade.
d. The Contractor shall place the binder course at a rate of 0.05 gallons per square yard prior to the placement of the surface course.
e. The surface course shall be placed only when the air temperature in the shade is at least 45° F and the forecast is for rising temperatures.
20. Pavement marking/striping:
a. All Pavement markings shall be in accordance with Section 780 of the IDOT Standard Specifications and the MUTCD, and be of the material type, size and color specified on the Plans.
b. Pavement marking on freeways shall be placed with truck-mounted equipment. Markings on roads other than freeways may be placed with either truck-mounted or hand-operated equipment.
c. Before applying the pavement marking material, the pavement shall be clean, dry, and free of debris or any other material that would reduce the adhesion of the markings on the pavement.
d. Pavement markings shall be applied in accordance with the manufacturer's recommended instructions.
e. Pavement markings shall be uniform and have clean, straight edges.
f. Pavement marking words and symbols shall conform closely to the dimensions and spacing specified in the MUTCD, IDOT Standard Details, and the Plans.
g. Raised reflective pavement markers shall be in accordance with Section 781 of the IDOT Standard Specifications and be recessed into the pavement as required by the applicable Jurisdictional Agency.
21. Handicapped stalls shall be striped and signed in accordance with the Illinois Accessibility Code (IAC), latest edition and any other applicable ADA guidelines. Handicapped stalls shall be a minimum of sixteen (16) feet wide and signage shall be affixed to a post permanently mounted in the ground or wall and located in the center of the space no further than five (5) feet from the front of the accessible space. The minimum height to the bottom of the fine sign shall be four (4) feet. Handicapped stall striping shall be yellow in color.
22. All signs shall be in accordance with Section 720 of the IDOT Standard Specifications and the MUTCD, and be of the material type, size, and color specified on the Plans.
23. All signs shall be in accordance with Section 781 of the IDOT Standard Specifications and be recessed into the pavement as required by the applicable Jurisdictional Agency.
24. Pavement marking and marker removal shall be in accordance with Section 783 of the IDOT Standard Specifications.
25. All pavements, curb, curb and gutters, walks, etc. shall be cleaned to the satisfaction of the Village/City or applicable Jurisdictional Agency, Owner, and Engineer as necessary during construction and at the end of the project prior to the final acceptance.

**SOIL EROSION AND SEDIMENTATION CONTROL GENERAL NOTES**

- 1. All soil erosion and sedimentation control (SESC) measures shall be installed and properly maintained in accordance with the Illinois Environmental Protection Agency's (IEPA) "Illinois Urban Manual", latest edition and "Illinois Procedures and Standards for Urban Soil Erosion and Sedimentation Control", latest edition, and shall be followed as directed by the Village/City and Engineer. In addition, on sites that will ultimately result in the disturbance of one (1) acre or more of the provisions outlined in the General National Pollutant Discharge Elimination System (NPDES) General Permit No. ILR10, latest edition, shall also be followed.
2. All erosion control measures are to be installed prior to any demolition, earth moving activities or other disturbance.
3. Soil Erosion Control measures shall include the provision of an erosion control fence as required along the area of disturbance, a stabilized construction entrance, and sediment traps or other inlet protection method at each inlet or catch basin.
4. Contractor to establish a temporary stabilized construction entrance as well as install all perimeter silt fence prior to the start of any clearing or grading activities.
5. Temporary gravel stabilized construction entrance shall be maintained, adjusted, and/or relocated as necessary to prevent debris from being tracked onto adjacent public roadways. Any mud or other debris that is tracked onto a public road shall be properly removed as soon as practical, but before the end of each working day.
6. After the start of mass grading and before all storm water conveyance improvements are in place and functional, all on-site storm water shall be temporarily diverted into the detention basin or a properly constructed temporary sedimentation basin or collection device, as per local requirements, so as to prevent surface waters from flowing onto adjacent property.
7. Disturbed areas shall be stabilized by seeding within seven (7) calendar days of the completion of disturbance. If construction activity on a portion of the site is to resume within fourteen (14) calendar days of the end of the last disturbance, then stabilization measures do not have to be initiated on that portion of the site until the completion of said disturbance. Areas with slopes 3H:1V or greater shall be stabilized with erosion control blanket or mat in addition to seeding.
8. The Contractor shall provide adequate planning and supervision during the project construction period for implementing construction methods, processes and cleanup procedures necessary to prevent water pollution and control erosion.
9. No sediment or debris shall be allowed to enter the existing storm sewer system or flow off-site.
10. All temporary and permanent erosion and sedimentation control measures shall be maintained, repaired and/or replaced as necessary to ensure effective performance. If required, a designated erosion control inspector shall inspect all measures every seven (7) calendar days, or within twenty-four (24) hours of a 0.5-inch rain event or equivalent snowfall, and report where items are in non-compliance. Otherwise, the Contractor shall be responsible for the inspection as well as maintenance of all measures and shall be subject to the terms of Federal, State, and local requirements.
11. All temporary erosion and sedimentation control measures are to remain in place and be functioning until final stabilization. After final stabilization, the Contractor is to remove and properly dispose of all erosion and sedimentation measures according to Jurisdictional Agency requirements within thirty (30) days. All disturbed areas or trapped sediment that accumulates from said measures shall be permanently stabilized.
12. Topsoil stockpiles shall not be located in flood prone areas or buffers protecting wetlands, or waters of the United States or County. Stockpiles shall be protected from erosion by installing silt fence around the perimeter of the stockpile(s). Stockpiles shall be seeded within seven (7) calendar days of completion.
13. If dewatering systems are used, adjoining properties and discharge locations shall be protected from erosion. Discharges shall be routed through an effective sediment control measure (i.e., sediment Trap, sediment Basin, or other appropriate measure).
14. All storm sewers, drainage structures, catch basin sumps and/or retention/detention/sedimentation basins provided within this project are to be cleaned at the end of construction and prior to final acceptance. Cleaning may also be required during the course of construction if it is determined that the structures are not properly functioning and their performance is impaired.
15. Storm water conveyance swales, channels, streams or similar, if disturbed, are to be stabilized within 48 hours after the end of active disturbance.
16. Extreme caution shall be taken by the Contractor to prevent erosion and siltation during construction. The Contractor shall inspect catch basins and clean out if necessary. The Contractor shall use silt/erosion control fence staked in place to prevent siltation of all drainage structures.
17. The Contractor shall water the site, as required during dry weather to control dust.
18. Erosion Control Maintenance and Replacement Notes:
a. Silt fences are to be cleaned as required during the course of the construction of the project or if the Engineer determines that they are not properly functioning and their performance is impaired.
b. Sediment traps and basins shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. Any required repairs shall be made immediately.
c. Should the fabric decomposed or become ineffective prior to the end of the expected life and the barrier still is necessary, the fabric shall be replaced promptly.
d. Sediment deposits shall be removed after each storm event. They must be removed when deposits reach approximately half the height of the barrier.
e. Mud or silt which is deposited on adjacent roadways shall be removed at the end of each day.
19. The sediment and erosion control measures indicated on the plans are the minimum requirements. Additional measures may be required, as directed by the Engineer or Jurisdictional Agency.
20. The Contractor shall assume the responsibility for maintenance of all soil erosion and sedimentation control measures during and after construction. However, the Contractor shall not transfer these improvements for the purpose of maintenance until they have completed with the above and until they have received final inspection and approval from the Jurisdictional Agency or designated erosion control inspector and a Notice of Termination has been filed (NOT).
21. The work shall be performed in accordance with the following typical Construction Sequencing:
a. Installation of them soil erosion and sediment control (SESC) measures:
1. Selective vegetation removal for silt fence installation
2. Silt fence installation
3. Construction fencing around areas not to be disturbed
4. Storm water conveyance structures
b. Install tree protection fencing and tree removal where necessary (clear & grub)
c. Construct sediment trapping devices (sediment traps, basins, etc.)
d. Construct detention facilities and outlet control structure with restrictor.
e. Strip and stockpile topsoil and mass grade the site
f. Temporarily stabilize topsoil stockpiles (seed and mulch)
g. Install sanitary sewer, storm sewer, watermain and associated inlet & outlet protection
h. Temporarily stabilize all areas including lots that have reached temporary grade

**MWRD GENERAL NOTES**

- 1. Final grade and permanently stabilize all outlet areas with topsoil and seed
A. Retention/detention/sedimentation basins:
1. AP. Concrete basins shall be constructed and the applicable sections of the following, except as modified by the operating agency:
• Standard Specifications for Road and Bridge Construction (Latest Edition), by the Illinois Department of Transportation (IDOT) SS for all improvements except Sanitary Sewer and Water Sewer Construction", latest edition and in accordance with applicable Jurisdictional Agency requirements.
• Standard Specification for Water and Sewer Main Construction in Illinois, Latest Edition (SSWS) for Sanitary Sewer and Water Main Construction.
• Village of Hoffman Estates Municipal Code.
• The Metropolitan Water Reclamation District of Greater Chicago (MWRD) Watershed Management Ordinance and Technical Construction Manual.
• In case of a conflict between the applicable Ordinances noted, the more stringent shall take precedence and shall control all construction.
B. Notifications
1. The MWRD Local Sewer Systems Section Field Work must be notified at least two (2) working days prior to the commencement of any work (Call 708-588-4055)
2. The Village of Hoffman Estates Engineering Department and Public Works Department must be notified at least 24 hours prior to the start of construction and prior to each phase of work. Contractor shall determine items requiring inspection prior to start of construction or each phase of work.
3. The Contractor shall notify all utility companies prior to beginning construction for the exact locations of utilities and for their protection during construction. If existing utilities are encountered that conflict in location with new construction, immediately notify the engineer so that the conflict can be resolved. Call J.U.L.I.E. at 1-800-892-0123.
C. General Notes
1. All elevations shown on plans reference the North American vertical datum of 1988 (NAVD88). Conversion factor is ZERO ft.
2. MWRD, the municipality and the owner or owner's representative shall have the authority to inspect, approve, and reject the construction improvements.
3. The contractor shall indemnify the owner, engineer, municipality, MWRD, and their agents, etc., from all liability involved with the construction, installation, or testing of this work on the project.
4. The proposed improvements must be constructed in accordance with the engineering plans as approved by MWRD and the municipality unless changes are approved by MWRD, the municipality, or authorized agent. The construction details, as presented on the plans, must be followed. Proper construction techniques must be followed on the improvements indicated on the plans.
5. The location on various underground utilities which are shown on the plans are for information only and represent the best knowledge of the engineer. Verify locations and elevations prior to beginning the construction operations.
6. Any existing pavement, sidewalk, driveway, etc., damaged during construction operations and not called for to be removed shall be replaced at the expense of the contractor.
7. Material and compaction testing shall be performed in accordance with the requirements of the municipality, MWRD, and owner.
8. The underground contractor shall make all necessary arrangements to notify all inspection agencies.
9. All new and existing utility structures on site and in areas disturbed during construction shall be adjusted to finish grade prior to final inspection.
10. Record drawings shall be kept by the contractor and submitted to the engineer as soon as underground improvements are completed. Final payments to the contractor shall be held until they are received. Any changes in length, location or alignment shall be shown in red. All vyes or bends shall be located from the downstream manhole. All valves, B-boxes, tees or bends shall be tied to a fire hydrant.
D. Sanitary Sewer
1. The contractor shall take measures to prevent any polluted water, such as ground surface water, from entering the existing sanitary sewers.
2. A water-tight plug shall be installed in the downstream sewer pipe at the point of sewer connection prior to commencing any sewer construction. The plug shall remain in place until removal is authorized by the municipality and/or MWRD after the sewers have been tested and accepted.
3. Discharging any unpolluted water into the sanitary sewer system for the purpose of sewer flushing of lines for the deflection test shall be prohibited without prior approval from the municipality or MWRD.
4. All sanitary sewer construction shall be in accordance with the standard specifications for water and sewer main construction in Illinois (latest edition).
5. All floor drains shall discharge to the sanitary sewer system.
6. All downspouts and footing drains shall discharge to the storm sewer system.
7. All sanitary sewer pipe materials and joints (and storm sewer pipe materials and joints in a combined sewer area) shall conform to the following:

Pipe Material	Pipe Specifications	Joint Specifications
Vitrified Clay Pipe	ASTM C-700	ASTM C-425
Reinforced Concrete Sewer Pipe	ASTM C-76	ASTM C-443
Cast Iron Soil Pipe	ASTM A-74	ASTM C-564
Ductile Iron Pipe	ANSI A21.51	ANSI A21.11
Polyvinyl Chloride (PVC) Pipe	6-inch to 15-inch Diameter SDR 26	ASTM D-3034
	18-inch to 27-inch Diameter F10Y-46	ASTM F-679
High Density Polyethylene (HDPE)	ASTM D-3350	ASTM D-3212, F-2620 (Heat Fusion)
	ASTM D-3035	ASTM D-3212, F-477 (Gasketed)
Water Main Quality PVC SDR 26	4-inch to 36-inch	ASTM D-2241
	4-inch to 12-inch	AWWA C900
	14-inch to 48-inch	AWWA C905
		ASTM D-3139
		ASTM D-3139
		ASTM D-3139

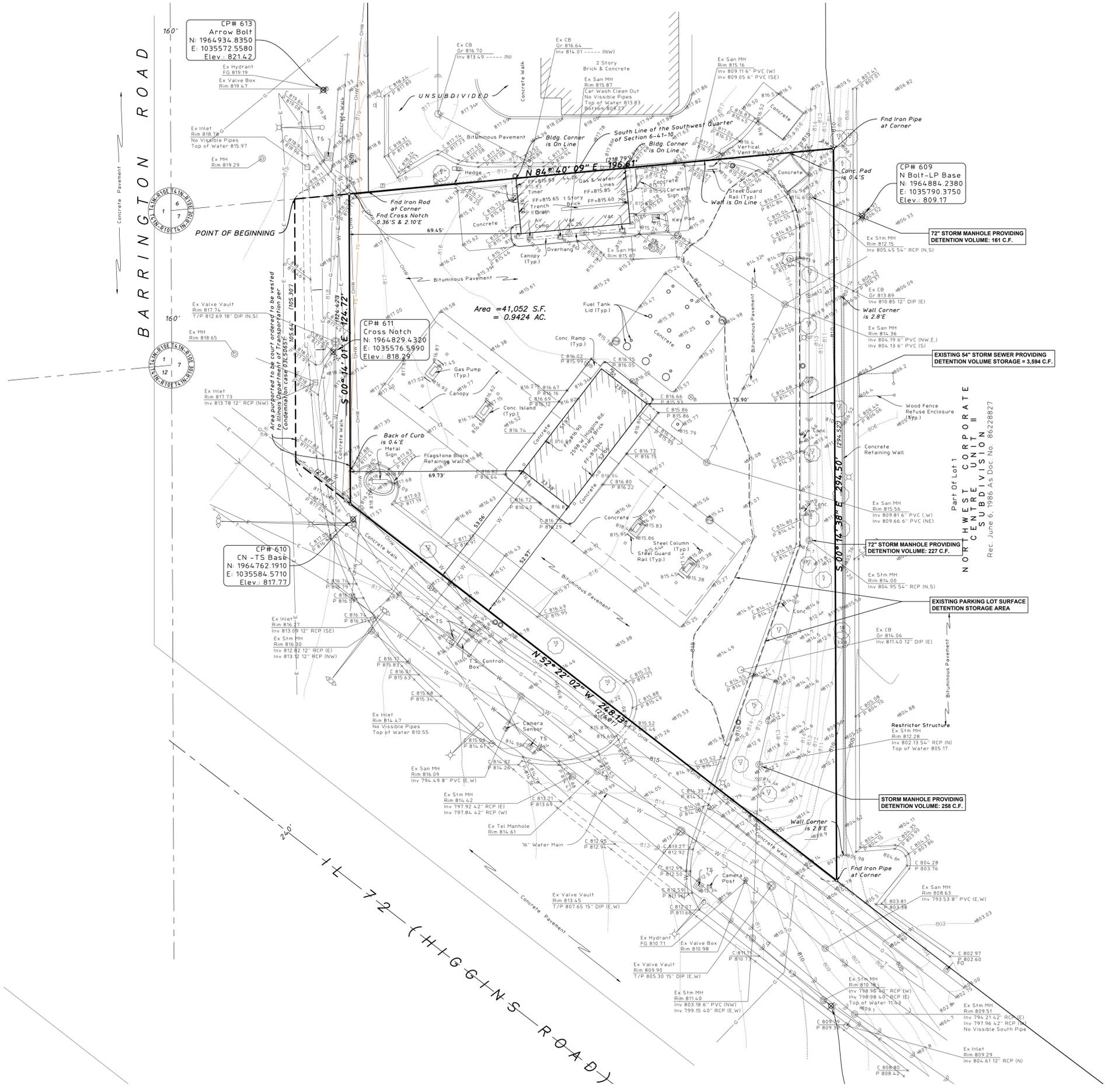
The following materials are allowed on a qualified basis subject to district review and approval prior to permit issuance. A special condition will be added to the permit when the pipe material is used for sewer construction or a connection is made.

Pipe Material	Pipe Specifications	Joint Specifications
Polypropylene (PP) Pipe		
12-inch to 24-inch Double Wall	ASTM F-2736	ASTM D-3212, F-477
30-inch to 60-inch Triple Wall	ASTM F-2764	ASTM D-3212, F-477

- 8. All sanitary sewer construction (and storm sewer construction in combined sewer areas), requires slope bedding with stone 1/4" to 1" in size, with minimum bedding thickness equal to 1/4 the outside diameter of the sewer pipe, but not less than four (4) inches nor more than eight (8) inches. Material shall be ASTM #1, CA-11 or CA-13 and shall be extended at least 12" above the top of the pipe when using PVC.
9. Non-shear flexible-type couplings shall be used in the connection of sewer pipes of dissimilar materials.
10. All manholes shall be provided with bolted, watertight covers. Sanitary lids shall be constructed with a concave gasket and watertight gasket with the word "SANITARY" cast into the lid.
11. When connecting to an existing sewer main by means other than an existing vye, tee, or an existing manhole, one of the following methods shall be used:
a. A circular saw-cut of sewer main by proper tools ("Sewer-tap" machine or similar) and proper installation of hubvye saddle or hub-tee saddle.
b. Remove an entire section of pipe (breaking only the top of one bell) and replace with a vye or tee branch section.
c. With pipe cutter, neatly and accurately cut out desired length of pipe for insertion of proper fitting, using "Band Seal" or similar couplings to hold it firmly in place.
12. Whenever a sanitary/combined sewer crosses under a watermain, the minimum vertical distance from the top of the sewer to the bottom of the watermain shall be 18 inches. Furthermore, a minimum horizontal distance of 10 feet between sanitary/combined sewers and watermain shall be maintained unless the sewer is laid in a separate trench, keeping a minimum 18" vertical separation; or the sewer is laid in the same trench with the watermain located at the opposite side on a bench of undisturbed earth, keeping a minimum 18" vertical separation. If either the vertical or horizontal distances described cannot be maintained, or the sewer crosses above the water main, the sewer shall be constructed to water main standards or it shall be encased with a water main quality carrier pipe with the ends sealed.
13. All existing septic systems shall be abandoned. Abandoned tanks shall be filled with granular material or removed.
14. All sanitary manholes, (and storm manholes in combined sewer areas), shall have a minimum inside diameter of 48 inches, and shall be cast in place or pre-cast reinforced concrete.
15. All sanitary manholes, (and storm manholes in combined sewer areas), shall have precast "rubber boots" that conform to ASTM -G233 for all pipe connections. Precast sections shall consist of modified grove tongue and rubber gasket type joints.

- 16. All abandoned sanitary sewers shall be plugged at both ends with at least 2 feet long non-shrink concrete.
17. Except for foundation/footing drains proved to protect buildings, or perforated pipes associated with volume control facilities, drain tiles/flex lines/underdrains/perforated pipes are not allowed to be connected to or tributary to combined sewers, sanitary sewers, or storm sewers tributary to combined sewers in combined sewer areas. Construction of new facilities of this type is prohibited; and all existing drain tiles and perforated pipes encountered within the project area shall be plugged or removed, and shall not be connected to combined sewers, sanitary sewers, or storm sewers tributary to combined sewers.
18. A backflow preventer is required for all detention basins tributary to combined sewers. Required backflow preventers shall be inspected and exercised annually by the property owner to ensure proper operation, and any necessary maintenance shall be performed to ensure functionality. In the event of a sewer surcharge into an open detention basin tributary to combined sewers, the permittee shall ensure that clean up and wash out of sewage takes place within 48 hours of the storm event.
E. Erosion and Sediment Control
1. The contractor shall install the erosion and sediment control devices as shown on the approved erosion and sediment control plan.
2. Erosion and sediment control practices shall be functional prior to hydrologic disturbance of the site.
3. All design criteria, specifications, and installation of erosion and sediment control practices shall be in accordance with the Illinois Urban Manual.
4. A copy of the approved erosion and sediment control plan shall be maintained on the site at all times.
5. Inspections and documentation shall be performed, at a minimum:
a. Upon completion of initial erosion and sediment control measures, prior to any soil disturbance.
b. Once every seven (7) calendar days and within 24 hours of the end of a storm event with greater than 0.5 inch of rainfall or equivalent precipitation.
6. Soil disturbance shall be conducted in such a manner as to minimize erosion. If stripping, clearing, grading, or landscaping are to be done in phases, the co-permittee shall plan for appropriate soil erosion and sediment control measures.
7. A stabilized mat of crushed stone meeting the standards of the Illinois Urban Manual shall be installed at any point where traffic will be entering or leaving a construction site. Sediment or soil reaching an improved public right-of-way, street, alley or parking area shall be removed by scraping or street cleaning as accumulations warrant and transported to a controlled sediment disposal area.
8. Concrete washout facilities shall be constructed in accordance with the Illinois Urban Manual and shall be installed prior to any on site construction activities involving concrete.
9. Mortar washout facilities shall be constructed as necessary to direct all runoff from hydrologically disturbed areas to an appropriate sediment trap or basin.
10. Temporary diversions shall be constructed as necessary to direct all runoff from hydrologically disturbed areas to an appropriate sediment trap or basin. Volume control facilities shall not be used as temporary sediment basins.
11. Disturbed areas of the site where construction activities have temporarily or permanently ceased shall be stabilized with temporary or permanent measures within seven (7) days.
12. All flood protection areas and volume control facilities shall, at a minimum, be protected with a double-row of silt fence (or equivalent).
13. Volume control facilities shall not be constructed until all of the contributing drainage area has been stabilized.
14. Soil stockpiles shall, at a minimum, be protected with perimeter sediment controls. Soil stockpiles shall not be placed in flood protection areas or their buffers.
15. Earthen embankment side slopes shall be stabilized with appropriate erosion control blanket.
16. Storm sewers that are or will be functioning during construction shall be protected by appropriate sediment control measures.
17. The contractor shall either remove or replace any existing drain tiles and incorporate them into the drainage plan for the development. Drain tiles cannot be tributary to a sanitary or combined sewer. Drain tiles allowed in combined sewer area for green infrastructure practices.
18. If dewatering services are used, adjoining properties and discharge locations shall be protected from erosion and sedimentation. Dewatering systems should be inspected daily during operational periods. The site inspector must be present at the commencement of dewatering activities.
19. The contractor shall be responsible for trench dewatering and excavation for the installation of sanitary sewers, storm sewers, water mains as well as their services and other appurtenances. Any trench dewatering, which contains sediment shall pass through a sediment settling pond or equally effective sediment control device. Alternatives may include dewatering into a sump pit, filter bag or existing vegetated upslope area. Sediment laden waters shall not be discharged to waterways, flood protection areas or the combined sewer system.
20. All permanent erosion control practices shall be initiated within seven (7) days following the completion of soil disturbing activities.
21. All erosion and sediment control measures shall be maintained and repaired as needed on a year-round basis during construction and any periods of construction shutdown until permanent stabilization is achieved.
22. All temporary erosion and sediment control measures shall be removed within thirty (30) days after permanent site stabilization.
23. The erosion and sediment control measures shown on the plans are the minimum requirements. Additional measures may be required, as directed by the engineer, site inspector, or MWRD.

Revision table with columns for Date, No., and Description. Includes project information: Project Manager: M L A, Engineer: M E T, Date: 06.11.2020, Project No.: 20-053, Sheet: C2.1. Logo for HAEGER ENGINEERING consulting engineers land surveyors. Address: 100 East Stone Parkway, Schaumburg, IL 60173. Phone: 847.391.6600. Fax: 847.394.6498. Illinois Professional Design Firm License No. 184-003152. Website: www.haegerengineering.com.



CP# 613  
Arrow Bolt  
N: 1964934.8350  
E: 1035572.5580  
Elev.: 821.42

CP# 609  
N Bolt-LP Base  
N: 1964884.2380  
E: 1035790.3750  
Elev.: 809.17

CP# 611  
Cross Notch  
N: 1964829.4320  
E: 1035576.5990  
Elev.: 818.29

CP# 610  
CN-TS Base  
N: 1964762.1910  
E: 1035584.5710  
Elev.: 817.77

POINT OF BEGINNING

Area purported to be court ordered to be vested to Illinois Department of Transportation per Condemnation case 03L300370544 (105.30')

Area = 41,052 S.F.  
= 0.9424 AC.

72" STORM MANHOLE PROVIDING DETENTION VOLUME: 161 C.F.

EXISTING 54" STORM SEWER PROVIDING DETENTION VOLUME STORAGE = 3,594 C.F.

72" STORM MANHOLE PROVIDING DETENTION VOLUME: 227 C.F.

EXISTING PARKING LOT SURFACE DETENTION STORAGE AREA

STORM MANHOLE PROVIDING DETENTION VOLUME: 258 C.F.

**EXISTING SITE DETENTION VOLUME SUMMARY:**

	Design Storage	Provided Storage
54" Storm Sewer	3,594 c.f.	3,594 c.f.
Manholes/CB on 54" Storm Sewer	466 c.f.	646 c.f.
Surface Pond Area	1,322 c.f.	690 c.f.
Surface Parking Area	3,374 c.f.	2,965 c.f.
<b>Total</b>	<b>8,756 c.f.</b>	<b>7,895 c.f.</b>
<b>Total Storage Required per Original Design:</b>	<b>8,707 c.f.</b>	
<b>Actual As-Built Storage Provided:</b>	<b>7,895 c.f. (812 c.f. less)</b>	

PART OF LOT 1  
NORTHWEST CORPORATE  
CENTRE UNIT II  
SUBDIVISION II  
Rec. June 6, 1986 As Doc. No. 86228627

Revision	Date
1	07/06/2021
2	08/24/2021
3	09/10/2021
4	04/29/2022
5	02/14/2023
6	10/14/2023
7	09/18/2024

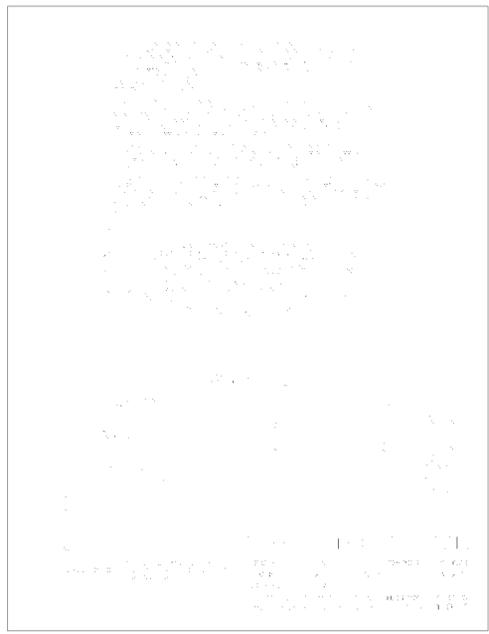
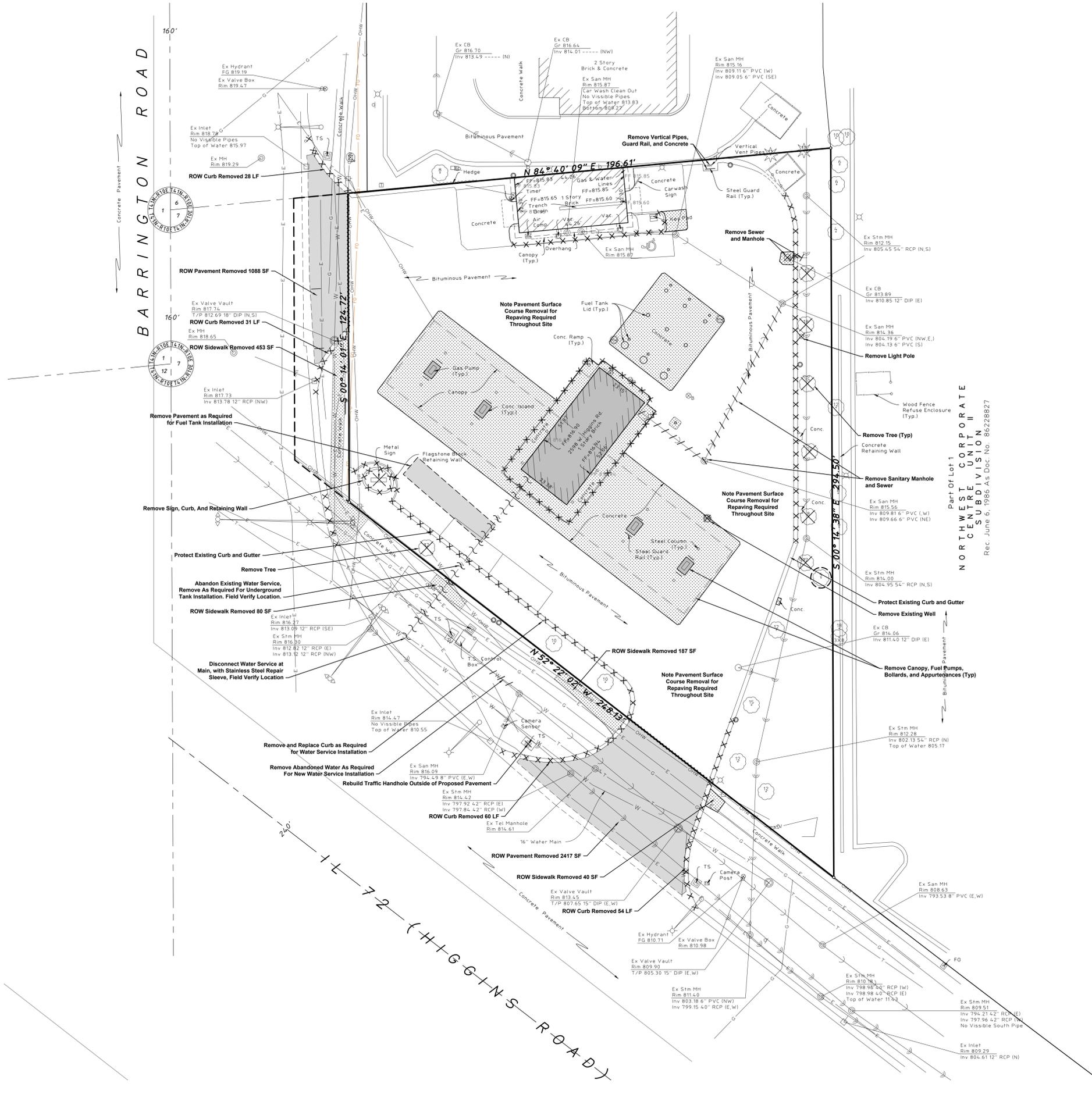
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**EXISTING CONDITIONS PLAN**  
**BP GAS STATION**  
**2598 W. HIGGINS ROAD**  
HOFFMAN ESTATES, IL

Project Manager: M L A  
Engineer: M E T  
Date: 06.11.2020  
Project No. 20-053  
Sheet **C3.0**



- DEMOLITION LEGEND**
- BUILDING REMOVAL
  - PAVEMENT REMOVAL
  - CONCRETE REMOVAL
  - UTILITY REMOVAL
  - ABANDON UTILITY
  - CURB REMOVAL
  - MISCELLANEOUS REMOVAL
  - SAW CUT
  - TREE REMOVAL
  - TREE PROTECTION



Part Of Lot 1  
 NORTHWEST CORPORATE  
 CENTRE UNIT II  
 SUBDIVISION II  
 Rec. June 6, 1986 As Doc. No. 86228627

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**DEMOLITION PLAN**  
**BP GAS STATION**  
**2598 W. HIGGINS ROAD**  
 HOFFMAN ESTATES, IL

Project Manager: M L A  
 Engineer: M E T  
 Date: 06.11.2020  
 Project No. 20-053  
 Sheet **C3.1** of C8



- Standard Pavement**
  - 1 1/2" Hot Mix Asphalt Surface Course
  - 2 1/2" Hot Mix Asphalt Binder Course
  - 9" CA-6 Crushed Aggregate Base Course
- Concrete Pavement**
  - 8" Portland Cement Concrete
  - 4" CA-6 Crushed Aggregate Base Course
- Heavy Duty Concrete Pavement**
  - 8" Portland Cement Concrete with 6" x 6", #6 WWF
  - 4" CA-6 Crushed Aggregate Base Course
- ADA Compliant Detectible Warning**

**DIMENSION LEGEND**

- B-B Back of Curb to Back of Curb
- F-F Face of Curb to Face of Curb
- E-E Edge of Pavement to Edge of Pavement

**NOTES:**

1. All dimensions are to back of curb, face of wall and face of building unless otherwise noted.

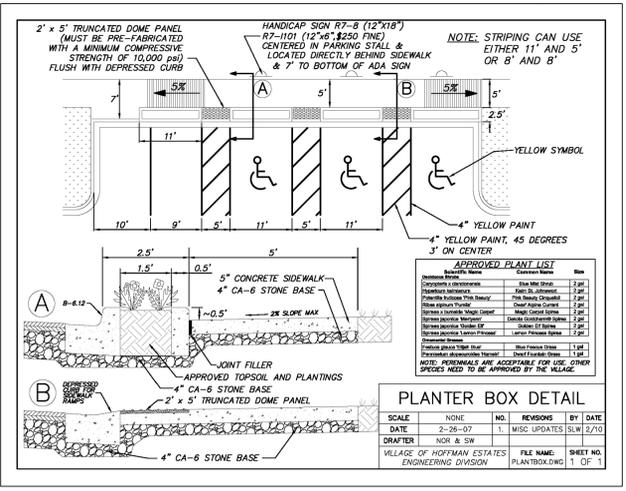
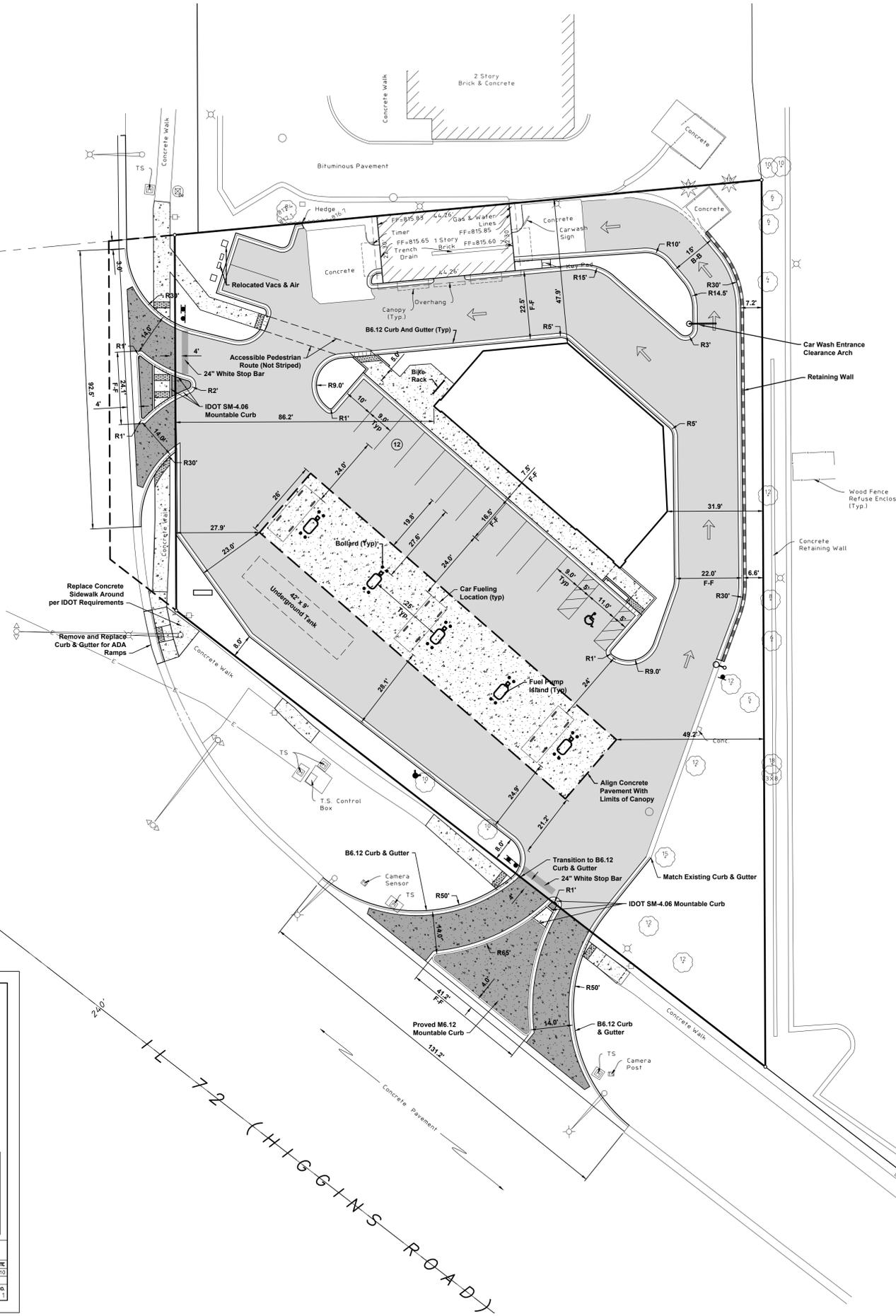
**SIGNAGE LEGEND**

- 1 STOP R 1-1 30" x 30"
- 2 RESERVE PARKING See Detail Sheet C8.1
- 3 DO NOT ENTER 30" x 30"
- 4 ONLY R 3-5R 30" x 36"
- 5 R 3-2 36" x 36"

BARRINGTON ROAD

NORTHWEST CORPORATE CENTRE UNIT II SUBDIVISION II

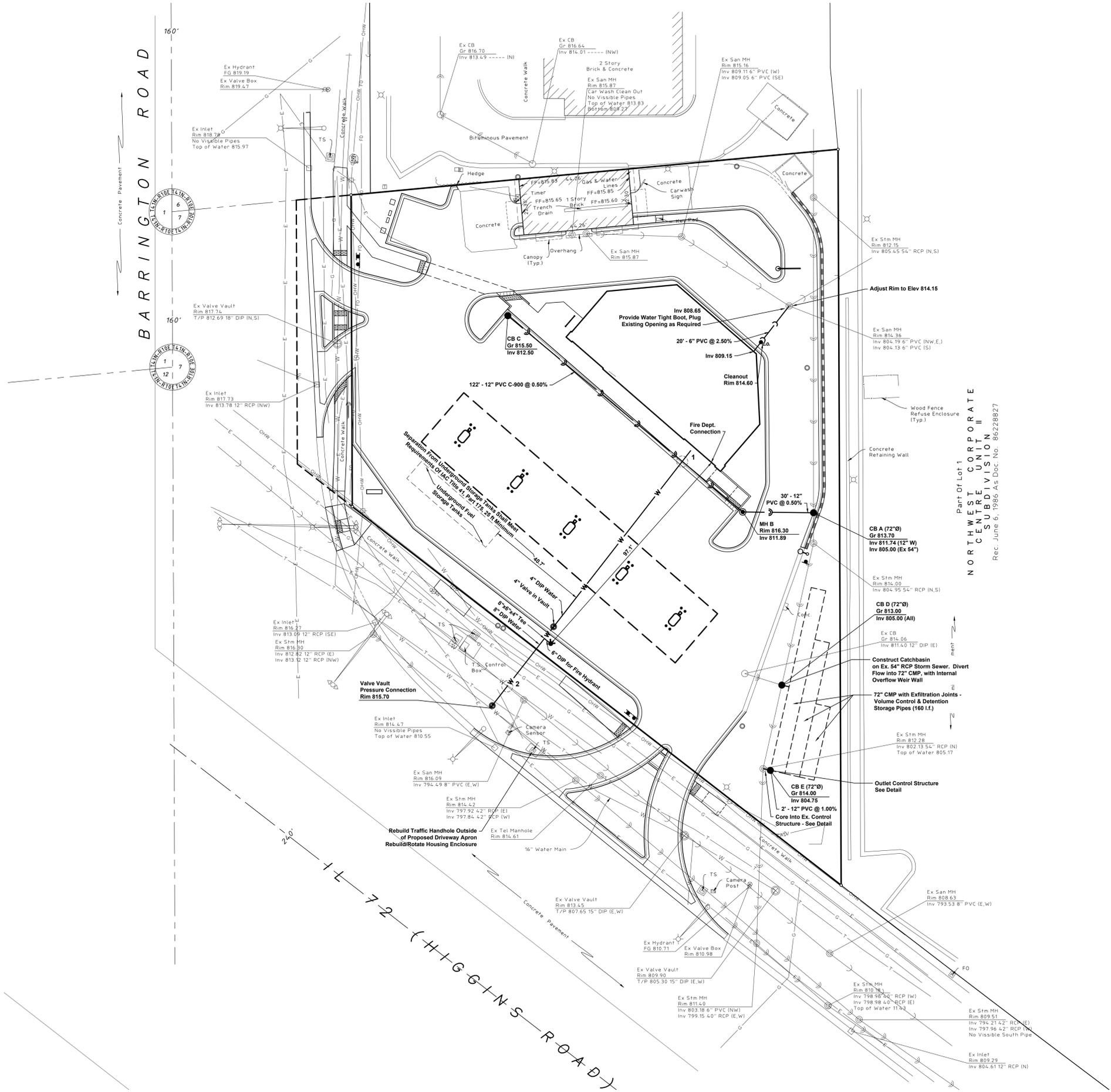
Part Of Lot 1 Rec. June 6, 1986 As Doc. No. 86228827



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**GEOMETRY, PAVING, STRIPING & SIGNAGE PLAN**  
**BP GAS STATION**  
**2598 W. HIGGINS ROAD**  
 HOFFMAN ESTATES, IL

Project Manager: M L A  
 Engineer: M E T  
 Date: 06.11.2020  
 Project No. 20-053  
 Sheet **C4.0** C8



**CROSSING TABLE**

Crossing: 1
Bot of Storm: 811.80
Top of Watermain: 810.20

Crossing: 2
Bot of Water: 804.50
Top of San: 795.20

Part Of Lot 1  
 NORTHWEST CORPORATE  
 CENTRE UNIT II  
 SUBDIVISION II  
 Rec. June 6, 1986 As Doc. No. 86228627

Revision	Date	Description
1	07/06/2021	Revised per Village Review
2	08/24/2021	Revised per IDOT Review
3	09/10/2021	Revised per Village Review
4	09/29/2021	Revised per Village Review
5	10/14/2021	Revised per Village Review
6	10/14/2021	Revised per Village Review
7	09/18/2020	Revised per IDOT Review

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**UTILITY PLAN**  
**BP GAS STATION**  
**2598 W. HIGGINS ROAD**  
 HOFFMAN ESTATES, IL

Project Manager: M L A  
 Engineer: M E T  
 Date: 06.11.2020  
 Project No: 20-053  
 Sheet **C5.0** of C8

BARRINGTON ROAD



160'



160'

HIGGINS ROAD



20'



20'



20'



20'



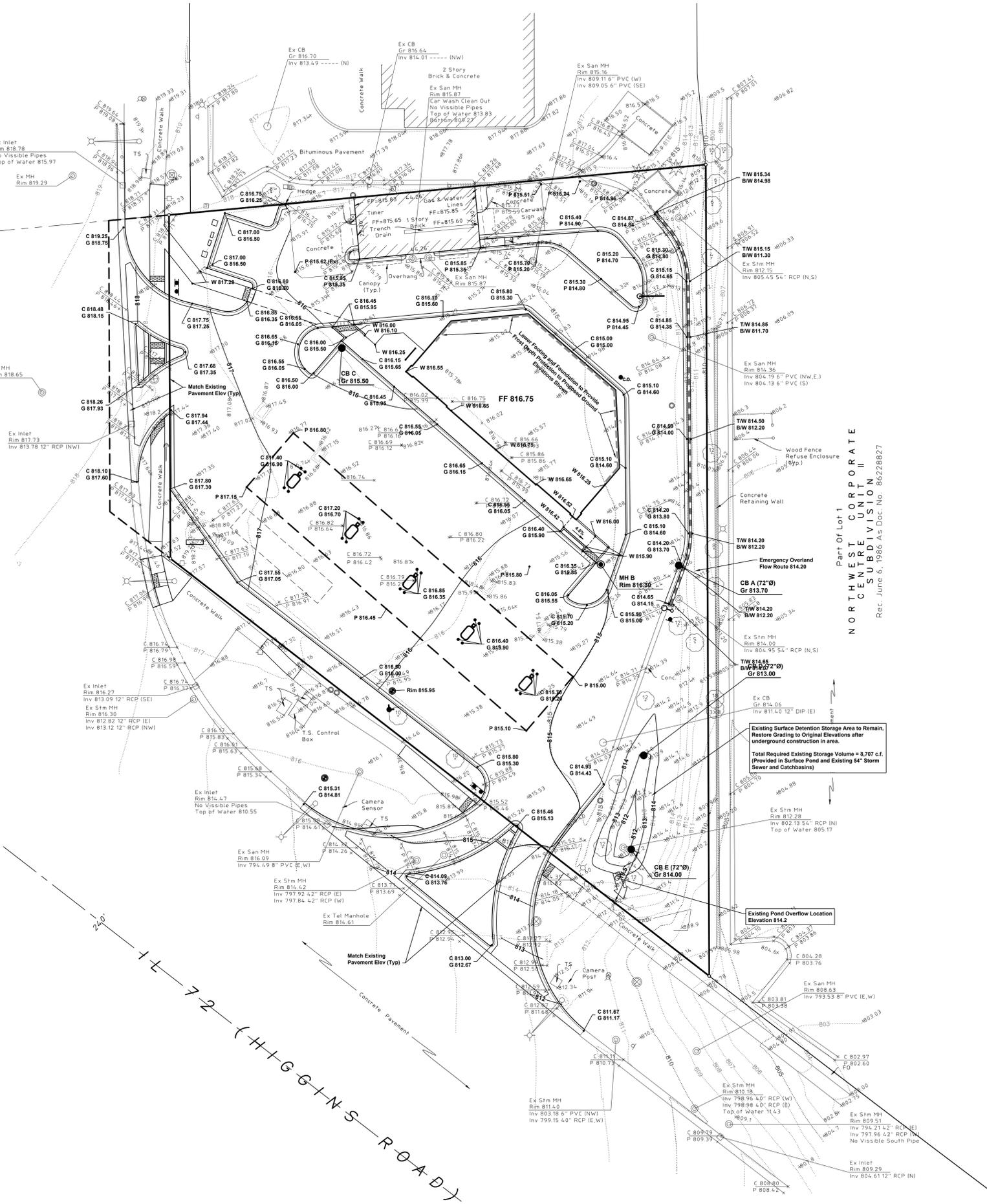
20'



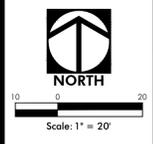
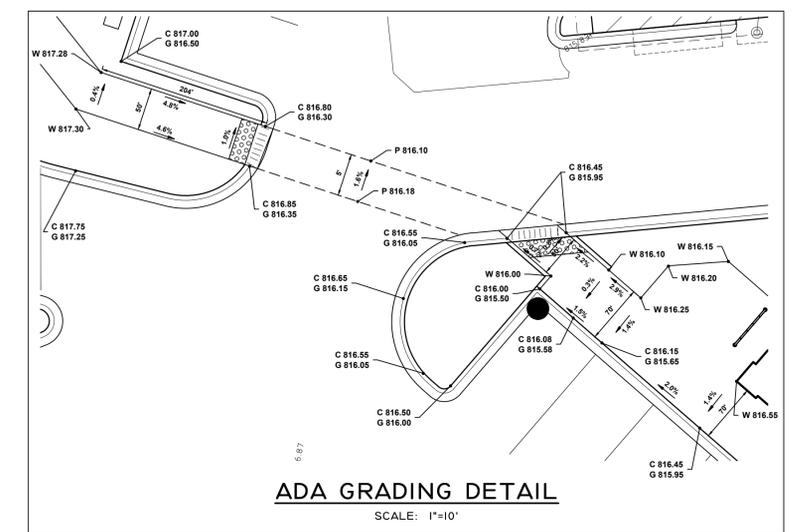
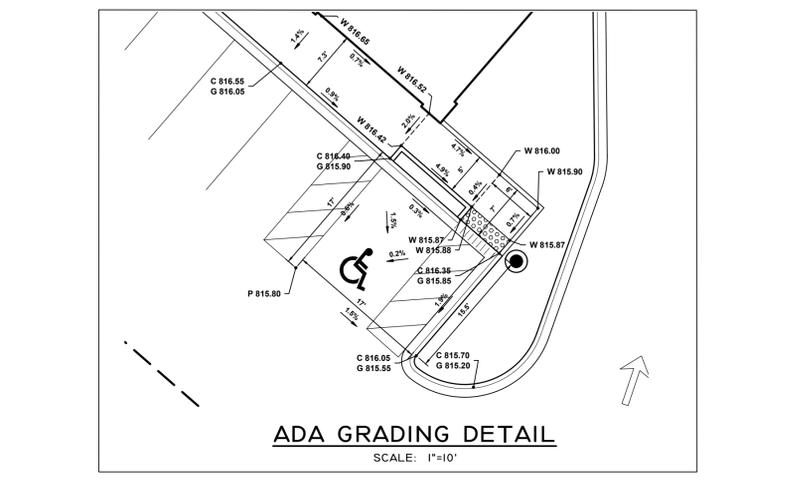
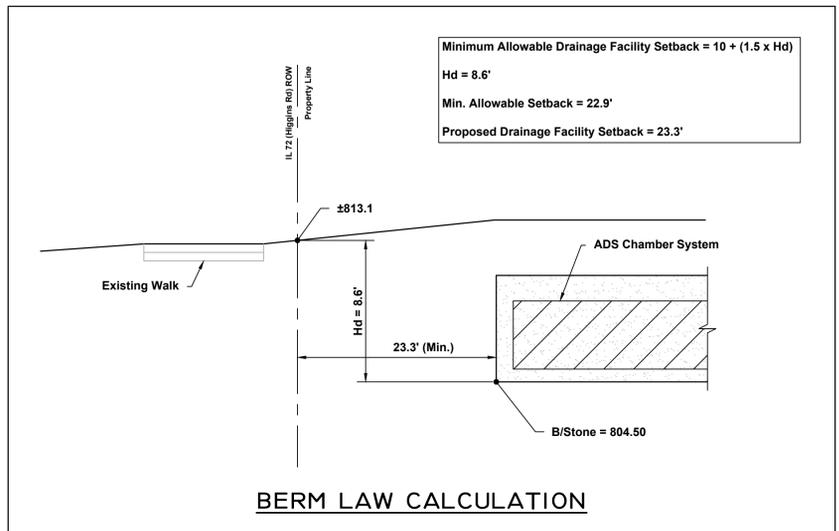
20'



20'



Part of Lot 1  
NORTHWEST CORPORATE  
CENTRE UNIT  
SUBDIVISION II  
Rec. June 6, 1986 As Doc. No. 06228627



Scale: 1" = 20'

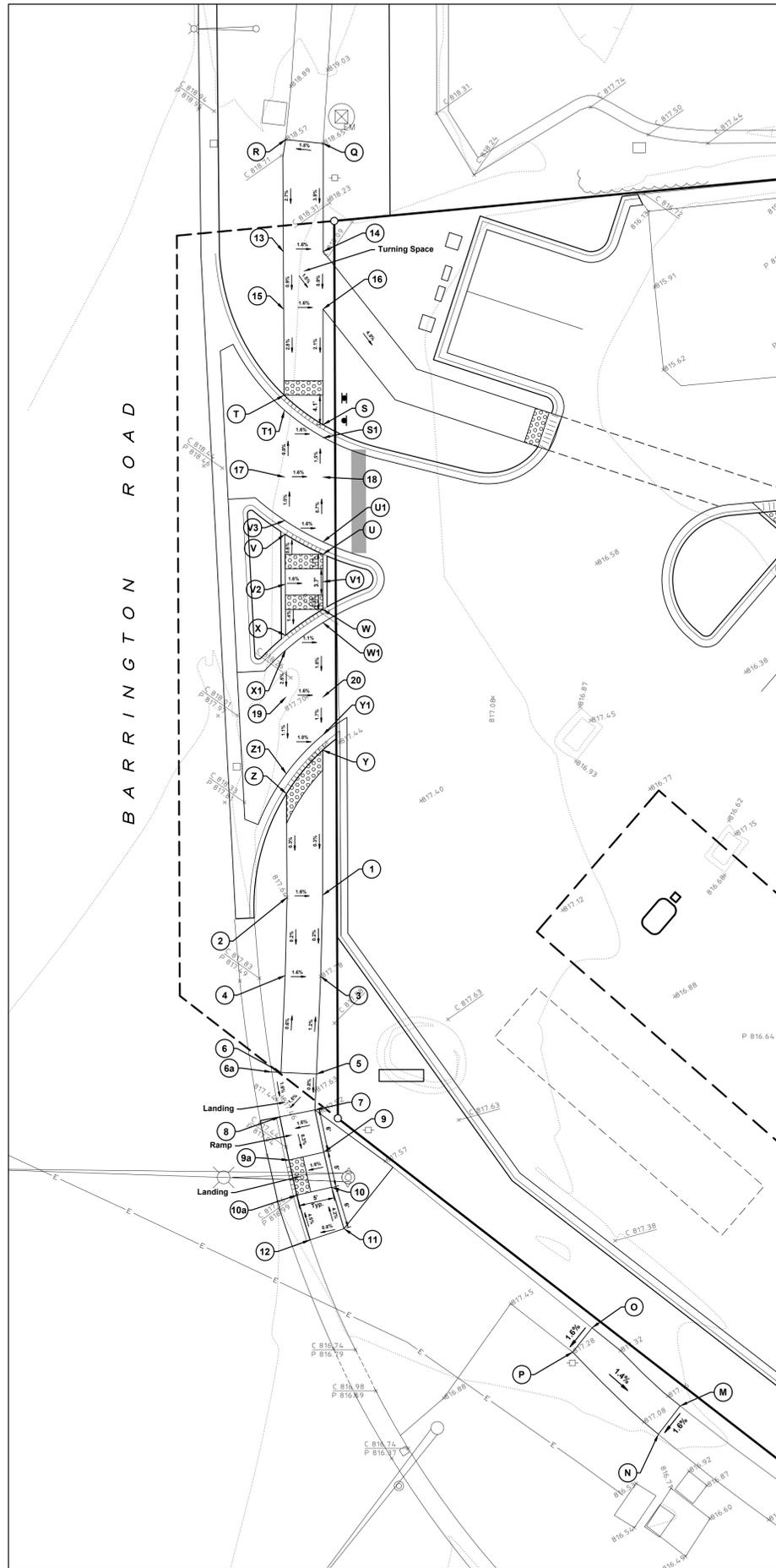
Revision table with columns for Date, No., and Description.

Revision table with columns for Date, No., and Description.

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SITE GRADING & DRAINAGE PLAN  
BP GAS STATION  
2598 W. HIGGINS ROAD  
HOFFMAN ESTATES, IL

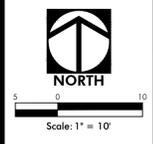
Project Manager: M L A  
Engineer: M E T  
Date: 06.11.2020  
Project No. 20-053  
Sheet C6.0



	STATION	OFFSET	ELEVATION
M	4+82.40	117.55' LT	817.13
N	4+82.40	112.57' LT	817.05
O	3+55.44	107.40' LT	817.35
P	3+58.82	104.67' LT	817.28
Q	1+90.73	70.50' LT	818.65
R	1+90.16	65.25' LT	818.57
S	2+29.79	70.31' LT	817.67
S1	2+31.61	70.31' LT	817.69
T	2+25.67	64.91' LT	817.75
T1	2+27.82	64.91' LT	817.77
U	2+47.80	70.23' LT	817.81
U1	2+46.06	70.24' LT	817.83
V	2+44.97	64.94' LT	817.89
V1	2+51.62	70.21' LT	817.85
V2	2+51.92	64.95' LT	817.93
V3	2+43.08	64.94' LT	817.91
W	2+55.45	70.20' LT	817.77
W1	2+57.29	70.19' LT	817.79
X	2+59.05	64.97' LT	817.83
X1	2+61.11	64.97' LT	817.85
Y	2+75.02	70.11' LT	817.49
Y1	2+72.92	70.12' LT	817.51
Z	2+81.06	65.00' LT	817.54
Z1	2+78.28	65.00' LT	817.56
1	2+95.16	70.02' LT	817.42
2	2+95.46	65.03' LT	817.50
3	3+06.47	69.69' LT	817.40
4	3+06.33	64.72' LT	817.48
5	3+20.03	69.04' LT	817.56
6	3+19.79	64.08' LT	817.56
6a	3+19.73	62.79' LT	817.54
7	3+25.02	68.81' LT	817.52
8	3+25.96	63.90' LT	817.44
9	3+30.90	70.03' LT	817.14
9a	3+31.97	65.14' LT	817.06
10	3+35.78	71.10' LT	817.14
10a	3+36.86	66.22' LT	817.06
11	3+41.53	72.81' LT	817.39
12	3+43.08	68.06' LT	817.35
13	2+05.75	64.87' LT	818.15
14	2+05.74	70.42' LT	818.07
15	2+13.73	64.89' LT	818.08
16	2+13.72	70.39' LT	818.00
17	2+37.04	64.93' LT	817.85
18	2+37.07	70.28' LT	817.77
19	2+67.63	64.98' LT	817.68
20	2+67.65	70.14' LT	817.60



	STATION	OFFSET	ELEVATION
A	6+11.97	117.39' LT	814.06
A1	6+03.47	117.13' LT	814.36
B	6+12.03	111.62' LT	814.02
B1	6+03.51	111.98' LT	814.30
C	5+96.22	117.07' LT	814.58
C1	5+94.60	117.10' LT	814.60
C2	5+97.47	117.08' LT	814.57
D	5+95.86	111.97' LT	814.50
D1	5+97.51	111.97' LT	814.52
E	5+80.78	117.36' LT	814.96
E1	5+82.38	117.33' LT	814.98
F	5+81.41	111.88' LT	814.88
F1	5+83.44	111.91' LT	814.90
G	5+78.12	117.41' LT	815.04
G1	5+76.52	117.45' LT	815.06
H	5+76.81	111.88' LT	814.98
H1	5+75.15	111.90' LT	815.00
I	5+62.69	117.81' LT	815.41
I1	5+64.31	117.76' LT	815.43
J	5+60.91	112.05' LT	815.36
J1	5+62.56	111.94' LT	815.38
K	5+29.53	118.91' LT	816.44
K1	5+47.89	118.29' LT	815.91
K2	5+47.01	113.00' LT	815.85
L	5+29.60	114.19' LT	816.36
21	5+89.67	111.94' LT	814.71
22	5+89.76	117.19' LT	814.75
23	5+69.17	111.94' LT	815.20
24	5+69.32	117.64' LT	815.28

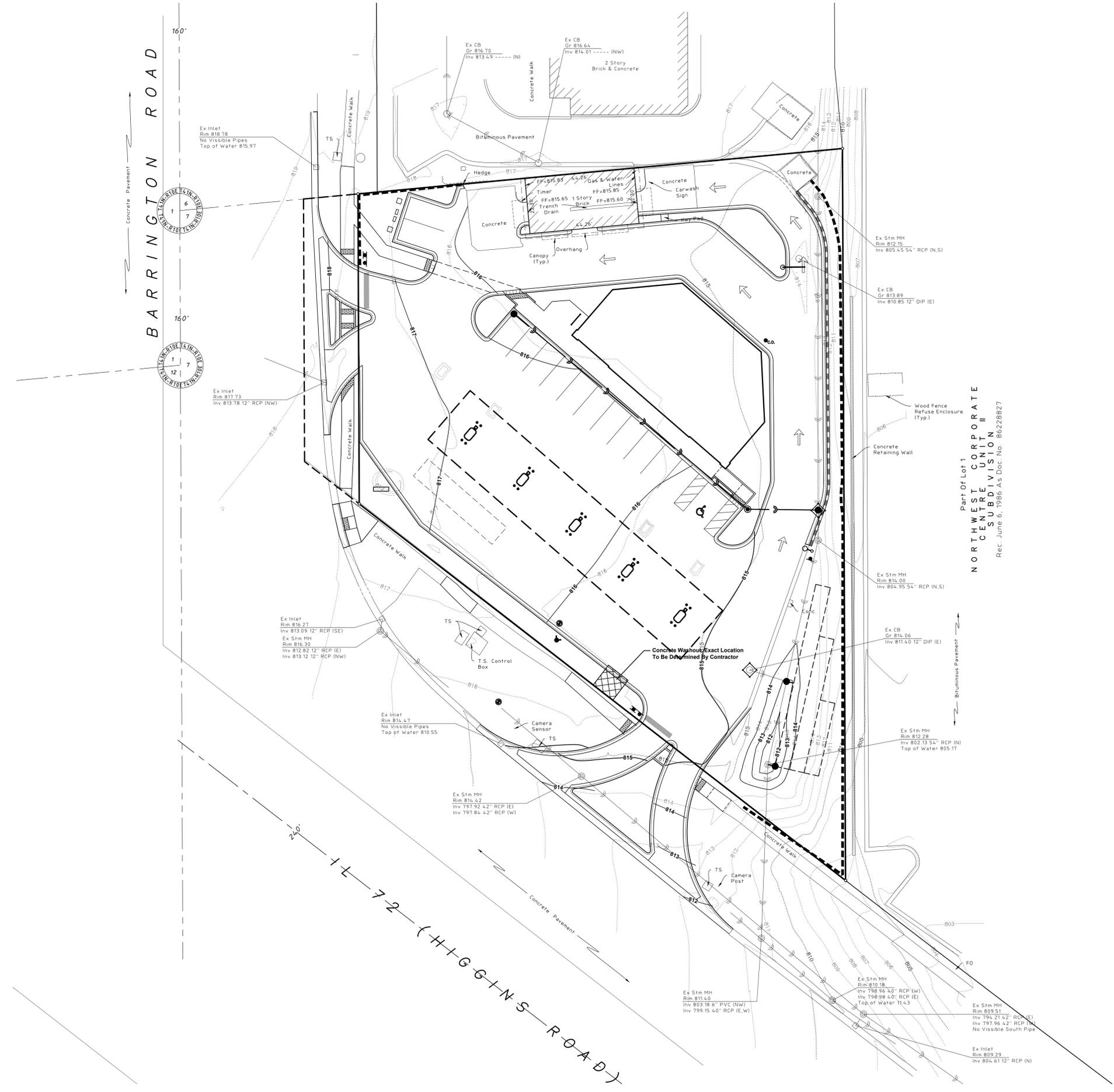


Revision	Date	Description
7	06/24/2021	Revised per Village Review
6	05/10/2021	Revised per IDOT Review
5	04/09/2021	Revised per Village Review
4	02/16/2021	Revised per Village Review
3	10/14/2020	Revised per Village Review
2	09/18/2020	Revised per IDOT Review
1		

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**ADA ACCESSIBILITY  
 DETAILS**  
**BP GAS STATION**  
**2598 W. HIGGINS ROAD**  
 HOFFMAN ESTATES, IL

Project Manager: M L A  
 Engineer: M E T  
 Date: 06.11.2020  
 Project No. 20-053  
 Sheet **C6.1** of C8



**EROSION CONTROL LEGEND**

-  Stabilized Construction Entrance - Install if Required
-  Perimeter Erosion Control / Silt Fence
-  Inlet Filter Basket or Coir Roll  
(Use Baskets for Structures in Pavement and Coir Rolls for Structures in Grass)
-  Concrete Washout

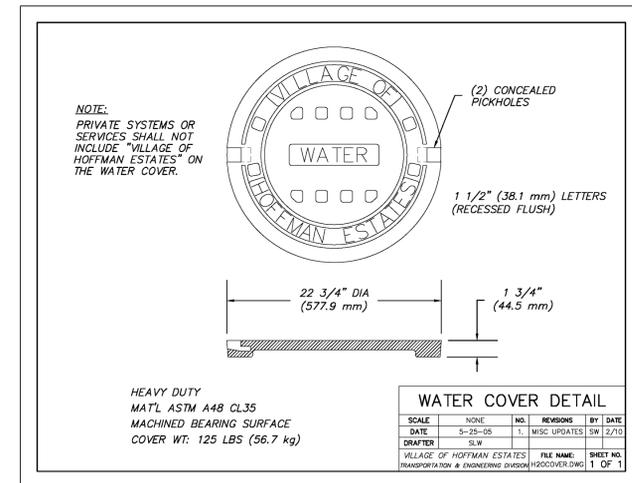
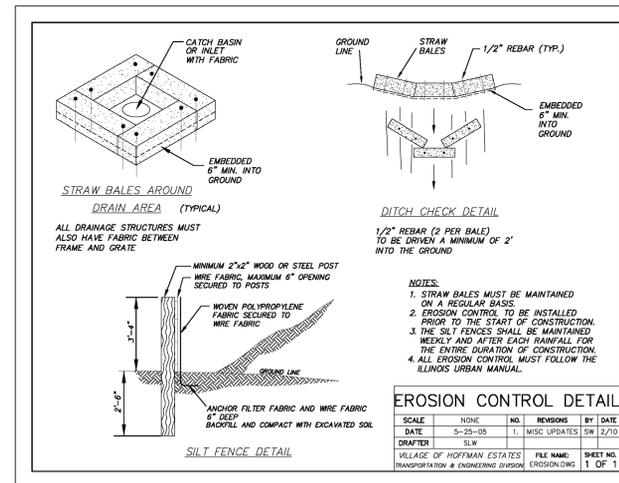
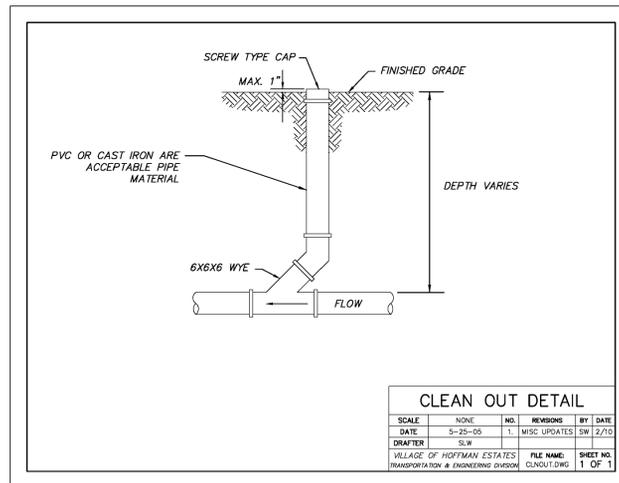
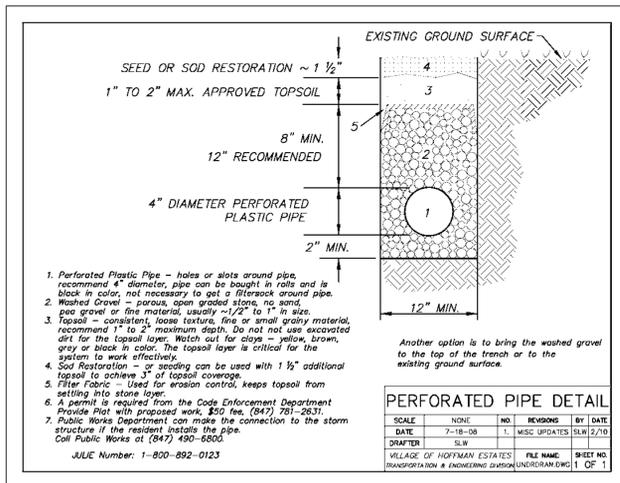
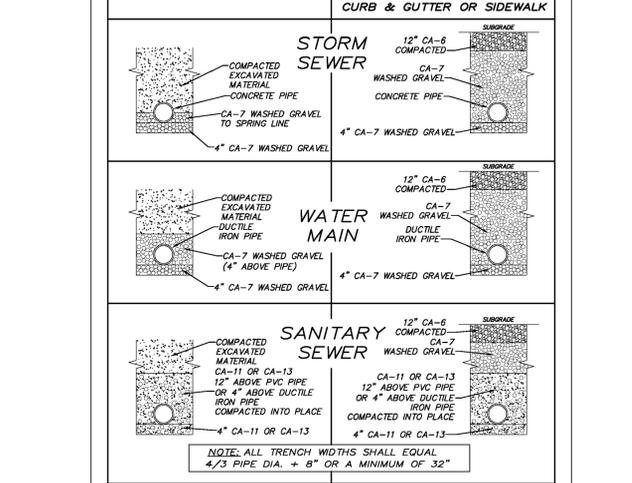
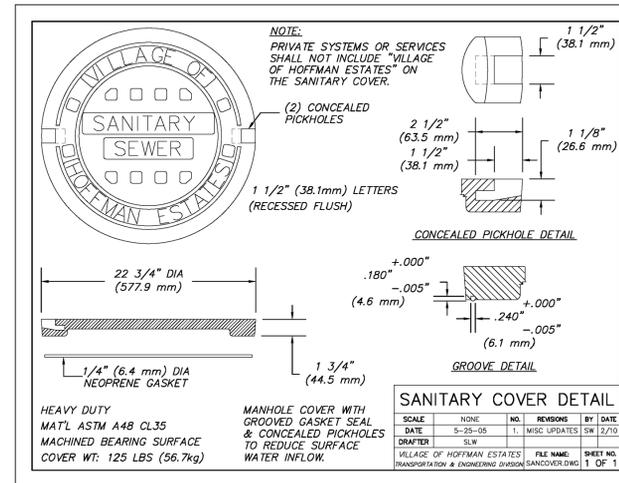
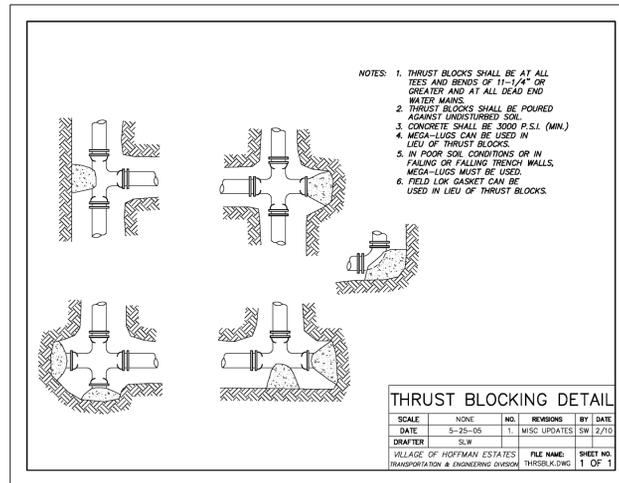
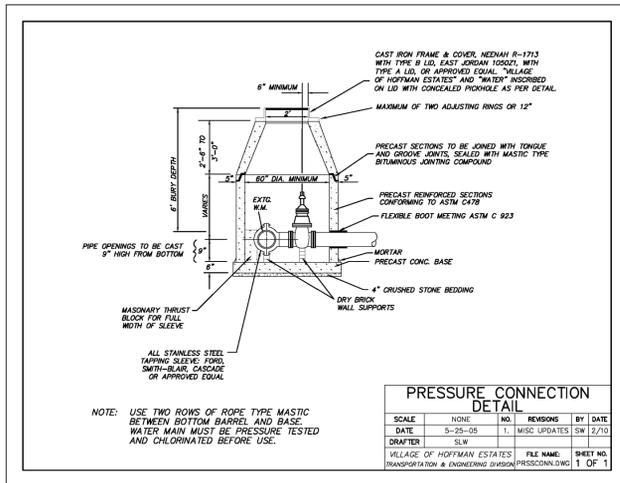
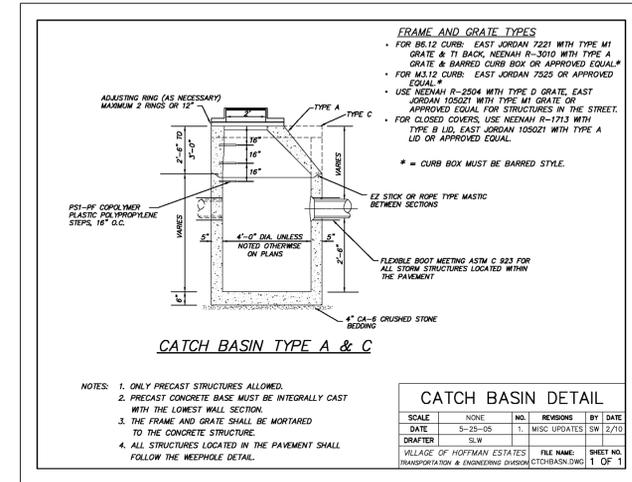
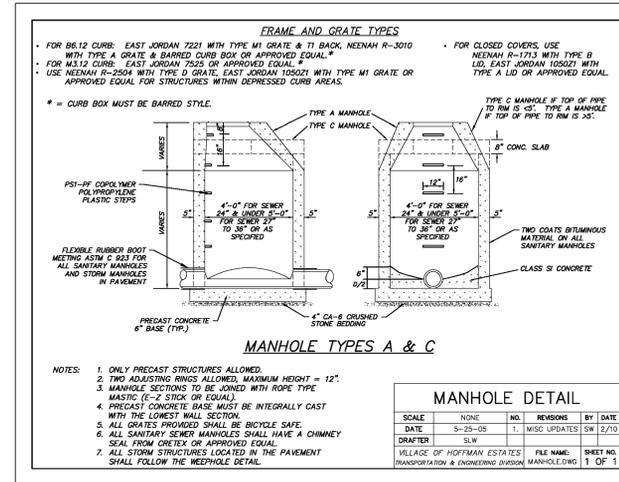
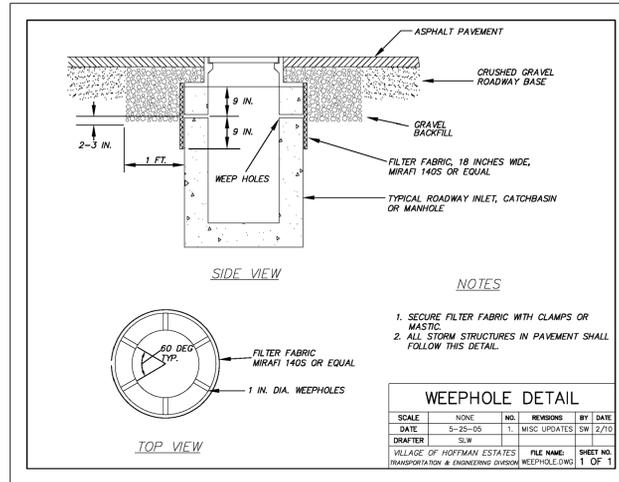
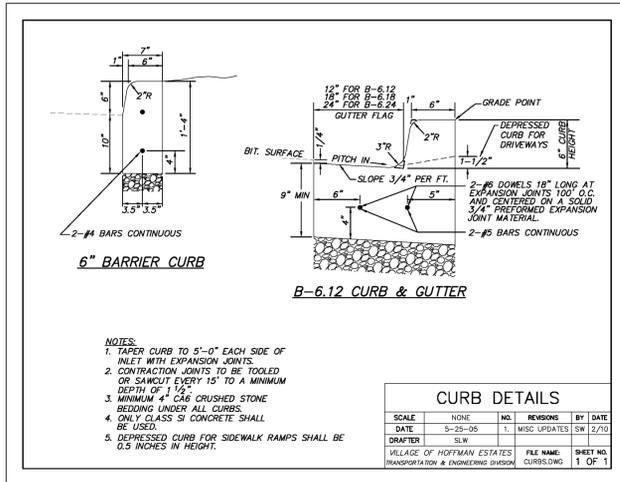
Part Of Lot 1  
**NORTHWEST CORPORATE  
 CENTRE UNIT II  
 SUBDIVISION**  
 Rec. June 6, 1986 As Doc. No. 86228827

Revision	Date	Description
1	09/18/2020	Revised Per Village Review Comments
2	10/14/2020	Revised Site Plan - IDOT Submittal
3	02/16/2021	Revised Per Village Review Comments
4	04/29/2021	Revised Per Village Review Comments
5	05/10/2021	Revised Per IDOT Review
6	06/24/2021	Revised Per Village Review
7		Revised Per Village Review

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**TEMPORARY EROSION AND  
 SEDIMENT CONTROL PLAN**  
**BP GAS STATION**  
**2598 W. HIGGINS ROAD**  
 HOFFMAN ESTATES, IL

Project Manager: M L A  
 Engineer: M E T  
 Date: 06.11.2020  
 Project No. 20-053  
 Sheet **C7.0**



Revised per Village Review	Revised per IDOT Review	Date	No.
7	06/04/2021		
6	05/10/2021		
5	04/29/2021		
4	02/16/2021		
3	10/14/2020		
2	09/18/2020		
1			

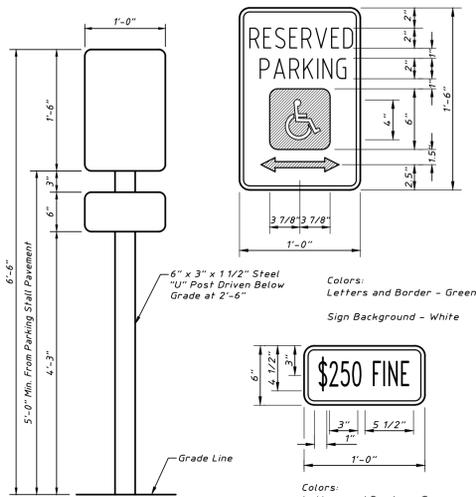
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Illinois Professional Design Firm License No. 184-003152  
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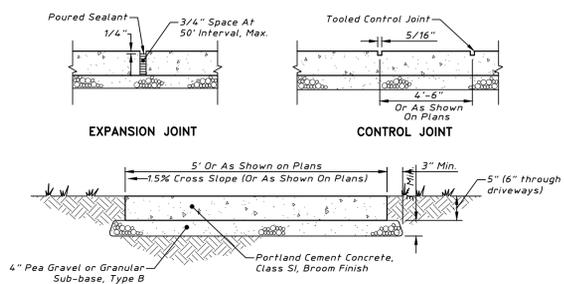
**TYPICAL DETAILS**

**BP GAS STATION**  
2598 W. HIGGINS ROAD  
HOFFMAN ESTATES, IL

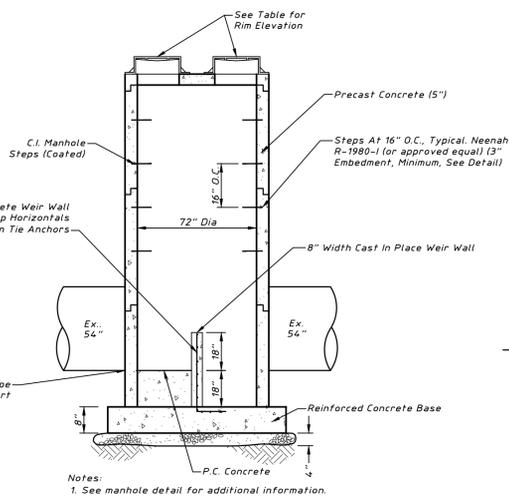
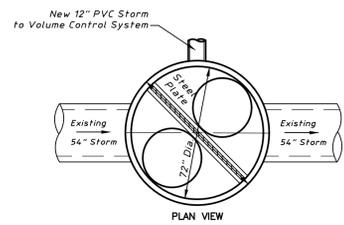
Project Manager: M L A  
Engineer: M E T  
Date: 06.11.2020  
Project No. 20-053  
Sheet **C8.0** / C8



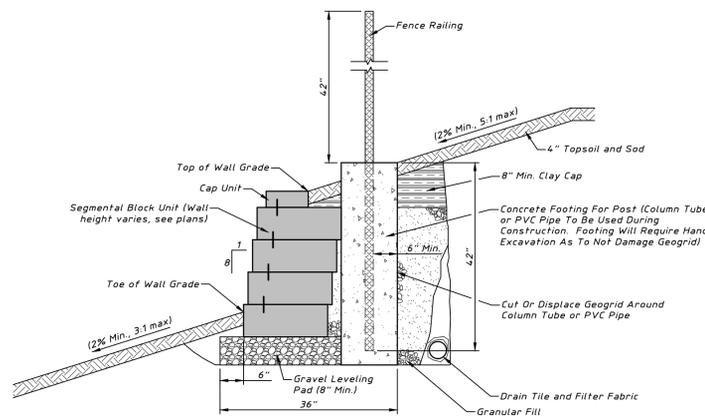
**HANDICAPPED PARKING SIGN DETAIL**



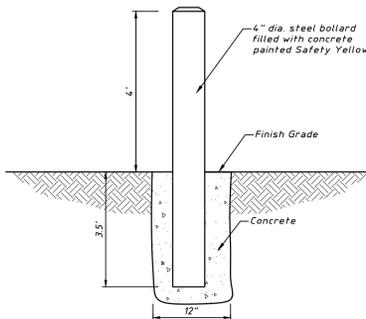
**PORTLAND CEMENT CONC. SIDEWALK**



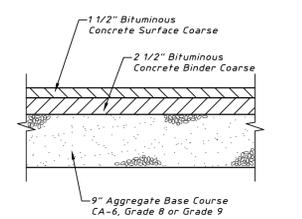
**CATCHBASIN D DETAIL**



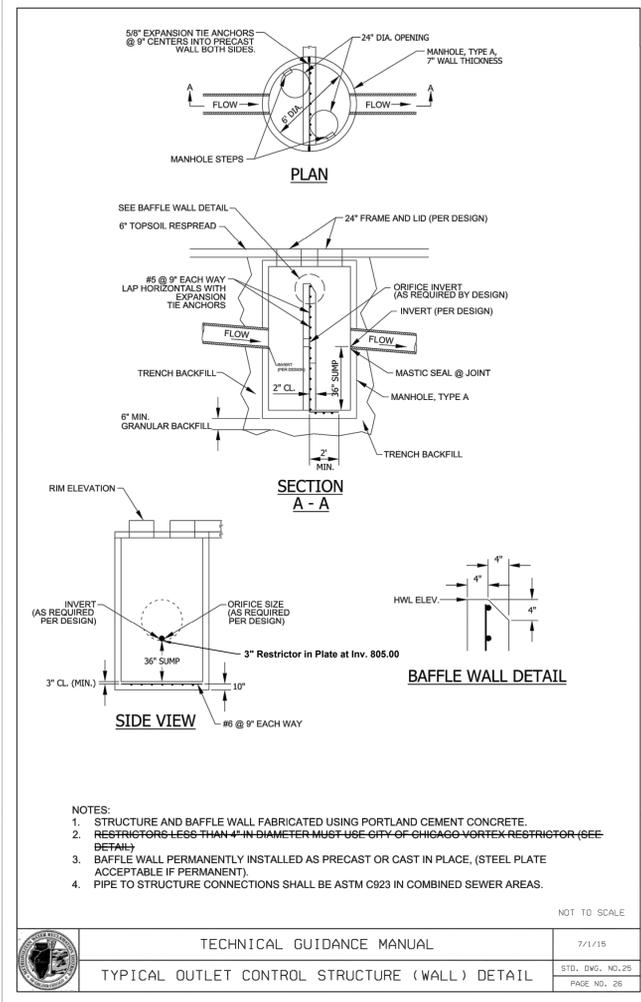
**SEGMENTAL BLOCK RETAINING WALL WITH RAILING**



**BOLLARD DETAIL**

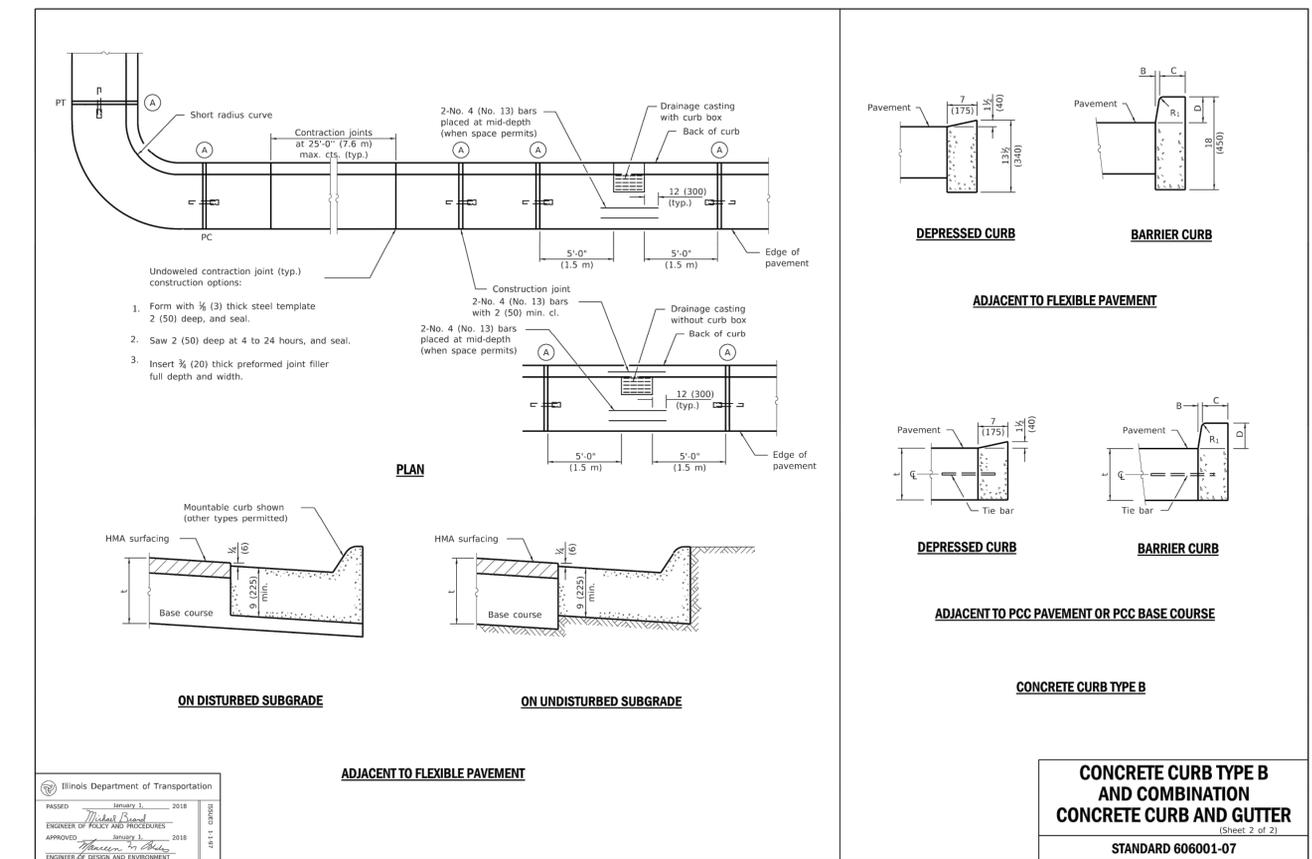
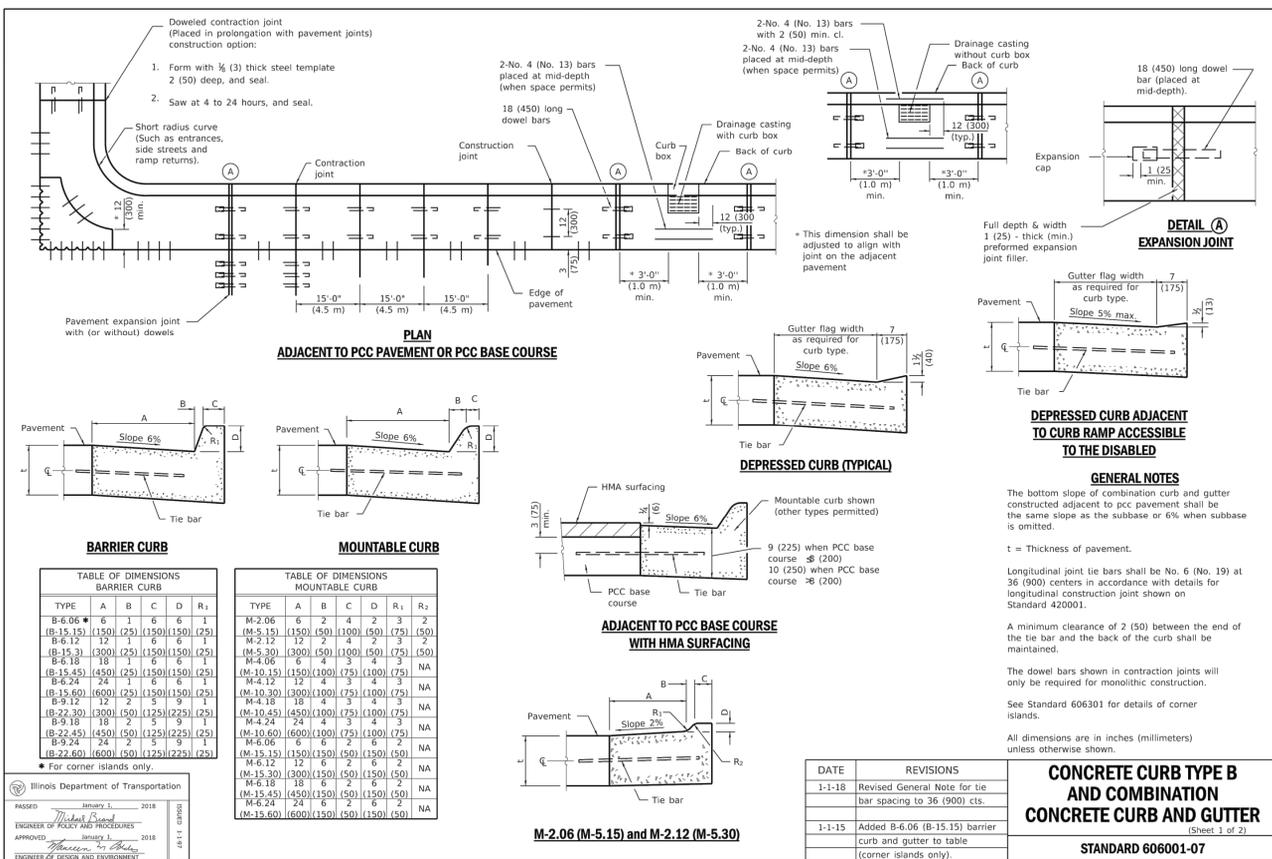


**TYPICAL PAVEMENT SECTION**



- NOTES:**
- STRUCTURE AND BAFFLE WALL FABRICATED USING PORTLAND CEMENT CONCRETE.
  - RESTRICTORS LESS THAN 4" IN DIAMETER MUST USE CITY OF CHICAGO VORTEX RESTRICTOR (SEE DETAIL).
  - BAFFLE WALL PERMANENTLY INSTALLED AS PRECAST OR CAST IN PLACE. (STEEL PLATE ACCEPTABLE IF PERMANENT).
  - PIPE TO STRUCTURE CONNECTIONS SHALL BE ASTM C923 IN COMBINED SEWER AREAS.

**TYPICAL OUTLET CONTROL STRUCTURE (WALL) DETAIL**

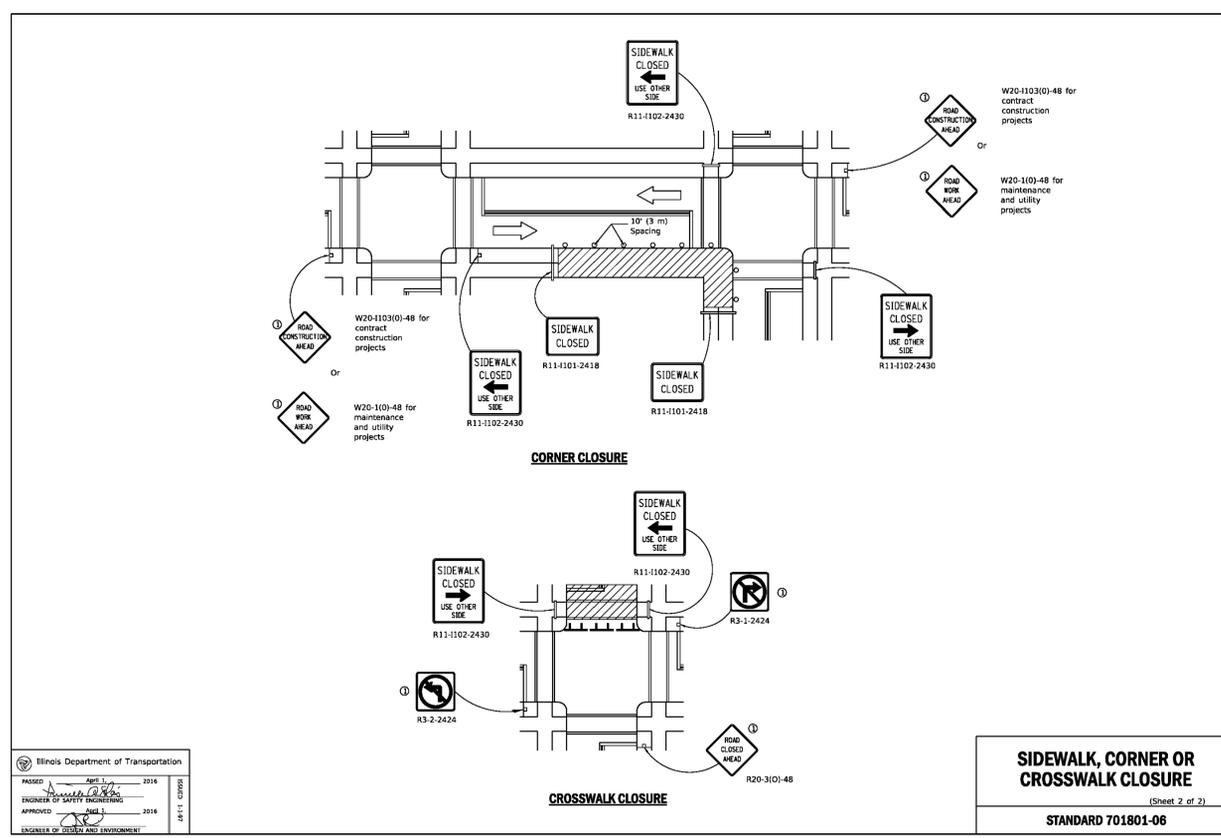
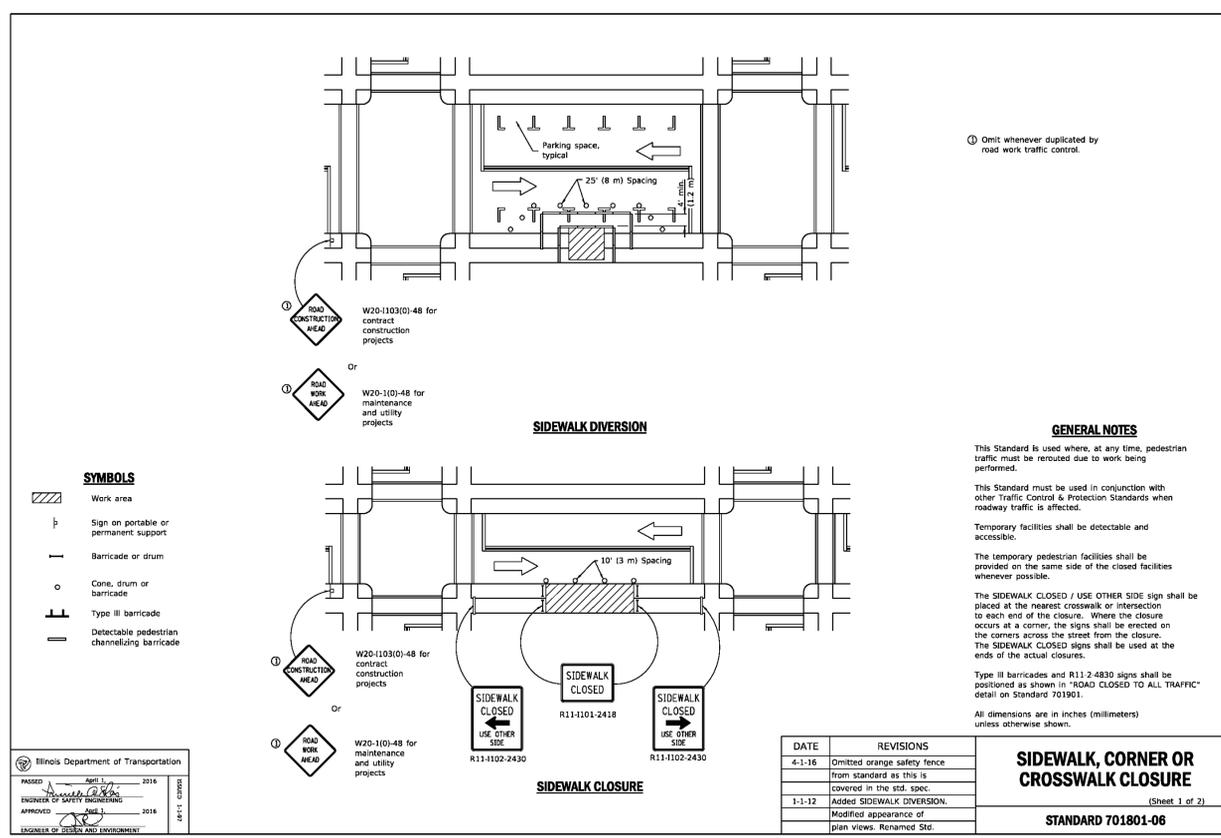
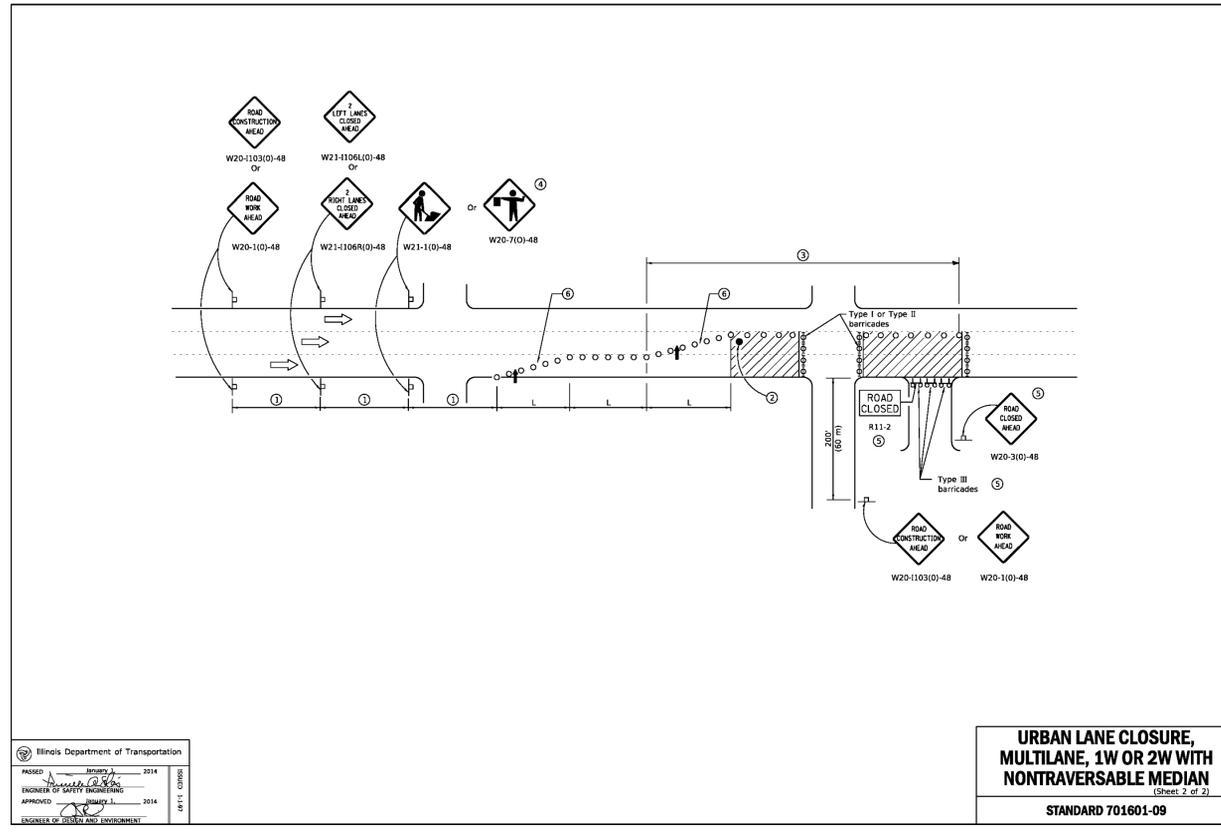
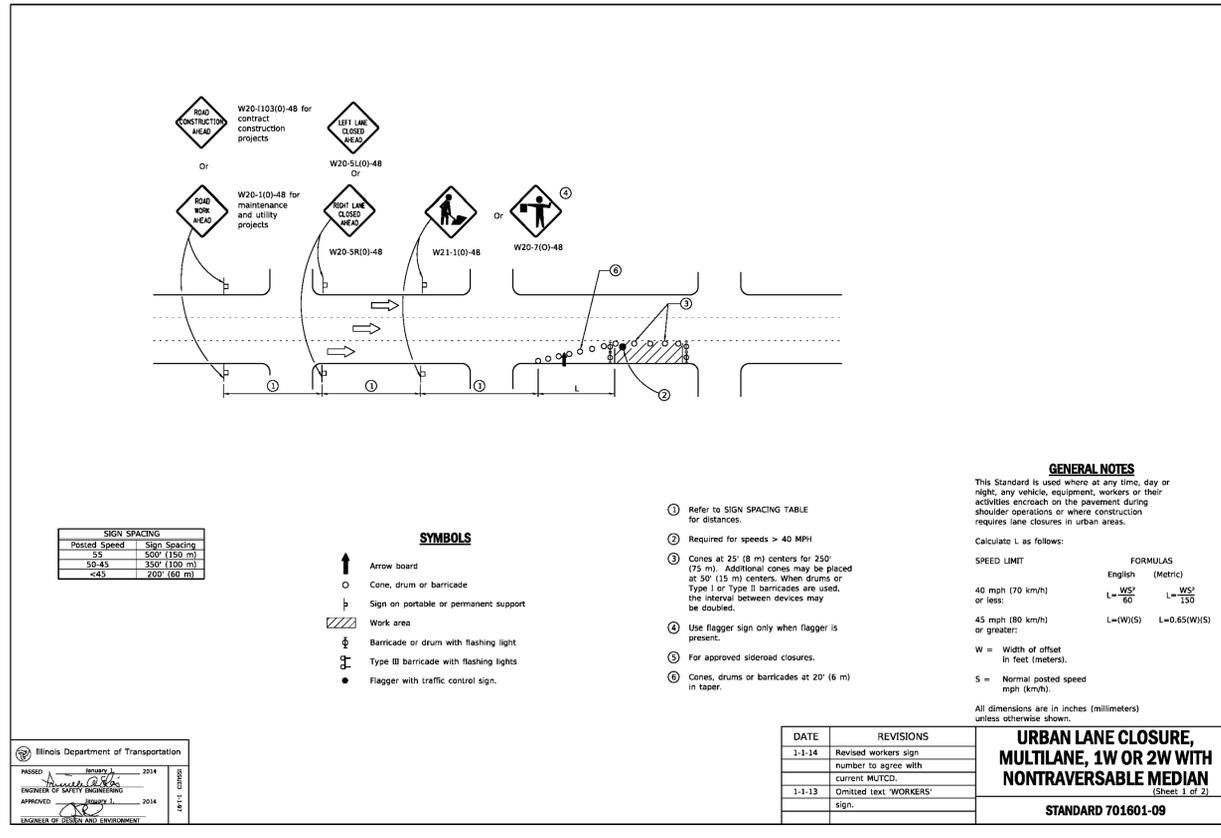


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**TYPICAL DETAILS**  
**BP GAS STATION**  
**2598 W. HIGGINS ROAD**  
 HOFFMAN ESTATES, IL

Project Manager: M L A  
 Engineer: M E T  
 Date: 06.11.2020  
 Project No: 20-053  
 Sheet **C8.1** / C8





Project Manager: M L A  
Engineer: M E T  
Date: 06.11.2020  
Project No. 20-053  
Sheet **C8.3** / C8

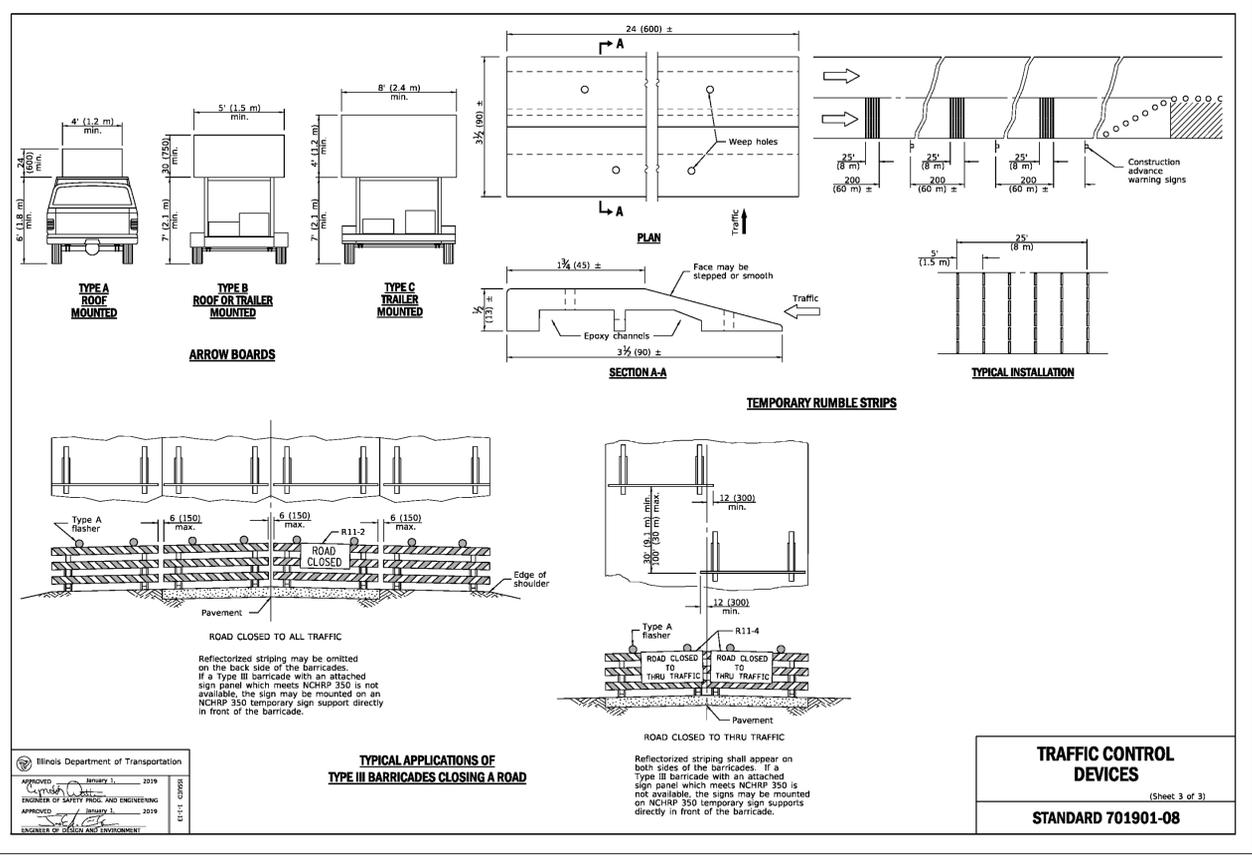
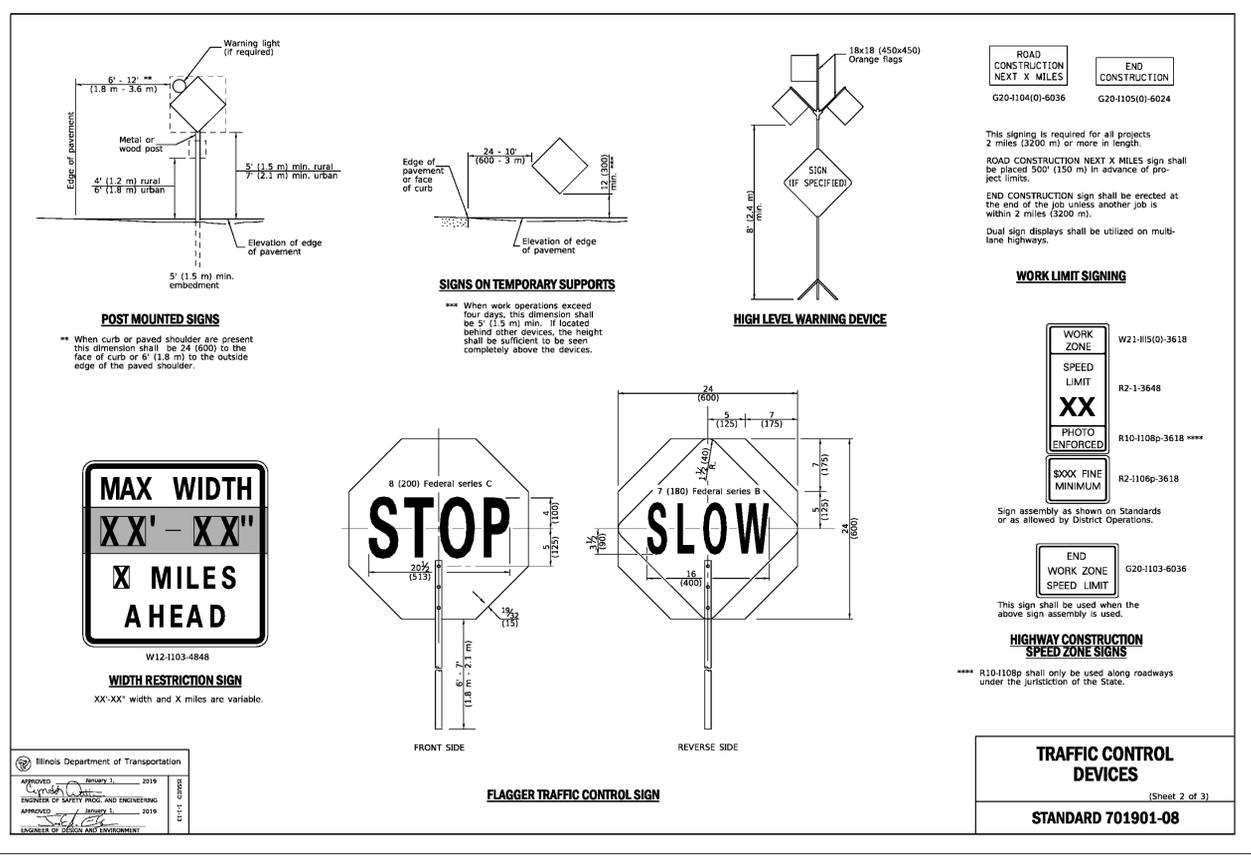
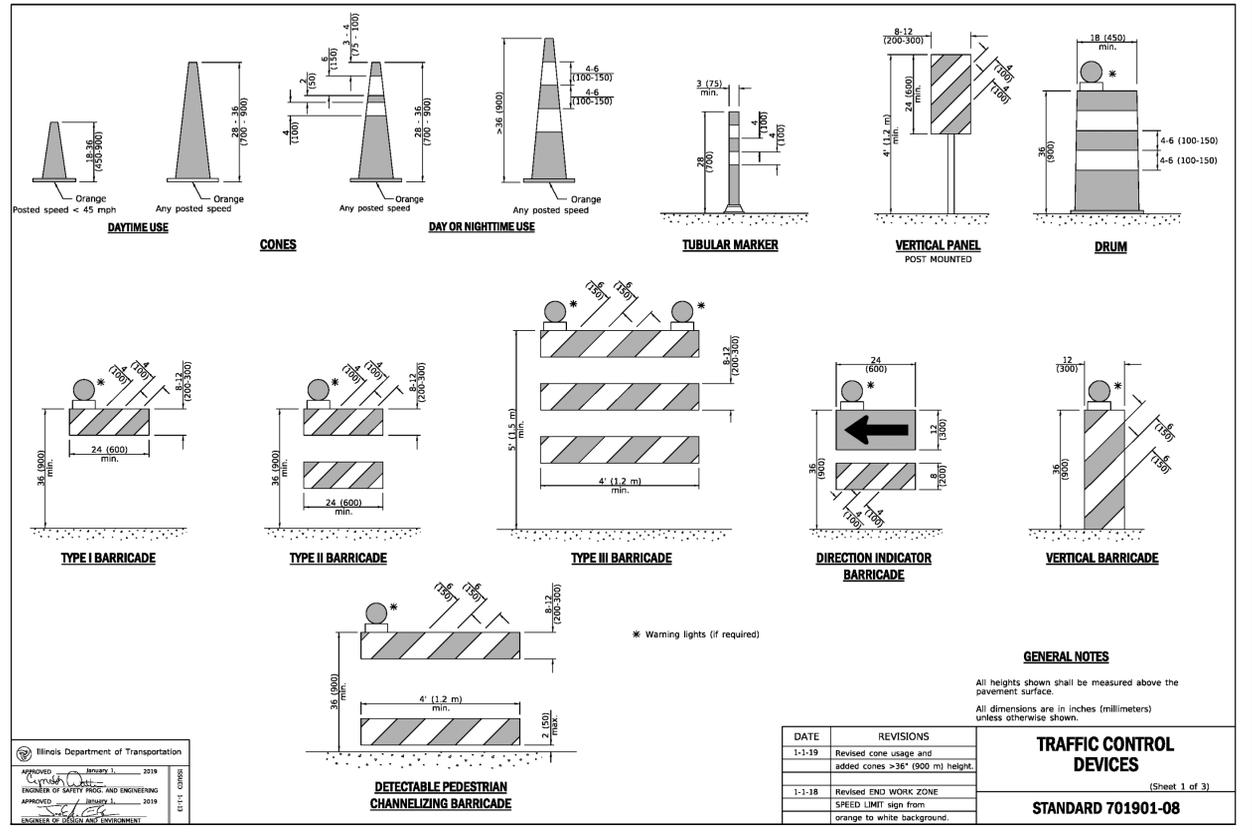
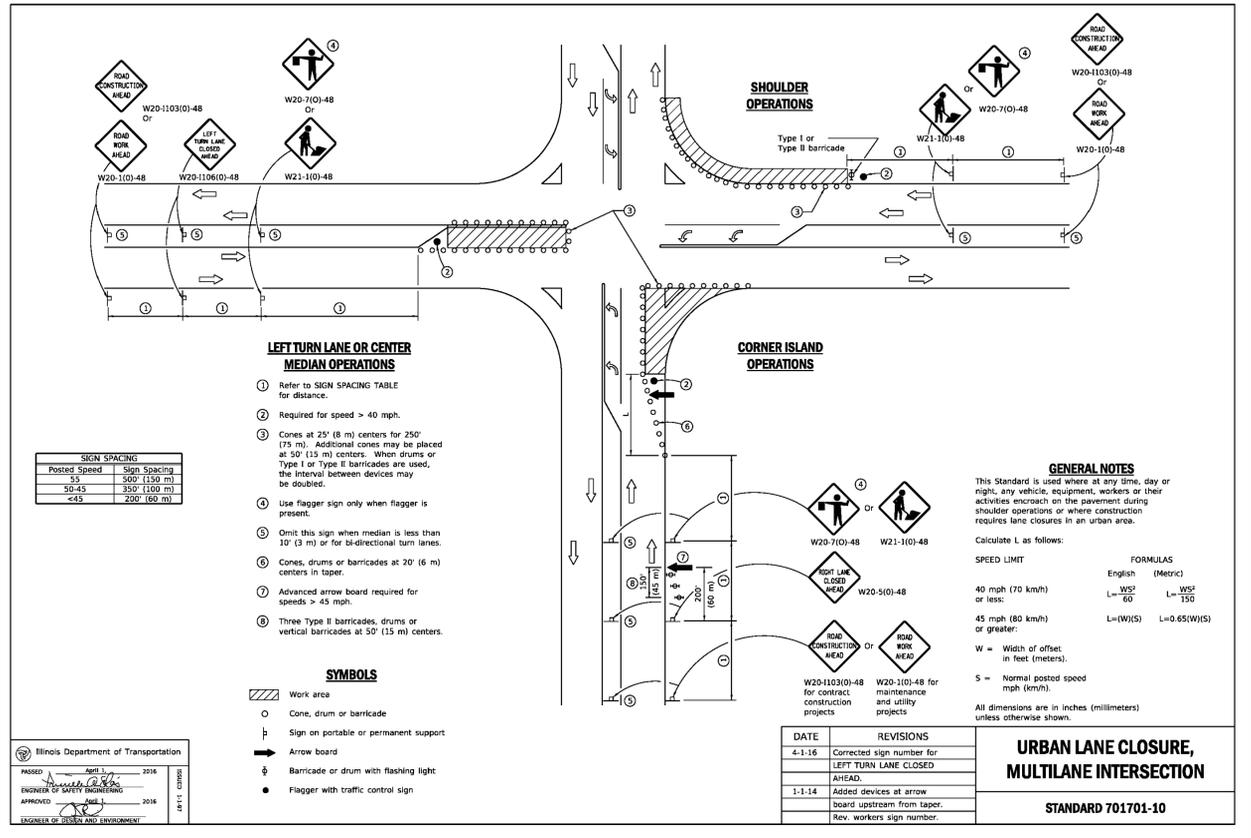
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**IDOT DETAILS**  
**BP GAS STATION**  
**2598 W. HIGGINS ROAD**  
HOFFMAN ESTATES, IL

Revised per Village Review  
05/24/2021  
Revised per Village Review  
04/29/2021  
Revised per Village Review  
02/16/2021

7  
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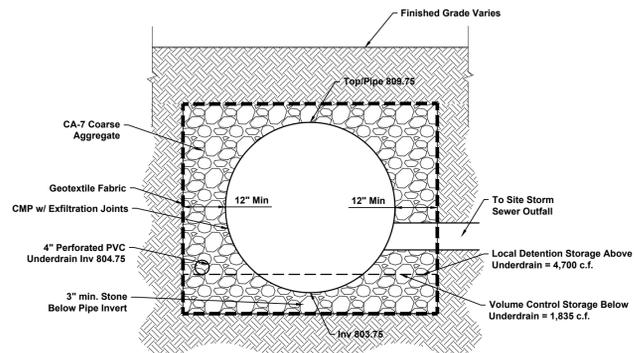
Date  
No.  
Revision



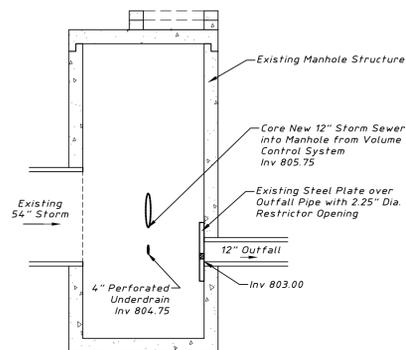
Project Manager: M L A  
 Engineer: M E T  
 Date: 06.11.2020  
 Project No. 20-053  
 Sheet **C8.4** / C8

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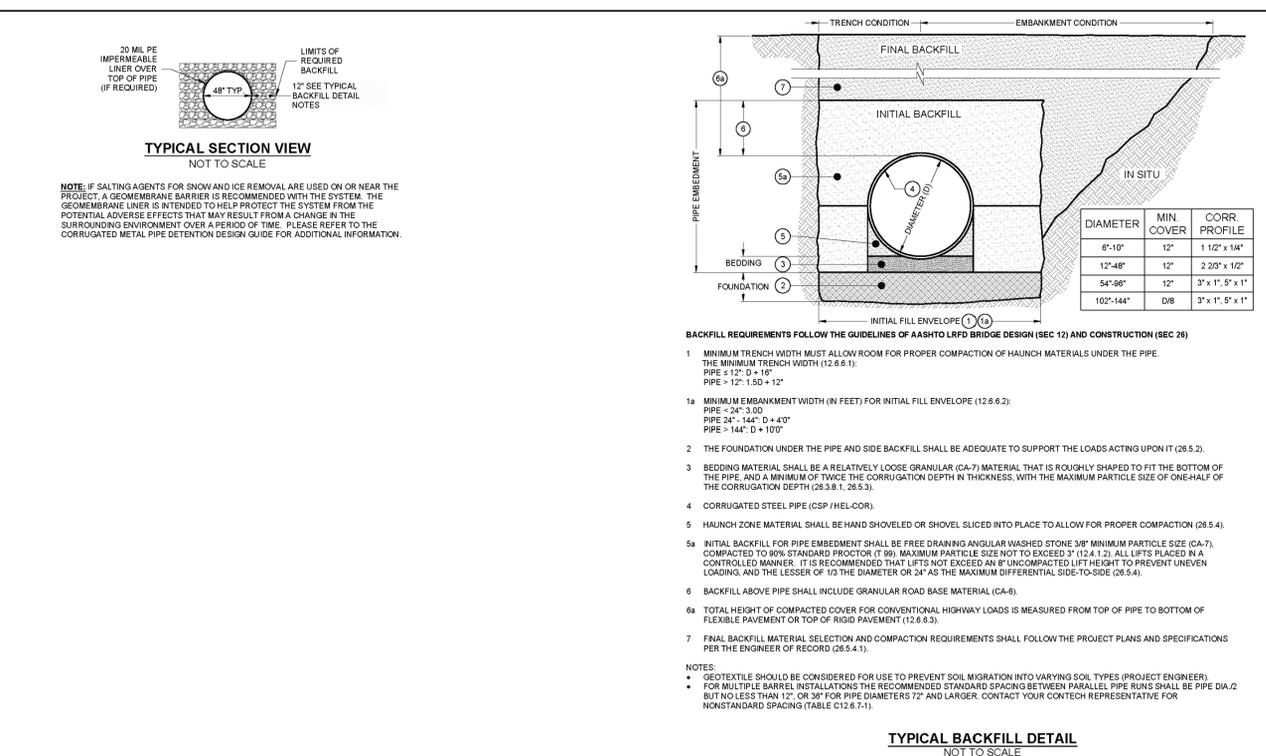
**IDOT DETAILS**  
**BP GAS STATION**  
**2598 W. HIGGINS ROAD**  
 HOFFMAN ESTATES, IL



**72" CMP VOLUME CONTROL & DETENTION CROSS SECTION**  
NOT TO SCALE

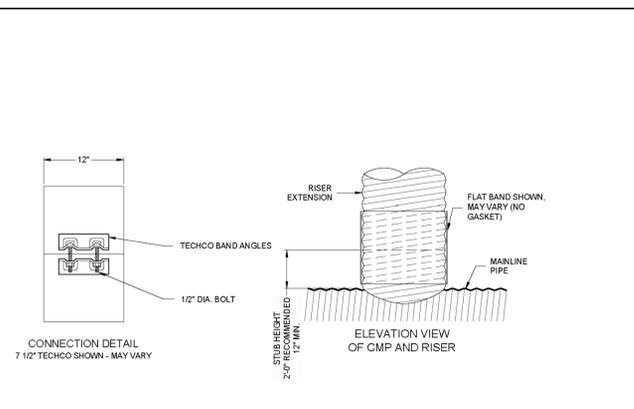


**EXISTING CONTROL STRUCTURE CONNECTION DETAIL**  
NOT TO SCALE

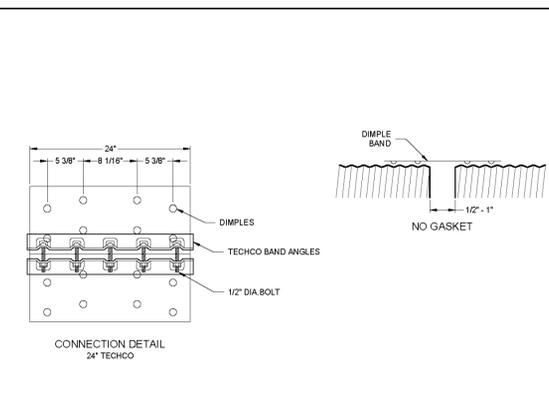


**TYPICAL BACKFILL DETAIL**  
NOT TO SCALE

				<b>48"Ø UNDERGROUND DETENTION SYSTEM - 634835-010</b> <b>BARRINGTON &amp; GOLF RETAIL CENTER</b> <b>HOFFMAN ESTATES, IL</b> <b>SITE DESIGNATION: NORTH DETENTION</b>	PROJECT NO. 634835 DATE 11/26/2019 SHEET P2 OF 4
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**PLAIN END CMP RISER PIPE**  
NOT TO SCALE



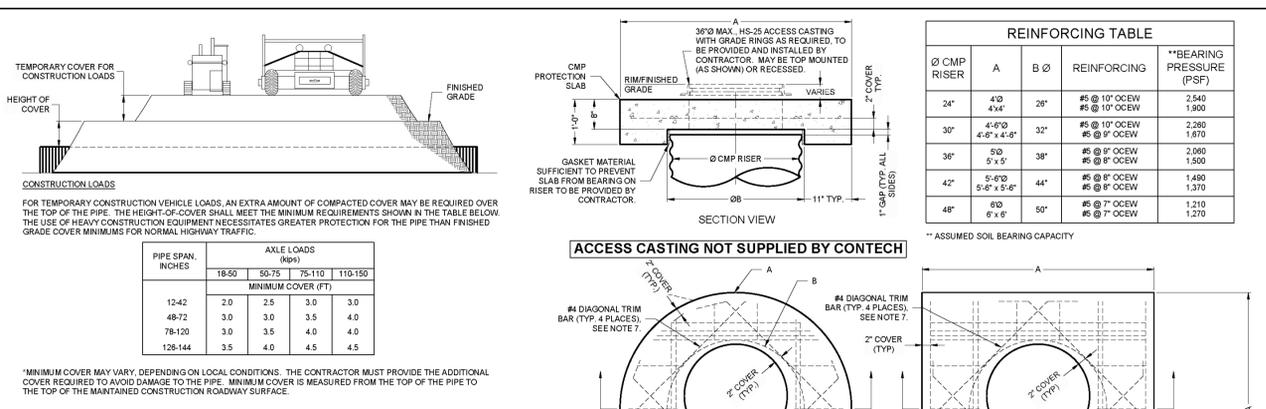
**PLAIN END CMP PIPE**  
NOT TO SCALE

- GENERAL NOTES:**
- DELIVERED BAND STYLE AND FASTENER TYPE MAY VARY BY FABRICATION PLANT.
  - Joint is to be assembled per AASHTO BRIDGE CONSTRUCTION SPECIFICATION SEC 28.4.2.4.
  - BAND MATERIAL AND GAGE TO BE SAME AS RISER MATERIAL.
  - IF RISER HAS A HEIGHT OF COVER OF 10' OR MORE, USE A SIP JOINT.
  - BANDS ARE NORMALLY FURNISHED AS FOLLOWS:
    - 12" THRU 48" 1-PIECE
    - 54" 2-PIECES
  - ALL RISER JOINT COMPONENTS WILL BE FIELD ASSEMBLED.
  - MANHOLE RISERS IN APPLICATIONS WHERE TRAFFIC LOADS ARE IMPOSED REQUIRE SPECIAL DESIGN CONSIDERATIONS.
  - DIMENSIONS SUBJECT TO MANUFACTURING TOLERANCES.

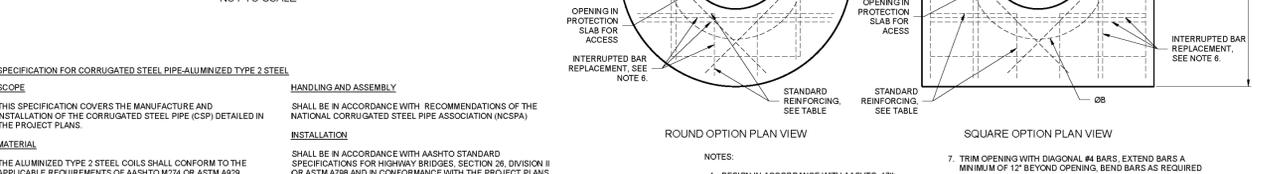
**12" RISER BAND DETAIL**  
NOT TO SCALE

- GENERAL NOTES:**
- JOINT IS TO BE ASSEMBLED PER AASHTO BRIDGE CONSTRUCTION SPECIFICATION SEC 28.4.2.4.
  - BAND MATERIALS AND/OR COATING CAN VARY BY LOCATION. CONTACT YOUR CONTECH REPRESENTATIVE FOR AVAILABILITY.
  - BANDS ARE SHAPED TO MATCH THE PIPE-ARCH WHEN APPLICABLE.
  - BANDS ARE NORMALLY FURNISHED AS FOLLOWS:
    - 12" THRU 48" 1-PIECE
    - 54" THRU 96" 2-PIECES
    - 102" THRU 144" 3-PIECES
  - BAND FASTENERS ARE ATTACHED WITH SPOT WELDS, RIVETS OR HAND WELDS.
  - DIMENSIONS ARE SUBJECT TO MANUFACTURING TOLERANCES.
  - ORDER SHALL DESIGNATE GASKET OPTION, IF REQUIRED (SEE DETAILS ABOVE).

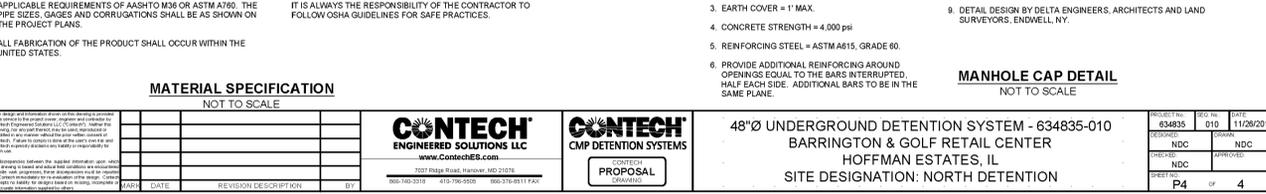
**D-24 DIMPLE BAND EXFILTRATION DETAIL**  
NOT TO SCALE



**CONSTRUCTION LOADING DIAGRAM**  
NOT TO SCALE



**MATERIAL SPECIFICATION**  
NOT TO SCALE



**MANHOLE CAP DETAIL**  
NOT TO SCALE

				<b>48"Ø UNDERGROUND DETENTION SYSTEM - 634835-010</b> <b>BARRINGTON &amp; GOLF RETAIL CENTER</b> <b>HOFFMAN ESTATES, IL</b> <b>SITE DESIGNATION: NORTH DETENTION</b>	PROJECT NO. 634835 DATE 11/26/2019 SHEET P4 OF 4
--	--	--	--	---	--

				<b>48"Ø UNDERGROUND DETENTION SYSTEM - 634835-010</b> <b>BARRINGTON &amp; GOLF RETAIL CENTER</b> <b>HOFFMAN ESTATES, IL</b> <b>SITE DESIGNATION: NORTH DETENTION</b>	PROJECT NO. 634835 DATE 11/26/2019 SHEET P3 OF 4
--	--	--	--	---	--

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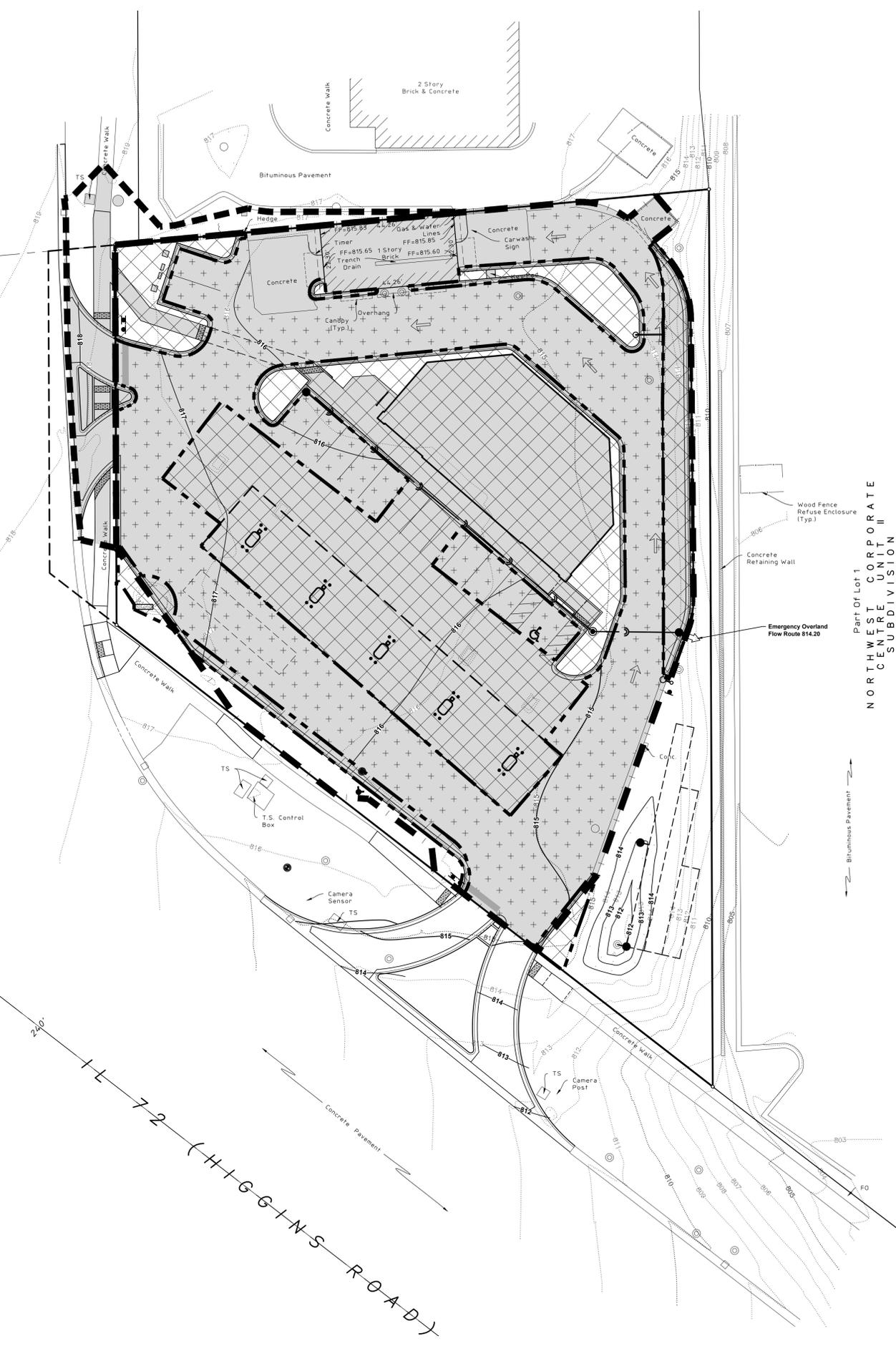
**DETENTION - VOLUME CONTROL CONTROL SYSTEM**

**BP GAS STATION**  
**2598 W. HIGGINS ROAD**  
HOFFMAN ESTATES, IL

Project Manager: M L A  
Engineer: M E T  
Date: 06.11.2020  
Project No. 20-053  
Sheet **C8.5** / C8



BARRINGTON ROAD



- Total Contiguous Ownership
- Onsite Tributary Area
- Offsite Tributary Area
- Development Area
- Impervious Area
- Pervious Area
- Maintenance Area

**Development Area Summary:**

Total Contiguous Ownership =	0.942 Ac.
Development Area =	0.391 Ac.
Existing Impervious Area within Development Area =	0.357 Ac.
Proposed Impervious Area within Development Area =	0.333 Ac.

**Drainage Area Summary**

	Impervious Area (SF)	Pervious Area (SF)	Total Area (SF)	C <sub>T</sub>
On-Site Tributary Area	32,015	2,845	34,860	0.86
Offsite Tributary Area	1,285	1,115	2,400	0.69
Total Area to Overflow	33,300	3,960	37,260	0.85

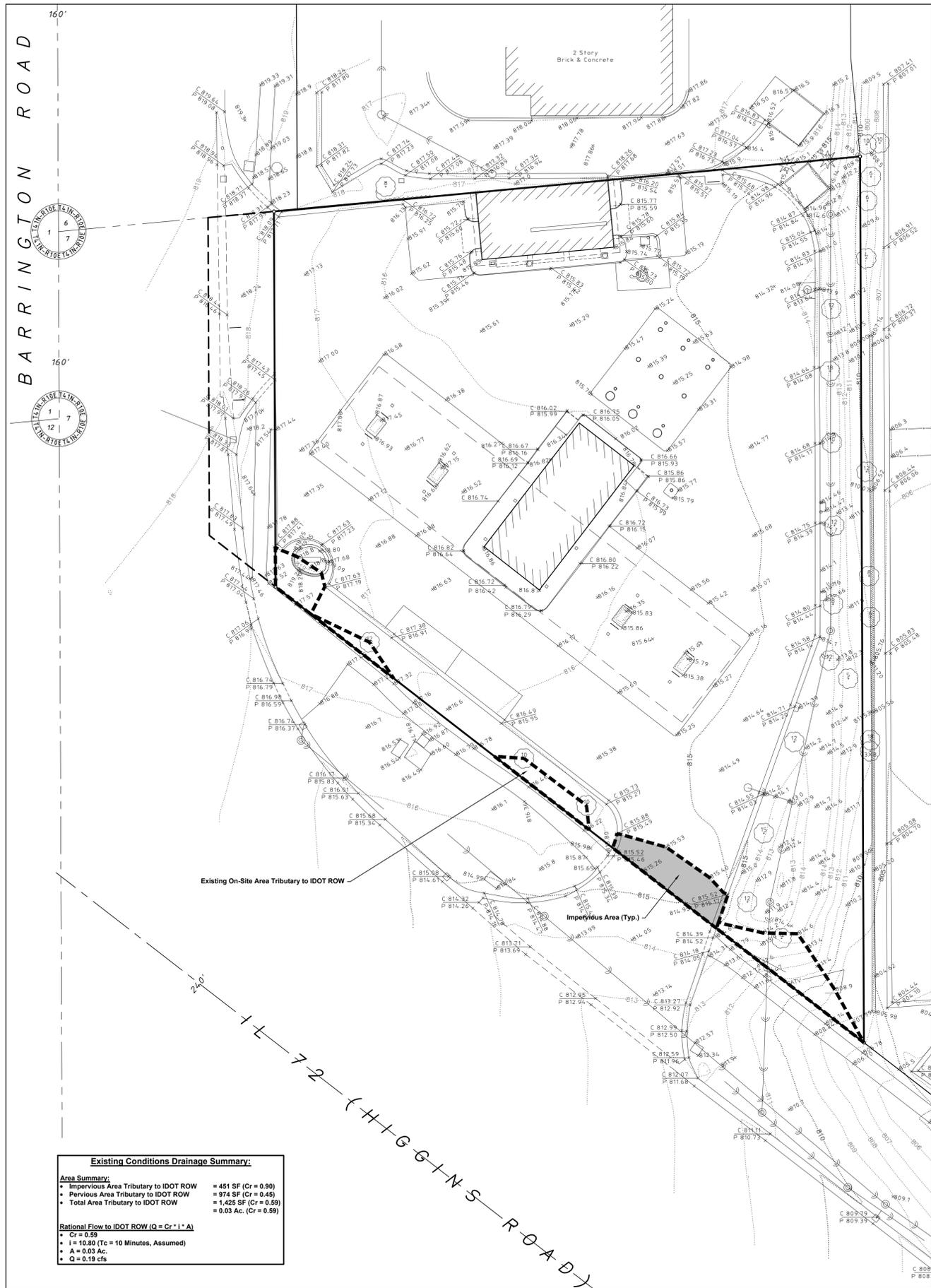
Revision	Date	No.
7	06/24/2021	
6	05/10/2021	
5	04/09/2021	
4	02/16/2021	
3	10/14/2020	
2	09/18/2020	
1		

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**MWRD DRAINAGE EXHIBIT**  
**BP GAS STATION**  
**2598 W. HIGGINS ROAD**  
 HOFFMAN ESTATES, IL

Project Manager: M L A  
 Engineer: M E T  
 Date: 06.11.2020  
 Project No. 20-053  
 Sheet 1

**Existing Conditions**



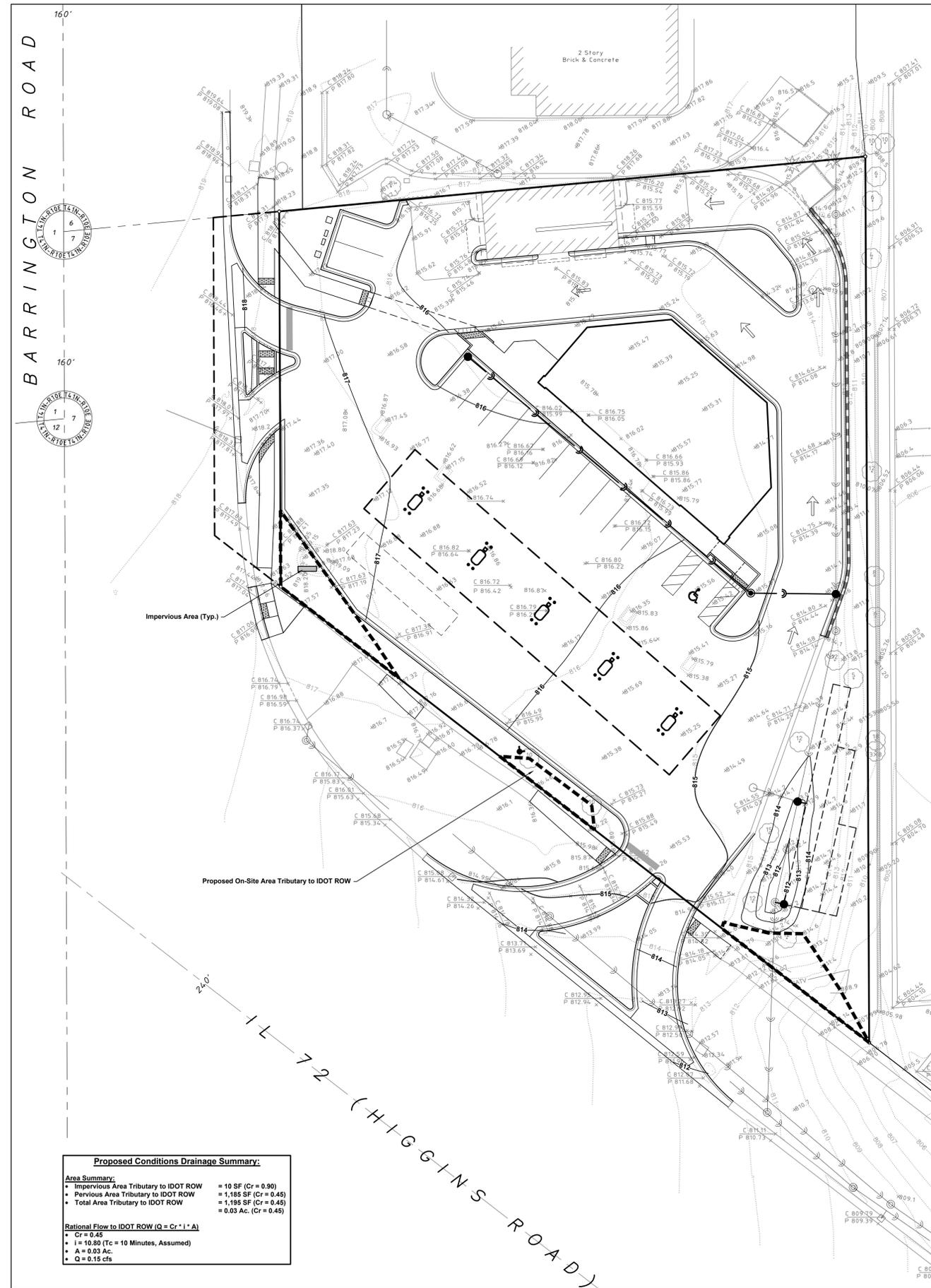
**Existing Conditions Drainage Summary:**

Area Summary:	
• Impervious Area Tributary to IDOT ROW	= 451 SF (Cr = 0.90)
• Pervious Area Tributary to IDOT ROW	= 974 SF (Cr = 0.45)
• Total Area Tributary to IDOT ROW	= 1,425 SF (Cr = 0.59)
	= 0.03 Ac. (Cr = 0.59)

Rational Flow to IDOT ROW (Q = Cr * I * A)	
• Cr = 0.59	
• I = 10.80 (Tc = 10 Minutes, Assumed)	
• A = 0.03 Ac.	
• Q = 0.19 cfs	

**Proposed Conditions**

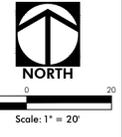


**Proposed Conditions Drainage Summary:**

Area Summary:	
• Impervious Area Tributary to IDOT ROW	= 10 SF (Cr = 0.90)
• Pervious Area Tributary to IDOT ROW	= 1,185 SF (Cr = 0.45)
• Total Area Tributary to IDOT ROW	= 1,195 SF (Cr = 0.45)
	= 0.03 Ac. (Cr = 0.45)

Rational Flow to IDOT ROW (Q = Cr * I * A)	
• Cr = 0.45	
• I = 10.80 (Tc = 10 Minutes, Assumed)	
• A = 0.03 Ac.	
• Q = 0.15 cfs	



Revised per Village Review  
Revised per IDOT Review

06/24/2021  
05/10/2021

7  
6

Date  
No.

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**IDOT**  
**DRAINAGE EXHIBIT**  
**BP GAS STATION**  
**2598 W. HIGGINS ROAD**  
HOFFMAN ESTATES, IL

Project Manager: M L A  
Engineer: M E T  
Date: 06.11.2020  
Project No. 20-053  
Sheet 1

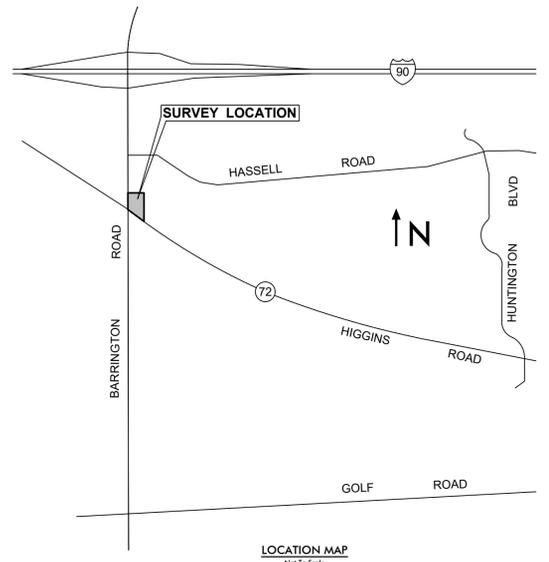
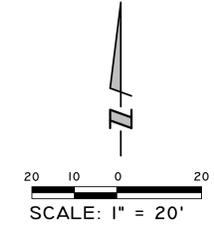
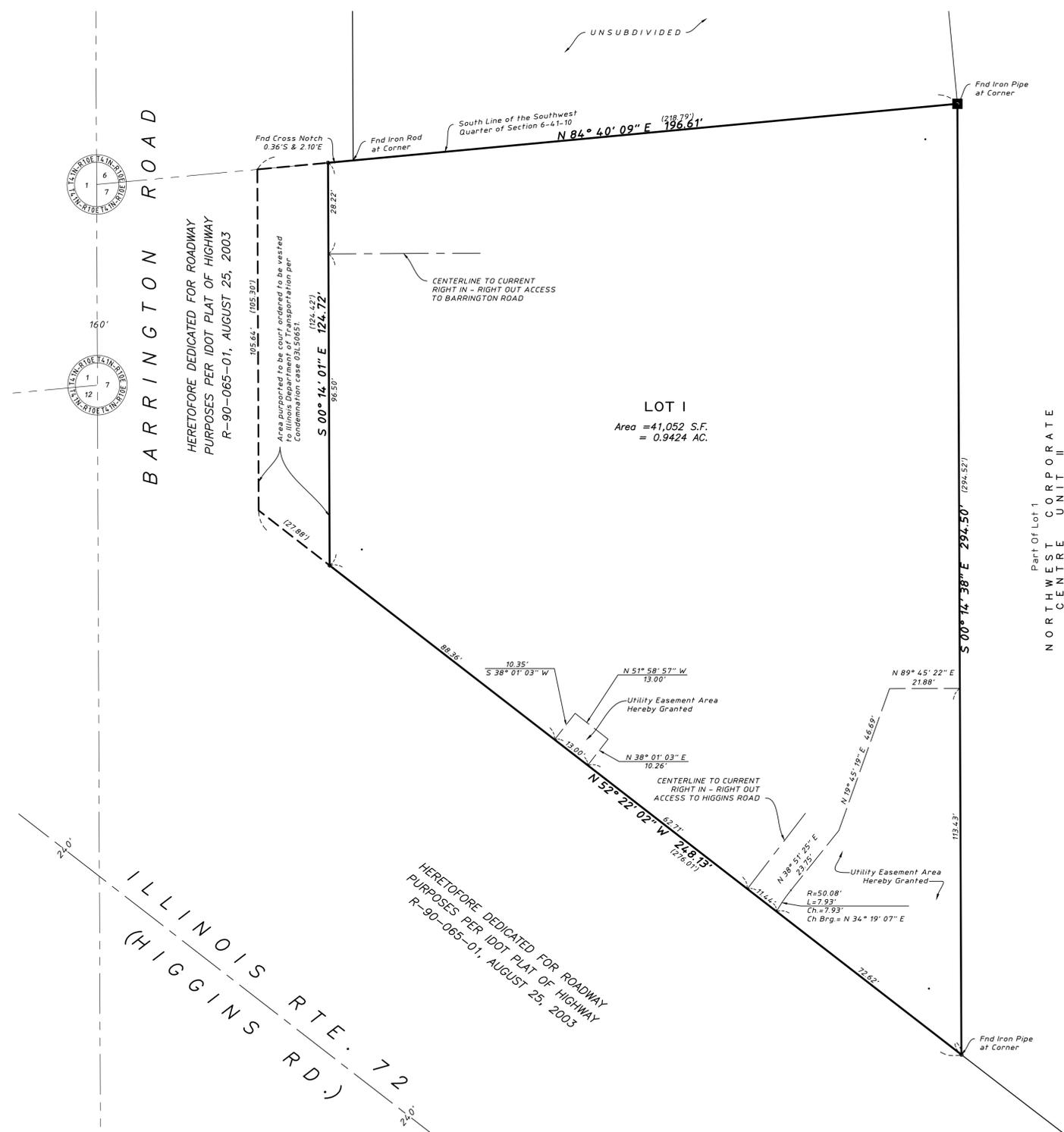
MAIL PLAT TO:

HAEGER ENGINEERING LLC  
CONSULTING ENGINEERS AND LAND SURVEYORS  
100 EAST STATE PARKWAY  
SCHAUMBURG, IL 60173

VILLAGE OF HOFFMAN ESTATES  
1900 HASSELL ROAD  
HOFFMAN ESTATES, IL 60109

# FINAL PLAT OF HIGGINS BP SUBDIVISION

BEING A SUBDIVISION IN THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 41  
NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY,  
ILLINOIS.



Part of Lot 1  
NORTHWEST CORPORATE  
CENTRE UNIT II  
SUBDIVISION  
Rec. June 6, 1986 As Doc. No. 86228827

LEGEND

- LOT I
- Concrete Monument Set
- Property Corner
- Subdivision Boundary Line
- - - Road Center Line
- - - Easement Line
- ( ) Record

SURVEYOR'S NOTES:

1. THE BASIS OF BEARING SHOWN HEREON IS BASED ON NAD 83(2011) ILLINOIS EAST ZONE 1201 STATE PLANE COORDINATES AS REFERENCED FROM KARA COMPANY'S RTK NETWORK.
2. THE FIELD WORK WAS COMPLETED ON MARCH 18, 2019.

ACCESS NOTES:

- 1.) TBD BY ILLINOIS DEPARTMENT OF TRANSPORTATION

Revised: 07/13/2021  
Revised: 06/24/2021  
Originally Prepared: 07/14/2020 Project No. 20-053



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Tel: 847.394.6600 Fax: 847.394.6608  
Illinois Professional Design Firm License No. 184-003152  
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No.	Date	Revision
1	04-29-2021	Revised Per Village Review

# FINAL PLAT OF HIGGINS BP SUBDIVISION

### OWNER'S CERTIFICATE

STATE OF ILLINOIS )  
 ) SS  
COUNTY OF \_\_\_\_\_ )

THIS IS TO CERTIFY THAT STONE HOFFMAN LLC IS THE OWNER OF THE LAND SHOWN AND DESCRIBED HEREON AND HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREON, FOR THE USES AND PURPOSES HEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE HEREON INDICATED.

FURTHER CERTIFIES TO THE BEST OF ITS KNOWLEDGE, THE PROPERTY DESCRIBED HEREON LIES WITHIN COMMUNITY CONSOLIDATED SCHOOL DISTRICT 54 FOR ELEMENTARY EDUCATION AND SCHOOL DISTRICT 214 FOR HIGH SCHOOL.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, AD, 20\_\_

BY: \_\_\_\_\_ (TITLE)

ATTEST: \_\_\_\_\_ (TITLE)

### NOTARY CERTIFICATE

STATE OF ILLINOIS )  
 ) SS  
COUNTY OF \_\_\_\_\_ )

I, \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT \_\_\_\_\_ AND \_\_\_\_\_ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAME ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED THE PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH, GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

NOTARY PUBLIC

MY COMMISSION EXPIRES: \_\_\_\_\_

### MORTGAGEE'S CERTIFICATE

STATE OF \_\_\_\_\_ )  
 ) SS  
COUNTY OF \_\_\_\_\_ )

\_\_\_\_\_, AS MORTGAGEE UNDER THE PROVISIONS OF A CERTAIN MORTGAGE DATED \_\_\_\_\_, A.D. 20\_\_, AND RECORDED IN THE RECORDER'S OFFICE OF \_\_\_\_\_ COUNTY, ILLINOIS ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_, AS DOCUMENT NO. \_\_\_\_\_, HEREBY CONSENTS TO AND APPROVES THE SUBDIVISION OF LAND AND THE GRANTING OF THE EASEMENT(S) DEPICTED HEREON.

BY: \_\_\_\_\_ ATTEST: \_\_\_\_\_

ITS: \_\_\_\_\_ ITS: \_\_\_\_\_

### NOTARY CERTIFICATE

STATE OF \_\_\_\_\_ )  
 ) SS  
COUNTY OF \_\_\_\_\_ )

THE UNDERSIGNED, A NOTARY PUBLIC IN THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT \_\_\_\_\_ OF \_\_\_\_\_ AND \_\_\_\_\_ OF \_\_\_\_\_ WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, AS SUCH \_\_\_\_\_ AND \_\_\_\_\_, RESPECTIVELY, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT AND DEED OF SAID \_\_\_\_\_, AS MORTGAGEE, FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_

NOTARY PUBLIC  
MY COMMISSION EXPIRES \_\_\_\_\_

### SEND SUBSEQUENT TAX BILLS TO:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

### VILLAGE BOARD OF TRUSTEES CERTIFICATE

STATE OF ILLINOIS )  
 ) SS  
COUNTY OF COOK )

APPROVED BY THE BOARD OF TRUSTEES OF THE VILLAGE OF HOFFMAN ESTATES, COOK AND KANE COUNTIES, ILLINOIS.

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_.

BY: \_\_\_\_\_  
PRESIDENT

ATTEST: \_\_\_\_\_  
VILLAGE CLERK

### SURFACE WATER DRAINAGE CERTIFICATE

STATE OF ILLINOIS )  
 ) SS  
COUNTY OF COOK )

WE HEREBY CERTIFY TO THE BEST OF OUR KNOWLEDGE AND BELIEF THAT ADEQUATE PROVISIONS HAVE BEEN MADE FOR THE DIVERSION AND DETENTION OF SURFACE WATERS INTO PUBLIC AREAS OR DRAINS WITHIN THE RIGHTS OF THE SUBDIVIDER AND THAT SUCH SURFACE WATERS WILL NOT BE DEPOSITED ON ADJACENT LAND OWNERS' PROPERTY IN SUCH CONCENTRATION AS MAY CAUSE DAMAGE BY EROSION OR SEDIMENTATION TO SUCH PROPERTY BECAUSE OF CONSTRUCTION OF THE SUBDIVISION.

BY: \_\_\_\_\_ DATED \_\_\_\_\_  
OWNER

BY: \_\_\_\_\_ DATED \_\_\_\_\_  
ILLINOIS PROFESSIONAL ENGINEER

### ILLINOIS DEPARTMENT OF TRANSPORTATION

THIS PLAT HAS BEEN APPROVED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS PURSUANT TO PARAGRAPH 2 OF "AN ACT TO REVISE THE LAW IN RELATION TO PLATS," AS AMENDED, A PLAN THAT MEETS THE REQUIREMENTS CONTAINED IN THE DEPARTMENT'S "POLICY ON PERMITS FOR ACCESS DRIVEWAYS TO STATE HIGHWAYS" WILL BE REQUIRED BY THE DEPARTMENT.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
ANTHONY J. QUIGLEY, P.E.  
REGION ONE ENGINEER

### VILLAGE TREASURER CERTIFICATE

STATE OF ILLINOIS )  
 ) SS  
COUNTY OF COOK )

I, \_\_\_\_\_, COLLECTOR FOR THE VILLAGE OF HOFFMAN ESTATES, DO HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF, THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THIS PLAT.

DATED AT HOFFMAN ESTATES, COOK AND KANE COUNTIES, ILLINOIS.

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_.

\_\_\_\_\_  
VILLAGE TREASURER

### PLANNING AND ZONING COMMISSION

STATE OF ILLINOIS )  
 ) SS  
COUNTY OF COOK )

APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE VILLAGE OF HOFFMAN ESTATES, COOK AND KANE COUNTIES, ILLINOIS.

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_.

BY: \_\_\_\_\_  
CHAIRPERSON

ATTEST: \_\_\_\_\_  
SECRETARY

### UTILITY EASEMENT

AN EASEMENT IS HEREBY RESERVED BY AND GRANTED TO THE VILLAGE OF HOFFMAN ESTATES AND TO UTILITY SERVICE PROVIDERS AND THEIR SUCCESSORS THAT HOLD A LICENSE OR FRANCHISE UPON THE DATE OF THIS DOCUMENT WITHIN THE VILLAGE OF HOFFMAN ESTATES, COOK AND KANE COUNTIES, ILLINOIS, WITHIN THE AREA SHOWN BY DASHED LINES AND WITHIN THE AREA DEFINED "EASEMENTS FOR PUBLIC UTILITIES" ON THIS PLAT, TO INSTALL, LAY, CONSTRUCT, RENEW, OPERATE AND MAINTAIN CONDUITS, CABLES AND WIRES, STORM AND SANITARY SEWER AND WATER MAINS AND DRAINAGE SWALES, ABOVE AND UNDERGROUND, WITH ALL NECESSARY MANHOLES, WATER VALVES AND OTHER EQUIPMENT FOR THE PURPOSE OF SERVING THE SUBDIVISION AND OTHER PROPERTY WITH TELEPHONE, ELECTRIC, TELEVISION, SEWER AND WATER SERVICE, AND DRAINAGE PURPOSES, THE RIGHT TO ENTER UPON THE LOTS AT ALL TIMES TO INSTALL, LAY, CONSTRUCT, RENEW, OPERATE AND MAINTAIN WITHIN SAID EASEMENT AREA SAID CONDUITS, CABLES, WIRES, MANHOLES, WATER VALVES AND OTHER EQUIPMENT, AND FOR THE INSTALLATION, MAINTENANCE, RELOCATION, RENEWAL AND REMOVAL OF GAS MAINS AND APPURTENANCES, AND FINALLY THE RIGHT IS HEREBY GRANTED TO CUT DOWN AND REMOVE AND TRIM AND KEEP TRIMMED, TREES, SHRUBS, OR SAPLINGS THAT INTERFERE OR THREATEN TO INTERFERE WITH ANY OF THE SAID PUBLIC UTILITY EQUIPMENT. OPERATION AND MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES WILL BE PERFORMED BY THE VILLAGE ONLY IN THE EVENT OF OWNER DEFAULT IN THE OWNER'S MAINTENANCE OBLIGATIONS, AND WILL BE DONE AT THE OWNER'S EXPENSE IN ACCORDANCE WITH THE ACCOMPANYING EASEMENT AGREEMENT. NO PERMANENT BUILDINGS OR CONCRETE PATIOS SHALL BE PLACED ON SAID EASEMENT, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS HEREIN GRANTED. HOWEVER, IF FENCES ARE TO BE ERRECTED BY ANY OWNER OR OWNERS IN THIS SUBDIVISION WITHIN SAID EASEMENT, THESE MUST BE PLACED IN A LOCATION ACCEPTABLE TO THE VILLAGE OF HOFFMAN ESTATES AND PRIOR TO ERRECTING SUCH A FENCE, A PERMIT FOR SUCH A FENCE INSTALLATION MUST BE OBTAINED FROM SAID VILLAGE.

### SURVEYOR'S DESIGNATION OF RECORDING

I, JEFFREY W. GLUNT, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, IN THE STATE OF ILLINOIS, HEREBY DESIGNATE THE VILLAGE CLERK OF HOFFMAN ESTATES TO RECORD A CERTAIN PLAT OF SUBDIVISION KNOWN AS "HIGGINS BP SUBDIVISION" WITH THE COOK COUNTY RECORDER OF DEEDS OR REGISTRAR OF TITLES. THIS DESIGNATION IS GRANTED UNDER THE RIGHT TO DESIGNATE SUCH RECORDING UNDER 765 ILCS 205/2.

SCHAUMBURG, ILLINOIS \_\_\_\_\_

BY: \_\_\_\_\_  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3695

STATE OF ILLINOIS )  
 ) SS  
COUNTY OF COOK )

I, JEFFREY W. GLUNT, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

THAT PART OF THE NORTHWEST FRACTIONAL QUARTER OF SECTION 7, TOWNSHIP 41 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE NORTH LINE OF SAID NORTHWEST FRACTIONAL QUARTER WITH A LINE 50 FEET EAST OF AND PARALLEL WITH AND MEASURED AT RIGHT ANGLES TO THE WEST LINE OF SAID NORTHWEST FRACTIONAL QUARTER; THENCE SOUTH ALONG SAID PARALLEL LINE 105.30 FEET TO THE NORTHERLY LINE OF THE RIGHT-OF-WAY OF STATE ROUTE NO. 72, AS NOW DEDICATED; THENCE SOUTHEASTERLY ALONG SAID RIGHT-OF-WAY LINE 278.01 FEET TO A POINT; THENCE NORTH PARALLEL WITH THE WEST LINE OF SAID NORTHWEST FRACTIONAL QUARTER 294.52 FEET TO THE NORTH LINE OF SAID NORTHWEST FRACTIONAL QUARTER; THENCE WESTERLY ALONG THE NORTH LINE OF SAID NORTHWEST FRACTIONAL QUARTER 218.79 FEET TO THE POINT OF BEGINNING. (EXCEPT THAT PART TAKEN THEREOF FOR HIGGINS ROAD), IN COOK COUNTY, ILLINOIS.

DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF AND ARE CORRECTED TO A TEMPERATURE OF 68 DEGREES FAHRENHEIT.

I DO HEREBY FURTHER CERTIFY THAT ALL EXTERIOR BOUNDARY CONCRETE MONUMENTS AND LOT CORNERS AND POINTS OF CHANGE IN ALIGNMENT ALONG THE EXTERIOR BOUNDARY, AS SHOWN, HAVE BEEN SET AND UPON COMPLETION OF CONSTRUCTION, IRON PIPES AT ALL INTERIOR LOT CORNERS AND POINTS OF CHANGE IN ALIGNMENT WILL BE SET, AS REQUIRED BY THE PLAT ACT (765 ILCS 205/0.01 ET SEQ.). THIS IS TO FURTHER CERTIFY THAT THE LAND INCLUDED IN THE ANNEXED PLAT IS WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF HOFFMAN ESTATES, COOK COUNTY, ILLINOIS, WHICH HAS AN OFFICIAL COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY THE STATE OF ILLINOIS ACCORDING TO 65 ILCS 5/11-12.6 AS HERETOFORE AND HEREAFTER AMENDED.

THIS IS TO FURTHER CERTIFY THAT BASED ON INFORMATION PROVIDED ON THE FLOOD INSURANCE RATE MAP COMMUNITY - PANEL NO. 1703100167J DATED AUGUST 19, 2008 PRODUCED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR COOK COUNTY, ILLINOIS, THE PROPERTY SHOWN AND DESCRIBED HEREON IS LOCATED WITHIN ZONE X, WHICH IS DEFINED BY FEMA AS "AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN".

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS OF PRACTICE APPLICABLE TO BOUNDARY SURVEYS.

SCHAUMBURG, ILLINOIS \_\_\_\_\_ JULY 14, 2020

BY: \_\_\_\_\_  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3695



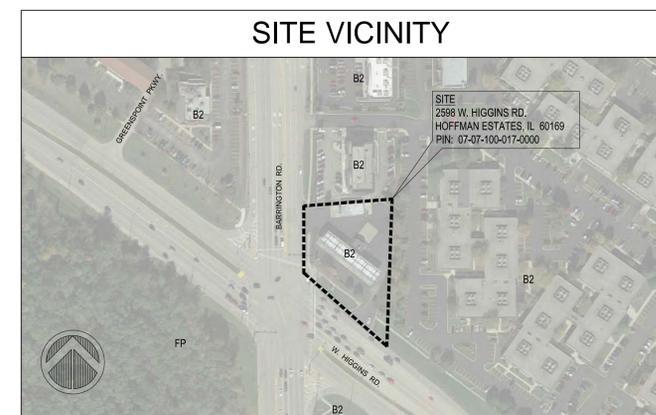
EXPIRES 11-30-20

Revised: 07/13/2021  
Originally Prepared: 07/14/2020 Project No. 20-053



100 East State Parkway, Schaumburg, IL 60173  
Tel: 847.394.6600 Fax: 847.394.6608  
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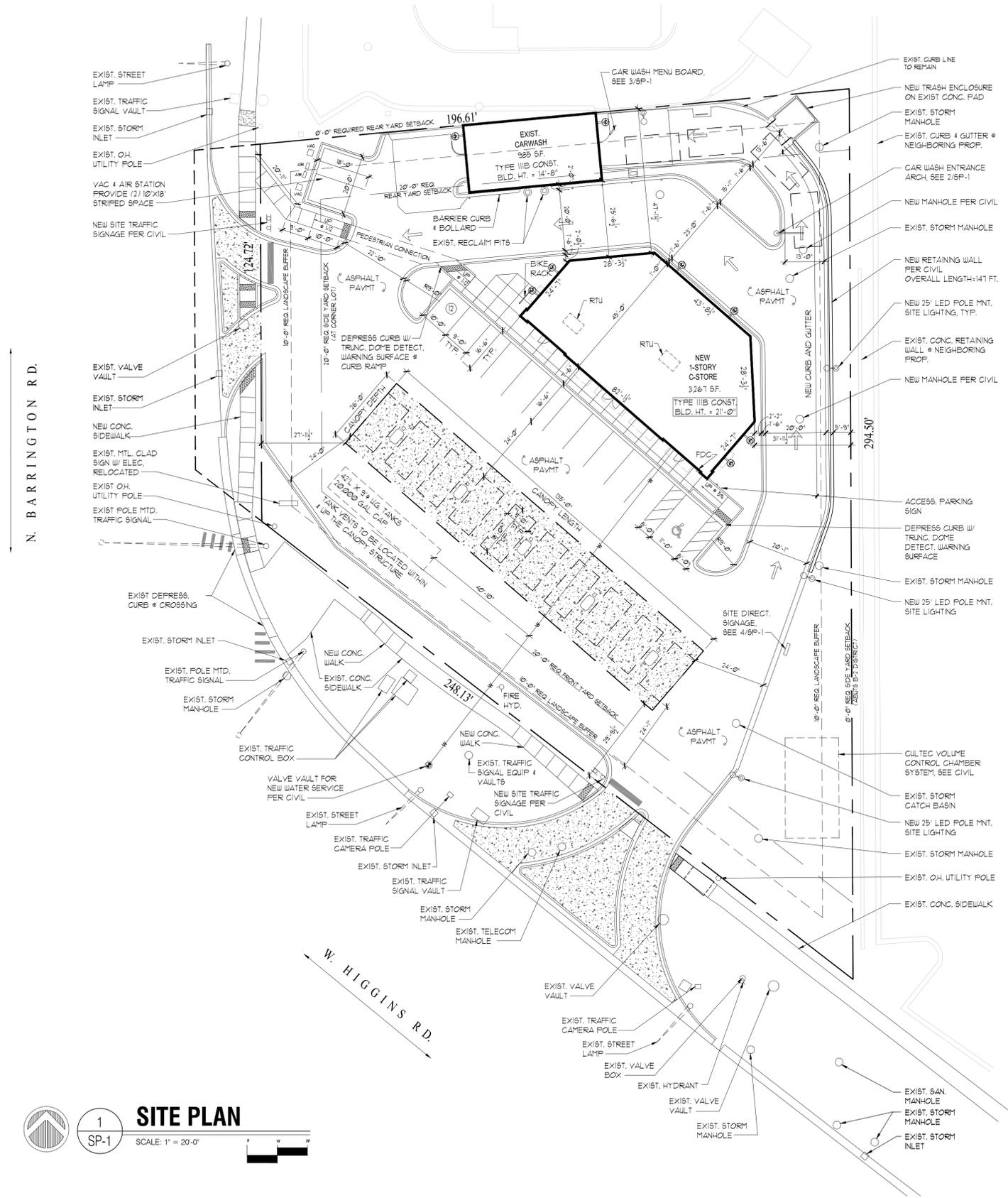
No.	Date	Revision
1	04-29-2021	Revised Per Village Review



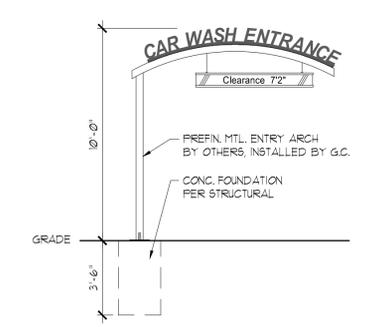
**SITE VICINITY**

**SITE DATA**

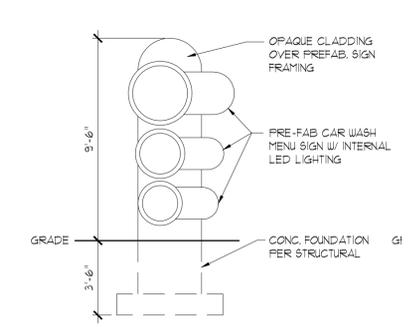
PROPERTY ADDRESS:	2598 W. HIGGINS RD. HOFFMAN ESTATES, IL 60169
ZONING CLASSIFICATION:	B-2, COMMUNITY BUSINESS DISTRICT
PERMITTED USES:	AUTOMOBILE SERVICE STATION - SPECIAL USE REQUIRED
MIN. LOT AREA:	REQUIRED: 10,000 S.F. MIN. ACTUAL: 41,052 S.F. 0.9424 ACRES
FLOOR AREA RATIO:	REQUIRED: 0.45 MAX. PROPOSED: 0.10
BUILDING AREA:	3,267 S.F.
PROPOSED C-STORE:	985 S.F.
EXIST. ACCESSORY CAR WASH:	4,252 S.F.
TOTAL BUILDING AREA:	
BUILDING SETBACKS (REQUIRED/PROPOSED):	FRONT YARD: 20'-0" REQUIRED - 29'-10" PROPOSED REAR YARD: NONE REQUIRED SIDE YARD ABUTTING STREET: 20'-0" REQUIRED - 28'-0" PROPOSED SIDE YARD: NONE REQUIRED
BUILDING HEIGHT:	REQUIRED: 45'-0" MAX. PROPOSED: 21'-0"
OFF-STREET PARKING:	REQUIRED: PER SEC. 9-3-2, THE VILLAGE BOARD SHALL PRESCRIBE THE OFF-STREET PARKING AND OFF-STREET LOADING FACILITIES, IF ANY, DEEMED ADEQUATE AND PROPER IN SUCH CASE, AND SUCH FACILITIES SHALL BE PROVIDED. PROPOSED: 12 PARKING STALLS - INCLUDES (1) ACCESSIBLE STALL



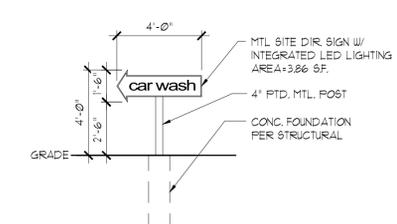
**1 SITE PLAN**  
SCALE: 1" = 20'-0"



**2 CLEARANCE ARCH**  
SCALE: 1/4" = 1'-0"



**3 CAR WASH MENU**  
SCALE: 1/4" = 1'-0"



**4 SITE DIRECTIONAL SIGN**  
SCALE: 1/4" = 1'-0"

REDEVELOPMENT OF EXISTING GAS STATION & C-STORE FACILITY FOR:

**Papa's Express**  
MARKET

2598 W. HIGGINS RD.  
HOFFMAN ESTATES, IL  
60169

DATE: 08/04/2021  
PROJECT #: 20190518

SHEET: **SP-1**

REDEVELOPMENT OF EXISTING GAS STATION & C-STORE FACILITY FOR:

# Papo's Express MARKET

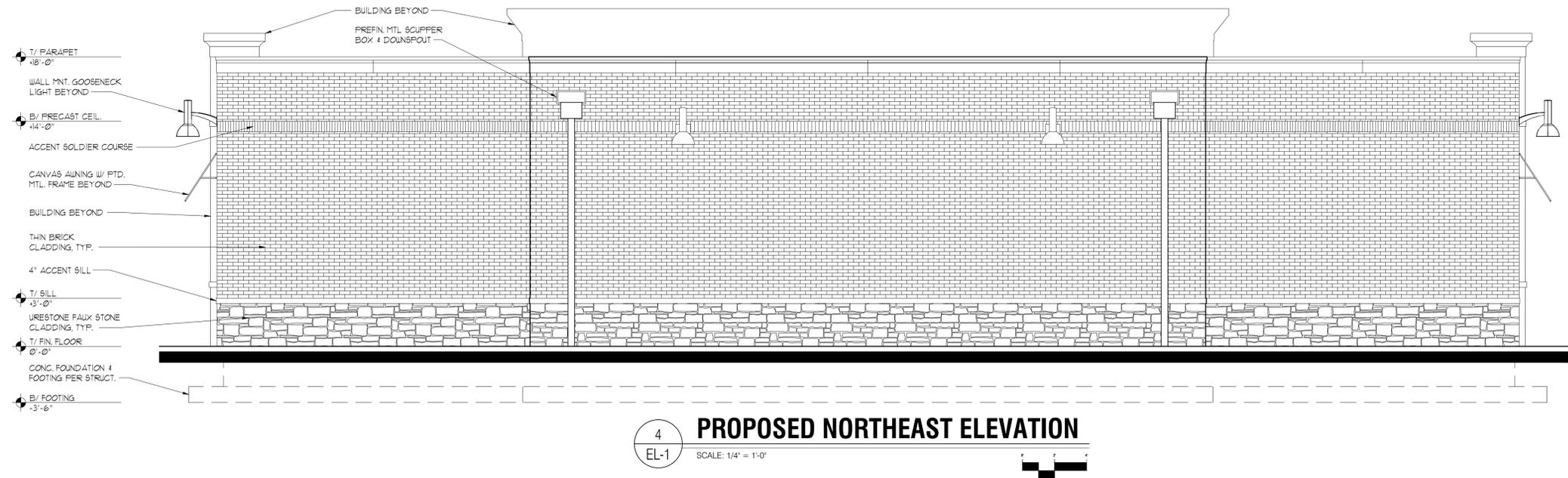
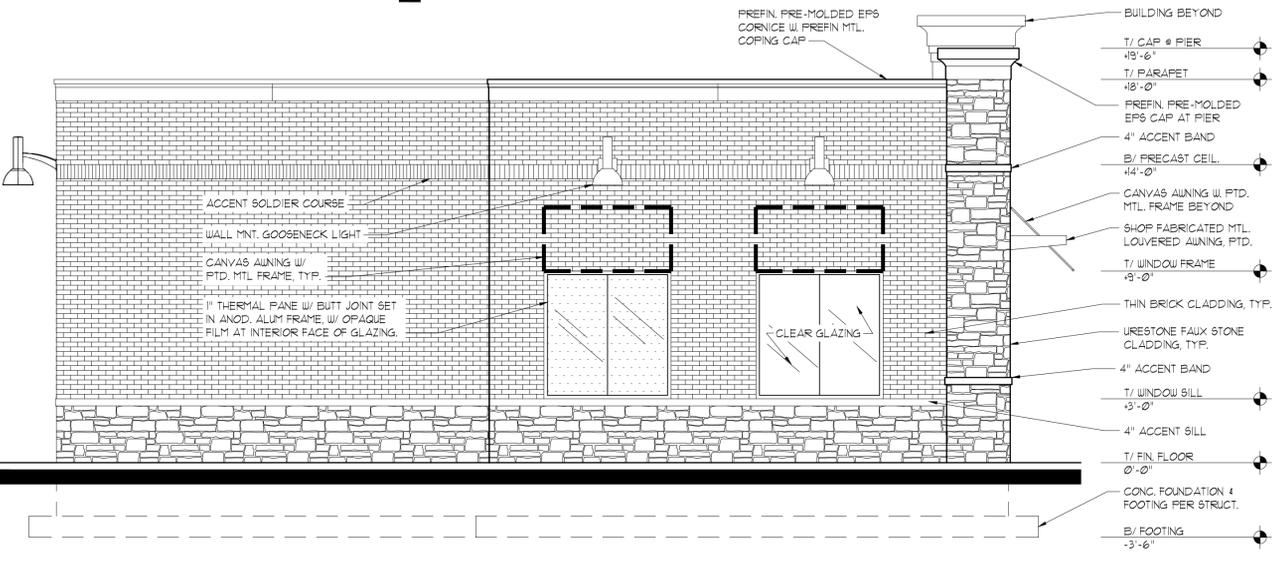
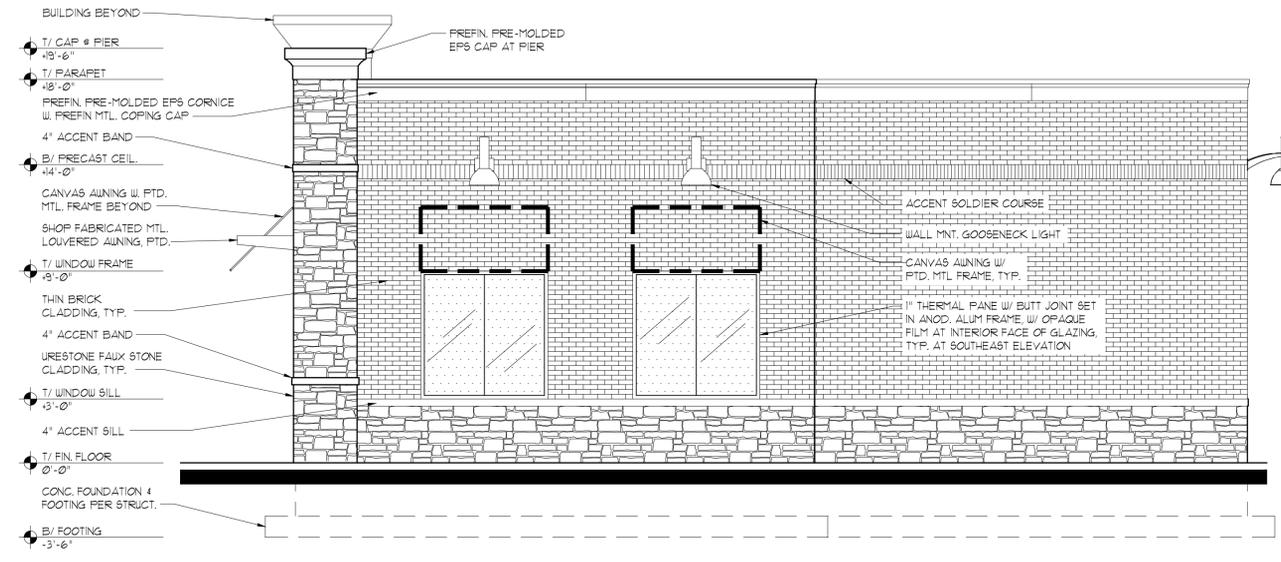
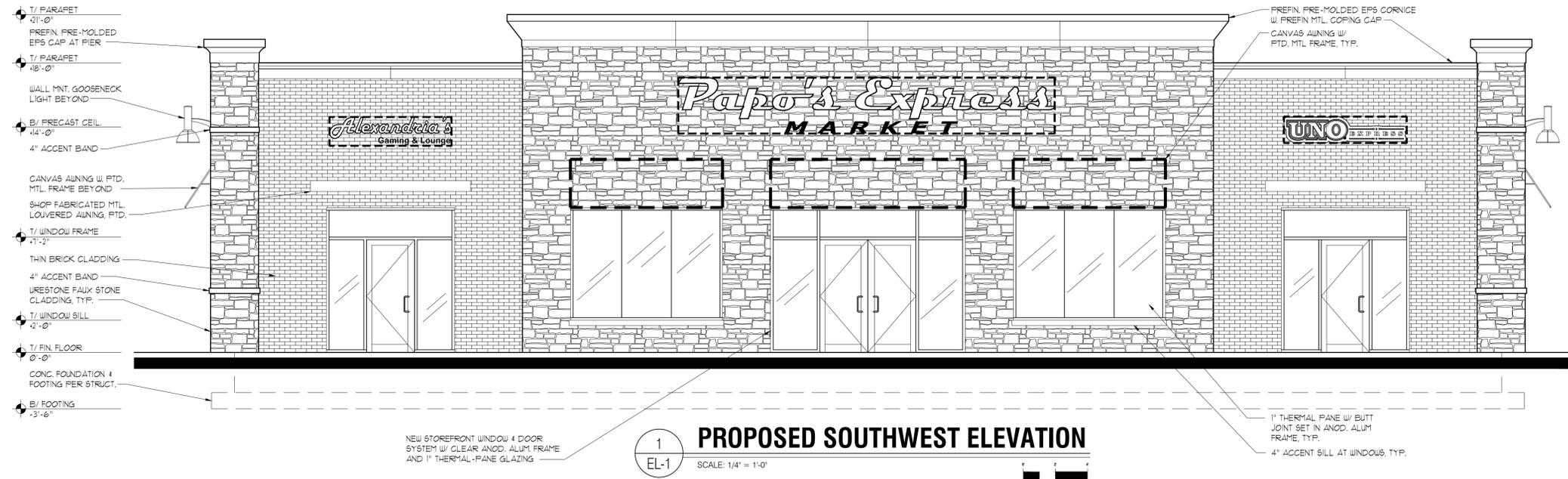
2598 W. HIGGINS RD.  
HOFFMAN ESTATES, IL  
60169

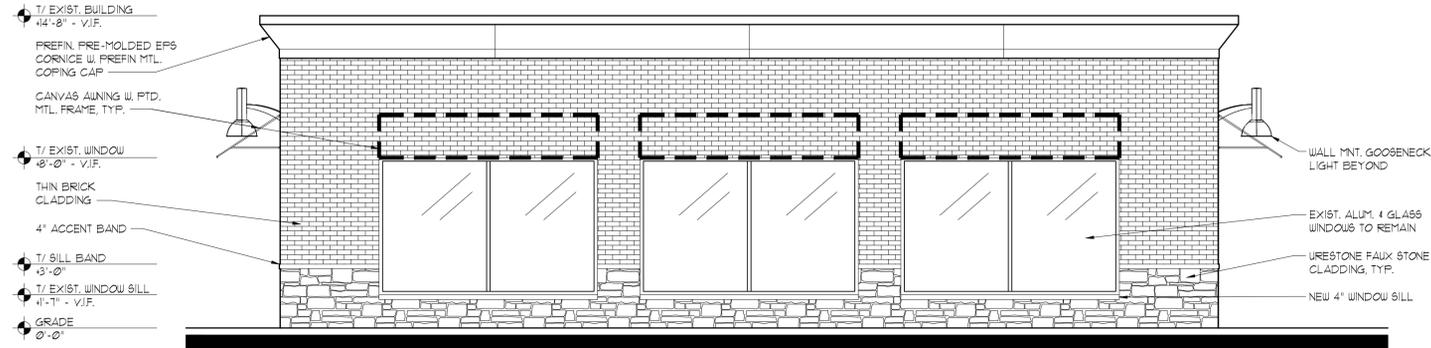
DATE: 08/04/2021

PROJECT #: 20190518

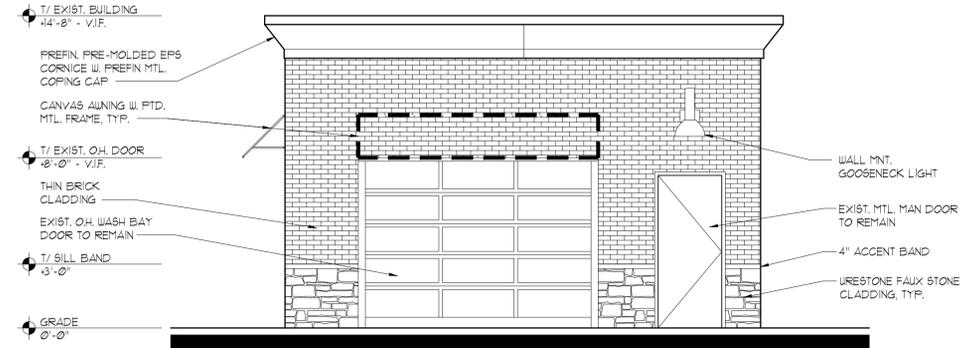
SHEET:

**EL-1**

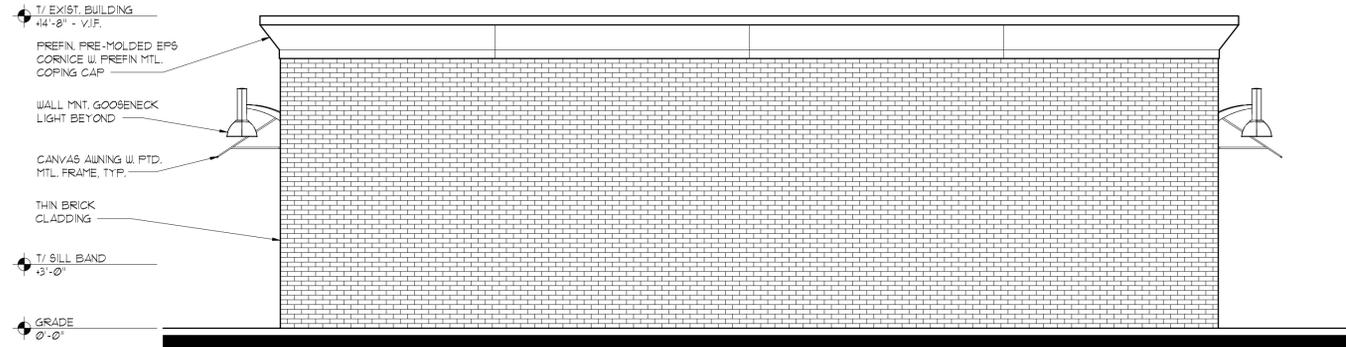




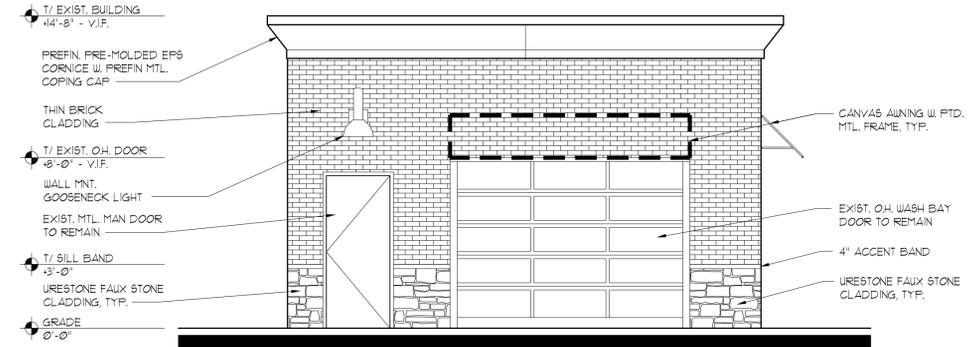
**1 PROPOSED SOUTH ELEVATION**  
EL-2 SCALE: 1/4" = 1'-0"



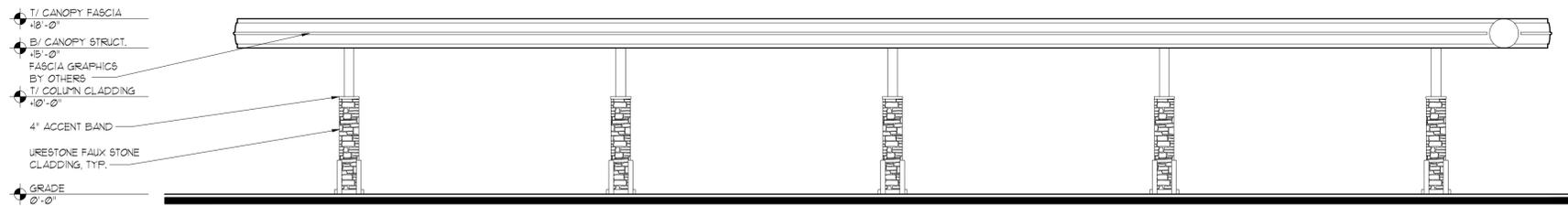
**1 PROPOSED EAST ELEVATION**  
EL-2 SCALE: 1/4" = 1'-0"



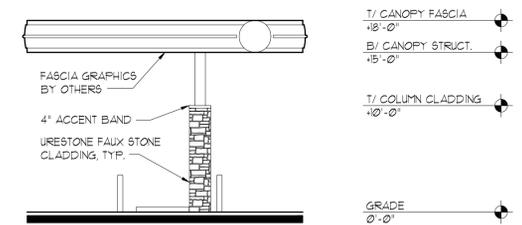
**2 PROPOSED NORTH ELEVATION**  
EL-2 SCALE: 1/4" = 1'-0"



**2 PROPOSED WEST ELEVATION**  
EL-2 SCALE: 1/4" = 1'-0"



**5 CANOPY ELEVATION - NORTH/SOUTH**  
EL-2 SCALE: 1/8" = 1'-0"



**6 CANOPY ELEVATION - EAST/WEST**  
EL-2 SCALE: 1/8" = 1'-0"

REDEVELOPMENT OF EXISTING GAS STATION & C-STORE FACILITY FOR:

**Papa's Express**  
MARKET

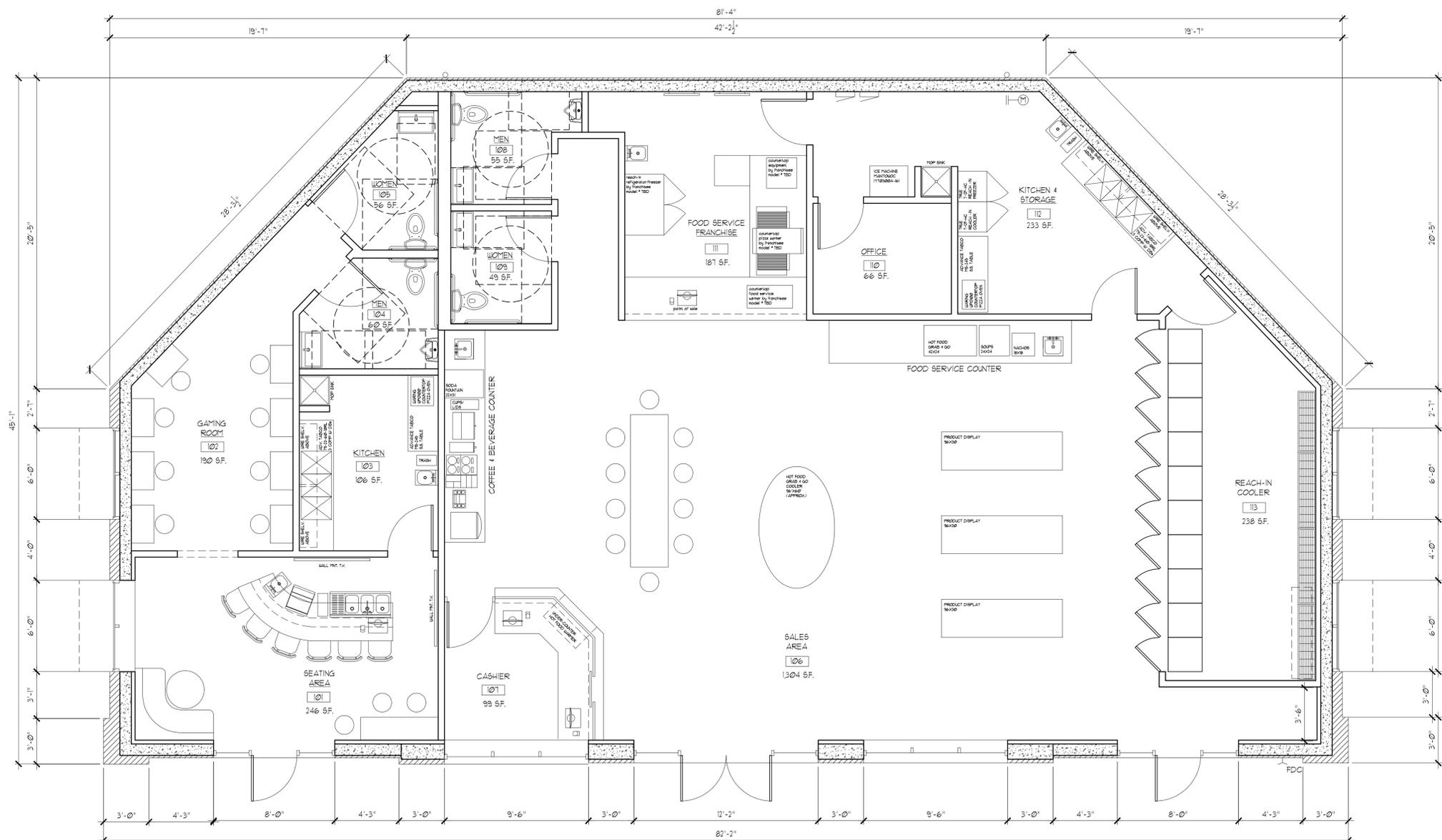
2598 W. HIGGINS RD.  
HOFFMAN ESTATES, IL  
60169

DATE: 08/04/2021

PROJECT #: 20190518

SHEET:

**EL-2**



**1**  
FP-1  
**PROPOSED FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

REDEVELOPMENT OF EXISTING GAS STATION & C-STORE FACILITY FOR:

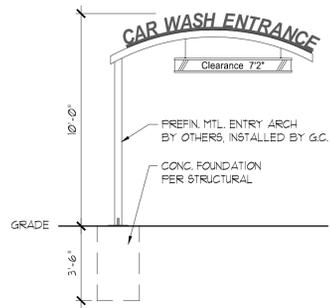
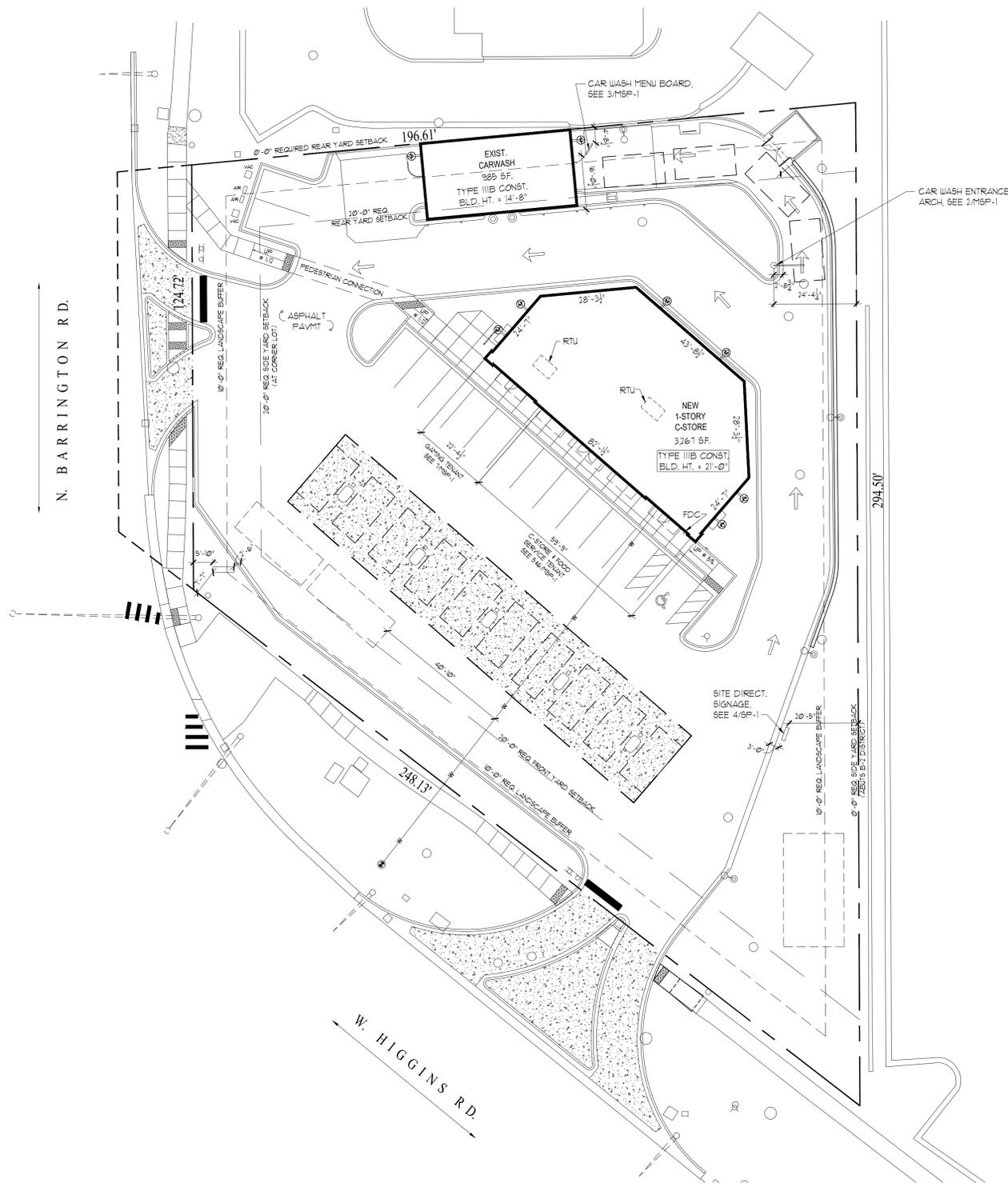
**Papa's Express**  
MARKET

2598 W. HIGGINS RD.  
HOFFMAN ESTATES, IL  
60169

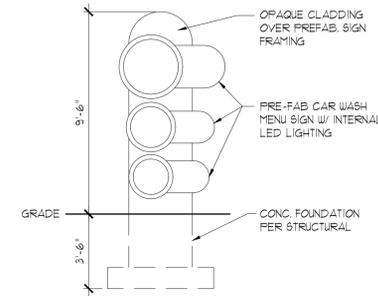
DATE: 08/04/2021

PROJECT #: 20190518

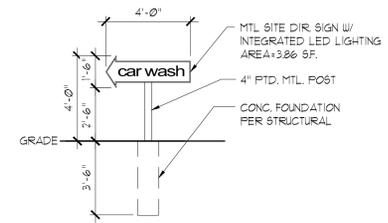
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**FP-1**



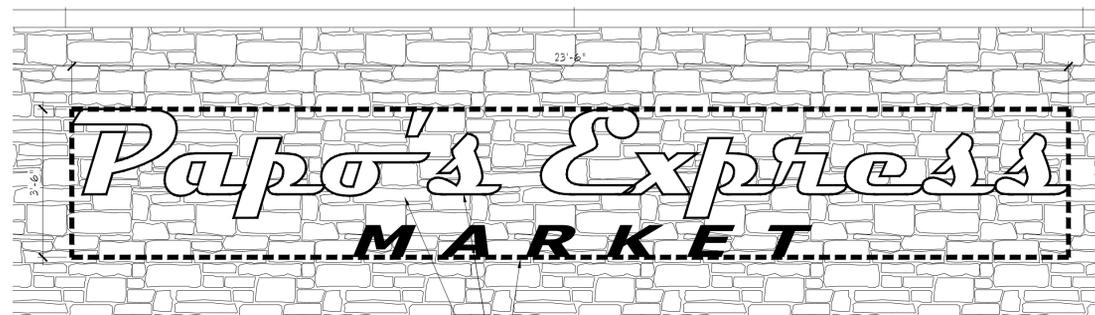
**2 CLEARANCE ARCH**  
MSP-1 SCALE: 1/4" = 1'-0"



**3 CAR WASH MENU**  
MSP-1 SCALE: 1/4" = 1'-0"

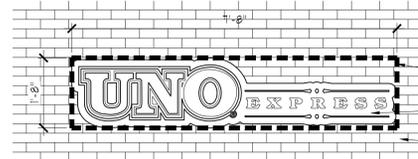


**4 SITE DIRECTIONAL SIGN**  
MSP-1 SCALE: 1/4" = 1'-0"



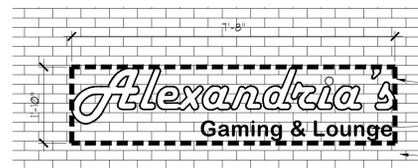
**5 WALL SIGN DETAIL**  
MSP-1 SCALE: 1/2" = 1'-0"

CALCULATED SIGNAGE AREA: 83 S.F.  
RACEWAY MOUNTED CHANNEL LETTERS WITH INTERNAL ILLUMINATION  
FAUX STONE CLADDING AT WALL BEHIND



**6 WALL SIGN DETAIL**  
MSP-1 SCALE: 1/4" = 1'-0"

CALCULATED SIGNAGE AREA: 17 S.F.  
RACEWAY MOUNTED CHANNEL LETTERS WITH INTERNAL ILLUMINATION  
THIN BRICK CLADDING AT WALL BEHIND



**7 WALL SIGN DETAIL**  
MSP-1 SCALE: 1/4" = 1'-0"

CALCULATED SIGNAGE AREA: 14 S.F.  
RACEWAY MOUNTED CHANNEL LETTERS WITH INTERNAL ILLUMINATION  
THIN BRICK CLADDING AT WALL BEHIND

WALL SIGN DATA	
TOTAL BUILDING FRONTAGE:	82.13 L.F.
GAMING TENANT:	22.29 L.F.
C-STORE/FOOD SERVICE TENANT:	59.88 L.F.
ALLOWABLE WALL SIGNAGE (3 S.F. PER 1 L.F. OF BUILDING FRONTAGE):	
GAMING TENANT:	66.87 S.F.
C-STORE/FOOD SERVICE TENANT:	178.64 S.F.
TOTAL AREA ALLOWABLE WALL SIGNAGE:	246.5 S.F.
MAX. AREA OF ANY ONE WALL SIGN IS 200 S.F. TOTAL OF ALL WALL SIGNS SHALL BE EQUAL TO OR LESS THAN THE MAXIMUM PERMITTED SQUARE FOOTAGE FOR ONE WALL SIGN.	
PROPOSED WALL SIGNAGE:	
GAMING TENANT:	14 S.F.
C-STORE:	83 S.F.
FOOD SERVICE TENANT:	17 S.F.
TOTAL AREA WALL SIGNAGE:	114 S.F.
NOTE: PROVIDE DISCONNECT PER ART. 600.6 OF NEC 2002. DISCONNECT SHALL BE INSTALLED ON THE SIGN OR FACE OF THE BUILDING FOR ALL WALL SIGNAGE.	

**1 SIGNAGE SITE PLAN**  
MSP-1 SCALE: 1" = 20'-0"

REDEVELOPMENT OF EXISTING GAS STATION & C-STORE FACILITY FOR:

**Papo's Express**  
MARKET

2598 W. HIGGINS RD.  
HOFFMAN ESTATES, IL  
60169

DATE: 05/13/2021

PROJECT #: 20190518

SHEET:

**MSP-1**