

This meeting is being held via telephonic attendance

AGENDA

*Village of Hoffman Estates
Special Meeting of the Month
Village Board of Trustees*

*1900 Hassell Road
Hoffman Estates, IL 60169
847/882-9100*

Board Room	7:00 P.M.	May 24, 2021
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1. **CALL TO ORDER/ROLL CALL**
2. **PLEDGE OF ALLEGIANCE TO THE FLAG**
3. **PLANNING & ZONING COMMISSION RECOMMENDATIONS**
 - A. Request Board concurrence with the Planning and Zoning Commission recommendation for approval of a site plan amendment for Bell Works east garage renovations for the property located at 2000 Center Drive and approval of the associated Ordinance.
Voting: 8 Ayes, 3 Absent
Motion carried.
4. **ADJOURNMENT**

*Further details and information can be found in the agenda packet attached hereto and incorporated herein and can also be viewed online at www.hoffmanestates.org and/or in person in the Village Clerk's office.
The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.*

ORDINANCE NO. _____ - 2021

VILLAGE OF HOFFMAN ESTATES

**AN ORDINANCE GRANTING A SITE PLAN AMENDMENT FOR BELL WORKS
EAST GARAGE RENOVATIONS FOR THE PROPERTY LOCATED AT
2000 CENTER DRIVE, HOFFMAN ESTATES, ILLINOIS**

WHEREAS, the Planning and Zoning Commission, at a public meeting duly called and held according to law on May 19, 2021, considered the request by Hoffman Estates Acquisitions LLC (owner) for a Site Plan Amendment to allow modifications to the east garage for the Bell Works property commonly known as 2000 Center Drive, and shown on Exhibit "A" attached hereto and made a part hereof; and

WHEREAS, the Planning and Zoning Commission made certain Finding of Fact attached hereto and made a part hereof as Exhibit "B" and recommended approval of a site plan amendment to the Board of Trustees; and

WHEREAS, the Corporate Authorities have received and considered said recommendation; and

WHEREAS, the site plan has met the standards of the Subdivision Code of the Hoffman Estates Municipal Code; and

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: The Corporate Authorities hereby find that the facts and statements contained in the preamble of this Ordinance are true.

Section 2: A site plan amendment under Section 10-2-1 of the Subdivision Code is hereby granted to permit modifications to the east garage for the Bell Works property located at 2000 Center Drive.

Section 3: The site plan amendment is granted upon the following conditions:

- a) A building permit shall be obtained within twelve (12) months of the Village Board action on this request.
- b) The development shall significantly conform to the plans attached to the Staff Report dated May 19, 2021 except as such plans may be changed to conform to Village Codes and Ordinances and the following conditions.
- c) Prior to issuing a certificate of occupancy for the east garage, the following items must be addressed:

- i. Revised lighting and photometric plans in accordance with the Village's lighting consultant review letter shall be submitted and approved by Village staff.
 - ii. A building permit shall be required for the lighting included in the east garage renovation scope as well as the entirety of the east garage and pedestrian walkway.
 - iii. All lighting on both levels of the garage and the pedestrian walkway shall be operational prior to any future occupancy of the east garage.
 - iv. A building permit shall be required to ensure the parking garage and pedestrian walkway is brought to a proper state of repair as outlined in the Property Maintenance Report prepared by Village staff.
 - v. A building permit shall be required to ensure that required ADA parking spaces and accessible routes are provided to serve the entirety of the east garage in conformity with Village, State, and Federal Accessibility Code requirements.
- d) Consistent with prior Village Board site plan approvals, the following items must be submitted for consideration as part of any future site plan review for the Bell Works development:
- i. A traffic and circulation study, including internal street and intersection design as well as confirming that the immediately adjacent public streets will be able to accommodate planned demand.
 - ii. A parking study addressing demand, supply, and distribution throughout the site.
 - iii. A master pedestrian plan (consistent with the fundamentals of the C-MU District), including connections between uses on the site as well as connections to exterior destinations such as the Forest Preserve, area bike paths, and the new Pace Transit Center at Barrington and I-90.
 - iv. A master sign plan for the entirety of the development.
 - v. Site lighting plans for any new development, as well as upgrades to the existing lighting to bring into conformance with current standards.
 - vi. Plans for accommodation of a regional bike path along Central Road and other required sidewalk connections along adjacent public streets.
 - vii. A master utility plan depicting all existing and proposed utilities on the site, along with all existing and proposed easements to support those utilities.

- viii. Civil engineering plans for all new construction or changes to the existing exterior of the site.
- ix. Updates to the stormwater plans consistent with requirements of the Metropolitan Water Reclamation District of Greater Chicagoland (MWRD-GC) for all new construction.
- x. Landscape plans for any new development on the site.
- xi. Any new construction on the site, such as residential or hotel, will be subject to the Village's Fair Share Road Improvement Fee Program.
- xii. New residential development will be subject to the School and Park donation requirements per the Village Subdivision Code.
- xiii. Plat(s) of subdivision consistent with Village Code will be needed for lot divisions and easements.
- xiv. Possible special use or variation requests will need to be submitted.
- xv. Details on how the Bell Works development will be controlled through a master developer structure and how all common areas will be regulated and maintained, including any intended covenants, association rules, easements, etc.

Section 4: The Village Clerk is hereby authorized to publish this Ordinance in pamphlet form.

Section 5: This Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2021

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Michael Gaeta	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2021

Village President

ATTEST:

Village Clerk
Published in pamphlet form this _____ day of _____, 2021.

EXHIBIT "A"

Bell Works - 2000 Center Drive

P.I.N.: 01-36-401-005, 01-36-301-013, 01-36-401-006, 01-36-402-014



0 0.125 0.25 0.5 Miles



Planning and Transportation Division
The Village of Hoffman Estates
May 2021

EXHIBIT "B"



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION FINDING OF FACT

PROJECT NUMBER: 2021-007P
PROJECT NAME: 2000 Center Drive - Bell Works East Garage Renovations
ADDRESS/LOCATION: 2000 Center Drive
OWNER / PETITIONER: Hoffman Estates Acquisitions LLC
REQUEST: Site Plan Amendment for east garage renovations
ZONING / LAND USE: CMU Commercial Mixed Use, Bell Works mixed use campus
PZC MEETING DATE: May 19, 2021
PZC RECOMMENDATION: **APPROVAL** (8 Ayes, 0 Nays, 3 Absent)
VILLAGE BOARD MEETING DATE: May 24, 2021
STAFF ASSIGNED: Kevin Anderson, Associate Planner

MOTION

Request for Site Plan Amendment Approval for Bell Works East Garage Renovations for the property located at 2000 Center Drive. Approval shall be subject to the following conditions:

1. A building permit shall be obtained within twelve (12) months of the Village Board action on this request.
2. The development shall significantly conform to the plans attached to the Staff Report dated May 19, 2021 except as such plans may be changed to conform to Village Codes and Ordinances and following conditions.
3. Prior to issuing a certificate of occupancy for the east garage, the following items must be addressed:
 - a. Revised lighting and photometric plans in accordance with the Village's lighting consultant review letter shall be submitted and approved by Village staff.
 - b. A building permit shall be required for the lighting included in the east garage renovation scope as well as the entirety of the east garage and pedestrian walkway.
 - c. All lighting on both levels of the garage and the pedestrian walkway shall be operational prior to any future occupancy of the east garage.

- d. A building permit shall be required to ensure the parking garage and pedestrian walkway is brought to a proper state of repair as outlined in the Property Maintenance Report prepared by Village staff.
 - e. A building permit shall be required to ensure that required ADA parking spaces and accessible routes are provided to serve the entirety of the east garage in conformity with Village, State, and Federal Accessibility Code requirements.
4. Consistent with prior Village Board site plan approvals, the following items must be submitted for consideration as part of any future site plan review for the Bell Works development:
- a. A traffic and circulation study, including internal street and intersection design as well as confirming that the immediately adjacent public streets will be able to accommodate planned demand.
 - b. A parking study addressing demand, supply, and distribution throughout the site.
 - c. A master pedestrian plan (consistent with the fundamentals of the C-MU District), including connections between uses on the site as well as connections to exterior destinations such as the Forest Preserve, area bike paths, and the new Pace Transit Center at Barrington and I-90.
 - d. A master sign plan for the entirety of the development.
 - e. Site lighting plans for any new development, as well as upgrades to the existing lighting to bring into conformance with current standards.
 - f. Plans for accommodation of a regional bike path along Central Road and other required sidewalk connections along adjacent public streets.
 - g. A master utility plan depicting all existing and proposed utilities on the site, along with all existing and proposed easements to support those utilities.
 - h. Civil engineering plans for all new construction or changes to the existing exterior of the site.
 - i. Updates to the stormwater plans consistent with requirements of the Metropolitan Water Reclamation District of Greater Chicagoland (MWRD-GC) for all new construction.
 - j. Landscape plans for any new development on the site.
 - k. Any new construction on the site, such as the residential or hotel, will be subject to the Village's Fair Share Road Improvement Fee Program.
 - l. New residential development will be subject to the School and Park donation requirements per the Village Subdivision Code.
 - m. Plat(s) of subdivision consistent with Village Code will be needed for lot divisions and easements.
 - n. Possible special use or variation requests will need to be submitted.
 - o. Details on how the Bell Works development will be controlled through a master developer structure and how all common areas will be regulated and maintained, including any intended covenants, association rules, easements, etc.

FINDING

The Planning & Zoning Commission heard the request from Matthew Duggan and Kenneth Gold. Mr. Duggan provided an overview of the proposal to reconfigure the pedestrian entrance and walkway serving the east parking garage of Bell Works. The existing stairs and electrical room are being removed and a series of new stairs and an ADA compliant ramp is being added that will direct all pedestrians from both floors of the garage into the outdoor pedestrian walkway between the two parking structures.

Staff noted the lighting analysis conducted by the Village's consultant concluded the photometric measurements were inadequate in certain areas and has made specific recommendations for correction. The Petitioner indicated that they would comply with the recommendations.

The Commissioners had questions regarding the lighting, location of the ADA parking spaces and the accessibility of the ADA pedestrian ramp. Commissioners suggested that the Petitioner consider better ADA accommodations and an elevator in the garage to address the various needs of the visitors considering the mix of uses proposed for the building.

AUDIENCE COMMENTS

None.

PLANNING AND ZONING COMMISSION VOTE

Commissioner	Roll Call Vote
Chairperson Eva Combs	Aye
Vice-Chairman Greg Ring	Absent
Adam Bauske	Aye
Tom Burnitz	Aye
Lon Harner	Aye
Lenard Henderson	Aye
Myrene Iozzo	Absent
Minerva Milford	Absent
Sohita Patel	Aye
Nancy Trieb	Aye
Denise Wilson	Aye
8 Ayes, 0 Nays, 3 Absent	MOTION APPROVED

ATTACHMENTS

The Planning and Zoning Commission Staff Report dated May 19, 2021 and all associated attachments are hereby made a part of this Finding.



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT NUMBER: 2021-007P
PROJECT NAME: 2000 Center Drive - Bell Works East Garage Renovations
ADDRESS/LOCATION: 2000 Center Drive
PROPERTY SIZE: +/-150 acres
OWNER / PETITIONER: Hoffman Estates Acquisitions LLC
REQUEST: Site Plan Amendment
PUBLIC HEARING: No
ZONING / LAND USE: CMU Commercial Mixed Use, Bell Works mixed use campus
ADJACENT PROPERTIES: NORTH: M-2 Manufacturing, industrial building and vacant land
SOUTH: O-3 Office, Central Road and I-90 right-of-way
EAST: FP Forest Preserve, Huntington Blvd. right-of-way
WEST: M-2 Manufacturing, Industrial building
PZC MEETING DATE: May 19, 2021
STAFF ASSIGNED: Kevin Anderson, Associate Planner

REQUESTED MOTION

Request for Site Plan Amendment Approval for Bell Works East Garage Renovations for the property located at 2000 Center Drive.

INCLUDES RECOMMENDED CONDITIONS: YES

BACKGROUND

In 2018, the Village approved a Redevelopment Agreement, a Concept Site Plan, and rezoned the property to C-MU Commercial Mixed Use District for the Bell Works mixed-used project. In 2019, the Village approved the Phase 1 plans which include renovation of the interior lobby and atrium space, and build-out of office space and retail/restaurant space in the eastern half of the main building. Their initial tenants have occupancy in the building.

In February 2021, approval was granted for a site plan amendment to allow modifications to the eastern vestibule, removal of the pedestrian skywalk, and reconfiguration of the drive aisle and drop-off areas. The skywalk has been removed and the demolition and reconstruction of the eastern vestibule is ongoing. During the course of construction, all tenant parking is provided in the garage located under the building. The entirety of the east parking garage is currently closed.

At the time the eastern vestibule was reviewed, the Petitioner had not yet finalized their plans for the east garage. The Petitioner has completed plans for the garage renovations and is seeking a site plan amendment approval for that portion of the project at this time.

PROPOSAL

The proposed plan reconfigures the pedestrian entrance and walkway serving the east parking garage. The existing stairs and electrical room are being removed and a series of new stairs and an ADA compliant ramp is being added that will direct all pedestrians from both floors of the garage into the outdoor pedestrian walkway between the two parking structures. This pedestrian walkway feeds into the crosswalk and ultimately the eastern entrance of the main building. The pedestrian route is being redesigned and enhanced to address the removal of the pedestrian skyway and to improve the overall function and aesthetics of the east parking and entrance. The east entrance will serve as the primary entrance to the facility.

STAFF ANALYSIS

The geometry of the site does not change significantly with this proposal. The main changes are focused on the pedestrian access to the garages and reconfiguration the garages now that the pedestrian skywalk has been eliminated.

ADA Compliance

The existing parking garage was constructed prior to adoption of the current Americans with Disabilities Act and is not compliant with current standards. All of the ADA parking spaces serving the development are currently temporarily located in the parking garage located in under the building. However, when the east vestibule and east garage renovations are completed, ADA parking will be required to be located in the east garage in compliance with all with Village, State, and Federal Accessibility Code requirements.

A new ADA accessible ramp is proposed to provide access from the grade level to the first floor of the parking garage. The design of this ramp meets the requirements of the accessibility code. The ADA parking spaces will be required to be located in the areas closest to the new accessible ramp (in the northwest pod of the east garage).

Lighting

The Petitioner has submitted the lighting and photometric plans for East Drive, building and garage entrances, and pedestrian walkway within the current scope of the project. The Village Code requires exterior lighting to be provided at levels that are appropriate for the safety and convenience of employees, visitors and other on the property. All site lighting is expected to meet the current recommendations of the Illuminating Engineering Society (IES).

The overall function of the building and garage that formerly served a single tenant (AT&T) with traditional daytime office hours is dramatically changing to accommodate a mixed use development with office, retail, restaurants, entertainment and future residential uses to the east. It is expected that the parking garage and surrounding pedestrian access routes will see significantly more nighttime activity than the former office use. To ensure adequate illumination for security as well as follow the current recommendations by the IES, the Village retained a lighting consultant to assist staff in evaluating the submitted lighting and

photometric plan. A summary of the Petitioner's plan and findings from the Village's lighting consultant is provided below:

- Street lighting is provided with 14 overhead lamps along the west side of East Drive. The design and specifications of the street lights comply with the Village's Development Requirements. The proposed lighting levels along the East Drive comply with IES recommendations.
- The east building entrance is proposed to be lit with a combination of bollard, handrail and street lighting that will provide adequate lighting based on IES recommendations.
- The ADA ramp serving the garage is proposed to be lit with handrail lights. The proposed illumination is adequate and conforms to the IES recommendations.
- Lighting of the pedestrian walkway is proposed with a combination of illuminated bollards and handrail lighting. A series of 26 new lighted bollards are proposed to illuminate the pedestrian area between the garages and the crosswalk area on East Drive. The height of the proposed luminaires, 48 inches, and stair handrail lighting cause hotspots and an uneven light distribution. **The light levels on the stairs, pedestrian walkway and pedestrian entry to the garage do not comply with the IES recommendations.** It is recommended that a taller lighting fixture be used in these areas in lieu of the bollard lights as proposed. This would result in a more even light distribution that would meet industry standards for safety of areas with medium activity and moderate nighttime usage. A recommended condition has been added that would require the petitioner to revise the lighting and photometric plan to address the Village's lighting consultant comments.
- Lighting along the remainder of the pedestrian walkway east of the current scope of work will be required to comply with the current IES recommendations prior to occupancy of the entirety of the east garage.

Landscaping

A combination of shade and ornamental trees, shrubs, perennials, ornamental grasses and groundcovers is being proposed around the building entrance, garage pedestrian entrance, and within the pedestrian walkway. The plan has been coordinated with the landscaping plan for the eastern vestibule improvements approved earlier this year but not yet installed. Similar landscaping along the remainder of the pedestrian walkway east of the current scope of work will be required prior to occupancy of the entirety of the east garage.

East Garage Property Maintenance Report

Village staff prepared a detailed Property Maintenance Report for the east garage. This report extends beyond the current scope of east garage renovation project and identifies code deficiencies and areas throughout the entirety of the east garage and pedestrian walkway which require clean-up, maintenance, or repair to ensure the safety of tenants and occupants as well as general appearance standards. A recommended condition of approval has been added that would require the Petitioner to address all items identified in the Property Maintenance Report prior to obtaining a certificate of occupancy for the east garage. The report has been provided to the Petitioner.

RECOMMENDED CONDITIONS

If the Planning and Zoning Commission finds that the standards for a variation have been met, staff recommends the following condition:

1. A building permit shall be obtained within twelve (12) months of the Village Board action on this request.
2. The development shall significantly conform to the plans attached hereto as part of this application except as such plans may be changed to conform to Village Codes and Ordinances and following conditions.
3. Prior to issuing a certificate of occupancy for the east garage, the following items must be addressed:
 - a. Revised lighting and photometric plans in accordance with the Village's lighting consultant review letter shall be submitted and approved by Village staff.
 - b. A building permit shall be required for the lighting included in the east garage renovation scope as well as the entirety of the east garage and pedestrian walkway.
 - c. All lighting on both levels of the garage and the pedestrian walkway shall be operational prior to any future occupancy of the east garage.
 - d. A building permit shall be required to ensure the parking garage and pedestrian walkway is brought to a proper state of repair as outlined in the Property Maintenance Report prepared by Village staff.
 - e. A building permit shall be required to ensure that required ADA parking spaces and accessible routes are provided to serve the entirety of the east garage in conformity with Village, State, and Federal Accessibility Code requirements.
4. Consistent with prior Village Board site plan approvals, the following items must be submitted for consideration as part of any future site plan review for the Bell Works development:
 - a. A traffic and circulation study, including internal street and intersection design as well as confirming that the immediately adjacent public streets will be able to accommodate planned demand.
 - b. A parking study addressing demand, supply, and distribution throughout the site.
 - c. A master pedestrian plan (consistent with the fundamentals of the C-MU District), including connections between uses on the site as well as connections to exterior destinations such as the Forest Preserve, area bike paths, and the new Pace Transit Center at Barrington and I-90.
 - d. A master sign plan for the entirety of the development.
 - e. Site lighting plans for any new development, as well as upgrades to the existing lighting to bring into conformance with current standards.
 - f. Plans for accommodation of a regional bike path along Central Road and other required sidewalk connections along adjacent public streets.
 - g. A master utility plan depicting all existing and proposed utilities on the site, along with all existing and proposed easements to support those utilities.

- h. Civil engineering plans for all new construction or changes to the existing exterior of the site.
- i. Updates to the stormwater plans consistent with requirements of the Metropolitan Water Reclamation District of Greater Chicagoland (MWRD-GC) for all new construction.
- j. Landscape plans for any new development on the site.
- k. Any new construction on the site, such as the residential or hotel will be subject to the fee independent of the existing buildings will be subject to the Village's Fair Share Road Improvement Fee Program.
- l. New residential development will be subject to the School and Park donation requirements per the Village Subdivision Code.
- m. Plat(s) of subdivision consistent with Village Code will be needed for lot divisions and easements.
- n. Possible special use or variation requests will need to be submitted.
- o. Details on how the Bell Works development will be controlled through a master developer structure and how all common areas will be regulated and maintained, including any intended covenants, association rules, easements, etc.

Attachments: Applications
Project Narrative
Location Map
Plat of Survey
Architectural, Engineering, Landscape, Photometric Plans
Review Letter from Larson Engineering dated 5/12/21



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING GENERAL APPLICATION*

Special Use for _____ Rezoning from _____ to _____

Variation: Commercial Residential Sign

Plat (Subdivision & Others): Preliminary Final

Site Plan: Amendment Concept Preliminary Final

Master Sign Plan: Amendment

Other: _____

*** ADDENDUM MATERIALS ARE REQUIRED FOR SPECIFIC REQUESTS**

Posting of Notification Sign(s) may be required.

Specific requirements will be provided when your request is scheduled.

FOR VILLAGE USE ONLY

Hearing Fee _____ Check No. _____ Date Paid _____

Project Number: _____

Staff Assigned: _____

Meeting Date: _____

Public Hearing: Yes No

Sign Posting Required: Yes No

Date Sign Posted _____

PLEASE PRINT OR TYPE

Date: 2/19/21

Project Name: Bell Works

Project Description: East Garage Renovations

Project Address/Location: 2000 AT&T Center Drive

Property Index No. 01-36-301-013, 01-36-401-005, 01-36-401-006, 01-36-4

Acres: 152 Zoning District: CMU-Mixed Use

I. Owner of Record

Hoffman Estates Acquisitions, LLC		Somerset Development, LLC
Name		Company
101 Crawfords Corner Road		Holmdel
Street Address		City
New Jersey	07733	732-367-2828
State	Zip Code	Telephone Number
		Ralph@sdnj.com
Fax Number		E-Mail Address

II. Applicant (Contact Person/Project Manager)

Ralph Zucker		Somerset Development
Name		Company
101 Crawfords Corner Road		Holmdel
Street Address		City
New Jersey	07733	732-415-7171
State	Zip Code	Telephone Number
		ralph@sdnj.com
Fax Number		E-Mail Address

Applicant's relationship to property: Owner

III. Owner Consent for Authorized Representative

It is required that the property owner or his designated representative be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. **If the owner cannot be present at the meeting, the following statement must be signed by the owner:**

I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize Ken Gold to act on my behalf and advise that he/she has full authority to act as my/our representative.



Raphael Zucker

Owner Signature

Print Name

IV. Acknowledgement(s)

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

The Owner and Applicant, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature: 

Owner's Name (Please Print): Ralph Zucker

Applicant's Signature: 
(If other than Owner)

Applicant's Name (Please Print): _____

Date: 2/19/21

All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.

Please contact the Planning Division (located in the Municipal Building) with any questions:

Email: planning@hoffmanestates.org
 Address: 1900 Hassell Road
 Hoffman Estates, IL 60169
 Phone: (847) 781-2660
 Fax: (847) 781-2679

Addendums Attached:

- Special Use Master Sign Plan
- Rezoning Other _____
- Variation
- Plat
- Site Plan



SOMERSET
DEVELOPMENT

This is living.

February 23, 2021

Jennifer Horn, AICP
Director of Planning and Transportation
Village of Hoffman Estates
1900 Hassell Road
Hoffman Estates, Illinois 60169

VIA ELECTRONIC MAIL

RE: Bell Works Site Plan Amendment Narrative

Dear Jennifer,

Please see the below narrative explaining the changes to the site plan intended for the Eastern Parking structure of Bell Works Chicagoland.

The second phase of the renovation of the east entrance at Bell Works include new improvements to the existing parking structure side (east) of the existing road.

We are proposing the remove and relocate the existing underutilized electrical room that sits between the two parking structures. This will allow the site to open up the walkway to the east. We are proposing a new central stair that connects grade to the existing landscaped walk that is located between the north and south parking structures. The design will continue the rhythm of a stair with 3 risers and then a flat area. The existing grades will be adjusted so that the landscaping gradually slopes down along the central stairs/walk, similar to the far east side of the parking structures with flat transitions to the center walk to the greatest extent possible.

In addition, the north and south garage lower levels will be designed to have accessible access to a new ADA ramp. Both the north and south parking structures upper levels will connect to grade by new metal stairs that connect to the landscaped center walk and the center stairs are used to get to grade level.

101 Crawford's Corner Road, Holmdel, New Jersey 07733
phone 732.367.2828 • *fax* 732.886.1674 • *web* www.sdnj.com



S O M E R S E T
D E V E L O P M E N T

This is living.

This matches the existing condition of the other stairs at the garage upper level. The walls of the ramp and stairs from grade up to the lower garage level will be kept as low and open to maintain view of the building entry previously blocked by the electrical room.

Very truly yours,

Kenneth Gold

Ken Gold
Vice President
Acquisitions & Development
Somerset Development, L.L.C.

Larson Engineering, Inc.
1488 Bond Street, Suite 100
Naperville, Illinois 60563
630.357.0540 Fax: 630.357.0164
www.larsonengr.com



May 12, 2021

Ms. Jennifer Horn
Village of Hoffman Estates
1900 Hassell Road
Hoffman Estates, IL 60169

Re: Exterior Lighting Consulting
AT&T Campus
Hoffman Estates, IL

LEI Project No: 24210026.000

Dear Jennifer:

Pursuant to your request, Larson Engineering, Inc. (LEI) performed an electrical engineering peer review of the photometric calculations prepared by PG Enlighten. The peer reviewer performed services consistent with the standard of care applicable to the performance of engineering peer review services on projects of similar type, size and complexity at the time of the review and within the geographical location of the captioned project. The peer review is limited to the extent to which the calculations satisfactorily comply with the requirements of applicable design code(s) and accepted engineering practices.

Drawings reviewed:

Sheets 1 through 3, dated 04/26/2021,

The scope of work appears to fall in the zone IES refers to as LZ2 and medium activity, which is moderate ambient lighting. The following is the IES definition of this zone:

Areas of human activity where the vision of human residents and users is adapted to moderate light levels. Lighting may typically be used for safety and convenience but it is not necessarily uniform or continuous. After curfew, lighting may be extinguished or reduced as activity levels decline.

The area being reviewed currently has lighting under the canopies of the walkways to the garage. This project is adding lighting to the roadway, the garage entry, the building entry, the stairs and ramps. There will be very little ambient light provided from the new roadway lighting.

The Village would like the lighting in the scope of work to provide adequate illumination for security as well as follow or exceed the recommendations by IES.

Roadway lighting:

Zone 1 on the photometric plan. IES recommends a MAX:MIN ratio of 15:1 for exterior conditions for Basic Enhanced Security and 20:1 for Basic. The photometric calculations show uniform light spread and is compliant with the recommendations of IES.

May 12, 2021

Ms. Jennifer Horn
Village of Hoffman Estates

Building Entrance:

Zone 3 on the photometric plan. IES recommends an AVG:MIN ratio of 2:1 for exterior building entries. The plans show 3:1, which is still a low ratio. The MAX:MIN is also fairly low and the photometric calculations show uniform light spread. IES recommends a horizontal target of 1 footcandle and a vertical target of .6 footcandles. The plans show an average of 14 fc at the garage entrance. The provided illuminance exceeds the recommendation by IES and is acceptable. (Taken from Table 22.2 Outdoor Building Entries, Canopied Entries/Exits - 10th Edition Lighting Handbook)

Ramps:

Zone 2 on the photometric plan. IES recommends an AVG:MIN ratio of 5:1 for exterior ramps. The AVE:MIN ratio of the ramps is 12:1. This is much higher than recommended by IES, however, the photometric calculations show adequate illuminance on the ramp areas. It is possible that this ratio may lower if taller pedestrian light fixtures are used in lieu of bollards. IES recommends a horizontal target of .4 footcandles and a vertical target of .2 footcandles. The plans show an average of 9 footcandles for stairs and ramps. (Taken from Table 34.2 Centers, Outdoors, Ramps, Stairs, Steps – 10th Edition Lighting Handbook)

Stairs:

Zone 2 on the photometric plan. IES recommends an AVG:MIN ratio of 5:1 for exterior stairs. The AVE:MIN ratio of the stairs is 90:1 and the MAX:MIN is 323:1, which is exceptionally high. The illumination on the stairs is not uniform and should be re-evaluated. The values at the center of the stairs are much lower than the values at the edges and this may cause an individual's eye not to adapt properly. IES recommends a horizontal target of .4 footcandles and a vertical target of .2 footcandles. The plans show an average of 9 footcandles for stairs and ramps. (Taken from Table 34.2 Centers, Outdoors, Ramps, Stairs, Steps – 10th Edition Lighting Handbook)

The Village would like to see an average of 10 footcandles on the stairs, the AVE:MIN ratio much closer to 5:1 and the MAX:MIN ratio much tighter (no more than 15:1). A taller pedestrian light fixture would help to level out the uniformity in this area as opposed to the use of bollards. PG Enlighten should calculate the vertical target at 5' above finished grade to ensure the levels are in compliance with IES recommendations.

Pedestrian Garage Entry:

Zone 2 on the photometric plan. IES recommends an AVG:MIN ratio of 2:1 for the pedestrian garage entry. The AVE:MIN ratio at the garage entry is 40:1. This would likely be alleviated by the addition of a pedestrian light fixture in the space between the covered area and where the stairs begin. IES recommends a horizontal target of 1 footcandle and a vertical target of .6 footcandles. The plans show an average of 2.5 footcandles at the garage entry. (Taken from Table 22.2 Outdoor Building Entries, Non-Covered Entries/Exits - 10th Edition Lighting Handbook)

The Village would like to see the AVE:MIN ratio much closer to 2:1 as per IES. The addition of a pedestrian light fixture is suggested. PG Enlighten should calculate the vertical target at 5' above finished grade to ensure the levels are in compliance with IES recommendations. Also, separate into its own zone.

Larson Engineering, Inc.
1488 Bond Street, Suite 100
Naperville, Illinois 60563
630.357.0540 Fax: 630.357.0164
www.larsonengr.com



Pedestrian Walkways:

Zone 2 on the photometric plan. IES recommends an AVE:MIN ratio of 3:1, horizontal target of .4 footcandles and vertical target of .1 footcandles for the pedestrian walkways. PG Enlighten should separate the walkways from Zone 2 into its own zone(s) and recalculate. (Taken from Table 22.2 Outdoor Building Entries, Paths to Curbs - 10th Edition Lighting Handbook)

In conclusion, the main focus of concern is the stairs. The handrail lights on either side are causing a dark strip up the steps and the use of bollards on the landings do not add sufficient light to substitute. Bollards also cause hot spots just below the fixture and the center of the stair landings have much less light. The use of a taller light fixture should allow the ratios to lower significantly. PG Enlighten should recalculate using 6' pedestrian light fixtures in lieu of bollards in order to reduce AVE:MIN ratios for stairs as well as the area between the covered walkway and stairs leading to garage. Also, separate Zone 2 into multiple zones for more accurate readings.

Our review and certification of documents cited does not constitute a design nor acceptance by LEI of Engineer of Record status for the Project.

If you have any further questions regarding this matter, please feel free to contact our office.

Sincerely,
Larson Engineering, Inc.

A handwritten signature in cursive script that reads "Shawna L. Brown".

Shawna L. Brown
Engineer II - Electrical
sbrown@larsonengr.com

Bellworks - 2000 Center Drive

P.I.N.: 01-36-401-005, 01-36-301-013, 01-36-401-006, 01-36-402-014



0 0.125 0.25 0.5 Miles





Allium 'Millenium'
Millenium Onion



Baptisia x bicolor 'Starlite'
Starlite Prairieblues™
False Indigo



Echinacea 'Cleopatra'
Cleopatra Coneflower



Echinacea 'Julia'
Julia Coneflower



Echinacea 'Kim's Knee High'
Kim's Knee High
Coneflower



Eragrostis spectabilis
Purple Lovegrass



Helleborus hybridus 'Royal Heritage'
Lenten Rose



Hosta 'August Moon'
Hosta



Hosta 'Etched Glass'
Hosta



Nepeta x faassenii 'Early Bird'
Early Bird Catmint



Celtis occidentalis
Common Hackberry



Panicum virgatum 'Cheyenne Sky'
Cheyenne Sky Red Switch
Grass



Pennisetum alopecuroides 'Desert Plains'
Desert Plains Fountain
Grass



Sesleria autumnalis
Autumn Moor Grass



Sporobolus heterolepis
Prairie Dropseed

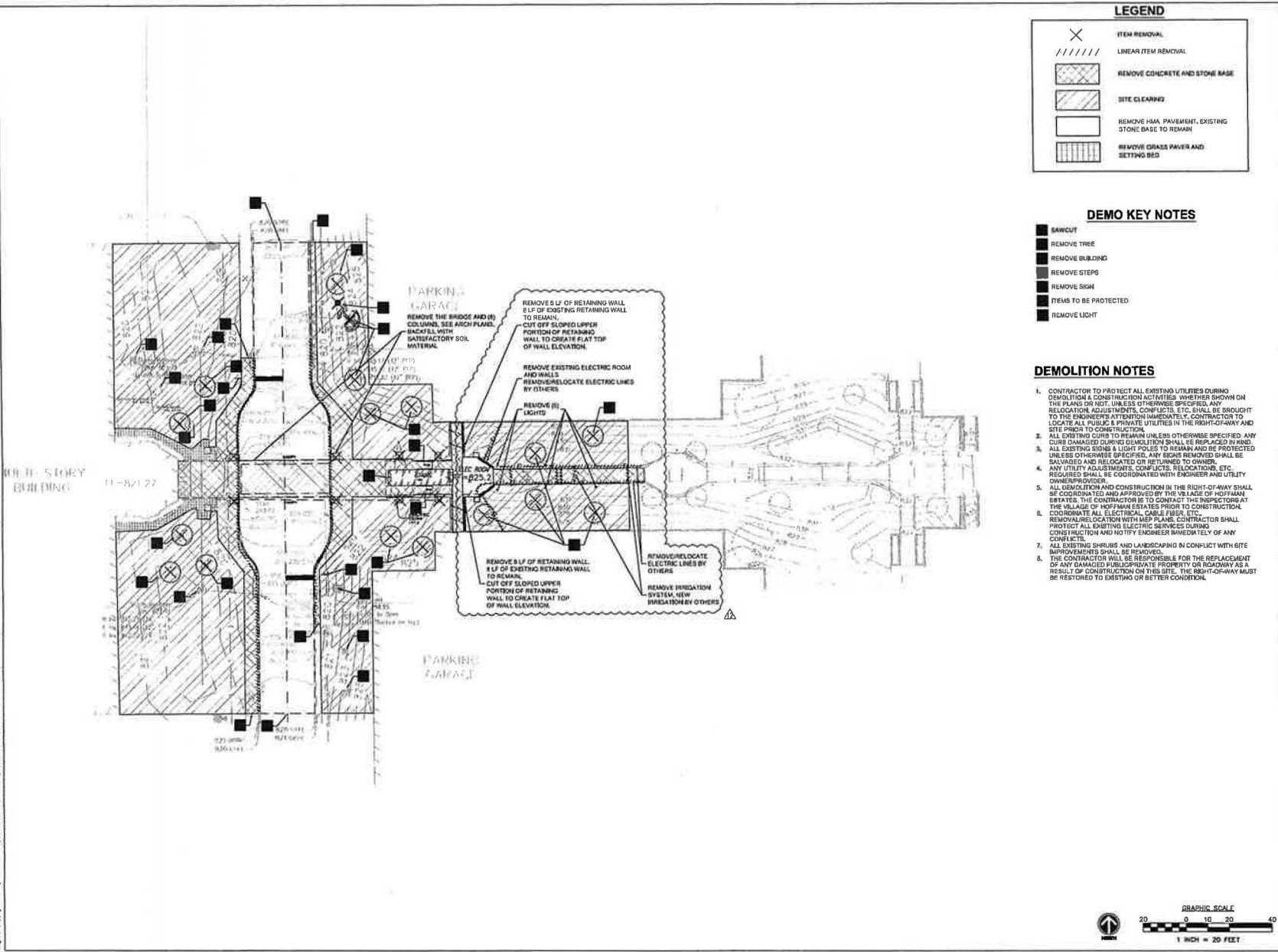


Ulmus x 'Patriot'
Patriot Elm

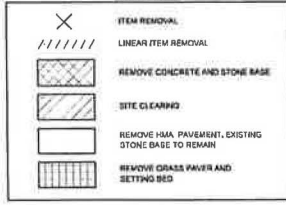


Plant Palette
BELL WORKS EAST VESTIBULE
Bell Works

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 Wight & Company 18296 Woodstock Rd, Suite 414 Rosemont, IL 60018
 Wight & Company 18296 Woodstock Rd, Suite 414 Rosemont, IL 60018



LEGEND



DEMO KEY NOTES

- SAWCUT
- REMOVE TREE
- REMOVE BUILDING
- REMOVE STEPS
- REMOVE SIGN
- ITEMS TO BE PROTECTED
- REMOVE LIGHT

DEMOLITION NOTES

1. CONTRACTOR TO PROTECT ALL EXISTING UTILITIES DURING DEMOLITION & CONSTRUCTION ACTIVITIES WHETHER SHOWN ON THE PLANS OR NOT. UNLESS OTHERWISE SPECIFIED, ANY RELOCATION, ADJUSTMENTS, CONFLICTS, ETC. SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. CONTRACTOR TO LOCATE ALL PUBLIC & PRIVATE UTILITIES IN THE RIGHT-OF-WAY AND SITE PRIOR TO CONSTRUCTION.
2. ALL EXISTING CURBS TO REMAIN UNLESS OTHERWISE SPECIFIED. ANY CURB DAMAGED DURING DEMOLITION SHALL BE REPLACED IN KIND.
3. ALL EXISTING SIGNS & LIGHT POLES TO REMAIN AND BE PROTECTED UNLESS OTHERWISE SPECIFIED. ANY SIGNS REMOVED SHALL BE SALVAGED AND RELOCATED OR RETURNED TO OWNER.
4. ANY UTILITY ADJUSTMENTS, CONFLICTS, RELOCATIONS, ETC. REQUIRED SHALL BE COORDINATED WITH ENGINEER AND UTILITY DISSEMINATED.
5. ALL DEMOLITION AND CONSTRUCTION IN THE RIGHT-OF-WAY SHALL BE COORDINATED AND APPROVED BY THE VILLAGE OF HOFFMAN ESTATES. THE CONTRACTOR IS TO CONTACT THE INSPECTORS AT THE VILLAGE OF HOFFMAN ESTATES PRIOR TO CONSTRUCTION.
6. COORDINATE ALL ELECTRICAL CABLE FIBER, ETC. REMOVAL/RELOCATION WITH MEP PLANS. CONTRACTOR SHALL PROTECT ALL EXISTING ELECTRIC SERVICES DURING CONSTRUCTION AND NOTIFY ENGINEER IMMEDIATELY OF ANY CONFLICTS.
7. ALL EXISTING SHRUBS AND LANDSCAPING IN CONFLICT WITH SITE IMPROVEMENTS SHALL BE REMOVED.
8. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY DAMAGED PUBLIC/Private PROPERTY OR ROADWAY AS A RESULT OF CONSTRUCTION ON THIS SITE. THE RIGHT-OF-WAY MUST BE RESTORED TO EXISTING OR BETTER CONDITION.



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 wightco.com
 2508 North Fenwick Road
 Deerfield, IL 60015
 P 630.969.7000
 F 630.969.7979

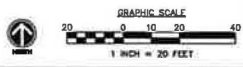
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△ EAST VESTIBULE ADDITION 100	01/12/2021

**BELL WORKS
 CHICAGO
 EAST VESTIBULE**

2000 AT&T CENTER DRIVE
 HOFFMAN ESTATES, IL 60192

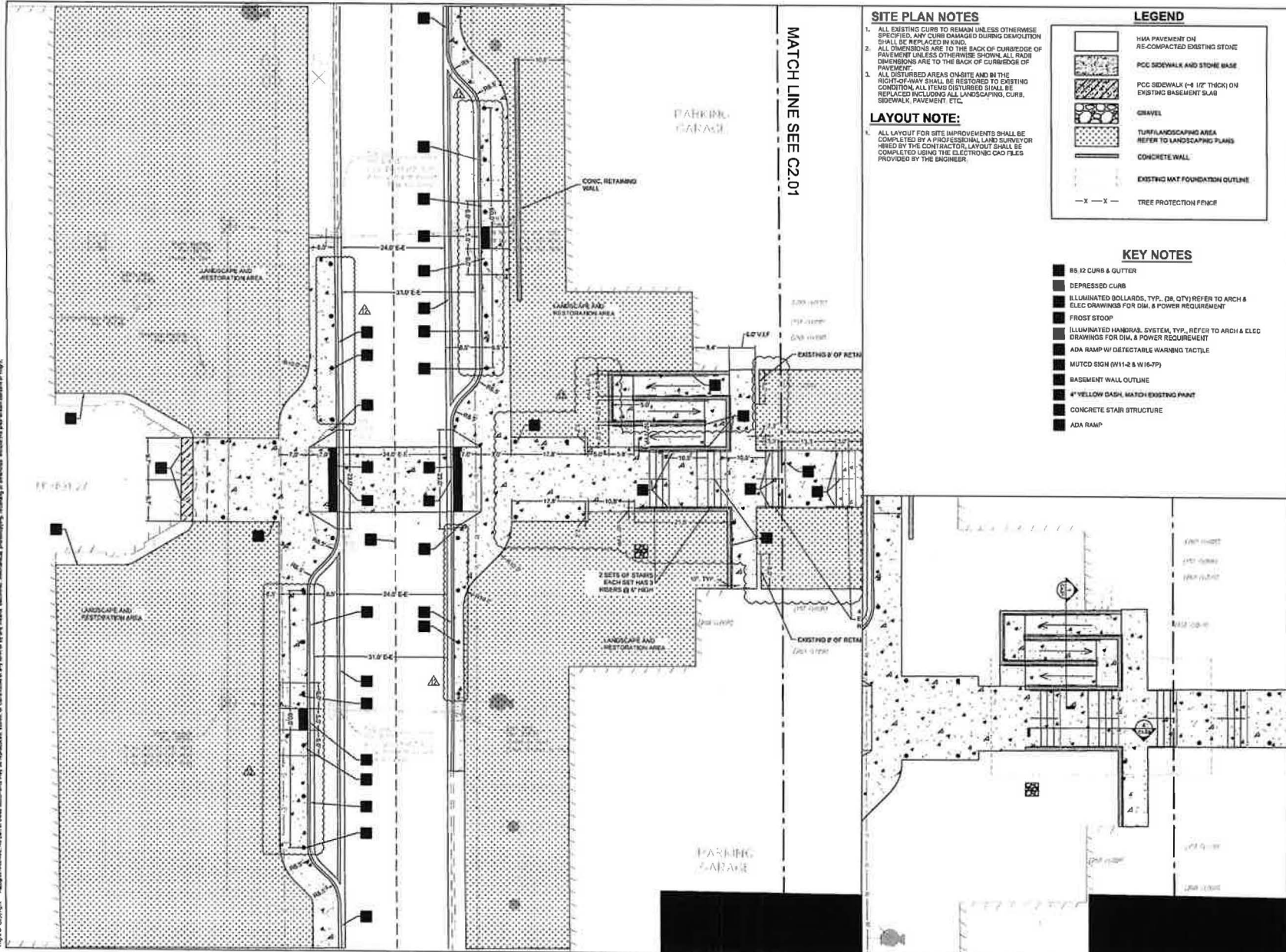
**EXISTING CONDITIONS
 AND DEMOLITION PLAN**

Project Number:
 200149
 Drawn By:
 SC
 Sheet:



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SITE PLAN NOTES

1. ALL EXISTING CURBS TO REMAIN UNLESS OTHERWISE SPECIFIED. ANY CURB DAMAGED DURING DEMOLITION SHALL BE REPLACED IN KIND.
2. ALL DIMENSIONS ARE TO THE BACK OF CURB/EDGE OF PAVEMENT UNLESS OTHERWISE SHOWN. ALL RADII DIMENSIONS ARE TO THE BACK OF CURB/EDGE OF PAVEMENT.
3. ALL DISTURBED AREAS ON-SITE AND IN THE RIGHT-OF-WAY SHALL BE RESTORED TO EXISTING CONDITION. ALL ITEMS DISTURBED SHALL BE REPLACED INCLUDING ALL LANDSCAPING, CURBS, SIDEWALK, PAVEMENT, ETC.

LAYOUT NOTE:

1. ALL LAYOUT FOR SITE IMPROVEMENTS SHALL BE COMPLETED BY A PROFESSIONAL LAND SURVEYOR HIRED BY THE CONTRACTOR. LAYOUT SHALL BE COMPLETED USING THE ELECTRONIC CAD FILES PROVIDED BY THE ENGINEER.

LEGEND

- HMA PAVEMENT ON RE-COMPACTED EXISTING STONE
- PCC SIDEWALK AND STONE BASE
- PCC SIDEWALK (4" 1/2" THICK) ON EXISTING BASEMENT SLAB
- GRAVEL
- TURF/LANDSCAPING AREA REFER TO LANDSCAPING PLANS
- CONCRETE WALL
- EXISTING MAT FOUNDATION OUTLINE
- TREE PROTECTION FENCE

KEY NOTES

- BS 12 CURB & GUTTER
- DEPRESSED CURB
- ILLUMINATED BOLLARDS, TYP., (M, CM, QTY) REFER TO ARCH & ELEC DRAWINGS FOR DIM. & POWER REQUIREMENT
- FROST STOOP
- ILLUMINATED HANDRAIL SYSTEM, TYP., REFER TO ARCH & ELEC DRAWINGS FOR DIM. & POWER REQUIREMENT
- ADA RAMP W/ DETECTABLE WARNING TACTILE
- MUTCD SIGN (W11-2 & W16-7P)
- BASEMENT WALL OUTLINE
- 4" YELLOW DASH, MATCH EXISTING PAINT
- CONCRETE STAIR STRUCTURE
- ADA RAMP



Wight & Company
 wightco.com
 2500 North Frontage Road
 Downer, IL 60515
 P 630.949.7700
 F 630.949.7779

REV	DESCRIPTION	DATE
1	EAST VESTIBULE APPROXIMATE	08/04/21
2	EAST VESTIBULE APPROXIMATE	21-06-2021
3	EAST VESTIBULE APPROXIMATE	01-12-2021
4	EAST VESTIBULE APPROXIMATE	11-04-2020

**BELL WORKS
 CHICAGO
 EAST VESTIBULE**

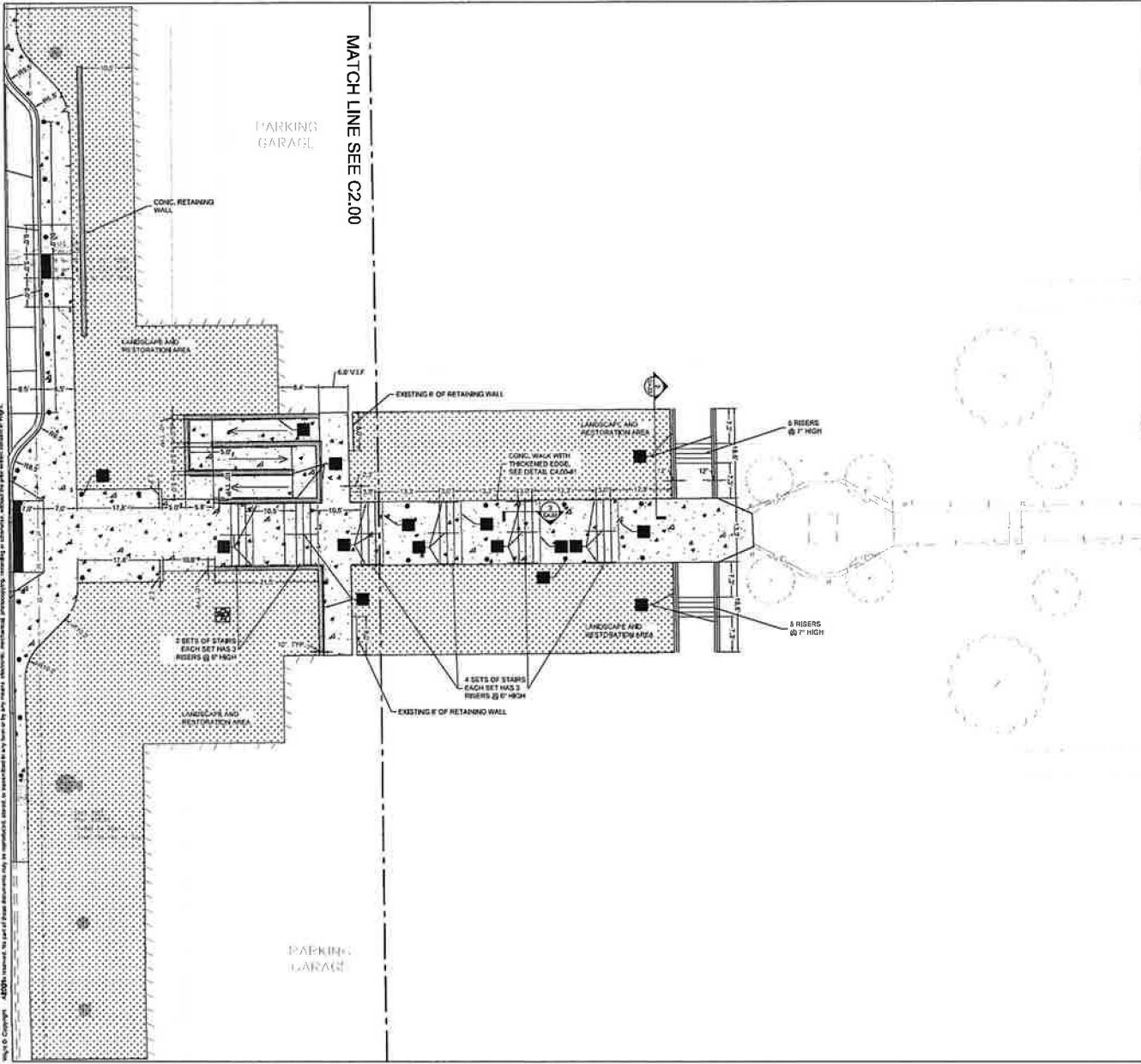
2000 AT&T CENTER DRIVE
 HOFFMAN ESTATES, IL 60192

**SITE PLAN
 EAST DRIVE IMPROVEMENT**

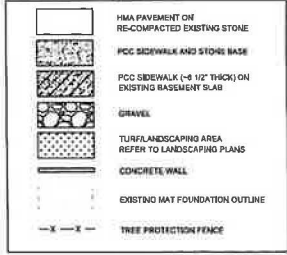
Project Number:
 200149
 Drawn By:
 SC
 Sheet:

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LEGEND



KEY NOTES

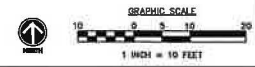
- 66.12 CURB & GUTTER
- DEPRESSED CURB
- ILLUMINATED BOLLARDS, TYP. (36, 0TY) REFER TO ARCH & ELEC DRAWINGS FOR DIM. & POWER REQUIREMENT
- FROST STOPP
- ILLUMINATED HANDRAIL SYSTEM TYP. REFER TO ARCH & ELEC DRAWINGS FOR DIM. & POWER REQUIREMENT
- ADA RAMP-W/ DETECTABLE WARNING TACTILE
- MUTCO SKIN (W11-2 & W19-7)
- BASEMENT WALL OUTLINE
- 4\"/>

SITE PLAN NOTES

1. ALL EXISTING CURB TO REMAIN UNLESS OTHERWISE SPECIFIED. ANY CURB DAMAGED DURING CONSTRUCTION SHALL BE REPLACED IN KIND.
2. ALL DIMENSIONS ARE TO THE BACK OF CURB/EDGE OF PAVEMENT UNLESS OTHERWISE SHOWN. ALL RADIUS DIMENSIONS ARE TO THE BACK OF CURB/EDGE OF PAVEMENT.
3. ALL DISTURBED AREAS ON-SITE AND IN THE RIGHT-OF-WAY SHALL BE RESTORED TO EXISTING CONDITION. ALL ITEMS DISTURBED SHALL BE REPLACED INCLUDING ALL LANDSCAPING, CURB, SIDEWALK, PAVEMENT, ETC.

LAYOUT NOTE:

1. ALL LAYOUT FOR SITE IMPROVEMENTS SHALL BE COMPLETED BY A PROFESSIONAL LAND SURVEYOR HIRED BY THE CONTRACTOR. LAYOUT SHALL BE COMPLETED USING THE ELECTRONIC CAD FILES PROVIDED BY THE ENGINEER.



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 2500 North Aveview Road
 Downers, IL 60541
 P 630.969.7000
 F 630.969.7777

DATE	DESCRIPTION	BY	DATE
03/01/2021	DATE VERIFIED APPROVED FOR CONSTRUCTION	SC	03/01/2021
03/01/2021	DATE VERIFIED APPROVED FOR CONSTRUCTION	SC	03/01/2021
03/01/2021	DATE VERIFIED APPROVED FOR CONSTRUCTION	SC	03/01/2021
03/01/2021	DATE VERIFIED APPROVED FOR CONSTRUCTION	SC	03/01/2021

**BELL WORKS
 CHICAGO
 EAST VESTIBULE**

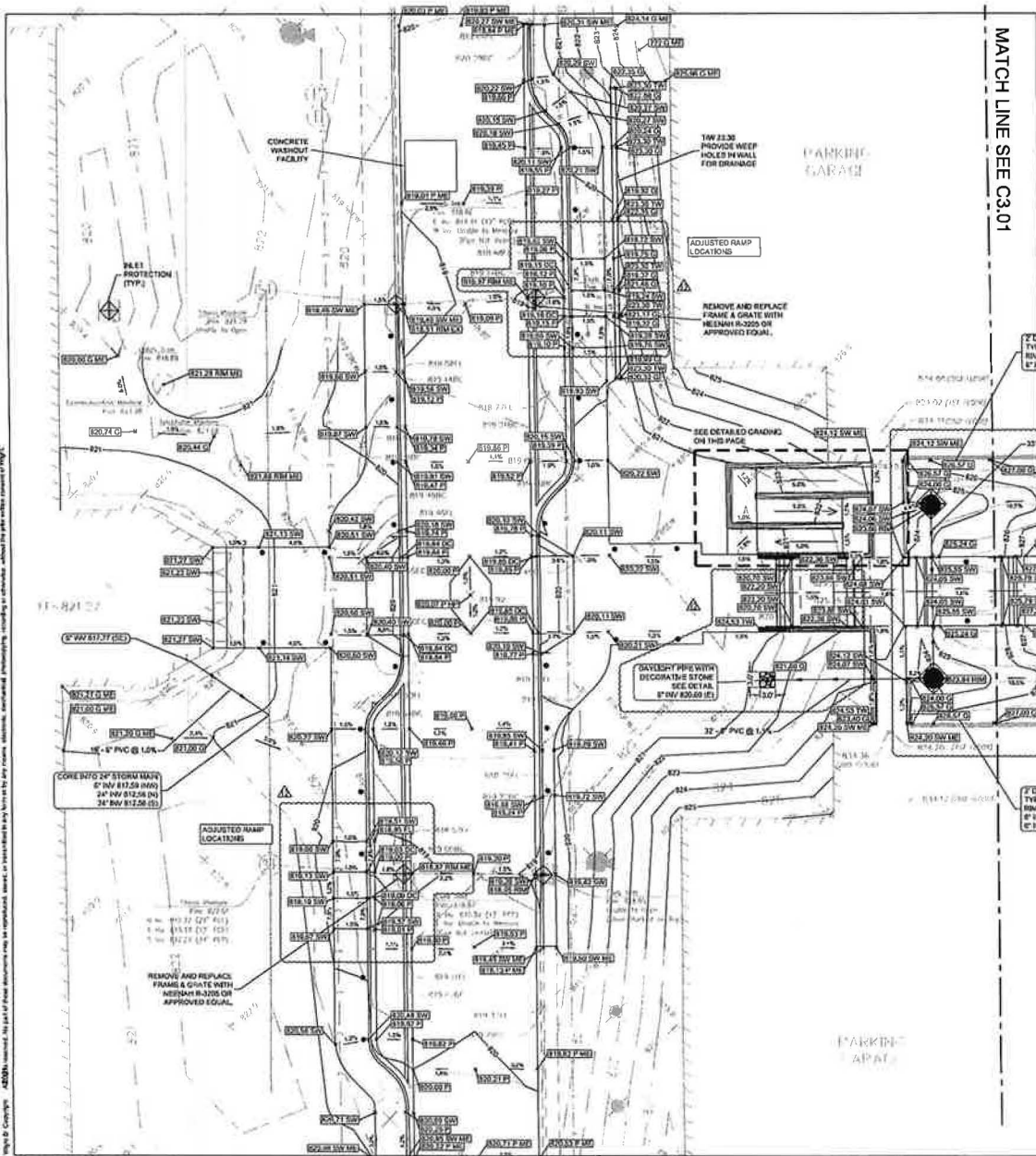
2000 AT&T CENTER DRIVE
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**SITE PLAN
 EAST WALKWAY**

Project Number:
 200149
 Drawn By:
 SC

C2.01

S:\Chicago\Somersat_Development\200072_Bell Works - East Vestibule\01\1 Drawings\02_CD\C3.00 GRADING AND DRAINAGE PLAN.dwg scten Mar 01, 2021 4:37:00 pm
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MATCH LINE SEE C3.01

LEGEND

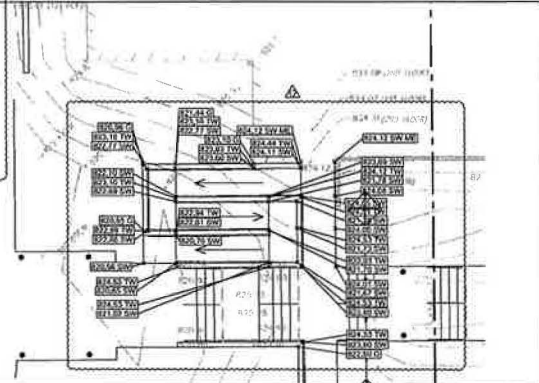
MC	MATCH EXISTING ELEVATION
HP	HIGH POINT
TOP OF PAVEMENT ELEVATION	
GROUND ELEVATION	
TOP OF SIDEWALK ELEVATION	
FIN ELEVATION	
TOP OF CURB ELEVATION	
TOP OF WALL ELEVATION	
TOP OF DEPRESSED CURB ELEVATION	
EXISTING CONTOUR LINE	7.1'
PROPOSED CONTOUR LINE	7.15'
SLOPE/FLOW DIRECTION	3.00%
INLET PROTECTION	

NOTES:

- CONTRACTOR TO VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, SLOPES, INVERTS, ETC. AND CONTACT ENGINEER IMMEDIATELY IF THERE ARE ANY CONFLICTS/DISCREPANCIES. THE CONTRACTOR SHALL PROTECT ANY AND ALL THINGS EITHER SHOWN OR NOT SHOWN ON THE PLANS UNLESS OTHERWISE SPECIFIED. MINIMUM PROTECTION FOR TREES SHALL BE 4" SHOW FENCE INSTALLED ALONG THE DROP LINE OF TREES.
- CONTRACTOR TO PROTECT ALL EXISTING UTILITIES.
- ALL EXISTING UTILITY STRUCTURES SHALL BE ADJUSTED AS NECESSARY TO MATCH FINISH GRADE. ALL EXISTING UTILITY STRUCTURES REQUIRING ADJUSTMENT OR RECONSTRUCTION SHALL BE COMPLETED BY THE CONTRACTOR TO THE SATISFACTION OF THE UTILITY OWNERS. ADJUSTMENTS AND/OR RECONSTRUCTIONS NOT CALLED FOR ON THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. NO MORE THAN A TOTAL OF 8 INCHES OF ADJUSTING RINGS AND/OR 2 ADJUSTING RINGS SHALL BE ALLOWED.
- ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE ILLINOIS ACCESSIBILITY CODE AND WITH THE AMERICANS WITH DISABILITIES ACT.
- RAMPS SHALL NOT EXCEED A RUNNING SLOPE OF 1:12 (8.33%) MAXIMUM CROSS-SLOPE ON ANY WALK OR RAMPS SHALL BE 2%. ALL ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.

EARTHWORK NOTES:

CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXACT EARTHWORK REQUIREMENTS (CUT, FILL, WALL, INVOF, ETC.) TO BRING SITE TO FINISHED GRADE. ANY ON-SITE REUSE OF ON-SITE DEMOLITION DEBRIS/MATERIALS MUST BE APPROVED BY THE GEOTECHNICAL ENGINEER.



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 wight.com
 2500 North Frontage Road
 Danville, IL 60011
 P 630.969.7000
 F 630.969.7777

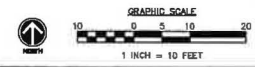
FAST VESTIBULE AND DRIVEWAY	03/04/2021	
FAST VESTIBULE AND DRIVEWAY	01/28/2021	
FAST VESTIBULE AND DRIVEWAY	01/12/2021	
FAST VESTIBULE AND DRIVEWAY		
REV	DESCRIPTION	DATE

**BELL WORKS
 CHICAGO
 EAST VESTIBULE**

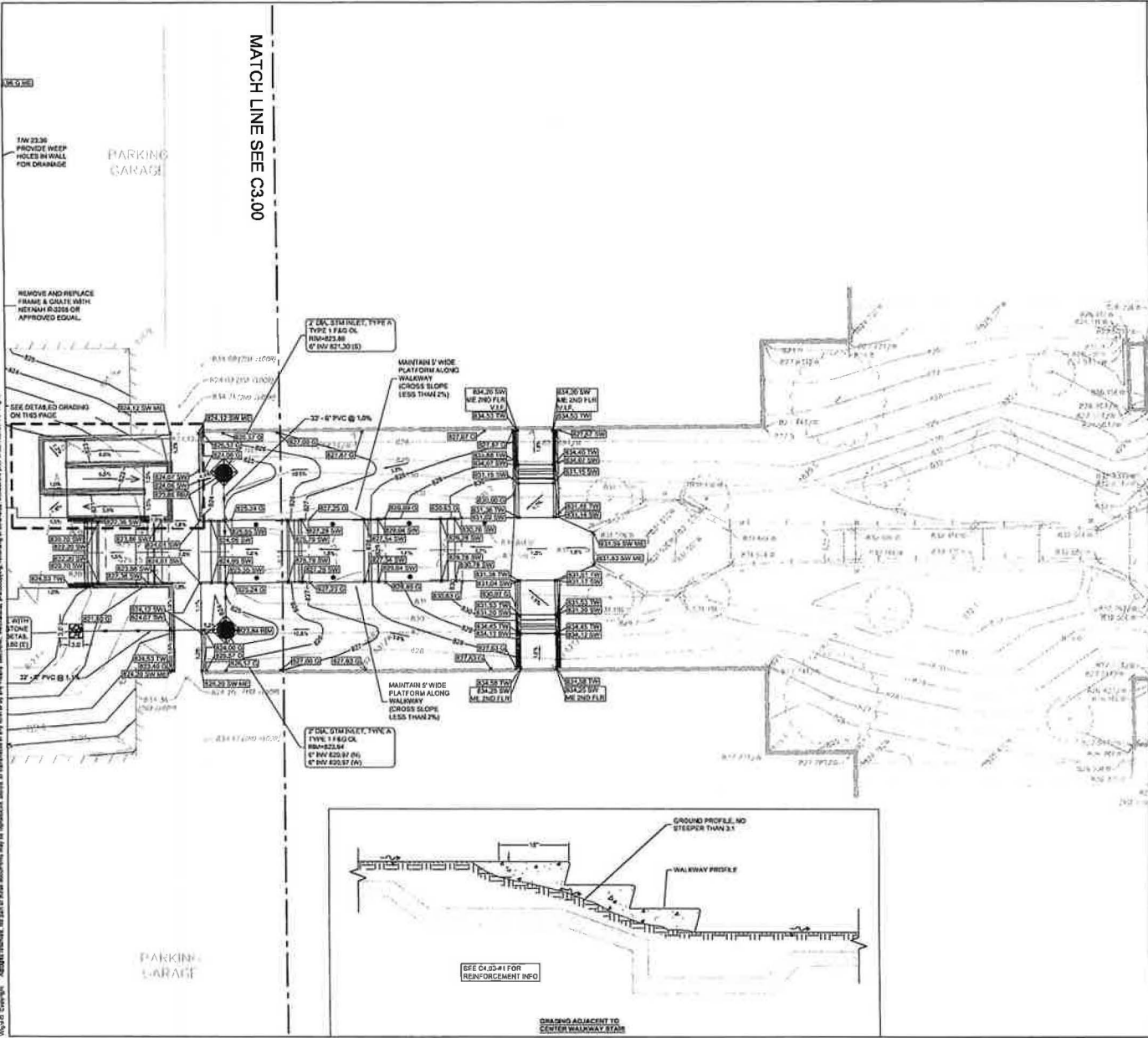
2000 AT&T CENTER DRIVE
 HOFFMAN ESTATES, IL 60192

**GRADING AND
 DRAINAGE PLAN
 EAST DRIVE IMPROVEMENT**

Product Number:
 200149
 Drawn By:
 SC
 Sheet



C3.00



LEGEND

ME	MATCH EXISTING ELEVATION
HP	HIGH POINT
TOP OF PAVEMENT ELEVATION	
GROUND ELEVATION	
TOP OF SIDEWALK ELEVATION	
RIM ELEVATION	
TOP OF CURB ELEVATION	
TOP OF WALL ELEVATION	
TOP OF DEPRESSED CURB ELEVATION	
EXISTING CONTOUR LINE	
PROPOSED CONTOUR LINE	
SLOPEFLOW DIRECTION	
INLET PROTECTION	

- NOTES:**
- CONTRACTOR TO VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, SLOPES, INVERTS, ETC. AND CONTACT ENGINEER IMMEDIATELY IF THERE ARE ANY CONFLICTS/INCOMPATIBILITIES. THE CONTRACTOR SHALL PROTECT ANY AND ALL TREES EITHER SHOWN OR NOT SHOWN ON THIS PLAN UNLESS OTHERWISE SPECIFIED. MINIMUM PROTECTION FOR TREES SHALL BE 4" INCH FENCE INSTALLED ALONG THE DIRT LINE OF TREES.
 - CONTRACTOR TO PROTECT ALL EXISTING UTILITIES.
 - ALL EXISTING UTILITY STRUCTURES SHALL BE ADJUSTED AS NECESSARY TO MATCH FINISH GRADE. ALL EXISTING UTILITY STRUCTURES REQUIRING ADJUSTMENT OR RECONSTRUCTION SHALL BE COMPLETED BY THE CONTRACTOR TO THE SATISFACTION OF THE UTILITY OWNER. ADJUSTMENTS AND/OR RECONSTRUCTIONS NOT CALLED FOR ON THIS PLAN SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. NO MORE THAN A TOTAL OF 8 INCHES OF ADJUSTING RINGS AND/OR 2 ADJUSTING RINGS SHALL BE ALLOWED.
 - ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE ILLINOIS ACCESSIBILITY CODE AND WITH THE AMERICANS WITH DISABILITIES ACT.
 - RAMP SHALL NOT EXCEED A RUNNING SLOPE OF 1:12 (8.33%). MAXIMUM CROSS-SLOPE ON ANY WALK OR RAMP SHALL BE 2%. ALL ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.

EARTHWORK NOTES:

CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXACT EARTHWORK REQUIREMENTS (CUT, FILL, PAUL, INVERT, ETC.) TO BRING SITE TO FINISHED GRADE. ANY ON-SITE RELEASE OF ON-SITE DEMOLITION DEBRIS MATERIALS MUST BE APPROVED BY THE GEOTECHNICAL ENGINEER.



Wight

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PART VESTIBULE APPROVAL 27	02/01/2021	
EAST VESTIBULE APPROVAL 1	01/26/2021	
EAST VESTIBULE APPROVAL 1	01/12/2021	
EAST VESTIBULE ISSUED FOR IMPROVED	11/18/2020	
REV	DESCRIPTION	DATE

**BELL WORKS
CHICAGO
EAST VESTIBULE**

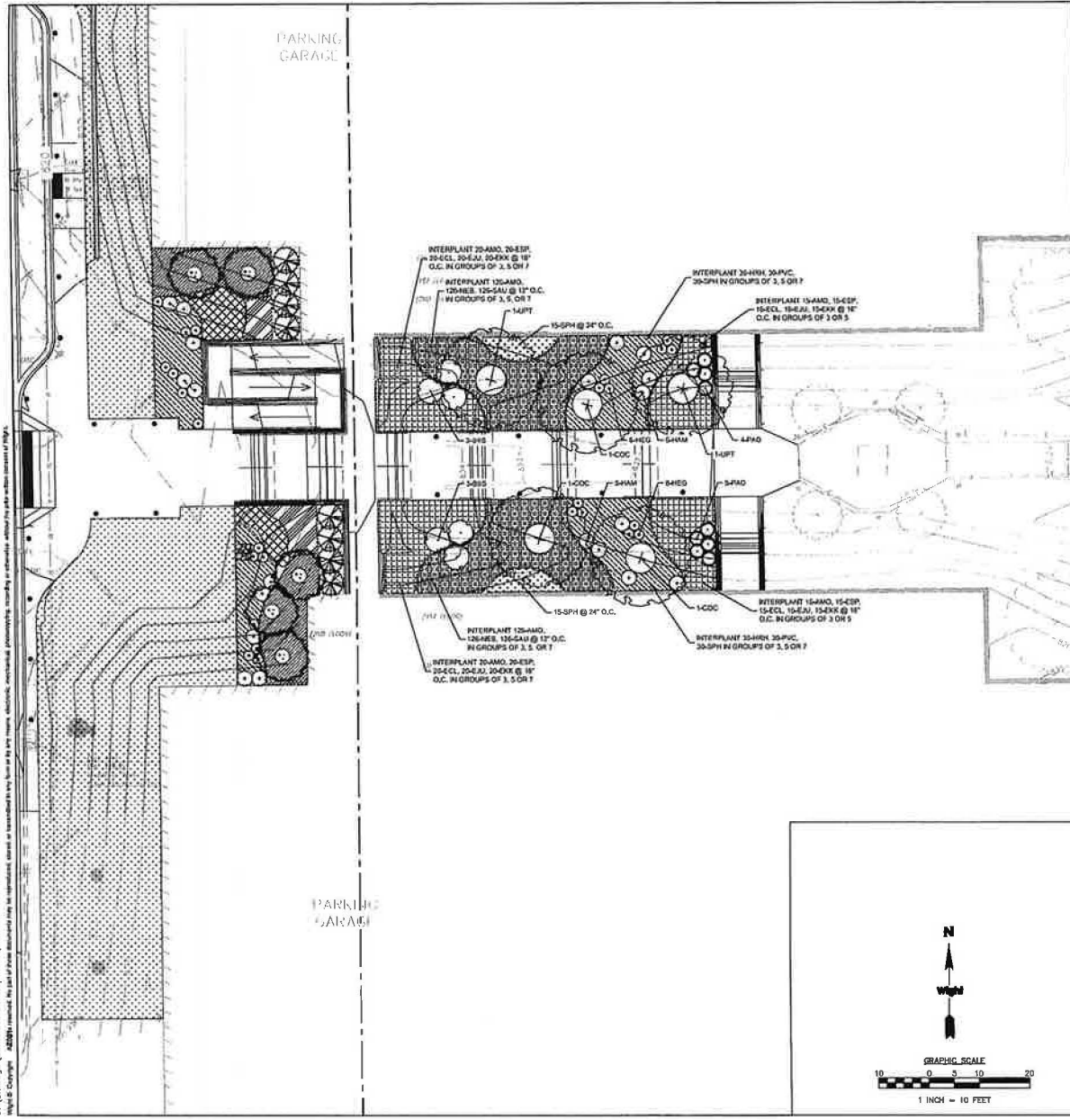
2000 AT&T CENTER DRIVE
HOFFMAN ESTATES, IL 60192

**GRADING AND
DRAINAGE PLAN
EAST WALKWAY**

Project Number:
200149
Drawn By:
SC
Sheet

C3.01

S:\Chicago\Someraset\Development\200072_Bell Works - East Vestibule\011 Drawings\02 CD\L1.00 LANDSCAPE PLAN.dwg sheet: Mor 01, 2021 4:38:02 pm
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LEGEND

- SOD
- PERENNIALS
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- ### LANDSCAPE NOTES
- SOD LIMIT LINE IS APPROXIMATE. RESTORE TO LIMITS OF DISTURBANCE. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED WITH TOPSOIL (MIN. 6" DEPTH) FERTILIZED OR SOD AS SHOWN.
 - ALL AREAS DISTURBED BY CONSTRUCTION IN THE R.O.W. SHALL BE RESTORED WITH TOPSOIL (MIN. 6" DEPTH) AND KENTUCKY BLUEGRASS SOD.
 - CONTRACTOR RESPONSIBLE TO RESTORE ALL AREAS DISTURBED BY CONSTRUCTION, OUTSIDE SCOPE LIMIT, TO EXISTING CONDITION.
 - ALL PROPOSED PLANTING BED AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED WITH TOPSOIL (MIN. 4" DEPTH) PRIOR TO PERENNIAL AND SHRUB INSTALLATION.
 - THE CONTRACTOR SHALL PROTECT ANY AND ALL TREES NOT SHOWN ON THE PLANS TO BE SAVED FROM DAMAGE DUE TO HIS OPERATIONS. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING AS SHOWN ON PLANS AND DETAILS PRIOR TO BEGINNING WORK.
 - THE CONTRACTOR WILL MAKE NO SUBSTITUTIONS WITHOUT PRIOR WRITTEN CONSENT BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR WILL SUBMIT ANY SUBSTITUTIONS IN WRITING TO THE LANDSCAPE ARCHITECT.
 - ALL PLANTING TECHNIQUES AND METHODS SHALL BE CONSISTENT WITH THE LATEST EDITION OF 'AMERICAN STANDARDS FOR NURSERY STOCK', AND AS DETAILED ON THESE DRAWINGS. DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT.
 - ALL PLANTING BEDS WILL RECEIVE 2" PREMIUM DOUBLE SHREDED HARDWOOD BARK. GROUNDCOVERS SHALL RECEIVE 1/2" CAREFULLY PLACED AROUND BASE OF PLANT.
 - TREES PLACED IN TUBE AREAS WILL HAVE 6" DIA. MULCH RING WITH 3" DEEP SPADE CUT EDGE.
 - ALL BEDLINES SHALL BE SPADE CUT TO A MIN. DEPTH OF 3". CURVED BEDLINES TO BE SMOOTH AND NOT SEGMENTED.
 - EXISTING TURF IN PROPOSED PLANTING AREAS SHALL BE STRIPPED AND REMOVED.
 - ALL PERENNIAL & SHRUB BEDS TO HAVE AROUND TOPSOIL. 2" MINIMUM ORGANIC MATTER SHALL BE TILLED INTO THE TOP 12" OF TOPSOIL THOROUGHLY TILL TO BREAK UP CLUMPS AND SPREAD EVENLY OVER SURFACE.
 - TREES SHALL BE INSTALLED A MINIMUM OF 10' HORIZONTALLY FROM NEAREST LIGHT POLE.
 - TREES SHALL BE INSTALLED A MINIMUM OF 8' HORIZONTALLY FROM UNDERGROUND ELECTRICAL FEEDERS.
 - TREES SHALL BE INSTALLED A MINIMUM OF 10' HORIZONTALLY FROM UTILITY STRUCTURES AND APPURTENANCES, INCLUDING, BUT NOT LIMITED TO MANHOLE, VALVE VALVE, VALVE BOXES, AND FIRE HYDRANTS.
 - ANY AREA CONTACTED BY CONSTRUCTION TRAFFIC SHALL BE FILLED OR RESTORED TO ALLOW FOR SUITABLE PLANTING CONDITIONS.
 - THE CROWNS AND ROOTS OF TREES WHICH ARE TO BE PRESERVED IN THE PROJECT AREA, BUT WHICH COULD BE NEGATIVELY AFFECTED DURING THE CONSTRUCTION PROCESS, SHALL BE PRUNED BY A QUALIFIED ARBORIST ACCORDING TO THE TREE PRUNING STANDARDS SET BY ANSI Z100 CODE.

DATE VISIT/REVISION	DESCRIPTION	
02/24/2021	DATE VISIT/REVISION	
07/20/2021	DATE VISIT/REVISION	
08/11/2021	DATE VISIT/REVISION	
11/10/2021	DATE VISIT/REVISION	
REV	DESCRIPTION	DATE



Wight

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BELL WORKS CHICAGO EAST VESTIBULE

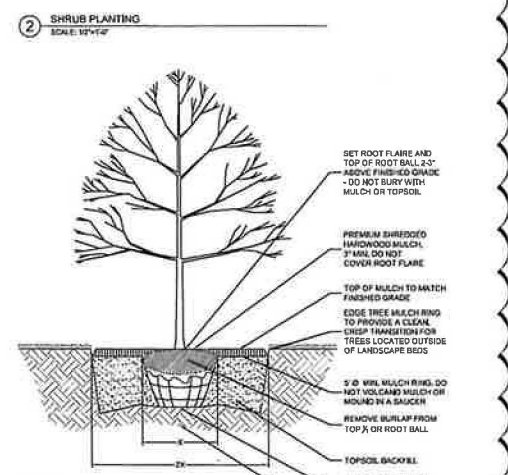
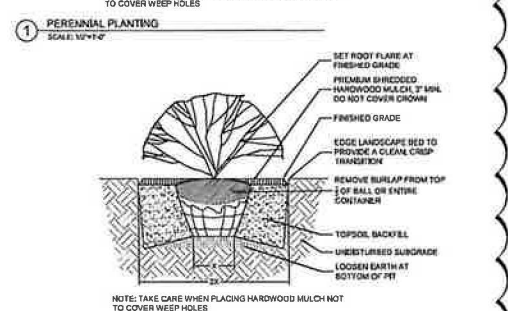
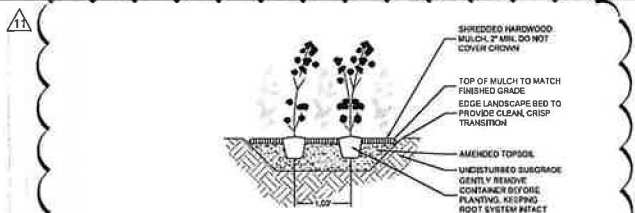
2000 AT&T CENTER DRIVE
 HOFFMAN ESTATES, IL 60192

LANDSCAPE PLAN EAST WALKWAY

Quantity	Code	Size	Botanic Name	Common Name	Height	Width
SHADE TREES						
3	COC	3' CAL	<i>Cornus occidentalis</i>	Hamamelis	50'	50'
2	SPF	3' CAL	<i>Ulmus x Peltandra</i>	Flamingo Elm	60-70'	15-40'
PERENNIALS / ORNAMENTAL GRASSES / GROUNDCOVERS						
322	AMG	#1	<i>Allium Millerianum</i>	Millennium Onion	12-18"	18-24"
8	BBS	#1	<i>Bejania a bicolor Starburst</i>	Starlike Bejanians Rose Hedge	2-3'	4-6'
70	ECL	#1	<i>Leucantra Cleopatra</i>	Cleopatra Coreopsis	12-18"	12-18"
70	EJU	#1	<i>Erigeron Juno</i>	Summerly Juno Coreopsis	12-18"	12-18"
70	EKK	#1	<i>Erigeron King's Crown Height</i>	King's Crown High Coreopsis	12-18"	12-18"
70	ESP	#1	<i>Erigeron spectabilis</i>	Purple Coreopsis	18-24"	12-18"
60	HNU	#1	<i>Hebeboron Royal Navigator</i>	Royal Heritage Garden Rose	18-24"	18-24"
10	HMM	#1	<i>Hebe Royal Moon</i>	Hebe	18-24"	2-4'
12	HSG	#1	<i>Hebe Royal Moon</i>	Shepherd's Fuchsia Glass Haze	18-24"	24-36"
252	NEB	#1	<i>Hebe x fasciata Tilly Bird</i>	Early Bird Columbine	12-18"	15-18"
60	PVC	#1	<i>Panicum virgatum Cheyenne Sky</i>	Cheyenne Sky Switch Grass	36-48"	18-24"
9	PAD	#1	<i>Pennisetum alopecuroides Desert Flame</i>	Desert Flame Fountain Grass	24-36"	36-48"
252	SAU	#1	<i>Sedella autumnalis</i>	Autumn Moon Grass	18-24"	12-18"
90	SHH	#1	<i>Scoroparia heterophylla</i>	Flamingo Engelmans	24-36"	18-24"

Project Number:
 200140
 Drawn by:
 LR
 Date:

L1.01



NOTES:
 1. PRUNE TO THIN AND SHAPE TREE CANOPY PER SPECIFICATIONS
 2. APPLY STAKES AND/OR GUY Wires AS INDICATED IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT

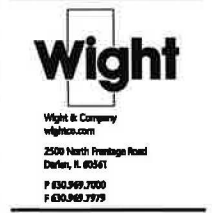
SECTION 329200 - LAWNS AND GRASSES

- PART 1 - SUMMARY**
- 1.01 SUMMARY
 - A. Section Includes
 - 1. Sodding
 - 2. Fertilizer
 - 3. Maintenance
 - 1.02 RELATED DIVISIONS
 - A. Sodding of general areas of General Building General and Substructure Conditions and other Division 1 Subdivision Section 1 including soil subgrade
 - B. Sodding of Special Site Sodding
 - 1. Sodding of Special Site Sodding
 - 2. Sodding of Special Site Sodding
 - 3. Sodding of Special Site Sodding
 - 4. Sodding of Special Site Sodding
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 - 4. Sodding of Special Site Sodding
 - 1.03 MATERIALS
 - A. Sodding
 - 1. Sodding of Special Site Sodding
 - 2. Sodding of Special Site Sodding
 - 3. Sodding of Special Site Sodding
 - 4. Sodding of Special Site Sodding
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 - 1.04 INSTALLATION
 - A. Sodding of Special Site Sodding
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 - 1.05 MAINTENANCE
 - A. Sodding of Special Site Sodding
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 - 4. Sodding of Special Site Sodding

- PART 2 - PRODUCTS**
- 2.01 FERTILIZER
 - A. Turfgrass Fertilizer
 - 1. Turfgrass Fertilizer
 - 2. Turfgrass Fertilizer
 - 3. Turfgrass Fertilizer
 - 4. Turfgrass Fertilizer
 - 2.02 FERTILIZER
 - A. Turfgrass Fertilizer
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 - 2. Turfgrass Fertilizer
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 - 2.03 FERTILIZER
 - A. Turfgrass Fertilizer
 - 1. Turfgrass Fertilizer
 - 2. Turfgrass Fertilizer
 - 3. Turfgrass Fertilizer
 - 4. Turfgrass Fertilizer
 - 2.04 FERTILIZER
 - A. Turfgrass Fertilizer
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 - 4. Turfgrass Fertilizer

- 1.06 MAINTENANCE**
- A. Sodding of Special Site Sodding
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- 1.07 MAINTENANCE**
- A. Sodding of Special Site Sodding
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 - 4. Sodding of Special Site Sodding



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REV	DESCRIPTION	DATE
REV 1	ISSUE FOR PERMITS	04/14/2021
REV 2	ISSUE FOR PERMITS	04/14/2021
REV 3	ISSUE FOR PERMITS	04/14/2021
REV 4	ISSUE FOR PERMITS	04/14/2021
REV 5	ISSUE FOR PERMITS	04/14/2021

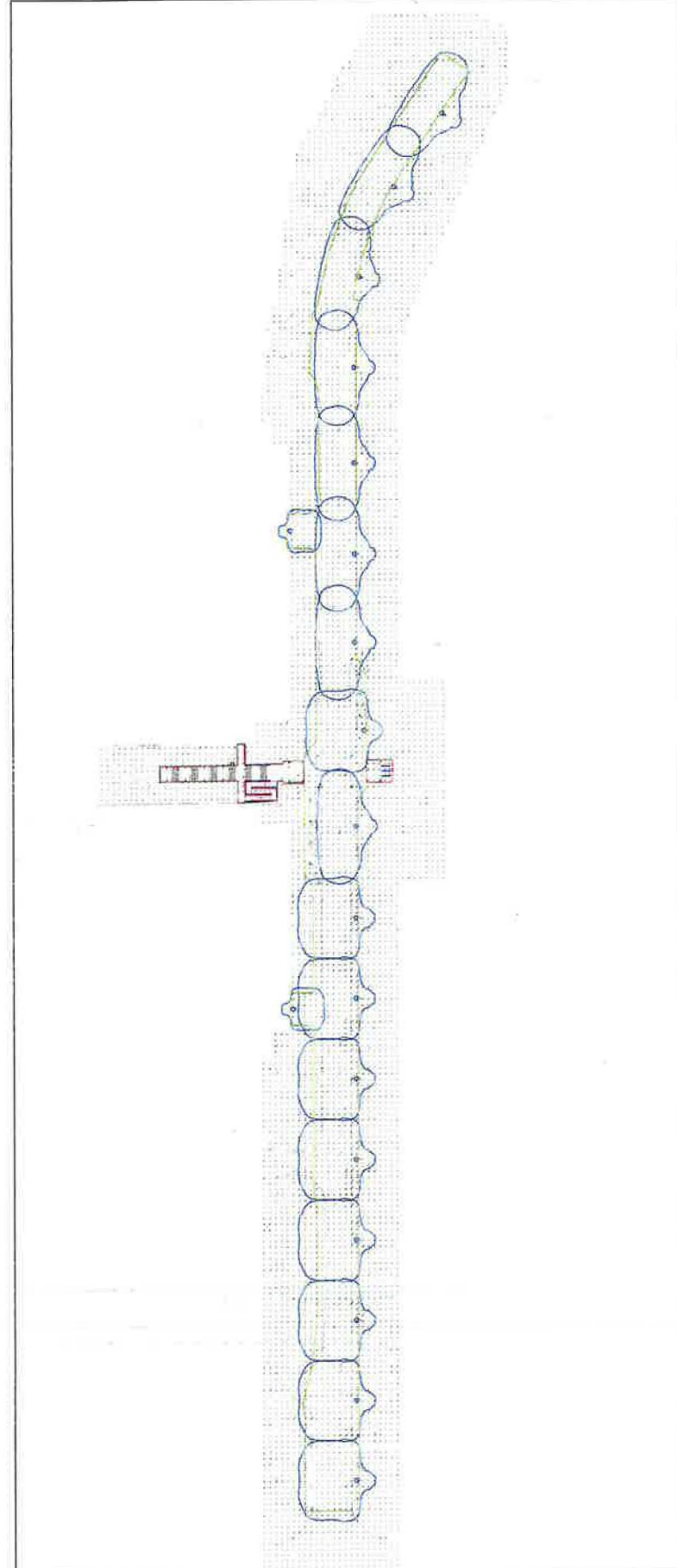
**BELL WORKS
 CHICAGO
 EAST VESTIBULE**

2000 AT&T CENTER DRIVE
 HOFFMAN ESTATES, IL 60192

LANDSCAPE SPECIFICATIONS AND DETAILS

Project Number:
 200149
 Owner By:
 PK
 Sheet:

L1.02



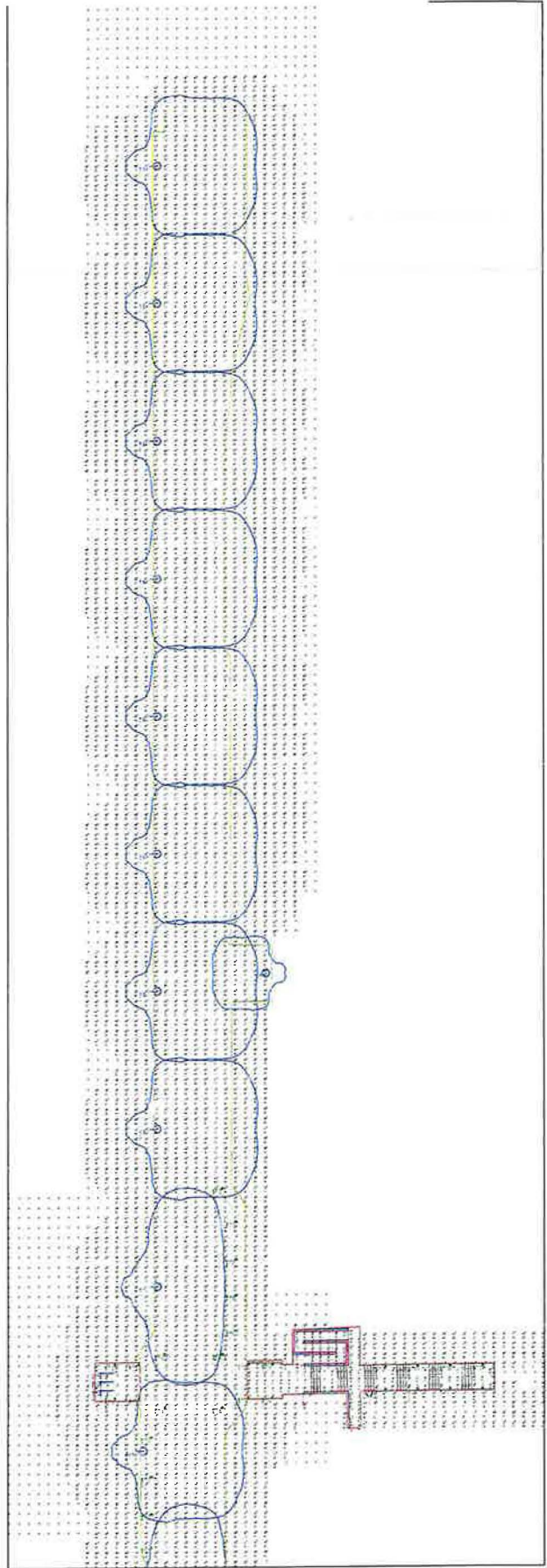
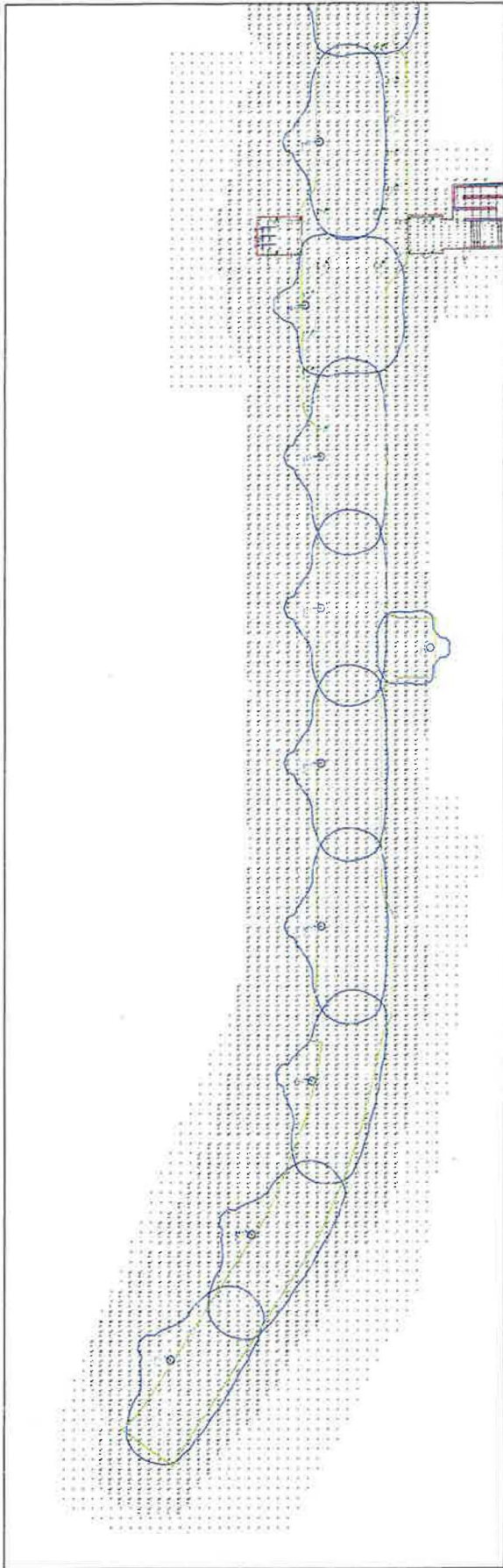
Luminance Schedule - Row numbers are provided by the manufacturer and are only intended to be used as a reference to output and optics used.

Symbol	Qty	Tag	Label	Arrangement	Lum. Wall	Air. Wall	Lum. Lumens	Air. Lumens	LUF	Manufacturer	Description
⊙	8	A	CC17A2-S61-275-4K7-3-NO LENS-X-X	SINGLE	84.52	84.52	7977	7977	0.000	KRM LIGHTING	1X-CC17A2-S61-275-4K7-3-NO LENS-X-X
⊙	30	A	ME-LO-407-407-1	SINGLE	25.9	25.9	2514	2514	0.250	KRM LIGHTING	3X-ME-LO-407-407-1 (3x) - 1000000 60961
⊙	6	C	ME-LO-407-407-1	SINGLE	18.54	18.54	1985	1985	0.000	Inopti Lighting	ME-LO-407-407-1 (6) - 48-UVV X X IRLC-REF
⊙	4	H	VR1528-H1035-30A5-21-25in	SINGLE	8	8	357	357	0.000	INTENSE LIGHTING	VR15-RP5-H1035-30A5-21-25in (Continuous length) [BD]
⊙	80	H	VR1528-H1035-30A5-21-25in	SINGLE	12	12	535	535	0.000	INTENSE LIGHTING	VR15-RP5-H1035-30A5-21-25in (Continuous length) [BD]
⊙	2	W	CC17A2-S61-275-4K7-4	SINGLE	28.31	28.31	3240	3240	0.000	KRM LIGHTING	1X-CC17A2-S61-275-4K7-4-NO LENS-X-X

Calculation Summary

Label	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
Overall Site, Planar	fc	1.07	26.8	0.0	N/A	N/A	Readings @ Grade
Zone 1-Ramp, Side, Garage Entry	fc	8.95	37.3	0.1	89.50	323.00	READINGS @ 31AHS
Zone 2-Ramp, Side, Garage Entry	fc	2.53	8.9	0.6	4.72	14.83	Readings @ Grade
Zone 3-Bldg Entry, Canopy	fc	10.98	36.3	0.1	109.80	363.00	Readings @ Grade
Zone 4-Bldg Entry, Canopy	fc	13.84	26.8	4.3	31.72	6.73	Readings @ Grade

Basic (typical residential)	Basic (improves security, results in voided)	Security (interior)	High Security (interior)
Footcandle	Footcandle	Footcandle	Footcandle
2.000	5.000	10.000	30.000
200	151	151	247
100%	100%	100%	100%
12-011	5-010	12-011	12-011



PG-Enlighten is neither licensed nor insured to determine code compliance. Code compliance review by others.

Project Name: BELL WORKS CHICAGO-BWC EAST DRIVE	Location: 2000 AT&T CENTER DR, HOFFMAN ESTATES, IL
---	---

Drawn By: Joel Collins
Drawn By: joel.collins@pg-enlighten.com
Date: 4/26/2021
Scale: 1" = 25'

#	Date	Comments

PG enlighten

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Project Name: **BEIL WORKS CHICAGO-BWC EAST DRIVE**
 Location: **2000 A.T.T CENTER DR, HOFFMAN ESTATES, IL**

Scale: 1" = 12'
 Date: 4/26/2021
 Drawn By: Joe Colins
 Drawn By: jcolins@pg-enlighten.com

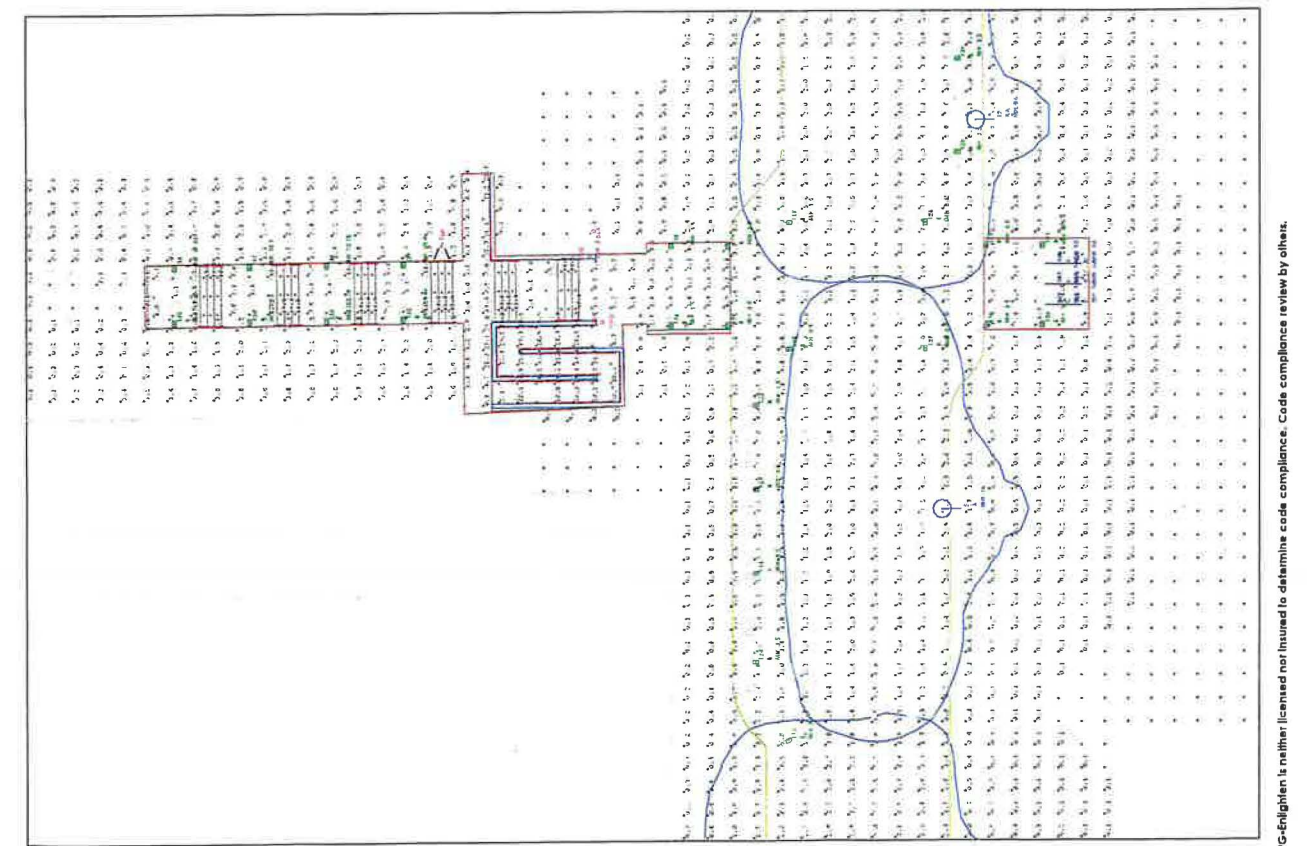
Revisions	#	Date	Comments



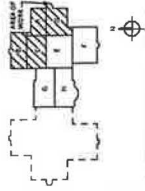
enlighten
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 Chicago, IL 60606
 Tel: 773.233.1100
 Fax: 773.233.1101
 www.pg-enlighten.com

Station	Point	Easting	Northing	Height	Curve	Grade	Offset	IR
100	100+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
101	101+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
102	102+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
103	103+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
104	104+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
105	105+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
106	106+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
107	107+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
108	108+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
109	109+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
110	110+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
111	111+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
112	112+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
113	113+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
114	114+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
115	115+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
116	116+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
117	117+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
118	118+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
119	119+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
120	120+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00

Station	Point	Easting	Northing	Height	Curve	Grade	Offset	IR
121	121+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
122	122+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
123	123+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
124	124+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
125	125+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
126	126+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
127	127+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
128	128+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
129	129+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
130	130+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
131	131+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
132	132+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
133	133+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
134	134+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
135	135+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
136	136+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
137	137+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
138	138+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
139	139+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00
140	140+00	1000.00	1000.00	100.00	0.00	0.00	0.00	0.00



PG-Enlighten is neither licensed nor insured to determine code compliance. Code compliance review by others.



NOT FOR CONSTRUCTION

BELL WORKS
CHICAGO-BWC EAST
DRIVE

2000 AT&T CENTER DRIVE
HOFFMAN ESTATES, IL 60142

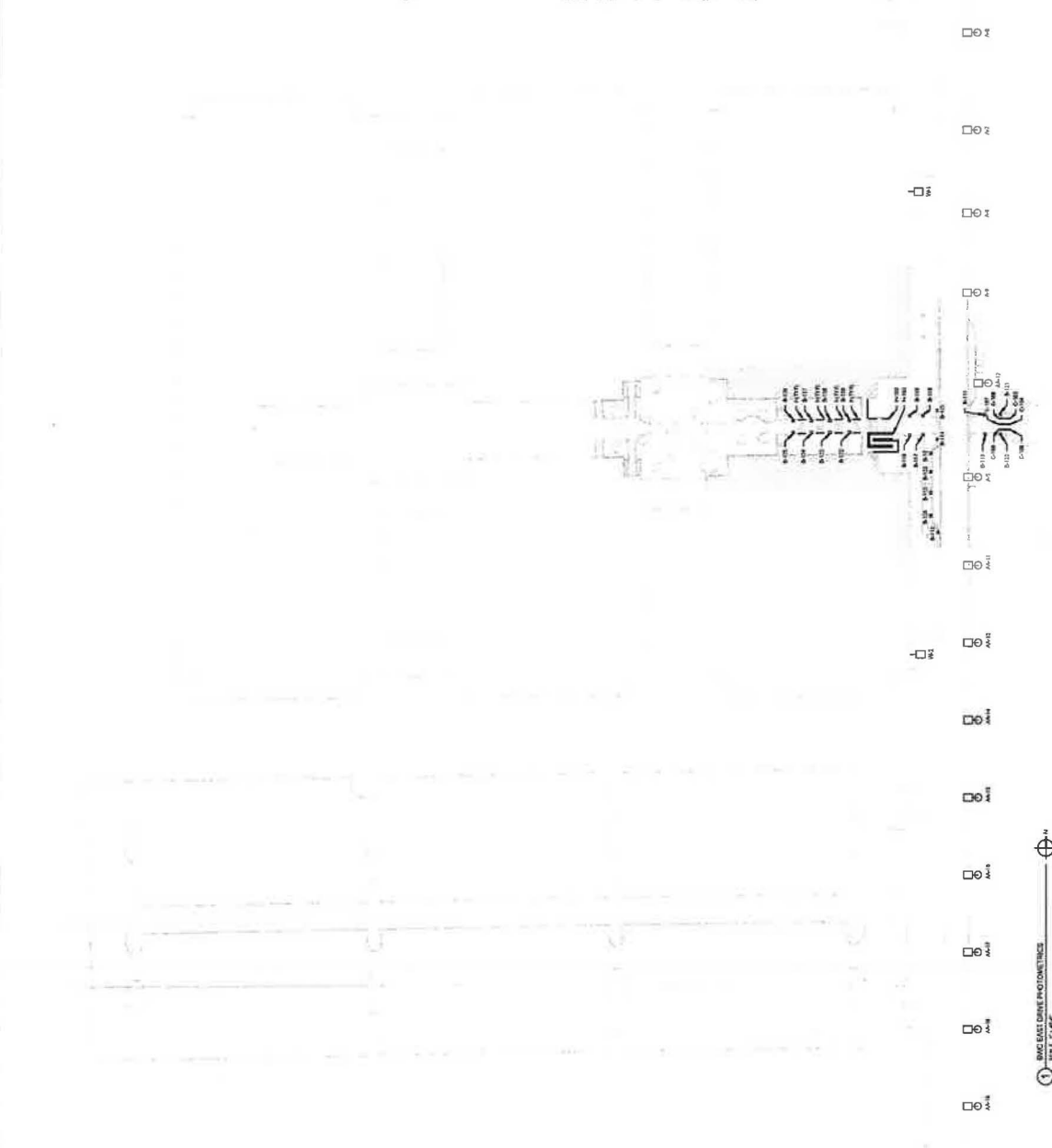
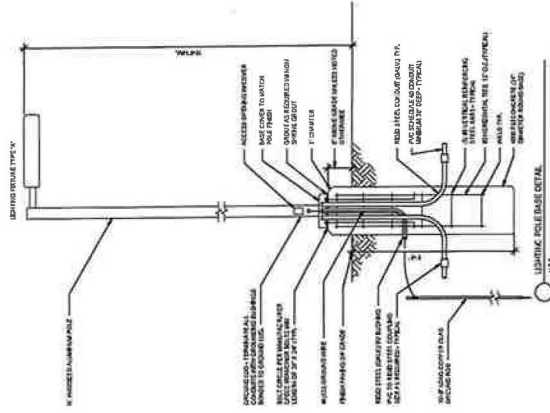
BWC EAST DRIVE
PHOTOMETRICS

Project Number:
200408
Date:
A0201
Sheet:

E1.01

ELECTRICAL LIGHTING PLAN (GENERAL NOTES)

1. INSTALLATION APPROVED BY ALL APPLICABLE CODES.
2. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ILLINOIS ELECTRICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
3. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ELECTRICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
4. PROVIDE ALL NECESSARY ELECTRICAL MATERIALS AND LABOR FOR ALL ELECTRICAL WORK.
5. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ELECTRICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
6. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ELECTRICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
7. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS ELECTRICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
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Luminaire Schedule Symbol	Qty	Log	Label	Arrangement	Lum. Watts	Air. Watts	Lum. Lumen	Air. Lum. Lumen	LF	Manufacturer	Description
○	8	A	CC1742-38L-735-487-3-NO LENS-X-4	PHGCLL	94.52	64.32	9997	4999	0.700	KOOLIGHTING	1X CCT1742-38L-735-487-3-NO LENS-X-4
○	8	B	CC1742-38L-735-487-3-NO LENS-X-4	PHGCLL	94.52	64.32	9997	4999	0.700	KOOLIGHTING	1X CCT1742-38L-735-487-3-NO LENS-X-4
○	30	C	AR-LC-40-40-45-1	PHGCLL	25.9	55.9	2511	2511	0.300	KOOLIGHTING	30x1-18-44-40-200K (Recessed) (no used in project)
○	4	H	1001358-10-35-3005-27-75-10-1	PHGCLL	18.54	18.54	1785	1785	0.600	Indigo Lighting	4x1-18-44-40-200K (Recessed) (no used in project)
○	4	H	1001358-10-35-3005-27-75-10-1	PHGCLL	6	6	337	337	0.700	INTENSE LIGHTING	4x1-18-44-40-200K (Recessed) (no used in project)
○	80	H	1001358-10-35-3005-27-75-10-1	PHGCLL	17	17	335	335	0.900	INTENSE LIGHTING	80x1-18-44-40-200K (Recessed) (no used in project)
○	2	W	CC1742-38L-735-487-3-NO LENS-X-4	PHGCLL	20.71	20.71	3740	3740	0.700	KOOLIGHTING	2x CCT1742-38L-735-487-3-NO LENS-X-4