

This meeting is being held via telephonic attendance

AGENDA

*Village of Hoffman Estates
Second Meeting of the Month
Village Board of Trustees*

*1900 Hassell Road
Hoffman Estates, IL 60169
847/882-9100*

Board Room	7:00 p.m.	February 15, 2021
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1. **CALL TO ORDER/ROLL CALL**
2. **PLEDGE OF ALLEGIANCE TO THE FLAG**
3. **RECOGNITION OF AUDIENCE**
4. **APPROVAL OF MINUTES** – February 1, 2021
5. **CONSENT AGENDA/OMNIBUS VOTE (Roll Call Vote)**
(All items under the Consent Agenda are considered to be routine in nature and will be enacted by one motion. There will be no separate discussion of these items unless a Trustee so requests. In that event, the discussion will be the first item of business after approval of the Consent Agenda.)
 - A. Approval of Agenda
 - B. Approval of the schedule of bills for February 15, 2021 - \$4,808,716.39
 - C. Request Board approval of an Ordinance granting a special use to Koko Marina, LLC (owner) and Henry Zuwala (applicant), 1280 Higgins Road.
 - D. Request Board approval of an Ordinance supporting a Cook County Class 7C classification renewal application for property tax assessment purposes for the shopping center site located at 719 W. Golf Road.
 - E. Request Board approval of an Ordinance authorizing the execution of an Intergovernmental Agreement between the Village of Hoffman Estates and the O'Hare Noise Compatibility Commission.
 - F. Request Board approval of request by the Hoffman Estates Park District for site plan approval for park enhancements and on-site parking at Birch Park (1045 Ash Road).
 - G. Request Board authorization award contract for consulting services for the amendment of the Higgins-Old Sutton TIF to SB Friedman Development Advisors, Chicago, IL, in an amount not to exceed \$31,540.
 - H. Request Board approval of a revised Agreement of Understanding for Maintenance and Construction with IDOT.
 - I. Request Board approval of two IDOT resolutions to appropriate Motor Fuel Tax Funds for:
 - 1) 2021 Street Revitalization project in an amount not to exceed \$1,575,000; and
 - 2) 2021 Traffic Signal Maintenance and Opticom repairs in an amount not to exceed \$120,000.

5. CONSENT AGENDA/OMNIBUS VOTE (Roll Call Vote) -- Continued

- J. Request Board approval of IDOT resolution to appropriate Rebuild Illinois bond funds for the 2021 Street Revitalization project in an amount not to exceed \$1,710,000.
- K. Request Board authorization to:
 - 1) waive formal bidding; and
 - 2) purchase three (3) tents for the Village Green/Beer Garden from Kata Tent via eBay auction, sole source provider, in an amount not to exceed \$28,000.

6. REPORTS (INFORMATION ONLY)

- A. **President's Report**
 - . . . Proclamation(s)
 - Brian Petersen Day (20 Years' Service)
 - National Engineers Week
 - . . . Presentation(s)
 - Fire Chief's Award of Merit to Firefighter/Paramedic Vincent Bava
- B. **Trustee Comments**
- C. **Village Manager's Report**
- D. **Village Clerk's Report**
- E. **Treasurer's Report**
- F. **Committee Reports**
 - Finance
 - Public Works & Utilities
 - Public Health & Safety

7. PLANNING & ZONING REPORTS

- A. Request by Hoffman Estates Acquisitions, LLC and Somerset Development, LLC (owner and applicant) for a site plan amendment to modify the eastern building entrance, remove a pedestrian skywalk, and modify the drive aisle configuration at the Bell Works property located at 2000 Center Drive, with 4 conditions (see packets).

Voting: 10 Ayes, 1 Abstain

Motion carried.

8. ADDITIONAL BUSINESS**9. ADJOURNMENT**

MEETING: **HOFFMAN ESTATES VILLAGE BOARD**
DATE: **FEBRUARY 1, 2021**
PLACE: **COUNCIL CHAMBERS**
MUNICIPAL BUILDING COMPLEX
1900 HASSELL ROAD
HOFFMAN ESTATES, ILLINOIS

1. CALL TO ORDER:

Village President William McLeod called the meeting to order at 7:00 p.m. The Village Clerk called the roll. Trustees present: Anna Newell, Gary Pilafas, Gary Stanton, Michael Gaeta, Karen Arnet, Karen Mills
A quorum was present.

ADMINISTRATIVE PERSONNEL PRESENT:

R. Musiala, Acting Village Manager
D. O'Malley, Deputy Village Manager
A. Janura, Corporation Counsel
P. Cross, Asst. Corporation Counsel
K. Cawley, Acting Police Chief
J. Nebel, Public Works Director
F. Besenhoffer, IS Director
M. Saavedra, H&HS Director
P. Seger, HRM Director
P. Gugliotta, Planning, Building & Code Enforcement Director
P. Bilodeau, Acting Fire Chief
R. Signorella, CATV Director
S. Ostrovsky, Asst. to the Village Manager

2. PLEDGE OF ALLEGIANCE TO THE FLAG:

The Pledge was led Trustee Newell.

3. RECOGNITION OF AUDIENCE:

No one wished to be recognized.

4. APPROVAL OF MINUTES:

Motion by Trustee Stanton, seconded by Trustee Arnet, to approve Item 4. Voice vote taken.
6 Ayes, 1 Abstain

Approval of Minutes
Minutes from January 18, 2021.

5. CONSENT AGENDA/OMNIBUS VOTE:

Motion by Trustee Mills, seconded by Trustee Stanton, to approve Item 5.A.

5.A. Approval of Agenda

Roll Call:

Aye: Newell, Pilafas, Stanton, Gaeta, Arnet, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Stanton, to approve Item 5.B.

5.B. Approval of the schedule of bills for February 1, 2021 - \$3,328,927.52.

Roll Call:

Aye: Newell, Pilafas, Stanton, Gaeta, Arnet, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Stanton, to approve Item 5.C.

5.C. Request Board approval to complete the Fire Department administrative restructuring/succession plan by establishing the position of Chief Fire Inspector.

Roll Call:

Aye: Newell, Pilafas, Stanton, Gaeta, Arnet, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Stanton, to approve Item 5.D.

5.D. Request Board authorization to waive formal bidding; and award contract for purchase of a 2020 Pierce Tower Ladder to Macqueen Equipment, LLC, Aurora, IL, in an amount not to exceed \$1,384,474.

Roll Call:

Aye: Newell, Pilafas, Stanton, Gaeta, Arnet, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Stanton, to approve Item 5.E.

5.E. Request Board authorization to enter into an Installment Purchase Contract (Lease) Financing agreement with JPMorgan Chase Bank, N.A. for the financing of approximately \$2 million of vehicle purchases.

Roll Call:

Aye: Newell, Pilafas, Stanton, Gaeta, Arnet, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Stanton, to approve Item 5.F.

5.F. Request Board authorization to award a contract for purchase of four (4) new amplifiers for the NOW Arena public address system to Visua, Neenah, WI, in the amount not to exceed \$20,627.67; and waive formal bidding; and award a contract to install four (4) amplifiers to Visua, Neenah, WI, including installation and start up in an amount not to exceed \$3,964.53; in the total amount of \$24,592.20.

Roll Call:

Aye: Newell, Pilafas, Stanton, Gaeta, Arnet, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Stanton, to approve Item 5.G.

5.G. Request Board authorization to award contract for asset management software and implementation services to Cartegraph Systems, LLC. in an amount not to exceed \$150,000.

Roll Call:

Aye: Newell, Pilafas, Stanton, Gaeta, Arnet, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Stanton, to approve Item 5.H.

5.H. Request Board authorization to waive formal bidding; and purchase replacement Water/Sewer vehicles through Suburban Cooperative Contract from Currie Motors, Frankfort, IL, in an amount not to exceed \$65,973.

Roll Call:

Aye: Newell, Pilafas, Stanton, Gaeta, Arnet, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Stanton, to approve Item 5.I.

5.I. Request Board authorization to waive formal bidding; and purchase one trailer mounted 2021 Vermeer Model LP573XDT Hydro Vac System through Vermeer Midwest, Inc., Aurora, IL (Sourcewell Cooperative Purchasing Program) in an amount not to exceed \$63,549.

Roll Call:

Aye: Newell, Pilafas, Stanton, Gaeta, Arnet, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee, seconded by Trustee, to approve Item 5.J.

5.J. Request Board authorization to waive formal bidding; and purchase Neptune Meters from Water Resources, Inc., Elgin, IL (sole supplier), at 2021 unit prices, in an amount not to exceed \$60,000.

Roll Call:

Aye: Newell, Pilafas, Stanton, Gaeta, Arnet, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

6. REPORTS:

6.A. President's Report

Proclamations

Trustee Arnet read the following proclamation.

Motion by Trustee Gaeta, seconded by Trustee Mills, to concur with the proclamation proclaiming Friday, February 12, 2021 as Kevin Arendt Day. Voice vote taken. All ayes. Motion carried.

Trustee Newell read the following proclamation.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to concur with the proclamation proclaiming Friday, February 5, 2021 as Janet Bunn Day. Voice vote taken. All ayes. Motion carried.

Trustee Mills read the following proclamation.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to concur with the proclamation proclaiming Friday, February 12, 2021 as Robert Orr Day. Voice vote taken. All ayes. Motion carried.

Trustee Gaeta read the following proclamation.

Motion by Trustee Stanton, seconded by Trustee Mills, to concur with the proclamation proclaiming February 2021 as American Heart Month. Voice vote taken. All ayes. Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Mills, to approve the resignation, with regrets, of Jim Rambert from the Celebrations Commission. Voice vote taken. All ayes. Motion carried.

Motion by Trustee, seconded by Trustee, to approve the resignation, with regrets, of Cheryl Rogan from the Sister Cities Commission. Voice vote taken. All ayes. Motion carried.

Motion by Trustee, seconded by Trustee, to approve the resignation, with regrets, of David Rogan from the Sister Cities Commission. Voice vote taken. All ayes. Motion carried.

Mayor McLeod reminded everyone of the following upcoming events, the Lions Club will be holding a food drive at the NOW arena Saturday, February 6th from 10-2 and he spoke about the Valentine's Day card collection that is going on, the cards will then be brought to senior living locations. He stated that he attended our EOC meeting, a NOW arena financial review meeting, a NWMC transportation meeting and a meeting with Cook County President Preckwinkle.

6.B. Trustee Comments

Trustee Newell stated that she attended the virtual town hall meeting that discussed mentoring.

Trustee Arnet said that it was nice to see everyone back in person.

Trustee Pilafas stated that he attended the NOW arena financial meeting and he also talked about the staffing of our police and fire departments.

Trustee Mills said that it was nice to see everyone in person, she hopes that everyone be careful and stays safe and she commented on the good job that public works did with clearing the snow.

Trustee Gaeta stated that he attended the swearing in of Phil Giacone to sergeant, a Fire & Police Commission meeting and a virtual town hall meeting where Parenting during a Pandemic was discussed.

Trustee Stanton stated that he attended the Life Changer Great Citizen award presentation, the swearing in of FF/PM Nicholas Kelm and a meeting with one of our local gas station owners to discuss his plans for his business.

6.C. Village Manager's Report

Ms. Musiala had no report.

6. D. Village Clerk's Report

The Village Clerk stated that during the month of January 126 FOIA requests were received and 33 passport applications were processed.

6.E. Committee Reports

Transportation & Road Improvement

Trustee Mills stated that they would be meeting to request approval of an ordinance authorizing an amendment of the Intergovernmental Agreement with the City of Chicago relating to the O'Hare Noise Compatibility Commission; request approval of a revised Agreement of

Understanding for Maintenance and Construction with IDOT; request approval of two IDOT resolutions to appropriate Motor Fuel Tax Funds for 2021 Street Revitalization project in an amount not to exceed \$1,575,000; and 2021 Traffic Signal Maintenance and Opticom repairs in an amount not to exceed \$120,000; request approval of IDOT resolution to appropriate Rebuild Illinois bond funds for the 2021 Street Revitalization project in an amount not to exceed \$1,710,000 and to receive and file the Transportation Division Monthly Report

Planning, Building & Zoning

Trustee Stanton stated that they would be meeting to Request by the Hoffman Estates Park District for site plan approval for park enhancements and on-site parking at Birch Park (1045 Ash Road); update on Village Green Improvement Project and to receive and file the Planning Division monthly report, the Code Enforcement Division monthly report and the Economic Development and Tourism monthly report.

General Administration & Personnel

Trustee Arnet stated that they would be meeting to receive and file the Cable TV Monthly Report, the Human Resources Management Monthly Report and the Legislative Operations & Outreach Monthly Report.

7. PLANNING & ZONING:

Motion by Trustee Gaeta, seconded by Trustee Pilafas, to concur with the Planning & Zoning Commission's recommendation and approve the petitioners' request.

7.A. Approval of a request by Koko Marina, LLC (owner) and Henry Zuwala (applicant) to consider a Special Use under Section 9-8-2-C-9 of the Zoning Code to permit a stand-alone parking lot on the property located at 1280 W. Higgins Road, subject to the following conditions:

1. The parking shall only be used by employees and customers of the commercial uses at 1475 Glen Lake Road. No boats, RVs, disabled vehicles, or vehicles from other commercial uses shall be permitted to use the parking lot. No sales or display of vehicles for sale may occur from the subject property.
2. There shall be no exterior storage or displays on the subject property.
3. The cross access easement shall remain in effect and shall not be blocked or impeded by any current or future user of the property.
4. This Special Use is granted solely to Koko Marina, LLC (Steven Rempas, Manager) and is not transferable.

Discussion

Trustee Pilafas asked if there was any thought that it would become more than parking.

Chairperson Combs responded no and that the lot will actually be up for sale.

Trustee Mills asked is the reason that there are no handicapped spaces there because they are all in the lot closer to the building.

Chairperson Combs replied yes.

Trustee Stanton asked if they are already using the lot.

Chairperson Combs responded no, the lot will be used by employees.

Motion by Trustee Stanton, seconded by Trustee Mills, to amend condition #4 to read; This Special Use is granted solely to Koko Marina, LLC (Steven Rempas, Manager) and is not transferable and this item is to be reviewed in one year if no lease or sale of the property has occurred. Voice vote taken. All ayes. Motion carried.

Roll Call:

Aye: Newell, Pilafas, Stanton, Gaeta, Arnet, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

8. ADDITIONAL BUSINESS:

Motion by Trustee Gaeta, seconded by Trustee Pilafas, to approve Item 8.A.

8A. Request Board approval of Ordinance No. 4836-2021 amending Section 8-3-22, Number of Licenses, of Article 3, Alcoholic Liquors, of the Hoffman Estates Municipal Code (decrease in number of Class "A" and Class "LC" licenses - America's Bar & Grill LLC d/b/a America's Bar Grill, 2308 W. Higgins Road, Hoffman Estates).

Roll Call:

Aye: Newell, Pilafas, Stanton, Gaeta, Arnet, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

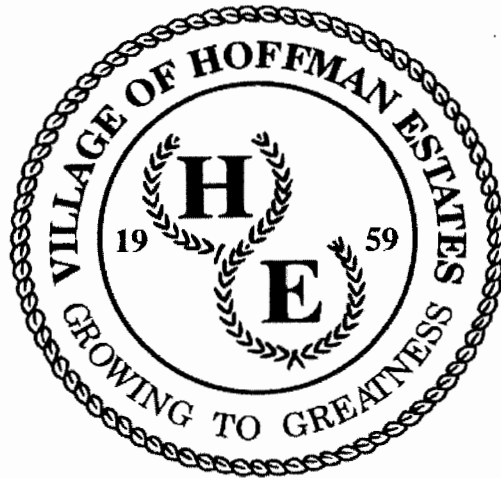
9. ADJOURNMENT:

Motion by Trustee Gaeta, seconded by Trustee Mills, to adjourn the meeting. Time: 7:31 p.m. Voice vote taken. All ayes. Motion carried.

Bev Romanoff
Village Clerk

Date Approved

The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.



BILL LIST SUMMARY

BILL LIST AS OF 02/15/2021	\$	892,815.81
MANUAL CHECKS 01/29 - 02/11/2021	\$	4,338.00
WIRE TRANSFERS 01/01 - 01/31/2021	\$	2,321,476.09
CREDIT CARD CHARGES 12/6 - 01/05/21	\$	207,335.94
PAYROLL 02/12/2021	\$	1,382,750.55
TOTAL	\$	4,808,716.39

VILLAGE OF HOFFMAN ESTATES

February 15, 2021

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
GENERAL FUND				
01	0301	21	OFFICE DEPOT	OFFICE SUPPLIES \$8.24
01	0302	21	ACME TRUCK BRAKE & SUPPLY CO.	STOCK REPAIR PARTS \$86.05
01	0302	21	ADVANCE AUTO PARTS	RTN STOCK REPAIR PARTS (\$1.09)
01	0302	21	ADVANCE AUTO PARTS	STOCK REPAIR PARTS \$126.55
01	0302	21	BRISTOL HOSE & FITTING	REPAIR PARTS \$820.48
01	0302	21	BUMPER TO BUMPER/ LEE AUTO	REPAIR PARTS \$24.09
01	0302	21	CHICAGO PARTS & SOUND LLC	STOCK REPAIR PARTS \$329.32
01	0302	21	FACTORY MOTOR PARTS CO	REPAIR PARTS \$110.41
01	0302	21	FIRESTONE TRUCK & SERVICE CENTER	VEHICLE TIRES \$933.38
01	0302	21	HENDERSON TRUCK EQUIPMENT-ILLINOIS	CABLE, EXTENSION 162184 \$258.40
01	0302	21	HENDERSON TRUCK EQUIPMENT-ILLINOIS	MOTOR, HYD 86176WSW \$1,917.60
01	0302	21	KELLEY WILLIAMSON COMPANY	RTN STOCK REPAIR PARTS (\$369.23)
01	0302	21	KELLEY WILLIAMSON COMPANY	STOCK REPAIR PARTS \$700.73
01	0302	21	MCMASTER CARR SUPPLY CO	REPAIR PARTS \$52.81
01	0302	21	MYERS TIRE SUPPLY CO.	STOCK REPAIR PARTS \$90.99
01	0302	21	O'REILLY AUTO PARTS	REPAIR PARTS \$29.83
01	0302	21	O'REILLY AUTO PARTS	STOCK REPAIR PARTS \$3.77
01	0303	21	PROVEN IT	COPIER SERVICES \$285.62
CASH AND INVENTORIES				\$5,407.95
01	1445	21	JORYA REALTY	OVER PYMT RFD \$778.76
01	1445	21	SAUL EWING ARNSTEIN & LEHR LLP	PROFESSIONAL SERVICES \$2,129.00
PAYMENTS FROM DEPOSITS ON HAND				\$2,907.76
01000013	3405	21	ANDRES MEDICAL BILLING, LTD.	PARAMEDIC BILLING \$4,380.50
01000013	3405	21	BLUE CROSS BLUE SHIELD COMM OPTI	PARAMEDIC RFD \$733.59
01000013	3405	21	BLUE CROSS BLUE SHIELD IL REFUND	PARAMEDIC RFD \$1,303.06
01000013	3405	21	CHICAGO LABORER'S DISTRICT COUNCIL	PARAMEDIC RFD \$1,043.28
01000013	3413	21	JEFF KOLVEK	RTN OF LOCK BOX FEE \$60.00
GENERAL-REVENUE ACCOUNTS				\$7,520.43
01101124	4504	21	NORTHWEST HISPANIC CHAMBER COMMERCE	MEMBERSHIP \$499.99
01101124	4507	21	ALFRED G RONAN LTD	FEB PROFESSIONAL SERVICES \$5,000.00
LEGISLATIVE				\$5,499.99
01101223	4404	21	CHICAGO TRIBUNE	SUBSCRIPTION TO 4/21/21 \$92.00
ADMINISTRATIVE				\$92.00

VILLAGE OF HOFFMAN ESTATES

February 15, 2021

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
01101324 4542	21	ARTHUR L JANURA JR	JANUARY SERVICES	\$12,000.00
01101324 4542	21	RICHARD A KAVITT ATTORNEY AT LAW	WEEK OF FEB 2-4 SERVICE	\$1,300.00
01101324 4542	21	RICHARD A KAVITT ATTORNEY AT LAW	WEEK OF JAN 25-29 SERVICE	\$1,150.00
01101324 4547	21	THOMSON REUTERS-WEST	PROFESSIONAL SERVICES	\$651.00
01101324 4567	21	SAUL EWING ARNSTEIN & LEHR LLP	PROFESSIONAL SERVICES	\$124.00
LEGAL				\$15,225.00
01101423 4401	21	THE UPS STORE	SHIPPING	\$22.96
01101423 4401	21	UPS	SHIPPING	\$5.42
01101423 4402	21	OFFICE DEPOT	OFFICE SUPPLIES	\$52.90
FINANCE				\$81.28
01101524 4546	21	PADDOCK PUBLICATIONS INC	BID NOTICES	\$83.70
VILLAGE CLERK				\$83.70
01101623 4405	20	LEVY RESTAURANTS AT NOW ARENA	F&B 90 PEOPLE NORRIS	\$900.00
01101623 4416	21	PROVEN IT	COPIER SERVICES	\$16.81
01101624 4507	21	DISCOVERY BENEFITS	FSA JANUARY 2021	\$514.25
HUMAN RESOURCES				\$1,431.06
01107124 4510	21	FULTON SIREN SERVICES	SENSORS & REPAIRS	\$413.86
EMERGENCY OPERATIONS				\$413.86
TOTAL GENERAL GOVERNMENT DEPARTMENT				\$22,826.89
POLICE DEPARTMENT				
01201222 4303	21	IACP	MEMBERSHIP DUES	\$190.00
01201223 4402	21	OFFICE DEPOT	OFFICE SUPPLIES	\$194.60
01201223 4403	21	OMG NATIONAL	EVENT ITEM	\$228.00
01201223 4405	21	THE FINER LINE	ENGRAVING	\$279.60
01201224 4507	21	CAMIC JOHNSON	PROFESSIONAL SERVICES	\$350.00
ADMINISTRATIVE				\$1,242.20
01202023 4403	21	PLUM GROVE PRINTERS INC	BUSINESS CARDS	\$82.50
TACTICAL				\$82.50

VILLAGE OF HOFFMAN ESTATES

February 15, 2021

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
01202122 4301	21	ARMANDO LOPEZ	REIM FOR MEALS	\$170.00
01202123 4403	21	PLUM GROVE PRINTERS INC	BUSINESS CARDS	\$32.50
01202123 4408	20	KIESLERS POLICE SUPPLY	BOLT, AR15 W/SPORTER BLK	\$285.00
01202123 4408	21	POLICE MD	TRAUMA KIT	\$271.93
01202124 4510	21	ULTRA STROBE COMMUNICATIONS	WIRELESS SYSTEM INSTALL	\$595.00
01202124 4542	21	DACRA TECH LLC	SOFTWARE MONTHLY USAGE	\$1,500.00
PATROL & RESPONSE				\$2,854.43
01202224 4542	21	AMERICAN TRAFFIC SOLUTIONS	RED LIGHT CAMERAS	\$27,000.00
01202225 4628	21	MENARDS - HNVR PARK	REPAIR PARTS	\$39.98
TRAFFIC CONTROL				\$27,039.98
01202323 4403	21	PLUM GROVE PRINTERS INC	BUSINESS CARDS	\$65.00
01202323 4414	21	ILLINOIS PROSECUTOR SERVICES LLC	PROFESSIONAL SERVICES	\$290.00
INVESTIGATIONS				\$355.00
01202524 4542	21	NORTHWEST CENTRAL DISPATCH SYSTEM	MARCH DISPATCH SERVICES	\$47,508.98
COMMUNICATIONS				\$47,508.98
TOTAL POLICE DEPARTMENT				\$79,083.09
FIRE DEPARTMENT				
01303122 4304	21	TODAYS UNIFORMS	INIFORMS	\$137.85
01303122 4304	21	TODAYS UNIFORMS	UNIFORMS	\$2,968.37
01303122 4304.16	21	AIR ONE EQUIPMENT INC	SAFETY BOOTS	\$415.00
01303122 4304.16	21	MUNICIPAL EMERGENCY SERVICES	UNIFORMS	\$319.67
01303123 4408.17	20	DJS SCUBA LOCKER INC	FLASHLIGHTS, BOTTLES	\$147.00
01303123 4408.17	20	DJS SCUBA LOCKER INC	VARIOUS SUPPLIES	\$51.00
01303124 4510.11	21	AIR ONE EQUIPMENT INC	FILTERS	\$460.00
01303124 4510.17	20	DJS SCUBA LOCKER INC	FLASHLIGHTS, BOTTLES	\$296.92
01303124 4510.17	20	DJS SCUBA LOCKER INC	VARIOUS SUPPLIES	\$63.50
01303124 4515.10	21	CAD TECH	REFLECTIVE DECALS	\$460.00
01303124 4515.10	21	MACQUEEN EMERGENCY	REPAIR PARTS	\$804.00
01303125 4602.14	20	ANDAX INDUSTRIES LLC	20 GAL TANK TRAP	\$196.00
01303125 4602.14	20	ANDAX INDUSTRIES LLC	50 GAL TANK TRAP	\$155.00
01303125 4602.14	20	ANDAX INDUSTRIES LLC	ESTIMATED SHIPPING/HANDLING	\$32.00

VILLAGE OF HOFFMAN ESTATES

February 15, 2021

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
01303125 4602.17	20	DJS SCUBA LOCKER INC	DRYSUIT FOR NEW DIVER	\$1,964.00
01303125 4602.17	20	DJS SCUBA LOCKER INC	FLASHLIGHTS, BOTTLES	\$655.50
SUPPRESSION				\$9,125.81

01303222 4301	21	NORTHWEST COMMUNITY HOSPITAL	TRAINING	\$79.00
01303223 4419	21	AIRGAS USA, LLC	MEDICAL SUPPLIES	\$296.22
01303223 4419	21	EMERGENCY MEDICAL PRODUCTS INC	BELT GLOVE POUCH	\$109.40
01303223 4419	21	EMERGENCY MEDICAL PRODUCTS INC	ECG CHART PAPER	\$82.50
01303223 4419	21	EMERGENCY MEDICAL PRODUCTS INC	SHARPS CONTAINER	\$77.20
01303223 4419	21	EMERGENCY MEDICAL PRODUCTS INC	SPLINT	\$152.70
01303223 4419	21	EMERGENCY MEDICAL PRODUCTS INC	SUCTION CANISTERS, 1200CC	\$77.20
01303223 4419	21	ULINE	BINS 4X12X4	\$34.80
01303223 4419	21	ULINE	BINS 5.5X4X3	\$55.20
01303223 4419	21	ULINE	BINS 7X12X4	\$44.00
01303223 4419	21	ULINE	BINS 8.5X12X4	\$31.80
01303223 4419	21	ULINE	BINS 8.5X12X6	\$81.00
01303223 4419	21	ULINE	DIVIDER 11X4	\$51.00
01303223 4419	21	ULINE	DIVIDERS 4X4	\$18.00
01303223 4419	21	ULINE	DIVIDERS 5.5X3	\$39.60
01303223 4419	21	ULINE	DIVIDERS 7X4	\$19.00
01303223 4419	21	ULINE	DIVIDERS 8.5X4	\$39.00
01303223 4419	21	ULINE	DIVIDERS 8.5X6	\$98.50
01303223 4419	21	ULINE	ESTIMATED SHIPPING/HANDLI	\$47.99
01303223 4419	21	ULINE	PLASTIC BIN 11X12X4	\$30.15
EMERGENCY MEDICAL SERVICES				\$1,464.26

01303322 4303	21	NATIONAL FIRE PROTECTION ASSOC	MEMBERSHIP DUES	\$175.00
01303324 4507	21	JOHNSON CONTROLS SECURITY SOLUTIONS	PROFESSIONAL SERVICES	\$60,731.00
PREVENTION				\$60,906.00

TOTAL FIRE DEPARTMENT **\$71,496.07**

PUBLIC WORKS

01401223 4414	21	CANTEEN REFRESHMENT SERVICES	BEVERAGES	\$312.26
01401223 4414	21	PLUM GROVE PRINTERS INC	TIME SHEETS	\$233.13
ADMINISTRATIVE				\$545.39

VILLAGE OF HOFFMAN ESTATES

February 15, 2021

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
01404123 4408	21	MENARDS - HNVR PARK	REPAIR PARTS	\$61.58
01404123 4408	21	TERRACE SUPPLY CO	REPAIR PARTS	\$64.21
01404123 4409	21	CARGILL SALT INC	BULK ROAD SALT AS SPECIFIED	\$178,818.09
01404123 4410	21	BRISTOL HOSE & FITTING	REPAIR PARTS	\$156.21
01404123 4410	21	FACTORY MOTOR PARTS CO	REPAIR PARTS	\$591.94
01404123 4410	21	FACTORY MOTOR PARTS CO	RTN REPAIR PARTS	(\$48.00)
01404123 4410	21	SICALCO LTD	CALCIUM CHLORIDE DEICER	\$2,932.45
SNOW & ICE REMOVAL				\$182,576.48
01404223 4408	21	MENARDS - HNVR PARK	REPAIR PARTS	\$96.79
PAVEMENT MAINTENANCE				\$96.79
01404323 4414	21	MENARDS - HNVR PARK	VARIOUS SUPPLIES	\$120.31
FORESTRY				\$120.31
01404423 4414	21	ARLINGTON POWER EQUIPMENT	ICE MELT	\$852.24
01404424 4501	21	AT & T	LANDLINES	\$1,467.75
01404424 4502	21	COMMONWEALTH EDISON	ELECTRIC 1900 HASSELL	\$9,128.66
01404424 4502	21	COMMONWEALTH EDISON	ELECTRIC 5323 PRAIRIESTONE	\$1,292.81
01404424 4503	20	NICOR GAS	GAS 1900 HASSELL	\$41.31
01404424 4503	20	NICOR GAS	GAS 2550 PRAIRIESTONE	\$39.57
01404424 4507	20	WEATHERGUARD ROOFING CO.	MAINTENANCE	\$300.00
01404424 4507	21	ACCURATE DOCUMENT DESTRUCTION INC	SHREDDING SERVICES	\$478.50
01404424 4509	21	CINTAS #22	FLOOR MAT RENTAL AND CLEAN	\$34.06
01404424 4510	21	FOX VALLEY FIRE & SAFETY	PROFESSIONAL SERVICES	\$284.00
01404424 4510	21	GRAINGER INC	REPAIR PARTS	\$34.80
01404424 4510	21	JOHNSTONE SUPPLY	REPAIR PARTS	\$692.22
01404424 4510	21	WEBMARC DOORS	DOOR REPAIRS	\$305.28
01404424 4516	21	ECO CLEAN MAINTENANCE INC	VILLAGE HALL - \$2,737.00	\$2,737.00
01404424 4516	21	WOLF ELECTRIC SUPPLY CO	REPAIR PARTS	\$109.76
01404424 4517	21	ECO CLEAN MAINTENANCE INC	POLICE DEPT. - \$1830.00 B	\$1,813.00
01404424 4518	21	AMAZON CAPITAL SERVICES INC	ENGINE HEATER PARTS	\$124.71
01404424 4518	21	BILTMORE REFRIGERATION SER. & SALES	PREVENTATIVE MAINTENANCE	\$392.00
01404424 4518	21	CINTAS #22	FLOOR MAT RENTAL AND CLEAN	\$89.64
01404424 4518	21	WOLF ELECTRIC SUPPLY CO	REPAIR PARTS	\$54.00
01404424 4520	21	ECO CLEAN MAINTENANCE INC	PWC \$ VEHICLE MAINTENANCE	\$1,180.00
FACILITIES				\$21,451.31

VILLAGE OF HOFFMAN ESTATES

February 15, 2021

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
01404522 4304	21	CINTAS #22	UNIFORM AND MAT RENTAL AN	\$78.92
01404523 4411	21	AL WARREN OIL CO INC	FUEL DIESEL	\$6,657.84
01404523 4411	21	AL WARREN OIL CO INC	FUEL UNLEADED	\$7,274.94
01404523 4411	21	KELLER-HEARTT OIL	RTN OIL	(\$11.80)
01404523 4411	21	KELLER-HEARTT OIL	VEHICLE OILS	\$1,160.94
01404523 4414	21	SERVICE COMPONENTS INC	VARIOUS SUPPLIES	\$292.01
01404523 4414	21	STANDARD INDUSTRIAL & AUTO INC	REPAIR PARTS	\$99.65
01404523 4414	21	THE STANDARD COMPANIES	WIPERS	\$536.70
01404524 4510	21	MENARDS - HNVR PARK	REPAIR PARTS	\$45.22
01404524 4513	21	ADVANCE AUTO PARTS	REPAIR PARTS	\$4.96
01404524 4513	21	DUNDEE COLLISION INC	REPAIR PARTS	\$339.00
01404524 4513	21	FIRESTONE TRUCK & SERVICE CENTER	VEHICLE TIRES	\$250.32
01404524 4513	21	FIRESTONE TRUCK & SERVICE CENTER	WHEEL ALIGNMENT	\$55.00
01404524 4513	21	INTERSTATE BATTERIES-NORTH CHICAGO	VEHICLE BATTERIES	\$326.37
01404524 4513	21	RT 62 WASH & LUBE	VEHICLE WASHES	\$35.95
01404524 4514	21	ACME TRUCK BRAKE & SUPPLY CO.	CYLINDER MASTER	\$411.01
01404524 4514	21	ACME TRUCK BRAKE & SUPPLY CO.	REPAIR PARTS	\$56.44
01404524 4514	21	ACME TRUCK BRAKE & SUPPLY CO.	RETURNED CORE	(\$1,000.00)
01404524 4514	21	ADVANCE AUTO PARTS	REPAIR PARTS	\$208.83
01404524 4514	21	FOSTER COACH SALES INC	REPAIR PARTS	\$163.60
01404524 4514	21	GENERAL TRUCK PARTS & EQUIPMENT	REPAIR PARTS	\$725.16
01404524 4514	21	MACQUEEN EMERGENCY GROUP	REPAIR PARTS	\$220.83
01404524 4514	21	MCMASTER CARR SUPPLY CO	REPAIR PARTS	\$43.69
01404524 4514	21	RUSH TRUCK CENTER OF ILLINOIS, INC	REPAIR PARTS	\$748.60
01404524 4514	21	WEX BANK	FUEL	\$768.88
01404524 4534	21	ADVANCE AUTO PARTS	REPAIR PARTS	\$60.52
01404524 4534	21	AMAZON CAPITAL SERVICES INC	LIGHTS	\$23.94
01404524 4534	21	AMAZON CAPITAL SERVICES INC	VARIOUS SUPPLIES	\$128.99
01404524 4534	21	AMAZON CAPITAL SERVICES INC	WARNING LIGHTS	\$138.30
01404524 4534	21	BLUE1 ENERGY EQUIPMENT	VARIOUS SUPPLIES	\$878.85
01404524 4534	21	BUMPER TO BUMPER/ LEE AUTO	REPAIR PARTS	\$42.79
01404524 4534	21	BUREAU VERITAS NORTH AMERICA	DIESEL FUEL KIT	\$92.00
01404524 4534	21	ILLINOIS SECRETARY OF STATE	SPECIAL PLATES	\$41.00
01404524 4534	21	INTERSTATE BATTERIES-NORTH CHICAGO	VEHICLE BATTERIES	\$200.52
01404524 4534	21	KAMMES AUTO & TRUCK REPAIR INC	STATE INPSECTIONS	\$179.50
01404524 4534	21	KING TRANSMISSION CO INC	REBUILD TRANSMISSION	\$2,695.00
01404524 4534	21	MCMASTER CARR SUPPLY CO	REPAIR PARTS	\$16.41
01404524 4534	21	O'REILLY AUTO PARTS	AIR BRAKES PARTS	\$31.80
01404524 4534	21	O'REILLY AUTO PARTS	REPAIR PARTS	\$13.17
01404524 4534	21	RUSH TRUCK CENTER OF ILLINOIS, INC	REPAIR PARTS	\$1,145.86
FLEET SERVICES				\$25,181.71

VILLAGE OF HOFFMAN ESTATES

February 15, 2021

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
01404724 4522	21	MULTIPLE CONCRETE	WOOD STAKES	\$166.80
STORM SEWERS				\$166.80
01404824 4502	20	COMMONWEALTH EDISON	ELECTRIC GRAND CANYON	\$2,873.20
01404824 4502	21	COMMONWEALTH EDISON	ELECTRIC GRANDCANYON	\$2,677.26
01404824 4502	21	CONSTELLATION NEW ENERGY INC	ELECTRIC 0 SEDGE	\$9,622.37
01404824 4523	20	GRAYBAR ELECTRIC CO INC	LITHONIA JEBL 30L 40K 80C	\$2,162.34
01404824 4544	21	3M HAK0206	3M CLEAR TRANSFER TAPE	\$542.81
01404824 4544	21	3M HAK0206	3M DIAMOND GRADE DG3 REFL	\$4,800.75
01404824 4544	21	3M HAK0206	3M ELCTROCUT FILM 1172C,	\$251.25
01404824 4544	21	3M HAK0206	3M ELCTROCUT FILM 1177C,	\$251.25
01404824 4544	21	3M HAK0206	3M ELECTROCUT FILM 1170C,	\$1,206.00
TRAFFIC CONTROL				\$24,387.23
TOTAL PUBLIC WORKS DEPARTMENT				\$254,526.02
DEVELOPMENT SERVICES				
01505024 4542	21	AMERICAN TAXI DISPATCH INC	TRANSPORTATION SERVICES	\$371.00
01505024 4542	21	UNITED DISPATCH	SENIOR COUPONS	\$294.00
PLANNING & TRANSPORTATION				\$665.00
01505123 4403	21	PLUM GROVE PRINTERS INC	BUSINESS CARDS	\$32.50
01505124 4507	21	THOMPSON ELEVATOR INSPECTION INC	ELEVATOR INSPECTIONS	\$216.00
01505124 4507	21	THOMPSON ELEVATOR INSPECTION INC	ELEVATOR PLANS	\$240.00
01505124 4545	21	KATHLEEN KUFFER	SAFETY SHOE REIM	\$100.00
CODE ENFORCEMENT				\$588.50
01505222 4303	21	JOSEPH WEESNER	REIM FOR ITE MEMBERSHIP	\$310.00
01505224 4507	20	CIVILTECH ENGINEERING, INC.	PROFESSIONAL SERVICES	\$1,214.85
01505224 4542	20	AMERICAN TAXI DISPATCH INC	TRANSPORTATION SERVICES	\$595.00
01505224 4542	20	UNITED DISPATCH	SENIOR COUPONS	\$434.00
ENGINEERING				\$2,553.85
01505924 4542	21	NEXT LEVEL NORTHWEST	2021 CONTRIBUTION	\$10,000.00
ECONOMIC DEVELOPMENT				\$10,000.00
TOTAL DEVELOPMENT SERVICES DEPARTMENT				\$13,807.35

VILLAGE OF HOFFMAN ESTATES

February 15, 2021

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
HEALTH AND HUMAN SERVICES DEPARTMENT				
01556523 4413	21	MCKESSON MEDICAL-SURGICAL GOVT SOL	1182130 MASK, RESPIRATOR	\$180.42
01556523 4416	21	PROVEN IT	COPIER SERVICES	\$36.28
TOTAL HEALTH & HUMAN SERVICES DEPARTMENT				\$216.70
BOARDS AND COMMISSIONS				
01605324 4561	21	ASCAP	LICENSE FEE	\$734.75
<i>FOURTH OF JULY</i>				\$734.75
TOTAL BOARDS & COMMISSIONS DEPARTMENT				\$734.75
TOTAL GENERAL FUND				\$458,527.01
MFT FUND				
03400024 4512	20	MEADE ELECTRIC CO., INC.	EMERGENCY REPAIRS	\$165.53
03400024 4512	21	MEADE ELECTRIC CO., INC.	TRAFFIC SIGNAL MAINTENANCE	\$525.00
TOTAL MFT FUND				\$690.53
PRAIRIE STONE CAPITAL FUND				
27000025 4621	20	TRIA ARCHITECTURE INC	PROFESSIONAL SERVICES	\$18,115.38
27000025 4621	20	V3 COMPANIES, LTD	VILLAGE GREEN PHASE I IMP	\$43,131.50
TOTAL PRAIRIE STONE CAPITAL FUND				\$61,246.88
ROAD IMPROVEMENT FUND				
29000025 4606	20	ALAMP CONCRETE CONTRACTORS,INC.	STREET IMPROVEMENTS	\$262,859.69
TOTAL ROAD IMPROVEMENT FUND				\$262,859.69
CAPITAL VEHICLE AND EQUIPMENT FUND				
37000025 4603	21	ULTRA STROBE COMMUNICATIONS	PARTS & REPAIRS	\$5,626.68
TOTAL CAPITAL VEHICLE AND EQUIPMENT FUND				\$5,626.68

VILLAGE OF HOFFMAN ESTATES

February 15, 2021

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
WATERWORKS & SEWERAGE FUND				
40400013 3425	21	JUAN NAVARRO	RFD OVER PYMT WATER BILL	\$91.91
WATER REFUND				\$91.91
40406723 4414	21	PLUM GROVE PRINTERS INC	TIME SHEETS	\$233.12
40406724 4501	21	AT & T	LANDLINES	\$189.40
40406724 4502	21	CONSTELLATION NEW ENERGY INC	ELECTRIC 1355 WESTBURY	\$174.33
40406724 4502	21	CONSTELLATION NEW ENERGY INC	ELECTRIC 3451 N WILSHIRE	\$835.39
40406724 4502	21	CONSTELLATION NEW ENERGY INC	ELECTRIC 3990 HUNGTINGTON	\$101.75
40406724 4502	21	CONSTELLATION NEW ENERGY INC	ELECTRIC 4140 CRIMSON	\$959.73
40406724 4502	21	CONSTELLATION NEW ENERGY INC	ELECTRIC 4690 OLMSTEAD	\$173.42
40406724 4502	21	CONSTELLATION NEW ENERGY INC	ELECTRIC 780 HASSELL	\$249.42
40406724 4502	21	CONSTELLATION NEW ENERGY INC	ELECTRIC 95 ASTER LANE	\$1,007.77
40406724 4502	21	CONSTELLATION NEW ENERGY INC	ELECTRIC HIGGINS BEVERLY	\$324.08
40406724 4503	20	NICOR GAS	GAS 1775 ABBEYWOOD	\$231.17
40406724 4503	21	NICOR GAS	GAS 4690 OLMSTEAD	\$39.38
40406724 4510	21	STANDARD EQUIPMENT CO	DEBRIS HOSE	\$2,913.10
40406724 4510	21	STANDARD EQUIPMENT CO	HOSE AND REPAIR PARTS	\$333.44
40406724 4510	21	STANDARD EQUIPMENT CO	HOSE END	\$161.18
40406724 4510	21	STANDARD EQUIPMENT CO	RTN DEBRIS HOSE	(\$847.45)
40406724 4529	21	ALPHA ENVIRONMENTAL INC	PROFESSIONAL SERVICES	\$450.00
40406724 4529	21	BEVERLY MATERIALS, L.L.C.	CLEAN FILL	\$1,210.00
40406724 4529	21	JSN CONTRACTORS SUPPLY	MARKING MATERIALS	\$117.00
40406724 4529	21	LAKESHORE RECYCLING SYSTEMS	UNIT RENTAL	\$74.64
40406724 4529	21	VCNA PRAIRIE LLC	CONCRETE	\$225.25
40406724 4545	21	FULLIFE SAFETY CENTER	VARIOUS SUPPLIES	\$39.16
40406724 4585	21	ACME TRUCK BRAKE & SUPPLY CO.	REPAIR PARTS	\$1,183.08
40406724 4585	21	ACME TRUCK BRAKE & SUPPLY CO.	RTN REPAIR PARTS	(\$86.40)
40406724 4585	21	DUNDEE FORD	REPAIR PARTS	\$66.61
40406724 4585	21	ILLINOIS SECRETARY OF STATE	SPECIAL PLATES	\$16.00
40406724 4585	21	KAMMES AUTO & TRUCK REPAIR INC	STATE INPSECTIONS	\$59.50
40406724 4585	21	RUSH TRUCK CENTER OF ILLINOIS, INC	REPAIR PARTS	\$207.48
WATER DIVISION				\$10,641.55
40406824 4502	20	CONSTELLATION NEW ENERGY INC	ELECTRIC 5400 W GOLF	\$2,510.34
40406824 4502	21	CONSTELLATION NEW ENERGY INC	ELECTRIC 1101 WESTBURY	\$609.15
40406824 4502	21	CONSTELLATION NEW ENERGY INC	ELECTRIC 1200 KINGSDALE	\$112.68
40406824 4502	21	CONSTELLATION NEW ENERGY INC	ELECTRIC 1215 MOONLAKE	\$461.20
40406824 4502	21	CONSTELLATION NEW ENERGY INC	ELECTRIC 1513 GOLF RD	\$915.37
40406824 4502	21	CONSTELLATION NEW ENERGY INC	ELECTRIC 1629 CROWFOOT CIR	\$167.47

VILLAGE OF HOFFMAN ESTATES

February 15, 2021

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
40406824 4502	21	CONSTELLATION NEW ENERGY INC	ELECTRIC 1775 HUNTINGTON	\$180.12
40406824 4502	21	CONSTELLATION NEW ENERGY INC	ELECTRIC 1869 HAMPTON	\$99.34
40406824 4502	21	CONSTELLATION NEW ENERGY INC	ELECTRIC 2090 CENTRAL	\$90.31
40406824 4502	21	CONSTELLATION NEW ENERGY INC	ELECTRIC 2094 CARLING	\$65.58
40406824 4502	21	CONSTELLATION NEW ENERGY INC	ELECTRIC 2364 HIGGINS	\$948.52
40406824 4502	21	CONSTELLATION NEW ENERGY INC	ELECTRIC 2380 GOLF RD	\$310.00
40406824 4502	21	CONSTELLATION NEW ENERGY INC	ELECTRIC 515 CENTRAL	\$37.32
40406824 4502	21	CONSTELLATION NEW ENERGY INC	ELECTRIC 6100 SHOE FACTORY	\$627.64
40406824 4502	21	CONSTELLATION NEW ENERGY INC	ELECTRIC 897 PARK LANE	\$65.16
40406824 4530	21	ALPHA ENVIRONMENTAL INC	PROFESSIONAL SERVICES	\$450.00
40406824 4530	21	BEVERLY MATERIALS, L.L.C.	CLEAN FILL	\$1,210.00
40406824 4530	21	JSN CONTRACTORS SUPPLY	MARKING MATERIALS	\$117.00
40406824 4530	21	LAKESHORE RECYCLING SYSTEMS	UNIT RENTAL	\$74.64
40406824 4530	21	VCNA PRAIRIE LLC	CONCRETE	\$225.25
SEWER DIVISION				\$9,277.09
40407024 4542	21	SEBIS DIRECT, INC	POSTAGE SERVICES	\$1,478.48
BILLING DIVISION				\$1,478.48
40407325 4608	21	BAXTER & WOODMAN, INC.	ENGINEERING SERVICES	\$340.00
40407525 4608	20	ALAMP CONCRETE CONTRACTORS, INC.	SANITARY SEWER IMPROVEMENT	\$7,000.00
40407525 4608	20	BAXTER & WOODMAN, INC.	ENGINEERING SERVICES	\$7,042.50
40407525 4608	20	MICHEL'S CORPORATION	CRITICAL SANITARY SEWER	\$7,785.37
40407525 4609	20	BAXTER & WOODMAN, INC.	ENGINEERING SERVICES	\$6,572.07
CAPITAL PROJECTS				\$28,739.94
TOTAL WATERWORKS AND SEWERAGE FUND				\$50,228.97
NOW ARENA OPERATING FUND				
41000024 4542	21	BUILDING ENGINEERING SYSTEMS LLC	PROFESSIONAL SERVICES	\$2,682.50
TOTAL NOW ARENA OPERATING FUND				\$2,682.50
STORMWATER MANAGEMENT FUND				
42000025 4613	20	ALAMP CONCRETE CONTRACTORS, INC.	STORM SEWER IMPROVEMENTS	\$42,682.30
TOTAL STORMWATER MANAGEMENT				\$42,682.30

VILLAGE OF HOFFMAN ESTATES

February 15, 2021

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
INSURANCE FUND				
46 1101	21	MICHAEL RAUCCI	REIM FROM SICK INCENTIVE	\$891.25
46700024 4579	21	ALEXIAN BROTHERS CORPORATE HEALTH	RTN TO WORK PHYSICAL	\$95.00
TOTAL INSURANCE FUND				\$986.25
INFORMATION SERVICES				
47008524 4507	21	COMPUTER SERVICES, INC	ANNUAL RENEWAL	\$2,250.00
47008524 4507	21	DATAKOM PUBLISHING	PROFESSIONAL SERVICES	\$449.00
47008524 4507	21	ID NETWORKS	QUARTERLY SERVICE FOR IDN	\$564.00
47008524 4507	21	ID NETWORKS	QUARTERLY SERVICE	\$2,624.00
47008524 4542	21	CBT NUGGETS	LEARNER - IT TRAINING	\$1,198.00
OPERATIONS				\$7,085.00
47008625 4619	21	SUPERION LLC	UPDATE TO SERVICES	\$200.00
CAPITAL ASSETS				\$200.00
TOTAL INFORMATION SYSTEMS FUND				\$7,285.00
BILL LIST TOTAL				\$892,815.81

SUPERION
DATE: 02/11/2021
TIME: 11:47:30

VILLAGE OF HOFFMAN ESTATES
CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 1
ACCTPA21

SELECTION CRITERIA: transact.t_c='20' and transact.trans_date between '20210129 00:00:00.000' and '20210211 00:00:00.000'
ACCOUNTING PERIOD: 2/21

FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
0102	120314 v	12/08/20	15306	ILLINOIS SECRETARY OF ST	01404524	LICENSE PLATE RENEW 78	0.00	-8.00
0102	121069	02/02/21	20533	C & C POWER	47008524	BYPASS WALL MOUNT	0.00	2,346.00
0102	121070	02/02/21	10062	KATHRYN CAWLEY	01	C-PAL LOAN	0.00	2,000.00
TOTAL CASH ACCOUNT							0.00	4,338.00
TOTAL FUND							0.00	4,338.00
TOTAL REPORT							0.00	4,338.00

Detail of Wire/ACH Activity
For the Period 01/01/21 - 01/31/21

Date	Vendor	Description	Source of Funds	Amount
01/04/21	IPBC	Insurance Premium	General	\$ 645,429.64
01/04/21	Payment Express	Credit Card Merchant Fees 12/20	General, Water & Sewer	\$ 36.50
01/04/21	Neopost	Replenish Postage Machine	General, Water & Sewer	\$ 1,600.00
01/05/21	CCMSI	General Liability Claims	EDA	\$ 32,955.00
01/06/21	Employer's Claim Service	Workers Comp Claims	Insurance	\$ 64,049.74
01/08/21	IMRF	IMRF December 2020 Payroll Costs	Various	\$ 217,748.67
01/08/21	Suburban Liability Ins	Suburban Liability Insurance Pool Premium	Insurance	\$ 588,123.00
01/20/21	JAWA	Monthly Water Usage	Water & Sewer	\$ 700,370.00
01/20/21	SWANCC	Monthly Tipping Fees	Municipal Waste System	\$ 56,629.54
01/20/21	FARR Associates PC	Professional Services for Hoffman Estates Areal Plan	General	\$ 5,334.00
01/20/21	Sebis	Postage Deposit for Water Bills	Water & Sewer	\$ 6,000.00
01/27/21	Neopost	Replenish Postage Machine	General, Water & Sewer	\$ 1,600.00
01/29/21	Neopost	Replenish Postage Machine	General, Water & Sewer	\$ 1,600.00
	TOTAL			\$ 2,321,476.09

VILLAGE OF HOFFMAN ESTATES
 Monthly Credit Card Activity

From: 12/6/2020

To: 1/5/2021

Account Name	Merchant Name	Transaction Date	Accounting Code	Accounting Code	Transaction Amount	Expense Description
BEN GIBBS	BEST BUY 00008144	12/20/2020	01	1445	\$24.23	NOW-SUPPLIES
BEN GIBBS	BEST BUY MHT 00003236	12/19/2020	01	1445	\$74.95	NOW-SUPPLIES
BEN GIBBS	MOBILE ROOM ESCAPE	12/15/2020	01	1445	\$287.50	NOW-EVENT
BEN GIBBS	PAYPAL *ARTISTICEXP	12/10/2020	01	1445	\$125.00	NOW-SUPPLIES
BEN GIBBS	SPOTIFY USA	12/05/2020	01	1445	\$9.99	NOW-SUBSCRIPTIONS
BEN GIBBS	SPOTIFY USA	01/05/2021	01	1445	\$9.99	NOW-SUBSCRIPTIONS
BEN GIBBS	TARGET 00021220	12/04/2020	01	1445	\$63.47	NOW-SUPPLIES
BEN GIBBS	TARGET 00021220	12/11/2020	01	1445	\$34.95	NOW-SUPPLIES
BEN GIBBS	ZIEGLERS ACE - ELGIN	12/17/2020	01	1445	\$34.97	NOW-SUPPLIES
BRYAN ACKERLUND	AMZN MKTP US*XZ16H8ZN3	12/15/2020	01505123	4414	\$22.99	ELECTRICAL CODE INDEX
BRYAN ACKERLUND	INT'L CODE COUNCIL INC	12/09/2020	01505122	4301	\$435.00	CBO MODULES-ACKERLUND
BRYAN ACKERLUND	INT'L CODE COUNCIL INC	12/16/2020	01505122	4301	\$583.00	ICC EXAMS-ACKERLUND
BRYAN ACKERLUND	INT'L CODE COUNCIL INC	12/16/2020	01505122	4301	\$219.00	ICC EXAMS-ACKERLUND
BRYAN ACKERLUND	INT'L CODE COUNCIL INC	12/16/2020	01505123	4414	\$54.45	SPEC INSPECTION MANUAL
BRYAN ACKERLUND	INT'L CODE COUNCIL INC	12/24/2020	01505122	4301	\$145.00	CBO MODULES-ACKERLUND
BRYAN ACKERLUND	INT'L CODE COUNCIL INC	12/29/2020	01505122	4301	\$219.00	ICC EXAMS-ACKERLUND
BRYAN ACKERLUND	INT'L CODE COUNCIL INC	12/29/2020	01505122	4301	\$219.00	ICC EXAMS-ACKERLUND
BRYAN ACKERLUND	TRI-STATE CONSULTANTS	12/14/2020	01505122	4301	\$300.00	CBO TRAINING-ACKERLUND
DEBRA SCHOOP	LBP*LAW BULLETIN PUBL	12/29/2020	01101323	4404	\$399.00	SUBSCRIPTION
DR AUDRA MARKS	RED ROOF PLUS 0199	11/24/2020	01	1408	-\$49.99	CHARGE CREDIT
FRED BESENHOFFER	AMAZON PRIME*7K2UW23X3	12/24/2020	47001222	4303	\$12.99	PRIME MEMBERSHIP FEE
FRED BESENHOFFER	AMAZON.COM*H18WT04V3	12/15/2020	47008625	4602	\$119.98	KEYBOARDS/MICE
FRED BESENHOFFER	AMZN MKTP US*B38IS4ER3	12/13/2020	47001223	4402	\$121.96	STORAGE & CLEANING
FRED BESENHOFFER	AMZN MKTP US*KB5IT9K23	12/22/2020	47008525	4602	\$244.34	BACKUP TAPES
FRED BESENHOFFER	AMZN MKTP US*PE4JJ2UH3	12/13/2020	47008625	4602	\$59.98	MOUSE
FRED BESENHOFFER	COMCAST CHICAGO	12/08/2020	47008524	4542	\$308.35	INTERNET SERVICE
FRED BESENHOFFER	COMCAST CHICAGO	12/09/2020	47008524	4542	\$192.29	INTERNET SERVICE
FRED BESENHOFFER	COMCAST CHICAGO	12/28/2020	47008524	4542	\$183.35	INTERNET SER VLG GREEN
FRED BESENHOFFER	COMCAST CHICAGO	12/29/2020	47008524	4542	\$79.90	INTERNET SERVICE
FRED BESENHOFFER	DLS INTERNET SERVICES	12/22/2020	47008524	4542	\$350.00	INTERNET SERVICE
FRED BESENHOFFER	DYN*DYN.COM/CHARGE	12/10/2020	47008524	4542	\$20.00	SCA DNS SERVICE
FRED BESENHOFFER	LOGMEIN*GOTOMEETING	12/21/2020	47008524	4542.35	\$55.00	GO TO MTG MTHLY 800 #
FRED BESENHOFFER	SOLARWINDS	12/04/2020	47008524	4507	\$123.25	SERVICE SOFTWARE RENEWAL
FRED BESENHOFFER	SOLARWINDS	12/04/2020	47008524	4507	\$246.50	SERVICE SOFTWARE RENEWAL
FRED BESENHOFFER	SOLARWINDS	12/09/2020	47008524	4507	-\$14.50	SERVICE SOFTWARE CREDIT
FRED BESENHOFFER	SOLARWINDS	12/09/2020	47008524	4507	-\$7.25	SERVICE SOFTWARE CREDIT
FRED BESENHOFFER	WEB*NETWORKSOLUTIONS	12/05/2020	47008524	4542	\$119.97	SERVICE RENEWAL
FRED BESENHOFFER	WEB*NETWORKSOLUTIONS	12/08/2020	47008524	4542	\$79.92	SERVICE RENEWAL
GREGORY POULOS	IN *CONTRAST MEDIA AGE	12/14/2020	01202423	4403	\$181.26	DARE WORKBOOKS
GREGORY POULOS	MEDALSOFAMERICA/PATRIO	12/14/2020	01201223	4405	\$189.00	AWARD RIBBONS
GREGORY POULOS	QGV*NATIONAL INFORMATI	12/15/2020	01201222	4303	\$80.00	MEMBERSHIP FEES-BENDING
JENNIFER DJORDJEVIC	AMAZON.COM*1S3IA94G3	12/10/2020	01101123	4414	\$81.25	PHONE-MAYOR
JENNIFER DJORDJEVIC	AMZN MKTP US*D32CO5U83	12/07/2020	01101123	4414	\$71.90	TRUSTEE OFFICES

VILLAGE OF HOFFMAN ESTATES
 Monthly Credit Card Activity

From: 12/6/2020

To: 1/5/2021

Account Name	Merchant Name	Transaction Date	Accounting Code	Accounting Code	Transaction Amount	Expense Description
JENNIFER DJORDJEVIC	HOO*HOOTSUITE INC	12/08/2020	01101123	4414	\$5.99	SUBSCRIPTION
JENNIFER DJORDJEVIC	JIMMY JOHNS - 424 - EC	12/07/2020	01101123	4414	\$101.11	TRUSTEE DINNERS
JENNIFER DJORDJEVIC	JIMMY JOHNS - 424 - EC	12/21/2020	01101123	4414	\$106.48	TRUSTEE DINNERS
JENNIFER DJORDJEVIC	WWW.VOLGISTICS.COM	12/29/2020	01101123	4404	\$48.00	VOL DATABASE SUBSCRIP
JOHN JANICKI	AMAZON.COM*5F4B146Z3	12/15/2020	01	1445	\$7.99	NOW-SUPPLIES
JOHN JANICKI	AMAZON.COM*XE6843L23	12/08/2020	01	1445	\$129.99	NOW-SUPPLIES
JOHN JANICKI	AMZN MKTP US*4782Q2RW3	12/28/2020	01	1445	\$21.98	NOW-SUPPLIES
JOHN JANICKI	AMZN MKTP US*BP8C77T33	12/06/2020	01	1445	\$55.74	NOW-SUPPLIES
JOHN JANICKI	AMZN MKTP US*HI9JN9W23	12/14/2020	01	1445	\$39.99	NOW-SUPPLIES
JOHN JANICKI	AMZN MKTP US*ZN6246QP3	12/14/2020	01	1445	\$33.99	NOW-SUPPLIES
JOHN JANICKI	EIG*CONSTANTCONTACT.CO	12/16/2020	01	1445	\$69.06	NOW-INTERNET TOOL
JOHN JANICKI	ENDICIA	12/20/2020	01	1445	\$14.57	NOW-POSTAGE
JOHN JANICKI	FACEBK *4CWUAYSSB2	12/19/2020	01	1445	\$900.00	NOW-ADVERTISING
JOHN JANICKI	FACEBK *JW8VKYSSB2	12/31/2020	01	1445	\$449.94	NOW-ADVERTISING
JOHN JANICKI	INTIX	12/21/2020	01	1445	\$240.00	NOW-EVENT PROFESSIONALS
JOHN JANICKI	JEWEL OSCO 3348	12/03/2020	01	1445	\$55.00	NOW-SUPPLIES
JOHN JANICKI	WIX*WIX.COM, INC.	12/09/2020	01	1445	\$4.99	NOW-WEB ASSISTANCE
JOHN JANICKI	WIX.COM*841051773	01/02/2021	01	1445	\$528.00	NOW-WEB ASSISTANCE
JOSEPH CAPIGA	APPLE.COM/BILL	12/11/2020	01404524	4501	\$0.99	50GB STORAGE PLAN
JOSEPH CAPIGA	HELM-FORD DIAG SOFTWARE	12/04/2020	01404525	4602	\$900.00	SOFTWARE UPDATE
JOSEPH CAPIGA	NAFA FLEET MGMT ASSOC	12/30/2020	01404522	4301	\$499.00	MEMBERSHIP-TRAINING
JOSEPH CAPIGA	WEATHERTECH DIRECT LLC	12/23/2020	01404223	4408	\$187.35	FLOOR MATS
JOSEPH NEBEL	2 XL CORPORATION	12/29/2020	01401224	4542.35	\$324.36	DISINFECTING WIPES
JOSEPH NEBEL	APPLE.COM/BILL	01/02/2021	40406722	4301	\$0.99	2021 50 GB STORAGE PLAN
JOSEPH NEBEL	COMCAST CHICAGO	12/15/2020	40406724	4501	\$108.35	BUSINESS INTERNET-XIAO
JOSEPH NEBEL	SUPERIOR INDUSTRIAL SP	12/16/2020	01401224	4542.35	-\$30.73	TAX CREDIT
KATHRYN CAWLEY	AMAZON.COM*7H3XV3Y73	12/08/2020	01202123	4414	\$199.99	COMPUTER MONITOR
KATHRYN CAWLEY	AMAZON.COM*AQ1PF0Q43	12/08/2020	01202123	4414	\$192.04	COMPUTER MOTHERBOARD
KATHRYN CAWLEY	AMAZON.COM*I139Y7JM3	12/09/2020	01202123	4414	\$31.95	CAMERA CASE
KATHRYN CAWLEY	AMZN MKTP US*614PY0QG3	12/17/2020	01202125	4602	\$219.49	GUN SAFE LOCKS
KATHRYN CAWLEY	AMZN MKTP US*DD8QQ0DN3	12/20/2020	01202623	4408	\$112.65	MISC CANINE EQUIP
KATHRYN CAWLEY	AMZN MKTP US*HH1SQ7583	12/29/2020	01201223	4402	\$29.28	DVD R+ LRG CAPACITY
KATHRYN CAWLEY	AMZN MKTP US*YQ84L7BW3	12/09/2020	01201223	4405	\$201.94	AWARD FRAMES
KATHRYN CAWLEY	AMZN MKTP US*YW1QF0PF3	12/30/2020	01202323	4403	\$12.82	NAMEPLATE ENGRAVING
KATHRYN CAWLEY	BEST BUY MHT 00003053	12/10/2020	01202123	4414	\$549.99	POWERSHOT CAMERA
KATHRYN CAWLEY	BEST BUY MHT 00003053	12/11/2020	01202123	4414	-\$50.00	TAX EXEMPT CREDIT
KATHRYN CAWLEY	SAMSCLUB.COM	12/15/2020	01201223	4417	\$145.12	PRISONER MEALS
KELLY KERR	AMAZON.COM	12/23/2020	01401224	4542.35	-\$220.67	PURIFIER RETURN
KELLY KERR	AMAZON.COM*HM7LD47T3	12/15/2020	01401224	4542.35	\$2,924.80	LG RM AIR PURIFIERS & FILTERS
KELLY KERR	AMAZON.COM*LC8PY6QU3	12/08/2020	40406725	4602	\$492.03	SAMSUNG GALAXY TABLET
KELLY KERR	AMAZON.COM*OC7W07DD3	12/28/2020	01404123	4404	\$444.24	IMPACT TOOL
KELLY KERR	AMAZON.COM*QA0TX3CW3	12/18/2020	01401224	4542.35	\$285.92	HEPA AIR FILTERS
KELLY KERR	AMZN MKTP US*0R60O1O43	12/23/2020	01401223	4402	\$7.35	PLANNING CALENDAR

VILLAGE OF HOFFMAN ESTATES
Monthly Credit Card Activity

From: 12/6/2020

To: 1/5/2021

Account Name	Merchant Name	Transaction Date	Accounting Code	Accounting Code	Transaction Amount	Expense Description
KELLY KERR	AMZN MKTP US*0R60O1O43	12/23/2020	40406723	4402	\$7.34	PLANNING CALENDAR
KELLY KERR	AMZN MKTP US*6P2TA12Z3	12/26/2020	40406723	4402	\$7.43	MISC OFFICE SUPPLIES
KELLY KERR	AMZN MKTP US*6P2TA12Z3	12/26/2020	01401223	4402	\$7.44	MISC OFFICE SUPPLIES
KELLY KERR	AMZN MKTP US*6P2TA12Z3	12/26/2020	01404223	4414	\$23.00	CALENDARS
KELLY KERR	AMZN MKTP US*H54ZM8ND3	12/18/2020	40406723	4414	\$197.40	CHARGERS/CABLES/CLIPBRDS
KELLY KERR	AMZN MKTP US*X17ZL43O3	12/23/2020	01401223	4402	\$5.20	SCOTCH TAPE
KELLY KERR	AMZN MKTP US*X17ZL43O3	12/23/2020	40406723	4402	\$5.19	SCOTCH TAPE
KELLY KERR	APPLE.COM/BILL	01/03/2021	40406723	4408	\$0.99	2021 50 GB STORAGE PLAN
KELLY KERR	IL TOLLWAY-WEB	12/21/2020	01401222	4301	\$19.20	VIOLATION PAYMENT
KELLY KERR	U S PLUMBING SUPPLY IN	12/17/2020	01404424	4520	\$44.78	VARIOUS GASKETS
KELLY KERR	U S PLUMBING SUPPLY IN	12/18/2020	01404424	4520	\$129.48	VARIOUS GASKETS
KEVIN D KRAMER	CHICAGO TRIB SUBSCRIPT	12/07/2020	01505923	4404	\$7.96	SUBSCRIPTION
KEVIN D KRAMER	CHICAGO TRIB SUBSCRIPT	01/04/2021	01505923	4404	\$7.96	2021 SUBSCRIPTION
KEVIN D KRAMER	ILLINOIS ECONOMIC DEVE	12/04/2020	01505922	4303	\$250.00	MEMBERSHIP RENEWAL
KEVIN D KRAMER	NIU OUTREACH	12/30/2020	01505922	4301	\$450.00	REG IL FIN FORECAST FORUM
KEVIN D KRAMER	WWW.1AND1.COM	12/21/2020	01605824	4575	\$10.00	2021 ARTS COMM WEBSITE
MONICA SAAVEDRA	APAMEMBERDUSSUBS	12/04/2020	01556522	4303	\$247.00	APA MEMBERSHIP DUES
MONICA SAAVEDRA	BLUEAIR INC	12/08/2020	01556524	4542.35	\$305.92	AIR PURIFIER
PATRICK FORTUNATO	AMAZON.COM*YR3TF6Q33	12/23/2020	01303323	4414	\$64.99	FPB SUPPLIES
PATRICK FORTUNATO	AMZN MKTP US*3W9NB4JB3	12/22/2020	01303124	4510.15	\$122.95	STATION ALERTING SUPPLIES
PATRICK FORTUNATO	AMZN MKTP US*887HV6T43	12/12/2020	01303124	4510.15	\$116.15	STATION ALERTING SUPPLIES
PATRICK FORTUNATO	AMZN MKTP US*H55VT6RG3	12/07/2020	01303124	4510.15	\$63.98	CAD MONITOR SUPPLIES
PATRICK J SEGER	BROWN INDUSTRIES INC	01/04/2021	01101623	4405	\$550.89	2021 ANNIV PINS
PATRICK J SEGER	CABELA'S ONLINE U.S.	12/09/2020	01101623	4405	\$200.00	RETIRE GC-PADAL
PATRICK J SEGER	CABELA'S ONLINE U.S.	12/09/2020	01101623	4405	\$150.00	ANNIV GC-PETERSON
PATRICK J SEGER	JEWEL OSCO 3316	12/09/2020	01101623	4405	\$20.00	ANNIV GC-URRY
PATRICK J SEGER	KYOTO JAPANESE STEAK A	12/09/2020	01101623	4405	\$200.00	RETIRE GC-FERNANDEZ
PATRICK J SEGER	KYOTO JAPANESE STEAK A	12/18/2020	01101623	4405	\$16.00	ANNIV GC-PIETKIEWICZ
PATRICK J SEGER	MR ACE	12/08/2020	01101624	4564	\$75.00	WELLNESS GC
PATRICK J SEGER	PERSONALIZATION MALL	12/24/2020	01101623	4405	\$64.98	RETIRE CLOCK-FERNANDEZ
PATRICK J SEGER	PERSONALIZATION MALL	12/30/2020	01101623	4405	\$45.98	RETIRE CLOCK-KASPER
PATRICK J SEGER	SMK*SURVEYMONKEY.COM	12/17/2020	01101624	4507	\$384.00	SUBSCRIPTION RENEWAL
PATRICK J SEGER	STARBUCKS CARD EGIFT	12/24/2020	01101623	4405	\$20.00	ANNIV GC-NICHOLS
PATRICK J SEGER	STARBUCKS STORE 13754	12/21/2020	01101623	4405	\$220.00	ANNIV/RETIRE GC
PAUL BILODEAU JR	ADI-CH	12/16/2020	01303124	4510.15	\$824.97	STATION ALERTING EQUIP
PAUL BILODEAU JR	ADI-CH	12/16/2020	01303124	4510.15	\$143.99	STATION ALERTING EQUIP
PAUL BILODEAU JR	ADI-CH	12/18/2020	01303124	4510.15	\$74.97	STATION ALERTING EQUIP
PAUL BILODEAU JR	ADI-EG	12/15/2020	01303124	4510.15	\$160.99	STATION ALERTING EQUIP
PAUL BILODEAU JR	ADI-EG	12/16/2020	01303124	4510.15	\$164.99	STATION ALERTING EQUIP
PAUL BILODEAU JR	NAARSO	12/17/2020	01303322	4303	\$75.00	FPB MEMBERSHIP
PAUL BILODEAU JR	SAMSLUB #4942	12/04/2020	01303523	4412	\$449.68	STATION SUPPLIES
PAUL BILODEAU JR	THE WEBSTAUANT STORE	12/04/2020	01303525	4628	\$102.50	ST KITCHEN SUPPLIES
PAUL BILODEAU JR	THE WEBSTAUANT STORE	01/03/2021	01303525	4628	\$931.46	2021 ST KITCHEN SUPPLIES

VILLAGE OF HOFFMAN ESTATES
 Monthly Credit Card Activity

From: 12/6/2020

To: 1/5/2021

Account Name	Merchant Name	Transaction Date	Accounting Code	Accounting Code	Transaction Amount	Expense Description
PAUL BILODEAU JR	TRAFFICSAFETYWAREHOUSE	12/08/2020	37000025	4612	\$392.67	SAFETY CONES
PAUL W PETRENKO	APPLE.COM/BILL	01/04/2021	01404424	4510	\$0.99	2021 50 GB STORAGE PLAN
PAUL W PETRENKO	APPLE.COM/BILL	01/04/2021	01	1445	\$9.99	2021 REIMB RECEIPT
PAUL W PETRENKO	JMAC SUPPLY	12/14/2020	01404424	4510	\$265.94	PROXIMITY READER
PAUL W PETRENKO	JMAC SUPPLY	12/18/2020	01404424	4520	\$272.14	ELECTRIC STRIKE
PAUL W PETRENKO	PAYPAL *UNISOURCESO EB	12/10/2020	01404424	4510	\$40.00	ACCESS CONTROLLER BOARD
PAUL W PETRENKO	PRODRYERS	12/14/2020	01404424	4518	\$121.87	FIBER OPTIC CABLE ASSEMBLY
PETER GUGLIOTTA	AMAZON.COM*3D76L9ST3	01/05/2021	01505023	4404	\$17.95	2021 PLANNING BOOK
PETER GUGLIOTTA	AMAZON.COM*3D76L9ST3	01/05/2021	01501223	4402	\$14.99	2021 MOUSE/KEYBOARD
PETER GUGLIOTTA	AMZN MKTP US*JO4KH78Q3	12/15/2020	01505223	4408	\$77.78	WHITE BOARD/COMPUTER STAND
PETER GUGLIOTTA	AMZN MKTP US*JO4KH78Q3	12/15/2020	01505023	4404	\$14.75	PLANNING BOOK
PETER GUGLIOTTA	AMZN MKTP US*JO4KH78Q3	12/15/2020	01501223	4402	\$7.98	MOUSE PADS
RACHEL E MUSIALA	AMZN MKTP US	12/17/2020	01505223	4408	-\$47.49	RETURNED ITEM
RACHEL E MUSIALA	AMZN MKTP US*GE8AQ7RU3	12/06/2020	01505223	4408	\$13.98	ENGINEERING SCALE RULER
RACHEL E MUSIALA	AMZN MKTP US*NN3413K13	12/17/2020	01505223	4414	\$275.82	MEASURING WHEEL-ENG
RACHEL E MUSIALA	AMZN MKTP US*V39SV65T3	12/10/2020	01505223	4414	\$63.00	SAFETY VEST-ENGINEERING
RACHEL E MUSIALA	AMZN MKTP US*XN3XE1EQ3	12/15/2020	01505223	4408	\$417.86	ENGINEERING EQUIP
RACHEL E MUSIALA	ILLINOIS GOVERNMENT FI	12/07/2020	01101422	4303	\$100.00	2021 MEMBERSHIP-ARROYO
RACHEL E MUSIALA	WCI*GROOT EAST	12/21/2020	09000024	4542	\$181,811.96	VLG REFUSE SERVICE
TED BOS	WALMART.COM AT	12/04/2020	01202123	4414	\$567.38	CANON POWERSHOT CAMERA
TED BOS	WALMART.COM AT	12/16/2020	01202123	4414	-\$567.38	CAMERA RETURNED
WILLIAM D MCLEOD	APPLE.COM/BILL	01/01/2021	01101123	4414	\$0.99	2021 STORAGE PLAN
Total					\$207,335.94	

VILLAGE OF HOFFMAN ESTATES

**AN ORDINANCE GRANTING A SPECIAL USE TO
KOKO MARINA, LLC (OWNER) AND HENRY ZUWALA (APPLICANT)
1280 W. HIGGINS ROAD, HOFFMAN ESTATES, ILLINOIS**

WHEREAS, the Planning and Zoning Commission, at a public hearing duly called and held according to law on January 20, 2021 considered the request by Koko Marina, LLC (owner) and Henry Zuwala (applicant) of property shown on Exhibit "A" and attached hereto and made a part hereof, for a special use under the Zoning Code to permit a stand-alone parking lot on the property located at 1280 W. Higgins Road; and

WHEREAS, the Planning and Zoning Commission made certain Finding of Fact attached hereto and made a part hereof as Exhibit "B" and recommended approval of a special use to the Board of Trustees; and

WHEREAS, the Corporate Authorities have received and considered said recommendation; and

WHEREAS, the proposed special use has met the standards of Section 9-1-18-I of the Zoning Code of the Hoffman Estates Municipal Code.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: The Corporate Authorities hereby find that the facts and statements contained in the preamble of this Ordinance are true.

Section 2: A special use authorized under Section 9-8-2-C-9 of the Zoning Code is hereby granted to Koko Marina, LLC (owner) and Henry Zuwala (applicant) to permit a stand-alone parking lot on the property located at 1280 W. Higgins Road, subject to the following terms and conditions:

- a) The parking shall only be used by employees and customers of the commercial uses at 1475 Glen Lake Road. No boats, RVs, disabled vehicles, or vehicles from other commercial uses shall be permitted to use the parking lot. No sales or display of vehicles for sale may occur from the subject property.
- b) There shall be no exterior storage or displays on the subject property.

c) The cross access easement shall remain in effect and shall not be blocked or impeded by any current or future user of the property.

d) This Special Use is granted solely to Koko Marina, LLC (Steven Rempas, Manager) and is not transferable. This item is to be reviewed in one year if no lease or sale of the property has occurred.

Section 3: The Village Clerk is hereby authorized to publish this ordinance in pamphlet form.

Section 4: This Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2021

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Michael Gaeta	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2021

Village President

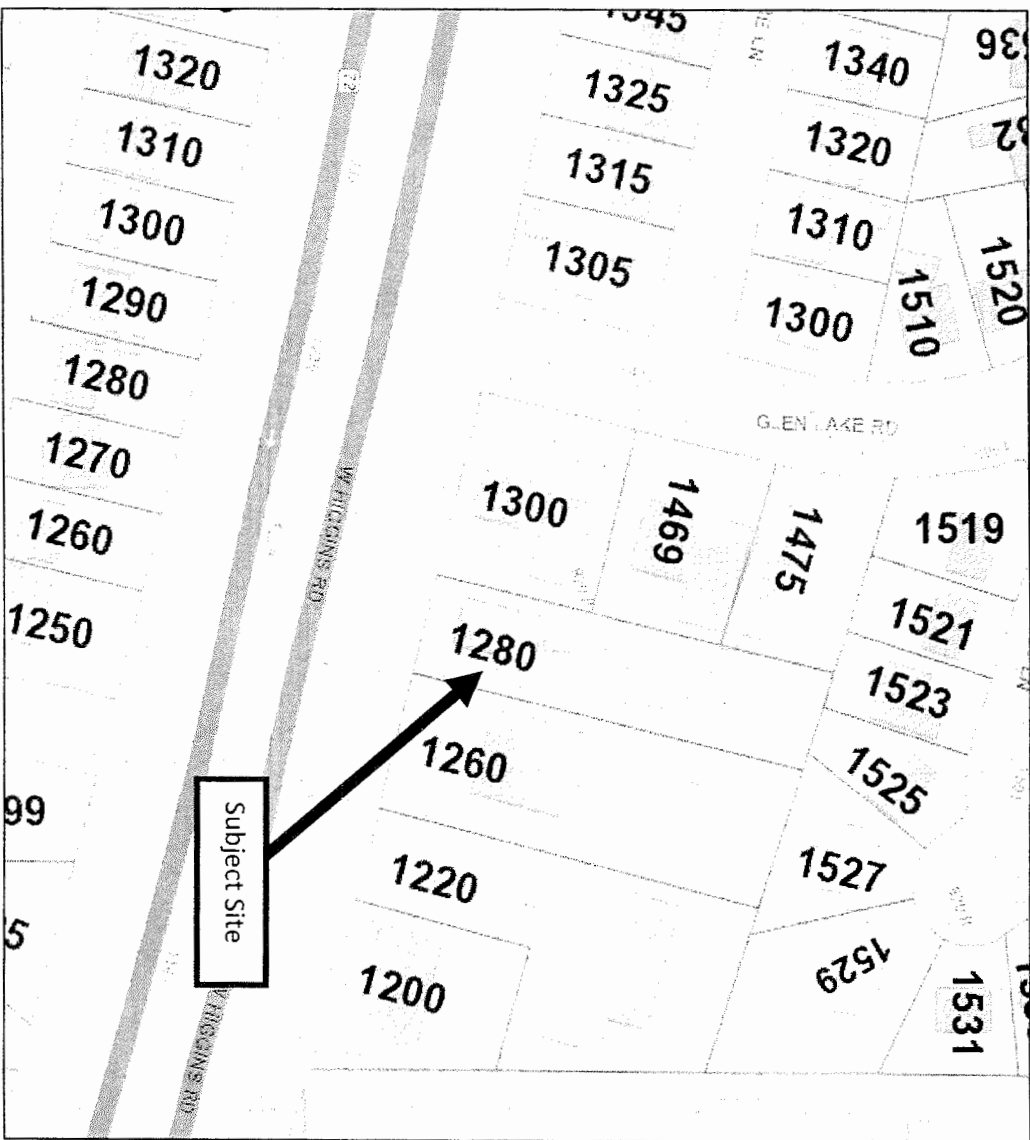
ATTEST:

Village Clerk

Published in pamphlet form this _____ day of _____, 2021.

1280 W. Higgins Road

P.I.N. 07-08-409-019-0000



January 2021
Village of Hoffman Estates
Planning Division





VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION
FINDING OF FACT

PROJECT NO.: 2020-029P

VILLAGE BOARD DATE: FEBRUARY 1, 2020

PETITIONER(S): KOKO MARINA, LLC and HENRY ZUWALA

PROJECT ADDRESS: 1280 W. HIGGINS RD

ZONING DISTRICT: B-2 BUSINESS

Does the Planning and Zoning Commission find that this request meets the Standards
for a Special Use?

YES

NO

Recommendation: **APPROVAL**

Vote: **10 Ayes 0 Nays 1 Absent**

PZC MEETING DATE: JANUARY 20, 2021

STAFF ASSIGNED: KEVIN ANDERSON

Request by Koko Marina, LLC (owner) and Henry Zuwala (applicant) to consider a Special Use under Section 9-8-2-C-9 of the Zoning Code to permit a stand-alone parking lot on the property located at 1280 W Higgins Road:

1. The parking shall only be used by employees and customers of the commercial uses at 1475 Glen Lake Road. No boats, RVs, disabled vehicles, or vehicles from other commercial uses shall be permitted to use the parking lot. No sales or display of vehicles for sale may occur from the subject property.
2. There shall be no exterior storage or displays on the subject property.
3. The cross access easement shall remain in effect and shall not be blocked or impeded by any current or future user of the property.
4. This Special Use is granted solely to Koko Marina, LLC (Steven Rempas, Manager) and is not transferable.

FINDING

The Planning & Zoning Commission heard the request from Henry Zuwala. Mr. Zuwala explained that the structure that had been on the property has already been demolished and they are seeking to keep the existing parking lot pending a future development proposal.

The Plan Commission had questions regarding the existing access easement location and the Petitioner's intentions for the property.

The applicant identified that they plan to market the property for lease or sale within the year. Staff noted any future development of the property will require an additional review from the PZC and the Village Board.

AUDIENCE COMMENTS

None

Planning and Zoning Commission Finding of Fact
1280 W. Higgins Rd. – Stand-alone parking lot
Village Board Meeting Date: February 1, 2021

PLANNING AND ZONING COMMISSIONERS

Chairperson Eva Combs	Myrene Iozzo
Vice-Chairman Greg Ring	Minerva Milford
Adam Bauske	Nancy Trieb
Tom Burnitz	Sohita Patel
Lon Harner	Denise Wilson
Lenard Henderson	

ROLL CALL VOTE

10 Ayes
0 Nay
0 Abstain
1 Absent

MOTION PASSED

The Commission considered the Standards for a Special Use and determined that the proposed use meets the Standards. The Commission voted to recommend approval of the request.

If the Village Board approves this proposal, four conditions are included to ensure that the property will be utilized in a manner consistent with the Petitioner's proposal.

The following attachments are hereby incorporated as part of this Finding of Fact:

- Petition for Hearing
- Location Map
- Legal Notice
- Plat of Survey
- Cross Access Easement Exhibit

VILLAGE OF HOFFMAN ESTATES

AN ORDINANCE SUPPORTING A COOK COUNTY CLASS 7C
CLASSIFICATION RENEWAL APPLICATION FOR PROPERTY TAX
ASSESSMENT PURPOSES FOR THE SHOPPING CENTER SITE LOCATED AT
719 WEST GOLF ROAD, HOFFMAN ESTATES

WHEREAS, the Cook County Real Property Assessment Classification Ordinance requires the Village's support and consent for an application for a 7C renewal real estate classification under Sec. 74-63 (11); and

WHEREAS, the corporate authorities have received a renewal request from Chander Badani Mata, LLC ("Owner") to support and consent to the filing of a renewal application for a Class 7C Tax Incentive for the property located at 719 West Golf Road, in Hoffman Estates, Illinois, (PIN: 07-16-200-030-0000) (the "Property"), as legally described in **Exhibit A**; and

WHEREAS, the Owner intends to continue to use the property for retail commercial purposes, including tenants such as Ace Hardware, Sherman-Williams and Hertz; and

WHEREAS, the corporate authorities have received information, letters and testimony regarding said request, including the Owner's completed renewal application attached as **Exhibit B**; and

WHEREAS, Owner cannot make this continued financial commitment without a commitment of support from the Village for a renewal of the current Cook County 7C real estate classification; and

WHEREAS, the continued investment would result in significant economic and fiscal impacts for the Village of Hoffman Estates and Cook County; and

WHEREAS, the Village is willing to assist Owner in receiving the Class 7C Tax Incentive renewal for the Property, provided the Owner continues the lease to Ace Hardware through the duration of the Class 7C; and

WHEREAS, the continued commercial use of the Property is necessary and beneficial to the local economy; and

WHEREAS, it is in the best interests of the Village of Hoffman Estates and its residents to attract and retain new and diverse businesses and support and consent to an application for a Cook County 7C renewal real estate classification for the subject property.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: That the Village of Hoffman Estates supports and consents to Owner's filing of a Class 7C Classification renewal application with respect to the Property and finds Class 7C classification under the Cook County Real Estate Classification System necessary for development to occur on the Property.

Section 2: The Village of Hoffman Estates finds that a renewal of the incentive is necessary for Owner to continue a lease to Ace Hardware and other commercial tenants at the Property, and that without such designation, the enterprise would not be economically viable causing the property to be in imminent risk of becoming vacant and unused.

Section 3: That the Village Clerk shall certify a copy of this Ordinance and send a certified copy to the office of the Assessor of Cook County.

Section 4: The Village Clerk is hereby authorized to publish this ordinance in pamphlet form.

Section 5: That this Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2020

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Michael Gaeta	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2021

Village President

ATTEST:

Village Clerk

Published in pamphlet form this _____ day of _____, 2021.

Exhibit A
Legal Description

PARCEL 1: LOT 1 IN MOBIL'S SUBDIVISION OF PART OF THE NORTHEAST 1/4 OF SECTION 16, TOWNSHIP 41 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 2: NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF PARCEL 1 FOR INGRESS AND EGRESS OVER AND UPON THE FOLLOWING DESCRIBED PROPERTY: THAT PART OF THE NORTHEAST 1/4 OF SECTION 16, TOWNSHIP 41 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE EAST LINE OF THE WEST 10 ACRES OF THE NORTHWEST 1/4 OF THE SAID NORTHEAST 1/4 AND THE SOUTH LINE OF GOLF ROAD; THENCE SOUTH 2 DEGREES 48 MINUTES 8 SECONDS WEST ALONG SAID EAST LINE OF THE WEST 10 ACRES 440.12 FEET; THENCE NORTH 89 DEGREES 22 MINUTES 58 SECONDS EAST 888.19 FEET, THENCE NORTH 0 DEGREES 37 MINUTES 02 SECONDS WEST 70.00 FEET; THENCE SOUTH 89 DEGREES 22 MINUTES 58 SECONDS WEST 837.38 FEET; THENCE NORTH 2 DEGREES 48 MINUTES 08 SECONDS EAST TO THE SOUTH LINE OF GOLF ROAD; THENCE SOUTH 83 DEGREES 22 MINUTES 58 SECONDS WEST ALONG SAID SOUTH LINE 46.65 FEET, TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS. AS RESERVED IN DEED RECORDED AS DOCUMENT 21205996 AND CORRECTED BY DEED RECORDED AS DOCUMENT 21551389 AND CONTAINED IN GRANT RECORDED NOVEMBER 15, 1971 AS DOCUMENT 21701797.

PARCEL 3: NON-EXCLUSIVE CROSS ACCESS EASEMENT FOR THE BENEFIT OF PARCEL 1 FOR VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS OVER PARCEL 1 AND OTHER PROPERTY AS CONTAINED IN EASEMENT AGREEMENT RECORDED AS DOCUMENT NUMBER 701755041.

4/17/17

PIN: 07-16-200-030-0000

Exhibit B
7C Renewal Application



CLASS 6B/7/8
RENEWAL APPLICATION

Control Number

A certified copy of the resolution or ordinance obtained from the municipality in which the real estate is located, or from the Cook County Board of Commissioners if located in an unincorporated area, must accompany this Renewal Application. This application, resolution and a filing fee of \$500.00 must be filed. For assistance in preparing this Renewal Application, please contact the Cook County Assessor's Office Development Incentives Department at (312) 603-7529.

I. Identification of Applicant

Name: Chander Badani Mata, LLC Telephone: (847) 962-7915
Address: 721 W. Golf Road
City, State: Hoffman Estates, Illinois Zip Code: 60169
Email Address: jjayara1@gmail.com

Agent/Representative (if any)

Name: Joel Lipman Telephone: (773) 338-4117
Address: 3104 W. Touhy Avenue
City, State: Chicago, Illinois Zip Code: 60645
Email Address: joel@lipmanlinden.com

II. Description of Subject Property

Street address: 719 W. Golf Road
City, State: Hoffman Estates, Illinois Zip Code: 60169
Permanent Real Estate Index Number (s): 07-16-200-030-0000

Township: Schaumburg

III. Identification of Persons or Entities Having an Interest

Attach a current and complete list of all owners, developers, occupants and other interested parties (including all beneficial owners of a land trust) identified by names and addresses, and the nature and extent of their interest.

Attach legal description, site dimensions and square footage, and building dimensions and square footage.

IV. Property Use

Attach a current and detailed description of the precise nature and extent of the use of the subject property, specifying in the case of multiple uses the relative percentages of each use.

If there have been any changes from the original application, include current copies of materials which explain each occupant's business, including corporate letterhead, brochures, advertising material, leases, photographs, etc.

V. Nature of Development

Indicate the nature of the original development receiving the Class 6B/7/8 designation

New Construction

Substantial Rehabilitation

Occupation of Abandoned Property - No Special Circumstance

Occupation of Abandoned Property - With Special Circumstance

VI. Employment

How many permanent full-time and part-time employees do you now employ?

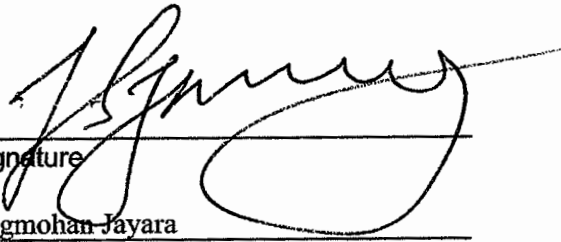
On-Site: Full-time: $\frac{10}{MR\ Ace, LLC}$ Part-time: $\frac{5}{MR\ Ace, LLC}$

In Cook County: Full-time: 10 Part-time: 5

VII. Local Approval

A certified copy of a resolution or ordinance from the municipality in which the real estate is located (or the County Board, if the real estate is located in an unincorporated area) must accompany this renewal. The ordinance or resolution must expressly state that the municipality supports and consents to this Class 6B/7/8 Renewal and has determined that the industrial use of the property is necessary and beneficial to the local economy.

I, Jagmohan Jayara the undersigned, certify that I have read this *Renewal Application* and that the statements set forth in this *Renewal Application* and in the attachments hereto are true and correct, except as those matters stated to be on information and belief and as to such matters the undersigned certifies that he/she believes the same to be true.



Signature

1/17/2021
Date

Jagmohan Jayara
Print Name

Managing Member
Title

02/10/2020

List of Owners and Occupants and Property Use

Owner of Property

1. Chander Badani Mata, LLC
721 W. Golf Road
Hoffman Estates, Illinois 60169

Owners of Chander Badani Mata, LLC

1. Mr. Jagmohan Jayara (82%)
1455 Bedford Road
Hoffman Estates, Illinois 60169
2. Mr. Pankaj Patel (18%)
c/o Pan Consultants, Inc.
800 E. Woodfield Road #104
Schaumburg, Illinois 60193

Current Tenants and Property Use

1. MR Ace, LLC (62.76%)
675 W. Golf Road
Hoffman Estates, Illinois 60169

MR Ace, LLC's lease goes through November 30, 2026, and contains one (1) five year extension option.

MR Ace, LLC operates a hardware store at the property.

2. The Hertz Corporation (8.43%)
685 W. Golf Road
Hoffman Estates, Illinois 60169

The Hertz Corporation's lease expired December 31, 2020.

The Hertz Corporation operates a car rental service at the property.

3. The Sherwin-Williams Company (16.18%)
695 W. Golf Road
Hoffman Estates, Illinois 60169

The Sherwin-Williams Company's lease goes through November 30, 2029 and contains one (1) five year extension option.

The Sherwin-Williams Company operates a paint store at the property.

4. India House Catering, LLC (12.63%)
675 W. Golf Road
Hoffman Estates, Illinois 60169

India House Catering, LLC's lease goes through December 31, 2025.

India House Catering uses its space at the property for storage.

LEGAL DESCRIPTION

PARCEL 1: LOT 1 IN MOBIL'S SUBDIVISION OF PART OF THE NORTHEAST 1/4 OF SECTION 16, TOWNSHIP 41 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

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4/17/17

PIN: 07-16-200-030-0000

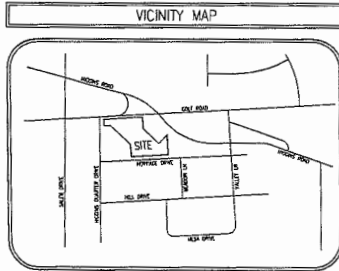
ALTA/NSPS LAND TITLE SURVEY

-OF-

PARCEL 1: LOT 1 IN MOHR'S SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 41 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

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ITEMS CORRESPONDING TO SCHEDULE B

- THE FOLLOWING SCHEDULE B TITLE DEFICIENCIES ARE CHECKED TITLE INSURANCE COMPANY COMMITMENT NUMBER 184071214768 DATED NOVEMBER 16, 2016.
- A) MET A SURVEY MATTER
 - B) DOC. NO. 031818000 - MET A SURVEY MATTER
 - C) DOC. NO. 031818000 - MET A SURVEY MATTER
 - D) DOC. NO. 031818000 - MET A SURVEY MATTER
 - E) DOC. NO. 031818000 - MET A SURVEY MATTER
 - F) DOC. NO. 031818000 - MET A SURVEY MATTER
 - G) DOC. NO. 031818000 - MET A SURVEY MATTER
 - H) DOC. NO. 031818000 - MET A SURVEY MATTER
 - I) DOC. NO. 031818000 - MET A SURVEY MATTER
 - J) DOC. NO. 031818000 - MET A SURVEY MATTER
 - K) DOC. NO. 031818000 - MET A SURVEY MATTER
 - L) DOC. NO. 031818000 - MET A SURVEY MATTER
 - M) DOC. NO. 031818000 - MET A SURVEY MATTER
 - N) DOC. NO. 031818000 - MET A SURVEY MATTER
 - O) DOC. NO. 031818000 - MET A SURVEY MATTER
 - P) DOC. NO. 031818000 - MET A SURVEY MATTER
 - Q) DOC. NO. 031818000 - MET A SURVEY MATTER
 - R) DOC. NO. 031818000 - MET A SURVEY MATTER
 - S) DOC. NO. 031818000 - MET A SURVEY MATTER
 - T) DOC. NO. 031818000 - MET A SURVEY MATTER
 - U) DOC. NO. 031818000 - MET A SURVEY MATTER
 - V) DOC. NO. 031818000 - MET A SURVEY MATTER
 - W) DOC. NO. 031818000 - MET A SURVEY MATTER
 - X) DOC. NO. 031818000 - MET A SURVEY MATTER
 - Y) DOC. NO. 031818000 - MET A SURVEY MATTER
 - Z) DOC. NO. 031818000 - MET A SURVEY MATTER

LEGEND OF SYMBOLS

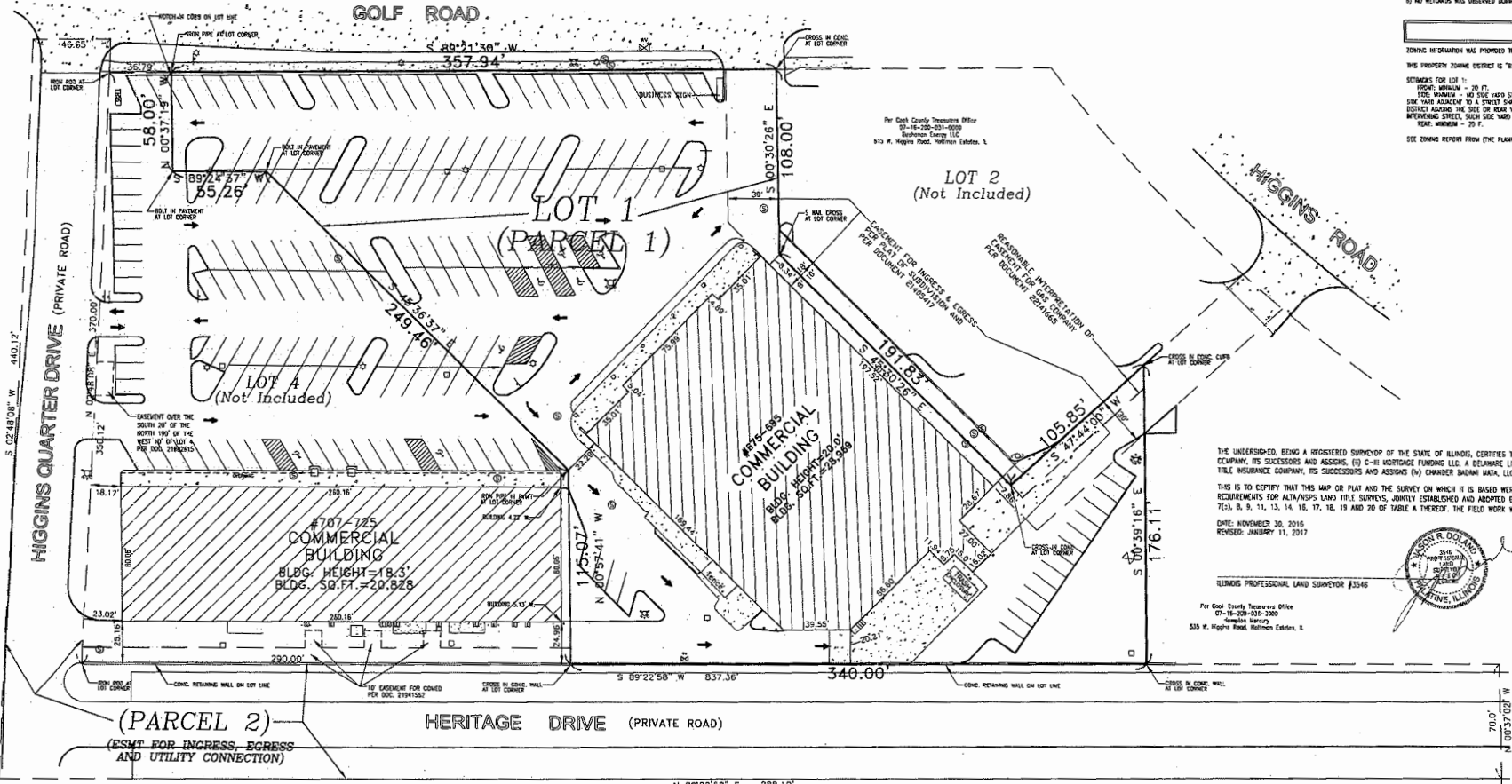
- ⊙ UNWALE
- ⊠ CATCH BASIN
- ⊗ FIRE HYDRANT
- SIDE
- ⊙ METEER
- ⊙ ELECTRIC METER
- ⊙ WIDE WALE
- ⊙ UTILITY WALE
- ⊙ LIGHT POLE

MISCELLANEOUS NOTES

- 1) PARCEL 2: 100'x100' - 1.00 ACRES
PROPERTY AREA: 100,000 SQ. FT. = 2.28 ACRES
- 2) LOT 1 AND LOT 4 WHICH ARE REPORTED TO THE SURVEYOR TO BE THE SUBJECT OF AN EASEMENT AGREEMENT CONTAIN THE FOLLOWING:
160 STANDARD PARKING SPACES
7 WAREHOUSE PARKING SPACES
- 3) ACCORDING TO F.L.M.A. MAP COMMITMENT NUMBER 1783105164 DATED 08/19/2008, THIS PROPERTY LIES IN A "ZONE C" (AREAS DETERMINED TO BE OUTSIDE THE 0.25 ANNUAL CHANCE FLOODPLAIN)
- 4) NO EVIDENCE OF RECENT EARTH WORKING, BURNING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED DURING SURVEY.
- 5) NO DOCUMENTATION WAS PROVIDED TO SURVEYOR ON ANY HIGH-WAY-WAY EASEMENT.
- 6) NO METEERS WAS OBSERVED DURING SURVEY.

ZONING NOTES

ZONING INFORMATION WAS PROVIDED TO SURVEYOR.
THIS PROPERTY ZONING DISTRICT IS "C2 COMMUNITY BUSINESS DISTRICT"
SETBACKS FOR LOT 1:
FRONT: MINIMUM - 20 FT.
SIDE: MINIMUM - NO SIDE YARD SHALL BE PROVIDED, HOWEVER, THE MINIMUM YARD RETENTION FOR ANY SIDE YARD ADJACENT TO A STREET SHALL BE 10 FT. WHERE THE SIDE YARD OF A LOT WITHIN THE R-2 DISTRICT ADJACENT TO THE SIDE OR REAR YARD OF A LOT IN A PROFESSIONAL OR JUVENILE DISTRICT EXCEEDS AN INTERSECTING STREET, SUCH SIDE YARD SHALL BE THE SAME AS REQUIRED IN THE ADJACENT DISTRICT.
REAR: MINIMUM - 20 FT.
SEE ZONING REPORT FROM THE PLANNING & ZONING RESOURCE COMPANY FOR MORE DETAILED INFORMATION.



THE UNDERSIGNED, BEING A REGISTERED SURVEYOR OF THE STATE OF ILLINOIS, CERTIFIES TO (1) C-H COMMERCIAL MORTGAGE, A DELAWARE LIMITED LIABILITY COMPANY, ITS SUCCESSORS AND ASSIGNS, (2) C-H MORTGAGE FUNDING, A DELAWARE LIMITED LIABILITY COMPANY, ITS SUCCESSORS AND ASSIGNS, (3) CHICAGO TITLE INSURANCE COMPANY, ITS SUCCESSORS AND ASSIGNS (4) CHANDLER BAHAM HATA, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6, 7(a), 7(b)(1), 7(c), 8, 9, 11, 13, 14, 16, 17, 18, 19 AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON NOVEMBER 30, 2016.

DATE: NOVEMBER 30, 2016
REVISED: JANUARY 11, 2017



For Cook County Insurance Office
07-15-200-031-2000
American Mercury
515 W. Higgins Road, Hoffman Estates, IL

SCALE: 1" = 30'
DOLAND ENGINEERING, LLC
-CIVIL ENGINEERING - LAND SURVEYING - LAND PLANNING-
334 EAST COLFAX STREET, SUITE C
PALATINE, ILLINOIS 60067
(847) 951-5009
(847) 534-3427 FAX

VILLAGE OF HOFFMAN ESTATES

AN ORDINANCE AUTHORIZING THE EXECUTION OF AN INTERGOVERNMENTAL AGREEMENT BETWEEN THE VILLAGE OF HOFFMAN ESTATES AND THE O'HARE NOISE COMPATIBILITY COMMISSION

WHEREAS, the City of Chicago ("City") is a home rule municipality pursuant to Article VII, Section 6 of the 1970 Illinois Constitution (the "Illinois Constitution"), and, as such, may exercise any power and perform any function related to its government and affairs; and

WHEREAS, the City owns and operates an airport known as Chicago O'Hare International Airport (the "Airport"); and

WHEREAS, pursuant to authority granted by an ordinance adopted by the Chicago City Council on October 30, 1996, and Section 10 of Article VII of the Illinois Constitution and the Intergovernmental Cooperation Act (5 ILCS 220), the City entered into an Intergovernmental Agreement Relating to the O'Hare Noise Compatibility Commission (the "Intergovernmental Agreement") by and among the City and various municipalities and public school districts (as defined in the Intergovernmental Agreement, "Participants"); and

WHEREAS, the O'Hare Noise Compatibility Commission ("ONCC") was established pursuant to the Intergovernmental Agreement and provides a common forum for interested parties to have a voice in noise issues related to the Airport; and

WHEREAS, by its terms, the Intergovernmental Agreement became effective in November of 1996 and the term was extended from December 31, 2020 to December 31, 2025; and

WHEREAS, ONCC has indicated a desire to enter into a new Intergovernmental Agreement; and

WHEREAS, the Village of Hoffman Estates is currently a member of the ONCC; and

WHEREAS, the City of Chicago has approved a new Intergovernmental Agreement which is attached to this Ordinance as Exhibit "A".

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: That the recitals set forth above are incorporated herein by reference as the factual basis for this transaction.

Section 2: That the Village President is hereby authorized to execute, and the Clerk to attest, the approval of the attached Intergovernmental Agreement relating to the ONCC.

Section 3: The Village Clerk is hereby authorized to publish this ordinance in pamphlet form.

Section 4: This Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2021

Table with 5 columns: VOTE, AYE, NAY, ABSENT, ABSTAIN. Rows list Village officials: Trustee Karen V. Mills, Trustee Anna Newell, Trustee Gary J. Pilafas, Trustee Gary G. Stanton, Trustee Michael Gaeta, Trustee Karen Arnet, and President William D. McLeod.

APPROVED THIS _____ DAY OF _____, 2021

Village President

ATTEST:

Village Clerk
Published in pamphlet form this _____ day of _____, 2021.



HOFFMAN ESTATES

GROWING TO GREATNESS

January 13, 2021

To: Mayor and Board of Trustees

TREASURER'S REPORT

December 2020

Attached hereto is the Treasurer's Report for the month of December, 2020, summarizing total cash receipts and disbursements for the various funds of the Village.

For the Operating funds, cash disbursements and transfers-out exceeded cash receipts and transfers-in by \$4.1 million, primarily due to general operating expenses. After including these receipts and disbursements, the balance of cash and investments for the operating funds is \$42.8 million.

For the Operating, Debt Service and Capital Projects funds, cash disbursements and transfers-out exceeded cash receipts and transfers-in by \$5.2 million, primarily due to general operating expenses.

For the Trust Funds, cash receipts and transfers-in exceeded cash disbursements and transfers-out by \$13.4 million, primarily due to pension fund investment activity.

The total for cash and investments for all funds increased to \$250.4 million.

Respectfully Submitted,

Stan W. Helgerson
Village Treasurer

Attachment

TREASURER'S REPORT
FOR THE MONTH ENDING December 31, 2020

Fund	Beginning Balance	Receipts/ Transfers - In	Disbursements/ Transfers - Out	Amount in Cash	Amount Invested	Ending Balance
Operating Funds						
General (incl. Veterans' Mem)	\$ 23,227,423	\$ 3,059,866	\$ 5,944,299	\$ 1,558,526	\$ 18,784,464	\$ 20,342,990
Payroll Account	-	4,021,434	4,021,434	-	-	-
Petty Cash	2,100	-	-	2,100	-	2,100
Foreign Fire Ins. Board	143,642	-	-	143,642	-	143,642
Cash, Village Foundation	13,991	-	-	13,991	-	13,991
Cash, Fire Protection District	3	-	-	3	-	3
Motor Fuel Tax	1,536,736	165,813	504,337	47,437	1,150,775	1,198,212
Comm. Dev. Block Grant	9,917	12,251	11,732	10,436	-	10,436
Asset Seizure - Federal	517,518	41,662	37,775	517,034	4,371	521,405
Asset Seizure - State	346,530	4	-	290,556	55,979	346,535
Asset Seizure - Battle	845	-	-	-	845	845
Asset Seizure - U.S. Marshall	7,814	-	-	7,814	-	7,814
Municipal Waste System	624,953	238,240	440,071	415,147	7,975	423,122
Roselle Road TIF	1,677,435	12	4,485	550,101	1,122,861	1,672,962
Higgins/Hassell TIF	12,584	-	390	12,194	-	12,194
Barrington/Higgins TIF	611,530	12	390	291,996	319,156	611,152
Water & Sewer	13,623,646	1,628,859	2,338,336	1,627,290	11,286,879	12,914,169
NOW Operating	435,386	372,909	473,019	255,597	79,680	335,277
Insurance	2,831,533	171,923	89,561	721,062	2,192,834	2,913,895
Information Systems	1,269,243	152,992	111,364	618,599	692,272	1,310,872
Total Operating Funds	\$ 46,897,203	\$ 9,865,977	\$ 13,977,192	\$ 7,083,524	\$ 35,698,092	\$ 42,785,988
Debt Service						
2015 A & C G.O. Debt Serv.	\$ 750,000	\$ -	\$ 75,000	\$ 675,000	\$ -	\$ 675,000
2016 G.O. Debt Serv.	818	645	-	1,462	-	1,462
2018 G.O. Debt Serv.	9,091	12,941	-	22,032	-	22,032
Total Debt Service Funds	\$ 759,909	\$ 13,586	\$ 75,000	\$ 698,494	\$ -	\$ 698,494
Capital Projects Funds						
Central Road Imp.	\$ 55,395	\$ 1	\$ -	\$ 41,811	\$ 13,584	\$ 55,396
Hoffman Blvd Bridge Maintenance	273,847	4	-	3,123	270,728	273,850
Western Corridor	3,524,647	87,148	12,500	95,980	3,503,314	3,599,295
Traffic Improvement	18,400	-	-	18,400	-	18,400
Prairie Stone Capital	1,767,661	901	698,196	54,368	1,015,998	1,070,366
Road Improvements	3,332,637	953,472	1,234,756	745,165	2,306,188	3,051,353
Central Area Road Impact Fee	126,676	-	-	126,676	-	126,676
Western Area Traff. Impr.	26,549	-	-	26,549	-	26,549
West Area Rd Impr. Impact Fee	71,404	-	-	71,404	-	71,404
Capital Improvements	582,702	133,831	168,874	297,905	249,755	547,660
Capital Vehicle & Equipment	328,873	152,048	54,279	331,915	94,726	426,641
Capital Replacement	932,154	58,341	1,025	657,679	331,791	989,470
Stormwater Management	349,124	47,709	704	396,129	-	396,129
2019 Capital Projects	306,337	0	261,348	-	44,990	44,990
Total Capital Proj. Funds	\$ 11,696,408	\$ 1,433,454	\$ 2,431,682	\$ 2,867,105	\$ 7,831,074	\$ 10,698,179
Total Operating, Debt Service and Capital Project Funds	\$ 59,353,519	\$ 11,313,016	\$ 16,483,874	\$ 10,649,124	\$ 43,529,166	\$ 54,182,662
Trust Funds						
Police Pension (November)	\$ 75,028,023	\$ 7,543,930	\$ 606,477	\$ 101,820	\$ 81,863,656	\$ 81,965,475
Firefighters Pension (November)	96,103,293	7,200,501	539,157	18,580	102,746,057	102,764,637
EDA Spec. Tax Alloc.	11,622,107	92	151,444	3,193,195	8,277,560	11,470,755
Total Trust Funds	\$ 182,753,422	\$ 14,744,523	\$ 1,297,078	\$ 3,313,595	\$ 192,887,273	\$ 196,200,867
GRAND TOTAL	\$ 242,106,942	\$ 26,057,539	\$ 17,780,952	\$ 13,962,719	\$ 236,416,439	\$ 250,383,529

This meeting is being held via telephonic attendance

**AGENDA
FINANCE COMMITTEE
Village of Hoffman Estates
February 22, 2021**

DRAFT

7:00 p.m. - Board Room

Members:	Gary Pilafas, Chairperson	Karen Mills, Trustee
	Anna Newell, Vice Chairperson	Gary Stanton, Trustee
	Michael Gaeta, Trustee	Karen Arnet, Trustee
		William McLeod, Mayor

I. Roll Call

**II. Approval of Minutes – January 25, 2021
February 8, 2021 (Special)**

REPORTS (INFORMATION ONLY)

1. Finance Department Monthly Report.
2. Information System Department Monthly Report.
3. NOW Arena Monthly Report.

III. President's Report
IV. Other
V. Items in Review
VI. Adjournment

Further details and information can be found in the agenda packet attached hereto and incorporated herein and can also be viewed online at www.hoffmanestates.org and/or in person in the Village Clerk's office.

The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.

This meeting is being held via telephonic attendance.

AGENDA
PUBLIC WORKS & UTILITIES COMMITTEE
Village of Hoffman Estates

February 22, 2021

Immediately following Finance Committee

DRAFT 02.11.2021

Members: Anna Newell, Chairperson
Michael Gaeta, Vice Chairperson
Gary Pilafas, Trustee
Karen V. Mills, Trustee

Gary G. Stanton, Trustee
Karen J. Arnet, Trustee
William McLeod, Mayor

- I. Roll Call**
- II. Approval of Minutes – January 25, 2021**

NEW BUSINESS

1. Request authorization to extend 2020 contract for 2021 Contracted Branch/Brush Pickup Program to Lucas Landscape and Design, Deerfield, IL, in an amount not to exceed \$32,500.
2. Request authorization to extend 2020 contract for 2021 season landscape maintenance services for (C&D locations) Village maintained detention areas and park type properties and various cul-de-sac islands to V. Cardenas Landscaping, East Dundee, IL, in an amount not to exceed \$55,428.50.
3. Request authorization to extend 2020 contract for 2021 Parkway Tree Planting Program to St. Aubin Nursery, Kirkland, IL, in an amount not to exceed \$79,750.
4. Request authorization to extend the 2020 contract for 2021 Roadway Pavement Marking Program to Preform Traffic Control Systems, LTD., Elk Grove, IL, in an amount not to exceed \$42,000.
5. Request authorization to extend 2020 contract for 2021 Street Sweeping Program, inclusive of all associated costs including removal and hauling of debris to Lakeshore Recycling Systems (LRS) LLC., West Chicago, IL in an amount not to exceed \$100,000.

REPORTS (INFORMATION ONLY)

1. Department of Public Works Monthly Report.
2. Engineering Division Monthly Report.

- III. President's Report**
- IV. Other**
- V. Items in Review**
- VI. Adjournment**

Further details and information can be found in the agenda packet attached hereto and incorporated herein and can also be viewed online at www.hoffmanestates.org and/or in person in the Village Clerk's office).

This meeting is being held via telephonic attendance.

AGENDA
PUBLIC HEALTH AND SAFETY COMMITTEE
Village of Hoffman Estates
February 22, 2021

Immediately Following Public Works & Utilities Committee

Members: **Michael Gaeta, Chairman**
 Gary Pilafas, Vice Chairman
 Anna Newell, Trustee
 Karen Mills, Trustee
 Gary Stanton, Trustee
 Karen Arnet, Trustee
 William McLeod, Mayor

- I. Roll Call**
- II. Approval of Minutes – January 25, 2021 Committee Meetings**

NEW BUSINESS

REPORTS (INFORMATION ONLY)

- 1. Police Department Monthly Report.
- 2. Health & Human Services Monthly Report.
- 3. Emergency Management Coordinator Monthly Report.
- 4. Fire Department Monthly Report.

- III. President’s Report**
- IV. Other**
- V. Items in Review**
- VI. Adjournment**

(Further details and information can be found in the agenda packet attached hereto and incorporated herein and can also be viewed online at www.hoffmanestates.org and/or in person in the Village Clerk’s office).

The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.



VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION
FINDING OF FACT

PROJECT NO.: 2020-031P

VILLAGE BOARD DATE: FEBRUARY 15, 2020

PETITIONER(S): HOFFMAN ESTATES ACQUISITIONS, LLC and SOMERSET DEVELOPMENT

PROJECT ADDRESS: 2000 CENTER DR

ZONING DISTRICT: CMU COMMERCIAL MIXED USE

Recommendation: **APPROVAL**

Vote: **10 Ayes 0 Nays 1 Abstain 0 Absent**

PZC MEETING DATE: FEBRUARY 3, 2021

STAFF ASSIGNED: KEVIN ANDERSON

Request by Hoffman Estates Acquisitions, LLC and Somerset Development, LLC (owner and applicant) to consider a Site Plan Amendment to modify the eastern building entrance, remove a pedestrian skywalk, and modify the drive aisle configuration at the Bell Works property located at 2000 Center Drive. The following conditions shall apply:

1. The Site Plan Amendment shall significantly conform to the plans presented by the Petitioner.
2. A lighting plan for the building entrance, crosswalk and sidewalks within the scope of the current request shall be submitted prior to opening the modified east entrance.
3. The second floor of the parking garage shall not be utilized until such time as the parking garage modifications have been approved (through the site plan amendment process) and constructed and ADA compliance has been achieved.
4. A comprehensive lighting plan with photometrics shall be submitted as part of the future site plan amendment request for the parking garage modifications. The lighting plan shall ensure appropriate lighting levels for the all roads providing access to the parking garage, sidewalks, building and garage entrances, and the pedestrian crosswalks.

FINDING

The Planning & Zoning Commission heard the request from Matthew Duggan with Wight & Co., and Ken Gold with Somerset Development. Mr. Duggan provided an overview of the proposal. They are requesting to remove the pedestrian bridge as it no longer functions for a second story entrance. The façade would be improved to match the existing building. A new canopy would be included. The drive aisle will be modified to reduce pedestrian/vehicle conflicts and improve ADA access to the building.

The Commissioners had questions regarding ADA accessibility during and after construction. Mr. Duggan explained there is currently accessible parking in the first floor underground parking garage. Additional spaces will be provided throughout the site as additional phases are completed. Mr. Duggan also explained the ADA accessible pedestrian path into and through the building.

The Commissioners had questions regarding the lighting plans. Staff advised there are two conditions of approval related to lighting, one in the project area and one for the entire eastern garage. The lighting plan for the eastern garage would require the Commission’s review.

AUDIENCE COMMENTS

None

PLANNING AND ZONING COMMISSIONERS

Chairperson Eva Combs	Myrene Iozzo
Vice-Chairman Greg Ring	Minerva Milford
Adam Bauske	Nancy Trieb
Tom Burnitz	Sohita Patel
Lon Harner	Denise Wilson
Lenard Henderson	

ROLL CALL VOTE

10 Ayes
0 Nay
1 Abstain (Ring)
0 Absent

MOTION PASSED

The Commission voted to recommend approval of the request.

If the Village Board approves this request, four conditions are included to ensure that the development will occur in a manner consistent with the Petitioner’s proposal.

The following attachments are hereby incorporated as part of this Finding of Fact:

- Staff Report
- Application
- Project Narrative
- Plans
- Area Map



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT NO.: **2020-031P**

PROJECT NAME: **BELL WORKS EAST ENTRANCE
RENOVATIONS**

PROJECT ADDRESS/LOCATION: **2000 CENTER DR**

PUBLIC HEARING YES NO

REZONING MASTER SIGN PLAN SPECIAL USE VARIATION
SITE PLAN AMENDMENT PLAT

MEETING DATE: **FEBRUARY 3, 2021**

STAFF ASSIGNED: **KEVIN ANDERSON**

REQUESTED MOTION

Request by Hoffman Estates Acquisitions, LLC and Somerset Development, LLC (owner and applicant) to consider a Site Plan Amendment to modify the eastern building entrance, remove a pedestrian skywalk, and modify the drive aisle configuration at the Bell Works property located at 2000 Center Drive.

INCLUDES RECOMMENDED CONDITIONS YES NO

ZONING DISTRICT	CMU Commercial Mixed Use	
ADJACENT PROPERTIES:	NORTH: Industrial building & vacant Zoned M-2	SOUTH: Huntington 90 Business Park Zoned O-3, Central Road and Illinois Tollway (I-90)
	EAST: Huntington Boulevard and Cook County Forest Preserve Zoned F-P	WEST: Industrial Zoned M-2
	NORTHWEST: vacant land zoned B-2	
Property Index Numbers: 01-36-301-013, 01-36-402-014		

BACKGROUND

In 2018, the Village approved a Redevelopment Agreement, a Concept Site Plan, and rezoned the property to C-MU Commercial Mixed Use District for the Bell Works mixed-used project. In 2019, the Village approved the Phase 1 plans which include renovation of the interior lobby and atrium space, building out office space, and retail/restaurant space in the eastern half of the main building. Somerset is currently installing these improvements and their initial tenants have occupancy in the building.

Meeting Date: February 3, 2021

PROPOSAL

The Petitioner is proposing to modify the east entrance of Bell Works, which serves as the primary entrance for the eastern portion of the building. This proposal includes the removal of the existing covered pedestrian skywalk which provides access from the second (top) floor of the east parking garage to second story of the building. Additionally, the proposal includes reconfiguration of the East Drive between the building and the east garage to improve drop-off functionality and pedestrian safety.

Per the approved Phase 1 plan, the second floor of the eastern parking garage and the eastern half of the first floor are currently closed and not in use.

ANALYSIS

- With the proposed removal of the pedestrian skywalk, the eastern entrance of the building would only be accessible through the ground floor.
- The Petitioner proposes to cover the abandoned second floor entrance with a new façade to match the existing design elements in the remainder of the building.
- A new steel and glass canopy would be constructed over the main entrance doors.
- The plans include a redesign of the East Drive drop-off areas. Currently the drop-off zones are directly in conflict with the at-grade crosswalk providing pedestrian access from the garage to the main building. The Petitioner is proposing to offset the drop-off zones to the north and south of the 15 foot pedestrian crosswalk. This modification will serve to minimize pedestrian and vehicular conflicts on East Drive.
- The new drop-off zone design would include a combination of barrier curbs and flush curbing for ADA accessibility.
- Lighted, protective bollards are proposed along the drop-off areas to delineate and protect the pedestrian way. The pedestrian walkway would be ADA compliant.
- By relocating the eastern drop-off areas as proposed, the grading plan must also be modified. A new retaining wall would be necessary along the northeast drop-off zone and would have a maximum height of approximately 3 feet.
- New landscaping is proposed around the eastern building entrance.
- Additional lighting may be required after removal of the skyway. A recommended condition of approval has been added to ensure a lighting plan is submitted prior to opening the modified east entrance of the building.

FUTURE SITE PLAN REVIEWS

The removal of the pedestrian skywalk will require additional modifications to the parking garage to ensure ADA compliance is provided for the second floor parking garage. The applicant is currently working on plans for the garage modifications, which will be considered as a future site plan amendment request.

Recommended conditions of approval are included to ensure that adequate lighting is provided and ADA compliance is achieved prior to utilizing the second floor of the parking garage.

RECOMMENDED CONDITIONS

1. The Site Plan Amendment shall significantly conform to the plans presented by the Petitioner.
2. A lighting plan for the building entrance, crosswalk and sidewalks within the scope of the current request shall be submitted prior to opening the modified east entrance.
3. The second floor of the parking garage shall not be utilized until such time as the parking garage modifications have been approved (through the site plan amendment process) and constructed and ADA compliance has been achieved.
4. A comprehensive lighting plan with photometrics shall be submitted as part of the future site plan amendment request for the parking garage modifications. The lighting plan shall ensure appropriate lighting levels for the all roads providing access to the parking garage, sidewalks, building and garage entrances, and the pedestrian crosswalks.

Attachments: Staff Report
 Application
 Project Narrative
 Plans
 Area Map



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING GENERAL APPLICATION*

Special Use for _____ Rezoning from _____ to _____

Variation: Commercial Residential Sign

Plat (Subdivision & Others): Preliminary Final

Site Plan: Amendment Concept Preliminary Final

Master Sign Plan: Amendment

Other: _____

*** ADDENDUM MATERIALS ARE REQUIRED FOR SPECIFIC REQUESTS**

Posting of Notification Sign(s) may be required.

Specific requirements will be provided when your request is scheduled.

FOR VILLAGE USE ONLY

Hearing Fee _____ Check No. _____ Date Paid _____

Project Number: _____

Staff Assigned: _____

Meeting Date: _____

Public Hearing: Yes No

Sign Posting Required: Yes No

Date Sign Posted _____

PLEASE PRINT OR TYPE

Date: 11/30/2020

Project Name: Bell Works

Project Description: East Entrance Renovations

Project Address/Location: 2000 AT&T Center Drive

Property Index No. 01-36-301-013, 01-36-401-005, 01-36-401-006, 01-36-402-014

Acres: 152

Zoning District: CMU-Mixed Use

I. Owner of Record

Hoffman Estates Acquisitions, LLC Somerset Development, LLC

Name		Company
101 Crawfords Corner Road		Holmdel
Street Address		City
New Jersey 07733		732-367-2828
State	Zip Code	Telephone Number
		Ralph@sdnj.com
Fax Number	E-Mail Address	

II. Applicant (Contact Person/Project Manager)

Ralph Zucker Somerset Development

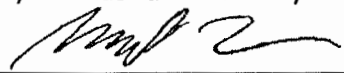
Name		Company
101 Crawfords Corner Road		Holmdel
Street Address		City
New Jersey 07733		732-415-7171
State	Zip Code	Telephone Number
		ralph@sdnj.com
Fax Number	E-Mail Address	

Applicant's relationship to property: Owner

III. Owner Consent for Authorized Representative

It is required that the property owner or his designated representative be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. **If the owner cannot be present at the meeting, the following statement must be signed by the owner:**

I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize Ken Gold to act on my behalf and advise that he/she has full authority to act as my/our representative.



Raphael Zucker


Owner Signature

Print Name

IV. Acknowledgement(s)

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

The Owner and Applicant, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature:  _____

Owner's Name (Please Print): Ralph Zucker

Applicant's Signature: _____
(If other than Owner)

Applicant's Name (Please Print): _____

Date: 11/30/2020

All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.

Please contact the Planning Division (located in the Municipal Building) with any questions:

Email: planning@hoffmanestates.org
Address: 1900 Hassell Road
Hoffman Estates, IL 60169
Phone: (847) 781-2660
Fax: (847) 781-2679

Addendums Attached:

- Special Use
- Rezoning
- Variation
- Plat
- Site Plan
- Master Sign Plan
- Other _____

Project Narrative

This site plan amendment seeks to beautify the eastern entrance of Bell Works, which is serving as the primary entrance for phase 1 of the project. At present, there is a covered walking bridge from the 2nd floor of the parking deck to the 3rd level of Bell Works. This bridge also covers the pedestrian path from the ground level of the parking deck to the 2nd level of Bell Works (for clarity, the first level of Bell Works is built into grade below the 2nd level). The entrance on the third level has turnstiles and a security desk and has a stairway that goes up to the top floor and down to the main entrance as well as doors to enter the 3rd floor. There are two double French doors at the entrance on the main level with a slightly graded pathway up to the doors from the exterior.

The plan is to remove the walking bridge as well as remove the floor on the 3rd level to open the entirety of the space. This will create a majestic entrance three stories tall and bring additional light into the main entrance. The bridge's purpose was largely to connect the interior bridge that ran all way to through the eastern atrium. That interior bridge has been removed as part of the renovation of Bell Works, and as such, the connection no longer exists and is moot. Additionally, we want all the foot traffic to enter on the 2nd level so that they walk through and pass the retail. This also will serve as a buffer and security for the office tenants above.

While this will increase the number of pedestrians crossing the east ring road, the safety of that crossing should remain the same as the only reason cars will be on that road is to access the parking deck. The entrances to the parking lot are on both sides of the walkway, so the cars should turn into the lot without driving through the pedestrian crossing. This area will not serve as the primary entrance so there will be drop-offs allowed. However, construction and delivery drop offs will remain in their current locations.

It is important to clarify that we are not changing anything with respect to parking counts or ADA spaces. The plan remains to keep the ADA parking in the executive parking lot. Having said that, the parking deck is being modified to eventual support the ADA parking spaces. As such, an ADA ramp is being constructed to accommodate this need. Again, we are not seeking to amend the current ADA plan, merely to prepare the site for the eventual relocation of the ADA spaces.

We also have interest in adding an elevator to the parking deck in the future, but do not have that definitive timing or plans.



wight

Wight & Company
wightco.com
211 North Clinton Street
Chicago, IL 60601
P 312.251.5700
F 312.251.5701



- 11 EAST VESTIBULE APPROXIMATE
- 10 EAST VESTIBULE APPROXIMATE
- 9 EAST VESTIBULE APPROXIMATE
- 8 EAST VESTIBULE APPROXIMATE
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- 3 EAST VESTIBULE APPROXIMATE
- 2 EAST VESTIBULE APPROXIMATE
- 1 EAST VESTIBULE APPROXIMATE

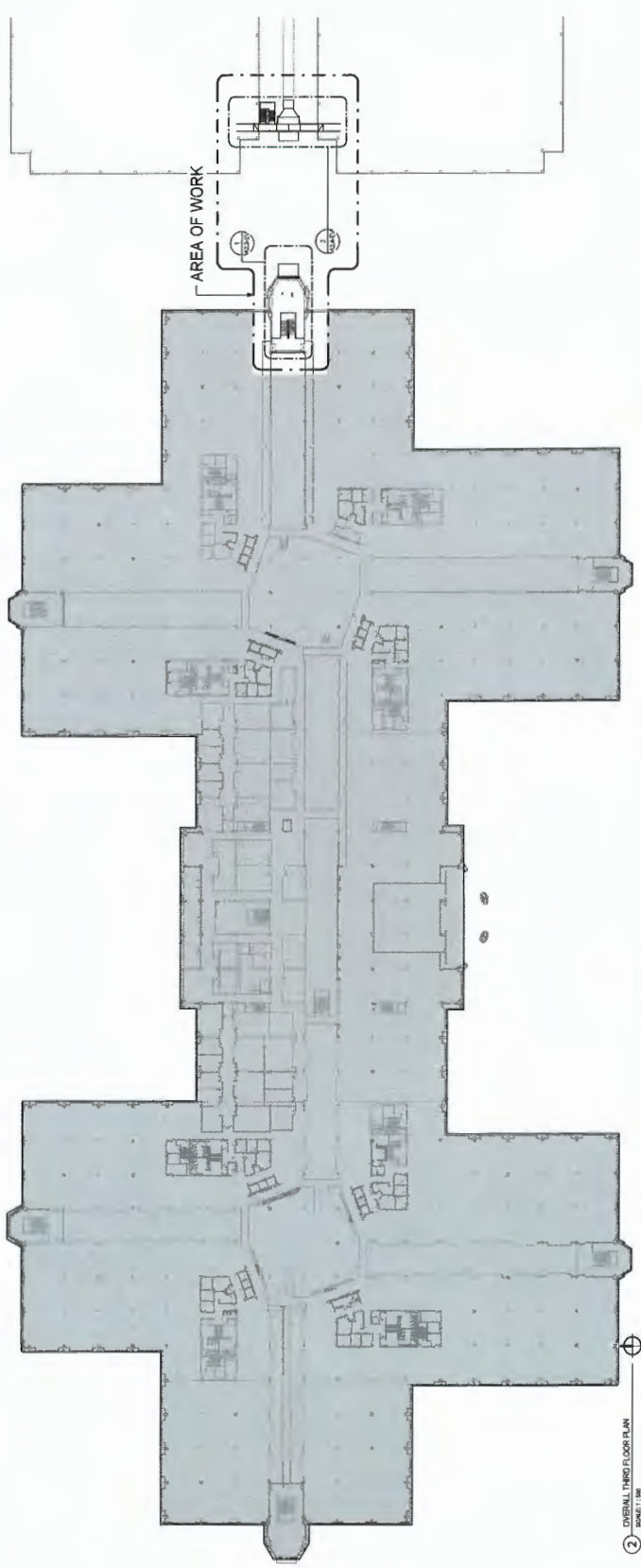
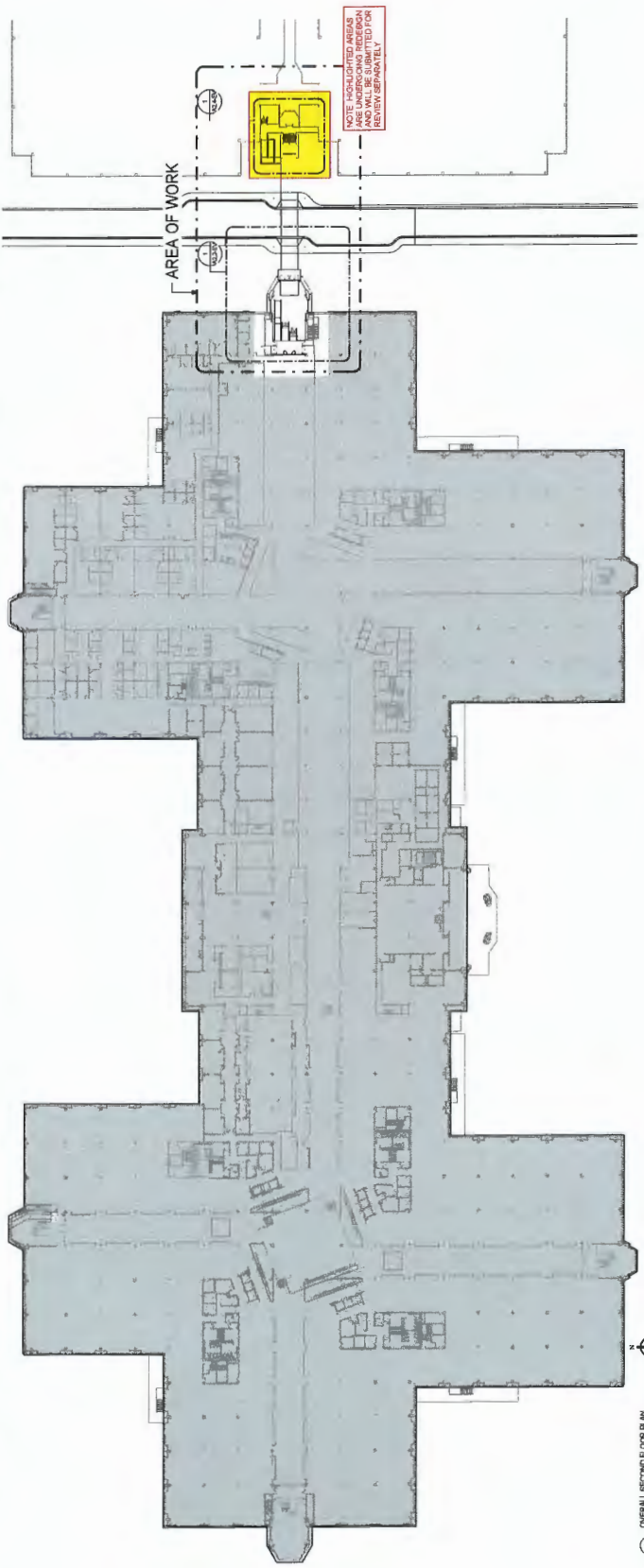
BELL WORKS CHICAGO-EAST VESTIBULE

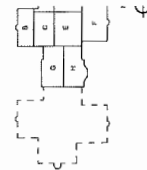
2000 AT&T CENTER DRIVE
HOFFMAN ESTATES, IL 60182

OVERALL FLOOR KEY PLANS - EAST VESTIBULE

Project Name:
Drawing No.:
Drawing Date:
Drawing By:
Drawing Title:
Scale:

A2.0-E1





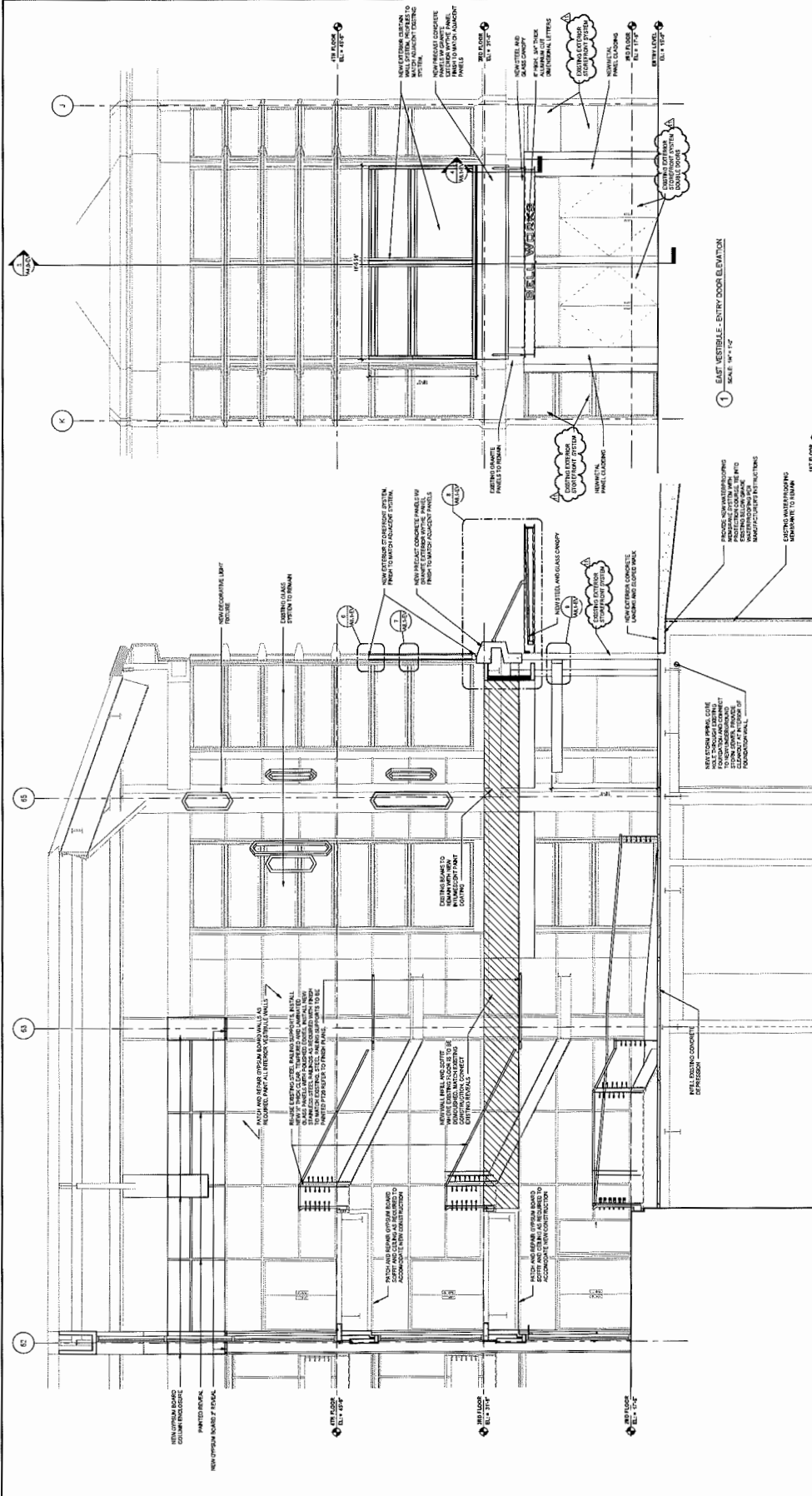
- 11 EAST VESTIBULE ARCHITECTURE
- 12 EAST VESTIBULE INTERIOR
- 13 EAST VESTIBULE SECTION
- 14 EAST VESTIBULE ELEVATION
- 15 EAST VESTIBULE ELEVATION
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**BELL WORKS
CHICAGO-EAST
VESTIBULE**

3000 EAST CENTER DRIVE
HOFFMAN LESTERS, IL 60102

**ELEVATION & SECTION
EAST VESTIBULE**

Project Number:
180231
Date:
1/15/14
VP
Architect



1 EAST VESTIBULE-ENTRY DOOR ELEVATION
SCALE: 1/4" = 1'-0"

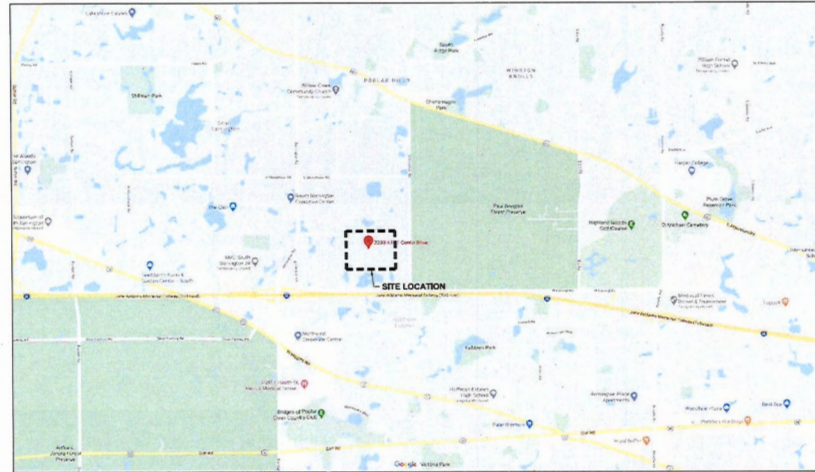
2 EAST VESTIBULE-ENTRY DOOR ELEVATION 2
SCALE: 1/4" = 1'-0"

BELL WORKS CHICAGO EAST VESTIBULE

2000 AT&T CENTER DRIVE
HOFFMAN ESTATES, IL 60192



Wight & Company
wightco.com
2500 North Frontage Road
Darien, IL 60541
P 630.969.7000
F 630.969.7979



LOCATION MAP

INDEX OF DRAWINGS

CIVL	COVER SHEET
C0.00	CIVL GENERAL NOTES
C0.01	CIVL SPECIFICATION
C1.00	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.00	SITE PLAN
C3.00	GRADING AND DRAINAGE PLAN
C3.01	EROSION CONTROL DETAILS
C4.00-4.02	CIVIL DETAILS
L1.00	LANDSCAPE PLAN
L1.01-1.02	LANDSCAPE SPECIFICATION

FOR UNDERGROUND UTILITY LOCATIONS,
CALL J.U.L.I.E.
TOLL FREE TEL. 1-800-892-0123

JULIE SUBURBS & DIGG CHICAGO

- YELLOW _____ GAS
- RED _____ ELECTRICAL
- ORANGE _____ PHONE / TV COMMUNICATION
- BLUE _____ WATER
- GREEN _____ SEWERS
- WHITE _____ SAFE TO DIG

BENCHMARKS:

REFERENCE BENCHMARK:
AJ3059 LOCATED AT THE VILLAGE HALL OF BARRINGTON HILLS, 132 FEET SOUTH OF ROUTE 6266 AND 78 FEET EAST OF THE NORTHEAST CORNER OF BARRINGTON FIRE STATION.
ELEVATION = 890.3 (NAVD88)

SITE BENCHMARK 1:
ARROW BOLT ON FIRE HYDRANT, 847' EAST OF NORTHEAST BUILDING CORNER.
ELEVATION = 822.98 (NAVD88)

S:\Chicago\Somerset Development\2007072_Bell Works - East Vestibule\01\Drawings\02_CD\CD.00 COVER SHEET.dwg sheet: Nov 18, 2020 3:20:57 pm
Title & Copyright: Wight & Company. All rights reserved. No part of these documents may be reproduced, stored in a retrieval system, or transmitted, in any form or by any means, electronic, mechanical, photocopying, recording or otherwise, without the prior written consent of Wight & Company.

REV	DESCRIPTION	DATE
1	EAST VESTIBULE ISSUE FOR BID/PERMIT	11-18-20

**BELL WORKS
CHICAGO
EAST VESTIBULE**

2000 AT&T CENTER DRIVE
HOFFMAN ESTATES, IL 60192

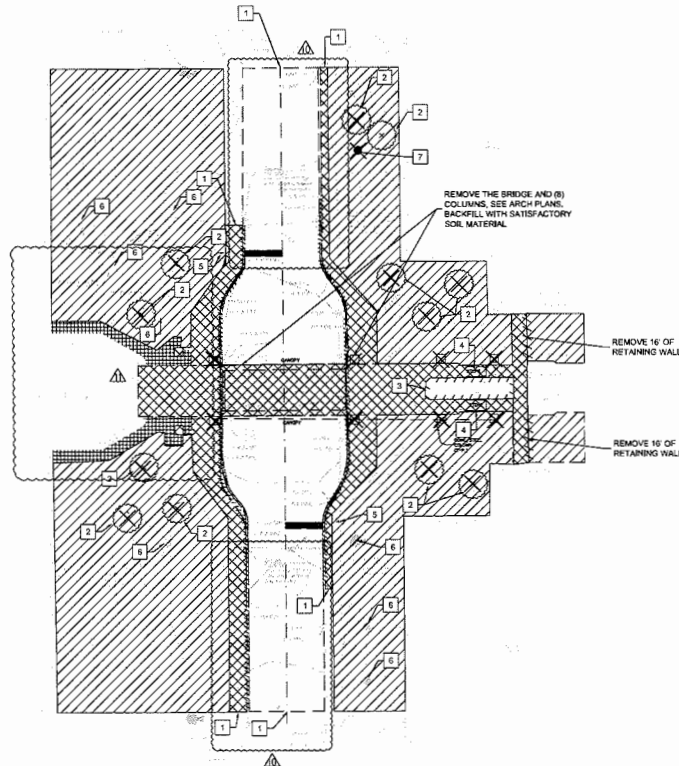
COVER SHEET

Project Number:
200149
Drawn By:
SC
Sheet:

CO.00

LEGEND:

- ⊕ = BENCHMARK
- ⊕ = WATER VALVE
- ⊕ = FIRE HYDRANT
- ⊕ = ELECTRIC MANHOLE
- ⊕ = LIGHT
- ⊕ = CURB INLET/CATCH BASIN
- ⊕ = STORM MANHOLE
- ⊕ = MISC. MANHOLE
- ⊕ = TELEPHONE MANHOLE
- XXXXX = BACK OF CURB ELEVATION
- XXXXX = FLOWLINE ELEVATION
- XXXXX = EDGE OF WALK ELEVATION
- XXXXX = EDGE OF CONCRETE ELEVATION
- = AS-BUILT CONTOUR
- ▨ = BUILDING
- ▨ = PAVEMENT
- ▨ = CONCRETE SIDEWALK
- ▨ = PAVERS



LEGEND

- ⊗ ITEM REMOVAL
- ////// LINEAR ITEM REMOVAL
- ▨ REMOVE CONCRETE AND STONE BASE
- ▨ SITE CLEARING
- ▨ REMOVE HMA PAVEMENT, EXISTING STONE BASE TO REMAIN
- ▨ REMOVE GRASS PAVEMENT AND SETTING BED

DEMO KEY NOTES

- 1 SAWCUT
- 2 REMOVE TREE
- 3 REMOVE BUILDING
- 4 REMOVE STEPS
- 5 REMOVE SIGN
- 6 ITEMS TO BE PROTECTED
- 7 REMOVE LIGHT

DEMOLITION NOTES

1. CONTRACTOR TO PROTECT ALL EXISTING UTILITIES DURING DEMOLITION & CONSTRUCTION ACTIVITIES. WHETHER SHOWN ON THE PLANS OR NOT, UNLESS OTHERWISE SPECIFIED, ANY RELOCATION, ADJUSTMENTS, CONFLICTS, ETC. SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. CONTRACTOR TO LOCATE ALL PUBLIC & PRIVATE UTILITIES IN THE RIGHT-OF-WAY AND SITE PRIOR TO CONSTRUCTION.
2. ALL EXISTING CURB TO REMAIN UNLESS OTHERWISE SPECIFIED. ANY CURB DAMAGED DURING DEMOLITION SHALL BE REPLACED IN KIND.
3. ALL EXISTING SIGNS & LIGHT POLES TO REMAIN AND BE PROTECTED UNLESS OTHERWISE SPECIFIED. ANY SIGNS REMOVED SHALL BE SALVAGED AND RELOCATED OR RETURNED TO OWNER.
4. ANY UTILITY ADJUSTMENTS, CONFLICTS, RELOCATIONS, ETC. REQUIRED SHALL BE COORDINATED WITH ENGINEER AND UTILITY OWNER/PROVIDER.
5. ALL DEMOLITION AND CONSTRUCTION IN THE RIGHT-OF-WAY SHALL BE COORDINATED AND APPROVED BY THE VILLAGE OF HOFFMAN ESTATES. THE CONTRACTOR IS TO CONTACT THE INSPECTORS AT THE VILLAGE OF HOFFMAN ESTATES PRIOR TO CONSTRUCTION.
6. COORDINATE ALL ELECTRICAL, CABLE FIBER, ETC. REMOVAL/RELOCATION WITH MEP PLANS. CONTRACTOR SHALL PROTECT ALL EXISTING ELECTRIC SERVICES DURING CONSTRUCTION AND NOTIFY ENGINEER IMMEDIATELY OF ANY CONFLICTS.
7. ALL EXISTING SHRUBS AND LANDSCAPING IN CONFLICT WITH SITE IMPROVEMENTS SHALL BE REMOVED.
8. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY DAMAGED PUBLIC/PRIVATE PROPERTY OR ROADWAY AS A RESULT OF CONSTRUCTION ON THIS SITE. THE RIGHT-OF-WAY MUST BE RESTORED TO EXISTING OR BETTER CONDITION.



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▲	EAST VESTIBULE ADDENDUM 2 MOOSE PER VILLAGE REVIEW	01-26-21
▲	EAST VESTIBULE ADDENDUM 1 MOOSE PER VILLAGE REVIEW	09-15-21

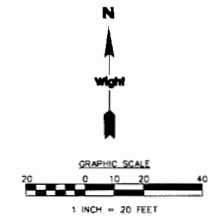
REV	DESCRIPTION	DATE

**BELL WORKS
 CHICAGO
 EAST VESTIBULE**

2000 AT&T CENTER DRIVE
 HOFFMAN ESTATES, IL 60192

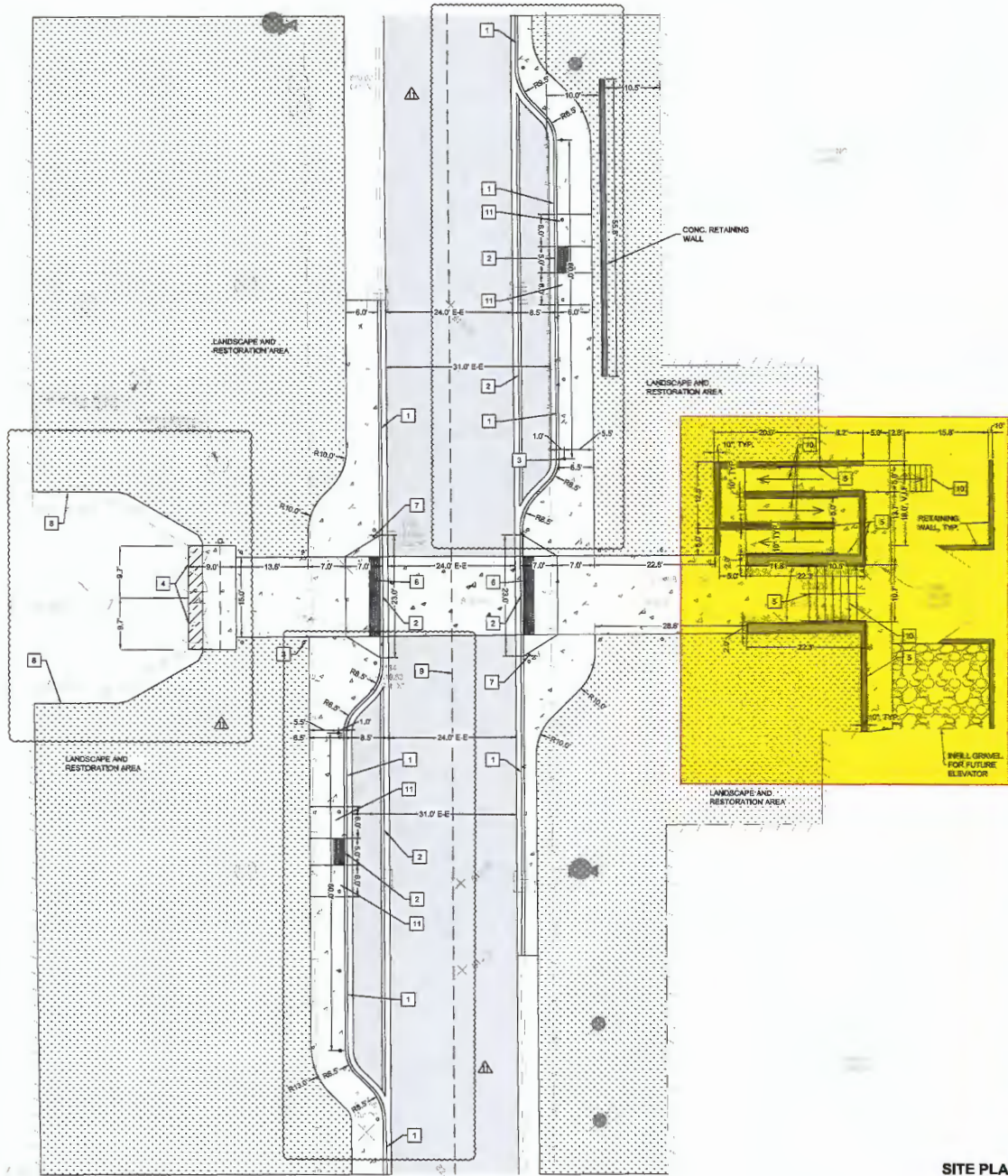
**EXISTING CONDITIONS
 AND DEMOLITION PLAN**

Project Number:
 200149
 Drawn By:
 SC
 Sheet:



C1.01

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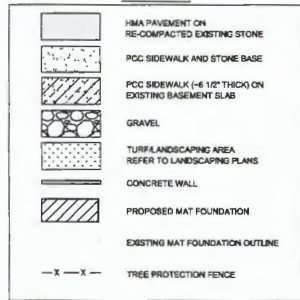
SITE PLAN NOTES

1. ALL EXISTING CURBS TO REMAIN UNLESS OTHERWISE SPECIFIED. ANY CURBS DAMAGED DURING DEMOLITION SHALL BE REPLACED IN KIND.
2. ALL DIMENSIONS ARE TO THE BACK OF CURB/EDGE OF PAVEMENT UNLESS OTHERWISE SHOWN. ALL RADIUS DIMENSIONS ARE TO THE BACK OF CURB/EDGE OF PAVEMENT.
3. ALL DISTURBED AREAS ON-SITE AND IN THE RIGHT-OF-WAY SHALL BE RESTORED TO EXISTING CONDITION. ALL ITEMS DISTURBED SHALL BE REPLACED INCLUDING ALL LANDSCAPING, CURB, SIDEWALK, PAVEMENT, ETC.

LAYOUT NOTE:

1. ALL LAYOUT FOR SITE IMPROVEMENTS SHALL BE COMPLETED BY A PROFESSIONAL LAND SURVEYOR HIRED BY THE CONTRACTOR. LAYOUT SHALL BE COMPLETED USING THE ELECTRONIC CAD FILES PROVIDED BY THE ENGINEER.

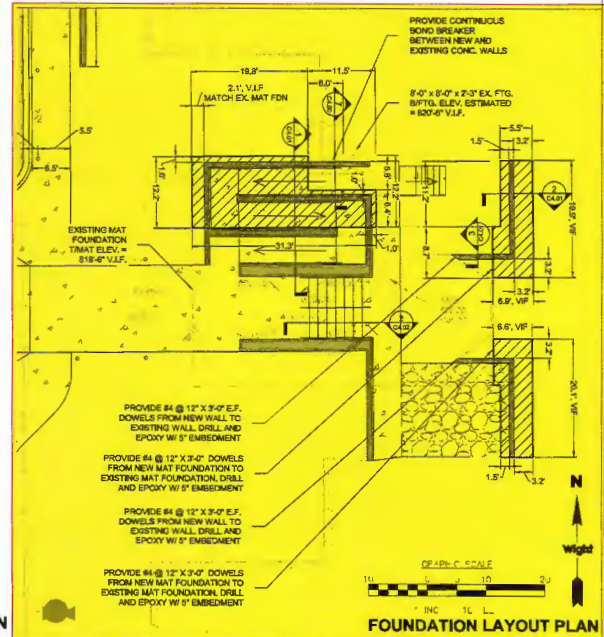
LEGEND



KEY NOTES

- 1) B6.12 CURB & GUTTER
- 2) DEPRESSED CURB
- 3) ILLUMINATED BOLLARDS, SEE MEP
- 4) FROST STOOP
- 5) ILLUMINATED HANDRAIL SYSTEM, SEE MEP
- 6) ADA RAMP W/ DETECTABLE WARNING TACTILE
- 7) MUTCD SIGN (W11-2 & W16-7P), SEE DETAILS
- 8) BASEMENT WALL OUTLINE
- 9) 4" YELLOW DASH, MATCH EXISTING (PAINT)
- 10) CONCRETE STAIR STRUCTURE
- 11) ADA RAMP

NOTE: HIGHLIGHTED AREAS ARE UNDERGOING REDESIGN AND WILL BE SUBMITTED FOR REVIEW SEPARATELY



SITE PLAN

FOUNDATION LAYOUT PLAN



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▲	EAST VESTIBULE ADDENDUM 2	01-28-2
▲	MODS FOR VILLAGE REVIEW	
▲	EAST VESTIBULE ADDENDUM 1	01/14/2
▲	MODS FOR VILLAGE REVIEW	
▲	EAST VESTIBULE ISSUE FOR BOP/PERMIT	11-19-2
REV	DESCRIPTION	DATE

BELL WORKS CHICAGO EAST VESTIBULE

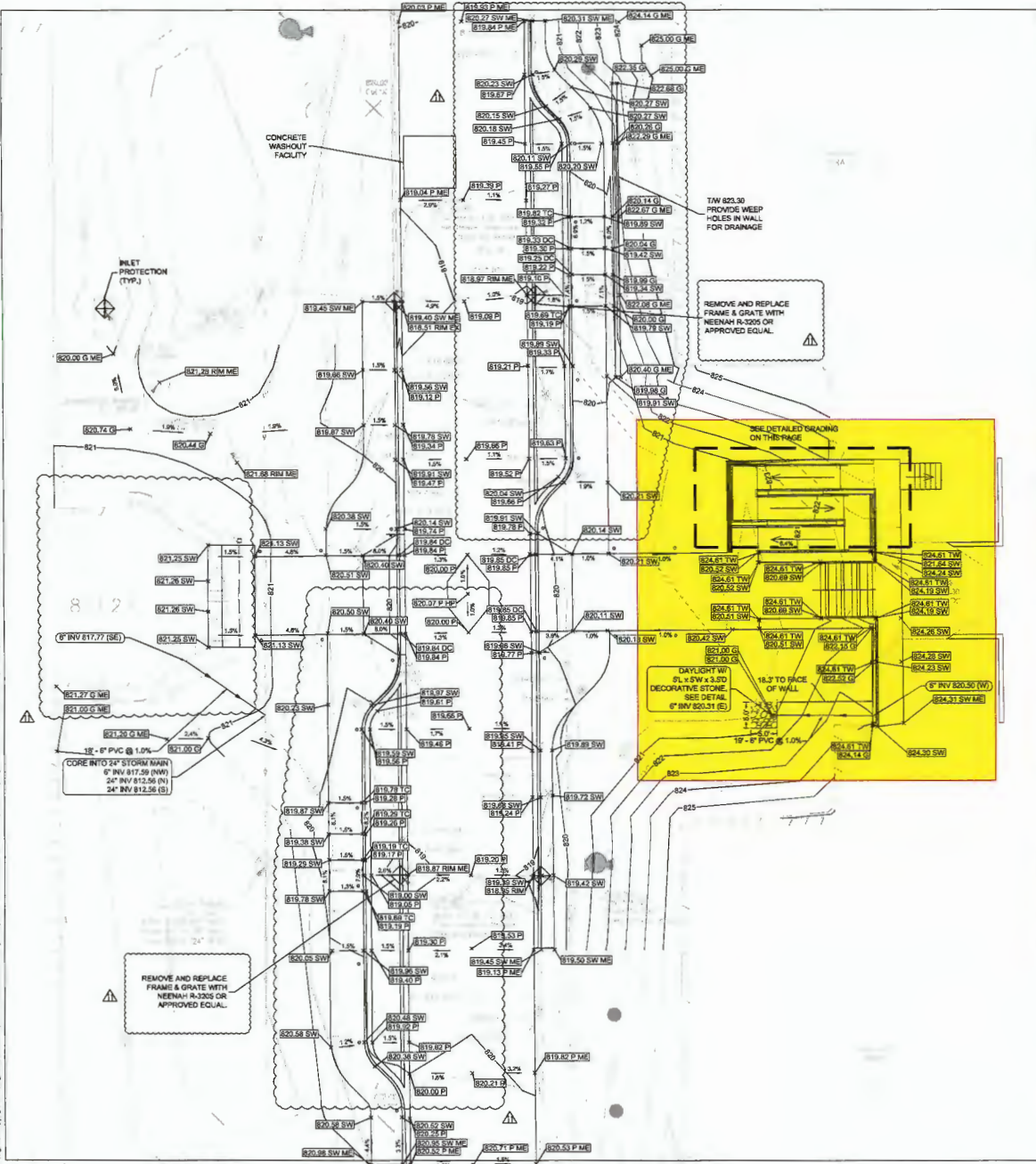
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SITE PLAN

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 SC
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LEGEND

ME	MATCH EXISTING ELEVATION
HP	HIGH POINT
11.72	TOP OF PAVEMENT ELEVATION
11.72	GROUND ELEVATION
11.72	TOP OF SIDEWALK ELEVATION
11.72	RIM ELEVATION
11.72	TOP OF CURB ELEVATION
11.72	TOP OF WALL ELEVATION
11.72	TOP OF DEPRESSIONED CURB ELEVATION
11.72	EXISTING CONTOUR LINE
11.72	PROPOSED CONTOUR LINE
2%	SLOPE/LOW DIRECTION
+	INLET PROTECTION

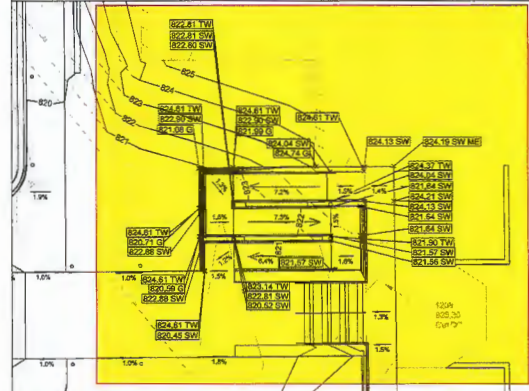
NOTES:

- CONTRACTOR TO VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, SLOPES, INVERTS, ETC. AND CONTACT ENGINEER IMMEDIATELY IF THERE ARE ANY CONFLICTS/SUBSEQUENCES.
- THE CONTRACTOR SHALL PROTECT ANY AND ALL TREES EITHER SHOWN OR NOT SHOWN ON THE PLANS UNLESS OTHERWISE SPECIFIED. MINIMUM PROTECTION FOR TREES SHALL BE 4' SNOW FENCE INSTALLED ALONG THE DRP LINE OF TREES.
- CONTRACTOR TO PROTECT ALL EXISTING UTILITIES.
- ALL EXISTING UTILITY STRUCTURES SHALL BE ADJUSTED AS NECESSARY TO MATCH FINISH GRADE. ALL EXISTING UTILITY STRUCTURES REQUIRING ADJUSTMENT OR RECONSTRUCTION SHALL BE COMPLETED BY THE CONTRACTOR TO THE SATISFACTION OF THE UTILITY OWNER. ADJUSTMENTS AND/OR RECONSTRUCTIONS NOT CALLED FOR ON THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT, NO MORE THAN A TOTAL OF 8 INCHES OF ADJUSTING RINGS AND/OR 2 ADJUSTING RINGS SHALL BE ALLOWED.
- ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE ILLINOIS ACCESSIBILITY CODE AND WITH THE AMERICANS WITH DISABILITIES ACT.
- RAMPS SHALL NOT EXCEED A RUNNING SLOPE OF 1:12 (8.33%).
- MAXIMUM CROSS-SLOPE ON ANY WALK OR RAMPS SHALL BE 2%. ALL ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.

EARTHWORK NOTES:

CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXACT EARTHWORK REQUIREMENTS (CUT, FILL, HALL IN/OFF, ETC.) TO BRING SITES TO FINISHED GRADE. ANY ON-SITE RE-USE OF ON-SITE DEMOLITION DEBRIS/MATERIALS MUST BE APPROVED BY THE GEOTECHNICAL ENGINEER.

NOTE: HIGHLIGHTED AREAS ARE UNDERGOING REDACTION AND WILL BE SUBMITTED FOR REVIEW SEPARATELY



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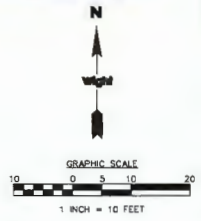
▲	EAST VESTIBULE ADDENDUM 2	01-2021
▲	MODE PER WALL REVIEW	01-2021
▲	EAST VESTIBULE ADDENDUM 1	01-2021
▲	MODE PER WALL REVIEW	01-2021
REV	DESCRIPTION	DATE

BELL WORKS CHICAGO EAST VESTIBULE

2000 AT&T CENTER DRIVE
 HOFFMAN ESTATES, IL 60192

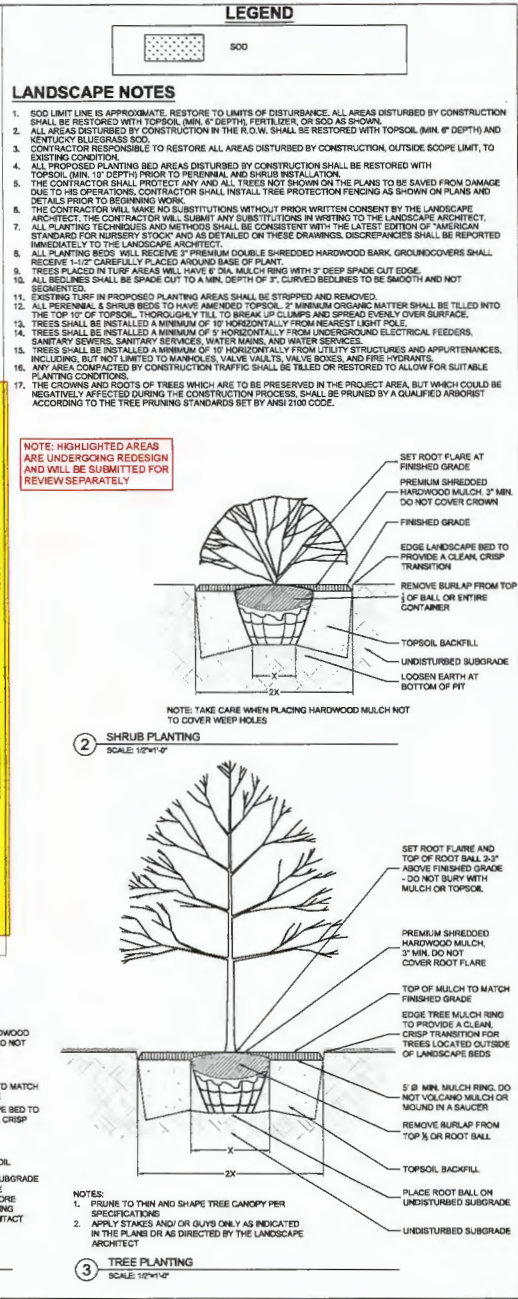
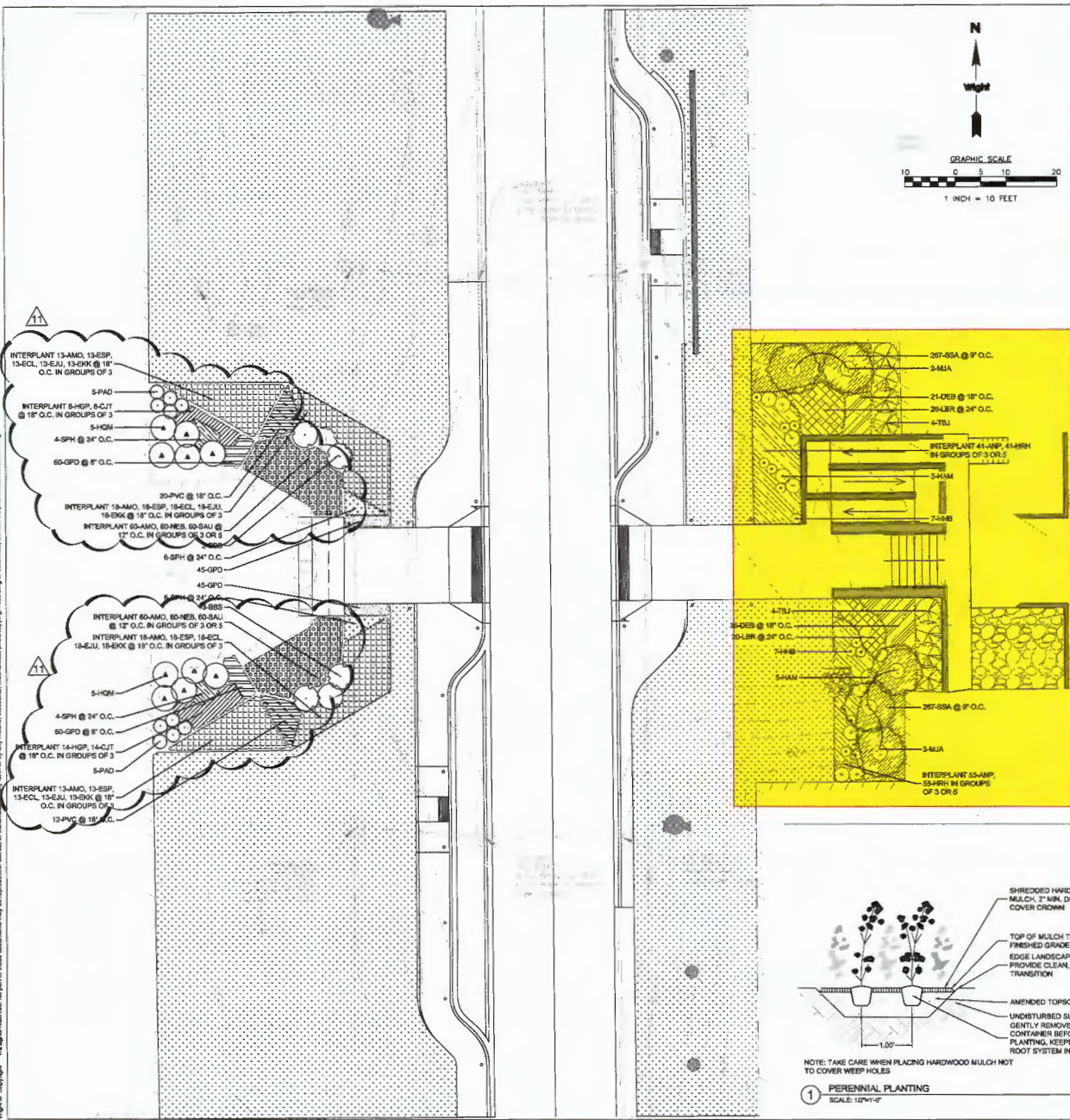
GRADING AND DRAINAGE PLAN

Project Number:
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REV	DESCRIPTION	DATE
EAST VESTIBULE ADDENDUM 2	MOS PER MLLAGE REVIEW	01-08-20
EAST VESTIBULE ADDENDUM 1	MOS PER MLLAGE REVIEW	01-03-20
EAST VESTIBULE BULK FOR REPERMINT		11-16-19

BELL WORKS CHICAGO EAST VESTIBULE

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LANDSCAPE PLAN

Project Number:
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3 | East Vestibule Existing Conditions View One



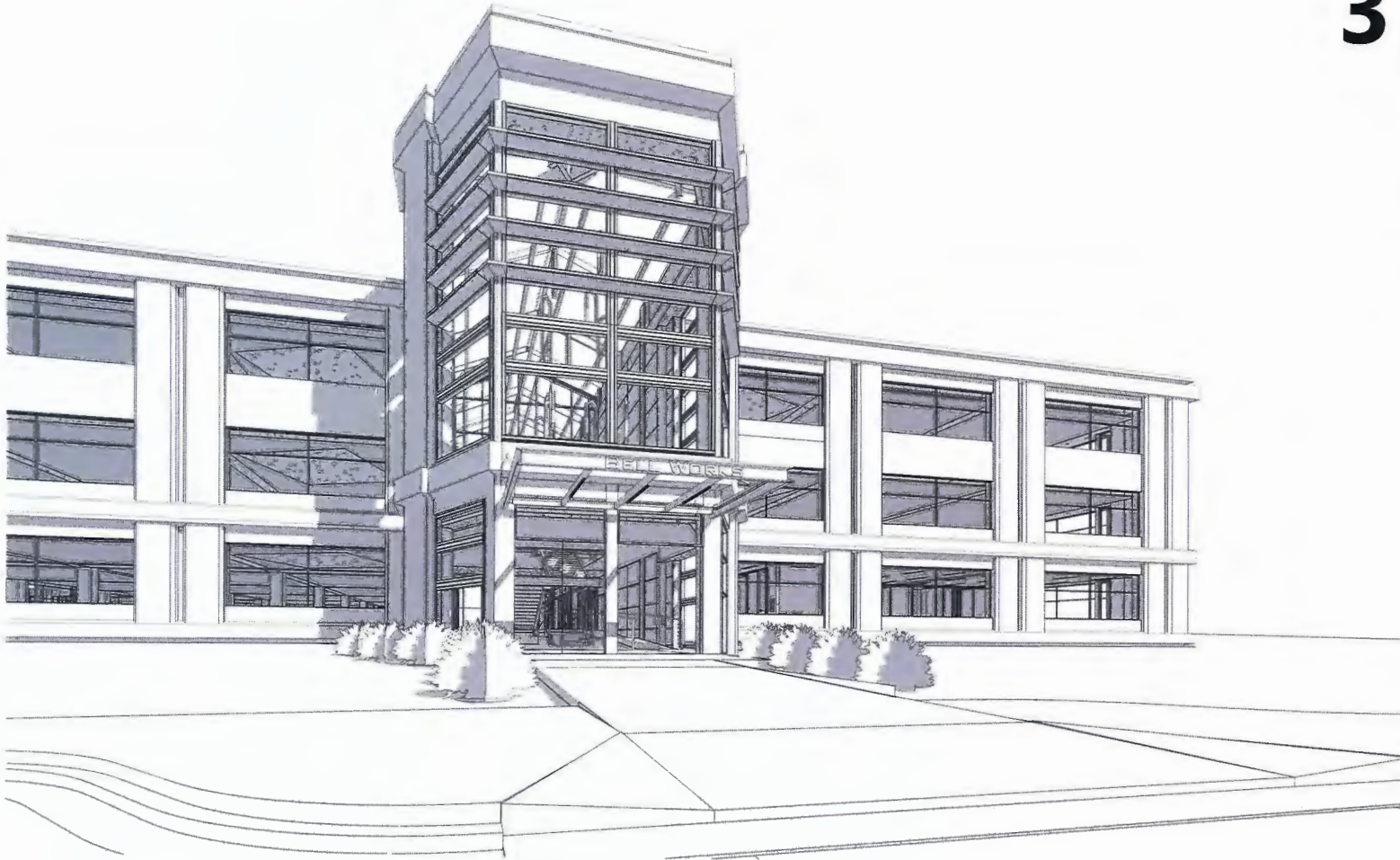
• Existing Conditions Shown for Reference

3 | East Vestibule Design Update View One



Project Scope:

- Bridge and Structure Removed
- Infill of storefront at 3rd Floor
- Glass & Steel Canopy above entry
- New landscaping at East Entry and Garage



3 | East Vestibule Design Update View Two

- Project Scope:**
- Bridge and Structure Removed
 - Infill of storefront at 3rd Floor
 - Glass & Steel Canopy above entr
 - New landscaping at East Entry and Garage

3

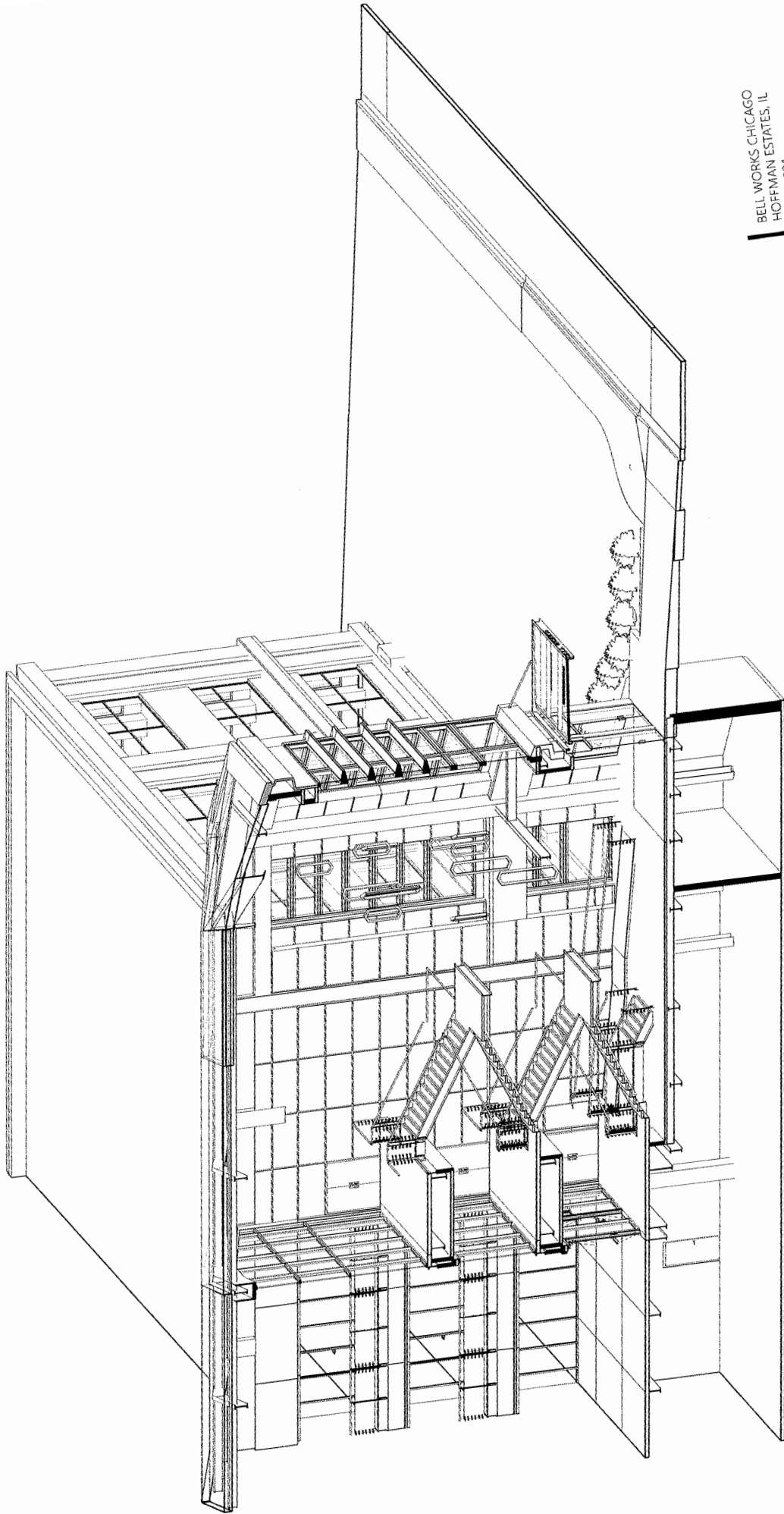
East Vestibule Design Update View Three



Project Scope:

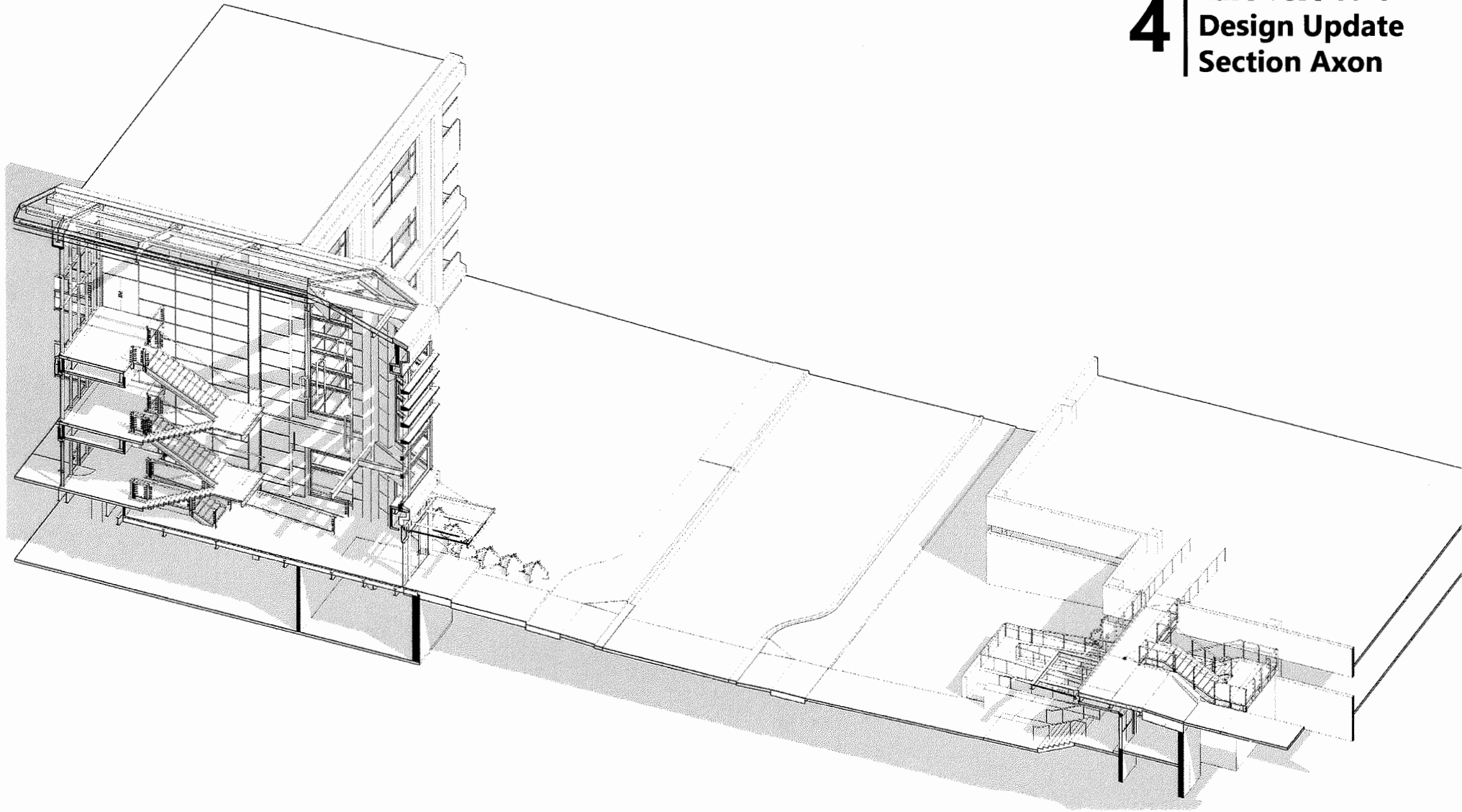
- Bridge and Structure Removed
- Infill of storefront at 3rd Floor
- Glass & Steel Canopy above ent
- New landscaping at East Entry and Garage

4 | East Vestibule
Design Update
Section Axon



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02.03.2021

4 | East Vestibule Design Update Section Axon



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Planning and Transportation Division
Village of Hoffman Estates
January 2021