



# VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT NO.: 2020-031P

PROJECT NAME: BELL WORKS EAST ENTRANCE  
RENOVATIONS

PROJECT ADDRESS/LOCATION: 2000 CENTER DR

PUBLIC HEARING  YES  NO

REZONING  MASTER SIGN PLAN  SPECIAL USE  VARIATION   
SITE PLAN AMENDMENT  PLAT

MEETING DATE: FEBRUARY 3, 2021

STAFF ASSIGNED: KEVIN ANDERSON

## REQUESTED MOTION

**Request by Hoffman Estates Acquisitions, LLC and Somerset Development, LLC (owner and applicant) to consider a Site Plan Amendment to modify the eastern building entrance, remove a pedestrian skywalk, and modify the drive aisle configuration at the Bell Works property located at 2000 Center Drive.**

INCLUDES RECOMMENDED CONDITIONS  YES  NO

ZONING DISTRICT	CMU Commercial Mixed Use	
ADJACENT PROPERTIES:	NORTH: Industrial building & vacant Zoned M-2	SOUTH: Huntington 90 Business Park Zoned O-3, Central Road and Illinois Tollway (I-90)
	EAST: Huntington Boulevard and Cook County Forest Preserve Zoned F-P	WEST: Industrial Zoned M-2
	NORTHWEST: vacant land zoned B-2	
Property Index Numbers: 01-36-301-013, 01-36-402-014		

## BACKGROUND

In 2018, the Village approved a Redevelopment Agreement, a Concept Site Plan, and rezoned the property to C-MU Commercial Mixed Use District for the Bell Works mixed-used project. In 2019, the Village approved the Phase 1 plans which include renovation of the interior lobby and atrium space, building out office space, and retail/restaurant space in the eastern half of the main building. Somerset is currently installing these improvements and their initial tenants have occupancy in the building.

## **PROPOSAL**

The Petitioner is proposing to modify the east entrance of Bell Works, which serves as the primary entrance for the eastern portion of the building. This proposal includes the removal of the existing covered pedestrian skywalk which provides access from the second (top) floor of the east parking garage to second story of the building. Additionally, the proposal includes reconfiguration of the East Drive between the building and the east garage to improve drop-off functionality and pedestrian safety.

Per the approved Phase 1 plan, the second floor of the eastern parking garage and the eastern half of the first floor are currently closed and not in use.

## **ANALYSIS**

- With the proposed removal of the pedestrian skywalk, the eastern entrance of the building would only be accessible through the ground floor.
- The Petitioner proposes to cover the abandoned second floor entrance with a new façade to match the existing design elements in the remainder of the building.
- A new steel and glass canopy would be constructed over the main entrance doors.
- The plans include a redesign of the East Drive drop-off areas. Currently the drop-off zones are directly in conflict with the at-grade crosswalk providing pedestrian access from the garage to the main building. The Petitioner is proposing to offset the drop-off zones to the north and south of the 15 foot pedestrian crosswalk. This modification will serve to minimize pedestrian and vehicular conflicts on East Drive.
- The new drop-off zone design would include a combination of barrier curbs and flush curbing for ADA accessibility.
- Lighted, protective bollards are proposed along the drop-off areas to delineate and protect the pedestrian way. The pedestrian walkway would be ADA compliant.
- By relocating the eastern drop-off areas as proposed, the grading plan must also be modified. A new retaining wall would be necessary along the northeast drop-off zone and would have a maximum height of approximately 3 feet.
- New landscaping is proposed around the eastern building entrance.
- Additional lighting may be required after removal of the skyway. A recommended condition of approval has been added to ensure a lighting plan is submitted prior to opening the modified east entrance of the building.

## **FUTURE SITE PLAN REVIEWS**

The removal of the pedestrian skywalk will require additional modifications to the parking garage to ensure ADA compliance is provided for the second floor parking garage. The applicant is currently working on plans for the garage modifications, which will be considered as a future site plan amendment request.

Recommended conditions of approval are included to ensure that adequate lighting is provided and ADA compliance is achieved prior to utilizing the second floor of the parking garage.

**RECOMMENDED CONDITIONS**

1. The Site Plan Amendment shall significantly conform to the plans presented by the Petitioner.
2. A lighting plan for the building entrance, crosswalk and sidewalks within the scope of the current request shall be submitted prior to opening the modified east entrance.
3. The second floor of the parking garage shall not be utilized until such time as the parking garage modifications have been approved (through the site plan amendment process) and constructed and ADA compliance has been achieved.
4. A comprehensive lighting plan with photometrics shall be submitted as part of the future site plan amendment request for the parking garage modifications. The lighting plan shall ensure appropriate lighting levels for the all roads providing access to the parking garage, sidewalks, building and garage entrances, and the pedestrian crosswalks.

Attachments:   Staff Report  
                  Application  
                  Project Narrative  
                  Plans  
                  Area Map



# VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING GENERAL APPLICATION\*

Special Use for \_\_\_\_\_  Rezoning from \_\_\_\_\_ to \_\_\_\_\_

Variation:  Commercial  Residential  Sign

Plat (*Subdivision & Others*):  Preliminary  Final

Site Plan:  Amendment  Concept  Preliminary  Final

Master Sign Plan:  Amendment

Other: \_\_\_\_\_

**\* ADDENDUM MATERIALS ARE REQUIRED FOR SPECIFIC REQUESTS**  
**Posting of Notification Sign(s) may be required.**  
**Specific requirements will be provided when your request is scheduled.**

## FOR VILLAGE USE ONLY

Hearing Fee \_\_\_\_\_ Check No. \_\_\_\_\_ Date Paid \_\_\_\_\_

Project Number: \_\_\_\_\_

Staff Assigned: \_\_\_\_\_

Meeting Date: \_\_\_\_\_

Public Hearing: Yes  No

Sign Posting Required: Yes  No

Date Sign Posted \_\_\_\_\_

### PLEASE PRINT OR TYPE

Date: 11/30/2020

Project Name: Bell Works

Project Description: East Entrance Renovations

Project Address/Location: 2000 AT&T Center Drive

Property Index No. 01-36-301-013, 01-36-401-005, 01-36-401-006, 01-36-402-014

Acres: 152

Zoning District: CMU-Mixed Use

**I. Owner of Record**

Hoffman Estates Acquisitions, LLC Somerset Development, LLC

Name		Company
101 Crawfords Corner Road		Holmdel
Street Address		City
New Jersey 07733		732-367-2828
State	Zip Code	Telephone Number
		Ralph@sdnj.com
Fax Number		E-Mail Address

**II. Applicant (Contact Person/Project Manager)**

Ralph Zucker Somerset Development


Name		Company
101 Crawfords Corner Road		Holmdel
Street Address		City
New Jersey 07733		732-415-7171
State	Zip Code	Telephone Number
		ralph@sdnj.com
Fax Number		E-Mail Address

Applicant's relationship to property: Owner

**III. Owner Consent for Authorized Representative**

It is required that the property owner or his designated representative be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. **If the owner cannot be present at the meeting, the following statement must be signed by the owner:**

I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize Ken Gold to act on my behalf and advise that he/she has full authority to act as my/our representative.



Raphael Zucker


**Owner Signature**

**Print Name**

#### IV. Acknowledgement(s)

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

**The Owner and Applicant**, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature:  \_\_\_\_\_

Owner's Name (Please Print): Ralph Zucker

Applicant's Signature: \_\_\_\_\_  
(If other than Owner)

Applicant's Name (Please Print): \_\_\_\_\_

Date: 11/30/2020

**All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.**

Please contact the Planning Division (located in the Municipal Building) with any questions:

Email: [planning@hoffmanestates.org](mailto:planning@hoffmanestates.org)  
Address: 1900 Hassell Road  
Hoffman Estates, IL 60169  
Phone: (847) 781-2660  
Fax: (847) 781-2679

Addendums Attached:

- Special Use
- Rezoning
- Variation
- Plat
- Site Plan
- Master Sign Plan
- Other \_\_\_\_\_

## Project Narrative

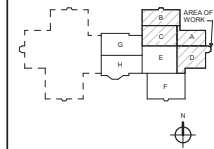
This site plan amendment seeks to beautify the eastern entrance of Bell Works, which is serving as the primary entrance for phase 1 of the project. At present, there is a covered walking bridge from the 2<sup>nd</sup> floor of the parking deck to the 3<sup>rd</sup> level of Bell Works. This bridge also covers the pedestrian path from the ground level of the parking deck to the 2<sup>nd</sup> level of Bell Works (for clarity, the first level of Bell Works is built into grade below the 2<sup>nd</sup> level). The entrance on the third level has turnstiles and a security desk and has a stairway that goes up to the top floor and down to the main entrance as well as doors to enter the 3<sup>rd</sup> floor. There are two double French doors at the entrance on the main level with a slightly graded pathway up to the doors from the exterior.

The plan is to remove the walking bridge as well as remove the floor on the 3<sup>rd</sup> level to open the entirety of the space. This will create a majestic entrance three stories tall and bring additional light into the main entrance. The bridge's purpose was largely to connect the interior bridge that ran all way to through the eastern atrium. That interior bridge has been removed as part of the renovation of Bell Works, and as such, the connection no longer exists and is moot. Additionally, we want all the foot traffic to enter on the 2<sup>nd</sup> level so that they walk through and pass the retail. This also will serve as a buffer and security for the office tenants above.

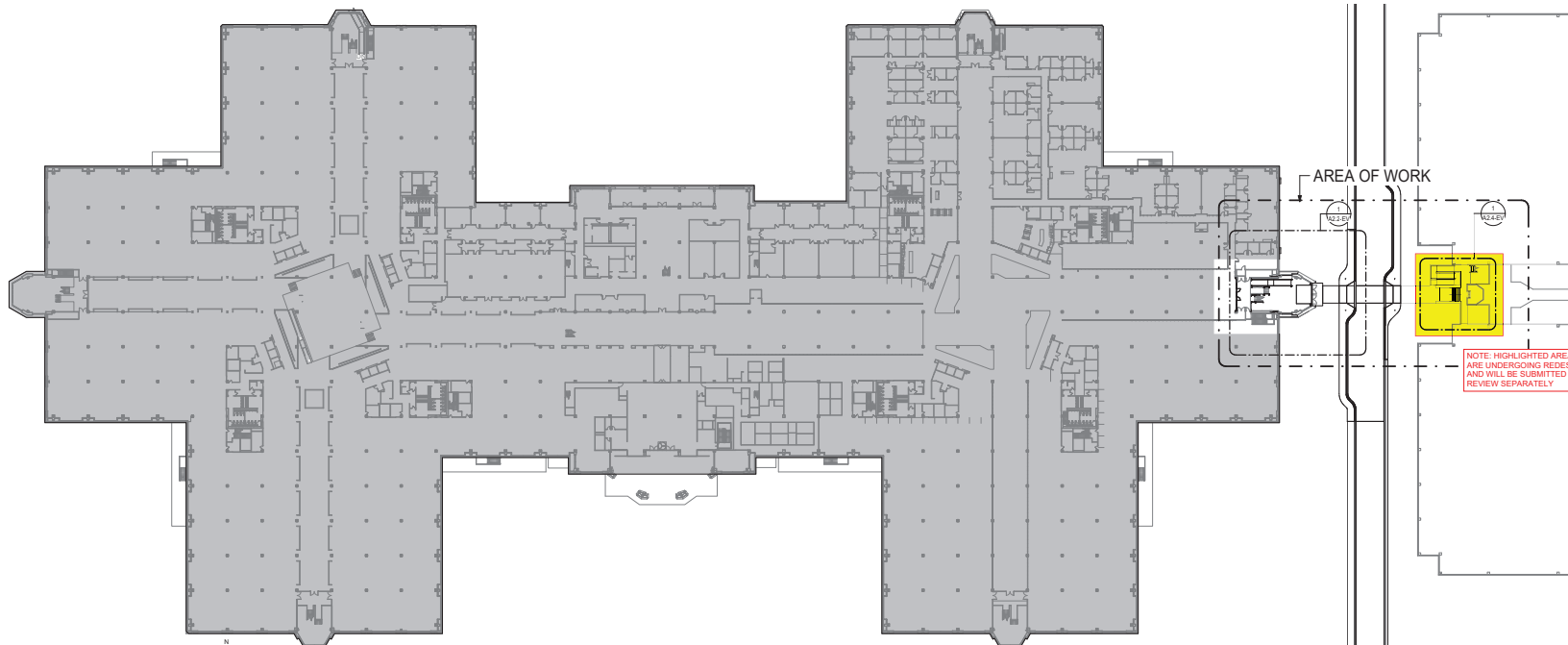
While this will increase the number of pedestrians crossing the east ring road, the safety of that crossing should remain the same as the only reason cars will be on that road is to access the parking deck. The entrances to the parking lot are on both sides of the walkway, so the cars should turn into the lot without driving through the pedestrian crossing. This area will not serve as the primary entrance so there will be drop-offs allowed. However, construction and delivery drop offs will remain in their current locations.

It is important to clarify that we are not changing anything with respect to parking counts or ADA spaces. The plan remains to keep the ADA parking in the executive parking lot. Having said that, the parking deck is being modified to eventual support the ADA parking spaces. As such, an ADA ramp is being constructed to accommodate this need. Again, we are not seeking to amend the current ADA plan, merely to prepare the site for the eventual relocation of the ADA spaces.

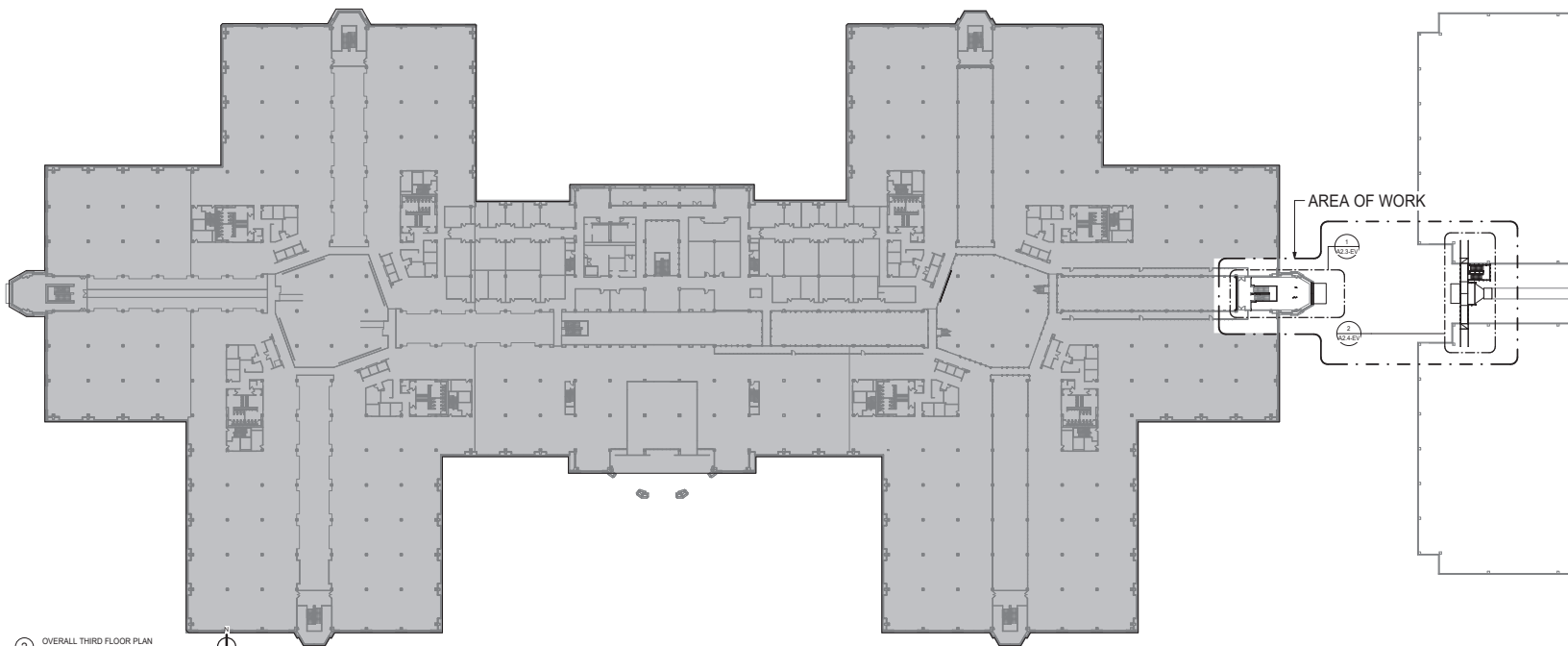
We also have interest in adding an elevator to the parking deck in the future, but do not have that definitive timing or plans.



NOTE: HIGHLIGHTED AREAS ARE UNDERGOING REDESIGN AND WILL BE SUBMITTED FOR REVIEW SEPARATELY.



1 OVERALL SECOND FLOOR PLAN  
SCALE: 1/500



2 OVERALL THIRD FLOOR PLAN  
SCALE: 1/500

11	EAST VESTIBULE ACCENDUM 2	01/26/2021
10	EAST VESTIBULE ACCENDUM 1	01/12/2021
9	MOSS FOR VILLAGE REVIEW	11/18/2020
8	EAST VESTIBULE ISSUE FOR BEDFORDSET	10/30/2020
7	EAST VESTIBULE ISSUE FOR INFORMATION	05/15/2020
REV	SCHEMATIC PROGRESS SET	DATE

**BELL WORKS  
CHICAGO-EAST  
VESTIBULE**

2000 AT&T CENTER DRIVE  
HOFFMAN ESTATES, IL 60192

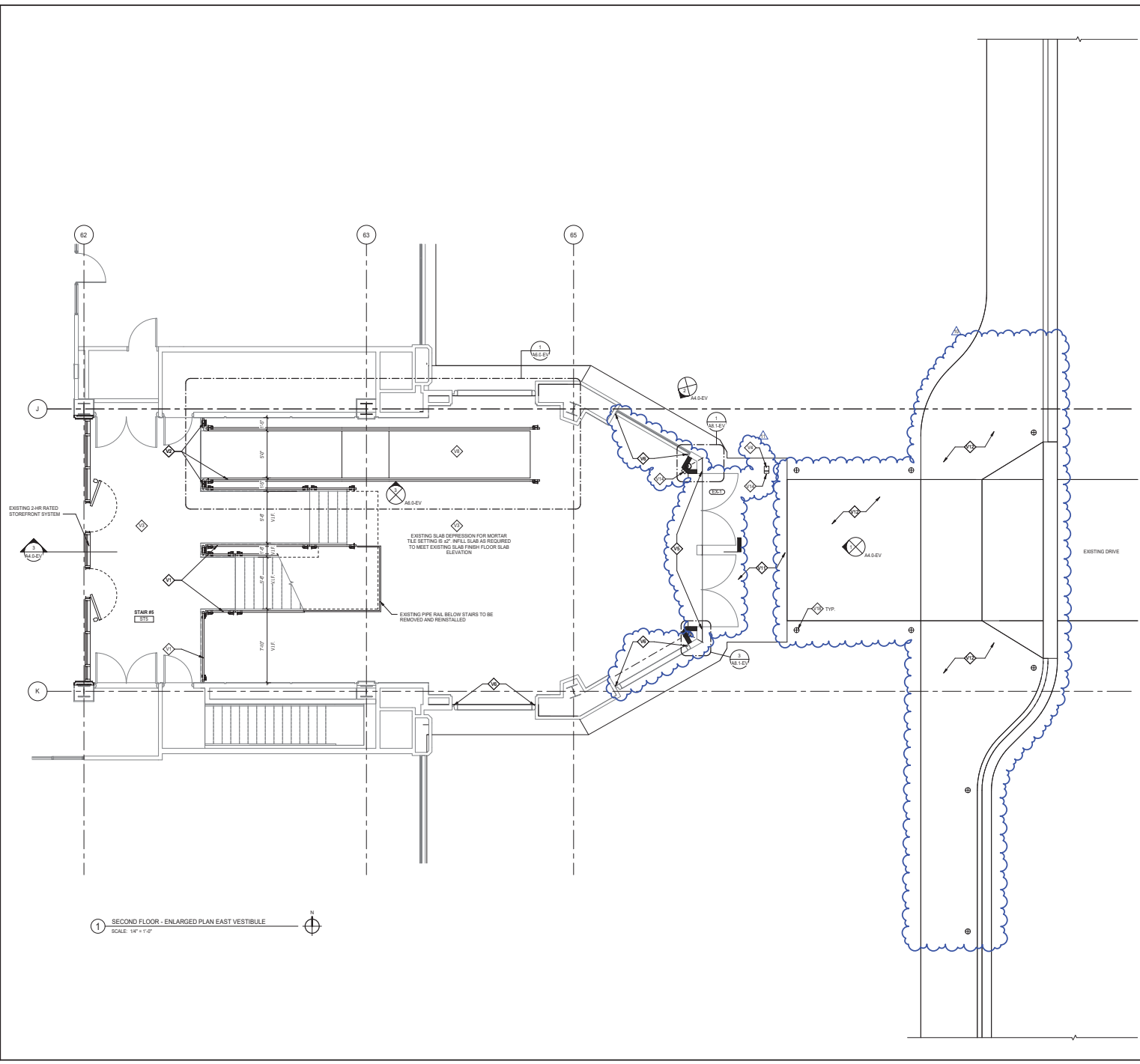
**OVERALL FLOOR KEY  
PLANS - EAST VESTIBULE**

Project Number:  
190151  
Drawn By:  
VP  
Sheet:

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 C:\Users\jwheeler\Documents\190151\Bell Works\Chicago-East\Working\A2.0\_EV\_01.dwg  
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**1 SECOND FLOOR - ENLARGED PLAN EAST VESTIBULE**  
 SCALE: 1/4" = 1'-0"

**GENERAL NOTES**

- ALL ITEMS THAT ARE TO BE REMOVED AND REINSTALLED OR SAVED ARE TO BE TAGGED AND CAREFULLY STORED (SEE OWNER FOR LOCATION).
- ALL AREAS AFFECTED BY DEMOLITION TO BE PATCHED, REPAIRED, LEVELLED TO MATCH EXISTING ADJACENT SURFACE.
- THE CONTRACTOR SHALL PROVIDE THE OVERALL AREAS OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND DOCUMENTS MAY BE REQUIRED OUTSIDE THE PROJECT AREA. THIS WORK IS PART OF THE CONSTRUCTION CONTRACT AND IS TO BE COMPLETED IN ACCORDANCE WITH THE CONTRACT REQUIREMENTS AT NO ADDITIONAL COST TO THE OWNER.
- ALL ITEMS INDICATED TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. DAMAGED ITEMS ARE TO BE PATCHED, REPAIRED OR REPLACED AS REQUIRED TO MATCH ADJACENT SURFACE, AT NO ADDITIONAL COST TO THE OWNER.
- WHEN THE REMOVAL OF EXISTING SURFACE MATERIAL IS REQUIRED TO COMPLETE CONTRACT WORK AND A NEW FINISH IS NOT SCHEDULED, PATCH/REPAIR AND PRIME THE AFFECTED SURFACE TO RECEIVE NEW FINISH. NEW FLEEVES AND OPENINGS IN EXISTING FLOOR, WALL, CEILING CONSTRUCTION ARE TO BE SEALED WITH FIRE RATING MATERIAL.
- REFER TO MEP/FP DRAWINGS FOR CONDUIT, REMOVAL, PRELOCATION AND INSTALLATION OF FUTURES AND DEVICES.
- REFER TO SHEET C-1 FOR TYPICAL FLOOR MOUNTING HEIGHTS AND ADA COMPLIANT PLANS, ELEVATIONS, AND DETAILS.
- ALL DIMENSIONS ARE TO OUTSIDE FACE OF WALL MATERIAL UNLESS NOTED OTHERWISE.
- REFER TO ALL CONTRACT DOCUMENTS FOR ADDITIONAL SCOPE OF CONSTRUCTION WORK.
- CONSTRUCTION WORK REFERENCED IN THIS DOCUMENT IS GENERAL IN SCOPE. REFER TO THE ENGINEERING DOCUMENTS FOR SCOPE OF ENGINEERING WORK.
- THE GENERAL CONTRACTOR SHALL FIELD SURVEY THE SITE OF PROPOSED WORK AND DETERMINE THE NATURE AND EXTENT OF CONSTRUCTION WORK PRIOR TO THE ONSET OF CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY WALL AS REQUIRED TO ENCLOSE AND SAFEGUARD FOR SAFETY AND FOR LOCALIZING AND MINIMIZING DUST AND NOISE FROM ANY CONSTRUCTION OPERATIONS AND TO EFFECTUALLY SEPARATE WORK AREAS FROM OTHER OCCUPIED AREAS OF THE BUILDING.
- PROTECTION SHALL BE PROVIDED FOR BASE BUILDING AND ALL EXISTING CONSTRUCTION TO REMAIN INCLUDING BUT NOT LIMITED TO, FLOORING, PARTITIONS, WINDOW TREATMENT, BARRIERS, CONCEALED DOORS, FRAMES, SOFFITS AND FINISHES.
- THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL DEMOLITION AS MAY BE REQUIRED FOR FLOORING, ELECTRICAL, MECHANICAL AND FIRE PROTECTION ACCESS AS REQUIRED FOR THE INSTALLATION OF NEW MATERIALS AS INDICATED IN THE CONTRACT DOCUMENTS.
- PATCH & REPAIR ALL SURFACES AFFECTED BY DEMOLITION, AS REQUIRED AND RECOMMENDED BY MANUFACTURER TO RECEIVE NEW FINISHES. ALL FLOORS AFFECTED BY DEMOLITION TO BE RE-FLASH PATCHED LEVEL.
- DURING THE CONSTRUCTION PERIOD THE PROJECT SITE SHALL BE LEFT CLEAN AND ORDERLY ON A DAILY BASIS.
- ALL NEW PARTITIONS TO BE CENTERED ON BASE BUILDING COLUMNS, MULLION CENTER LINE, OR ALIGNED WITH THE EDGE OF EXISTING COLUMNS OR WALLS UNLESS NOTED OTHERWISE.
- ALL ITEMS NOTED AS "BY OTHER" OR "BY OWNER" ARE TO BE COORDINATED WITH THE ARCHITECT/GENERAL CONTRACTOR.
- PATCH ALL EXISTING DRYBURN BOARD PARTITIONS, COLUMN ENCLOSURES, ETC. THAT ARE SCHEDULED TO REMAIN TO A CONDITION READY TO RECEIVE SCHEDULED FINISH.
- PROVIDE FIRE RATED BLOCKING AT ALL LOCATIONS DESIGNATED FOR WALL MOUNTED EQUIPMENT OR MILLWORK.
- CONTRACTOR TO PREPARE WALL, FLOOR AND CEILING SURFACES AS REQUIRED AND RECOMMENDED BY MANUFACTURER TO RECEIVE NEW FINISHES AS INDICATED ON FINISH PLANS. ALL SUB FLOORS TO BE LEVEL BEFORE RECEIVING NEW FLOOR FINISHES.
- DO NOT SCALE THESE DRAWINGS.
- REFER TO ELEVATIONS AND DETAILS FOR DIMENSIONS NOT NOTICED ON PLAN DRAWINGS.
- REFER TO ALL CONTRACT DOCUMENTS FOR ADDITIONAL INFORMATION. CONTRACTOR TO VERIFY WITH ARCHITECT/OWNER IF INSULATION SHOULD BE ADDED TO THE EXISTING PARTITION.

**FLOOR PLAN LEGEND**

	EXISTING CONSTRUCTION
	NEW CONSTRUCTION
	NEW DOOR. REFER TO SHEET A8.04 FOR DOOR SCHEDULE
	EXISTING DOOR TO REMAIN
	PARTITION TYPE. REFER TO SHEET A8.00
	DOOR TAG. REFER TO SHEET A8.04 FOR DOOR SCHEDULE
	FIRE EXTINGUISHER CABINET (FEC)
	FIRE HOSE/VALVE CABINET (FHC)
	DIMENSION (HOLD) DIMENSION IS CRITICAL. HOLD DIMENSION FACE TO FACE OF WALL.
	DIMENSION (CRITICAL) DIMENSION IS CRITICAL. WALL PLACED AT REMAINDER OF DIMENSION STRING.
	DIMENSION (CL) DIMENSION TO STRUCTURAL COLUMN CENTERLINE
	ALIGN ALIGN FACES OF WALL

**KEYNOTES**

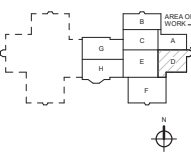
V1	RE-USE EXISTING STEEL RAILING SUPPORTS. INSTALL NEW 1/2" THICK CLEAR, TEMPERED AND LAMINATED GLASS PANELS WITH POLISHED EDGES. INSTALL NEW STAINLESS STEEL RAILINGS AS REQUIRED WITH FINISH TO MATCH EXISTING. STEEL RAILING SUPPORTS TO BE PAINTED P720 REFER TO FINISH PLANS.
V2	INSTALL NEW STEEL RAILING SUPPORTS. INSTALL NEW 1/2" THICK CLEAR, TEMPERED AND LAMINATED GLASS PANELS WITH POLISHED EDGES. INSTALL NEW STAINLESS STEEL RAILINGS AS REQUIRED WITH FINISH TO MATCH EXISTING. STEEL RAILING SUPPORTS TO BE PAINTED P720 REFER TO FINISH PLANS.
V3	EXISTING GLASS STOREFRONT DOORS TO REMAIN IN PLACE. NORTHERN DOOR EXISTING MANUAL OPERATOR (NOTED) BETWEEN PLATE AND RETURN AS PER DETAIL.
V4	EXISTING GLASS STOREFRONT DOORS TO REMAIN IN PLACE. NORTHERN DOOR EXISTING MANUAL OPERATOR (NOTED) BETWEEN PLATE AND RETURN AS PER DETAIL.
V5	EXISTING GLASS STOREFRONT DOORS TO REMAIN IN PLACE. NORTHERN DOOR EXISTING MANUAL OPERATOR (NOTED) BETWEEN PLATE AND RETURN AS PER DETAIL.
V6	EXISTING GLASS STOREFRONT DOORS TO REMAIN IN PLACE. NORTHERN DOOR EXISTING MANUAL OPERATOR (NOTED) BETWEEN PLATE AND RETURN AS PER DETAIL.
V7	NEW CONCRETE ADA RAMP AND LANDING ON GEOSRAM.
V8	NEW CONCRETE LANDING. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
V9	NEW CONCRETE LANDING. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
V10	NEW CONCRETE LANDING. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
V11	NEW CONCRETE LANDING. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.

**REVISIONS**

REV	DESCRIPTION	DATE
11	EAST VESTIBULE ACCENDUM 2	01/26/2021
10	MOIS FOR VILLAGE REVIEW	01/22/2021
9	EAST VESTIBULE ACCENDUM 1	11/18/2020
8	EAST VESTIBULE ISSUE FOR BLDG PERMIT	10/30/2020
7	EAST VESTIBULE ISSUE FOR INFORMATION	06/15/2020
6	SCHEMATIC PROGRESS SET	06/15/2020



Wight & Company  
 wightco.com  
 211 North Clinton Street  
 Suite 3000  
 Chicago, IL 60661  
 P 312.261.5700  
 F 312.261.5701



11 EAST VESTIBULE ACCENDUM 2 01/26/2021  
 10 MOIS FOR VILLAGE REVIEW 01/22/2021  
 9 EAST VESTIBULE ACCENDUM 1 11/18/2020  
 8 EAST VESTIBULE ISSUE FOR BLDG PERMIT 10/30/2020  
 7 EAST VESTIBULE ISSUE FOR INFORMATION 06/15/2020  
 6 SCHEMATIC PROGRESS SET 06/15/2020

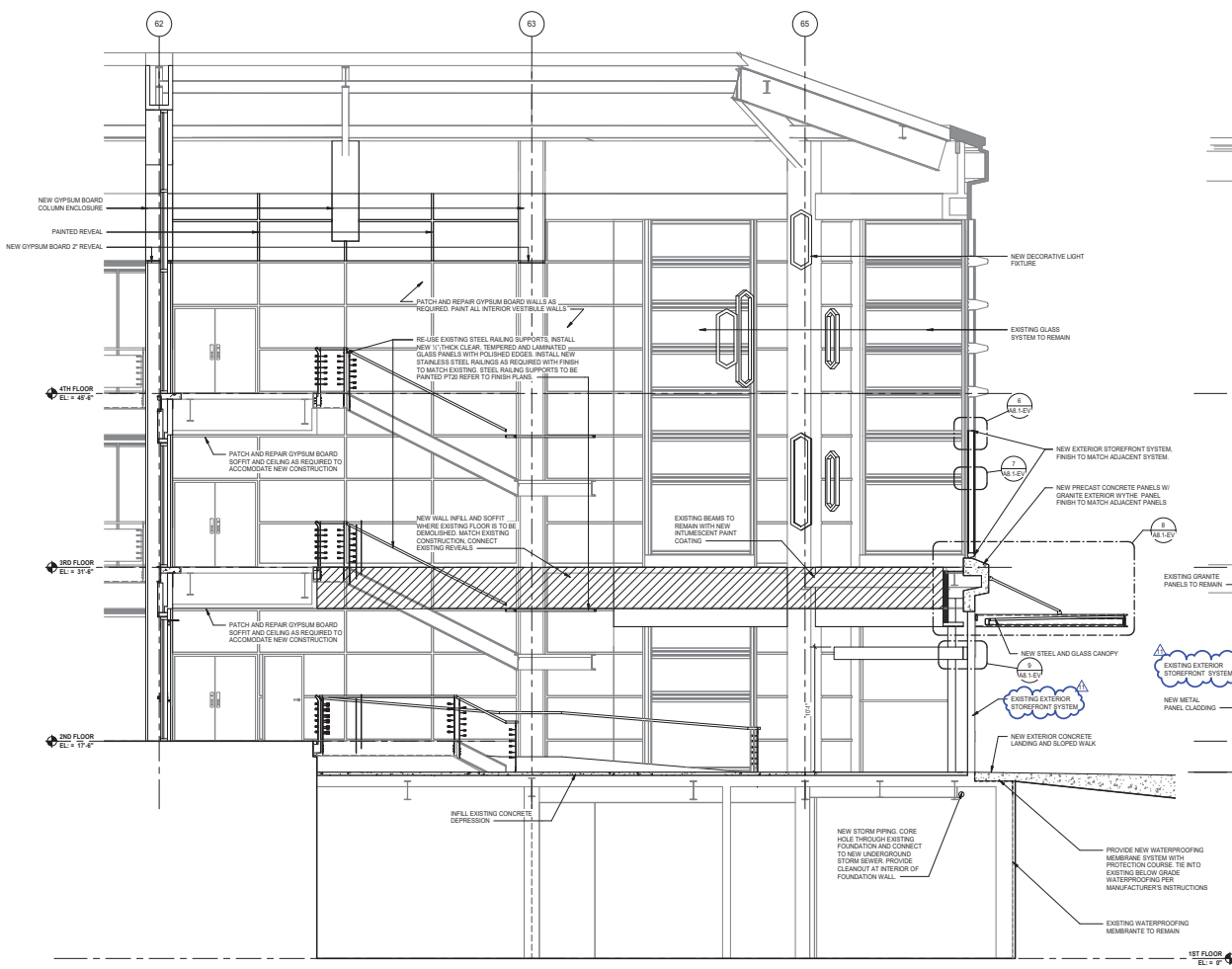
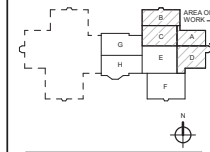
**BELL WORKS  
 CHICAGO-EAST  
 VESTIBULE**

2000 AT&T CENTER DRIVE  
 HOFFMAN ESTATES, IL 60192

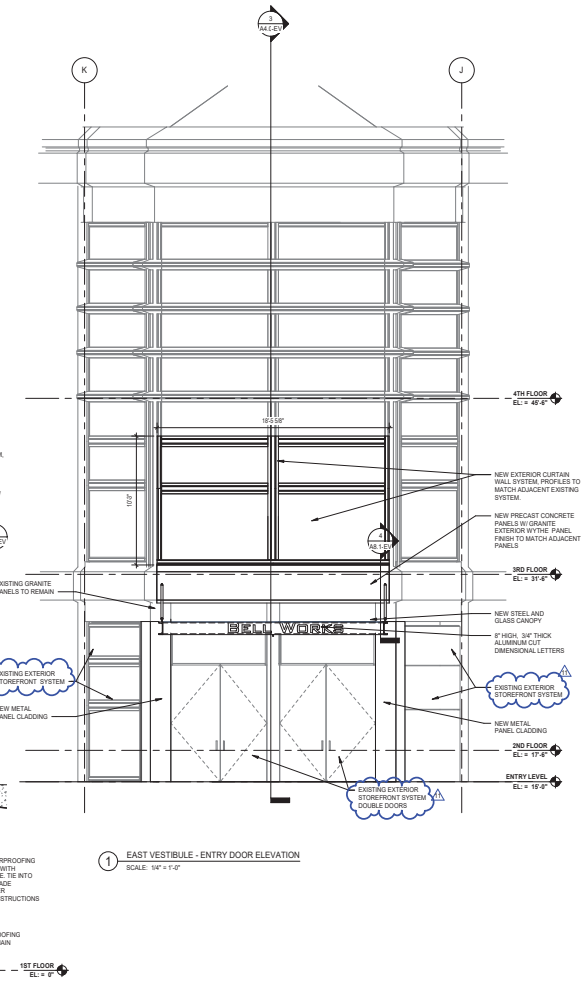
**ENLARGED SECOND  
 FLOOR PLAN - EAST  
 VESTIBULE**

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 Drawn By:  
 VP  
 Sheet:

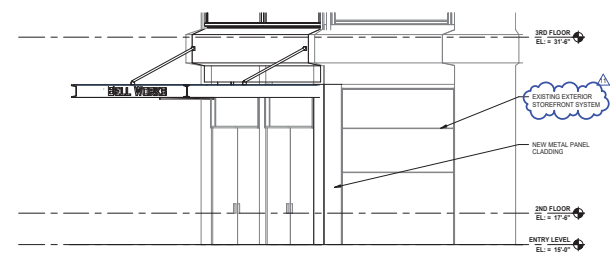
**A2.2-EV**



**3 EAST EXIT STAIR WALL SECTION**  
SCALE: 1/4" = 1'-0"



**1 EAST VESTIBULE - ENTRY DOOR ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 EAST VESTIBULE - ENTRY DOOR ELEVATION 2**  
SCALE: 1/4" = 1'-0"

REV	DESCRIPTION	DATE
11	EAST VESTIBULE ACCENDUM 2	01/26/21
10	MOJO PIV VILLAGE REVIEW	11/18/20
9	EAST VESTIBULE ISSUE FOR BID/FORSET	10/30/20
8	EAST VESTIBULE ISSUE FOR INFORMATION	06/15/20
	SCHEMATIC PROGRESS SET	

**BELL WORKS  
CHICAGO-EAST  
VESTIBULE**

2000 AT&T CENTER DRIVE  
HOFFMAN ESTATES, IL 60192

**ELEVATION & SECTION -  
EAST VESTIBULE**

Project Number:  
190151  
Drawn By:  
VP  
Sheet:

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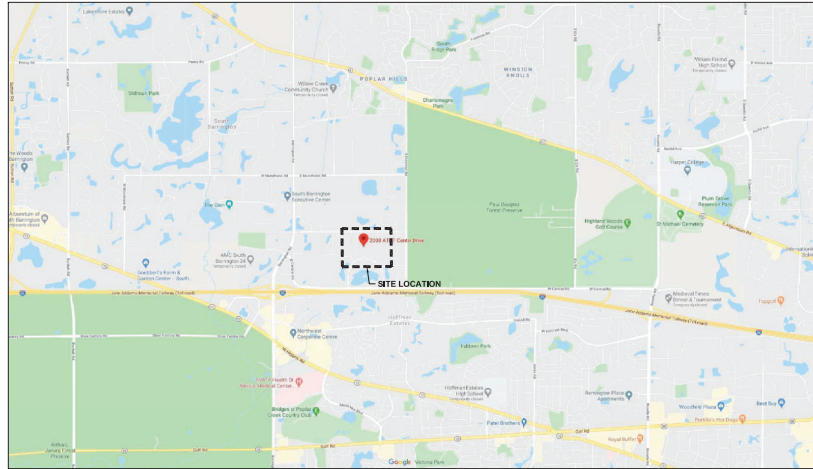


# BELL WORKS CHICAGO EAST VESTIBULE

2000 AT&T CENTER DRIVE  
HOFFMAN ESTATES, IL 60192



**Wight & Company**  
wightco.com  
2500 North Frontage Road  
Darien, IL 60561  
P 630.969.7000  
F 630.969.7979



**LOCATION MAP**

## INDEX OF DRAWINGS

CIVIL	
C0.00	COVER SHEET
C0.01	CIVIL GENERAL NOTES
C0.02	CIVIL SPECIFICATION
C1.00	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.00	SITE PLAN
C3.00	GRADING AND DRAINAGE PLAN
C3.01	EROSION CONTROL DETAILS
C4.00-4.02	CIVIL DETAILS
L1.00	LANDSCAPE PLAN
L1.01-1.02	LANDSCAPE SPECIFICATION

S:\Chicago\Somerset Development\200072\_Bell Works - East Vestibule\01\1 Drawings\02\_CD\C0.00 COVER SHEET.dwg schen Nov 18, 2020 3:20:57 pm  
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FOR UNDERGROUND UTILITY LOCATIONS,  
CALL J.U.L.I.E.  
TOLL FREE TEL. 1-800-892-0123

JULIE SUBURBS & DIGG CHICAGO

- YELLOW \_\_\_\_\_ GAS
- RED \_\_\_\_\_ ELECTRICAL
- ORANGE \_\_\_\_\_ PHONE / TV COMMUNICATION
- BLUE \_\_\_\_\_ WATER
- GREEN \_\_\_\_\_ SEWERS
- WHITE \_\_\_\_\_ SAFE TO DIG

### BENCHMARKS:

**REFERENCE BENCHMARK:**  
A13059 LOCATED AT THE VILLAGE HALL OF BARRINGTON HILLS, 132 FEET SOUTH OF ROUTE 60/68 AND 78 FEET EAST OF THE NORTHEAST CORNER OF BARRINGTON FIRE STATION.  
ELEVATION = 890.3 (NAVD88)

**SITE BENCHMARK 1:**  
ARROW BOLT ON FIRE HYDRANT, ±47' EAST OF NORTHEAST BUILDING CORNER.  
ELEVATION = 822.86 (NAVD88)

1	EAST VESTIBULE ISSUE FOR PERMIT	11/18/2020
REV	DESCRIPTION	DATE

**BELL WORKS  
CHICAGO  
EAST VESTIBULE**

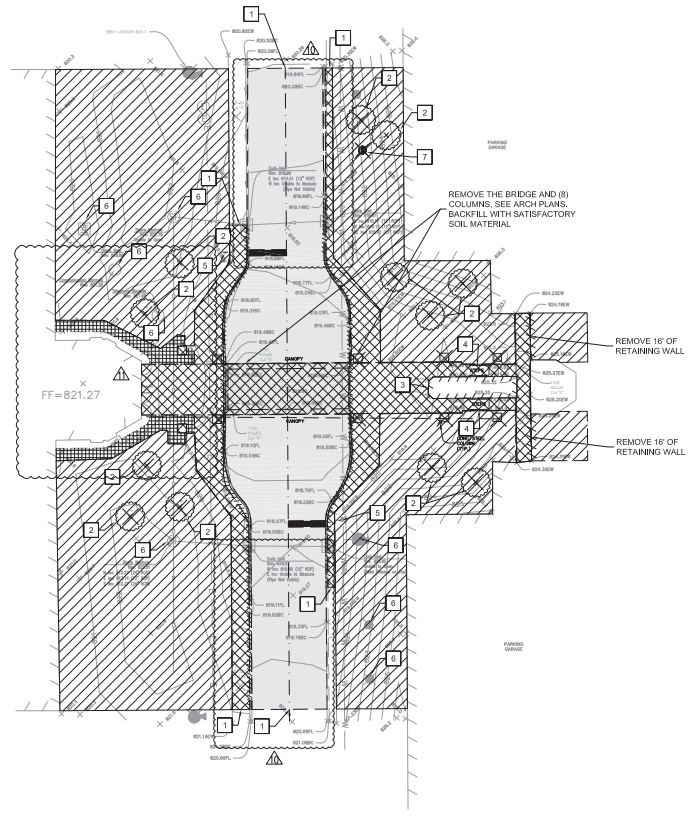
2000 AT&T CENTER DRIVE  
HOFFMAN ESTATES, IL 60192

**COVER SHEET**

Project Number:  
200149  
Drawn By:  
SC  
Sheet

**C0.00**

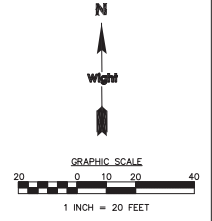
- LEGEND:**
- = BENCHMARK
  - ⊠ = WATER VALVE
  - ⊞ = FIRE HYDRANT
  - ⊙ = ELECTRIC MANHOLE
  - ⊗ = LIGHT
  - ⊞ = CURB INLET/CATCH BASIN
  - ⊙ = STORM MANHOLE
  - ⊙ = MISC. MANHOLE
  - ⊙ = TELEPHONE MANHOLE
  - XXX.000 = BACK OF CURB ELEVATION
  - XXX.XXX = FLOWLINE ELEVATION
  - XXX.XXX = EDGE OF WALK ELEVATION
  - XXX.000 = EDGE OF CONCRETE ELEVATION
  - = AS-BUILT CONTOUR
  - ▨ = BUILDING
  - ▨ = PAVEMENT
  - ▨ = CONCRETE SIDEWALK
  - ▨ = PAVERS



- LEGEND**
- ⊗ ITEM REMOVAL
  - ▨ LINEAR ITEM REMOVAL
  - ▨ REMOVE CONCRETE AND STONE BASE
  - ▨ SITE CLEARING
  - ▨ REMOVE HMA PAVEMENT, EXISTING STONE BASE TO REMAIN
  - ▨ REMOVE GRASS PAVER AND SETTING BED

- DEMO KEY NOTES**
- 1 SAWCUT
  - 2 REMOVE TREE
  - 3 REMOVE BUILDING
  - 4 REMOVE STEPS
  - 5 REMOVE SIGN
  - 6 ITEMS TO BE PROTECTED
  - 7 REMOVE LIGHT

- DEMOLITION NOTES**
1. CONTRACTOR TO PROTECT ALL EXISTING UTILITIES DURING DEMOLITION & CONSTRUCTION ACTIVITIES, WHETHER SHOWN ON THE PLANS OR NOT, UNLESS OTHERWISE SPECIFIED. ANY RELOCATION, ADJUSTMENTS, CONFLICTS, ETC. SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. CONTRACTOR TO LOCATE ALL PUBLIC & PRIVATE UTILITIES IN THE RIGHT-OF-WAY AND SITE PRIOR TO CONSTRUCTION.
  2. ALL EXISTING CURBS TO REMAIN UNLESS OTHERWISE SPECIFIED. ANY CURBS DAMAGED DURING DEMOLITION SHALL BE REPLACED IN KIND.
  3. ALL EXISTING SIGNS & LIGHT POLES TO REMAIN AND BE PROTECTED UNLESS OTHERWISE SPECIFIED. ANY SIGNS REMOVED SHALL BE SALVAGED AND RELOCATED OR RETURNED TO OWNER.
  4. ANY UTILITY ADJUSTMENTS, CONFLICTS, RELOCATIONS, ETC. REQUIRED SHALL BE COORDINATED WITH ENGINEER AND UTILITY OWNER/PROVIDER.
  5. ALL DEMOLITION AND CONSTRUCTION IN THE RIGHT-OF-WAY SHALL BE COORDINATED AND APPROVED BY THE VILLAGE OF HOFFMAN ESTATES. THE CONTRACTOR IS TO CONTACT THE INSPECTORS AT THE VILLAGE OF HOFFMAN ESTATES PRIOR TO CONSTRUCTION.
  6. COORDINATE ALL ELECTRICAL, CABLE FIBER, ETC. REMOVAL/RELOCATION WITH MEP PLANS. CONTRACTOR SHALL PROTECT ALL EXISTING ELECTRIC SERVICES DURING CONSTRUCTION AND NOTIFY ENGINEER IMMEDIATELY OF ANY CONFLICTS.
  7. ALL EXISTING SHRUBS AND LANDSCAPING IN CONFLICT WITH SITE IMPROVEMENTS SHALL BE REMOVED.
  8. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY DAMAGED PUBLIC/Private PROPERTY OR ROADWAY AS A RESULT OF CONSTRUCTION ON THIS SITE. THE RIGHT-OF-WAY MUST BE RESTORED TO EXISTING OR BETTER CONDITION.



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⚠	EAST VESTIBULE ADDENDUM 2 MODS PER VILLAGE REVIEW	01-26-2021
⚠	EAST VESTIBULE ADDENDUM 1 MODS PER VILLAGE REVIEW	01-12-2021

REV	DESCRIPTION	DATE
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**BELL WORKS  
 CHICAGO  
 EAST VESTIBULE**

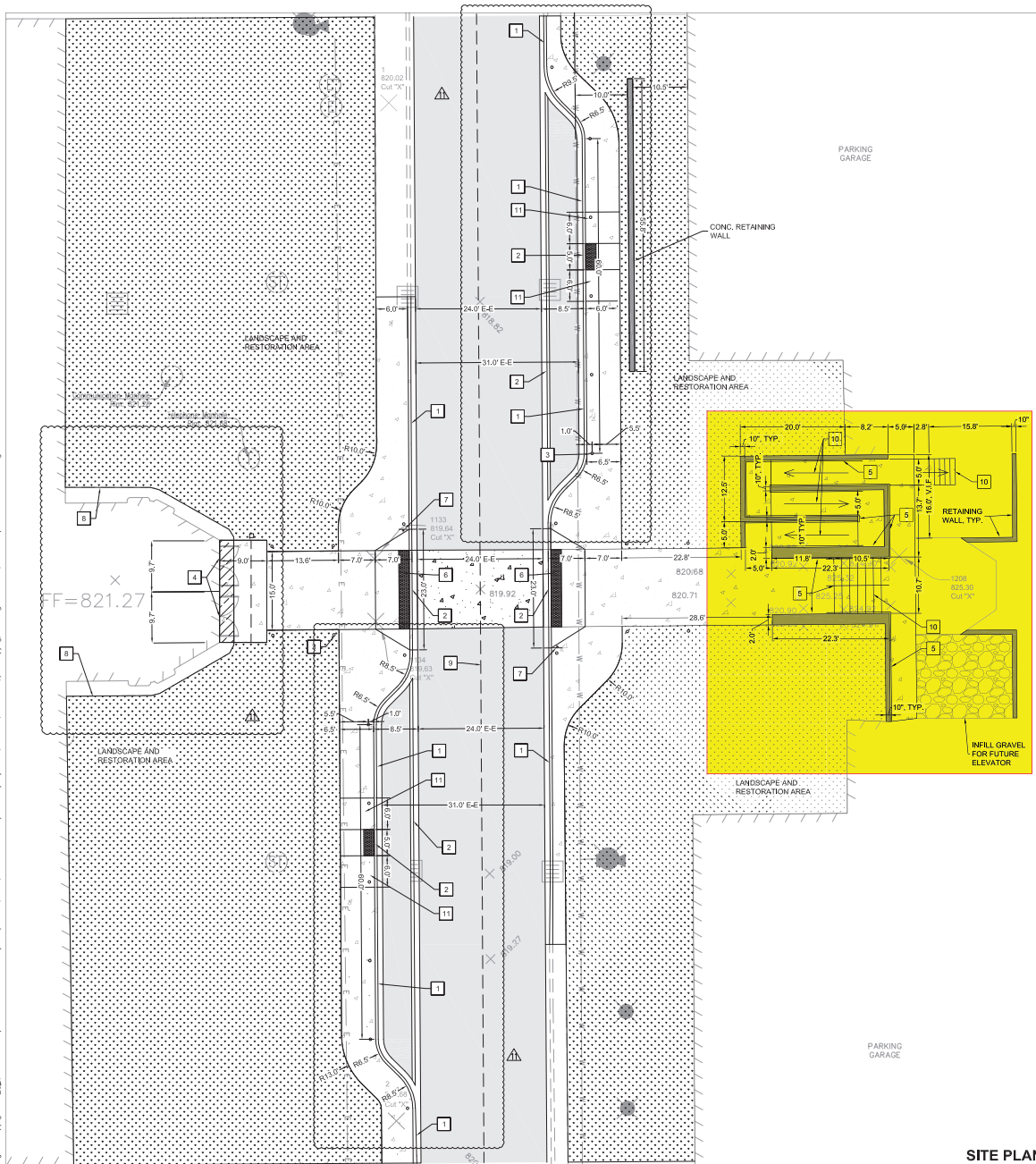
2000 AT&T CENTER DRIVE  
 HOFFMAN ESTATES, IL 60192

**EXISTING CONDITIONS  
 AND DEMOLITION PLAN**

Project Number:  
 200149  
 Drawn By:  
 SC  
 Sheet:

**C1.00**

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SITE PLAN

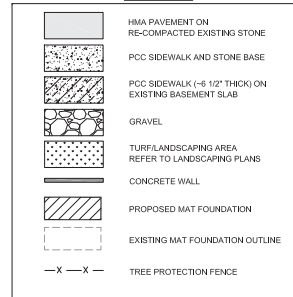
**SITE PLAN NOTES**

1. ALL EXISTING CURB TO REMAIN UNLESS OTHERWISE SPECIFIED. ANY CURB DAMAGED DURING DEMOLITION SHALL BE REPLACED IN KIND.
2. ALL DIMENSIONS ARE TO THE BACK OF CURB/EDGE OF PAVEMENT UNLESS OTHERWISE SHOWN. ALL RADIUS DIMENSIONS ARE TO THE BACK OF CURB/EDGE OF PAVEMENT.
3. ALL DISTURBED AREAS ON-SITE AND IN THE RIGHT-OF-WAY SHALL BE RESTORED TO EXISTING CONDITION. ALL ITEMS DISTURBED SHALL BE REPLACED INCLUDING ALL LANDSCAPING, CURB, SIDEWALK, PAVEMENT, ETC.

**LAYOUT NOTE:**

1. ALL LAYOUT FOR SITE IMPROVEMENTS SHALL BE COMPLETED BY A PROFESSIONAL LAND SURVEYOR HIRED BY THE CONTRACTOR. LAYOUT SHALL BE COMPLETED USING THE ELECTRONIC CAD FILES PROVIDED BY THE ENGINEER.

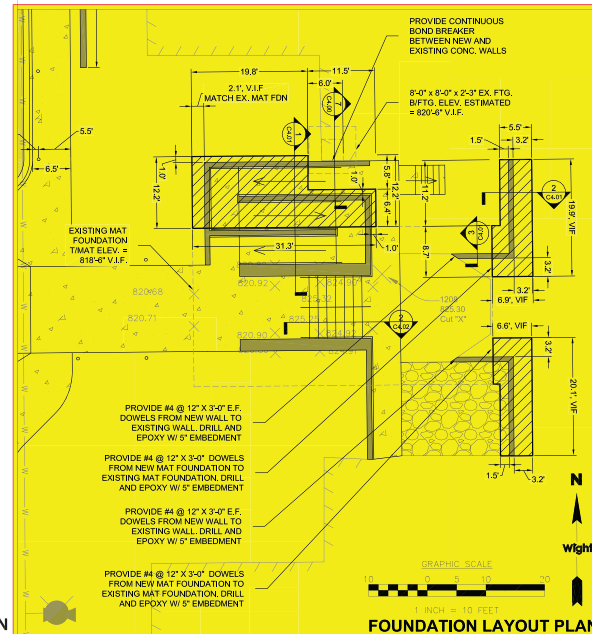
**LEGEND**



**KEY NOTES**

- 1 B6.12 CURB & GUTTER
- 2 DEPRESSED CURB
- 3 ILLUMINATED BOLLARDS, SEE MEP
- 4 FROST STOOP
- 5 ILLUMINATED HANDRAIL SYSTEM, SEE MEP
- 6 ADA RAMP W/ DETECTABLE WARNING TACTILE
- 7 MUTCD SIGN W/1-2 & W/16-TP, SEE DETAILS
- 8 BASEMENT WALL OUTLINE
- 9 4" YELLOW DASH, MATCH EXISTING (PAINT)
- 10 CONCRETE STAIR STRUCTURE
- 11 ADA RAMP

NOTE: HIGHLIGHTED AREAS ARE UNDERGOING REDESIGN AND WILL BE SUBMITTED FOR REVIEW SEPARATELY



FOUNDATION LAYOUT PLAN



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▲ EAST VESTIBULE ADDENDUM 2 MOSS PER VILLAGE REVIEW	01-26-2021
▲ EAST VESTIBULE ADDENDUM 1 MOSS PER VILLAGE REVIEW	01-12-2021
▲ EAST VESTIBULE ISSUE FOR BEIRP/MT	11-15-2020

REV	DESCRIPTION	DATE
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**BELL WORKS  
 CHICAGO  
 EAST VESTIBULE**

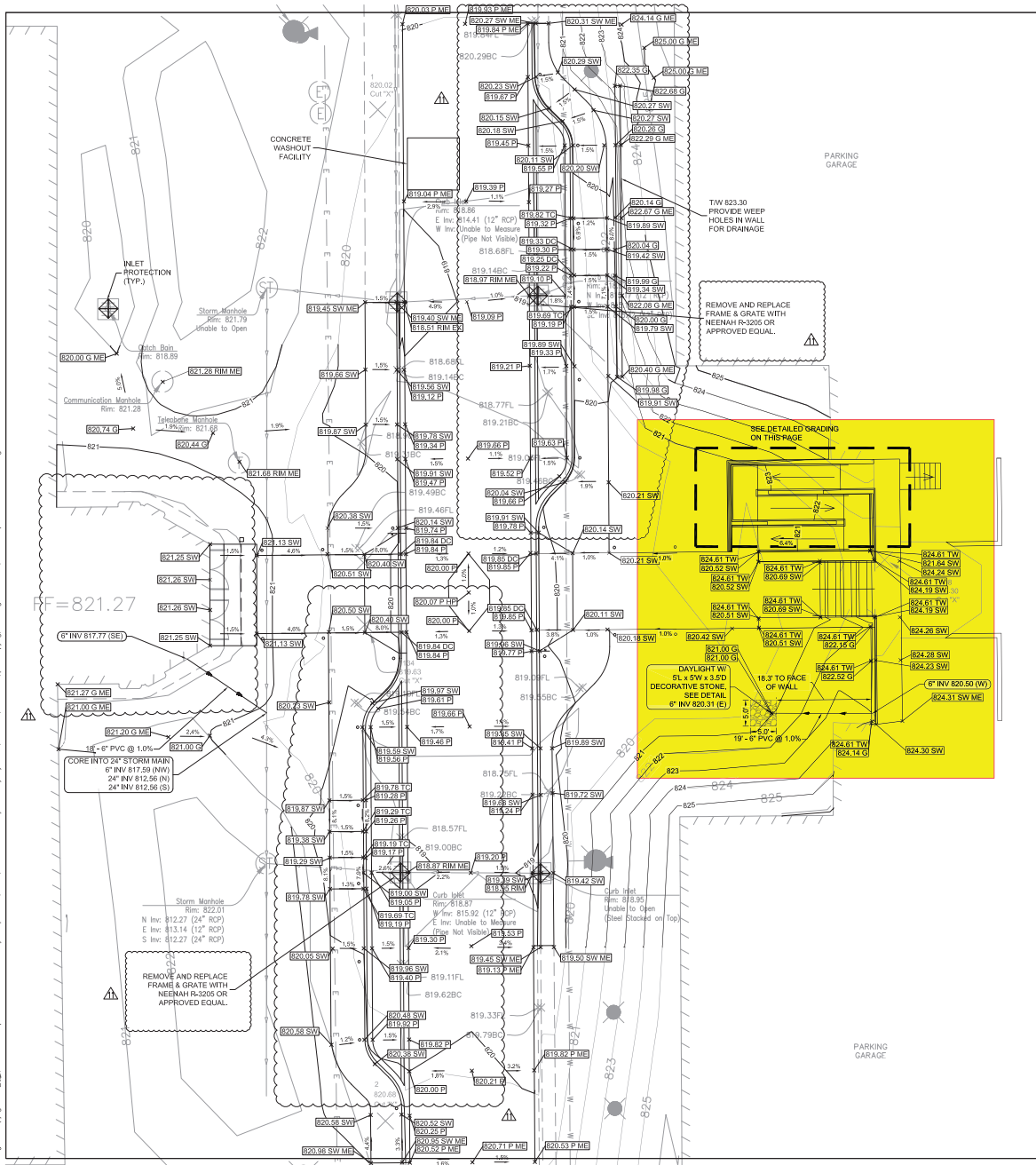
2000 AT&T CENTER DRIVE  
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**SITE PLAN**

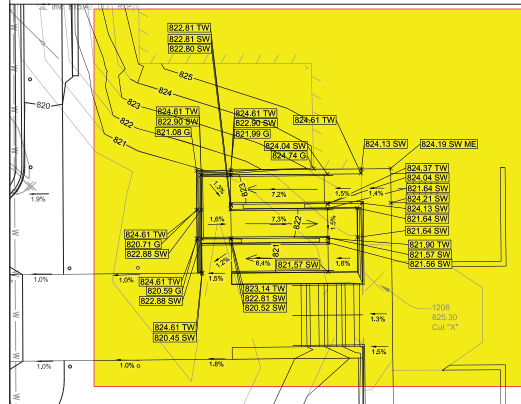
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NOTE: HIGHLIGHTED AREAS ARE UNDERGOING REDESIGN AND WILL BE SUBMITTED FOR REVIEW SEPARATELY



**LEGEND**

ME	MATCH EXISTING ELEVATION
HP	HIGH POINT
TOP OF PAVEMENT ELEVATION	
GROUND ELEVATION	
TOP OF SIDEWALK ELEVATION	
RIM ELEVATION	
TOP OF CURB ELEVATION	
TOP OF WALL ELEVATION	
TOP OF DEPRESSION CURB ELEVATION	
-745-	EXISTING CONTOUR LINE
-745-	PROPOSED CONTOUR LINE
2.0%	SLOPE/DRAIN DIRECTION
INLET PROTECTION	

**NOTES:**

- CONTRACTOR TO VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, SLOPES, INVERTS, ETC. AND CONTACT ENGINEER IMMEDIATELY IF THERE ARE ANY CONFLICTS/DISCREPANCIES.
- THE CONTRACTOR SHALL PROTECT ANY AND ALL TREES EITHER SHOWN OR NOT SHOWN ON THE PLANS UNLESS OTHERWISE SPECIFIED. MINIMUM PROTECTION FOR TREES SHALL BE 4' SNOW FENCE INSTALLED ALONG THE DRIP LINE OF TREES.
- CONTRACTOR TO PROTECT ALL EXISTING UTILITIES.
- ALL EXISTING UTILITY STRUCTURES SHALL BE ADJUSTED AS NECESSARY TO MATCH FINISH GRADE. ALL EXISTING UTILITY STRUCTURES REQUIRING REPAIR OR RECONSTRUCTION SHALL BE COMPLETED BY THE CONTRACTOR TO THE SATISFACTION OF THE UTILITY OWNER. ADJUSTMENTS AND/OR RECONSTRUCTIONS NOT CALLED FOR ON THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. NO MORE THAN A TOTAL OF 8 INCHES OF ADJUSTING RINGS AND/OR 2 ADJUSTING RINGS SHALL BE ALLOWED.
- ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE ILLINOIS ACCESSIBILITY CODE AND WITH THE AMERICANS WITH DISABILITIES ACT.
- RAMPS SHALL NOT EXCEED A RUNNING SLOPE OF 1:12 (8.33%).
- MAXIMUM CROSS-SLOPE ON ANY WALK OR RAMPS SHALL BE 2%. ALL ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.

**EARTHWORK NOTES:**

CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXACT EARTHWORK REQUIREMENTS (CUT, FILL, HAUL IN/OFF, ETC.) TO BRING SITE TO FINISHED GRADE. ANY CHANGE REQUEST OF ON-SITE DEMOLITION DEBRIS MATERIALS MUST BE APPROVED BY THE GEOTECHNICAL ENGINEER.



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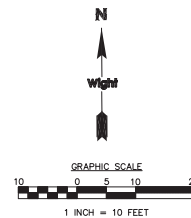
▲	EAST VESTIBULE ADDENDUM 2 MOSS PER VILLAGE REVIEW	01-26-2021
▲	EAST VESTIBULE ADDENDUM 1 MOSS PER VILLAGE REVIEW	01-12-2021
▲	EAST VESTIBULE ISSUE FOR BEIRPOINT	11-15-2020
REV	DESCRIPTION	DATE

**BELL WORKS CHICAGO EAST VESTIBULE**

2000 AT&T CENTER DRIVE  
 HOFFMAN ESTATES, IL 60192

**GRADING AND DRAINAGE PLAN**

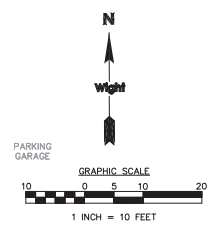
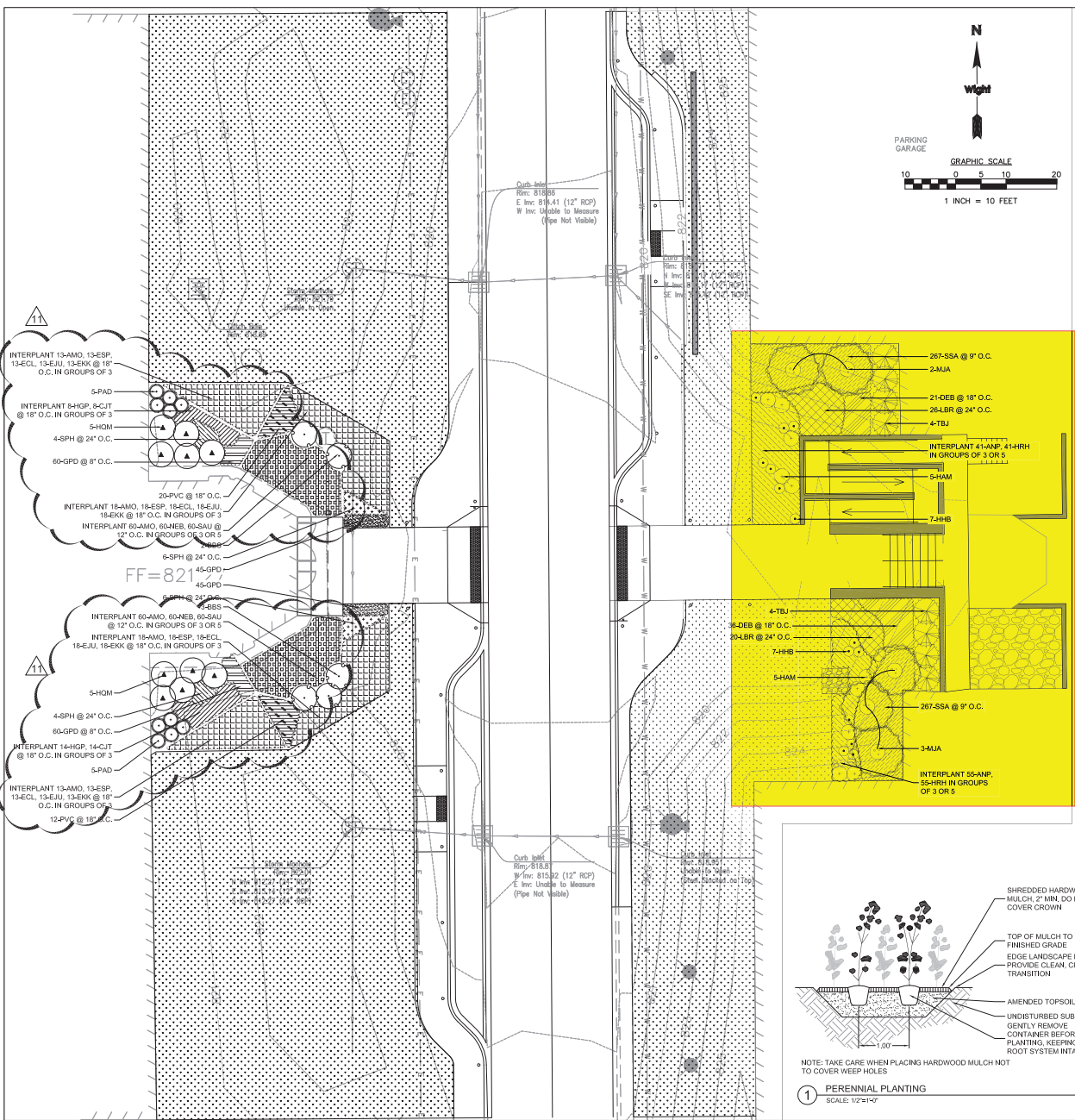
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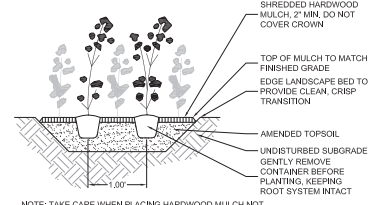
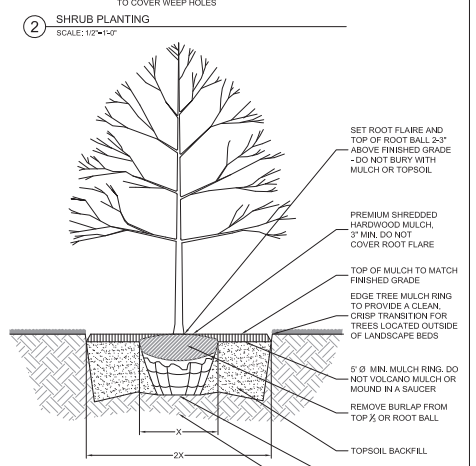
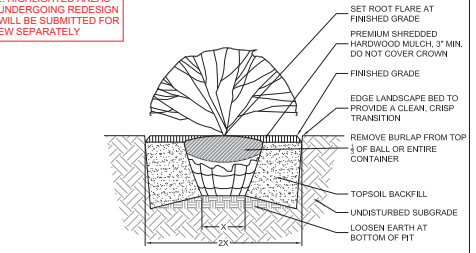
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**LANDSCAPE NOTES**

- SOD LIMIT LINE IS APPROXIMATE. RESTORE TO LIMITS OF DISTURBANCE. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED WITH TOPSOIL (MIN. 10" DEPTH), FERTILIZER, OR SOD AS SHOWN.
- ALL AREAS DISTURBED BY CONSTRUCTION IN THE R.O.W. SHALL BE RESTORED WITH TOPSOIL (MIN. 6" DEPTH) AND THE CONTRACTOR SHALL PROTECT ANY AND ALL TREES NOT SHOWN ON THE PLANS TO BE SAVED FROM DAMAGE DUE TO HIS OPERATIONS. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING AS SHOWN ON PLANS AND DETAILS PRIOR TO BEGINNING WORK.
- CONTRACTOR RESPONSIBLE TO RESTORE ALL AREAS DISTURBED BY CONSTRUCTION OUTSIDE SCOPE LIMIT TO EXISTING CONDITION.
- ALL PROPOSED PLANTING BED AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED WITH TOPSOIL (MIN. 10" DEPTH) PRIOR TO PERENNIAL AND SHRUB INSTALLATION.
- THE CONTRACTOR SHALL PROTECT ANY AND ALL TREES NOT SHOWN ON THE PLANS TO BE SAVED FROM DAMAGE DUE TO HIS OPERATIONS. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING AS SHOWN ON PLANS AND DETAILS PRIOR TO BEGINNING WORK.
- THE CONTRACTOR WILL MAKE NO SUBSTITUTIONS WITHOUT PRIOR WRITTEN CONSENT BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR WILL SUBMIT ANY SUBSTITUTIONS IN WRITING TO THE LANDSCAPE ARCHITECT.
- ALL PLANTING TECHNIQUES AND METHODS SHALL BE CONSISTENT WITH THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" AND AS DETAILED ON THESE DRAWINGS. DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT.
- ALL PLANTING BEDS WILL RECEIVE 3" PREMIUM DOUBLE SHREDDED HARDWOOD BARK. GROUNDCOVERS SHALL RECEIVE 1-1/2" CAREFULLY PLACED AROUND BASE OF PLANT.
- TREES PLACED IN TURF AREAS WILL HAVE 6" DIA. MULCH RING WITH 3" DEEP SPADE CUT EDGE.
- ALL BEDLINES SHALL BE SPADE CUT TO A MIN. DEPTH OF 7" CURVED BEDLINES TO BE SMOOTH AND NOT SEGMENTED.
- EXISTING TURF IN PROPOSED PLANTING AREAS SHALL BE STRIPPED AND REMOVED.
- ALL PERENNIAL & SHRUB BEDS TO HAVE AMENDED TOPSOIL, 2" MINIMUM ORGANIC MATTER SHALL BE TILLED INTO THE TOP 10" OF TOPSOIL, THOROUGHLY TILL TO BREAK UP CLUMPS AND SPREAD EVENLY OVER SURFACE.
- TREES SHALL BE INSTALLED A MINIMUM OF 10' HORIZONTALLY FROM NEAREST LIGHT POLE.
- TREES SHALL BE INSTALLED A MINIMUM OF 5' HORIZONTALLY FROM UNDERGROUND ELECTRICAL FEEDERS, SANITARY SEWERS, SANITARY SERVICES, WATER MAINS, AND WATER SERVICES.
- TREES SHALL BE INSTALLED A MINIMUM OF 10' HORIZONTALLY FROM UTILITY STRUCTURES AND APPURTENANCES, INCLUDING, BUT NOT LIMITED TO MANHOLES, VALVE VAULTS, VALVE BOXES, AND FIRE HYDRANTS.
- ANY AREA COMPACTED BY CONSTRUCTION TRAFFIC SHALL BE TILLED OR RESTORED TO ALLOW FOR SUITABLE PLANTING CONDITIONS.
- THE CROWNS AND ROOTS OF TREES WHICH ARE TO BE PRESERVED IN THE PROJECT AREA, BUT WHICH COULD BE NEGATIVELY AFFECTED DURING THE CONSTRUCTION PROCESS, SHALL BE PRUNED BY A QUALIFIED ARBORIST ACCORDING TO THE TREE PRUNING STANDARDS SET BY ANSI Z100 CODE.

NOTE: HIGHLIGHTED AREAS ARE UNDERGOING REDesign AND WILL BE SUBMITTED FOR REVIEW SEPARATELY



- NOTES:
- PRUNE TO THIN AND SHAPE TREE CANOPY PER SPECIFICATIONS
  - APPLY STAKES AND/ OR GUYS ONLY AS INDICATED IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT



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REV	DESCRIPTION	DATE
EAST VESTIBULE ADDENDUM 2 MODS PER 'VILLAGE REVIEW'		01-26-2021
EAST VESTIBULE ADDENDUM 1 MODS PER 'VILLAGE REVIEW'		01-14-2021
EAST VESTIBULE ISSUE FOR BEERPERMIT		11-18-2020

**BELL WORKS CHICAGO EAST VESTIBULE**

2000 AT&T CENTER DRIVE  
 HOFFMAN ESTATES, IL 60192

**LANDSCAPE PLAN**

Project Number:  
 200149  
 Drawn By:  
 PK  
 Sheet:

**L1.00**





# 3 | East Vestibule Existing Conditions View One



- Existing Conditions Shown for Reference

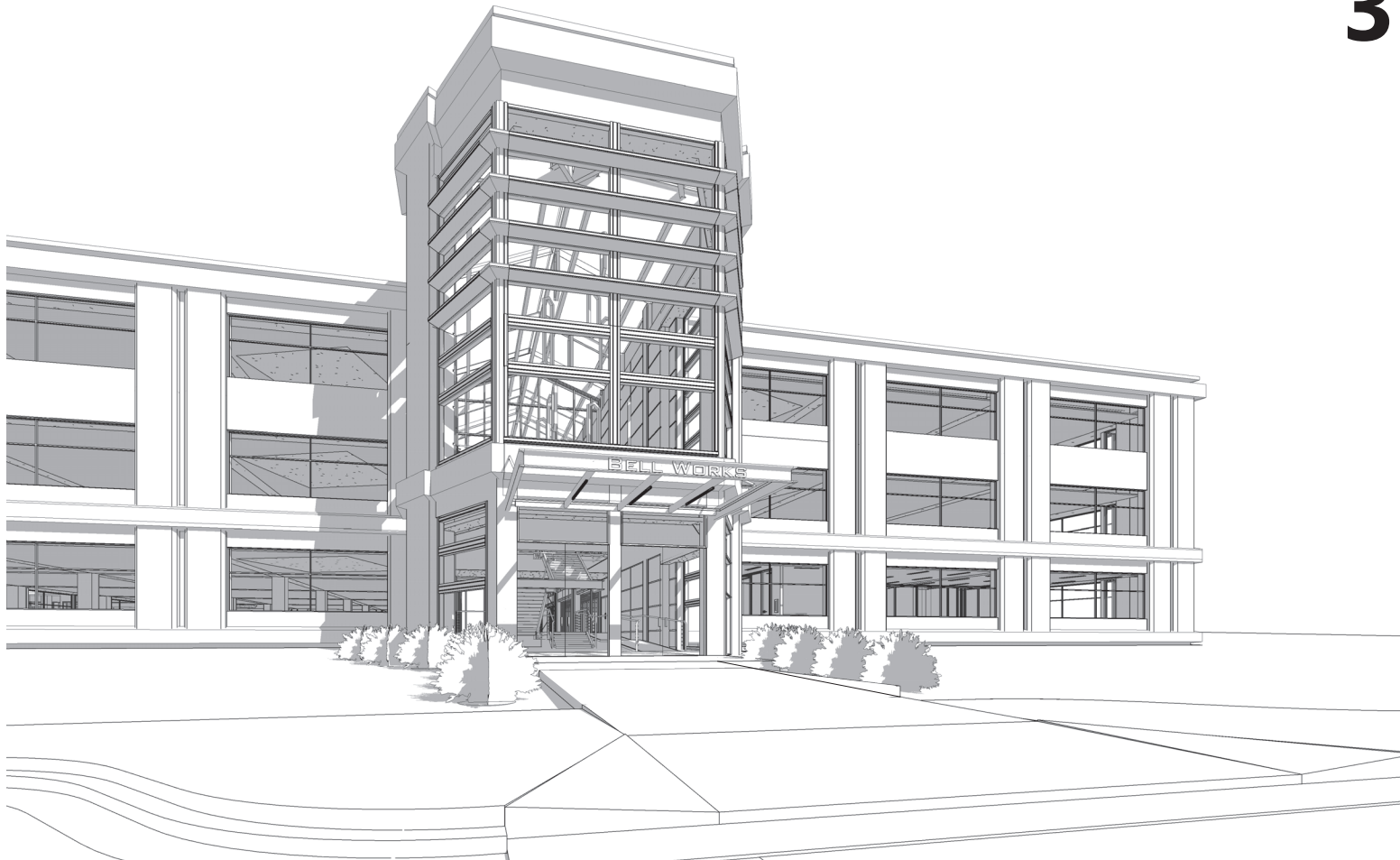
# 3

## East Vestibule Design Update View One



### Project Scope:

- Bridge and Structure Removed
- Infill of storefront at 3rd Floor
- Glass & Steel Canopy above entry
- New landscaping at East Entry and Garage



# 3

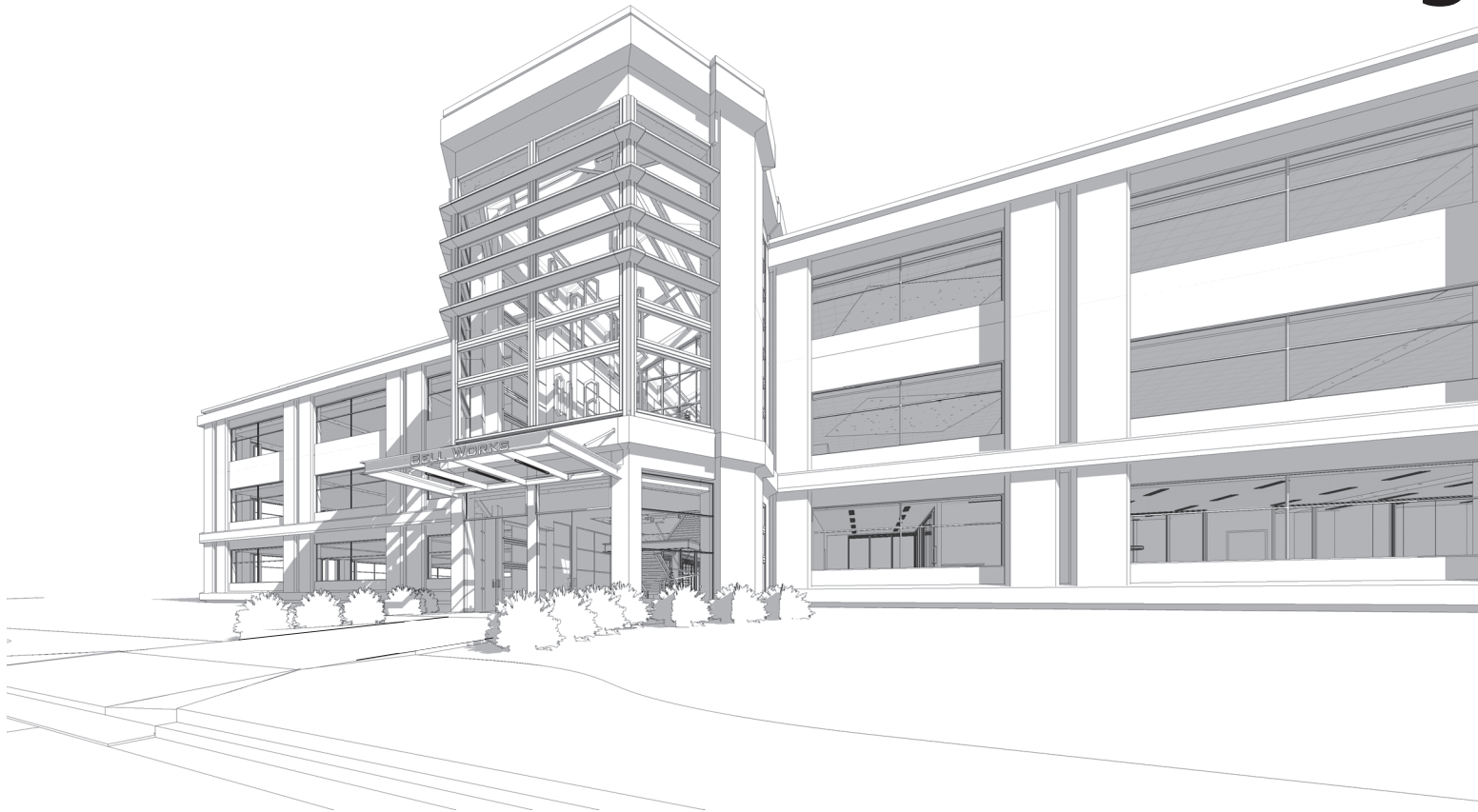
## East Vestibule Design Update View Two

### Project Scope:

- Bridge and Structure Removed
- Infill of storefront at 3rd Floor
- Glass & Steel Canopy above entry
- New landscaping at East Entry and Garage

# 3

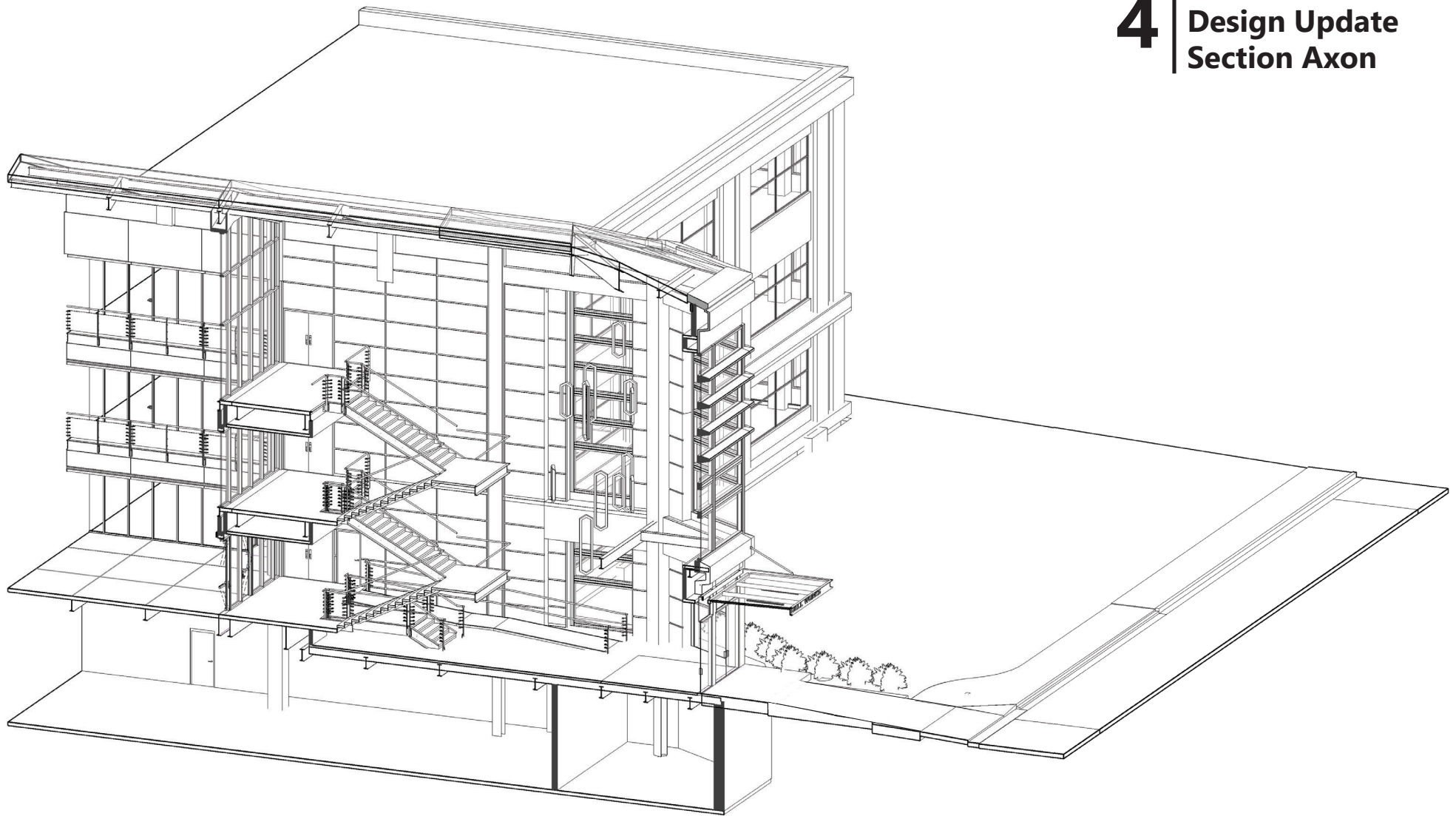
## East Vestibule Design Update View Three



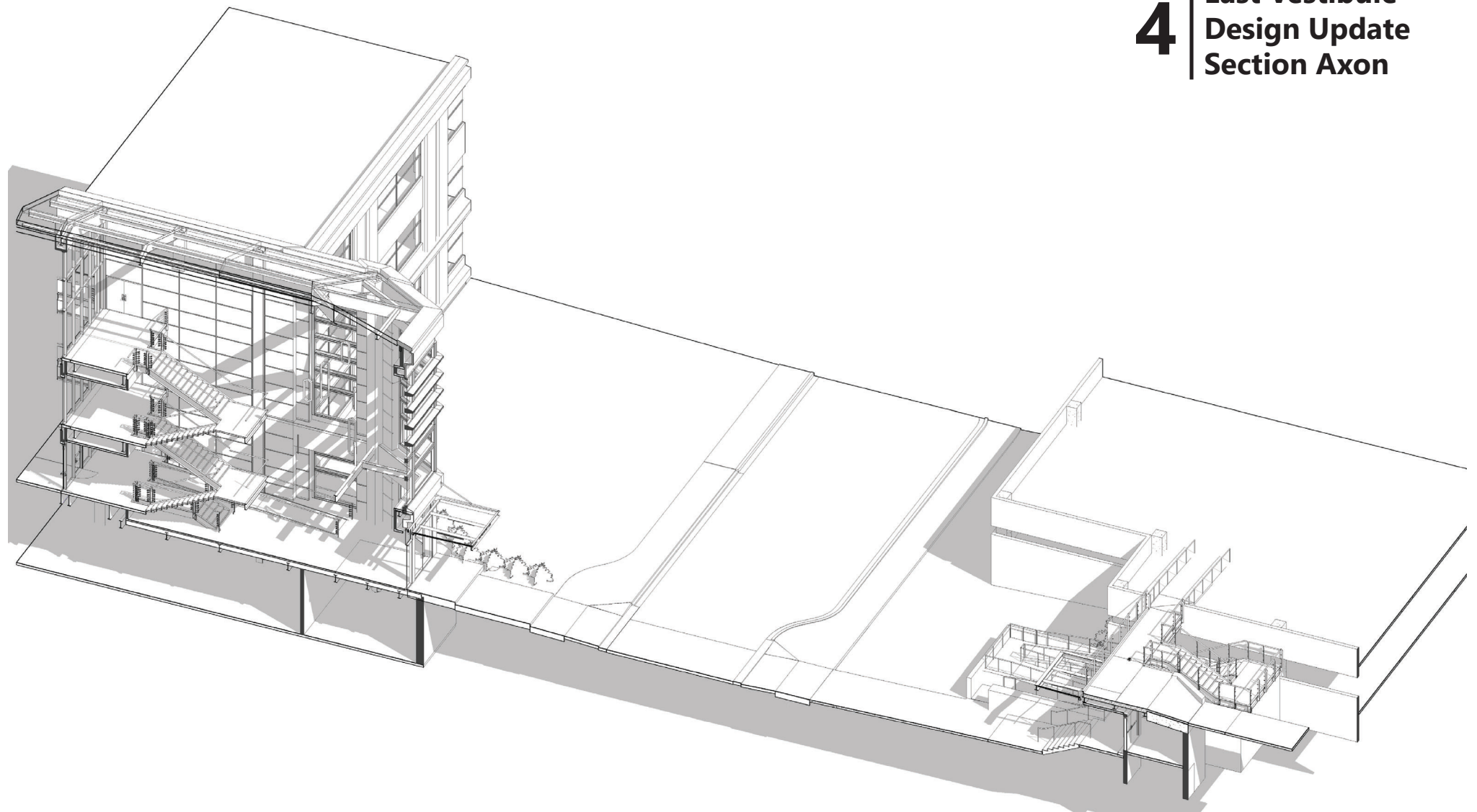
### Project Scope:

- Bridge and Structure Removed
- Infill of storefront at 3rd Floor
- Glass & Steel Canopy above entry
- New landscaping at East Entry and Garage

# 4 | East Vestibule Design Update Section Axon



# 4 | East Vestibule Design Update Section Axon

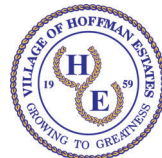


# Bellworks

## 2000 AT&T Center Drive



0 0.05 0.1 0.2 Miles



Planning and Transportation Division  
Village of Hoffman Estates  
January 2021