

AGENDA

*Village of Hoffman Estates
Second Meeting of the Month
Village Board of Trustees*

*1900 Hassell Road
Hoffman Estates, IL 60169
847/882-9100*

Board Room	7:00 p.m.	December 16, 2019
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1. **CALL TO ORDER/ROLL CALL**
2. **PLEDGE OF ALLEGIANCE TO THE FLAG**
3. **RECOGNITION OF AUDIENCE**
4. **APPROVAL OF MINUTES – December 2, 2019**
5. **CONSENT AGENDA/OMNIBUS VOTE (Roll Call Vote)**
(All items under the Consent Agenda are considered to be routine in nature and will be enacted by one motion. There will be no separate discussion of these items unless a Trustee so requests. In that event, the discussion will be the first item of business after approval of the Consent Agenda.)
 - A. Approval of Agenda
 - B. Approval of the schedule of bills for December 16, 2019 - \$10,440,359.43
 - C. Request Board approval of an Ordinance granting a special use to 1400 Gannon Road, LLC (owner) and Charles Vincent George Architects (applicant), Lot 2, Hoffman Estates Retail Subdivision (1400 Gannon Road - New address: 1199 W. Higgins Road).
 - D. Request Board approval of an Ordinance granting a special use to Amita Health Alexian Brothers Behavioral Health (owner) and Kimley-Horn (applicant), 1650 Moon Lake Boulevard.
 - E. Request Board approval of a Resolution establishing fees for Police & Fire Department personnel (hireback rates).
 - F. Request Board approval of a Resolution providing payment for appointed Commissions and Boards.
 - G. Request Board approval of request by Hoffman Estates Park District for site plan approval for park enhancements and parking lot expansion at South Ridge Community Park (1450 Freeman Road).
 - H. Request Board approval to enter into a Franchise Agreement between the Village of Hoffman Estates and Comcast of Illinois VI, LLC and Comcast of Illinois/West Virginia, LLC.
 - I. Request Board approval of the:
 - 1) 2020 renewal of the Village's property and casualty insurance program through the Suburban Liability Insurance Pool (SLIP); and
 - 2) 2020 renewal of the Village's worker's compensation, underground storage tank and liquor liability coverages through Alliant/Mesirow Insurance Services.

5. CONSENT AGENDA/OMNIBUS VOTE (Roll Call Vote) – Continued

- J. Request Board authorization to purchase a Kubota worksite vehicle with snow blower, salt spreader, broom and blade attachments for the Sears Centre Arena from Russo Power Equipment, Schiller Park, IL, in an amount not to exceed \$37,216.
- K. Request Board authorization to:
 - 1) waive formal bidding; and
 - 2) purchase 32 new food and beverage point of sale (POS) units from NCR, Duluth, GA, for the Sears Centre Arena concessions, in an amount not to exceed \$34,739.21.
- L. Request Board authorization to procure two (2) front end loaders via lease to purchase option through Sourcewell Cooperative Purchasing Program.

6. REPORTS (INFORMATION ONLY)**A. President's Report**

- . . . Proclamation(s)
 - Ted Bos Day (35 Years' Service)
 - Shelley Walenga Day (30 Years' Service)
 - Michael Barber Day (20 Years' Service)
 - Kathryn Cawley Day (20 Years' Service)
 - Scott Reichel Day (20 Years' Service)
 - Matthew Teipel Day (20 Years' Service)
- . . . Boards & Commission Appointments

B. Trustee Comments**C. Village Manager's Report****D. Village Clerk's Report****E. Treasurer's Report****7. PLANNING & ZONING COMMISSION REPORTS**

- A. Request by DeSchouw BSM, LLC (owner) and Winston Knolls Foundation (applicant) for a special use amendment under Section 9-8-2-C-9 of the Zoning Code and a Site Plan Amendment to permit an outdoor playground for special needs children on the property located adjacent to 2353 Hassell Road, with 11 conditions (see packets).

Voting: 9 Ayes, 2 Absent

Motion carried.

8. ADDITIONAL BUSINESS

- A. Request Board approval of an Ordinance amending Sections 9-1-2, 9-2-1, and 9-3-13, and creating Article 9-11, Cannabis Dispensary Overlay District, of the Hoffman Estates Municipal Code (cannabis dispensaries).
- B. Request Board approval of the 2020 Village Board and Standing Committees meeting schedule.

9. ADJOURNMENT

Further details and information can be found in the agenda packet attached hereto and incorporated herein and can also be viewed online at www.hoffmanestates.org and/or in person in the Village Clerk's office. The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.

MEETING: HOFFMAN ESTATES VILLAGE BOARD
DATE: DECEMBER 2, 2019
PLACE: COUNCIL CHAMBERS
MUNICIPAL BUILDING COMPLEX
1900 HASSELL ROAD
HOFFMAN ESTATES, ILLINOIS

1. CALL TO ORDER:

Village President William McLeod called the meeting to order at 7:00 p.m. The Village Clerk called the roll. Trustees present: Gary Pilafas, Gary Stanton, Michael Gaeta, Karen Arnet, Anna Newell

A quorum was present.

ADMINISTRATIVE PERSONNEL PRESENT:

J. Norris, Village Manager
D. O'Malley, Deputy Village Manager
A. Janura, Corporation Counsel
P. Cross, Asst. Corporation Counsel
M. Koplin, Asst. Village Manager Development Services
P. Fortunato, Fire Chief
J. Kotrba, Fire Lieutenant
T. Bos, Police Chief
K. Cawley, Asst. Police Chief
J. Nebel, Public Works Director
F. Besenhoffer, IS Director
P. Seger, HRM Director
R. Musiala, Finance Director
M. Saavedra, H&HS Director
R. Signorella, CATV Director
S. Ostrovsky, Asst. to the Village Manager
P. Gugliotta, Planning, Building & Code Enforcement Director
K. Anderson, Development Services Technician

2. PLEDGE OF ALLEGIANCE TO THE FLAG:

The Pledge was led Trustee Pilafas.

3. RECOGNITION OF AUDIENCE:

No one wished to be recognized.

4. APPROVAL OF MINUTES:

Motion by Trustee Gaeta, seconded by Trustee Arnet, to approve Item 4. Voice vote taken. All ayes. Motion carried.

Approval of Minutes
Minutes from November 18, 2019.

5. CONSENT AGENDA/OMNIBUS VOTE:

Motion by Trustee Gaeta, seconded by Trustee Arnet, to approve Item 5.A.

5.A. Approval of Agenda

Roll Call:

Aye: Pilafas, Stanton, Gaeta, Arnet, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to approve Item 5.B.

5.B. Approval of the schedule of bills for December 2, 2019 - \$2,848,022.36.

Roll Call:

Aye: Pilafas, Stanton, Gaeta, Arnet, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to approve Item 5.C.

5.C. Request Board approval of Ordinance No. 4766-2019 granting a special use to Bright Hope International (owner) and Ash, Anos, Freedman & Logan LLC (applicant), 2070 Stonington Avenue, Hoffman Estates.

Roll Call:

Aye: Pilafas, Stanton, Gaeta, Arnet, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to approve Item 5.D.

5.D. Request Board approval of Ordinance No. 4767-2019 granting a special use amendment to Bright Hope International (owner) and Ash, Anos, Freedman & Logan LLC (applicant), 2060-2080 Stonington Avenue, Hoffman Estates.

Roll Call:

Aye: Pilafas, Stanton, Gaeta, Arnet, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to approve Item 5.E.

5.E. Request Board approval of Ordinance No. 4768-2019 adopting the budget for all corporate purposes of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, in lieu of the Appropriation Ordinance, for the fiscal year commencing on the 1st day of January 2020, and ending on the 31st day of December, 2020.

Roll Call:

Aye: Pilafas, Stanton, Gaeta, Arnet, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to approve Item 5.F.

5.F. Request Board approval of Ordinance No. 4769-2019 authorizing the levy and collection of taxes for the corporate and municipal purposes of the Village of Hoffman Estates for the fiscal year beginning on the 1st day of January, 2020 and ending on the 31st day of December, 2020.

Roll Call:

Aye: Pilafas, Stanton, Gaeta, Arnet, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to approve Item 5.G.

5.G. Request Board approval of Resolution No.1689-2019 abating a portion of the 2019 tax levy – Series 2015A and 2015C Taxable General Obligation Bonds.

Roll Call:

Aye: Pilafas, Stanton, Gaeta, Arnet, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to approve Item 5.H.

5.H. Request Board approval of Resolution No. 1690-2019 abating a portion of the 2019 tax levy – Series 2015B General Obligation Bond.

Roll Call:

Aye: Pilafas, Stanton, Gaeta, Arnet, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to approve Item 5.I.

5.I. Request Board approval of Resolution No. 1691-2019 abating a portion of the 2019 tax levy – Series 2017A and 2017B General Obligation Bonds.

Roll Call:

Aye: Pilafas, Stanton, Gaeta, Arnet, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to approve Item 5.J.

5.J. Request Board approval of Resolution No. 1692-2019 abating a portion of the 2019 tax levy – Series 2018 General Obligation Refunding Bond.

Roll Call:

Aye: Pilafas, Stanton, Gaeta, Arnet, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to approve Item 5.K.

5.K. Request Board approval of Resolution no. 1693-2019 abating a portion of the 2019 tax levy – Series 2019 General Obligation Refunding Bond.

Roll Call:

Aye: Pilafas, Stanton, Gaeta, Arnet, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to approve Item 5.L.

5.L. Request Board approval of the FY2020-FY2027 Capital Improvements Program.

Roll Call:

Aye: Pilafas, Stanton, Gaeta, Arnet, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to approve Item 5.M.

5.M. Request Board approval to enter into a Settlement Agreement with Hoffman Estates Acquisitions LLC.

Roll Call:

Aye: Pilafas, Stanton, Gaeta, Arnet, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to approve Item 5.N.

5.N. Request Board approval to enter into a Settlement Agreement with TF Hoffman Estates IL LLC and Community Unit School District 300.

Roll Call:

Aye: Pilafas, Stanton, Gaeta, Arnet, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to approve Item 5.O.

5.O. Request Board approval of a Mutual Aid Agreement between the Village of Hoffman Estates and other MABAS communities for emergency medical and transportation services.

Roll Call:

Aye: Pilafas, Stanton, Gaeta, Arnet, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to approve Item 5.P.

5.P. Request Board approval of the 2019 Village of Hoffman Estates Sustainability Plan.

Roll Call:

Aye: Pilafas, Stanton, Gaeta, Arnet, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to approve Item 5.Q.

5.Q. Request Board approval of a Change Order to the contract with Water Well Solutions of Elburn, IL for the abandonment of Well 9 in the amount of \$25,609.22, for a total not to exceed \$123,918.22.

Roll Call:

Aye: Pilafas, Stanton, Gaeta, Arnet, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to approve Item 5.R.

5.R. Request Board authorization to award contract for tower painting and miscellaneous work at Stonington Blvd. Tower (T-2) and Huntington Blvd. Tower (T-4) to L.C. United Painting Co., Sterling Heights, MI, in an amount not to exceed \$700,000.

Roll Call:

Aye: Pilafas, Stanton, Gaeta, Arnet, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to approve Item 5.S.

5.S. Request Board authorization to award contract for purchase of an articulated wheel loader for sidewalk snow removal, including accessories, to Russo Power Equipment, Schiller Park, IL (low bid) in an amount not to exceed \$55,472.

Roll Call:

Aye: Pilafas, Stanton, Gaeta, Arnet, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

6. REPORTS:

6.A. President's Report

Proclamation(s)

Trustee Gaeta read the following proclamation.

Motion by Trustee Arnet, seconded by Trustee Stanton, to concur with the proclamation proclaiming December 2019 as National Impaired Driving Prevention Month. Voice vote taken. All ayes. Motion carried.

Dr. Saavedra accepted the proclamation.

Boards & Commission Appointment(s)

Motion by Trustee Gaeta, seconded by Trustee Stanton, to approve the appointment of Susana Padilla to the Youth Commission and Village Green Ad Hoc Commission. Voice vote taken. All ayes. Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to accept the resignation, with regrets, of Robert Neel from the Emerging Technology Advisory Commission. Voice vote taken. All ayes. Motion carried.

Mayor McLeod reminded everyone of the following upcoming events, the Kid's Winter Craft Event. He stated that he attended the Brookdale Holiday event, a DARE graduation and an Eagle Scout Court of Honor for Christopher Joel Cabalfin.

6.B. Trustee Comments

Trustee Pilafas had no report.

Trustee Newell stated that she attended a JAWA meeting, the dog therapy class, the tree lighting, the Brookdale Holiday event and the Eagle Scout Court of Honor.

Trustee Gaeta stated that he attended the senior luncheon and he thanked the commission for the event, a ribbon cutting for Best Dental Spa, the tree lighting, the Brookdale event and the Eagle Scout Court of Honor.

Trustee Arnet stated that she attended the tree lighting and the Eagle Scout Court of Honor.

Trustee Stanton stated that he attended the Best Dental Spa ribbon cutting, the tree lighting, a DARE graduation, the Brookdale event and the Eagle Scout Court of Honor.

6.C. Village Manager's Report

Mr. Norris had no report.

6. D. Village Clerk's Report

The Village Clerk had no report.

6. E. Committee Reports

Planning, Building & Zoning

Trustee Stanton stated that they would be meeting to request by the Hoffman Estates Park District for site plan approval for park enhancements and parking lot expansion at South Ridge Community Park (1450 Freeman Road) and receive and file the Planning Division, the Code Enforcement Division and the Economic Development and Tourism monthly reports.

General Administration & Personnel

Trustee Arnet stated that they would be meeting to request approval of 2020 Village Board and Standing Committees meeting schedule; and receive and file the Cable TV, Human Resources Management and Legislative Operations & Outreach Monthly Reports.

Transportation & Road Improvement

Trustee Stanton stated that they would be meeting receive and file the Transportation Division Monthly Report.

Public Works & Utilities

Trustee Newell stated that they would be meeting to receive and file the Department of Public Works Monthly Report, and the Department of Development Services Monthly Engineering Report of the Transportation and Engineering Division.

Public Health & Safety

Trustee Gaeta stated that they would be meeting to receive and file the Police Department Monthly Report, the Health & Human Services Monthly Report, the Emergency Management Coordinator Monthly Report and the Fire Department Monthly Report.

Finance

Trustee Pilafas stated that they would be meeting to request approval of a resolution establishing hire back rates for Police and Fire personnel for the period January 1 through December 31, 2020; request approval of the 2020 renewal of the Village's property and casualty insurance program through the Suburban Liability Insurance Pool (SLIP); and 2020 renewal of the Village's worker's compensation, underground storage tank and liquor liability coverages through Alliant/Mesirow Insurance Services; request authorization to waive bidding and purchase a Kubota worksite vehicle with snow blower, salt spreader, broom and blade attachments for the Sears Centre Arena from Russo Power Equipment, Schiller Park, IL in an amount not to exceed \$42,416 and to receive and file the Finance Department Monthly Report; the Information System Department Monthly Report and the Sears Centre Monthly Report.

7. PLANNING & ZONING COMMISSION:

Motion by Trustee Gaeta, seconded by Trustee Stanton, to concur with the Planning & Zoning Commission's recommendation and approve the petitioners' request.

7.A. Request by Kimley-Horn (Applicant) and AMITA Health Alexian Brothers Behavioral Health (Owner) for a Special Use under Section 9-5-11-G-5 of the Municipal Code and a Preliminary and Final Site Plan Amendment to permit an expansion of a behavioral health hospital located at 1650 Moon Lake Blvd, subject to following conditions:

1. The number of beds at this facility shall not increase with this expansion. Expansion for additional beds shall not occur without additional Village site plan review and approval.
2. The building permit shall be obtained within twelve (12) months of the Village Board action on this request.
3. Modifications to the detention basin relative to the restrictor and outflow will need to be made as per the Village Engineer's direction. Petitioner shall submit revised detention basin plans as part of the building permit process and detention basin modifications shall be completed prior to the issuance of a certificate of occupancy for the addition.
4. As noted by staff, the illegally placed barricades located in the existing parking on the west side of the building shall be removed before a building permit is issued for the expansion.
5. The following conditions relate to the site construction:
 - a. A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
 - b. Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.
 - c. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.

Discussion

Trustee Stanton asked if there would be enough parking.

Chairperson Combs replied that the expansion doesn't add the need for more parking.

Roll Call:

Aye: Pilafas, Stanton, Gaeta, Arnet, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to concur with the Planning & Zoning Commission's recommendation and approve the petitioners' request.

7.B. Request by Charles Vincent George Architects (Applicant) and 1400 Gannon Road, LLC (owner) to consider a Preliminary and Final Plat of Subdivision for the property located at 1400 Gannon Road.

Discussion

Trustee Stanton asked if this was going to be done in two phases with the first phase building the new bank building.

Chairperson Combs replied yes.

He asked about parking and using part of the Acura lot.

Mr. Gugliotta said that he didn't think that they had an agreement with Acura and that they would open up part of the drive-thru to be used for parking.

He then asked when this project would start.

Mr. Gugliotta said in the spring.

Jake Ladzinski, Woolpert Engineering, and Mark Nosky, Charles Vincent George Architects, explained how the western side of the site would be built up and when completed the existing bank would close.

Trustee Stanton asked if the fence on the western side of the property would be higher.

Mr. Ladzinski responded yes.

Roll Call:

Aye: Pilafas, Stanton, Gaeta, Arnet, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to concur with the Planning & Zoning Commission's recommendation and approve the petitioners' request.

7.C. Request by Charles Vincent George Architects (Applicant) and 1400 Gannon Road, LLC (owner) to consider a Special Use under Section 9-8-2-C-10 of the Municipal Code and a Preliminary and Final Site Plan for a free standing financial institution (bank) on the property located on Lot 2 of Hoffman Estates Retail Subdivision, subject to following conditions:

1. The building permit shall be obtained within twelve (12) months of the Village Board action on this request.
2. A performance guarantee for all exterior building and site work shall be submitted to the Village prior to issuance of a building permit.
3. A permit from IDOT shall be submitted prior to construction commencing in the Higgins Road right-of-way.

4. A permit from the Metropolitan Water Reclamation District shall be provided prior to site construction commencing.
5. No exterior signage is approved with these plans. Site and building signage will be required to meet current Village code.
6. The following conditions relate to the site construction:
 - a. A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
 - b. Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.
 - c. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.
7. A performance guarantee for all exterior building and site work shall be submitted to the Village prior to issuance of a building permit.
8. The following conditions relate to the site construction:
 - a. A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
 - b. Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.
 - c. Customer parking and construction parking shall be managed to ensure that illegal parking does not occur. This may require construction parking off-site if work is occurring during business hours.
 - d. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.
9. The entire site changes, as shown on the approved plans, shall be completed prior to issuance of any occupancy permit for the newly constructed bank on Lot 2.
10. The owner shall monitor the business operations and parking lot to ensure that parking spaces are available at all times. Parking is only permitted to occur within designated parking spaces. To prevent obstructions for emergency or customer vehicle circulation, the site operations shall be managed and monitored to ensure that areas not specifically designated for car parking shall be kept clear of parked vehicles, and that illegal parking, stopping, or standing does not occur.
11. Within 6 months after occupancy is granted to the new BMO bank on Lot 2, the existing bank building on Lot 1 shall be razed and restored with a stand of grass. A site restoration plan depicting final grades, drainage paths and soil stabilization method shall be submitted with the demolition permit and shall be approved by the Village Engineer prior to issuance of the demolition permit. If the existing bank building site isn't built with a new retail building within two years, three additional trees will be planted along the east wall of the new bank building.

Roll Call:

Aye: Pilafas, Stanton, Gaeta, Arnet, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Stanton, to concur with the Planning & Zoning Commission's recommendation and approve the petitioners' request.

7.D. Request by Charles Vincent George Architects (Applicant) and 1400 Gannon Road, LLC (owner) to consider a Preliminary Site Plan for a multi-tenant retail building on the property located on Lot 1 of Hoffman Estates Retail Subdivision, subject to following conditions:

1. Plans are preliminarily approved with the petitioner required to proceed with the final site plan review process prior to any work commencing on the multi-tenant building.
2. As part of this preliminary approval, the direct access to the site via Gannon Drive will be closed and apron removed as part of the existing bank building demolition permit and process.
3. Drive –thru as depicted on preliminary plans may or may not be approved depending on specific user and required stacking for the specific use. When final plans are brought forth, a review of the proposed users stacking needs will be required.

Discussion

Trustee Stanton asked if there are tenant currently on the top floor.
Mr. Ladzinski replied no.

Roll Call:

Aye: Pilafas, Stanton, Gaeta, Arnet, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Newell, to approve the Planning & Zoning Commission’s report subject to the language from Corporation Counsel Janura’s memo Exhibit A recommendation.

7.E. Request by the Village of Hoffman Estates for Text Amendments to Chapter 9 of the Municipal Code regarding regulation of Cannabis Uses as presented in Staff Report #2, including Maps 1, 2 and 4.

Discussion

Trustee Stanton asked if the red lined properties could have cannabis sales.

Mr. Gugliotta replied yes.

Trustee Gaeta commented that he too would like these businesses 1,500 feet from schools and places of worship.

Mr. Gugliotta said that the State doesn’t regulate them in that way and that the maps that we created avoid those areas.

Mayor McLeod asked if every application will be a special use.

Mr. Gugliotta responded yes.

Corporation Counsel Janura said that the State will be making some changes and that this item should be brought back in two weeks.

Roll Call:

Aye: Gaeta, Arnet, Newell

Nay: Pilafas, Stanton

Mayor McLeod voted aye.

Motion carried.

8. ADDITIONAL BUSINESS:

Motion by Trustee Gaeta, seconded by Trustee Newell, to approve Item 8.A.

8.A. Request Board approval of Resolution No. 1694-2019 creating the Fourth of July Commission of the Village of Hoffman Estates (decrease in membership from 15 to 9).

Roll Call:

Aye: Pilafas, Gaeta, Newell

Nay: Stanton, Arnet

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Stanton, to approve Item 8.B.

8.B. Request Board approval of the Collective Bargaining Agreement between the Village of Hoffman Estates and Teamsters Local 700 (Public Works), for the period January 1, 2020 through December 31, 2025.

Roll Call:

Aye: Pilafas, Stanton, Gaeta, Arnet, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

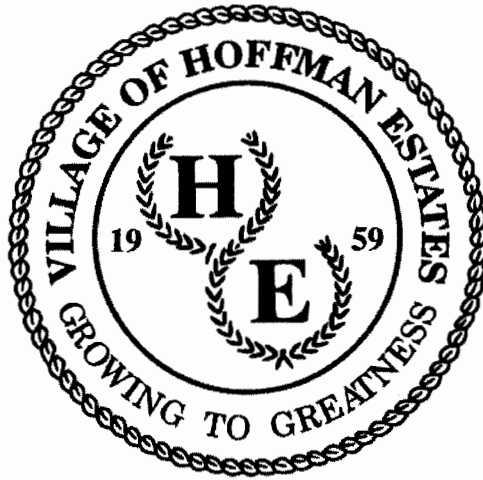
9. ADJOURNMENT:

Motion by Trustee Gaeta, seconded by Trustee Arnet, to adjourn the meeting. Voice vote taken. All ayes. Motion carried. Time: 7:47 p.m.

Bev Romanoff
Village Clerk

Date Approved

The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.



BILL LIST SUMMARY

BILL LIST AS OF 12/16/2019	\$	1,089,002.35
MANUAL CHECKS 11/29 - 12/12	\$	19,151.78
WIRE TRANSFERS 11/01 - 11/30	\$	8,010,276.16
PAYROLL 12/06/19	\$	<u>1,321,929.14</u>
TOTAL	\$	10,440,359.43

VILLAGE OF HOFFMAN ESTATES

December 16, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
GENERAL FUND			
01 0301	GARVEY'S OFFICE PRODUCTS INC	BEVERAGES	\$49.53
01 0302	ACME TRUCK BRAKE & SUPPLY CO.	GEAR OIL	\$292.77
01 0302	ADVANCE AUTO PARTS	REPAIR PARTS	\$557.66
01 0302	ADVANCE AUTO PARTS	RTN REPAIR PARTS	(\$350.70)
01 0302	ADVANCE AUTO PARTS	STOCK REPAIR PARTS	\$676.02
01 0302	BUMPER TO BUMPER/ LEE AUTO	RTN REPAIR PARTS	(\$30.00)
01 0302	BUMPER TO BUMPER/ LEE AUTO	STOCK REPAIR PARTS	\$29.56
01 0302	FACTORY MOTOR PARTS CO	REPAIR PARTS	\$133.30
01 0302	FACTORY MOTOR PARTS CO	WIPER BLADES	\$45.00
01 0302	FIRESTONE TRUCK & SERVICE CENTER	VEHICLE TIRES	\$933.38
01 0302	FIRST AYD CORP	CLEANING SUPPLIES	\$29.97
01 0302	FOSTER COACH SALES INC	REPAIR PARTS	\$49.50
01 0302	HENDERSON PRODUCTS INC	REPAIR PARTS	\$61.69
01 0302	KELLER-HEARTT OIL	STOCK REPAIR PARTS	\$402.50
01 0302	MENARDS - HNVR PARK	STOCK REPAIR PARTS	\$69.76
01 0302	MONROE TRUCK EQUIPMENT	REPAIR PARTS	\$572.60
01 0302	O'REILLY AUTO PARTS	CARTRIDGES	\$40.59
01 0302	O'REILLY AUTO PARTS	REPAIR PARTS	\$121.63
01 0302	RUSH TRUCK CENTER OF ILLINOIS, INC	REPAIR PARTS	\$261.78
01 0302	RUSH TRUCK CENTER OF ILLINOIS, INC	THERMOSTAT	\$123.52
CASH AND INVENTORIES			\$4,070.06
01 1432	A & A PAVING CONTRACTORS INC	ENGINEERING DEPOSIT RFD	\$1,000.00
01 1442	CHICAGO UNIFORM CO.	NAME PLATE	\$97.20
01 1445	ANAND THAKKAR	RFD OVER PYMT CITATION	\$30.00
01 1445	SAUL EWING ARNSTEIN & LEHR LLP	PROFESSIONAL SERVICES	\$237.00
PAYMENTS FROM DEPOSITS ON HAND			\$1,364.20
01000013 3405	FEDERAL EXPRESS CORP	SHIPPING	\$144.77
01000013 3454	DONALD A HITZEL JR	RFD RENTAL LICENSE	\$150.00
01000014 3502	SECRETARY OF STATE	SUSPENSION FEES	\$60.00
GENERAL-REVENUE ACCOUNTS			\$354.77
01101122 4301	NORTHWEST MUNICIPAL CONFERENCE	DINNER AT CONFERENCE	\$102.44
01101124 4504	AHEAD OF OUR TIME PUBLISHING INC	YEARLY SUBSCRIPTION	\$500.00
01101124 4507	ALFRED G RONAN LTD	PROFESSIONAL SERVICES	\$5,000.00
01101124 4542	LINDA SCHECK	DECORATIONS FOT VOLUNTEER	\$132.88
01101124 4542	WAREHOUSE DIRECT	OFFICE SUPPLIES	\$21.34
LEGISLATIVE			\$5,756.66

VILLAGE OF HOFFMAN ESTATES

December 16, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01101223 4402	WAREHOUSE DIRECT	OFFICE SUPPLIES	\$44.54
01101223 4403	PADDOCK PUBLICATIONS INC	AUTION NOTICES	\$34.50
01101224 4542	LANGUAGE LINE SERVICES INC	PROFESSIONAL SERVICES	\$93.83
ADMINISTRATIVE			\$172.87
01101324 4542	ARTHUR L JANURA JR	PROFESSIONAL SERVICES	\$12,000.00
01101324 4542	RICHARD A KAVITT ATTORNEY AT LAW	PROFESSIONAL SERVICES	\$1,800.00
01101324 4547	THOMSON REUTERS-WEST	PROFESSIONAL SERVICES	\$1,288.97
01101324 4567	CLARK BAIRD SMITH LLP	PROFESSIONAL SERVICES	\$410.00
01101324 4567	SAUL EWING ARNSTEIN & LEHR LLP	PROFESSIONAL SERVICES	\$192.50
LEGAL			\$15,691.47
01101423 4401	FEDERAL EXPRESS CORP	SHIPPING	\$28.42
01101423 4401	THE UPS STORE	SHIPPING	\$148.81
FINANCE			\$177.23
01101523 4402	OFFICE DEPOT	OFFICE SUPPLIES	\$119.99
01101524 4546	PADDOCK PUBLICATIONS INC	AD SERVICES	\$87.40
01101524 4546	PADDOCK PUBLICATIONS INC	BID NOTICES	\$108.00
01101524 4548	COOK COUNTY RECORDER OF DEEDS	RECORDING FEES	\$135.00
VILLAGE CLERK			\$450.39
01101624 4507	DISCOVERY BENEFITS	FSA NOVEMBER 2019	\$597.80
HUMAN RESOURCES			\$597.80
01102522 4301	SUZANNE OSTROVSKY	REIM FOR MEALS ICMA	\$175.43
01102523 4403	PRESSTECH INC.	CITIZENS NOVEMBER 2019	\$2,530.00
COMMUNICATIONS			\$2,705.43
01106223 4414	RICHARD SIGORELLA	REIM FOR SUPPLIES	\$72.22
01106224 4542	MUNICIPAL SERVICES ASSOCIATES	PROFESSIONAL SERVICES	\$520.00
CABLE TELEVISION			\$592.22
TOTAL GENERAL GOVERNMENT DEPARTMENT			\$26,144.07

VILLAGE OF HOFFMAN ESTATES

December 16, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
POLICE DEPARTMENT			
01201223 4402	OFFICE DEPOT	OFFICE SUPPLIES	\$73.08
01201223 4402	OFFICE DEPOT	PAPER & SUPPLIES	\$409.33
01201223 4422	CAMIC JOHNSON	PROFESSIONAL SERVICES	\$700.00
01201224 4507	FIRE MARK RESTORATION/BOARD UP	BOARD UP SERVICES	\$225.00
01201224 4507	MORIZZO FUNERAL HOME & CREMATION	PROFESSIONAL SERVICES	\$275.00
ADMINISTRATIVE			\$1,682.41
01202122 4301	NORTH EAST MULTI-REGIONAL TRAINING	SEARCH & SEIZURE TRAINING	\$50.00
01202122 4301	NORTH EAST MULTI-REGIONAL TRAINING	TRAINING	\$150.00
01202122 4304	UNIFORM DEN INC.	REPLACEMENT BALLISTIC VES	\$1,992.50
01202124 4507	MARC J OSTER PSYD LTD	PROFESSIONAL SERVICES	\$900.00
01202124 4510	CHICAGO COMMUNICATIONS,LLC	DEC 2019 MAINTENANCE	\$873.25
01202124 4510	MOTOROLA	AUDIO HEADSET & ASSESSORY	\$720.56
01202124 4542	CAREYS HEATING & AIR CONDITIONING	REPAIRS SENSOR	\$312.50
PATROL & RESPONSE			\$4,998.81
01202223 4408	PRO SAFETY EQUIPMENT	REPAIR PARTS	\$60.00
TRAFFIC CONTROL			\$60.00
01202324 4542	TRANSUNION RISK & ALTERNATIVE	PROFESSIONAL SERVICES	\$87.60
INVESTIGATIONS			\$87.60
01202423 4403	CREATIVE PRODUCT SOURCING INC DARE	6" RULER	\$81.00
01202423 4403	CREATIVE PRODUCT SOURCING INC DARE	DARE COMIC BOOK	\$160.00
01202423 4403	CREATIVE PRODUCT SOURCING INC DARE	DARE QTR ZIP	\$24.00
01202423 4403	CREATIVE PRODUCT SOURCING INC DARE	ENGLISH KIR ELEMENTARY WO	\$270.00
01202423 4403	CREATIVE PRODUCT SOURCING INC DARE	ESTIMATED SHIPPING/HANDLI	\$168.70
01202423 4403	CREATIVE PRODUCT SOURCING INC DARE	GRAD CERTIFICATE - BLACK	\$66.00
01202423 4403	CREATIVE PRODUCT SOURCING INC DARE	GRADUATION CERTIFICATE HO	\$340.00
01202423 4403	CREATIVE PRODUCT SOURCING INC DARE	K-2 EDUCATIONAL CHARTS	\$16.00
01202423 4403	CREATIVE PRODUCT SOURCING INC DARE	KIR POP UP NAME CARDS	\$78.00
01202423 4403	CREATIVE PRODUCT SOURCING INC DARE	MP POLO	\$30.00
01202423 4403	CREATIVE PRODUCT SOURCING INC DARE	OGIO MESSENGER	\$40.00
01202423 4403	CREATIVE PRODUCT SOURCING INC DARE	OTC/RX ELEMENTARY PAMPHE	\$75.00
01202423 4403	CREATIVE PRODUCT SOURCING INC DARE	OTC/RX MIDDLE SCHOOL PAMP	\$48.00
01202423 4403	CREATIVE PRODUCT SOURCING INC DARE	SPANISH KIR ELEMENTARY WO	\$330.00
COMMUNITY RELATIONS			\$1,726.70

VILLAGE OF HOFFMAN ESTATES

December 16, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01202924 4508	GOLF ROSE PET LODGE	ANIMAL RESCUE	\$437.00
ADMINISTRATIVE SERVICES			\$437.00
TOTAL POLICE DEPARTMENT			\$8,992.52
FIRE DEPARTMENT			
01301223 4402	JAMES KOTRBA	REIM FOR SUPPLIES	\$131.13
ADMINISTRATIVE			\$131.13
01303023 4414.21	MR ACE LLC	VARIOUS SUPPLIES	\$31.98
PUBLIC EDUCATION			\$31.98
01303122 4301.19	ROMEVILLE FIRE ACADEMY	TRAINING	\$345.00
01303122 4301.19	UNIVERSITY OF ILLINOIS PYMT CENTER	TRAINING	\$300.00
01303122 4304	TODAYS UNIFORMS	UNIFORMS	\$1,768.40
01303124 4510.15	CDW-GOVERNMENT INC	CYBERPOWER SMART APP	\$835.95
01303124 4510.15	US DIGITAL DESIGNS	COLOR INDICATOR REMOTE	\$652.50
01303124 4510.15	US DIGITAL DESIGNS	ESTIMATED SHIPPING/HANDLING	\$48.00
01303124 4510.15	US DIGITAL DESIGNS	G2 ROOM REMOTE 2	\$1,822.50
01303124 4510.15	US DIGITAL DESIGNS	RR2 ADAPTER PLATE	\$41.40
01303124 4515.10	REGIONAL TRUCK EQUIPMENT CO	TAIL LIGHT KIT	\$532.00
01303124 4515.10	UL LLC	VEHICLE SERVICES	\$412.50
01303124 4542.13	FOX VALLEY FIRE & SAFETY	VARIOUS SUPPLIES	\$320.00
01303125 4602.18	ELEVATED SAFETY LLC	ADJ. FOOT TAPE	\$108.00
01303125 4602.18	ELEVATED SAFETY LLC	ASCENSION ROPE GRAB	\$284.00
01303125 4602.18	ELEVATED SAFETY LLC	CMC SEWN LOOP PRUSIK RED	\$136.00
01303125 4602.18	ELEVATED SAFETY LLC	CMC WHITNEY PACK	\$820.00
01303125 4602.18	ELEVATED SAFETY LLC	DMM ULTRA D LOCK SAFE CAR	\$400.00
01303125 4602.18	ELEVATED SAFETY LLC	ESTIMATED SHIPPING/HANDLI	\$65.00
01303125 4602.18	ELEVATED SAFETY LLC	PETZL JANE ROPE LAYNARD	\$96.00
01303125 4602.18	ELEVATED SAFETY LLC	PMI ADVANTAGE HELMET RED	\$636.00
01303125 4602.18	ELEVATED SAFETY LLC	SEWN LOOP PRUSIK GREEN	\$136.00
01303125 4602.18	ELEVATED SAFETY LLC	SKYSAFE PROFLEW Y-LANYARD	\$610.00
01303125 4602.18	ELEVATED SAFETY LLC	STERLING ROPE 1/2" 300FT	\$290.00
SUPPRESSION			\$10,659.25

VILLAGE OF HOFFMAN ESTATES

December 16, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01303223 4419	AIRGAS USA, LLC	MEDICAL SUPPLIES	\$267.47
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	ADC MULTIKUF BP SYSTEM, B	\$549.50
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	NITRILE EXAM GLOVES, MED	\$301.20
01303224 4510	EMERGENCY MEDICAL PRODUCTS INC	NITRILE EXAM GLOVES, X-LG	\$301.20
01303225 4602	EMERGENCY MEDICAL PRODUCTS INC	NITRILE EXAM GLOVES, LG	\$301.20
EMERGENCY MEDICAL SERVICES			\$1,720.57
01303322 4301	CRAIG SOLICK	MEALS FOR TRAINING	\$181.88
01303322 4304	TODAYS UNIFORMS	UNIFORMS	\$65.95
01303324 4507	CHGO METRO.FIRE PREVENTION CO	NOVE MONTHLY MAINTENANCE	\$1,810.00
PREVENTION			\$2,057.83
01303523 4412	MR ACE LLC	VARIOUS SUPPLIES	\$153.14
01303524 4510	DIRECT FITNESS SOLUTIONS	REPAIRS TO EQUIPMENT	\$115.00
01303524 4510	MR ACE LLC	VARIOUS SUPPLIES	\$132.19
01303525 4602	MR ACE LLC	VARIOUS SUPPLIES	\$59.99
FIRE STATIONS			\$460.32
TOTAL FIRE DEPARTMENT			\$15,061.08
PUBLIC WORKS			
01401222 4303	IPWMAN	MEMBERSHIP	\$250.00
ADMINISTRATIVE			\$250.00
01404122 4304	ELITE UNIFORMS INC	EMBROIDERY	\$264.00
01404123 4409	CARGILL SALT INC	BULK ROAD SALT	\$176,128.38
01404123 4409	MORTON SALT, INC	BULK SAFE T SALT	\$123,584.47
01404123 4410	K-TECH SPECIALTY COATINGS, INC	BEET HEET SEVERE (DELIVER	\$5,600.15
01404123 4410	SICALCO LTD	LIQUID CALCIUM CHLORIDE	\$2,647.66
01404124 4507	MURRAY & TRETTEL INC/ WEATHER COMMA	WEATHER FORECAST SERVICES	\$400.00
SNOW & ICE REMOVAL			\$308,624.66
01404323 4414	MULTIPLE CONCRETE	REPAIR PARTS	\$103.75
01404324 4507	MILIEU DESIGN LLC	LANDSCAPING	\$1,435.26
01404324 4507	V CARDENAS LANDSCAPING	CONTRACTED LANDSCAPE SERV	\$15,504.00
01404324 4510	MENARDS - HNVK PARK	REPAIR PARTS	\$9.88
01404324 4510	MR ACE LLC	VARIOUS SUPPLIES	\$82.33
01404324 4510	RUSSO POWER EQUIPMENT	REPAIR PARTS	\$40.18
01404325 4628	SHERRILL INC	VARIOUS SUPPLIES	\$247.98
FORESTRY			\$17,423.38

VILLAGE OF HOFFMAN ESTATES

December 16, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01404423 4408	GRAINGER INC	VARIOUS SUPPLIES	\$29.88
01404424 4501	AT & T	LANDLINES	\$592.76
01404424 4502	COMMONWEALTH EDISON	ELECTRIC 1900 HASSELL RD	\$8,398.12
01404424 4503	NICOR GAS	GAS 1300 WESTBURY	\$352.60
01404424 4507	ACCURATE DOCUMENT DESTRUCTION INC	PROFESSIONAL SERVICES	\$590.98
01404424 4507	ECO CLEAN MAINTENANCE INC	PROFESSIONAL CLEANING	\$1,025.00
01404424 4507	HOLIDAY CHEER DECORATIONS	CONTRACT LIGHTING FOR HOLIDAY	\$5,076.00
01404424 4507	ROSE PEST SOLUTIONS INC	TO PROVIDE PEST CONTROL	\$136.00
01404424 4509	CINTAS #22	FLOOR MAT RENTAL & CLEANING	\$51.03
01404424 4510	ACTION LOCK & KEY, INC	DUPLICATE KEYS	\$15.50
01404424 4510	ARLINGTON POWER EQUIPMENT	REPAIR PARTS	\$149.06
01404424 4510	ARLINGTON POWER EQUIPMENT	VARIOUS SUPPLIES	\$87.50
01404424 4510	GRAINGER INC	REPAIR PARTS	\$56.09
01404424 4510	GRAINGER INC	VARIOUS SUPPLIES	\$124.21
01404424 4510	MUNCH'S SUPPLY	REPLACEMENT PARTS	\$912.99
01404424 4510	ULINE	REPAIR PARTS	\$226.66
01404424 4510	WOLF ELECTRIC SUPPLY CO	THERMOSTATS	\$80.49
01404424 4516	AMLINGS INTERIOR LANDSCAPE	INTERIOR LANDSCAPING	\$423.12
01404424 4516	ECO CLEAN MAINTENANCE INC	VILLAGE HALL - CLEANING	\$2,737.00
01404424 4516	MR ACE LLC	VARIOUS SUPPLIES	\$17.97
01404424 4516	WOLF ELECTRIC SUPPLY CO	REPAIR PARTS	\$62.40
01404424 4517	WOLF ELECTRIC SUPPLY CO	ELECTRICAL SUPPLIES	\$80.40
01404424 4517	WOLF ELECTRIC SUPPLY CO	REPAIR PARTS	\$333.75
01404424 4518	CINTAS #22	FLOOR MAT RENTAL & CLEANING	\$106.93
01404424 4518	MR ACE LLC	VARIOUS SUPPLIES	\$82.12
01404424 4520	ECO CLEAN MAINTENANCE INC	PUBLIC WORKS CENTER CLEANING	\$1,179.00
01404424 4520	MR ACE LLC	VARIOUS SUPPLIES	\$13.71
01404424 4545	FULLIFE SAFETY CENTER	MEDICAL SUPPLIES	\$116.80

FACILITIES

\$23,058.07

01404522 4301	AMAZON CAPITAL SERVICES INC	TV WALL MOUNT	\$31.49
01404522 4304	CINTAS #22	CONTRACT PRICING THROUGH	\$118.56
01404523 4408	AMAZON CAPITAL SERVICES INC	BATTERY CHARGER	\$47.19
01404523 4408	MENARDS - HNVR PARK	STOCK REPAIR PARTS	\$6.99
01404523 4411	GAS DEPOT OIL CO	FUEL	\$15,050.89
01404523 4414	AMAZON CAPITAL SERVICES INC	VARIOUS SUPPLIES	\$25.86
01404523 4414	FIRST AYD CORP	CLEANING SUPPLIES	\$165.50
01404523 4414	HYDROTEX	VARIOUS SUPPLIES	\$590.36
01404523 4414	O'REILLY AUTO PARTS	BATTERIES	\$8.99
01404524 4507	SERVICE COMPONENTS	REPAIR PARTS	\$571.84
01404524 4507	STENSTROM PETROLEUM SERVICES GROUP	ATG CERTIFICATION	\$400.00

VILLAGE OF HOFFMAN ESTATES

December 16, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01404524 4507	STENSTROM PETROLEUM SERVICES GROUP	E STOP SWITCH TEST	\$75.00
01404524 4507	STENSTROM PETROLEUM SERVICES GROUP	HYDRO STATIC - SPILL BUCK	\$170.00
01404524 4507	STENSTROM PETROLEUM SERVICES GROUP	OSFM ANNUAL INSPECTION	\$250.00
01404524 4507	STENSTROM PETROLEUM SERVICES GROUP	OVERFILL BALL FLOAT TEST	\$190.00
01404524 4507	STENSTROM PETROLEUM SERVICES GROUP	PRECISION LINE TEST	\$350.00
01404524 4507	STENSTROM PETROLEUM SERVICES GROUP	PV VENT CAP TEST	\$683.07
01404524 4507	STENSTROM PETROLEUM SERVICES GROUP	SHEAR VALVE INSPECTION	\$20.00
01404524 4510	AMAZON CAPITAL SERVICES INC	SURGE PROTECTOR	\$59.87
01404524 4510	BRISTOL HOSE & FITTING	REPAIR PARTS	\$206.64
01404524 4510	DULTMEIER SALES	REPAIR PARTS	\$38.79
01404524 4510	MENARDS - HNVR PARK	REPAIR PARTS	\$24.96
01404524 4513	ADVANCE AUTO PARTS	REPAIR PARTS	\$16.66
01404524 4513	ADVANCE AUTO PARTS	RETURN REPAIR PARTS	(\$3.45)
01404524 4513	BUMPER TO BUMPER/ LEE AUTO	REPAIR PARTS	\$35.81
01404524 4513	DUNDEE FORD	REPAIR PARTS	\$92.40
01404524 4513	DUNDEE FORD	REPAIRS	\$77.35
01404524 4513	FIRESTONE TRUCK & SERVICE CENTER	VEHICLE TIRES	\$276.18
01404524 4513	INTERSTATE BATTERY SYSTEMS	VEHICLE BATTERIES	\$82.75
01404524 4514	ACME TRUCK BRAKE & SUPPLY CO.	REPAIR PARTS	\$594.91
01404524 4514	AEC FIRE-SAFETY & SECURITY INC	VARIOUS SUPPLIES	\$87.64
01404524 4514	KAMMES AUTO & TRUCK REPAIR INC	VEHICLE INSPECTIONS	\$70.00
01404524 4514	POMP'S TIRE	CONFIRMING EMERGENCY REPAIR	\$1,136.96
01404524 4514	POMP'S TIRE	REPAIR PARTS	\$177.00
01404524 4514	POMP'S TIRE	TIRES FOR FE22	\$1,370.00
01404524 4514	RUSH TRUCK CENTER OF ILLINOIS, INC	REPAIR PARTS	\$1,695.52
01404524 4514	RUSH TRUCK CENTER OF ILLINOIS, INC	RTN REPAIR PARTS	(\$66.50)
01404524 4514	WIRFS WELDING & INDUSTRIES INC	REPAIRS TO EQUIPMENT	\$242.25
01404524 4533	BUMPER TO BUMPER/ LEE AUTO	REPAIR PARTS	\$48.81
01404524 4534	ACME TRUCK BRAKE & SUPPLY CO.	REPAIR PARTS	\$112.68
01404524 4534	ADVANCE AUTO PARTS	REPAIR PARTS	\$690.67
01404524 4534	ADVANCE AUTO PARTS	RETURN REPAIR PARTS	(\$21.03)
01404524 4534	ADVANCE AUTO PARTS	RTN REPAIR PARTS	(\$319.76)
01404524 4534	AMAZON CAPITAL SERVICES INC	REARVIEW MIRRORS	\$148.99
01404524 4534	AMAZON CAPITAL SERVICES INC	SNOW PLOW LIGHT KIT	\$119.99
01404524 4534	AMAZON CAPITAL SERVICES INC	SNOWPLOW SUPPLIES	\$118.01
01404524 4534	BRISTOL HOSE & FITTING	REPAIR PARTS	\$13.30
01404524 4534	BUMPER TO BUMPER/ LEE AUTO	REPAIR PARTS	(\$0.76)
01404524 4534	BUMPER TO BUMPER/ LEE AUTO	RTN REPAIR PARTS	(\$54.69)
01404524 4534	GENERAL TRUCK PARTS & EQUIPMENT	CONFIRMING EMERGENCY REPA	\$1,650.00
01404524 4534	KAMMES AUTO & TRUCK REPAIR INC	VEHICLE INSPECTIONS	\$70.00
01404524 4534	MONROE TRUCK EQUIPMENT	REPAIR PARTS	\$752.35
01404524 4534	O'REILLY AUTO PARTS	REPAIR PARTS	\$306.43
01404524 4534	O'REILLY AUTO PARTS	RTN REPAIR PARTS	(\$50.00)
01404524 4534	RUSH TRUCK CENTER OF ILLINOIS, INC	REPAIR PARTS	\$1,296.42

VILLAGE OF HOFFMAN ESTATES

December 16, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01404524 4534	SPRING ALIGN	REPAIRS TO VEHICLE	\$1,600.78
01404524 4535	ADVANCE AUTO PARTS	REPAIR PARTS	\$191.10
01404524 4535	ADVANCE AUTO PARTS	RETURN REPAIR PARTS	(\$84.78)
01404524 4536	INTERSTATE BATTERY SYSTEMS	REPAIR PARTS	\$106.00
FLEET SERVICES			\$31,665.99

01404623 4408	MENARDS - HNVK PARK	REPAIR PARTS	\$199.28
01404623 4414	MR ACE LLC	VARIOUS SUPPLIES	\$53.98
01404624 4510	MR ACE LLC	VARIOUS SUPPLIES	\$15.99
F.A.S.T.			\$269.25

01404823 4414	ANDERSON LOCK	PADLOCKS	\$191.06
01404824 4502	COMMONWEALTH EDISON	ELECTRIC GLENDALE & GRAND	\$2,779.18
01404824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 5510 PRAIRIESTON	\$93.24
01404824 4523	CRESCENT ELECTRIC SUPPLY	REPAIR PARTS	\$316.81
01404824 4544	3M HAK0206	MARKETING MATERIALS	\$251.25
01404824 4544	3M HAK0206	STREET MARKING MATERIALS	\$216.00
01404824 4544	ANDERSON LOCK	PADLOCKS	\$200.00
01404824 4544	DECKER SUPPLY CO INC	13' 3LB/FOOT U-CHANNEL	\$6,850.48
01404824 4544	DECKER SUPPLY CO INC	14' 3LB/FOOT U-CHANNEL	\$4,061.00
01404824 4544	DECKER SUPPLY CO INC	ESTIMATED SHIPPING/HANDLING	\$246.98
TRAFFIC CONTROL			\$15,206.00

TOTAL PUBLIC WORKS DEPARTMENT **\$396,497.35**

DEVELOPMENT SERVICES

01501223 4402	OFFICE DEPOT	OFFICE SUPPLIES	\$580.17
01501223 4402	WAREHOUSE DIRECT	OFFICE SUPPLIES	\$111.00
ADMINISTRATIVE			\$691.17

01505024 4546	PADDOCK PUBLICATIONS INC	ADS FOR PERMITS	\$84.00
PLANNING			\$84.00

01505122 4301	PCA	TRAINING JAN 16TH	\$50.00
01505124 4545	KATHLEEN KUFFER	REIM FOR SAFETY BOOTS	\$100.00
CODE ENFORCEMENT			\$150.00

VILLAGE OF HOFFMAN ESTATES

December 16, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01505224 4542	UNITED DISPATCH	TRANSPORTATION COUPONS	\$357.00
TRANSPORTATION AND ENGINEERING			\$357.00
01505923 4403	HAGG PRESS INC	LOBBY BANNER	\$90.00
ECONOMIC DEVELOPMENT			\$90.00
TOTAL DEVELOPMENT SERVICES DEPARTMENT			\$1,372.17
 HEALTH & HUMAN SERVICES			
01556522 4301	GINA MCCAULEY	REIM FOR MILEAGE NOV-DEC	\$56.84
01556523 4403	PLUM GROVE PRINTERS INC	CHILD VACCINATION FORM	\$286.72
01556523 4413	AMSCO MEDICAL	ALR12-365 CHOLESTECH PAMP	\$65.97
01556523 4413	AMSCO MEDICAL	MEDICAL SUPPLIES	\$2.85
TOTAL HEALTH & HUMAN SERVICES DEPARTMENT			\$412.38
 BOARDS & COMMISSIONS			
01605724 4507	C.O.P.S. TESTING SERVICE, INC	LAW ENFORCEMENT ASSESMEN	\$6,800.00
01605724 4507	RESOURCE MANAGEMENT ASSOCIATES	EXAMINATION SUPPLIES	\$3,623.80
FIRE & POLICE COMMISSION			\$10,423.80
01605824 4593	MELROSE PYROTECHNICS, INC.	FIREWORKS DISPLAY FOR FRI	\$4,000.00
MISCELLANEOUS B & C			\$4,000.00
TOTAL BOARDS & COMMISSIONS DEPARTMENT			\$14,423.80
TOTAL GENERAL FUND			\$468,692.40
 MFT FUND			
03400024 4512	MEADE ELECTRIC CO., INC.	TRAFFIC SIGNAL MAINTENANC	\$525.00
03400024 4512	TRAFFIC CONTROL CORPORATION	GTT OPTICOM MODEL 462 2-C	\$1,350.00
03400024 4512	TRAFFIC CONTROL CORPORATION	GTT OPTICOM MODEL 721 DET	\$2,022.40
03400024 4512	TRAFFIC CONTROL CORPORATION	GTT OPTICOM MODEL 722 DET	\$703.20
03400024 4512	TRAFFIC CONTROL CORPORATION	PAR 398 LED FLOOD LAMP	\$608.00
TOTAL MFT FUND			\$5,208.60

VILLAGE OF HOFFMAN ESTATES

December 16, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
ROAD IMPROVEMENT FUND			
29000025 4606	ARROW ROAD CONSTRUCTION CO	CAPITAL IMPROVEMENTS	\$301,539.07
29000025 4606	DOLAND ENGINEERING, LLC	PROFESSIONAL SERVICES	\$2,503.42
TOTAL ROAD IMPROVEMENT FUND			\$304,042.49

CAPITAL IMPROVEMENT FUND

36000025 4615	RAI CONCRETE INC	2019 CONTRACTED CONCRETE	\$44,924.25
TOTAL CAPITAL IMPROVEMENTS FUND			\$44,924.25

CAPITAL VEHICLE AND EQUIPMENT FUND

37000025 4603	AIR ONE EQUIPMENT INC	REPAIR PARTS	\$351.87
37000025 4603	LINE-X OF NORTHERN ILLINOIS	LINEX CABINETS	\$3,370.00
37000025 4612	AIR ONE EQUIPMENT INC	ESTIMATED SHIPPING/HANDLING	\$45.96
37000025 4612	AIR ONE EQUIPMENT INC	MISCELLANEOUS MOUNTING	\$731.00
TOTAL CAPITAL VEHICLE AND EQUIPMENT FUND			\$4,498.83

WATERWORKS & SEWERAGE FUND

40 0411	ALEX & WHITNEY SMART	UB REFUND	\$49.91
40 0411	BARBARA & KENNETH LEONARD	UB REFUND	\$95.46
40 0411	CALATLANTIC HOMES	UB REFUND	\$56.22
40 0411	CHARLES G & VERA L FERREIRA	UB REFUND	\$44.49
40 0411	DAVID & CAROLINE GONZALEZ	UB REFUND	\$21.12
40 0411	FEDERAL NATIONAL MORTGAGE ASSOC	UB REFUND	\$15.91
40 0411	GNA PROPERTIES LLC	UB REFUND	\$91.55
40 0411	GORDON PAESANI	UB REFUND	\$73.50
40 0411	GRANDVIEW CAPITAL LLC	UB REFUND	\$25.73
40 0411	JACKIE SMITH	UB REFUND	\$46.87
40 0411	JOSEPH & ANDREA RODINO	UB REFUND	\$98.27
40 0411	KONRAD BORKOWSKI	UB REFUND	\$37.32
40 0411	MI HOMES OF CHICAGO LLC	UB REFUND	\$320.73
40 0411	MARIA PIAZZA	UB REFUND	\$64.74
40 0411	MIA ANGLERI	UB REFUND	\$98.10
40 0411	MOHAMMED HUSSAIN & SADIA FATIMA	UB REFUND	\$80.00
40 0411	MOHAMMED MAHMED	UB REFUND	\$75.50
40 0411	NADEEM SULTAN	UB REFUND	\$240.63
40 0411	OKSANA POLINOVSKI	UB REFUND	\$18.14

VILLAGE OF HOFFMAN ESTATES

December 16, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
40 0411	PARTHIV PATEL	UB REFUND	\$33.64
40 0411	PAUL MILLER	UB REFUND	\$90.28
40 0411	POPLAR CREEK CROSSING LLC	UB REFUND	\$2,611.85
40 0411	RAJENDRA PATEL	UB REFUND	\$163.41
40 0411	RAJU VEBROY	UB REFUND	\$31.78
40 0411	THOMAS & PAMELA WALSH	UB REFUND	\$25.73
40 0411	UG PRAIRIE STONE LP	UB REFUND	\$369.30
40 0411	W-PT PRAIRIE STONE VII, LLC	UB REFUND	\$1,130.71
40 1445	DGO PREMIUM SERVICES	HYDRANT METER RFD	\$609.76
WATER MISCELLANEOUS PAYMENT			\$6,620.65

40406723 4414	CANTEEN REFRESHMENT SERVICES	BEVERAGES	\$382.24
40406723 4414	FIRST AYD CORP	VARIOUS SUPPLIES	\$158.59
40406723 4414	STANDARD EQUIPMENT CO	WIPERS	\$289.10
40406723 4420	GRAINGER INC	RETURN REPAIR PARTS	(\$9.30)
40406723 4420	HBK METER SERVICE INC	VARIOUS SUPPLIES	\$30.00
40406723 4420	WATER PRODUCTS CO.	METER COPPER HORNS	\$1,349.30
40406724 4501	AT & T	LANDLINES	\$103.37
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1355 WESTBURY	\$86.85
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1775 ABBEYWOOD	\$1,971.99
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1790 CHIPPENDALE	\$782.12
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 2002 PARKVIEW CI	\$348.89
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 2090 CENTRAL	\$102.06
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 2150 STONINGTON	\$2,923.73
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 3451 N WILSHIRE	\$696.66
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 3990 HUNTINGTON	\$131.28
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 4140 CRIMSON	\$438.63
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 4690 OLMSTEAD	\$91.84
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 780 HASSELL RD	\$208.87
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 95 ASTER LN	\$741.60
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC S/HIGGINS, W OLD	\$666.43
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC S/S HIGGINS	\$253.98
40406724 4503	NICOR GAS	GAS 4690 OLMSTEAD	\$37.90
40406724 4507	M.E. SIMPSON CO., INC.	MAIN LEAK REPAIRS	\$1,725.00
40406724 4507	PDC LABORATORIES INC	PDC LAB PROVIDED SERVICES	\$1,283.00
40406724 4510	STANDARD EQUIPMENT CO	REPAIR PARTS	\$328.75
40406724 4510	STANDARD EQUIPMENT CO	RETURN REPAIR PARTS	(\$615.92)
40406724 4526	WEBMARC DOORS	FURNISH AND INSTALL NEW 3	\$1,789.70
40406724 4526	WEBMARC DOORS	INSTALL NEW BROWN CHI MOD	\$5,192.37
40406724 4528	MUNICIPAL EMERGENCY SERVICES	REPAIR PARTS	\$192.00
40406724 4529	RAI CONCRETE INC	2019 CONTRACTED CONCRETE	\$2,394.75
40406724 4529	WATER PRODUCTS CO.	REPAIR PARTS	\$632.00
40406724 4545	FULLIFE SAFETY CENTER	SAFETY GLOVES	\$153.67

VILLAGE OF HOFFMAN ESTATES

December 16, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
40406724 4545	USA BLUE BOOK	SAFETY SUPPLIES	\$51.05
40406724 4545	USA BLUE BOOK	SAFETY WEAR	\$50.95
40406724 4585	ADVANCE AUTO PARTS	REPAIR PARTS	\$251.09
40406724 4585	ADVANCE AUTO PARTS	RTN REPAIR PARTS	(\$38.85)
40406724 4585	AMAZON CAPITAL SERVICES INC	REPAIR PARTS	\$114.43
40406724 4585	BUMPER TO BUMPER/ LEE AUTO	REPAIR PARTS	\$190.15
40406724 4585	FIRESTONE TRUCK & SERVICE CENTER	TIRES	\$194.94
40406724 4585	KAMMES AUTO & TRUCK REPAIR INC	VEHICLE INSPECTIONS	\$122.00
40406724 4585	O'REILLY AUTO PARTS	REPAIR PARTS	\$54.99
40406724 4585	SPRING ALIGN	VEHICLE REPAIRS	\$1,556.39
40406724 4585	TRANSCHICAGO TRUCK GROUP	REPAIR PARTS	\$10.10

WATER DIVISION

\$27,418.69

40406823 4408	MENARDS - HNVR PARK	REPAIR PARTS	\$21.72
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1101 WESTBURY	\$710.55
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1200 KINGSDALE	\$183.19
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1215 MOON LAKE	\$519.54
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1513 GOLF RD	\$991.65
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1629 CROWFOOT CI	\$152.76
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1775 HUNTINGTON	\$177.82
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1790 CHIPPENDALE	\$1,173.17
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1869 HAMPTON	\$116.06
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 2094 CARLING	\$48.61
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 2364 HIGGINS	\$1,124.17
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 2380 GOLF RD	\$248.65
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 515 CENTRAL	\$37.78
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 5400 W GOLF RD	\$2,279.60
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 6100 SHOE FACTOR	\$545.45
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 897 PARK LN	\$81.27
40406824 4510	BUMPER TO BUMPER/ LEE AUTO	REPAIR PARTS	\$49.16
40406824 4510	EJ EQUIPMENT	REPAIR PARTS	\$108.76
40406824 4510	MR ACE LLC	VARIOUS SUPPLIES	\$23.97
40406824 4510	POMP'S TIRE	TIRES FOR UNIT 168	\$2,328.48
40406824 4524	USA BLUE BOOK	REPAIR PARTS	\$805.69
40406824 4525	HAYES INDUSTRIES INC	REPLACE TWO 12" GATE VALV	\$12,660.00
40406825 4602	STANDARD EQUIPMENT CO	REPAIR PARTS	\$1,269.92

SEWER DIVISION

\$25,657.97

40407325 4603	AMAZON CAPITAL SERVICES INC	FUSE ADAPTOR	\$28.97
40407325 4603	AMAZON CAPITAL SERVICES INC	POWER INVERTER	\$331.20
40407325 4603	AMAZON CAPITAL SERVICES INC	VARIOUS SUPPLIES	\$38.00
40407325 4603	MCMASTER CARR SUPPLY CO	VARIOUS SUPPLIES	\$24.66
40407523 4420	WATER RESOURCES INC	WATER METERS AND VARIOUS	\$23,242.00

VILLAGE OF HOFFMAN ESTATES

December 16, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
40407524 4529	M.E. SIMPSON CO., INC.	PROVIDE SERVICES FOR VALVE	\$3,617.00
40407525 4608	ARROW ROAD CONSTRUCTION CO	PW WATER & SEWER	\$2,000.00
40407525 4608	BAXTER & WOODMAN, INC.	ENGINEERING SERVICES	\$3,234.42
40407525 4608	ENGINEERING ENTERPRISES INC	PROVIDE ENGINEERING SERVICE	\$649.05
40407525 4609	BURNS & MCDONNELL	PROVIDE ENGINEERING SERVICE	\$13,260.00
40407525 4609	CONCENTRIC INTEGRATION	SOFTWARE & LICENSE UPDATE	\$76.08
40407525 4609	WATER WELL SOLUTIONS ILLINOIS DIV	WELL 9 ABANDONMENT	\$98,309.00
CAPITAL PROJECTS			\$144,810.38
TOTAL WATERWORKS AND SEWERAGE FUND			\$204,507.69
STORMWATER MANGEMENT			
42000025 4613	CHASTAIN & ASSOCIATES LLC	PROFESSIONAL SERVICES	\$6,725.56
42000025 4613	DE VINCI CONSTRUCTION CO.	DRAINAGE PROJECT	\$18,721.80
42000025 4613	RAI CONCRETE INC	SIDEWAY REPAIRS	\$500.00
TOTAL STORMWATER MANAGEMENT			\$25,947.36
INSURANCE FUND			
46 1101	DOUG ZBORIL	REIM FROM SICK INCENTIVE	\$1,393.92
46 1101	HARRY RUSSMAN	REIM FROM SICK INCENTIVE	\$830.87
46 1101	JAMES LOGAN	REIM FROM SICK INCENTIVE	\$1,102.68
46 1101	MICHAEL RAUCCI	REIM FROM SICK INCENTIVE	\$584.86
46700021 4206	SEDGWICK CLAIMS MGMT SERVICES INC.	ADMIN SERVICES	\$301.50
46700024 4552	DUNDEE COLLISION INC	VEHICLE REPAIRS	\$7,918.08
46700024 4579	ALEXIAN BROTHERS CORPORATE HEALTH	COMPLETE PHYSICAL	\$2,559.00
TOTAL INSURANCE FUND			\$14,690.91
INFORMATION SERVICES			
47008524 4507	BMC SOFTWARE, INC	TRACKIT RENEWAL BCM 12584	\$2,541.76
47008524 4510	SENTINEL IPS BY ECONET, INC.	SENTINEL IPS QUARTERLY	\$1,647.00
47008524 4542	HIGHER GROUND MANAGED SERVICES LLC	ADVANCED MAIL SECURITY	\$4,000.00
47008525 4602	DELL COMPUTERS	DELL ULTRASHARP 27 MONITOR	\$2,819.92
OPERATIONS			\$11,008.68
47008625 4602	SOUTHERN COMPUTER WAREHOUSE	HPE DL360 GEN10 5217 1P 3	\$5,321.14
47008625 4619	SUPERION LLC	CENTRAL SQUARE UPGRADE	\$160.00
CAPITAL ASSETS			\$5,481.14
TOTAL INFORMATION SYSTEMS FUND			\$16,489.82
BILL LIST TOTAL			\$1,089,002.35

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VILLAGE OF HOFFMAN ESTATES
 CHECK REGISTER - DISBURSEMENT FUND

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SELECTION CRITERIA: transact.t_c='20' and transact.trans_date between '20191129 00:00:00.000' and '20191212 00:00:00.000'
 ACCOUNTING PERIOD: 12/19

FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
0102	116177	V 11/19/19	12421	MENARDS - HNVR PARK	01404224	REPAIR PARTS	0.00	-29.52
0102	116177	V 11/19/19	12421	MENARDS - HNVR PARK	01404824	REPAIR PARTS	0.00	-39.96
0102	116177	V 11/19/19	12421	MENARDS - HNVR PARK	01404223	REPAIR PARTS	0.00	-17.46
0102	116177	V 11/19/19	12421	MENARDS - HNVR PARK	01404223	STRETCH WRAP	0.00	-20.99
0102	116177	V 11/19/19	12421	MENARDS - HNVR PARK	40406824	REPAIR PARTS	0.00	-102.92
0102	116177	V 11/19/19	12421	MENARDS - HNVR PARK	40406724	REPAIR PARTS	0.00	-118.98
TOTAL CHECK							0.00	-329.83
0102	116282	V 12/03/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN FILL	0.00	-75.00
0102	116282	V 12/03/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN FILL	0.00	-75.00
0102	116282	V 12/03/19	2898	BEVERLY MATERIALS, L.L.C	40406824	BROKEN ASPHALT	0.00	-45.00
0102	116282	V 12/03/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN FILL	0.00	-45.00
0102	116282	V 12/03/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN FILL	0.00	-25.00
0102	116282	V 12/03/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN FILL	0.00	-25.00
0102	116282	V 12/03/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN FILL	0.00	-75.00
0102	116282	V 12/03/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN FILL	0.00	-75.00
0102	116282	V 12/03/19	2898	BEVERLY MATERIALS, L.L.C	01404522	CERT REIM	0.00	-60.00
0102	116282	V 12/03/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN FILL	0.00	-75.00
0102	116282	V 12/03/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN FILL	0.00	-75.00
0102	116282	V 12/03/19	2898	BEVERLY MATERIALS, L.L.C	40406824	STONE	0.00	-387.20
0102	116282	V 12/03/19	2898	BEVERLY MATERIALS, L.L.C	40406724	STONE	0.00	-387.19
0102	116282	V 12/03/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN FILL	0.00	-180.00
0102	116282	V 12/03/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN FILL	0.00	-180.00
0102	116282	V 12/03/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN FILL	0.00	-50.00
0102	116282	V 12/03/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN FILL	0.00	-50.00
0102	116282	V 12/03/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN CONCRETE	0.00	5.00
0102	116282	V 12/03/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN CONCRETE	0.00	5.00
TOTAL CHECK							0.00	-1,874.39
0102	116396	11/29/19	14662	IACE/CITY OF BATAVIA	01505122	TRAINING DEC 4TH 5	0.00	250.00
0102	116397	12/04/19	5277	SOUNDQ PRODUCTIONS	01101124	DJ SERVICES FOR HOLID	0.00	250.00
0102	116398	12/04/19	8960	COMCAST BUSINESS	01107124	INTERNET SERVICES	0.00	63.68
0102	116398	12/04/19	8960	COMCAST BUSINESS	01404424	INTERNET SERVICES	0.00	122.01
TOTAL CHECK							0.00	185.69
0102	116399	12/04/19	12421	MENARDS - HNVR PARK	40406724	REPAIR PARTS	0.00	118.98
0102	116399	12/04/19	12421	MENARDS - HNVR PARK	01404224	REPAIR PARTS	0.00	29.52
0102	116399	12/04/19	12421	MENARDS - HNVR PARK	01404824	REPAIR PARTS	0.00	39.96
0102	116399	12/04/19	12421	MENARDS - HNVR PARK	01404223	REPAIRS PARTS	0.00	20.99
0102	116399	12/04/19	12421	MENARDS - HNVR PARK	01404223	PAIR PARTS	0.00	17.46
0102	116399	12/04/19	12421	MENARDS - HNVR PARK	40406824	REPAIR PARTS	0.00	102.92
TOTAL CHECK							0.00	329.83
0102	116400	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN FILL	0.00	75.00
0102	116400	V 12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN CONCRETE	0.00	5.00
0102	116400	V 12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN FILL	0.00	-180.00
0102	116400	V 12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN FILL	0.00	-180.00
0102	116400	V 12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406724	STONE	0.00	-387.19
0102	116400	V 12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406824	STONE	0.00	-387.20
0102	116400	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN FILL	0.00	75.00

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VILLAGE OF HOFFMAN ESTATES
 CHECK REGISTER - DISBURSEMENT FUND

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FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
0102	116400	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN FILL	0.00	75.00
0102	116400	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN FILL	0.00	75.00
0102	116400	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN FILL	0.00	45.00
0102	116400	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN FILL	0.00	45.00
0102	116400	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN FILL	0.00	25.00
0102	116400	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN FILL	0.00	25.00
0102	116400	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN FILL	0.00	75.00
0102	116400	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN FILL	0.00	75.00
0102	116400	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN FILL	0.00	50.00
0102	116400	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN FILL	0.00	50.00
0102	116400	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN CONCRETE	0.00	-5.00
0102	116400	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN CONCRETE	0.00	-5.00
0102	116400	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN FILL	0.00	180.00
0102	116400	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN FILL	0.00	180.00
0102	116400	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406724	STONE	0.00	387.19
0102	116400	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406824	STONE	0.00	387.20
0102	116400	V 12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN FILL	0.00	-75.00
0102	116400	V 12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN FILL	0.00	-75.00
0102	116400	V 12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN FILL	0.00	-75.00
0102	116400	V 12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN FILL	0.00	-75.00
0102	116400	V 12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN FILL	0.00	-45.00
0102	116400	V 12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN FILL	0.00	-45.00
0102	116400	V 12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN FILL	0.00	-25.00
0102	116400	V 12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN FILL	0.00	-25.00
0102	116400	V 12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN FILL	0.00	-75.00
0102	116400	V 12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN FILL	0.00	-75.00
0102	116400	V 12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN FILL	0.00	-50.00
0102	116400	V 12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN FILL	0.00	-50.00
0102	116400	V 12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN CONCRETE	0.00	5.00
TOTAL CHECK							0.00	0.00
0102	116401	12/04/19	3468	MIKE BACKSTROM	01404522	CERTIFICATION REIM	0.00	60.00
0102	116402	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN FILL	0.00	45.00
0102	116402	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN FILL	0.00	45.00
0102	116402	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN FILL	0.00	75.00
0102	116402	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN FILL	0.00	75.00
0102	116402	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN FILL	0.00	75.00
0102	116402	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN FILL	0.00	75.00
0102	116402	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN FILL	0.00	25.00
0102	116402	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN FILL	0.00	25.00
0102	116402	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN FILL	0.00	75.00
0102	116402	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN FILL	0.00	75.00
0102	116402	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN FILL	0.00	50.00
0102	116402	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN FILL	0.00	50.00
0102	116402	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN CONCRETE	0.00	-5.00
0102	116402	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN CONCRETE	0.00	-5.00
0102	116402	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406724	CLEAN FILL	0.00	180.00
0102	116402	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406824	CLEAN FILL	0.00	180.00
0102	116402	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406724	STONE	0.00	387.19
0102	116402	12/04/19	2898	BEVERLY MATERIALS, L.L.C	40406824	STONE	0.00	387.20
TOTAL CHECK							0.00	1,814.39

SUPERION
 DATE: 12/12/2019
 TIME: 13:44:03

VILLAGE OF HOFFMAN ESTATES
 CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 3
 ACCTPA21

SELECTION CRITERIA: transact.t_c='20' and transact.trans_date between '20191129 00:00:00.000' and '20191212 00:00:00.000'
 ACCOUNTING PERIOD: 12/19

FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
0102	116403	12/06/19	6583	DARIN FELGENHAUER	01	C-PAL LOAN	0.00	2,000.00
0102	116404	12/06/19	8893	CHARLES L. BEST	01	C-PAL LOAN	0.00	2,000.00
0102	116405	12/06/19	11261	WEX BANK	01404524	FUEL	0.00	87.13
0102	116405	12/06/19	11261	WEX BANK	01404524	FUEL	0.00	906.65
TOTAL CHECK							0.00	993.78
0102	116406	12/06/19	18199	POPLAR CREEK CROSSING LL	40400013	UTILITY BILL RFD WATE	0.00	13,322.31
0102	116407	12/09/19	19963	CASSANDRA IRIZARRY	01605824	PRESENTATION ART THER	0.00	150.00
TOTAL CASH ACCOUNT							0.00	19,151.78
TOTAL FUND							0.00	19,151.78
TOTAL REPORT							0.00	19,151.78

Detail of Wire/ACH Activity
For the Period 11/01/19 - 11/30/19

Date	Vendor	Description	Source of Funds	Amount
11/01/19	IPBC	Insurance Premium	General	\$ 606,441.65
11/04/19	Payment Express	Credit Card Merchant Fees 10/19	General, Water & Sewer	\$ 206.54
11/07/19	Neopost	Replenish Postage Machine	General, Water & Sewer	\$ 1,600.00
11/08/19	IMRF	IMRF October 2019 Payroll Costs	Various	\$ 106,050.86
11/13/19	CCMSI	General Liability Claims	Insurance	\$ 2,292.80
11/13/19	Speer Financial Inc	Professional Services	Water & Sewer, 2019 Capital Projects	\$ 16,700.00
11/13/19	Louis F Cainkar Ltd.	Professional Services	Water & Sewer, 2019 Capital Projects	\$ 14,000.00
11/13/19	Foley & Lardner LLP	Professional Services	Water & Sewer, 2019 Capital Projects	\$ 7,500.00
11/14/19	Employer's Claim Service	Workers Comp Claims	Insurance	\$ 34,600.44
11/19/19	First American Bank	Poplar Creek Note Payment	Barrington/Higgins TIF	\$ 255,735.49
11/20/19	SWANCC	Monthly Tipping Fees	Municipal Waste System	\$ 52,284.88
11/20/19	JAWA	Monthly Water Usage	Water & Sewer	\$ 725,634.00
11/20/19	Sebis	Postage Deposit for Water Bills	Water & Sewer	\$ 6,000.00
11/21/19	CCMSI	General Liability Claims	EDA	\$ 83,354.85
11/27/19	CCMSI	General Liability Claims	Insurance	\$ 1,094.00
11/27/19	Amalgamated Bank of Chicago	2018 GODS	2018 GO Debt, General, Water & Sewer	\$ 2,182,918.75
11/27/19	Amalgamated Bank of Chicago	2017B Debt Service Payment	General, Water & Sewer	\$ 97,350.00
11/27/19	Amalgamated Bank of Chicago	2017A Debt Service Payment	General, Water & Sewer	\$ 407,331.26
11/27/19	Amalgamated Bank of Chicago	2016 Debt Service Payment	2016 GO Debt Service	\$ 267,900.00
11/27/19	Amalgamated Bank of Chicago	2015C Debt Service Payment	Sears Center Operating	\$ 505,906.26
11/27/19	Amalgamated Bank of Chicago	2015B Debt Service Payment	General, Water & Sewer, Stormwater	\$ 499,325.00
11/27/19	Amalgamated Bank of Chicago	2015A Debt Service Payment	Sears Center Operating	\$ 2,132,849.38
11/29/19	Neopost	Replenish Postage Machine	General, Water & Sewer	\$ 1,600.00
11/29/19	Neopost	Replenish Postage Machine	General, Water & Sewer	\$ 1,600.00
	TOTAL			\$ 8,010,276.16

VILLAGE OF HOFFMAN ESTATES

**AN ORDINANCE GRANTING A SPECIAL USE TO
1400 GANNON ROAD, LLC (OWNER), AND
CHARLES VINCENT GEORGE ARCHITECTS (APPLICANT),
LOT 2, HOFFMAN ESTATES RETAIL SUBDIVISION
(1400 GANNON ROAD - NEW ADDRESS 1199 W. HIGGINS ROAD)**

WHEREAS, the Planning and Zoning Commission, at a public hearing duly called and held according to law on November 20, 2019 considered the request by 1400 Gannon Road, LLC (owner) and Charles Vincent George Architects (applicant) of property shown on Exhibit "A" and attached hereto and made a part hereof, for a special use under the Zoning Code to permit a freestanding financial institution (bank) on the property located on Lot 2, Hoffman Estates Retail Subdivision (1400 Gannon Road – New address 1199 W. Higgins Road); and

WHEREAS, the Planning and Zoning Commission made certain Finding of Fact attached hereto and made a part hereof as Exhibit "B" and recommended approval of a special use to the Board of Trustees; and

WHEREAS, the Corporate Authorities have received and considered said recommendation; and

WHEREAS, the proposed special use has met the standards of Section 9-1-18-I of the Zoning Code of the Hoffman Estates Municipal Code.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: The Corporate Authorities hereby find that the facts and statements contained in the preamble of this Ordinance are true.

Section 2: A special use authorized under Section 9-8-2-C-10 of the Zoning Code is hereby granted to 1400 Gannon Road, LLC (owner) and Charles Vincent George Architects (applicant) to a freestanding financial institution (bank) on the property located on Lot 2, Hoffman Estates Retail Subdivision (1400 Gannon Road – New address 1199 W. Higgins Road), subject to the following terms and conditions:

Site Plan – New BMO Bank – (Lot 2)

- a) The building permit shall be obtained within twelve (12) months of the Village Board action on this request.
- b) A performance guarantee for all exterior building and site work shall be submitted to the Village prior to issuance of a building permit.
- c) A permit from IDOT shall be submitted prior to construction commencing in the Higgins Road right-of-way.
- d) A permit from the Metropolitan Water Reclamation District shall be provided prior to site construction commencing.

- e) No exterior signage is approved with these plans. Site and building signage will be required to meet current Village code.
- f) The following conditions relate to the site construction:
 - 1) A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
 - 2) Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.
 - 3) In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.

Site Plan – Existing BMO Bank -- (Lot 1) – Interim Condition

- g) A performance guarantee for all exterior building and site work shall be submitted to the Village prior to issuance of a building permit.
- h) The following conditions relate to the site construction
 - 1) A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
 - 2) Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.
 - 3) Customer parking and construction parking shall be managed to ensure that illegal parking does not occur. This may require construction parking off-site if work is occurring during business hours.
 - 4) In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.
- i) The entire site changes, as shown on the approved plans, shall be completed prior to issuance of any occupancy permit for the newly constructed bank on Lot 2.
- j) The owner shall monitor the business operations and parking lot to ensure that parking spaces are available at all times. Parking is only permitted to occur within designated parking spaces. To prevent obstructions for emergency or customer vehicle circulation, the site operations shall be managed and monitored to ensure that areas not specifically designed for car parking shall be kept clear of parked vehicles, and that illegal parking, stopping, or standing does not occur.
- k) Within 6 months after occupancy is granted to the new BMO bank on Lot 2, the existing bank building on Lot 1 shall be razed and restored with a stand of grass. A site restoration plan depicting final grades, drainage paths and soil stabilization method shall be submitted with the demolition permit and shall be approved by the Village Engineer prior to issuance of the demolition permit. If the existing bank building site isn't built with a new retail building within two years, three additional trees will be planted along the east wall of the new bank building.

Section 3: The Village Clerk is hereby authorized to publish this ordinance in pamphlet form.

Section 4: This Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2019

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Michael Gaeta	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2019

Village President

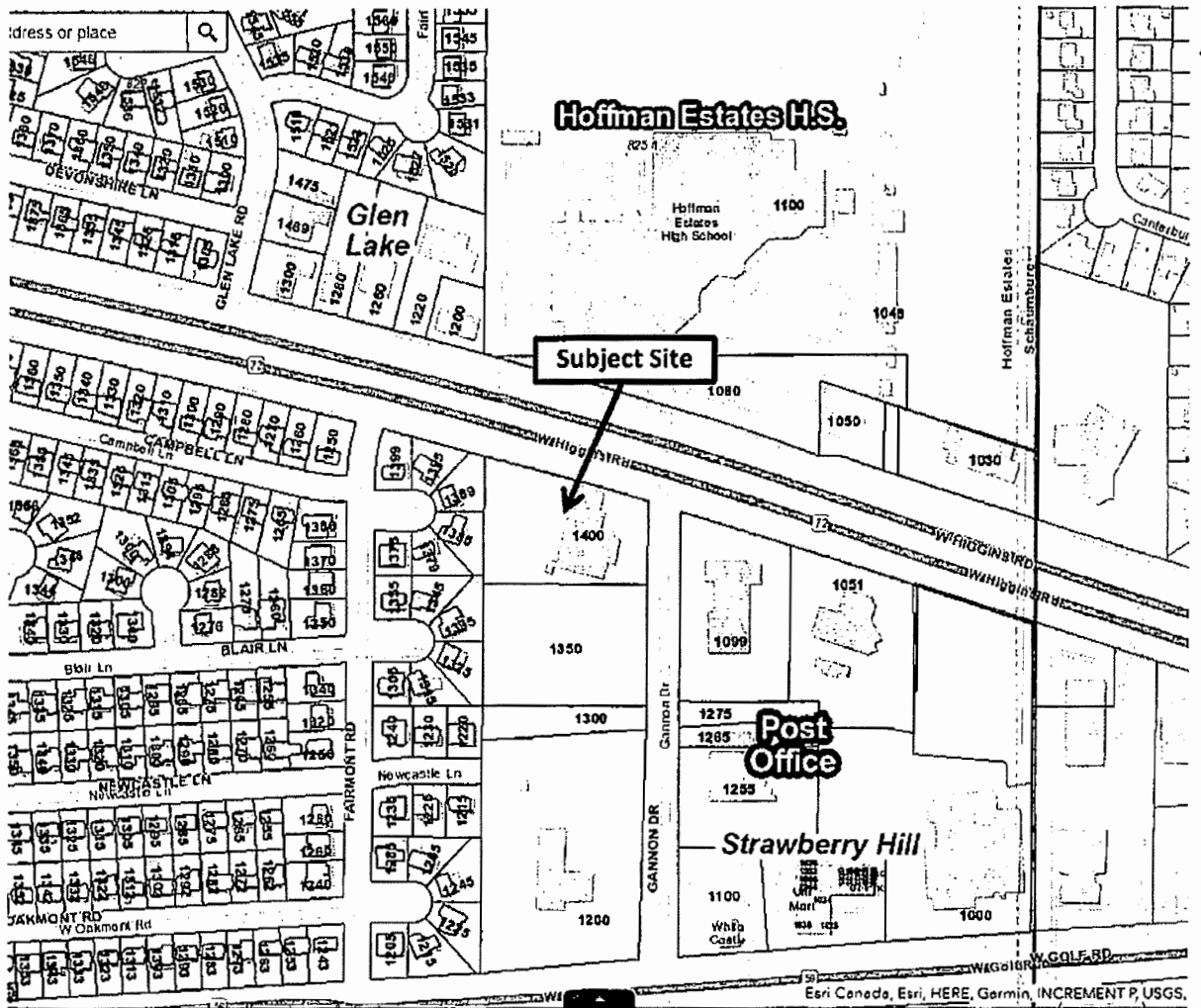
ATTEST:

Village Clerk

Published in pamphlet form this _____ day of _____, 2019.

1400 Gannon Dr

PIN: 07-09-300-034-0000



November 2019
Village of Hoffman Estates
Planning Division





**VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION
FINDING OF FACT**

PROJECT NO.: 2018030P

VILLAGE BOARD MEETING DATE: December 2, 2019

PETITIONER(S): Charles Vincent George Architects (Applicant) and 1400 Gannon Road, LLC (owner)

PROJECT ADDRESS: 1400 Gannon Rd.

ZONING DISTRICT: B2 – Community Business District

Recommendation: **APPROVAL (All Motions)**

Vote: **11 Ayes, 0 Nays (All Motions)**

PZC MEETING DATE: November 20, 2019

STAFF ASSIGNED: JAMES DONAHUE

MOTION #1

Approval of a request by Charles Vincent George Architects (Applicant) and 1400 Gannon Road, LLC (owner) to consider a Preliminary and Final Plat of Subdivision for the property located at 1400 Gannon Road.

MOTION #2

Approval of a request by Charles Vincent George Architects (Applicant) and 1400 Gannon Road, LLC (owner) to consider a Special Use under Section 9-8-2-C-10 of the Municipal Code and a Preliminary and Final Site Plan for a free standing financial institution (bank) on the property located on Lot 2 of Hoffman Estates Retail Subdivision, subject to the following conditions:

SITE PLAN – NEW BMO BANK - (LOT 2)

1. The building permit shall be obtained within twelve (12) months of the Village Board action on this request.
2. A performance guarantee for all exterior building and site work shall be submitted to the Village prior to issuance of a building permit.
3. A permit from IDOT shall be submitted prior to construction commencing in the Higgins Road right-of-way.
4. A permit from the Metropolitan Water Reclamation District shall be provided prior to site construction commencing.
5. No exterior signage is approved with these plans. Site and building signage will be required to meet current Village code.
6. The following conditions relate to the site construction:
 - a. A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
 - b. Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.

- c. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.

SITE PLAN – EXISTING BMO BANK - (LOT 1) - INTERIM CONDITION

7. A performance guarantee for all exterior building and site work shall be submitted to the Village prior to issuance of a building permit.
8. The following conditions relate to the site construction:
 - a. A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
 - b. Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.
 - c. Customer parking and construction parking shall be managed to ensure that illegal parking does not occur. This may require construction parking off-site if work is occurring during business hours.
 - d. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.
9. The entire site changes, as shown on the approved plans, shall be completed prior to issuance of any occupancy permit for the newly constructed bank on Lot 2.
10. The owner shall monitor the business operations and parking lot to ensure that parking spaces are available at all times. Parking is only permitted to occur within designated parking spaces. To prevent obstructions for emergency or customer vehicle circulation, the site operations shall be managed and monitored to ensure that areas not specifically designated for car parking shall be kept clear of parked vehicles, and that illegal parking, stopping, or standing does not occur.
11. Within 6 months after occupancy is granted to the new BMO bank on Lot 2, the existing bank building on Lot 1 shall be razed and restored with a stand of grass. A site restoration plan depicting final grades, drainage paths and soil stabilization method shall be submitted with the demolition permit and shall be approved by the Village Engineer prior to issuance of the demolition permit. If the existing bank building site isn't built with a new retail building within two years, three additional trees will be planted along the east wall of the new bank building.

MOTION #3

Approval of a request by Charles Vincent George Architects (Applicant) and 1400 Gannon Road, LLC (owner) to consider a Preliminary Site Plan for a multi-tenant retail building on the property located on Lot 1 of Hoffman Estates Retail Subdivision, subject to the following conditions:

12. Plans are preliminarily approved with the petitioner required to proceed with the final site plan review process prior to any work commencing on the multi-tenant building.
13. As part of this preliminary approval, the direct access to the site via Gannon Drive will be closed and apron removed as part of the existing bank building demolition permit and process.
14. Drive -thru as depicted on preliminary plans may or may not be approved depending on specific user and required stacking for the specific use. When final plans are brought forth, a review of the proposed users stacking needs will be required.

FINDING

The petitioner is proposing to subdivide the property and build a smaller (+/- 4700 square feet) bank building on the newly created Lot 2, west of the existing bank building. The petitioner would subsequently demolish and old building and build a multi-tenant retail building in its place at a later date.

Staff informed the Commission that the old bank would be razed once the new bank is occupied. A condition was added that the old bank building shall be razed, the site properly graded and a new stand of grass established within six months of occupancy being granted to the new bank. The preliminary plans for the newly created Lot 1 show a multi-tenant retail building on the site of the old bank, but per the petitioner; that is being shown for reference only. They do not anticipate building anything on the old bank site for 1.5 years after the new bank is occupied. A condition was added that the petitioner will be required to go through the final site plan approval process prior to commencing any work for the retail building.

The proposed final plat of resubdivision proposes to subdivide the existing overall property into two lots. Lot 1 (site of future retail building) would be approximately 1.379 acres and Lot 2 (site of new BMO bank) would be approximately .982 acres. The plat identifies required utility easements and cross access easements. Staff indicated that the Assistant Corporation Counsel for the Village reviewed the plat and found it to be in order.

The staff report noted that the subject property is zoned B-2, Community Business District and a free standing bank is listed as a special use in the B-2 District. The site has had a bank on it for a number of years and has an existing Special Use. Due the razing of the old bank and redevelopment of the property, a new Special Use is required for the new bank. The petitioner provided a narrative describing the operations of the business and proposed site improvements.

The Commission considered Section 9-1-18-I of the Zoning Code (Standards for a Special Use) which states: "No special use shall be recommended by the Planning and Zoning Commission unless said Planning and Zoning Commission shall find:

1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;

3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
4. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;
5. That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets; and
6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Planning and Zoning Commission.

The petitioner provided a written response to the standards for a Special Use which was included in the packets.

In addition to the special use standards noted above, the zoning code requires that with special uses for banks; it shall be demonstrated that the use will not have a detrimental effect on the mix of retail and non-retail uses in the immediate area, and that the building can be adapted for a different use in the future. Staff noted that the proposed special use replaces an existing one on the site and will introduce more retail to the site, so the effect will not be detrimental effect to the retail mix in the area. Additionally, the new bank will be able to be retrofitted into another use if needed in the future. Much more so than the current building could be.

The Commission learned that the new bank would have vehicular access via Higgins Road by utilizing the existing curb cut location. Vehicles exiting the bank would utilize the shared access road immediately south of this property that currently serves the existing bank and the car storage lot south of the site. A total of 25 parking spaces are provided for the new bank. Twenty spaces are proposed near the front of the bank entrance and five spaces are proposed near the dumpster enclosure near the south end of the site. Based on the Village's recommended guidelines, a bank of this size should provide 21 spaces; so the parking provided exceeds that recommendation.

The petitioner showed renderings and had materials showing that the exterior of the new bank includes a well-defined entrance on the north façade with exterior façade materials that include high quality face brick and composite prefinished metal panels. The front includes a combination of clear vision and spandrel glass with glazing.

Staff noted that the plans show that the existing bank would remain open while the new bank is under construction. Some of the parking (10 spaces) on the west side of the existing lot would be relocated to the north side of the building to be temporarily utilized by customers as the new bank is constructed. An additional 11 spaces will be built and available for use by employees while the new building is under construction. These would be located northwest of the existing building. The number of drive through lanes would be reduced from 8 to 5 to accommodate the newly relocated spaces immediately adjacent to the building. Additionally, the existing four spaces on the south side of the building would be available for use during this intermediate phase. The required ADA space would be located in this area.

The Commission heard from the petitioner regarding the multi-tenant building located on the old bank site (once it's been razed). The petitioner does not plan on building the retail building for 1.5 years after the opening of the new bank building, but they have included a preliminary site plan. The 12,557 square foot multi-tenant retail building shows a

potential drive thru for the eastern most tenant and up to seven separate tenants. The building has face brick, metal composite panels, some EIFS components and glass storefronts. Parking on the site is shown at 52 spaces, which is recommended for a retail building of this size. Access to the site would be via the existing cross access drive shared with the property to the south (car lot). Cross access to the new bank site would be provided as part of the site plan. The existing entrance to the site that is located between Higgins Road and the existing cross access drive to the south would be eliminated with the new site design. Since the Village's site plan approvals are only good for one year, the petitioner will be required to come back for final site plan approval for the site when they do decide to build.

The Commission had the following questions:

- Was notice given to neighbors? Staff answered yes, it had.
- What was happening with the fence on east side by residents? Petitioner said they were replacing it.
- Can you review the landscape plan? Petitioner went over the landscape plans.
- Will access to car lot to the south be blocked? Petitioner answered that it wouldn't.
- Where is construction access proposed? Petitioner said the shared access to the south of the site would be utilized.
- Where are the dumpster locations? Petitioner showed them on the plans.
- Which drive-thrus on existing bank will be closed for the temporary parking? Petitioner showed them on the plans.
- Will there be security cameras? The petitioner stated that would be up to the bank.

The Commission also wanted to add a condition that required additional trees added to the east side of the new bank if the lot with the old bank doesn't develop within two years after the certificate of occupancy is issued for the new bank. Staff added the condition at the end of Condition #11.

AUDIENCE COMMENTS

Two residents spoke. Both residents were concerned over site maintenance and issues with the fence and lighting. Staff noted that the fence was being replaced and lighting was being upgraded. The chair told the residents to call the village if issues arise with fence and property maintenance. Both residents noted that ComEd had previously cut back the trees growing along the fence line and staff said that the village will work with the developers when selecting trees for the area to help with that issue.

PLANNING AND ZONING COMMISSIONERS

Chairperson Eva Combs	Adam Bauske
Vice-Chairman Greg Ring	Nancy Trieb
Tom Burnitz	Sohita Patel
Lenard Henderson	Denise Wilson
Myrene Iozzo	Lon Harner
Minerva Milford	

ROLL CALL VOTE (All Motions)

11 Ayes
0 Nays

The following attachments are hereby incorporated as part of this Finding of Fact:

Applications
Engineering Plans
Landscape Plans
Façade Plans
Preliminary & Final Plat

VILLAGE OF HOFFMAN ESTATES

**AN ORDINANCE GRANTING A SPECIAL USE TO
AMITA HEALTH ALEXIAN BROTHERS BEHAVIORAL HEALTH (OWNER)
AND KIMLEY-HORN (APPLICANT),
1650 MOON LAKE BOULEVARD, HOFFMAN ESTATES, ILLINOIS**

WHEREAS, the Planning and Zoning Commission, at a public hearing duly called and held according to law on November 20, 2019 considered the request by Amita Health Alexian Brothers Behavioral Health (owner) and Kimley-Horn (applicant) of property shown on Exhibit "A" and attached hereto and made a part hereof, for a special use under the Zoning Code to permit the expansion of a behavioral health hospital on the property located 1650 Moon Lake Boulevard; and

WHEREAS, the Planning and Zoning Commission made certain Finding of Fact attached hereto and made a part hereof as Exhibit "B" and recommended approval of a special use to the Board of Trustees; and

WHEREAS, the Corporate Authorities have received and considered said recommendation; and

WHEREAS, the proposed special use has met the standards of Section 9-1-18-1 of the Zoning Code of the Hoffman Estates Municipal Code.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: The Corporate Authorities hereby find that the facts and statements contained in the preamble of this Ordinance are true.

Section 2: A special use authorized under Section 9-5-11-G-5 of the Zoning Code is hereby granted to AMITA Health Alexian Brothers Behavioral Health (owner) and Kimley-Horn (applicant) to permit an expansion of a behavioral health hospital on the property located at 1650 Moon Lake Boulevard, subject to the following terms and conditions:

- a) The number of beds at this facility shall not increase with this expansion. Expansion for additional beds shall not occur without additional Village site plan review and approval.
- b) The building permit shall be obtained within twelve (12) months of the Village Board action on this request.
- c) Modifications to the detention basin relative to the restrictor and outflow will need to be made as per the Village Engineer's direction. Petitioner shall submit revised detention basin plans as part of the building permit process and detention basin modifications shall be completed prior to the issuance of a certificate of occupancy for the addition.

d) As noted by staff, the illegally placed barricades located in the existing parking on the west side of the building shall be removed before a building permit is issued for the expansion.

e) The following conditions relate to the site construction:

1) A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.

2) Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.

3) In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.

Section 3: The Village Clerk is hereby authorized to publish this ordinance in pamphlet form.

Section 4: This Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2019

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Michael Gaeta	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2019

Village President

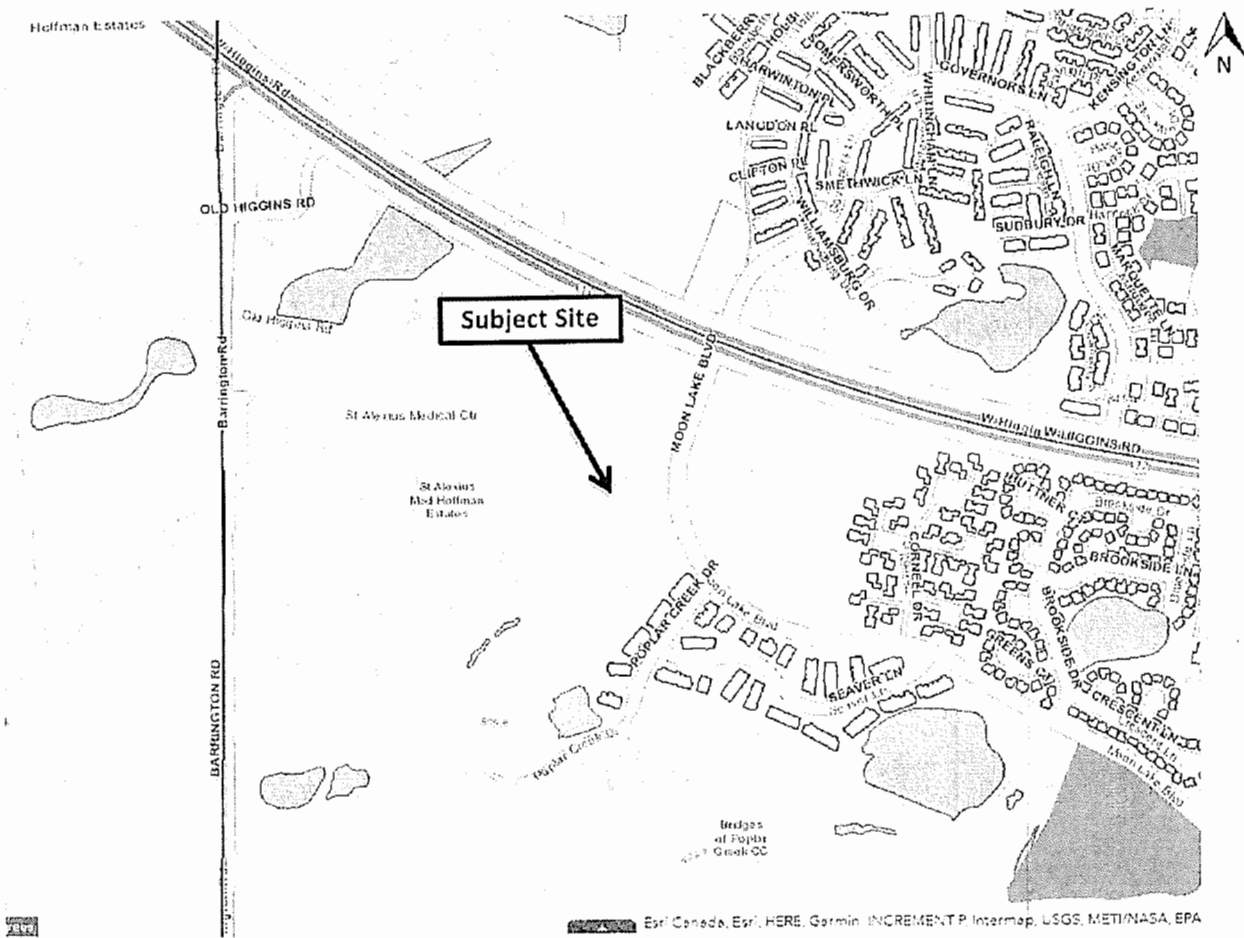
ATTEST:

Village Clerk

Published in pamphlet form this _____ day of _____, 2019.

1650 Moon Lake Blvd

PIN: 07-07-200-243-0000



November 2019
Village of Hoffman Estates
Planning Division





VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION
FINDING OF FACT

PROJECT NO.: 2019039P

VILLAGE BOARD MEETING DATE: December 2, 2019

PETITIONER(S): Kimley-Horn (Applicant) and AMITA Health Alexian Brothers Behavioral Health (Owner)

PROJECT ADDRESS: 1650 Moon Lake Blvd.

ZONING DISTRICT: RPD – Residential Planned Development

Recommendation: **APPROVAL**

Vote: **11 Ayes 0 Nays**

PZC MEETING DATE: November 20, 2019

STAFF ASSIGNED: JAMES DONAHUE

MOTION

Approval of a request by Kimley-Horn (Applicant) and AMITA Health Alexian Brothers Behavioral Health (Owner) for a Special Use under Section 9-5-11-G-5 of the Municipal Code and a Preliminary and Final Site Plan Amendment to permit an expansion of a behavioral health hospital located at 1650 Moon Lake Blvd., subject to the following conditions:

1. The number of beds at this facility shall not increase with this expansion. Expansion for additional beds shall not occur without additional Village site plan review and approval.
2. The building permit shall be obtained within twelve (12) months of the Village Board action on this request.
3. Modifications to the detention basin relative to the restrictor and outflow will need to be made as per the Village Engineer's direction. Petitioner shall submit revised detention basin plans as part of the building permit process and detention basin modifications shall be completed prior to the issuance of a certificate of occupancy for the addition.
4. As noted by staff, the illegally placed barricades located in the existing parking on the west side of the building shall be removed before a building permit is issued for the expansion.
5. The following conditions relate to the site construction:
 - a. A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
 - b. Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.
 - c. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.

FINDING

The petitioner is proposing an addition to the existing AMITA Alexian Brothers Behavioral Health Hospital (ABBHH). The new addition on the northwest corner of building will be three stories in height and approximately 14,673 square feet. The new space will include clinical space and not include any additional beds. Expansion will include consultation rooms, group rooms, offices, workrooms, and breakroom along with new toilet facilities on each floor. The intent is reduce existing congestion within the facility.

The existing Behavioral Health Hospital building has been operating for a number of years and has an existing Special Use. Previous building and site expansions were approved in 2003 and 2005. Due the building addition, a new Special Use is required. The petitioner provided a narrative describing the expansion and proposed site improvements.

The Commission learned that the subject property is zoned RPD, Residential Planned Development District and a hospital is listed as a special use in the RPD District. Section 9-1-18-1 of the Zoning Code (Standards for a Special Use) states: "No special use shall be recommended by the Planning and Zoning Commission unless said Planning and Zoning Commission shall find:

1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
4. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;
5. That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets; and
6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Planning and Zoning Commission.

The petitioner provided a response to the standards for a Special Use which was included in the packets and was reviewed by the Planning & Zoning Commission.

The petitioner reviewed the proposed addition and site changes with the Commission. The addition would be similar to the existing building, the proposed expansion will feature matching brick and stone style and colors from the existing building. The new HVAC rooftop units will be concealed with an integrated screen wall to screen it from adjoining properties. Changes to the site would be minimal with access and existing parking remaining unchanged. A parking study of the overall campus was submitted as part of the petitioner's documents which showed that the proposed three-floor expansion at the ABBHH; which is intended to decompress existing operations in the building, will not impact parking demand as the programming for the proposed expansion does not include additional personnel or patients.

The proposed landscape plan will provide additional landscape around the new addition and within the outdoor healing garden area that currently exists, but will be reduced with the expansion. The plan incorporates a variety of trees, shrubs and perennials into the existing site design.

The Commission had questions about the on-site barricades mentioned in the memo and conditions and staff responded that they are required to remove them as part of this approval. Another commissioner asked about internal operations and the petitioner explained the expansion and why it was needed. Another commissioner asked about the parking across Moon Lake Blvd and the petitioner went over the parking study. Staff explained that the parking across Moon Lake wasn't utilized as much since the new parking deck was built on the main hospital property.

AUDIENCE COMMENTS

None

PLANNING AND ZONING COMMISSIONERS

Chairperson Eva Combs	Adam Bauske
Vice-Chairman Greg Ring	Nancy Trieb
Tom Burnitz	Sohita Patel
Lenard Henderson	Denise Wilson
Myrene Iozzo	Lon Harner
Minerva Milford	

ROLL CALL VOTE

11 Ayes
0 Nays
0 Absent

The following attachments are hereby incorporated as part of this Finding of Fact:

- Applications
- Engineering Plans
- Floorplans
- Landscape Plan
- Aerial Photo

RESOLUTION NO. _____ - 2019

VILLAGE OF HOFFMAN ESTATES

**A RESOLUTION ESTABLISHING FEES
FOR POLICE & FIRE DEPARTMENT PERSONNEL**

WHEREAS, members of the Hoffman Estates Police and Fire Departments are hired back by private and/or public employers; and

WHEREAS, costs of salary, fringe and administrative costs have been calculated.

NOW, THEREFORE, BE IT RESOLVED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: That the Hoffman Estates Police Department is hereby authorized to charge fees for services under hire back arrangements for the period January 1, 2020 through December 31, 2020 as follows:

Police Officer	-- \$102.37
Police Lieutenant	-- \$131.29

However, upon a proof of a grant of 501(c)(3) status by the Internal Revenue Service, the fees for services under hire back arrangements for the period from January 1, 2020 through December 31, 2020 are as follows:

Police Officer	-- \$ 76.16
Police Lieutenant	-- \$100.82

Section 2: That the Hoffman Estates Fire Department is hereby authorized to charge fees for services under hire back arrangements for the period January 1, 2020 through June 30, 2020 as follows:

Firefighter/Paramedic	-- \$104.84
Lieutenant/Paramedic	-- \$113.90
Captain/Paramedic	-- \$119.08

However, upon a proof of a grant of 501(c)(3) status by the Internal Revenue Service, the fees for services under hire back arrangements for the period from January 1, 2020 through June 30, 2020 are as follows:

Firefighter/Paramedic	-- \$ 76.40
Lieutenant/Paramedic	-- \$ 83.96
Captain/Paramedic	-- \$ 88.28

Section 3: That the Hoffman Estates Fire Department is hereby authorized to charge fees for services under hire back arrangements for the period July 1, 2020 through December 31, 2020 as follows:

Firefighter/Paramedic	-- \$105.75
Lieutenant/Paramedic	-- \$114.91
Captain/Paramedic	-- \$120.13

However, upon a proof of a grant of 501(c)(3) status by the Internal Revenue Service, the fees for services under hire back arrangements for the period from July 1, 2020 through December 31, 2020 are as follows:

Firefighter/Paramedic	-- \$ 77.16
Lieutenant/Paramedic	-- \$ 84.81
Captain/Paramedic	-- \$ 89.15

Section 4: That this Resolution shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2019

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Michael Gaeta	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2019

Village President

ATTEST:

Village Clerk

VILLAGE OF HOFFMAN ESTATES

A RESOLUTION PROVIDING PAYMENT FOR APPOINTED COMMISSIONS AND BOARDS

WHEREAS, the citizens of the Village of Hoffman Estates volunteer their time to serve on Boards and Commissions of the Village of Hoffman Estates; and

WHEREAS, it is recognized that a fair and equitable reimbursement of incidental expenses is in the interest of the health, safety and welfare of the Village.

NOW, THEREFORE, BE IT RESOLVED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: That the members of the Planning and Zoning Commission shall receive payment for attendance at such Planning and Zoning Commission meetings as follows:

<u>COMMISSION</u>	<u>CHAIRMAN</u>	<u>MEMBER</u>
Planning and Zoning Commission	\$50 per regular meeting	\$35 per regular meeting

Section 2: That the members of the Fire & Police Commission shall receive payment for attendance at such Fire & Police Commission meetings as follows:

<u>COMMISSION</u>	<u>CHAIRMAN</u>	<u>MEMBER</u>
Fire & Police Commission	\$50 per regular meeting	\$35 per regular meeting

Section 3: That this resolution shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2019

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Michael Gaeta	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
President William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2019

Village President

ATTEST:

Village Clerk

VILLAGE OF HOFFMAN ESTATES
Office of the Mayor

Memo

TO: Village Board of Trustees and the Village Clerk
FROM: Mayor Bill McLeod
RE: *Boards & Commissions Appointment/s and Resignations*
DATE: Wednesday December 11, 2019

At the December 16, 2019 Village Board meeting, the following will be appointed:

Myrene Iozzo – Platzkonzert Commission

Thank you.



William D. McLeod
Mayor



HOFFMAN ESTATES

GROWING TO GREATNESS

November 8, 2019

To: Mayor and Board of Trustees

TREASURER'S REPORT

October 2019

Attached hereto is the Treasurer's Report for the month of October, 2019, summarizing total cash receipts and disbursements for the various funds of the Village.

For the Operating funds, cash disbursements and transfers-out exceeded cash receipts and transfers-in by \$99,577, primarily due to general operating expenses. After including these receipts and disbursements, the balance of cash and investments for the operating funds is \$51.5 million.

For the Operating, Debt Service and Capital Projects funds, cash disbursements and transfers-out exceeded cash receipts and transfers-in by \$743,599, primarily due to monthly operating transfers.

For the Trust Funds, cash disbursements and transfers-out exceeded cash receipts and transfers-in by \$6.33 million, primarily due to payment of 2018 EDA notes.

The total for cash and investments for all funds decreased to \$244.9 million.

Respectfully Submitted,

Stan W. Helgerson
Village Treasurer

Attachment

TREASURER'S REPORT
FOR THE MONTH ENDING October 31, 2019

Fund	Beginning Balance	Receipts/ Transfers - in	Disbursements/ Transfers - Out	Amount in Cash	Amount Invested	Ending Balance
Operating Funds						
General (incl. Veterans' Mem)	\$ 29,195,989	\$ 3,495,547	\$ 4,082,071	\$ 1,297,143	\$ 27,312,322	\$ 28,609,465
Payroll Account	-	2,515,321	2,515,321	-	-	-
Petty Cash	2,100	-	-	2,100	-	2,100
Foreign Fire Ins. Board	129,892	-	-	129,892	-	129,892
Cash, Village Foundation	13,476	50	-	13,526	-	13,526
Cash, Fire Protection District	64,962	3	-	64,964	-	64,964
Motor Fuel Tax	115,368	187,759	243,616	3,125	56,386	59,511
Comm. Dev. Block Grant	1	-	-	1	-	1
Asset Seizure - Federal	751,914	7,549	7,314	747,817	4,331	752,149
Asset Seizure - State	337,943	1,418	-	283,895	55,466	339,361
Asset Seizure - Battle	152	-	-	-	152	152
Asset Seizure - U.S. Marshall	7,782	13	-	7,795	-	7,795
Municipal Waste System	696,413	230,200	453,067	465,658	7,888	473,546
Roselle Road TIF	948,756	131,803	481	958,198	121,880	1,080,078
Higgins/Hassell TIF	377,219	76	182,171	195,124	-	195,124
Barrington/Higgins TIF	505,641	59,860	96	352,858	212,546	565,405
Water & Sewer	11,237,788	2,191,464	1,455,025	3,237,655	8,736,573	11,974,227
Sears Centre Operating	3,645,148	569,800	633,133	3,135,201	446,613	3,581,815
Insurance	2,526,284	142,320	127,808	203,414	2,337,383	2,540,796
Information Systems	1,036,503	162,782	95,445	426,051	677,789	1,103,840
Total Operating Funds	\$ 51,597,655	\$ 9,695,972	\$ 9,795,549	\$ 11,524,416	\$ 39,969,331	\$ 51,498,078
Debt Service						
2015 A & C G.O. Debt Serv.	\$ 1,208,297	\$ 850	\$ 475	\$ 901,642	\$ 307,030	\$ 1,208,672
2016 G.O. Debt Serv.	250,303	4,236	-	254,539	-	254,539
2018 G.O. Debt Serv.	1,081,879	34,237	1,475	1,114,641	-	1,114,641
Total Debt Service Funds	\$ 2,540,480	\$ 39,322	\$ 1,950	\$ 2,270,822	\$ 307,030	\$ 2,577,852
Capital Projects Funds						
Central Road Imp.	\$ 51,885	\$ 36	\$ -	\$ 38,465	\$ 13,457	\$ 51,921
Hoffman Blvd Bridge Maintenance	266,328	28	-	1,336	265,019	266,356
Western Corridor	3,702,409	437	4,583	77,131	3,621,132	3,698,264
Traffic Improvement	15,652	-	-	15,652	-	15,652
Prairie Stone Capital	2,274,112	2,303	1,667	969,575	1,305,172	2,274,747
Road Improvements	4,556,740	1,002,153	1,689,110	830,048	3,039,734	3,869,783
Central Area Road Impact Fee	126,475	49	-	126,524	-	126,524
Western Area Traff. Impr.	26,507	10	-	26,517	-	26,517
West Area Rd Impr. Impact Fee	55,444	22	-	55,465	-	55,465
Capital Improvements	512,293	56,394	117,621	202,708	248,358	451,066
Capital Vehicle & Equipment	941,596	101,228	11,965	936,785	94,074	1,030,859
Capital Replacement	406,335	287	25,000	51,696	329,926	381,622
Stormwater Management	239,899	51,807	46,202	245,503	-	245,503
Total Capital Proj. Funds	\$ 13,175,674	\$ 1,214,754	\$ 1,896,149	\$ 3,577,407	\$ 8,916,872	\$ 12,494,279
Total Operating, Debt Service and Capital Project Funds	\$ 67,313,808	\$ 10,950,049	\$ 11,693,648	\$ 17,372,645	\$ 49,193,233	\$ 66,570,209
Trust Funds						
Police Pension (September)	\$ 76,267,550	\$ 1,698,254	\$ 545,086	\$ 11,001	\$ 77,409,717	\$ 77,420,718
Firefighters Pension (September)	89,042,194	879,435	486,603	69,171	89,365,855	89,435,026
EDA Spec. Tax Alloc.	18,565,809	22,996	7,153,317	457,297	10,978,192	11,435,489
Total Trust Funds	\$ 183,875,554	\$ 2,600,685	\$ 8,185,006	\$ 537,469	\$ 177,753,764	\$ 178,291,233
GRAND TOTAL	\$ 251,189,362	\$ 13,550,734	\$ 19,878,654	\$ 17,910,114	\$ 226,946,996	\$ 244,861,442



VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION
FINDING OF FACT

PROJECT NO.: 2019003P

VILLAGE BOARD MEETING DATE: December 16, 2019

PETITIONER(S): DeSchouw BSM, LLC (Owner) and Winston Knolls Foundation (Applicant)

PROJECT ADDRESS: 2353 Hassell Road

ZONING DISTRICT: B-2 Community Business

Recommendation: **APPROVAL**

Vote: **9 Ayes, 0 Nays, 2 Absent**

PZC MEETING DATE: December 4, 2019

STAFF ASSIGNED: JAMES DONAHUE

MOTION

Request by DeSchouw BSM, LLC (Owner) and Winston Knolls Foundation (Applicant) to consider a special use amendment under Section 9-8-2-C-9 of the Zoning Code and a Site Plan Amendment to permit an outdoor playground for special needs children at the property located adjacent to 2353 Hassell Road, subject to the following conditions:

1. This approval supplants prior special uses (ORD# 4317-2012 & ORD# 4666-2018).
2. No buses shall be parked on site unless they are of a size that allows parking within a legal striped 18 foot deep parking space. All taxi and bus parking shall occur within legal striped parking spaces.
3. There shall be no stopping, standing, or stacking of vehicles in the drive aisles or along the curb in the fire lanes. The property owner and petitioner shall manage all taxi and bus operations on the site so as not to disrupt site circulation or block parking areas. The school shall monitor and manage where staff and visitors park to ensure that cars do not interfere with drop off or pick up parking. If the Village determines that there are problems, as witnessed by illegal parking or standing on the property, the Village shall have the right to require additional signage, site modifications, or other measures to remedy the problems.
4. Students shall be loaded and unloaded at the east entrance of the building only. Students shall be escorted between vehicles and the building by school staff.
5. Any issues between tenants and the school shall be remedied by the property owner.
6. The hours of operation shall be limited to 7:00 a.m. to 6:00 p.m.
7. No overnight boarding of students shall be permitted.
8. Other than use of playground, no formal outdoor activities by the students shall be permitted.
9. Any violation of any of these conditions on the property shall be the responsibility of the business owner and property owner and either shall be subject to citations if violations are not resolved.
10. If the Winston Knolls School closes or moves, the playground shall either be removed or a new site plan request shall be submitted denoting how the playground will be used and maintained.

11. The Special Use shall only remain valid as long as a license agreement between the owner and applicant remains in effect.

FINDING

Winston Knolls School (then called the Chicago Education Project) was approved by the Village as a Special Use (Ordinance #4317-2012) in approximately 16,900 square feet of the north building of Blackberry Falls at 2353 Hassell Road. The Winston Knolls School is a non-public special education school approved by the Illinois State Board of Education as a 501(c) (3) nonprofit organization. They provide school-based services to children (ages 3-19) diagnosed with autism spectrum and related disorders such as emotional and behavioral disorders, developmental disabilities and other health impairments.

In 2018, the petitioner received a Special Use (Ordinance #4666-2018) to expand the services at their current facility to include a Transition Program. The Transition Program focuses on life skills, vocational training, and school transitional training. The tenant space expansion included approximately 3100 additional square feet.

The petitioner is proposing to build an approximately 2800 square foot outdoor playground for their students on the property located adjacent to their school located at 2353 Hassell Road. The adjacent parcel is a storm water detention pond with an expanse of green space on the north side of the pond. The requested addition of the playground for the school warrants updating the special use to include the new outdoor playground.

The petitioner has submitted plans to build their playground in the area immediately west of the Blackberry Falls Office building in which the school is housed. The property is owned by the same company that owns the Barrington Square Town Center (DeSchouw BSM, LLC) and they have entered into license agreement with The Winston Knolls Foundation to allow use of the area depicted on the plans for a playground.

The Commission learned that the subject property is zoned B-2, Community Business District and a non-public special education facility, or a school, is not listed as a permitted or special use in the B-2 District, therefore this request is being considered under Section 9-8-2-C-9 which states "All other uses not heretofore cited in Sections 9-8-1-B (Permitted Uses in B-1), 9-8-1-C (Special Uses in B -1), and 9-8-2-B (Permitted Uses in B-2)".

Section 9-1-18-I of the Zoning Code (Standards for a Special Use) states: "No special use shall be recommended by the Planning and Zoning Commission unless said Planning and Zoning Commission shall find:

1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
4. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;

5. That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets; and
6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Planning and Zoning Commission.

The petitioner provided a response to the standards for a Special Use which was included in the packets and was reviewed by the Planning & Zoning Commission.

The petitioner reviewed the proposed playground for the Commission and noted that the structure would be set back 20' from the Hassell Road property line; which is the minimum front yard setback in the B-2 Zoning District. The plans show that some current landscape would be removed to accommodate the playground, but additional landscape is proposed. The playground will be used by Winston Knolls students and will not be available for use by the general public, although the petitioner noted that the existing preschool (Advanced Preschool) and special education program (GiGi's) located in the Barrington Square Town Center will be permitted to use the playground provided they complete a detailed application process and adhere to the Winston Knolls rules and regulations noted on their application. The playground would be surrounded by a 6' fence with lockable gates and enhanced landscaping around the entire perimeter to reduce access from people trying to enter the play area at night or on the weekends.

The plans show that access to the playground would be via the public sidewalk along Hassell Road. The petitioner explained that students would access the site by exiting on the east side of their building (as they currently do) and walking in the east parking lot area to the public sidewalk and then proceed west (crossing the vehicular entrance to the Blackberry Falls Office site) to the playground. This travel path for the students is not ideal and staff stated that they suggested alternatives to this in earlier discussions, but the petitioners were not interested in pursuing those options due to the loss of parking.

The Commission had questions and comments about the plans, including:

- What's the proximity of the playground to pond? The petitioner estimated approximately 40' to the water's edge.
- A suggestion of using electronic locks on the gates was made.
- How would the Gigi's and Advanced Preschool kids get to the playground? The petitioner stated they would walk along the east side of the Winston Knolls building or use the existing internal sidewalk on the west side of the pond to access the public sidewalk along Hassell Road.
- Will police have access to the playground? The petitioner stated that they work with police now on active shooter training and would provide keys to the police as part of that relationship.
- How will you prevent the general public from accessing the playground? In addition to locked gates, the petitioner stated that they have cameras that are monitored by staff and will have the area lighted as well.

- How will the site be programmed if other schools are using it? The petitioner described the process and rules for the other users.
- It was noted that other parks and schools have playgrounds near ponds without issue and that Advance Daycare currently has kids walking around various areas within the Barrington Towne Center without issue.
- Is the site going to be wheelchair accessible? The petitioner noted yes, it is designed that way.
- One commissioner asked about spacing between slats on the fence and the petitioner noted that this is regulated by the state who would inspect the site upon completion of construction.
- One commissioner asked about staff to student ratio and the petitioner noted that there is typically 1 teacher for every 4-5 students. It was noted that all students in the school would not be on the playground at the same time as the playground would function as more of a learning experience or outdoor classroom.
- A suggestion was made to use motion activated lights to help with security. Petitioner said he would look into it.

The petitioner had no objections to the recommended conditions and by a unanimous vote of 9-0, the Commission recommended approval of the request.

AUDIENCE COMMENTS

None

PLANNING AND ZONING COMMISSIONERS

Chairperson Eva Combs	Adam Bauske
Vice-Chairman Greg Ring	Nancy Trieb
Tom Burnitz	Sohita Patel
Lenard Henderson	Denise Wilson
Myrene Iozzo	Lon Harner
Minerva Milford	

ROLL CALL VOTE

9 Ayes
0 Nays
2 Absent (Trieb, Iozzo)

The following attachments are hereby incorporated as part of this Finding of Fact:

Applications
Engineering Plans
Landscape Plan
Aerial Photo



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT NO.: 2019003P

PROJECT NAME: WINSTON KNOLLS SCHOOL
PLAYGROUND

PROJECT ADDRESS/LOCATION: 2353 HASSELL ROAD

PUBLIC HEARING
YES NO

REZONING MASTER SIGN PLAN SPECIAL USE VARIATION
SITE PLAN AMENDMENT PLAT

MEETING DATE: DECEMBER 4, 2019

STAFF ASSIGNED: JIM DONAHUE

REQUESTED MOTION

Request by DeSchouw BSM, LLC (Owner) and Winston Knolls Foundation (Applicant) to consider a special use amendment under Section 9-8-2-C-9 of the Zoning Code and a Site Plan Amendment to permit an outdoor playground for special needs children at the property located adjacent to 2353 Hassell Road.

INCLUDES RECOMMENDED CONDITIONS
YES NO

ACRES: 2.0 (APPROXIMATE)	ZONING DISTRICT: B-2, COMMUNITY BUSINESS DISTRICT	
ADJACENT	NORTH: OFFICE BUILDINGS, ZONED B-2	SOUTH: BARRINGTON SQUARE MALL, ZONED B-2
PROPERTIES:	EAST: TOWNHOMES, ZONED R-10	WEST: DETENTION POND, ZONED B-2

BACKGROUND

In 2012, the Village approved the Chicago Education Project as a Special Use (Ordinance #4317-2012) in approximately 16,900 square feet of the north building of Blackberry Falls at 2353 Hassell Road. The school is now called Winston Knolls School. The Winston Knolls School is a non-public special education school approved by the Illinois State Board of Education as a 501(c) (3) nonprofit organization. They provide school-based services to children (ages 3-19) diagnosed with autism spectrum and related disorders such as emotional and behavioral disorders, developmental disabilities and other health impairments.

In 2018, the petitioner received a Special Use (Ordinance #4666-2018) to expand the services at their current facility to include a Transition Program. The Transition Program focuses on life skills, vocational training, and school transitional training. The tenant space expansion included approximately 3100 additional square feet.

PROPOSAL

The petitioner is proposing to build an approximately 2800 square foot outdoor playground for their students on the property located adjacent to their school located at 2353 Hassell Road. The adjacent parcel is a storm water detention pond with an expanse of green space on the north side of the pond. The petitioner has submitted plans to build their playground in the area immediately west of the Blackberry Falls Office building in which the school is housed. The property is owned by the same company that owns the Barrington Square Town Center (DeSchouw BSM, LLC) and they have entered into license agreement with The Winston Knolls Foundation to allow use of the area depicted on the plans for a playground.

SPECIAL USE – ZONING CODE SECTION 9-8-2-C-9

The subject property is zoned B-2, Community Business District.

A non-public special education facility, or a school, is not listed as a permitted or special use in the B-2 District, therefore this request is being considered under Section 9-8-2-C-9 which states “All other uses not heretofore cited in Sections 9-8-1-B (Permitted Uses in B-1), 9-8-1-C (Special Uses in B -1), and 9-8-2-B (Permitted Uses in B-2)”. The addition of the playground for the school warrants updating the special use to include the new outdoor playground.

Section 9-1-18-l of the Zoning Code (Standards for a Special Use) states: “No special use shall be recommended by the Planning and Zoning Commission unless said Planning and Zoning Commission shall find:

1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
4. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;
5. That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets; and
6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Planning and Zoning Commission.

The petitioner has addressed the Standards for Special Use in their application.

NOTIFICATION

Standard notification letters have been sent to surrounding properties within 300 feet and no comments have been received.

SITE PLAN

The proposed playground would be set back 20' from the Hassell Road property line; which is the minimum front yard setback in the B-2 Zoning District. Some current landscape would be removed to accommodate the playground, but additional landscape is proposed. The playground will be used by Winston Knolls students and will not be available for use by the general public. The playground would be surrounded by a 6' fence with lockable gates and enhanced landscaping around the entire perimeter to reduce access from people trying to enter the play area at night or on the weekends.

Access to the playground would be via the public sidewalk along Hassell Road. Students would access the site by exiting on the east side of their building (as they currently do) and walking in the east parking lot area to the public sidewalk and then proceed west (crossing the vehicular entrance to the Blackberry Falls Office site) to the playground. This travel path for the students is not ideal and staff suggested alternatives to this in earlier discussions, but the petitioners were not interested in pursuing those options.

A condition has been added that if the school closes or moves, the playground shall be removed or a new site plan approval shall be applied for to address the future use of the playground.

The recommended conditions of approval are carry overs from the initial special use and the 2nd one. An additional condition has been added as noted above.

RECOMMENDED CONDITIONS

If the Planning & Zoning Commission finds that the standards for a special use have been met, staff recommends the following conditions:

1. This approval supplants prior special uses (ORD# 4317-2012 & ORD# 4666-2018).
2. No buses shall be parked on site unless they are of a size that allows parking within a legal striped 18 foot deep parking space. All taxi and bus parking shall occur within legal striped parking spaces.
3. There shall be no stopping, standing, or stacking of vehicles in the drive aisles or along the curb in the fire lanes. The property owner and petitioner shall manage all taxi and bus operations on the site so as not to disrupt site circulation or block parking areas. The school shall monitor and manage where staff and visitors park to ensure that cars do not interfere with drop off or pick up parking. If the Village determines that there are problems, as witnessed by illegal parking or standing on the property, the Village shall have the right to require additional signage, site modifications, or other measures to remedy the problems.
4. Students shall be loaded and unloaded at the east entrance of the building only. Students shall be escorted between vehicles and the building by school staff.
5. Any issues between tenants and the school shall be remedied by the property owner.
6. The hours of operation shall be limited to 7:00 a.m. to 6:00 p.m.

Meeting Date: December 4, 2019

7. No overnight boarding of students shall be permitted.
8. Other than use of playground, no formal outdoor activities by the students shall be permitted.
9. Any violation of any of these conditions on the property shall be the responsibility of the business owner and property owner and either shall be subject to citations if violations are not resolved.
10. If the Winston Knolls School closes or moves, the playground shall either be removed or a new site plan request shall be submitted denoting how the playground will be used and maintained.
11. The Special Use shall only remain valid as long as a license agreement between the owner and applicant remains in effect.

Attachments: Special Use Application
 Engineering Submittals
 Legal Description
 Location Map
 Aerial Photo



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING GENERAL APPLICATION*

Special Use for _____ Rezoning from _____ to _____

Variation: Commercial Residential Sign

Plat (Subdivision & Others): Preliminary Final

Site Plan: Amendment Concept Preliminary Final

Master Sign Plan: Amendment

Other: _____

*** ADDENDUM MATERIALS ARE REQUIRED FOR SPECIFIC REQUESTS**

Posting of Notification Sign(s) may be required.

Specific requirements will be provided when your request is scheduled.

FOR VILLAGE USE ONLY		
Hearing Fee \$ <u>1000⁰⁰</u>	Check No. <u>11509</u>	Date Paid <u>11/27/19</u>
Project Number: <u>2019003P</u>		
Staff Assigned: <u>J. DONAHUE</u>		
Meeting Date: <u>12/4/19</u>	Public Hearing: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
Sign Posting Required: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Date Sign Posted <u>11/23/19</u>	

PLEASE PRINT OR TYPE

Date: 10/22/19

Project Name: Winston Knolls School Playground

Project Description: Proposed Sensory Playground for Special Needs Children

Project Address/Location: 2353 Hassell Rd. #110

Property Index No. 07-07-205-005/07-07-200-257

Acres: +/- 24 Zoning District: B-2

I. Owner of Record

Name		DeSchouw BSM, LLC	
2314 W Higgins Road		Hoffman Estates	
Street Address		City	
IL	60169	847-885-4160	
State	Zip Code	Telephone Number	
Fax Number		joe@carusodevelopment.com	
		E-Mail Address	

II. Applicant (Contact Person/Project Manager)

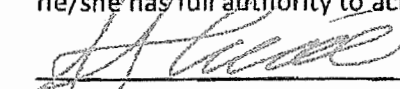
Val Belmonte		Winston Knolls Foundation	
2353 Hassell Road, Suite 110		Hoffman Estates	
Street Address		City	
IL	60169	630-283-3223	
State	Zip Code	Telephone Number	
Fax Number		vbelmonte@wknollsfoundation.org	
		E-Mail Address	

Applicant's relationship to property: Tenant

III. Owner Consent for Authorized Representative

It is required that the property owner or his designated representative be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. **If the owner cannot be present at the meeting, the following statement must be signed by the owner:**

I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize Dan Olson to act on my behalf and advise that he/she has full authority to act as my/our representative.



Owner Signature
AUTHORIZED REPRESENTATIVE



Print Name

IV. Acknowledgement(s)

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

The Owner and Applicant, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature:

[Handwritten Signature] (Authorized Representative)

Owner's Name (Please Print):

JOSEPH A. CAUSO
WASCHOW EST

Applicant's Signature:
(If other than Owner)

Val Belmonte*

Applicant's Name (Please Print):

VAL BELMONTE: President WK Foundation

Date:

10-22-19

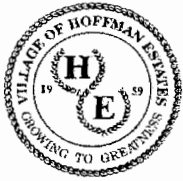
All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.

Please contact the Planning Division (located in the Municipal Building) with any questions:

Email: planning@hoffmanestates.org
Address: 1900 Hassell Road
Hoffman Estates, IL 60169
Phone: (847) 781-2660
Fax: (847) 781-2679

Addendums Attached:

- Special Use
- Rezoning
- Variation
- Plat
- Site Plan
- Master Sign Plan
- Other _____



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION SPECIAL USE ADDENDUM

REQUIRED SUBMITTALS:

- General Application
- \$500 Special Use hearing fee/\$750 for "All Other Uses"
- Legal Description
Typically found on a tax bill, survey, mortgage documents or deed
- Current Plat of Survey drawn to scale
- (N/A) A scale drawing of the floor plan and elevations, including windows and door locations.
- A Project Narrative detailing the use, hours of operation, parking demand, etc. Provide relevant plans, studies, and any other documents to support the request.
- A written response to each of the Standards for a Special Use (see below).

You are responsible for posting a notification sign(s) on your property 10 days before the Planning & Zoning Commission hearing and removing the sign(s) 10 days after final Village Board action. Specific requirements will be provided by Planning Staff.

No special use shall be recommended by the Planning and Zoning Commission unless said Commission finds that adequate evidence is provided to meet the Special Use Standards. (Respond to each standard as it applies to your request either below or address on a separate sheet)

1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

The proposed Sensory Playground for Special Needs
Children will enhance and not be detrimental to the
public health, safety, morals, comfort, or gen. welfare
Security fencing, lighting and cameras will ensure that
the playground will be used safely as intended.

2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;

The surrounding area is non-residential and is home to several uses that will benefit from the playground. Esthetically, the playground equipment, fencing and landscaping is all new and will be visually pleasing and discrete.

3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;

The development necessitating this SPU addendum is an under utilized landscape area.

The improvements being proposed will not impede the normal and orderly development of the surrounding property.

4. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;

All necessary utilities, access roads, drainage and/or facilities are either existing or being provided as part of the proposed development.

5. That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets; and

No changes to the existing ingress/egress are proposed. Access serving the proposed playground will be internal pedestrian only.

6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Planning and Zoning Commission.

The special use will in all other respects conform
to the applicable regulations of the district in which
it is located, except in each instance as such
regulations may be modified by the Village Board
pursuant to the recommendation of
the Planning and Zoning Commission.

**NOTICE OF
PUBLIC HEARING**

Notice is hereby given that the Planning and Zoning Commission of the Village of Hoffman Estates will hold a public hearing at the request of DeSchouw BSM, LLC (Owner) and Winston Knolls Foundation (Applicant) to consider a special use amendment under the Zoning Code to permit an outdoor playground for special needs children at the property located adjacent to 2353 Hassell Road.
P.I.Ns.: 07-07-205-005-0000
07-07-200-257-0000
The hearing will be held on Wednesday, December 4, 2019 at 7:00 p.m. in the Hoffman Estates Municipal Building, 1900 Hassell Road, Hoffman Estates, IL.
Eva Combs, Chairperson
Planning and Zoning
Commission
Published in Daily Herald
November 19, 2019 (4535987)

CERTIFICATE OF PUBLICATION
Paddock Publications, Inc.

Daily Herald


Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **DAILY HERALD**. That said **DAILY HERALD** is a secular newspaper and has been circulated daily in the Village(s) of Algonquin, Antioch, Arlington Heights, Aurora, North Aurora, Bannockburn, Barrington, Barrington Hills, Lake Barrington, North Barrington, South Barrington, Bartlett, Batavia, Buffalo Grove, Burlington, Campton Hills, Carpentersville, Cary, Crystal Lake, Deerfield, Deer Park, Des Plaines, Elburn, East Dundee, Elgin, South Elgin, Elk Grove Village, Fox Lake, Fox River Grove, Franklin Park, Geneva, Gilberts, Glenview, Grayslake, Green Oaks, Gurnee, Hainesville, Hampshire, Hanover Park, Hawthorn Woods, Highland Park, Highwood, Hoffman Estates, Huntley, Inverness, Island Lake, Kildeer, Lake Bluff, Lake Forest, Lake in the Hills, Lake Villa, Lake Zurich, Libertyville, Lincolnshire, Lindenhurst, Long Grove, Melrose Park, Montgomery, Morton Grove, Mt. Prospect, Mundelein, Niles, Northbrook, Northfield, Northlake, Palatine, Park Ridge, Prospect Heights, River Grove, Riverwoods, Rolling Meadows, Rosemont, Round Lake, Round Lake Beach, Round Lake Heights, Round Lake Park, Schaumburg, Schiller Park, Sleepy Hollow, St. Charles, Streamwood, Sugar Grove, Third Lake, Tower Lakes, Vernon Hills, Volo, Wadsworth, Wauconda, Waukegan, West Dundee, Wheeling, Wildwood, Wilmette

County(ies) of Cook, Kane, Lake, McHenry
and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the **DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 11/19/2019 in said **DAILY HERALD**.

IN WITNESS WHEREOF, the undersigned, the said **PADDOCK PUBLICATIONS, Inc.**, has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

PADDOCK PUBLICATIONS, INC.
DAILY HERALD NEWSPAPERS

BY 
Authorized Agent

Control # 4535987



November 26, 2019

Village of Hoffman Estates
Attn: Jim Donahue, Senior Planner
1900 Hassell Road
Hoffman Estates, IL 60169

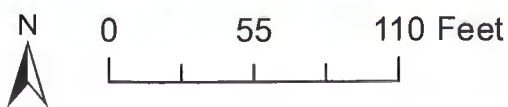
RE: Project Narrative for The Winston Knolls School (School for Autism)
Sensory Playground for Special Needs Children
2353 Hassel Road, Hoffman Estates, IL

The Winston Knolls Foundation (Foundation) is embarking on an initiative for The Winston Knolls School (School) to build a playground specifically designed for students with Autism Spectrum Disorder. This will provide the students outdoor play space offering life skill experiences and therapeutic programing. The Foundation that serves as the philanthropic entity of The School. The Foundation helps families affected by Autism Spectrum Disorder (ASD) understand and access essential education and therapeutic support with ease and efficiency so that children with Autism have every opportunity to achieve their best life.

The Winston Knolls School (School) is a non-public special education school approved by the Illinois State Board of Education. The School provides school-based services to children (ages 3-21.11) diagnosed with Autism Spectrum Disorder and related disorders such as emotional / behavioral disorders, developmental disabilities and other health impairments. The School is a Pre-Kindergarten through 12th grade school also offering a transition program for students beyond the 12th grade and until age 21.11. Students come from more than 30 different school districts throughout the Chicagoland area and are grouped in classes based on their age and current learning performance.

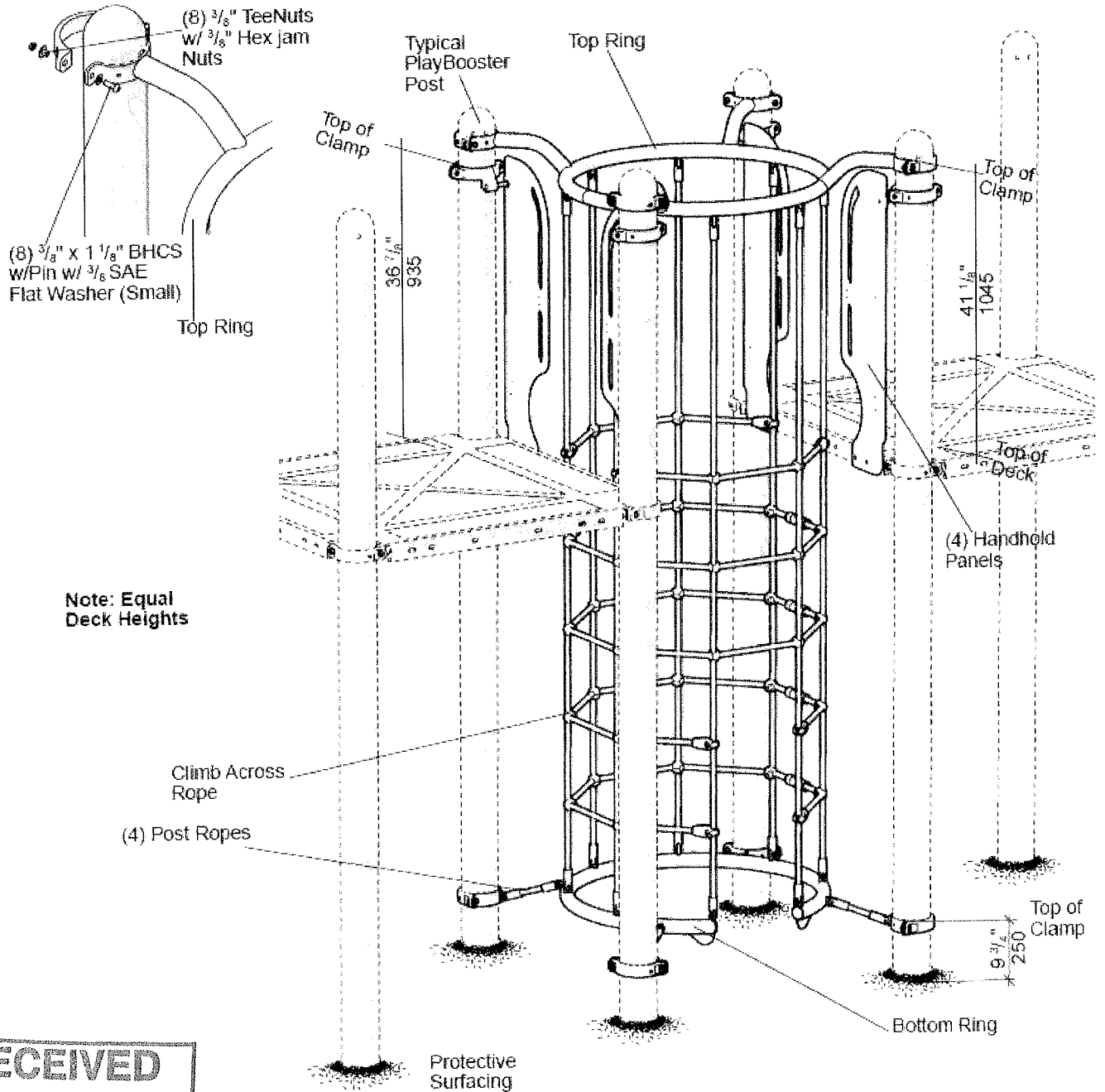
Autism is complex. Some children are non-verbal while others have no problem speaking. Children with Autism have a difficult time socializing and rarely interact successfully with other children in free play situations without a great deal of work. The playground is the perfect place to practice skills: social skills, balancing, how the body relates to the space around it, and how it reacts to height and speed. Many children with Autism are in therapy programs to learn to deal with these situations. The playground offers them a fun place to practice what they learn. The playground can be a space to better understand one's own ability to regulate input and practice socialization.

Winston Knolls Outdoor Playground

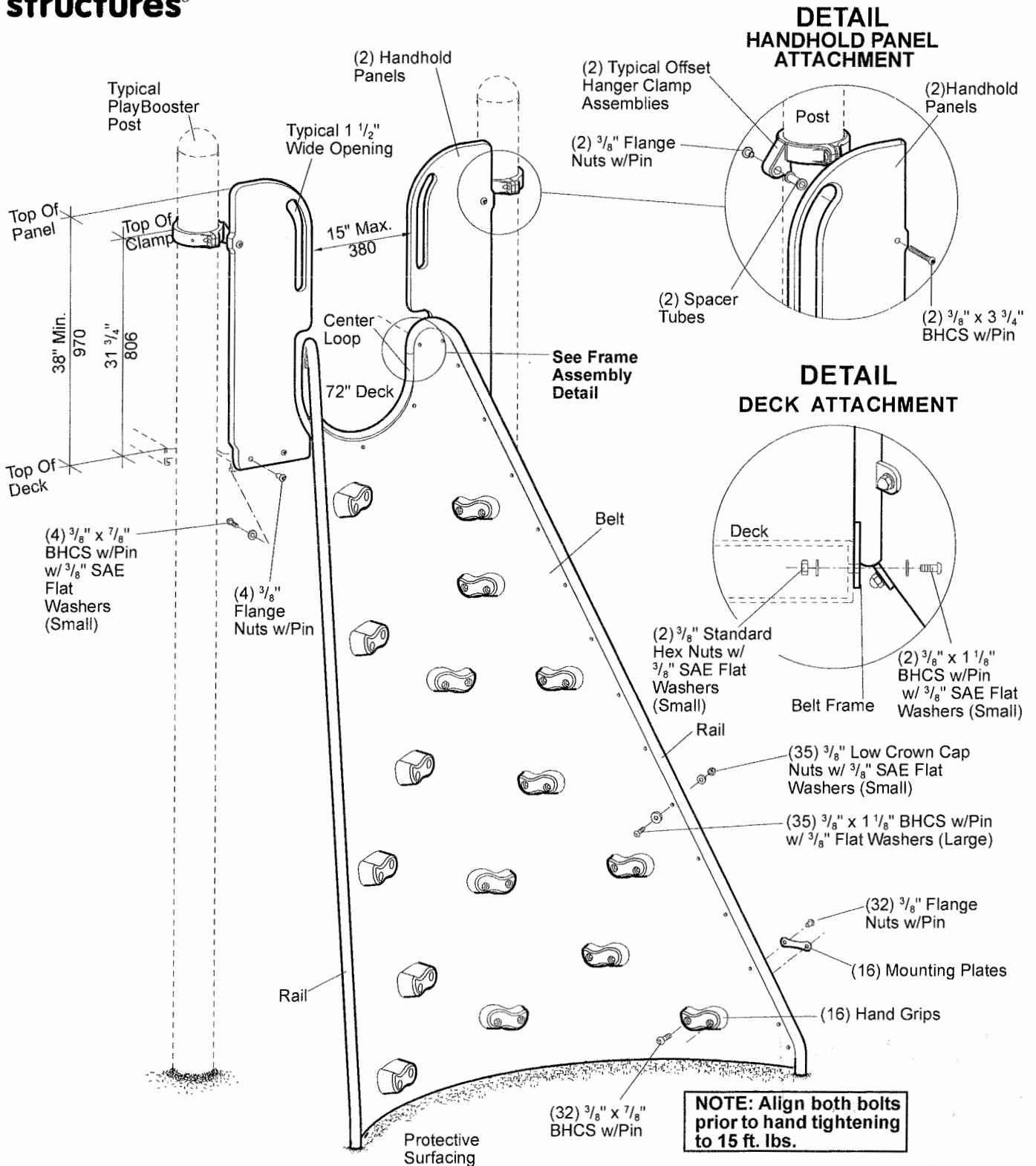


Planning Division
Village of Hoffman Estates
December 2019

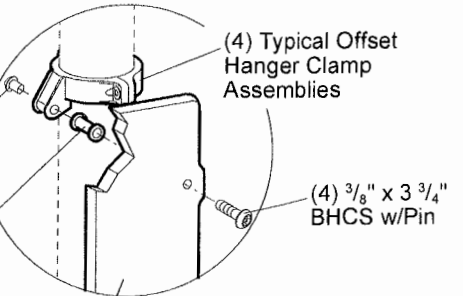
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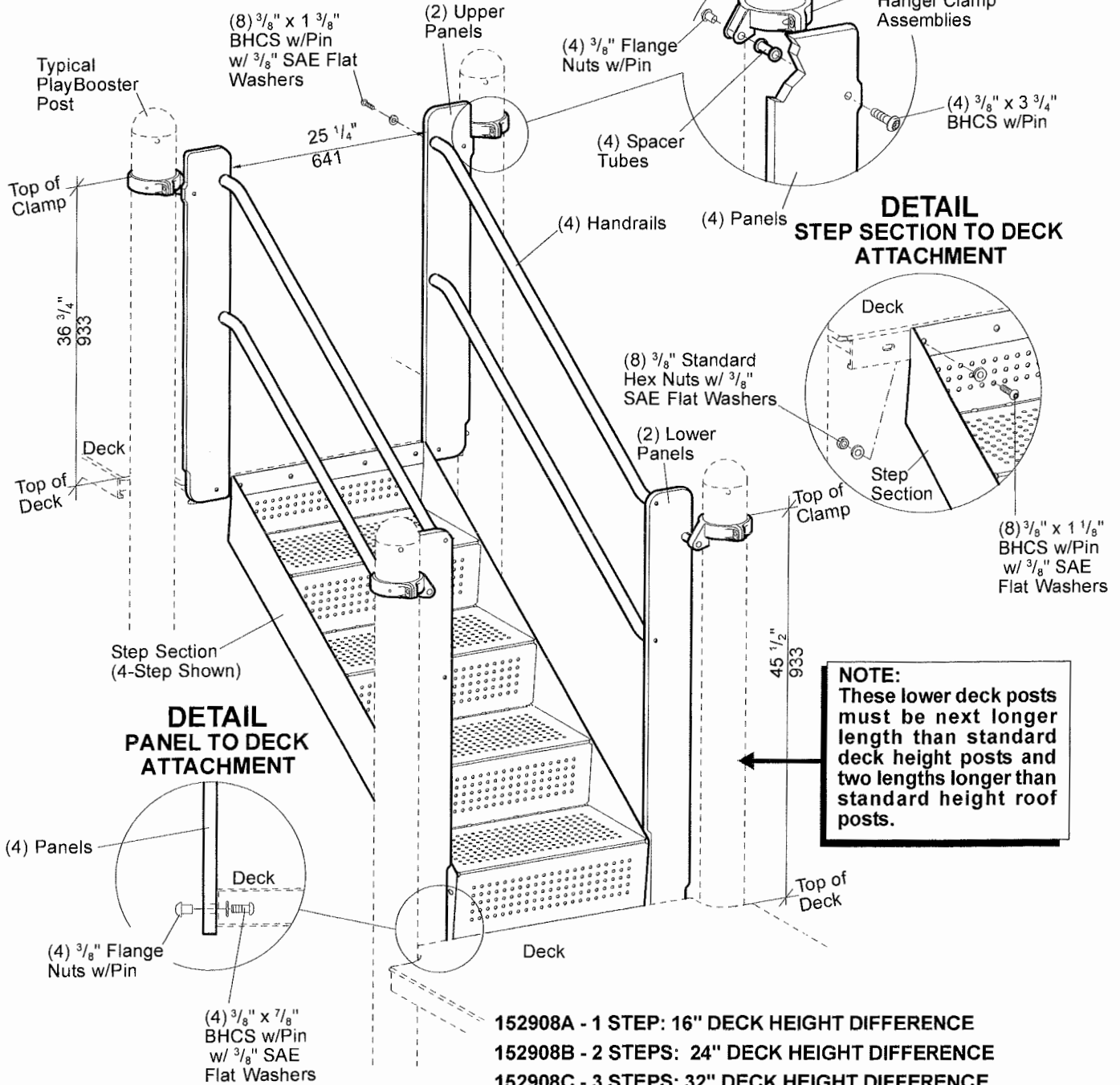
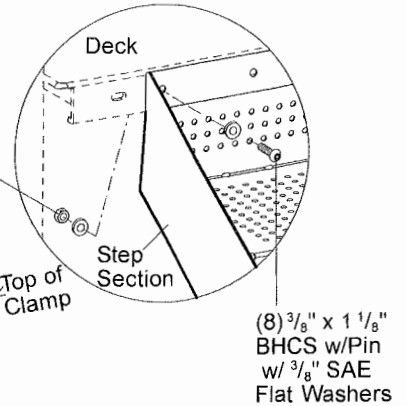
RECEIVED
 NOV 27 2019
 PLANNING DIVISION



**DETAIL
PANEL TO CLAMP
ATTACHMENT**

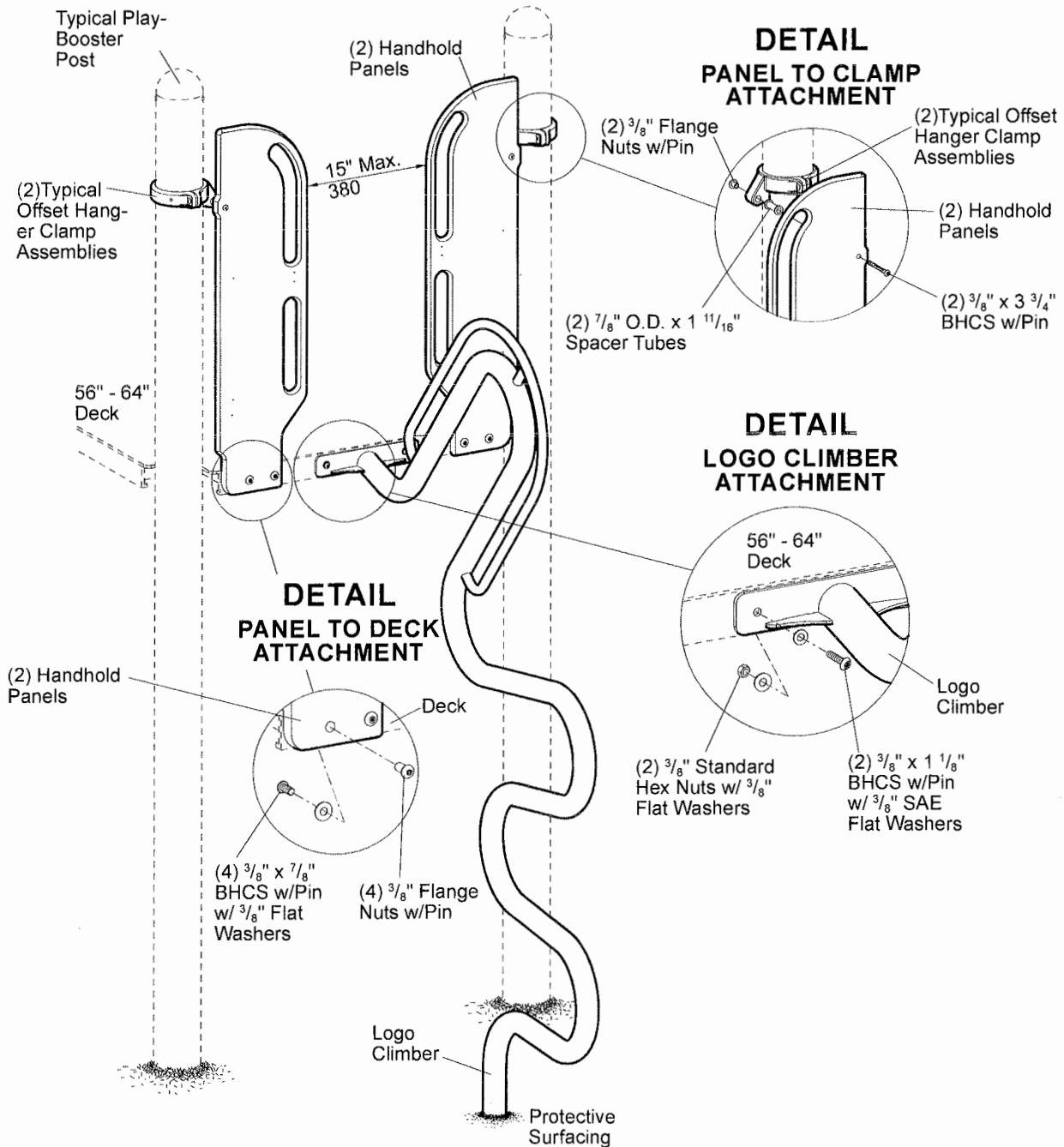


**DETAIL
STEP SECTION TO DECK
ATTACHMENT**

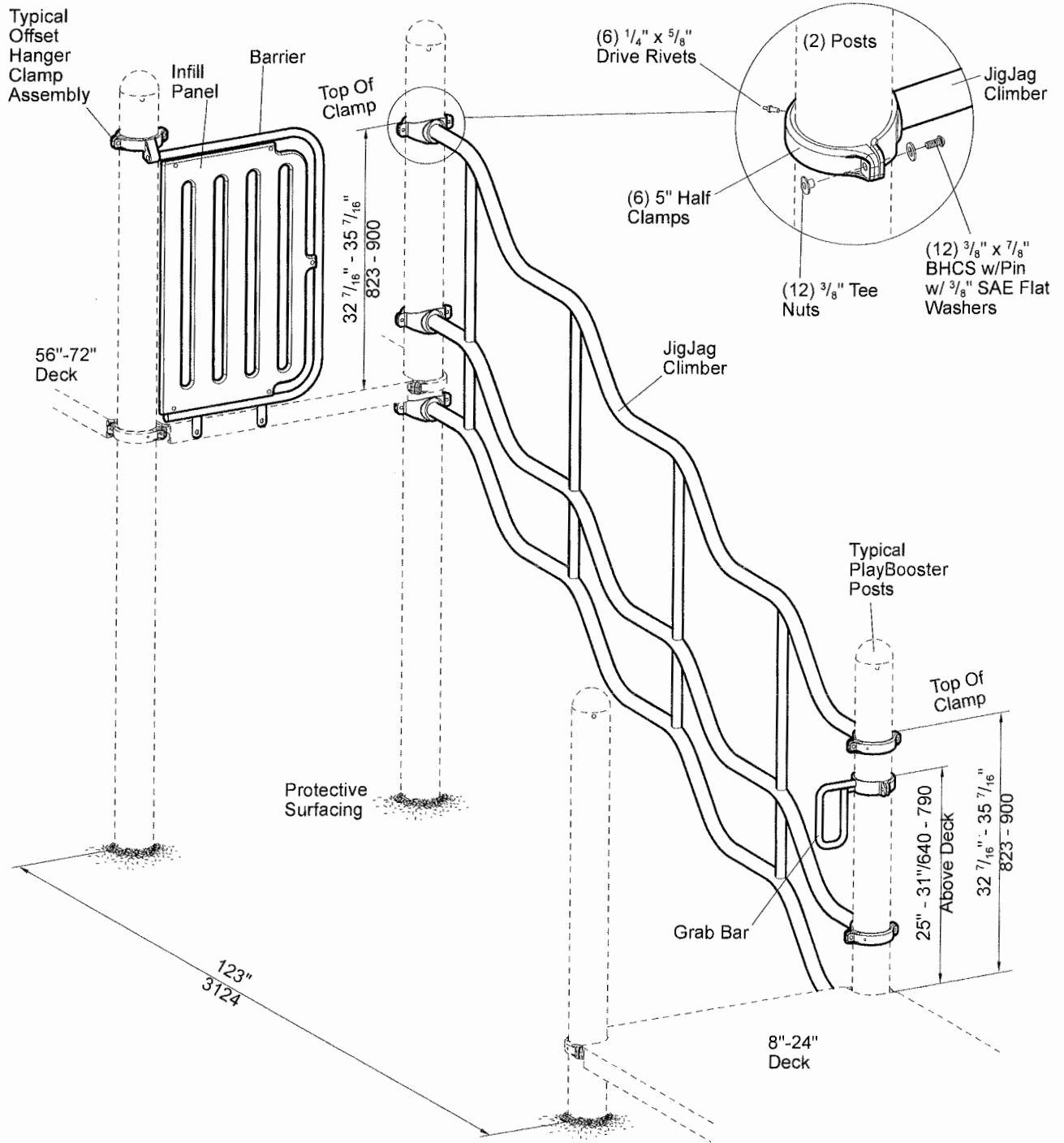


NOTE:
 These lower deck posts must be next longer length than standard deck height posts and two lengths longer than standard height roof posts.

- 152908A - 1 STEP: 16" DECK HEIGHT DIFFERENCE
- 152908B - 2 STEPS: 24" DECK HEIGHT DIFFERENCE
- 152908C - 3 STEPS: 32" DECK HEIGHT DIFFERENCE
- 152908D - 4 STEPS: 40" DECK HEIGHT DIFFERENCE



**DETAIL
JIGJAG CLIMBER
ATTACHMENT**



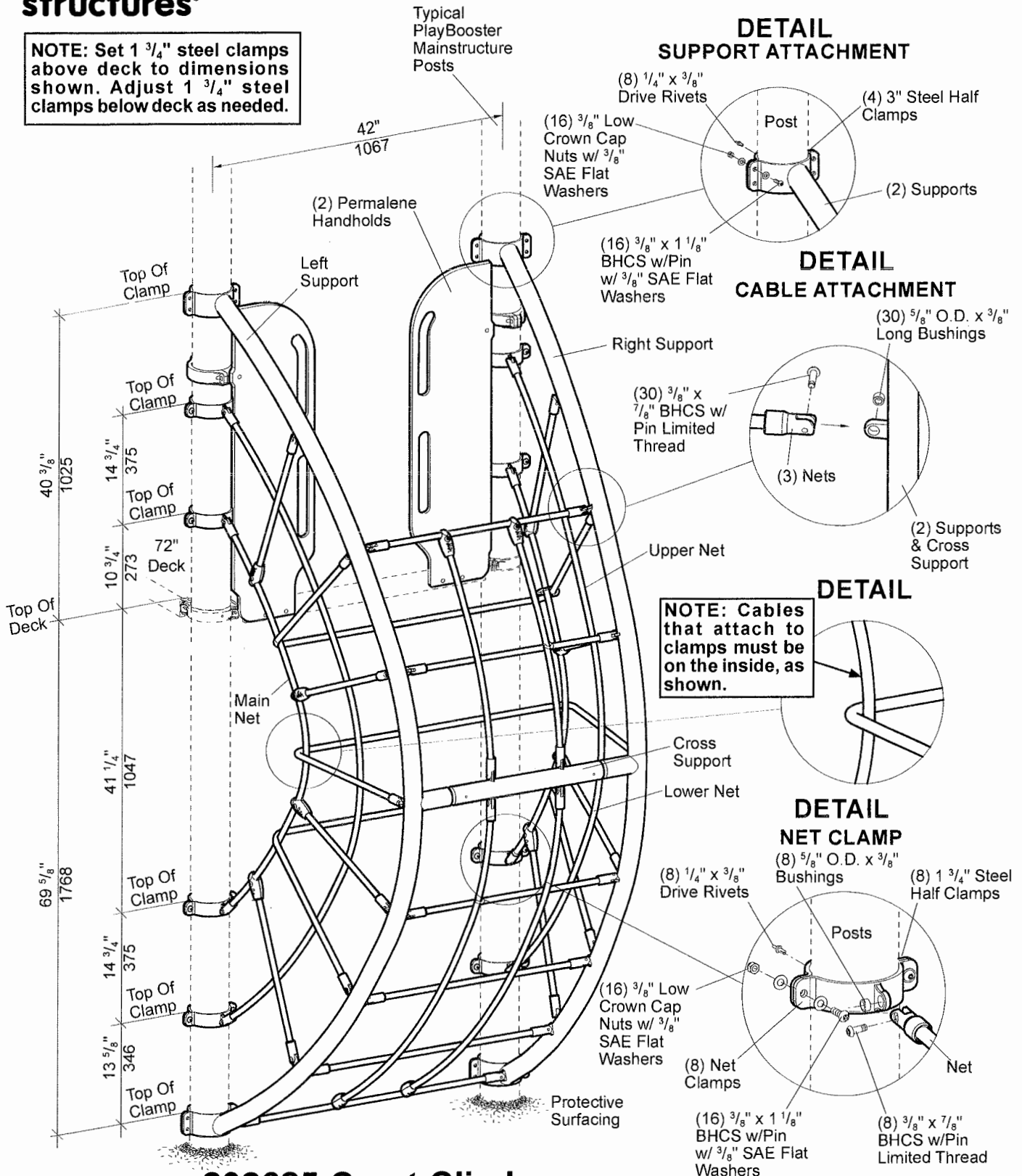
PlayBooster® 201887 JigJag Climber, Deck to Deck w/Permalene® Barrier

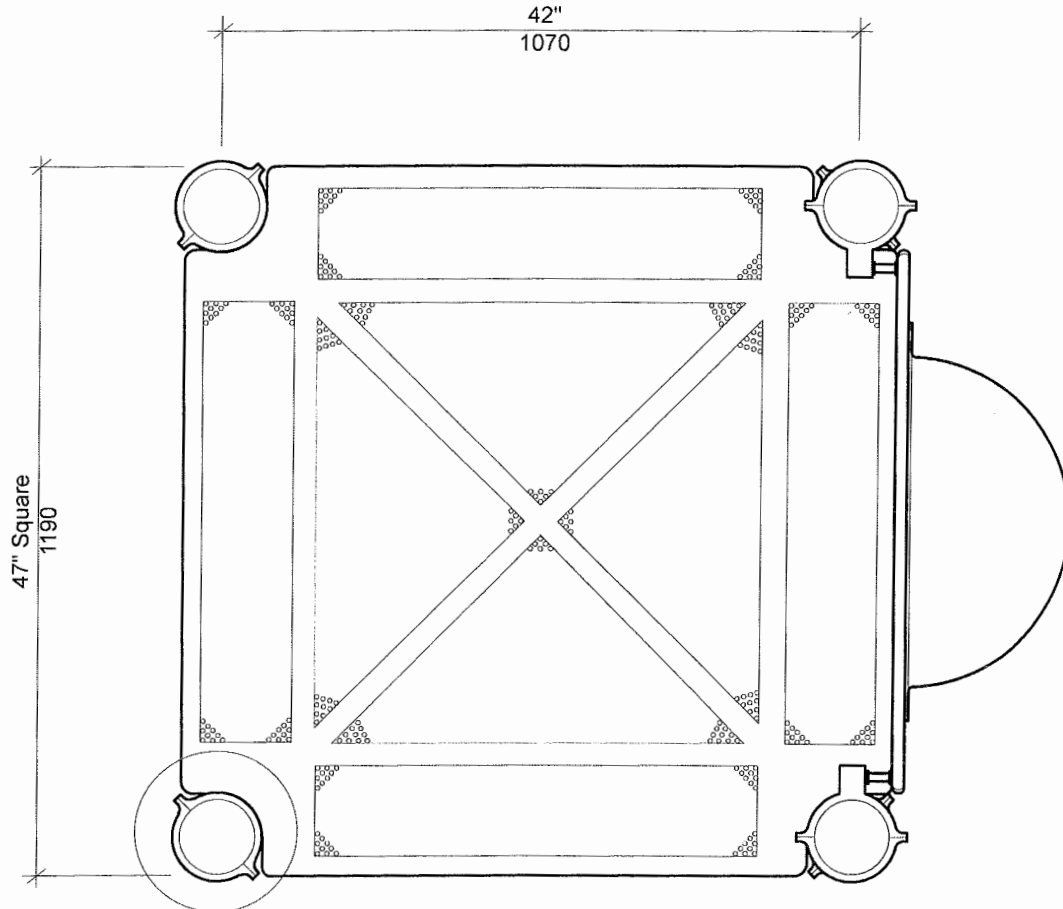
601 7TH STREET SOUTH, DELANO, MINNESOTA 55328-8605 888-574-4678 LSI Install Help 888-438-6574 LSI Direct 763-972-5200 Int. FAX (763) 972-3185

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Sheet 1 of 2 Document #22368700

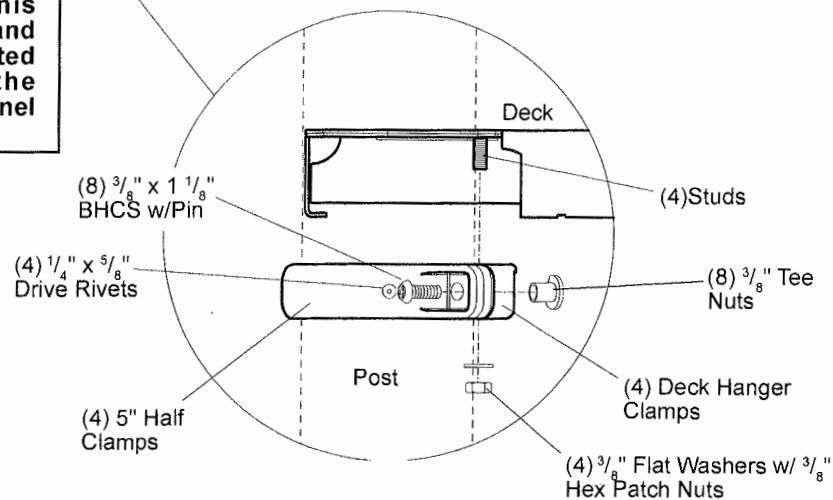
NOTE: Set 1 3/4" steel clamps above deck to dimensions shown. Adjust 1 3/4" steel clamps below deck as needed.

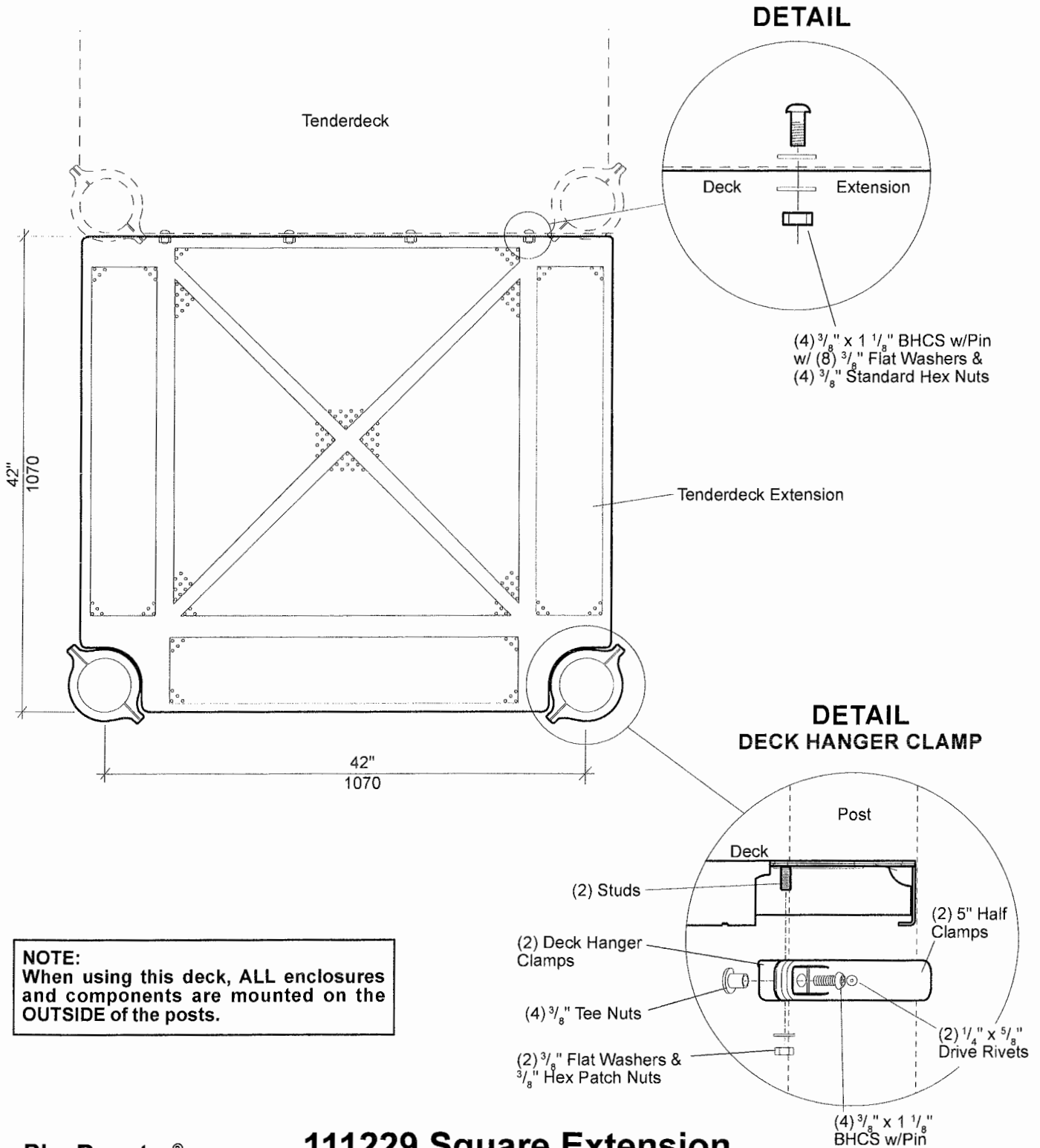


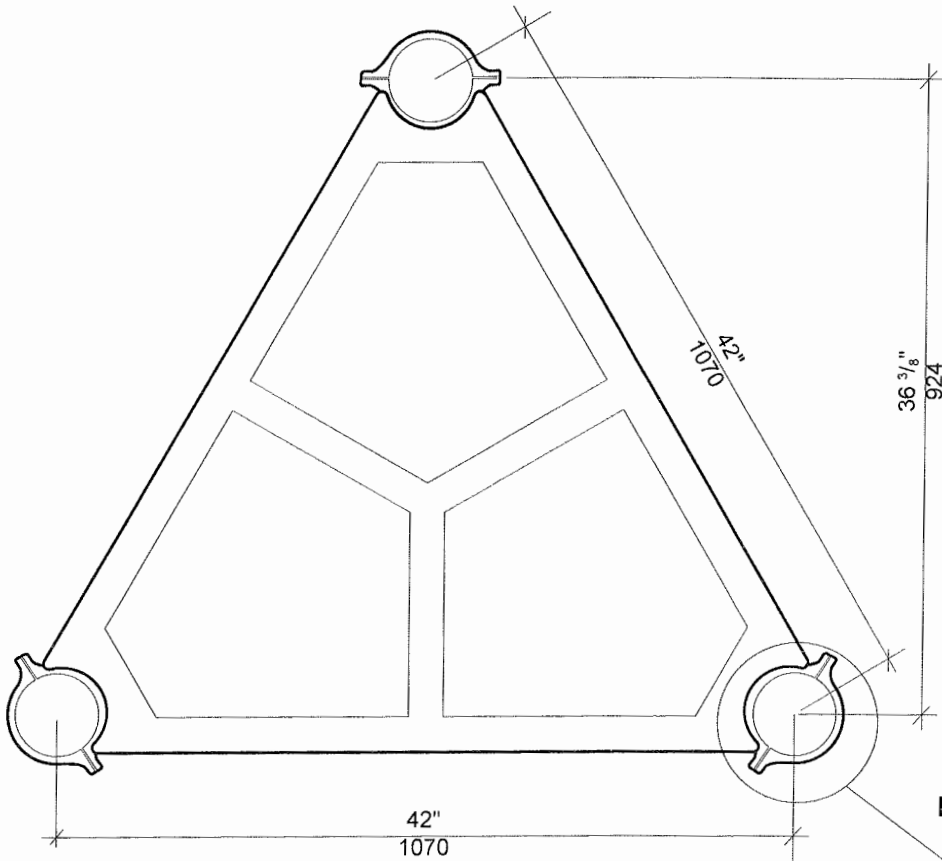


**DETAIL
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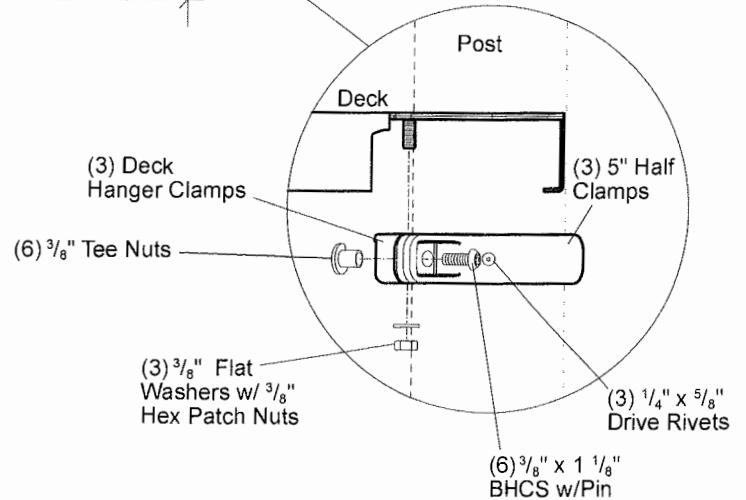
NOTE: When using this deck, ALL enclosures and components are mounted on the OUTSIDE of the posts like the bubble panel shown above.



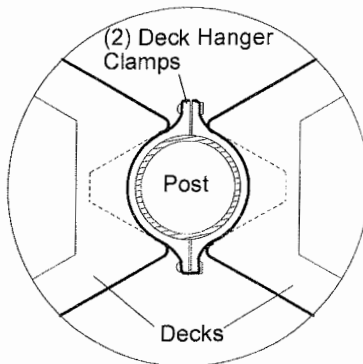




**DETAIL
 DECK HANGER CLAMP**

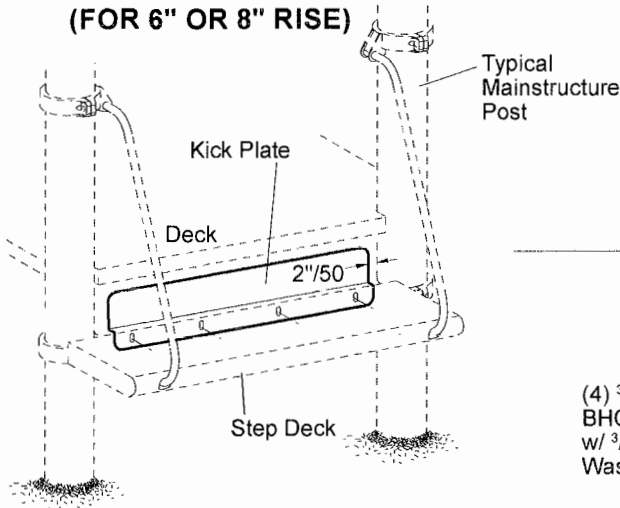


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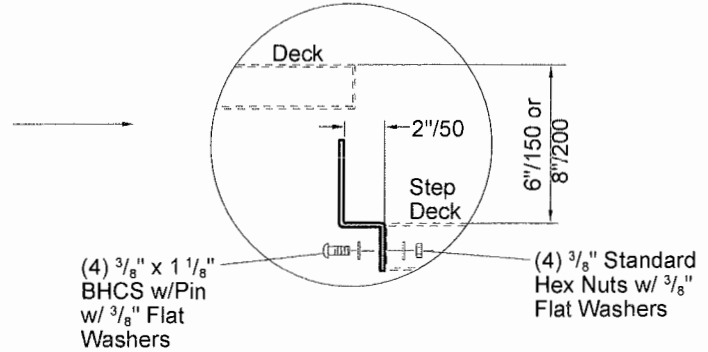


Configuration for Back to Back Decks at Same Height.

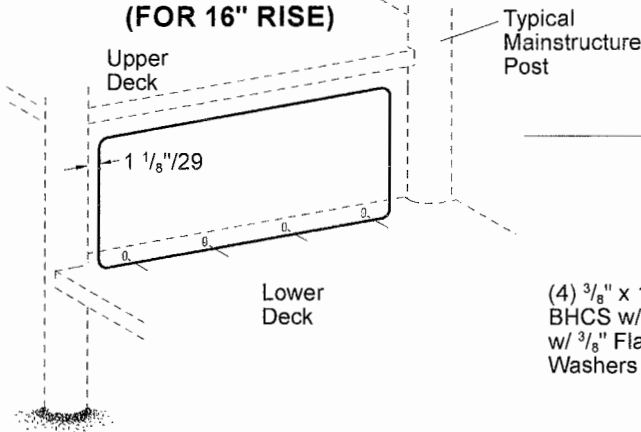
**KICK PLATE
(FOR 6" OR 8" RISE)**



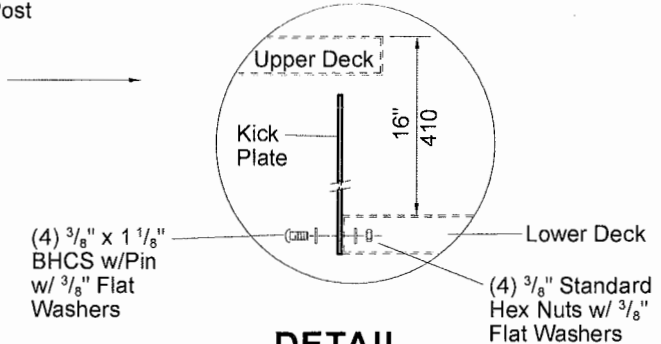
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KICK PLATE ATTACHMENT
(FOR 6" OR 8" RISE)**



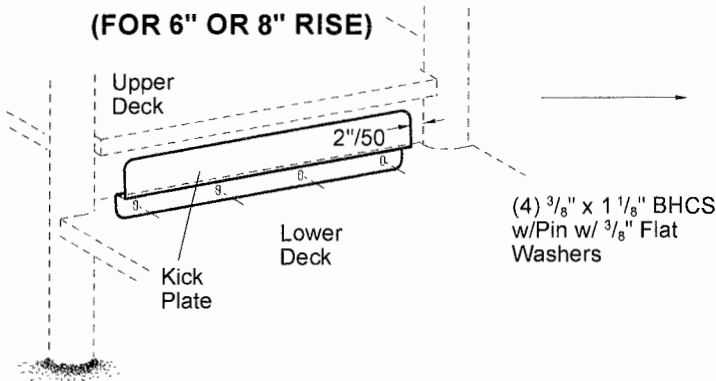
**KICK PLATE
(FOR 16" RISE)**



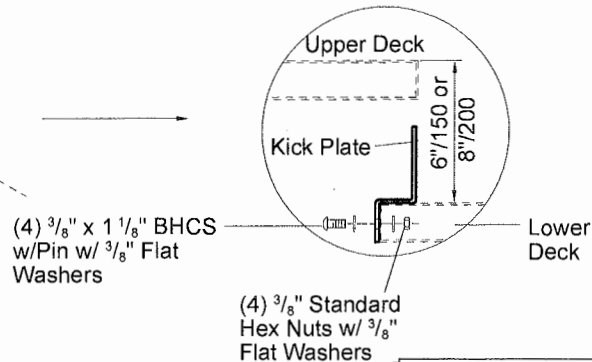
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KICK PLATE ATTACHMENT
(FOR 16" RISE)**



**KICK PLATE
(FOR 6" OR 8" RISE)**



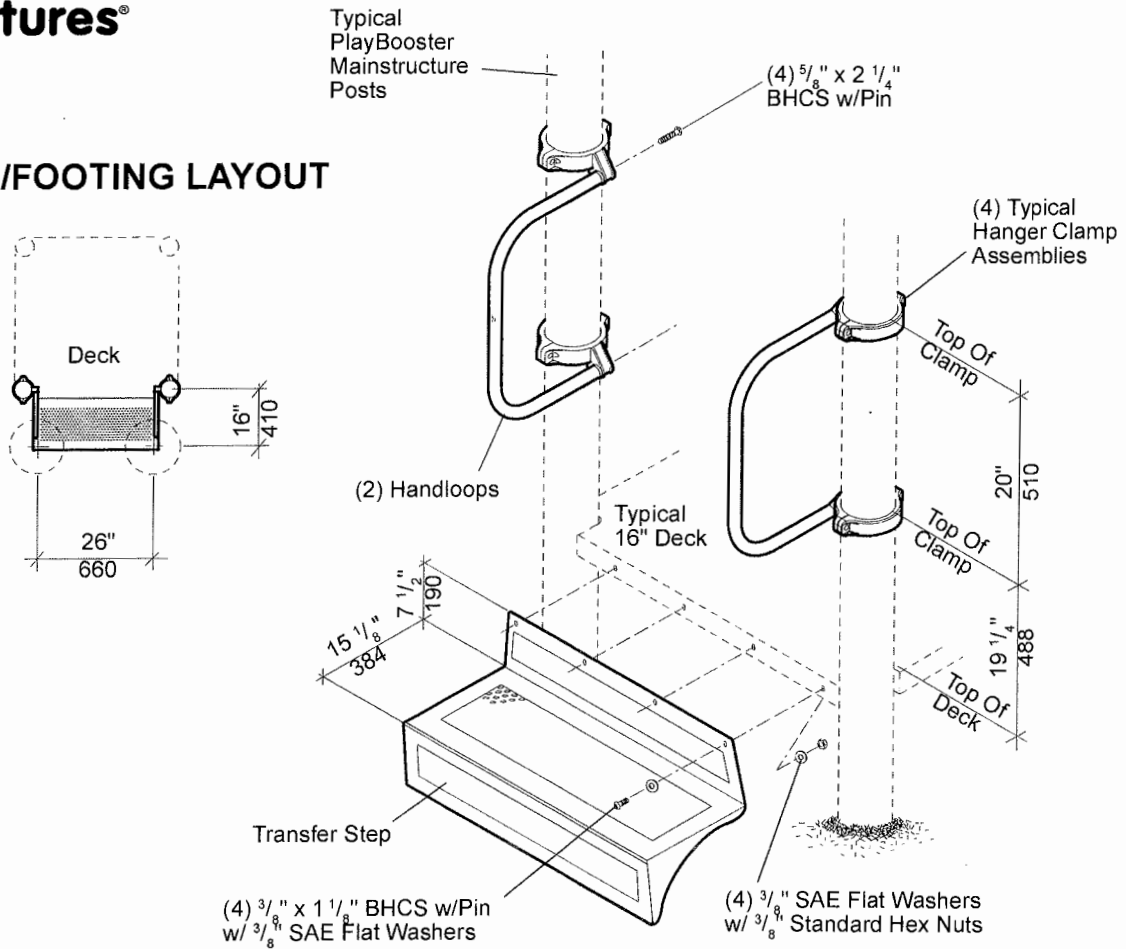
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KICK PLATE ATTACHMENT
(FOR 6" OR 8" RISE)**



NOTE: Kick Plates mount to face of lower deck.

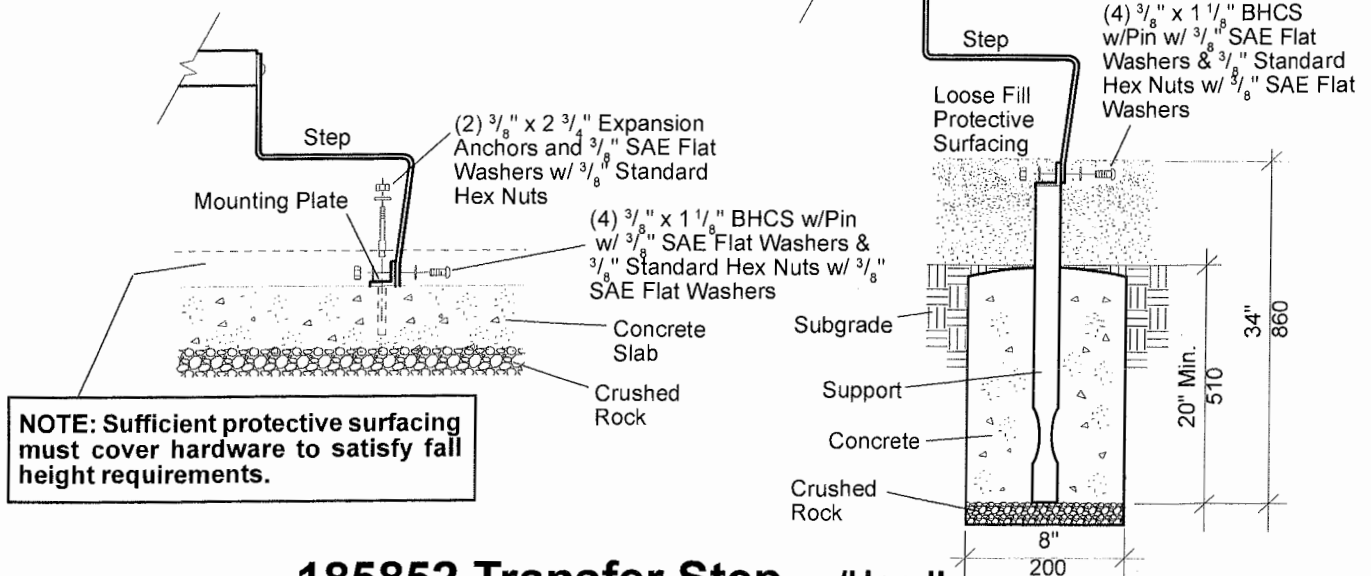
PlayBooster® 121948 Kick Plates, Tenderdecks, 6", 8" & 16"

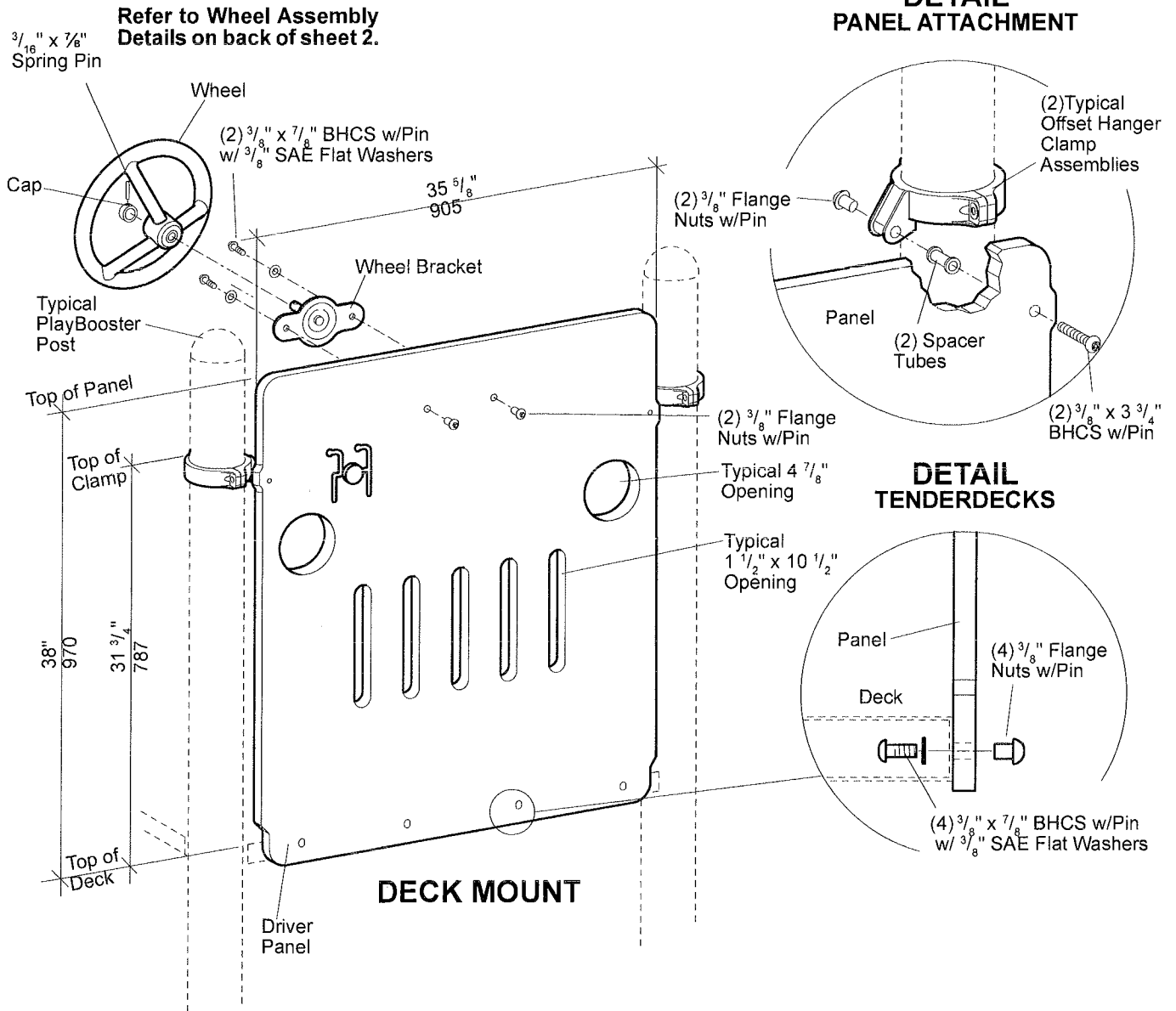
PLAN/FOOTING LAYOUT



DIRECT BURY

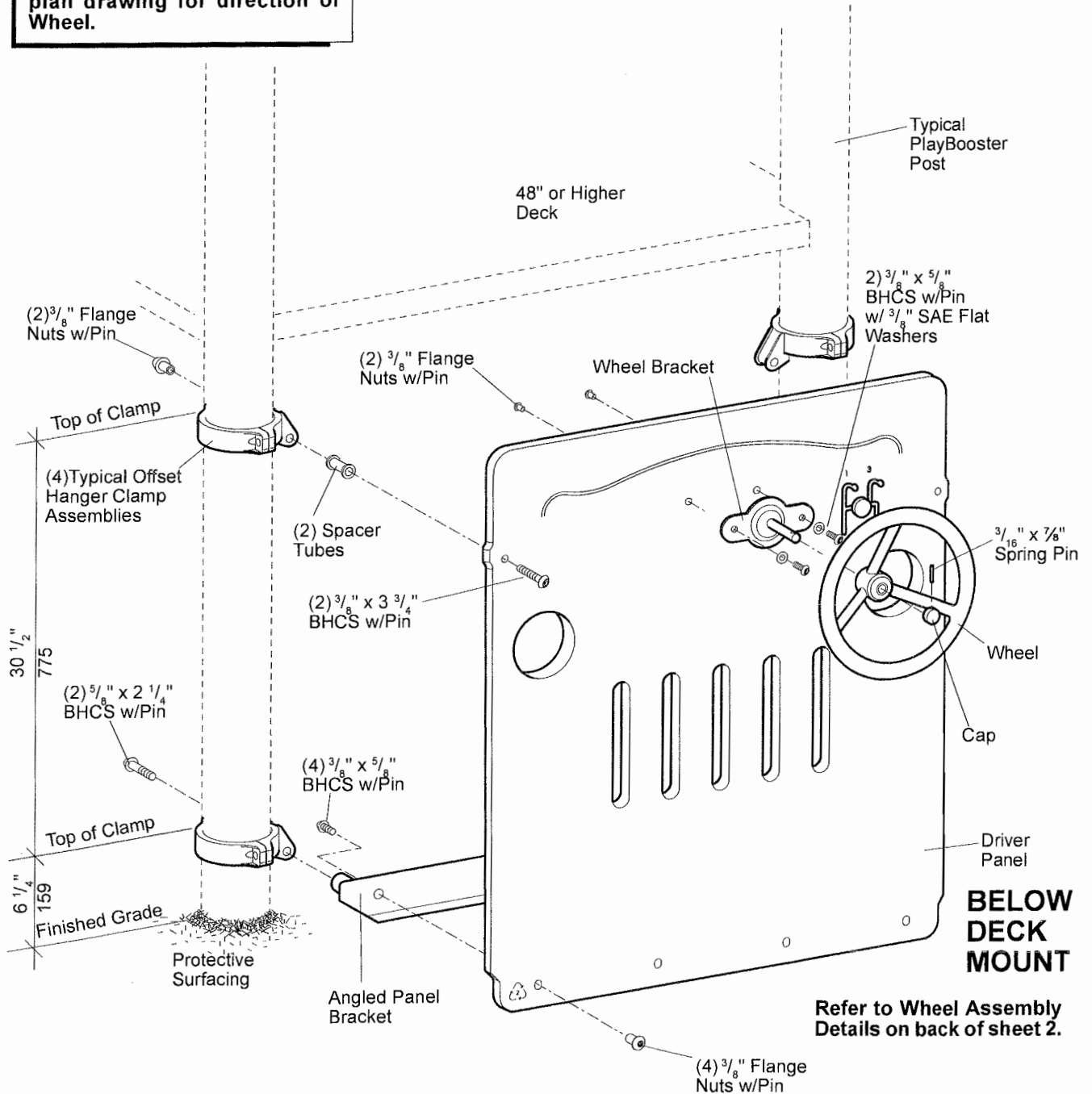
SURFACE MOUNT



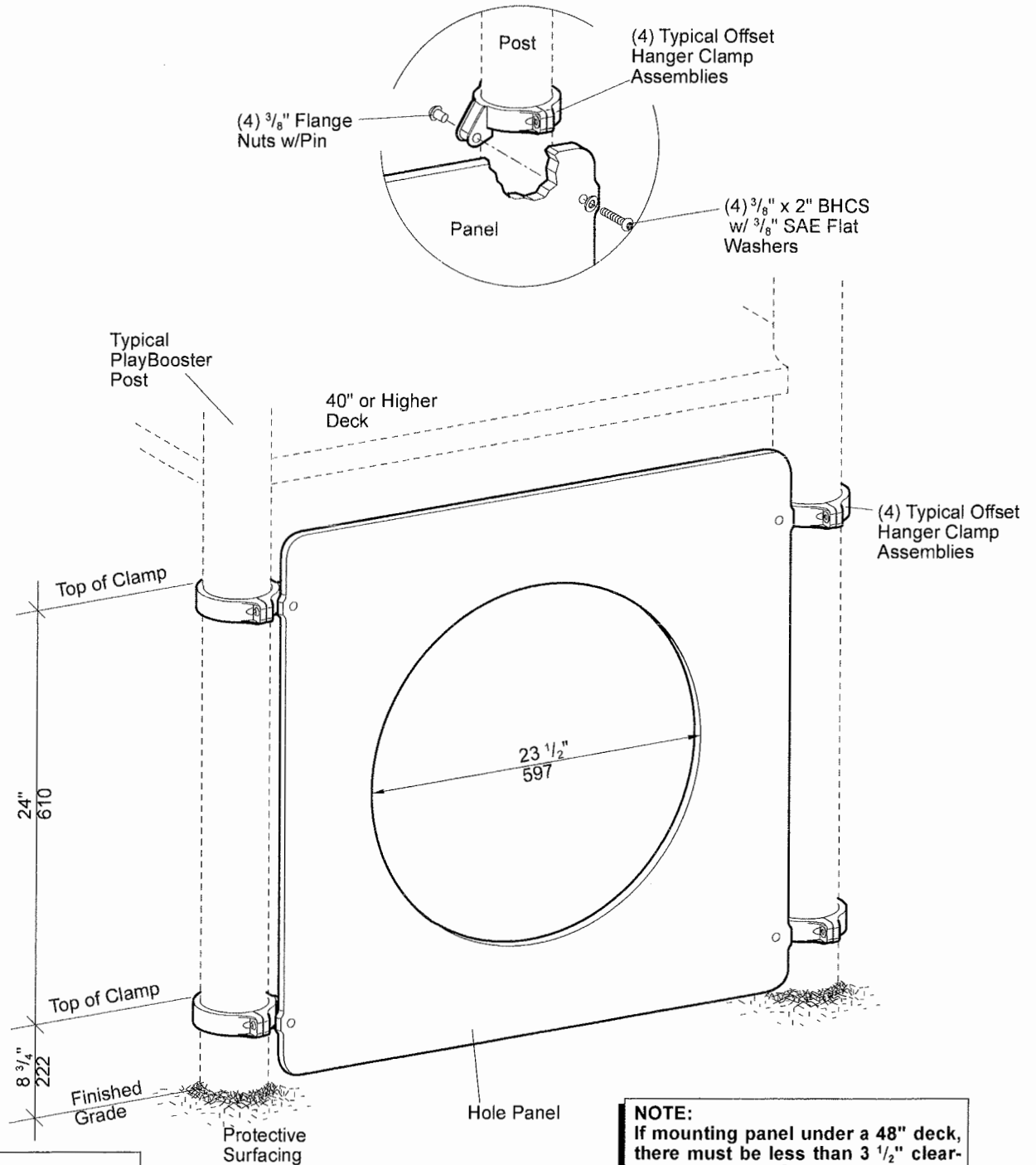


NOTE: Steering Wheel Infill Panel available. Refer to the Wheel Spec Sheet.

NOTE: Wheel can be installed facing outward. Refer to your plan drawing for direction of Wheel.



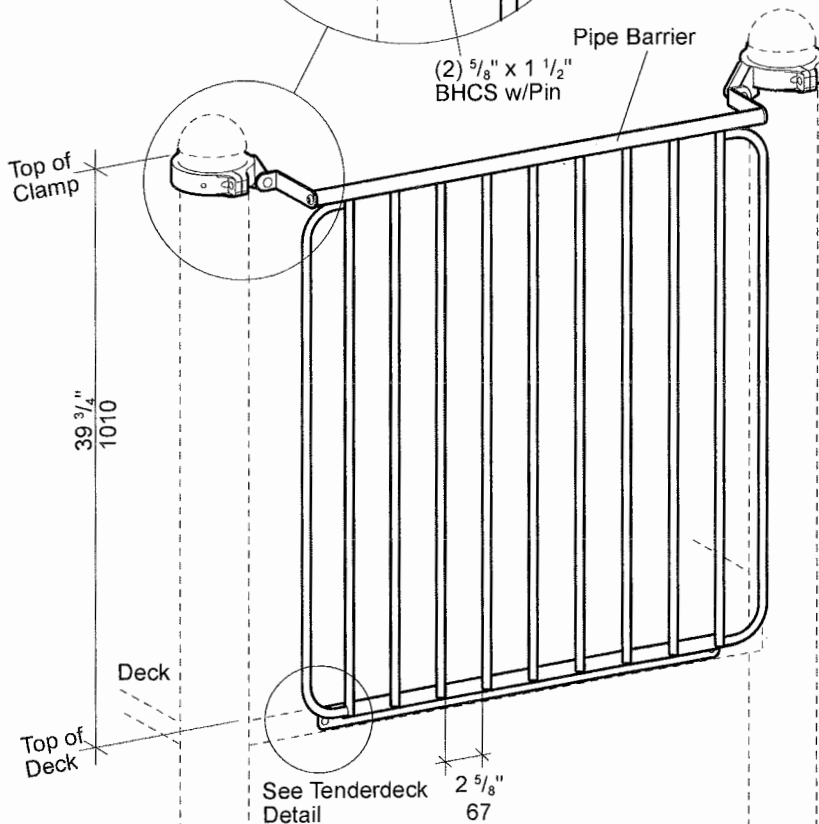
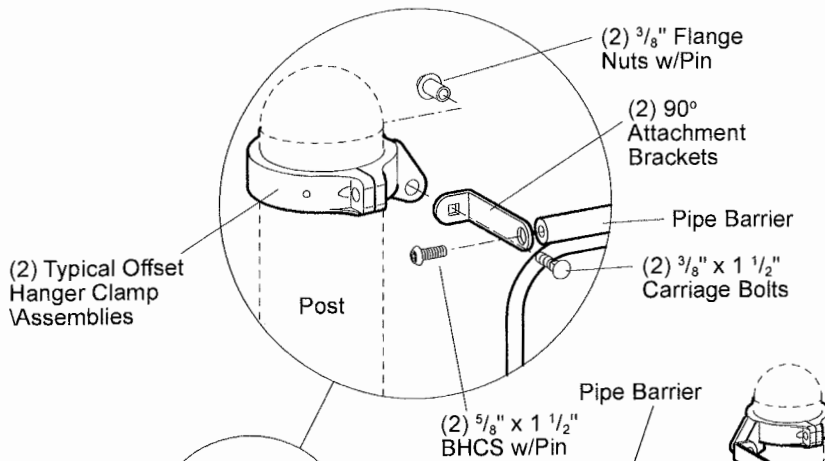
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PANEL ATTACHMENT**



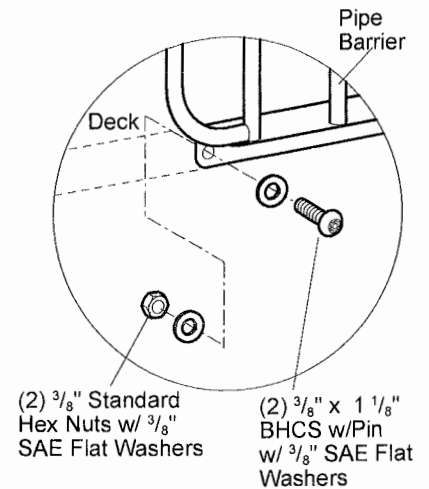
NOTE:
 This Panel is used at ground level only, under 40" or higher decks.

NOTE:
 If mounting panel under a 48" deck, there must be less than 3 $\frac{1}{2}$ " clearance from top of panel to bottom of deck.

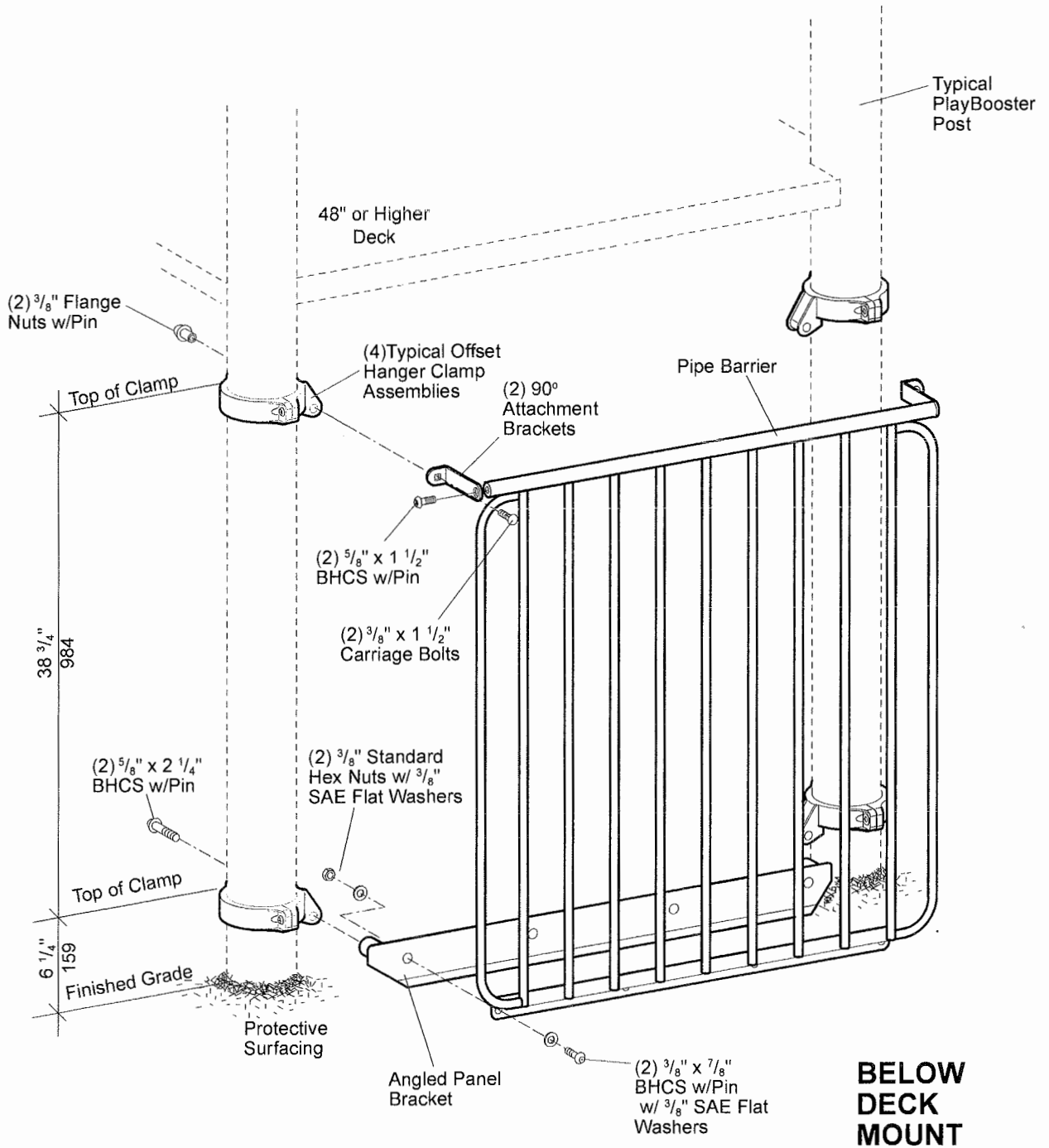
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90° ATTACHMENT BRACKETS**

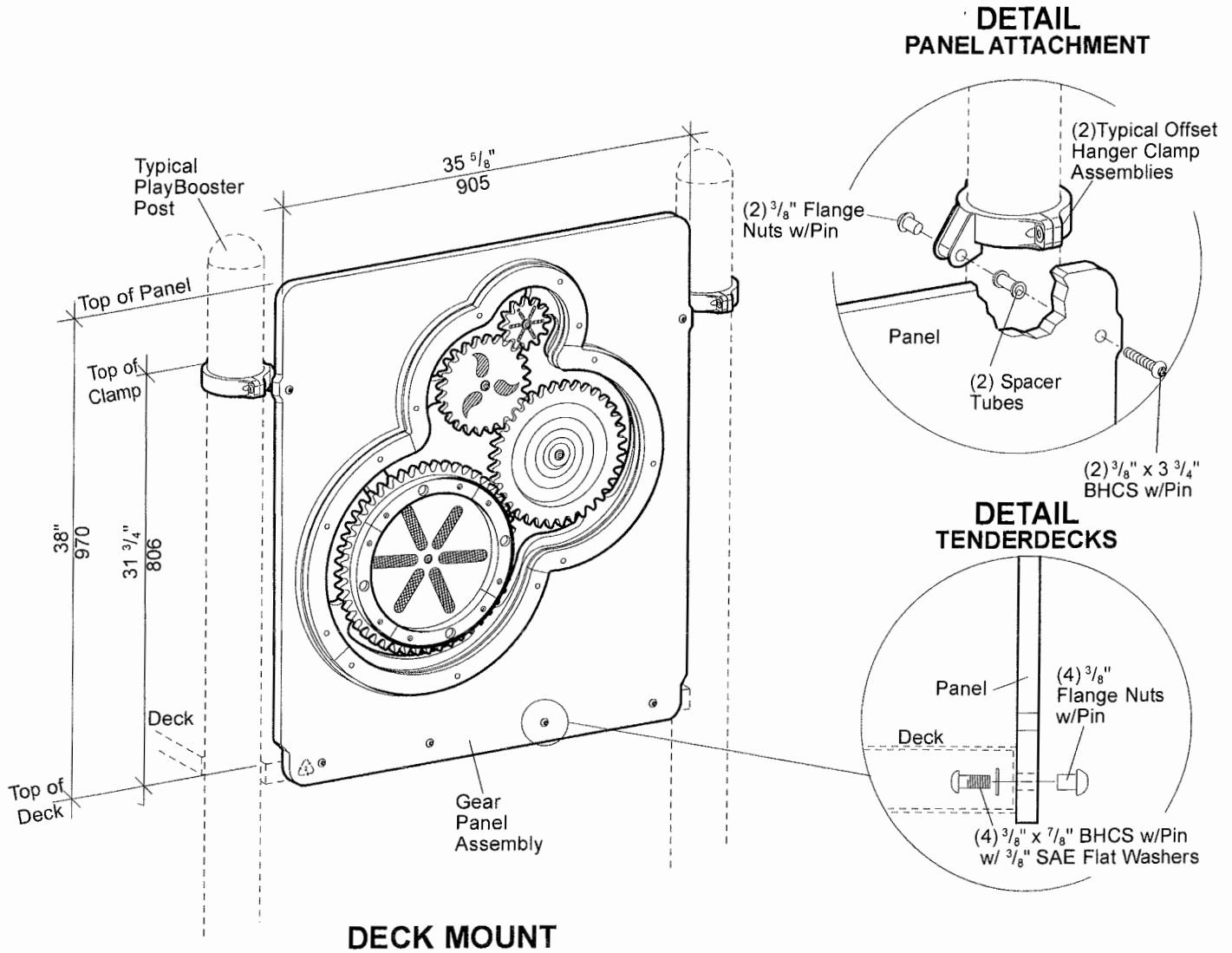


**DETAIL
TENDERDECKS**

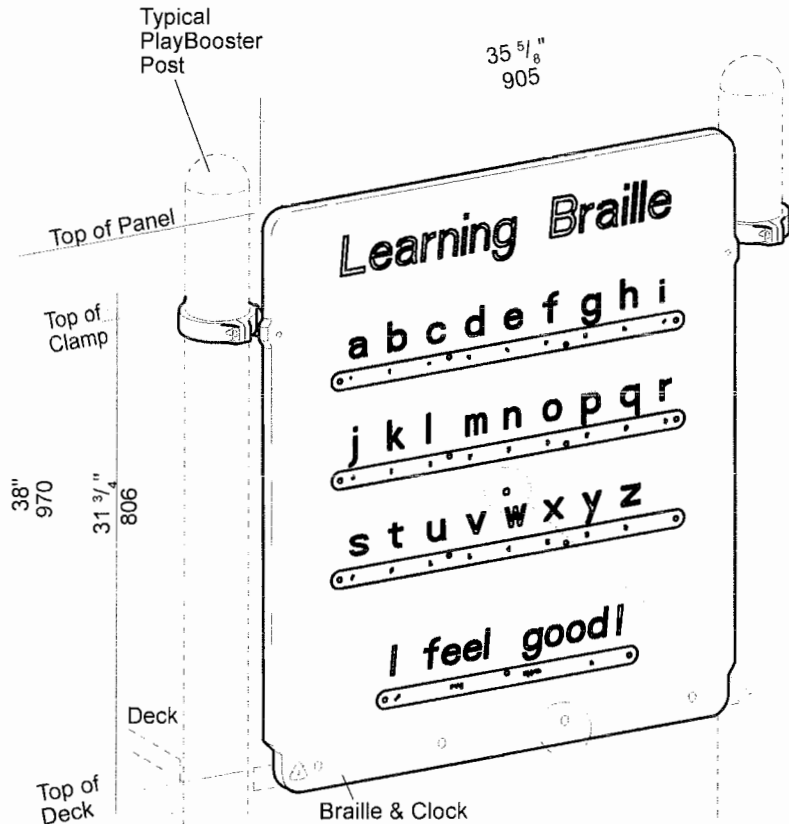


DECK MOUNT

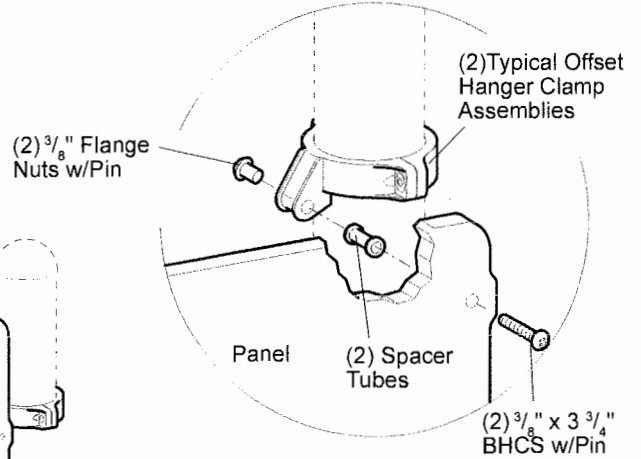




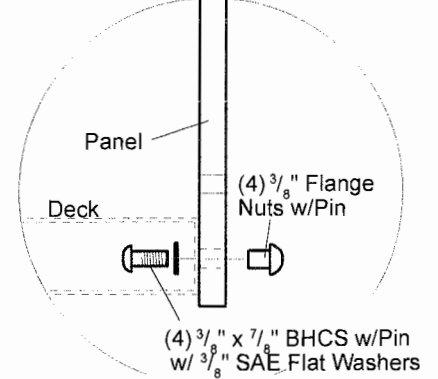
NOTE: The Gear Panel is preassembled at factory. The panel can be installed facing out as shown (low deck heights) or inward facing deck.



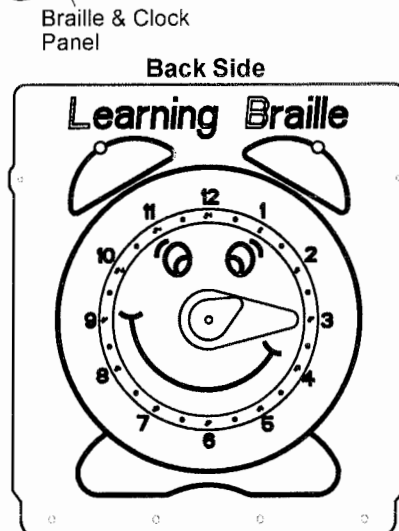
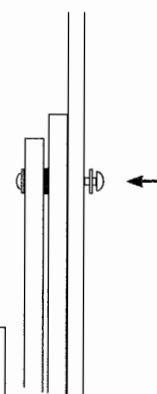
**DETAIL
PANEL ATTACHMENT**



**DETAIL
TENDERDECKS**

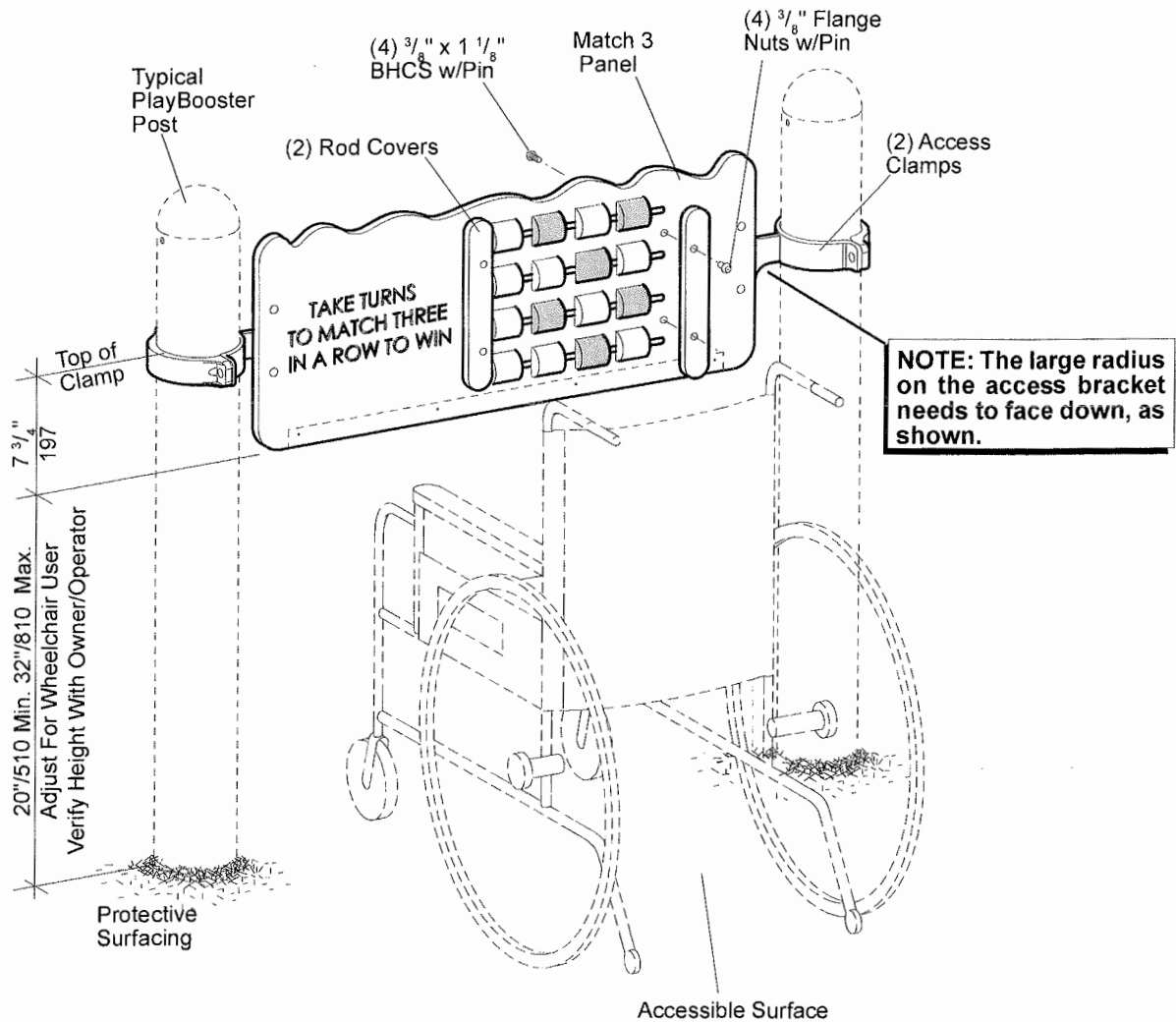


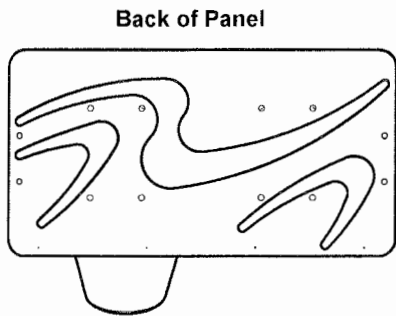
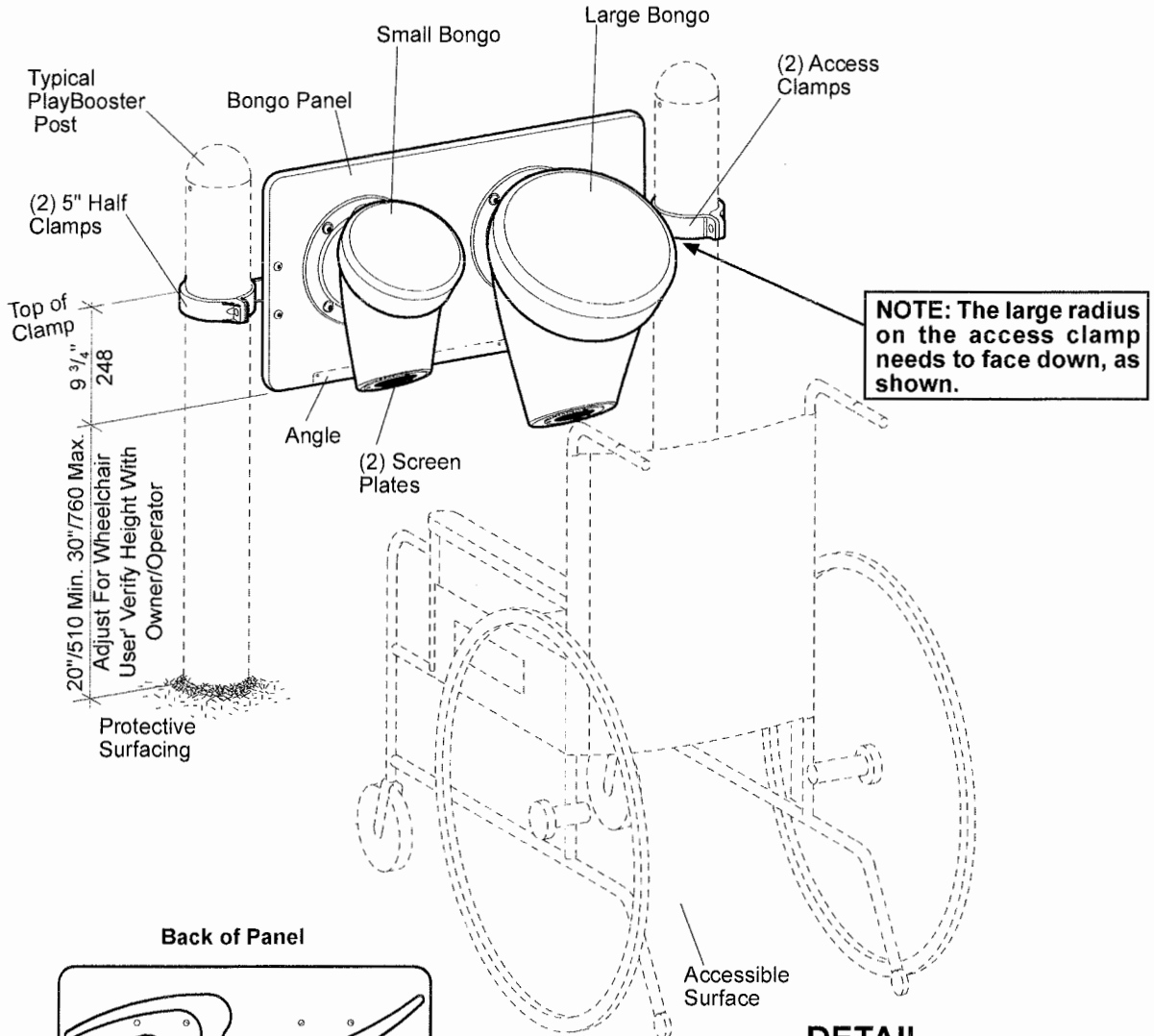
**DETAIL
BOLT HEAD**



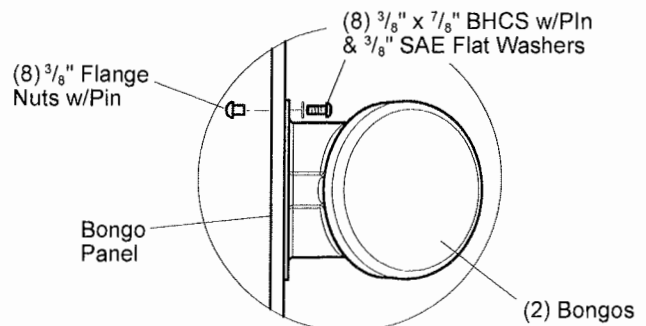
**DECK
MOUNT**

NOTE: If bolt head is not flush with panel, use rubber mallet to press it in.

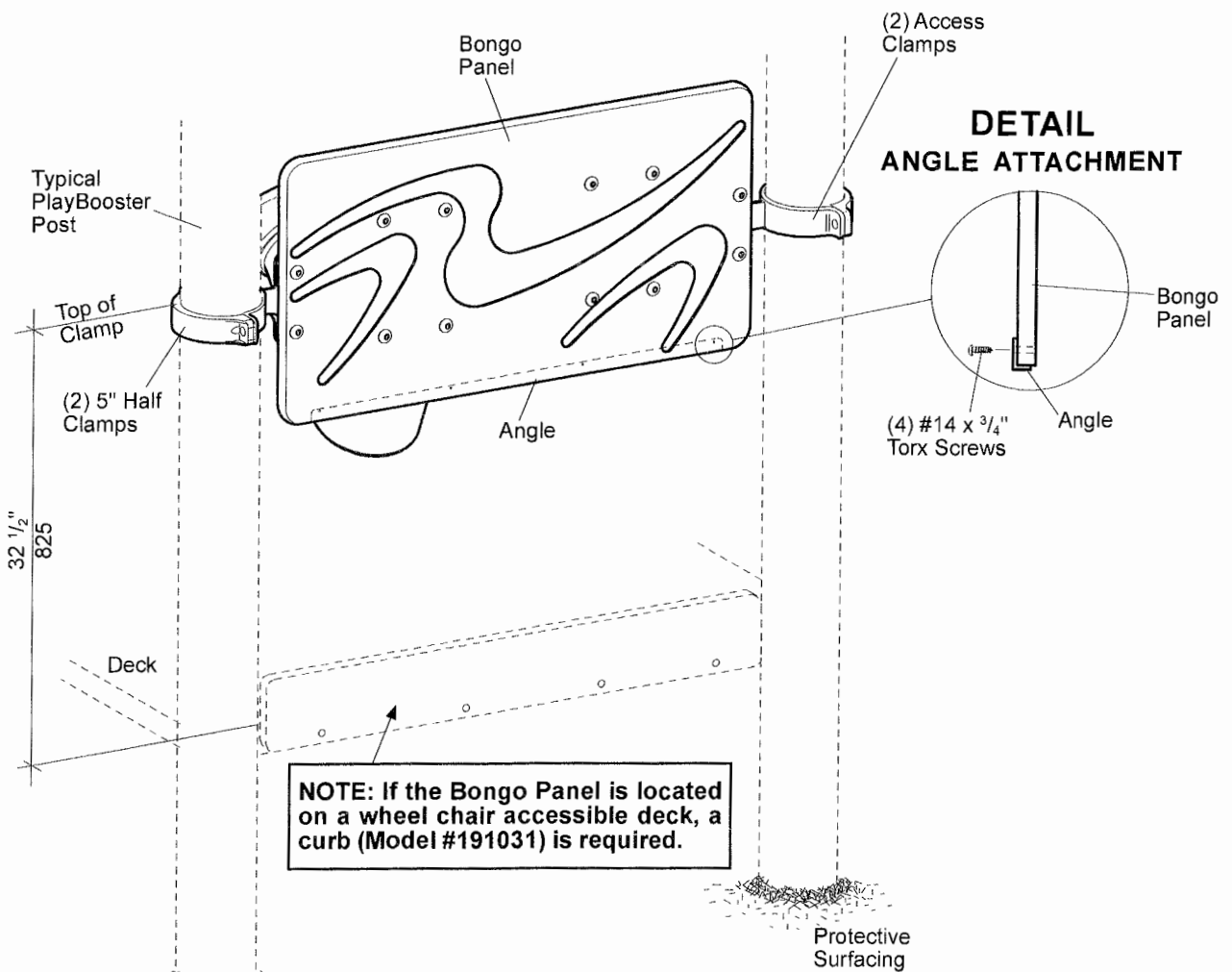
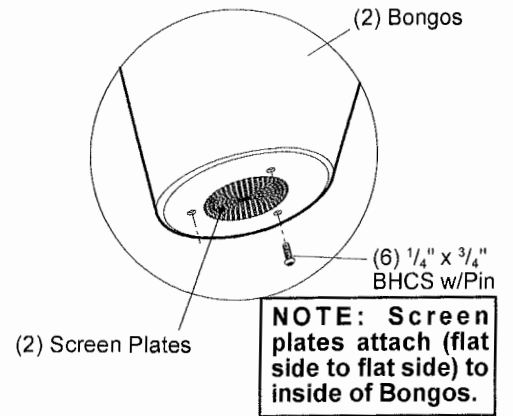




DETAIL BONGO ATTACHMENT

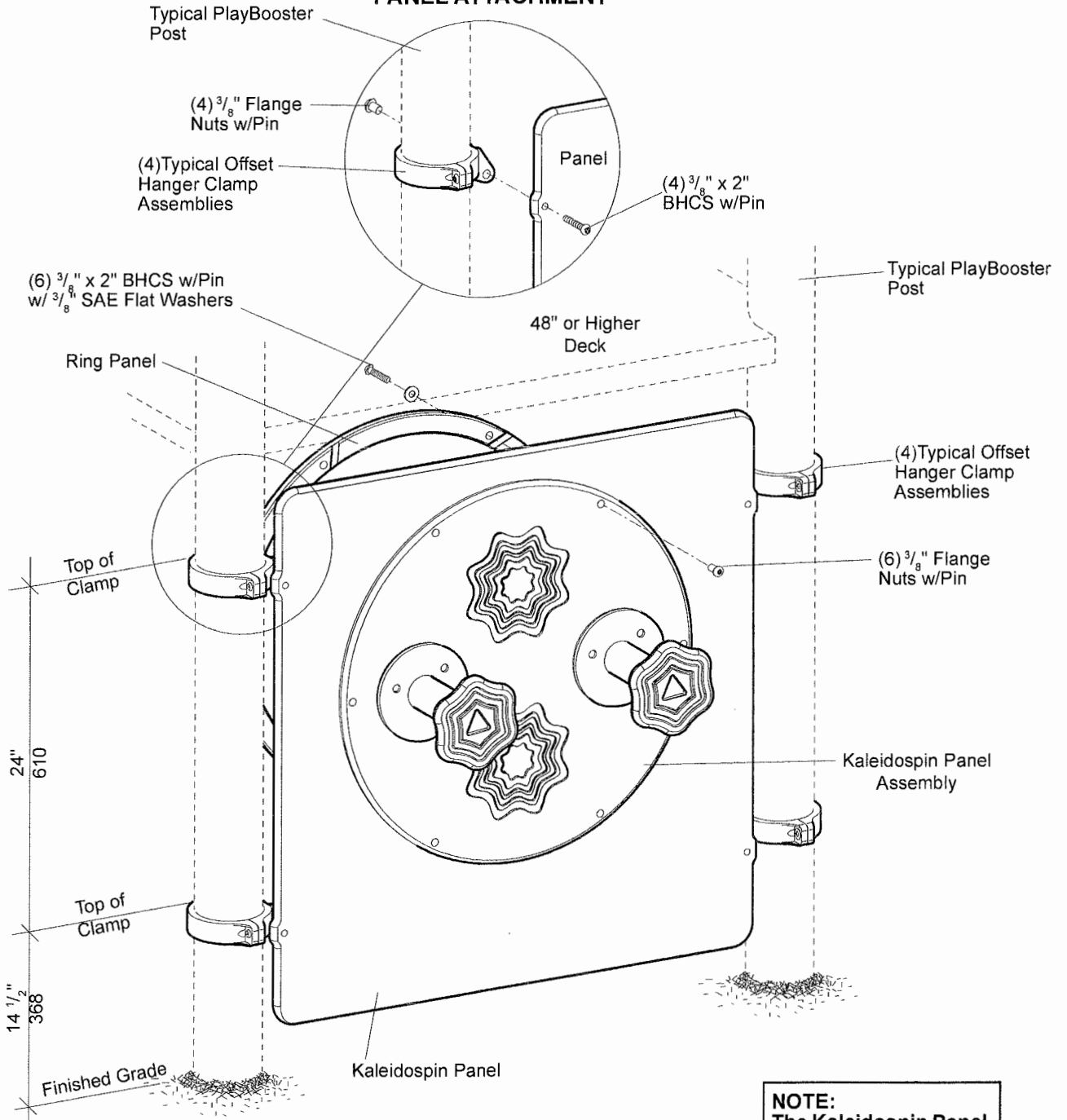


**DETAIL
 SCREEN ATTACHMENT**

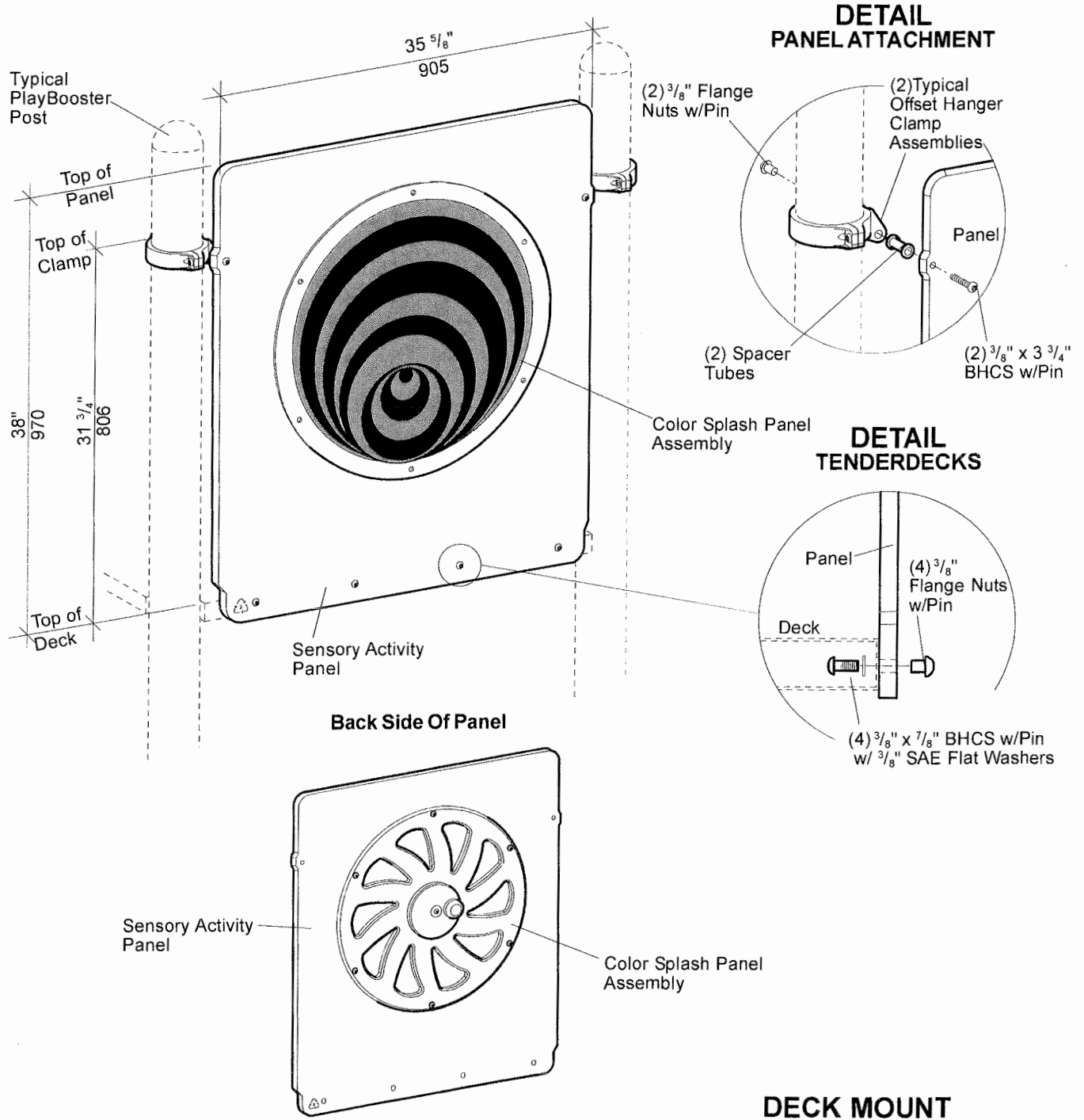


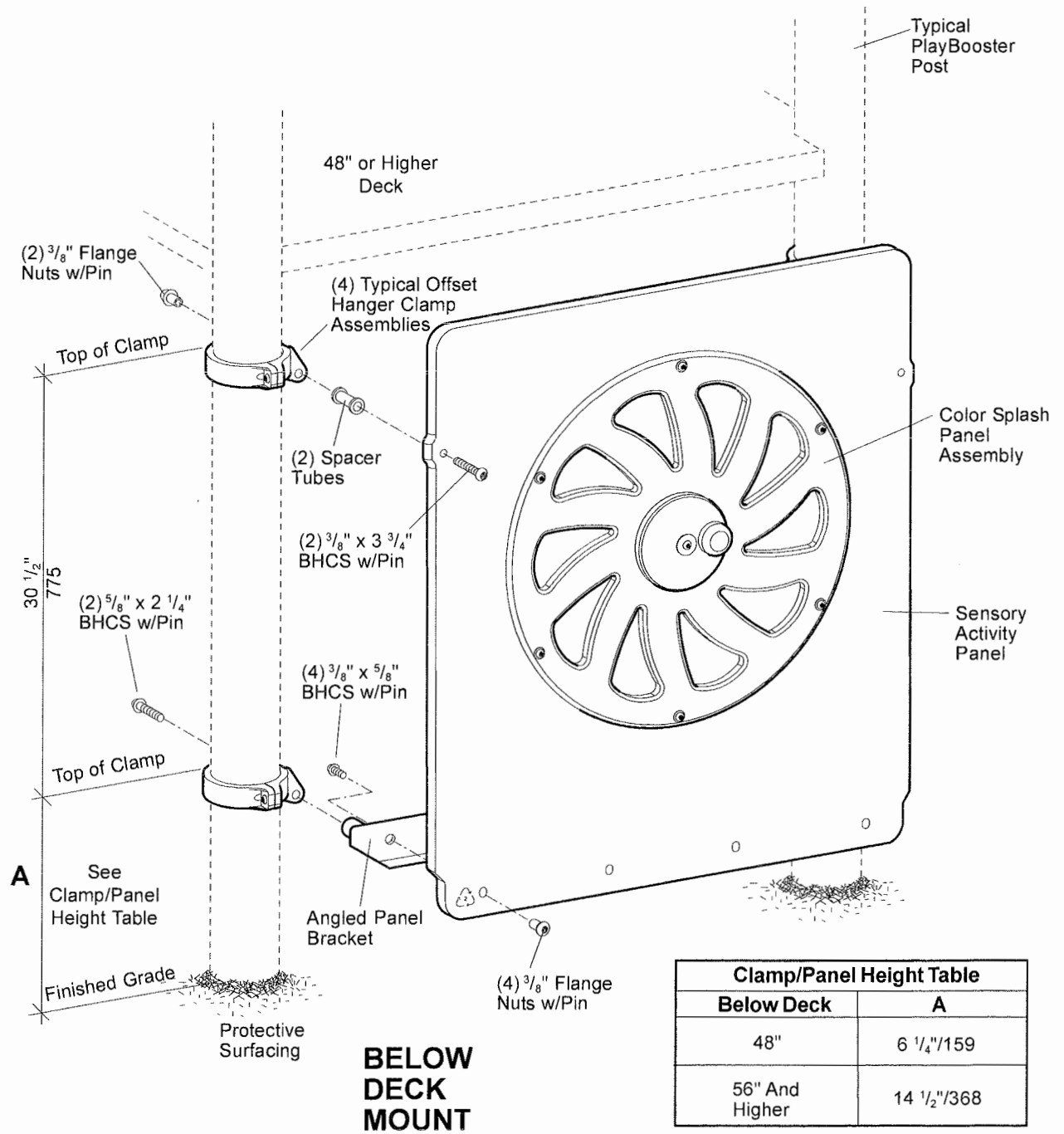
PlayBooster® 164094 Bongo, Reach Panel

**DETAIL
PANEL ATTACHMENT**

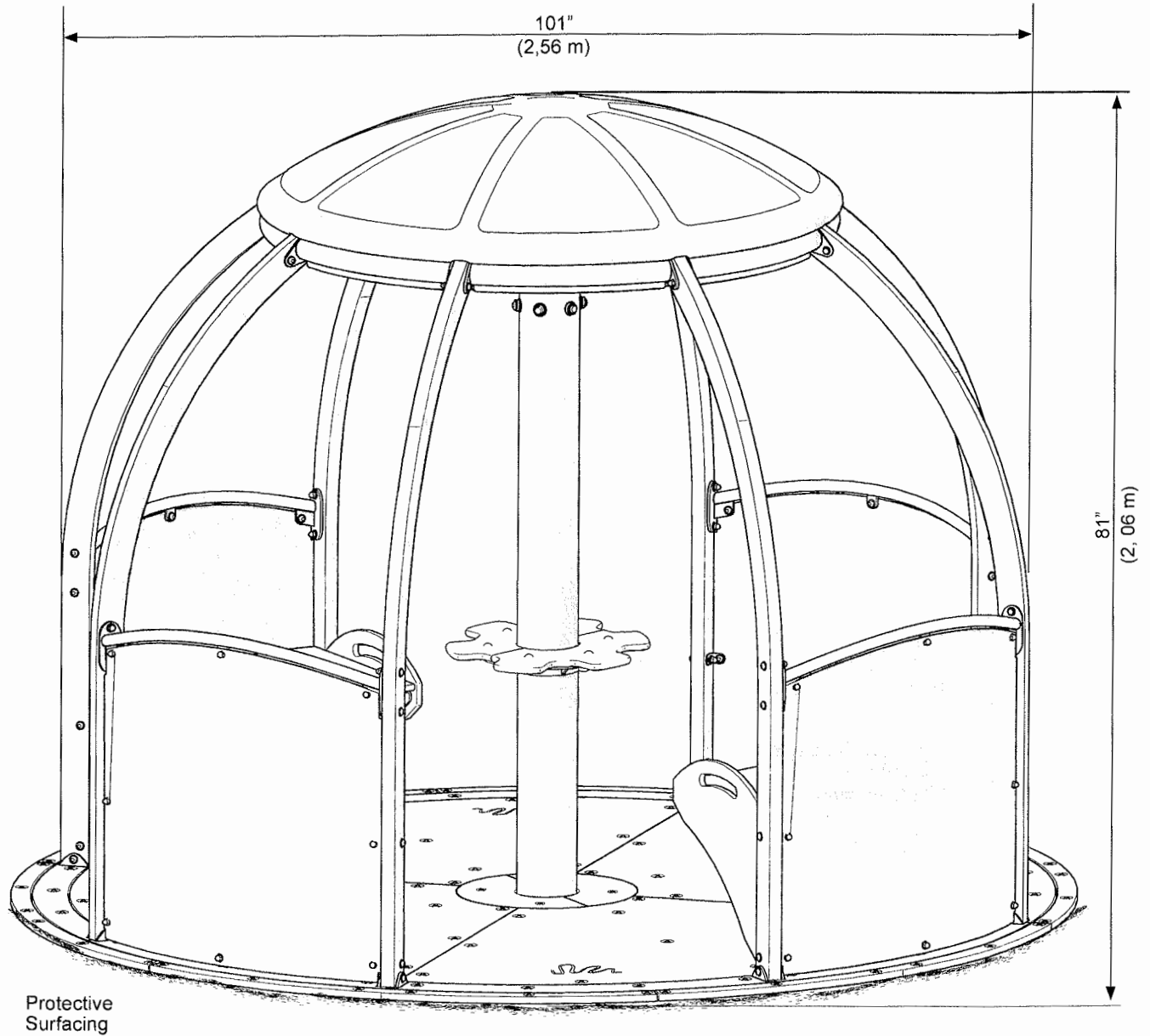


NOTE:
The Kaleidospin Panel is preassembled at the factory.





SAFETY NOTE
Choose a protective surfacing material that has a Critical Height Value of at least the height of the Highest Accessible Part/Fall Height of the adjacent equipment. (Ref. ASTM F1487.)

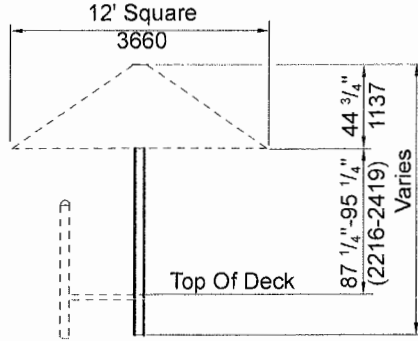


Scan the QR Code
to the right, or
type the URL into
a browser to view
the video

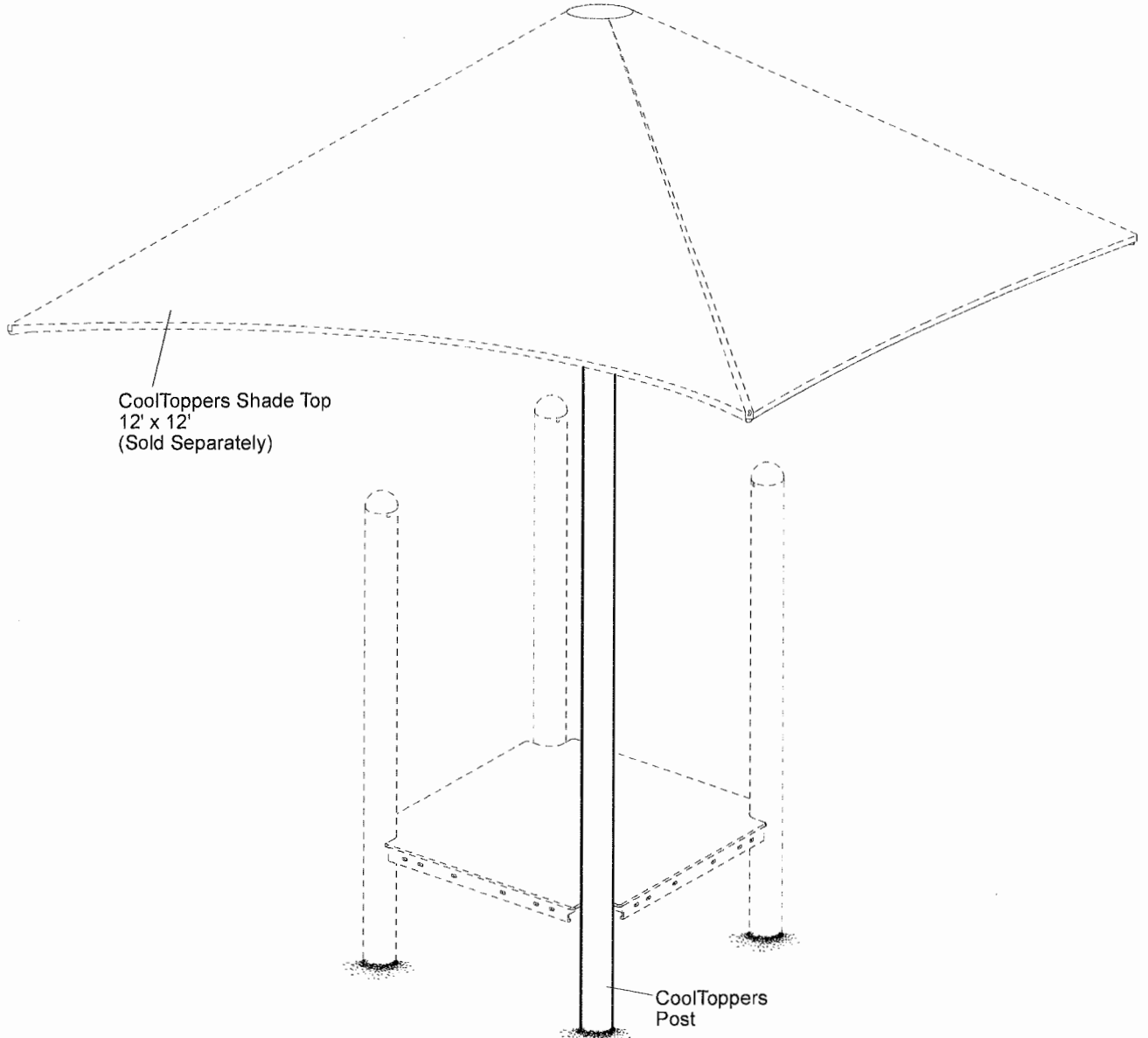
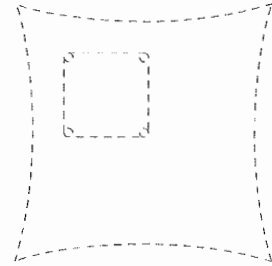


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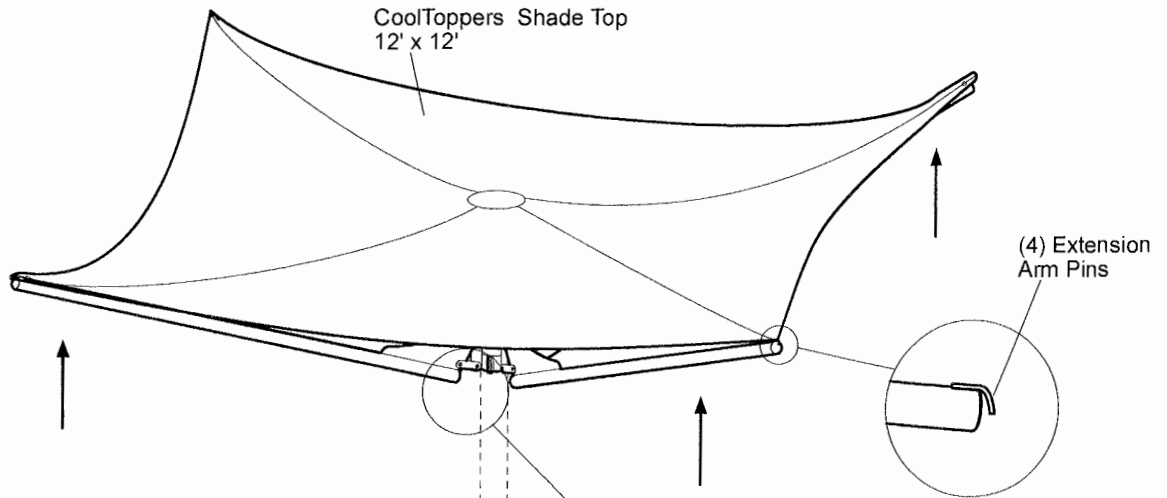
**DETAIL
 FRONT VIEW**



**DETAIL
 TOP VIEW**



PlayBooster® 154883 CoolToppers® Post For Roofs, Single Post



NOTE: For ease of installation a 12'-16' ladder or bucket lift is recommended.

CoolToppers Post
(Sold Separately)

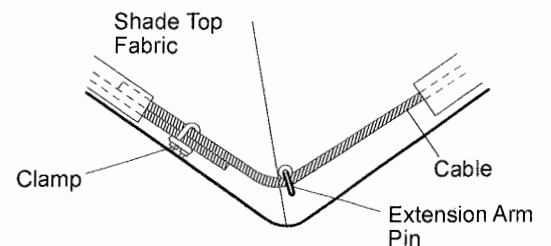
**DETAIL
BRACE ATTACHMENT**

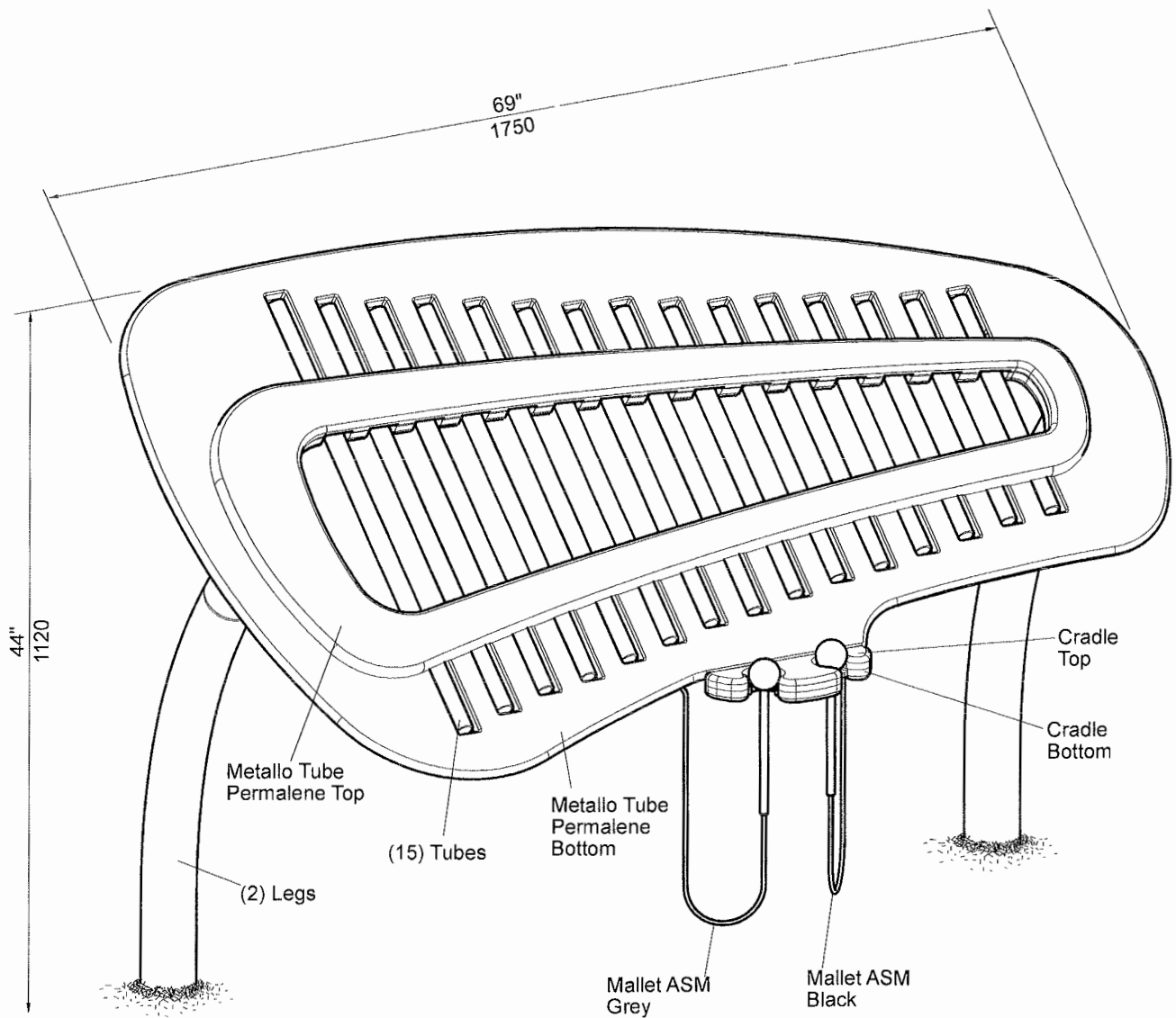
(4) Extension Arms

(8) 1/2" Standard Hex Nuts

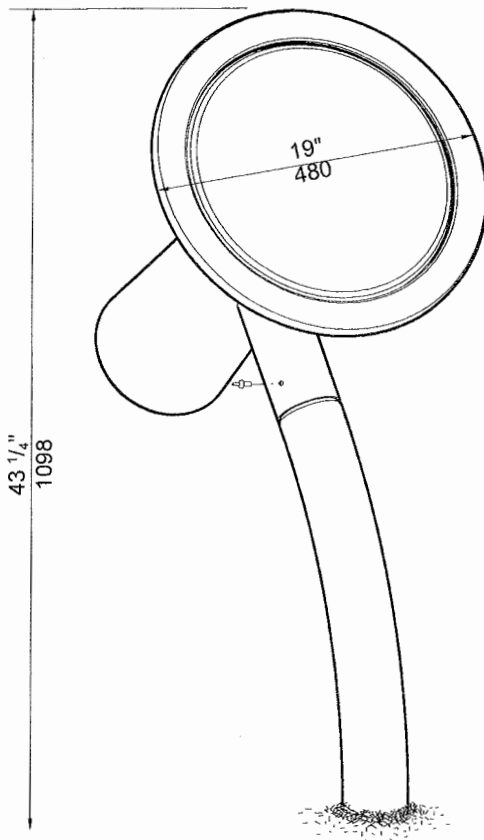
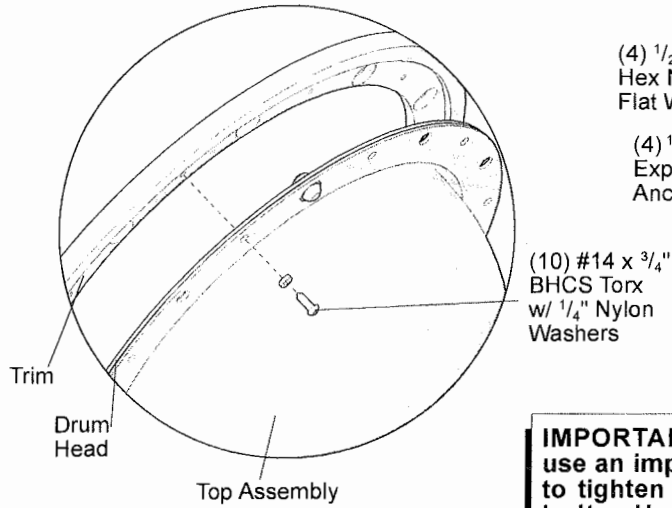
(4) Temporary Braces

**DETAIL
CABLE CLAMP ATTACHMENT**

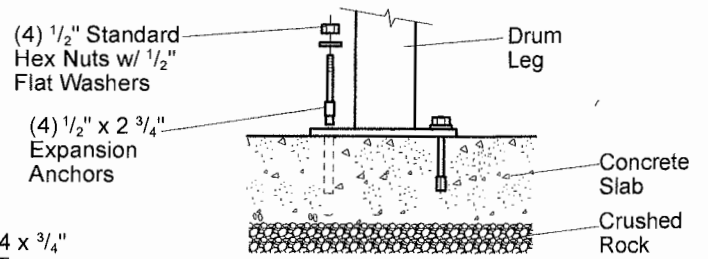




**DETAIL
DRUM ASSEMBLY**

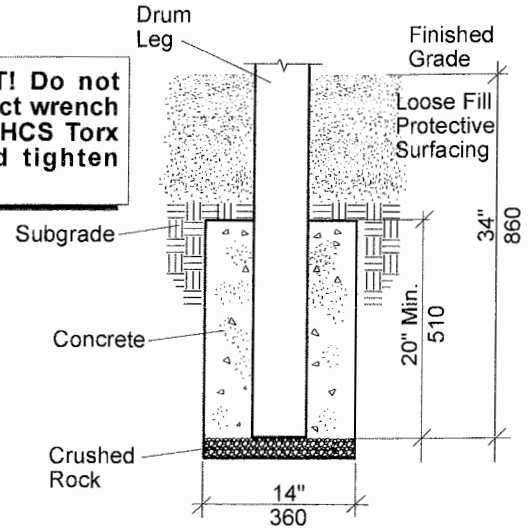


**DETAIL
SURFACE MOUNT**

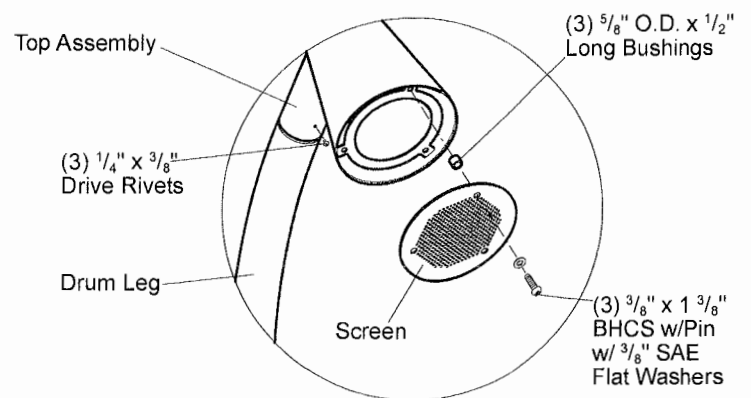


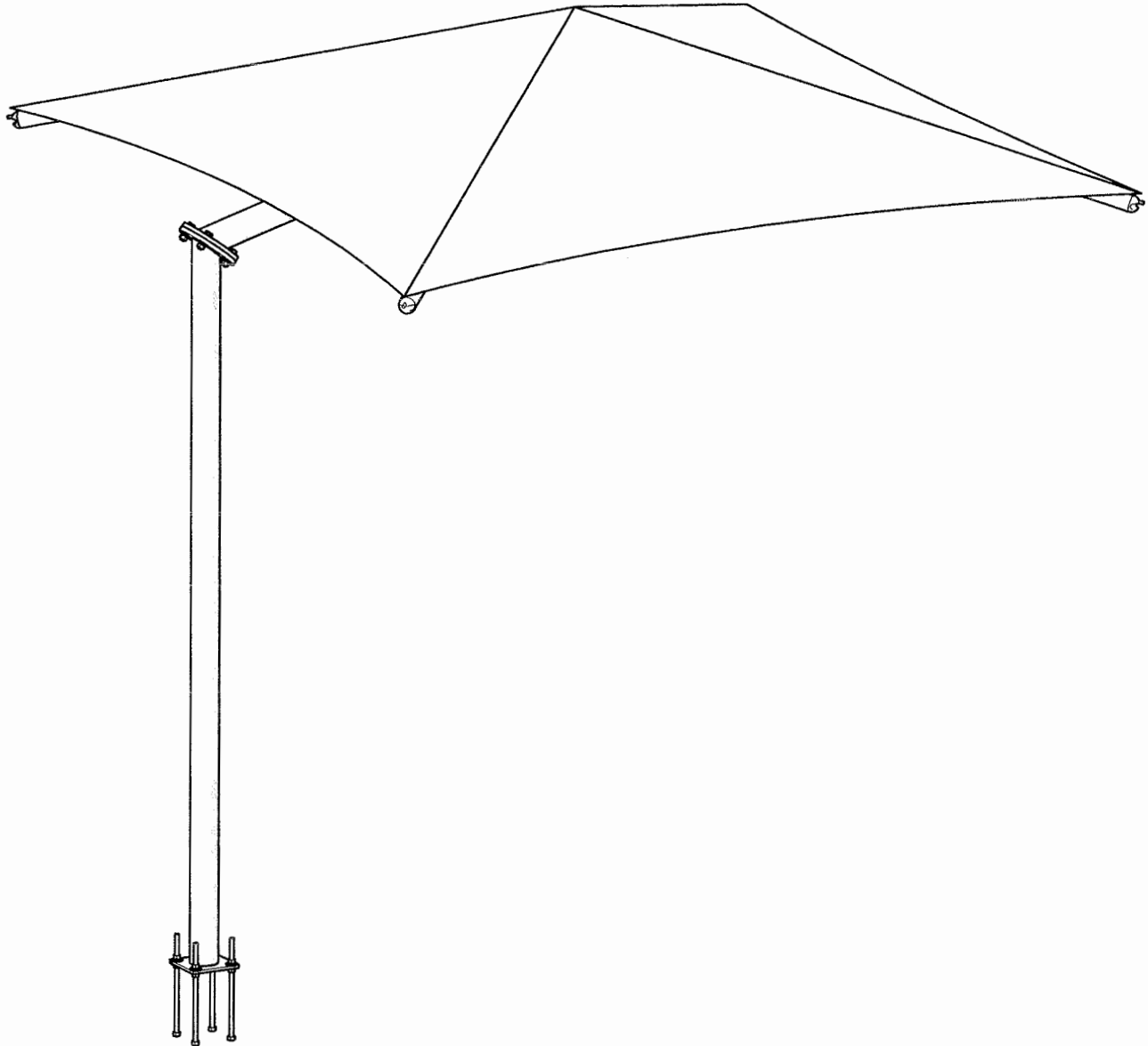
**DETAIL
DIRECT BURY**

IMPORTANT! Do not use an impact wrench to tighten BHCS Torx bolts. Hand tighten only.



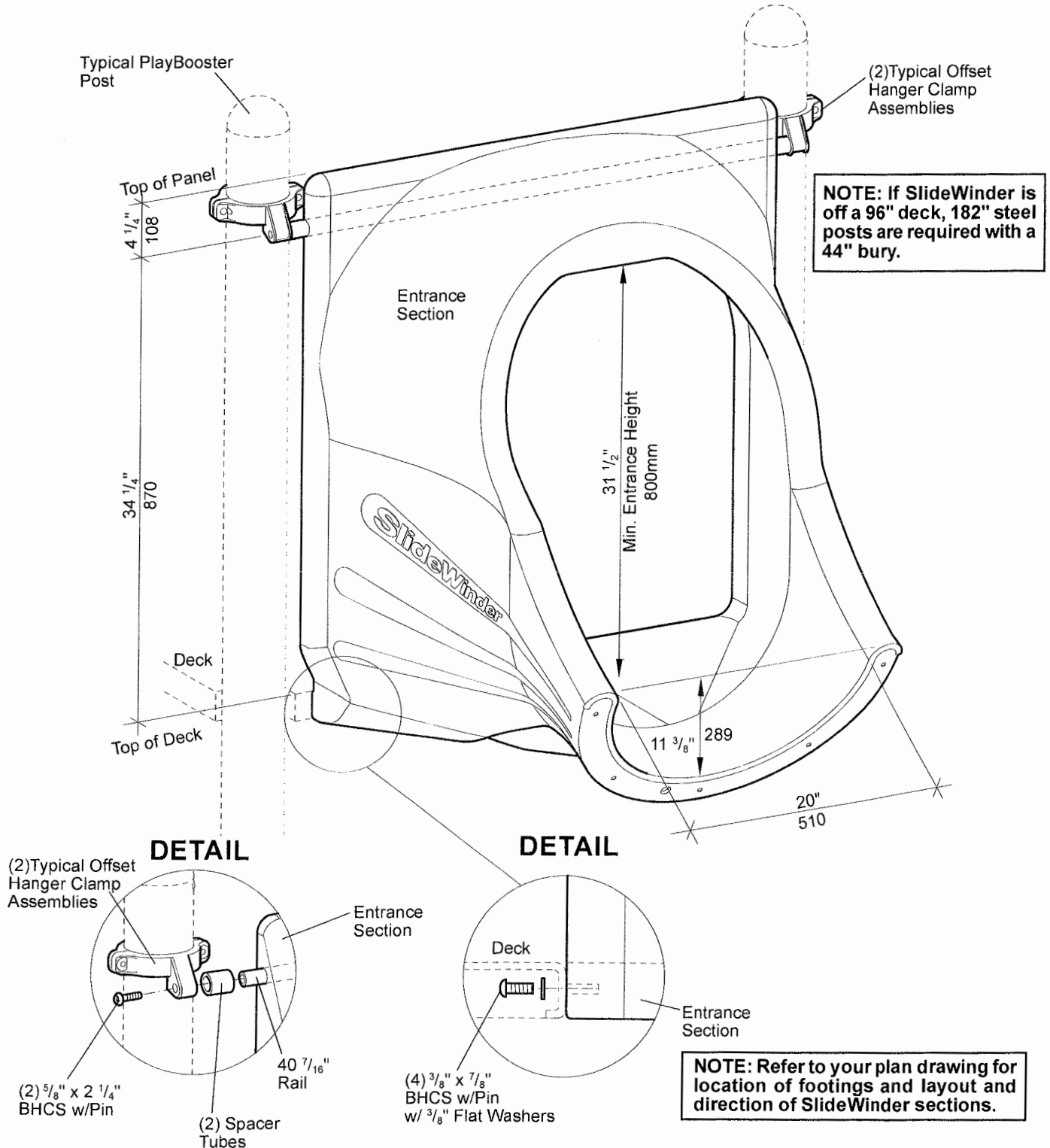
**DETAIL
SCREEN ATTACHMENT**

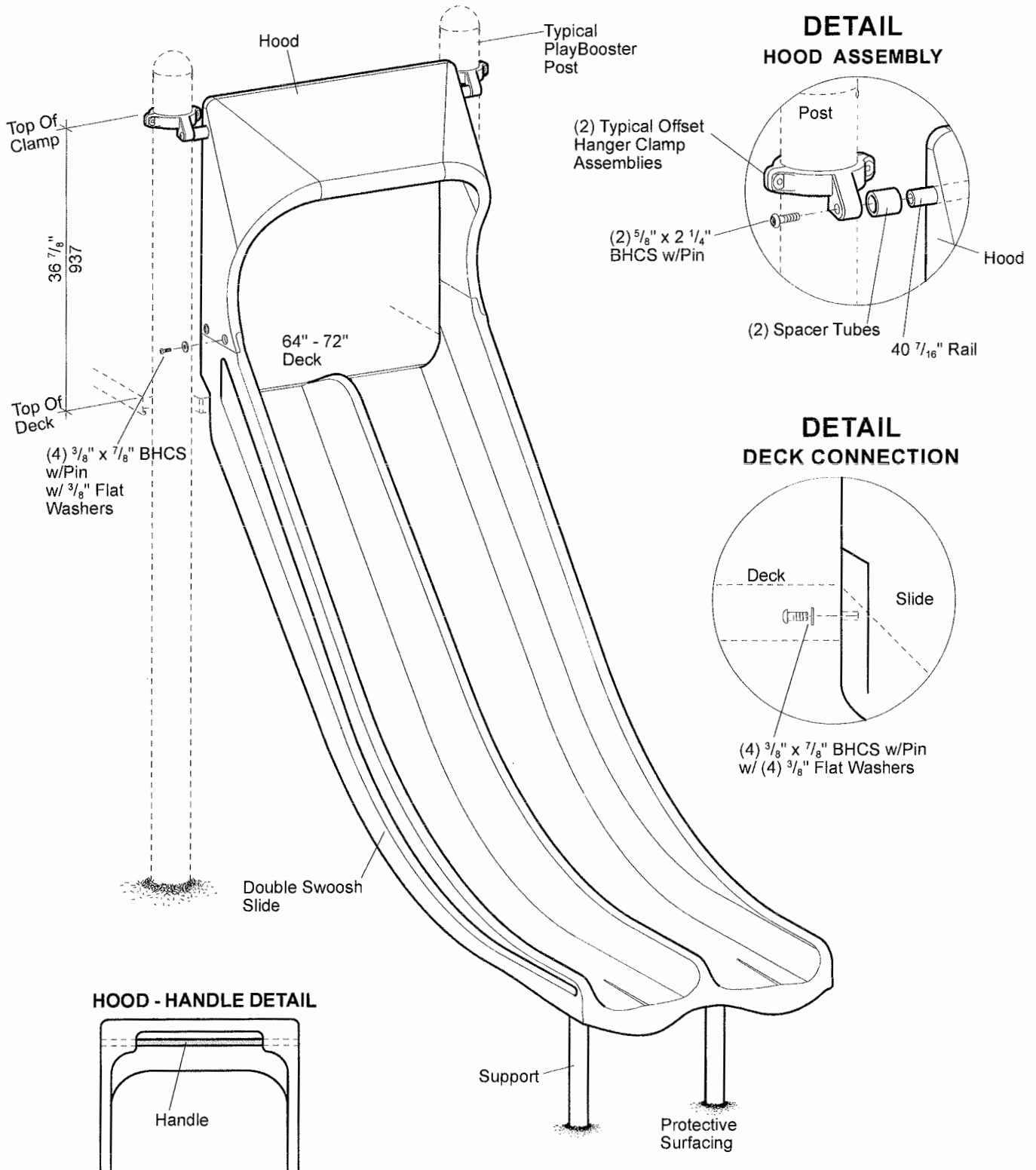




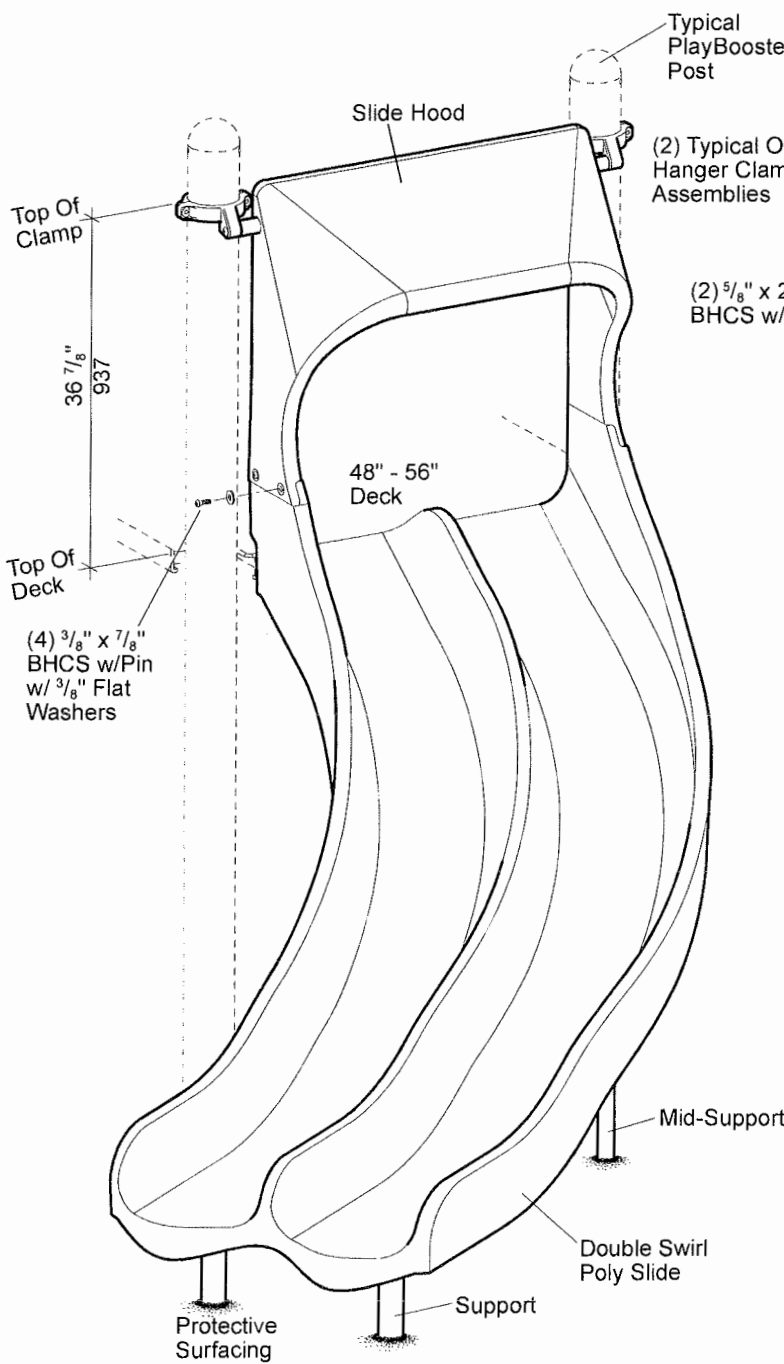
NOTE: Use this document for reference purpose. Refer to Sealed Engineering Drawings for specific details. Contact LSI Install Help for unit specific information.

ENTRANCE SECTION ATTACHMENT

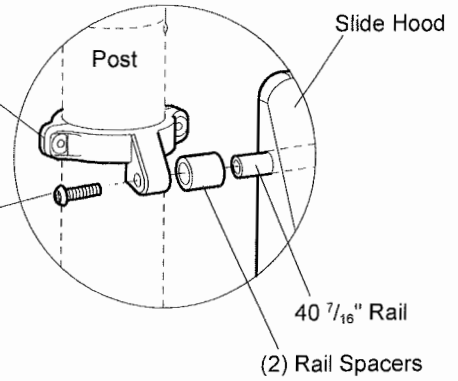




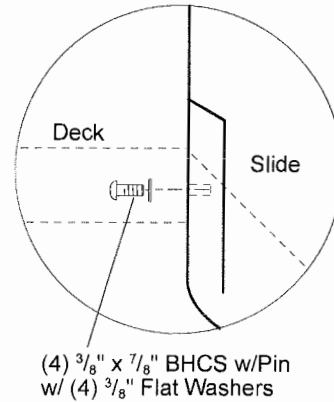
PlayBooster® 130390 Double Swoosh™ Slide, 64"-72"



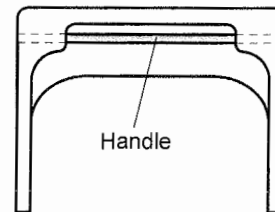
DETAIL
SLIDE HOOD ASSEMBLY



DETAIL
DECK CONNECTION



SLIDE HOOD - HANDLE DETAIL



Project#: 19-009
Date: 11/26/19
Address: 2353 Hassell Road
Hoffman Estates, IL



Emerald Green Arborvitae



Bobo Hydrangea



Pink Knockout Rose



Blueberry Sundae Baptisia



Tuscan Sun False Sunflower



Apricot Sparkles Daylily



Prairie Fire Switch Grass



Dwarf Hameln Fountain Grass

Project#: 19-009
Date: 11/26/19
Address: 2353 Hassell Road
Hoffman Estates, IL



Dark Towers Beardtongue (Penstemon)



Karl Foerster Feather Reed Grass



Carousel Little Bluestem Grass



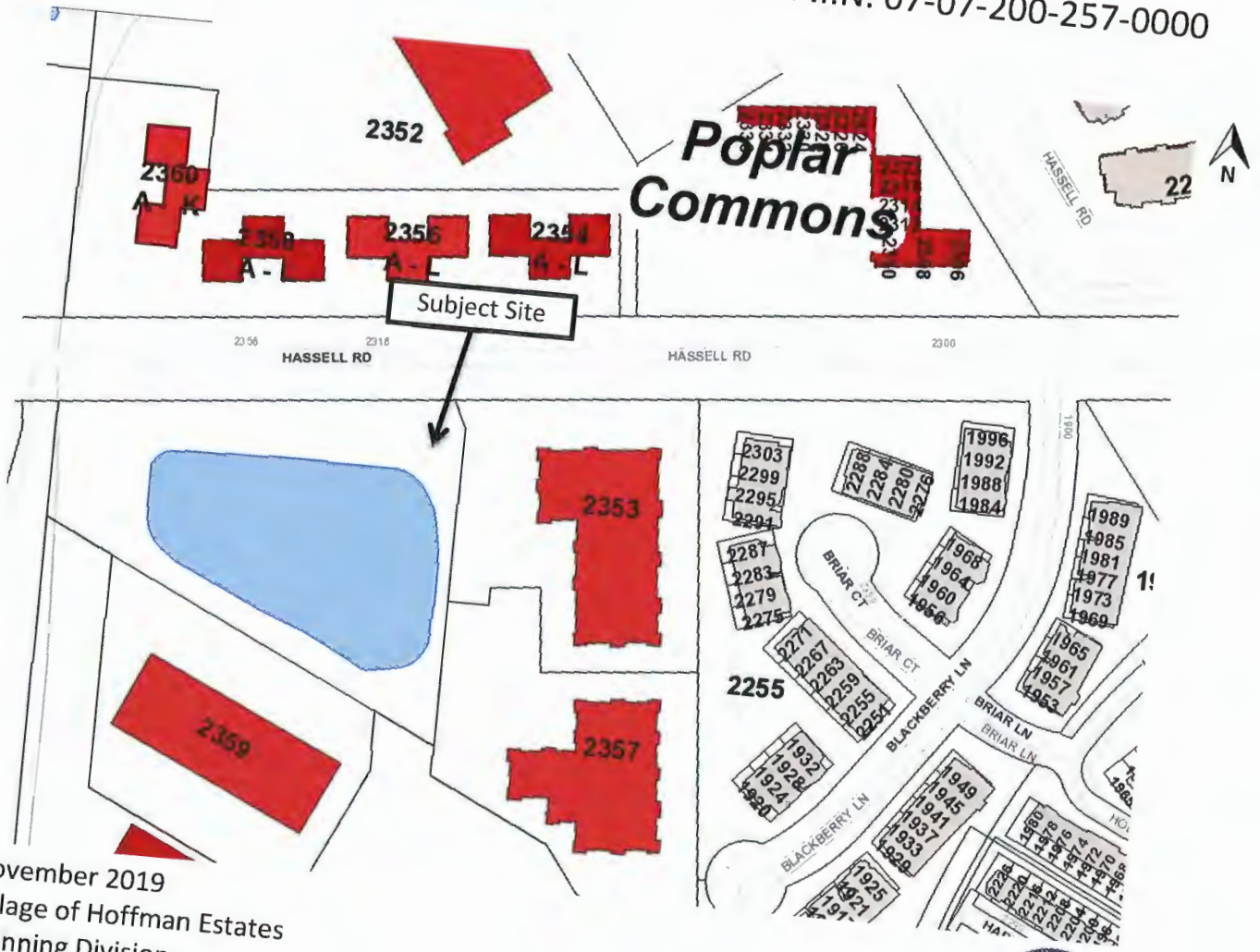
Tara Prairie Dropseed Grass

LEGAL DESCRIPTION

LOT 9 IN BARRINGTON SQUARE RESUBDIVISION NO. 3 BEING A SUBDIVISION
IN PART OF THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 41 NORTH,
RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE
PLAT THEREOF RECORDED MARCH 12, 2019 AS DOCUMENT NUMBER
1907106066, COOK COUNTY, ILLINOIS.

2353 Hassell Rd

P.I.N. 07-07-200-257-0000



November 2019
Village of Hoffman Estates
Planning Division



FINAL ENGINEERING PLANS

FOR

WINSTON KNOLLS SCHOOL

AT
2353 HASSELL ROAD
HOFFMAN ESTATES
COOK COUNTY, ILLINOIS

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C-3	GRADING AND UTILITY PLAN	X X
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C-5	SOIL EROSION DETAILS AND SPECIFICATIONS	X -
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C-7	PROJECT DETAILS	X -
C-8	PROJECT SPECIFICATIONS	X -
SUPPORTING DOCUMENTS		
	REVISIONS	
	1 2 3 4 5 6 7	
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2 of 2	TOPOGRAPHIC MAP	X -
L-1	LANDSCAPE PLAN	X X

NOTE: THE DESIGNS CONTAINED IN THE ABOVE PLANS AND SUPPORTING DOCUMENTS WERE PREPARED WITH THE UNDERSTANDING THAT THEY WOULD BE USED AS A WHOLE PLAN SET. EACH CONSTRUCTION ENTERPRISE IS TO USE ALL THE PLANS AND SUPPORTING DOCUMENTS TOGETHER AS A WHOLE AND NOT AS SEPARATE DOCUMENTS. EACH CONTRACTOR IS TO BECOME COMPLETELY FAMILIAR WITH THE WHOLE PLAN SET AND THE EXISTING SITE CONDITIONS. SHOULD ANYTHING WITH ALL THESE PLANS AND SUPPORTING DOCUMENTS BE INCONGRUENT WITH THE SITE CONDITIONS THEN THE CONTRACTOR IS TO CONTACT THE ENGINEER IMMEDIATELY BEFORE ANY CONSTRUCTION IS STARTED.



BENCHMARK	
REFERENCE BENCHMARK N/A (NAVD88)	ELEVATION = N/A
SITE BENCHMARK TOP OF CROSS CUT IN SIDEWALK NORTHWEST OF PROJECT SITE	ELEVATION 790.96

LEGEND		
EXISTING	DESCRIPTION	PROPOSED
	CATCH BASIN	
	INLET	
	STORM MANHOLE	
	SANITARY MANHOLE	
	VALVE VAULT	
	FIRE HYDRANT	
	FLAMED END SECTION	
	ELECTRICAL POWER POLE	
	OVERHEAD TRAFFIC SIGNAL	
	TRAFFIC SIGNAL MANHOLE	
	OVERHEAD ELECTRIC WIRES	
	TRANSFORMER PAD	
	TELEPHONE PEDESTAL	
	CABLE TELEVISION MANHOLE	
	CABLE TELEVISION PEDESTAL	
	CONDUITS HEALTH INSPECTION MANHOLE	
	LIGHT POLE	
	SIGN	
	WELLHEAD POLE	
	GAS MARKER	
	ELECTRIC MARKER	
	TELEPHONE MARKER	
	WATER MAIN GAS MARK	
	ELECTRIC LINE	
	TELEPHONE LINE	
	CABLE TV LINE	
	SANITARY SEWER	
	STORM SEWER	
	GUY POLE	
	CONDUITS TREE W/DIAMETER	
	WOOD FENCE	
	CHAIN LINK FENCE	
	METAL GUARDRAIL	
	CONCRETE SURFACE	
	CONTOUR LINE	
	FINISHED FLOOR ELEVATION	FF
	PAVEMENT ELEVATION	P
	PLAY SURFACE ELEVATION	PS
	MATCH EXISTING ELEVATION	ME
	GROUND ELEVATION	G
	TOP OF WALK ELEVATION	FL
	TOP OF RETAINING WALL ELEVATION	TWR
	STONE LINE ELEVATION	SL
	TOP OF CURB ELEVATION	TC
	RIM ELEVATION	RE
	SOUNDING LOCATION	S.S.
	PROPOSED AREA SLOPE DIRECTION	
	PAVEMENT SLOPE DIRECTION	
	OVERLAND OVERTFLOW DIRECTION	
	INLET PROTECTION	
	INLET BASKET FILTER	

STATE OF ILLINOIS) SS
COUNTY OF KANE)

I, JEFFREY C. MILLER, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THESE CIVIL ENGINEERING PLANS, AND THE SUPPORTING DOCUMENTS, AS LISTED IN THE INDEX, HAVE BEEN PREPARED BY WATERMARK ENGINEERING RESOURCES, LTD. UNDER MY PERSONAL SUPERVISION. THESE PLANS ARE INTENDED TO BE USED AS AN INTEGRAL PART OF THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATE: _____
ILLINOIS LICENSED PROFESSIONAL ENGINEER NO. 62-044804
BY LICENSE EXPIRES ON 11-30-21.

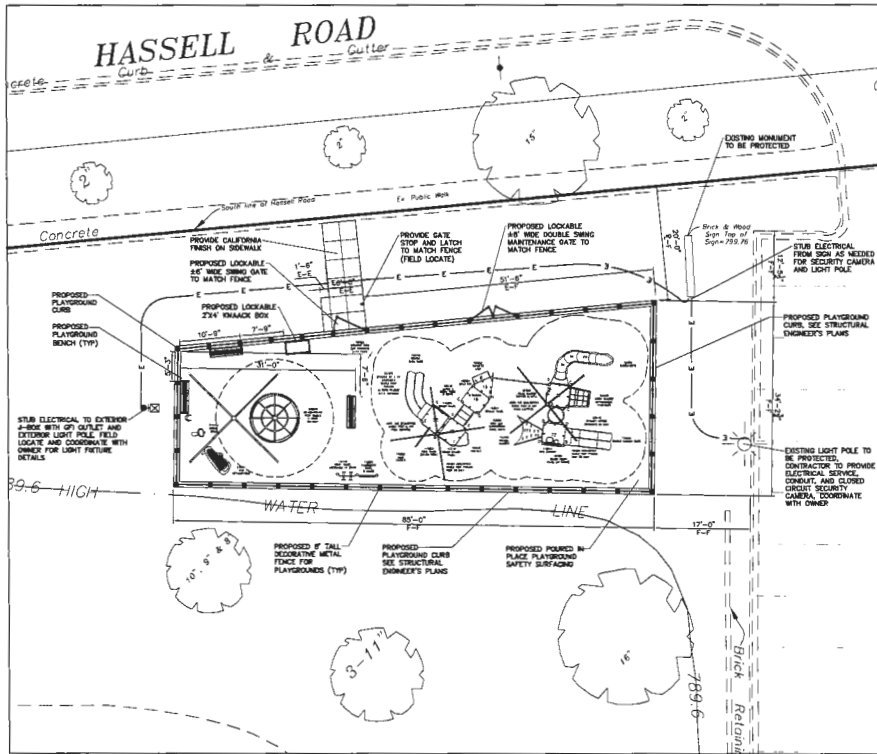
UNLESS THIS DOCUMENT BEARS ORIGINAL SIGNATURE AND EMBOSSED SEAL OF THE DESIGN ENGINEER, IT IS NOT A VALID DOCUMENT.

ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.003888



REVISIONS NO. DATE DESCRIPTION 1 11/17/19 FOR WALKER COMMENTS 2 11/20/19 FOR WALKER COMMENTS	Prepared For: Canuso Development Corp. 2314 W. Higgins Road Hoffman Estates, IL 60169 WINSTON KNOLLS SCHOOL - HOFFMAN ESTATES 24533 Hassell Road Hoffman Estates, Illinois	Prepared By: 2415 Chicago Road Hoffman Estates, IL 60169 Phone: (815) 321-1100 Fax: (815) 321-1101 www.watermark-engineering.com
CHECKED BY: D. OLSON DESIGN BY: K. PRICE DRAWN BY: K. PRICE DATE: SEPTEMBER 5, 2019 SCALE: NONE PROJECT NO.: 18-009	COVER SHEET	C-1

COVER SHEET



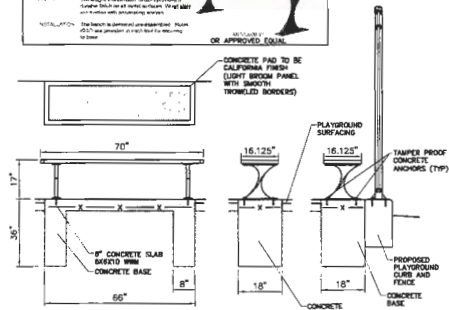
PLAYGROUND CURB LAYOUT

SCALE: 1" = 10'

MAGLIN

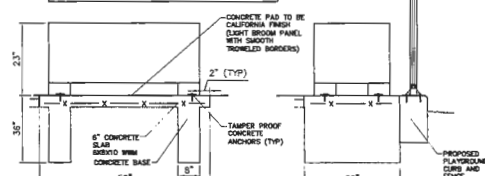
MLB | 200B SERIES

WATERPALL: Select style and finish for your site. The waterpall is made of high density polyethylene (HDPE) and is available in 10' and 15' lengths. The waterpall is designed to be used in conjunction with the MLB | 200B SERIES concrete bench and is available in 10' and 15' lengths.



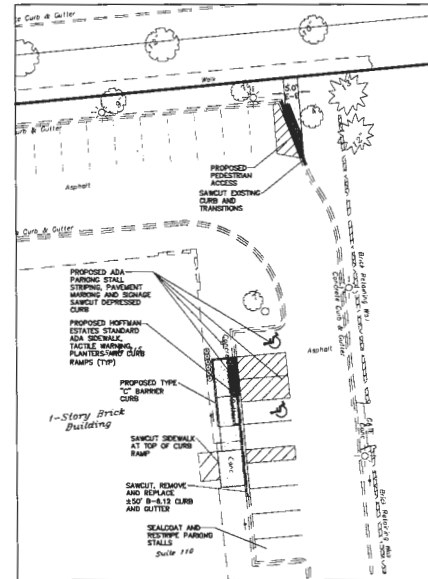
PLAYGROUND BENCH DETAIL

SCALE: N.T.S.



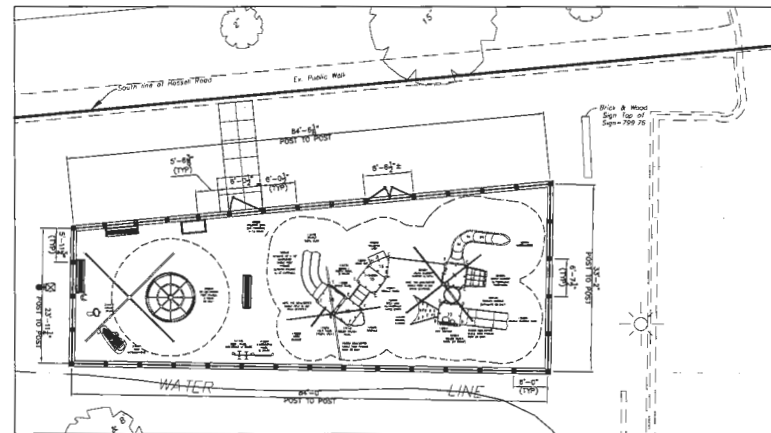
KNAACK BOX DETAIL

SCALE: N.T.S.



EAST PEDESTRIAN CONNECTION

SCALE: 1" = 20'



PLAYGROUND FENCE LAYOUT

SCALE: 1" = 10'

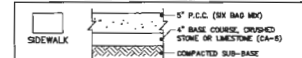


GEOMETRIC PLAN

- GENERAL NOTES:**
1. THESE PLANS ARE BASED ON THE TOPOGRAPHIC MAP SURVEY PROJECT #192-2298 DATED 6/18/2019 & 10/28/19 PREPARED BY: SURVEY SYSTEMS OF AMERICA, INC. PO BOX 6174 ELGIN, IL 60121-6174 P 847-428-5775
 2. PROOF TO CONSTRUCTION CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

- GEOMETRIC PLAN NOTES:**
1. PROPOSED IMPROVEMENTS ARE PARALLEL AND PERPENDICULAR TO THE NORTHERN PROPERTY LINE AND PARKING LOT BACK OF CURB UNLESS OTHERWISE NOTED.
 2. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.
 3. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 4. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
 5. WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLP RESISTANT PAINT.

PAVEMENT LEGEND



- NOTES:**
1. REFERENCE I.D.O.T. STANDARD SPECIFICATIONS (LATEST EDITION) SECTION 406 FOR BINDER & SURFACE COURSES AND SECTION 351 FOR AGGREGATE BASE COURSE.
 2. SEE PROJECT SPECIFICATIONS FOR SUB-BASE AND BASE COURSE COMPACTION.
 3. ALL CONCRETE PLATWORK TO INCLUDE A JOINTING PATTERN SUBMITTAL TO THE CONSTRUCTION MANAGER. CONTRACTOR TO STAY AS CLOSE TO 96\"/>
 - 4. FOR SIDEWALKS, PROVIDE TOOLED JOINTS AT 5' O.C., CONTRACTOR JOINTS AT 15' O.C., EXPANSION JOINTS AT 45' O.C.
 - 5. PROVIDE AN EXPANSION JOINT ADJACENT TO ALL STRUCTURES. THESE JOINTS SHOULD BE SEALED WITH A TOOL-FINISHED SILICONE SEALANT PER I.D.O.T. STANDARD.

DIMENSION LEGEND

F = FACE	R = RADIUS
FND = FOUNDATION	R = RADIUS
B = BACK	C = CENTER
E = EDGE	PL = PROPERTY LINE

DATE: 10/27/19
 PREPARED BY: SURVEY SYSTEMS OF AMERICA, INC.
 PROJECT NO.: 192-2298

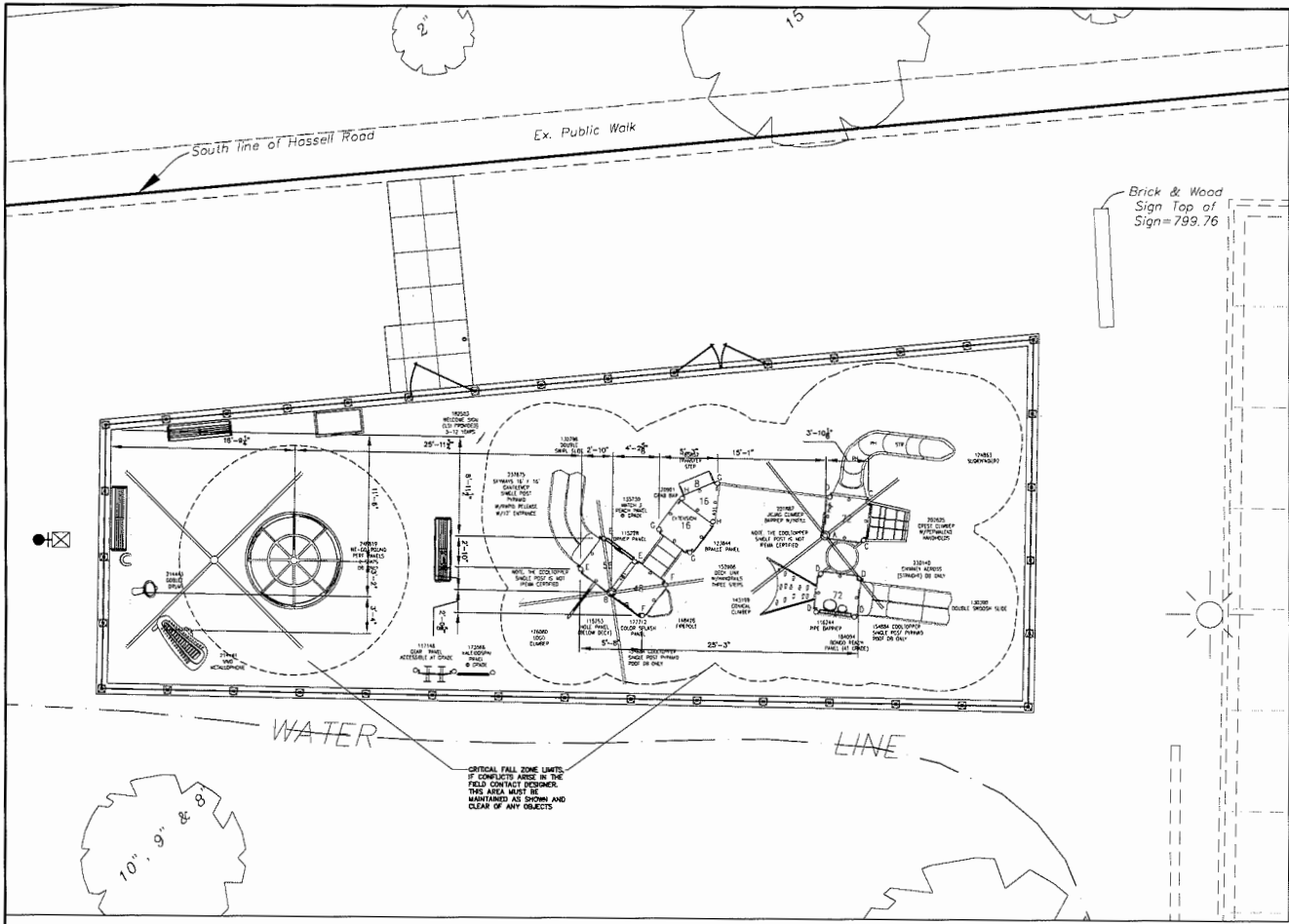
PREPARED FOR:
 Caruso Development Corp.
 2314 W. Higgins Road
 Hoffman Estates, IL 60139

WINSTON KNOLLS SCHOOL - HOFFMAN ESTATES
 2353 Hassell Road
 Hoffman Estates, Illinois

Prepared By:
Walmark Engineering & Resources, Ltd.
 2314 W. Higgins Road, Hoffman Estates, IL 60139
 Phone: 815.331.1100 Fax: 815.331.7650 www.walmarkeng.com

CHECKED BY: D. OLSON
 DESIGN BY: K. PRICE
 DATE: SEPTEMBER 5, 2019
 SCALE: AS NOTED
 PROJECT NO.: 19-009

GEOMETRIC PLAN
 C-2.0



PLAYGROUND EQUIPMENT LAYOUT

SCALE: 1" = 5'

QTY.	NO.	DESCRIPTION
PlayBooster Component System		
1	230140A	Chimney Climb Across 72" Dia Equal Heights DB Only
1	219509A	GeoPlex Climb 56" Dia
1	143198A	Conical Climb 72" Dia DB
1	202625A	Cross Climb w/Permalene Handholds
1	152608C	Deck Link w/Handrails Permalene 3/8" panel 3 Steps
1	201887B	Alpha Climb w/Permalene Handhold (Right) 72" Dia 1
1	176080A	Logo Climb 56" Dia DB
2	121948A	Kick Plate 8" High
3	111275A	Square Deck Extension
4	111228A	Square Tenderdeck
1	163852A	Transfer Step w/2 Handholds DB
1	111211A	Triangular Tenderdeck
1	164094B	Bongo Reach Panel Ground Level
1	123844A	Brake Panel Above Deck
1	135243A	Chimney Panel Above Deck
1	177712A	Color Splash Panel Above Deck
1	135228A	Driver Panel Above Deck
1	135233A	Hole Panel
1	135730A	Match 3 Reach Panel Ground Level
1	116246A	Pipe Barrier Above Deck
1	110991A	Grid Bar
3	111404G	100" Alum Post DB
1	111404D	124" Alum Post DB
7	111404C	132" Alum Post DB
5	111404A	148" Alum Post DB
2	111404H	166" Steel Post DB
1	154883B	248" Steel Post (60" Bury) For CoolTopper Single Post Pyramid Roof
1	154883F	301" Steel Post (72" Bury) For CoolTopper Single Post Pyramid Roof
2	111404H	92" Alum Post DB
2	154884A	CoolToppers Single Post Pyramid Roof DB Only 1
1	120786A	Double Swirl Slide 56" Dia DB
1	110990A	Double Swirl Slide 72" Dia DB 1
1	148426B	Firpoole Pole Handholds 56" Dia DB
1	124863F	Slide/Wagon 72" Dia DB 2 Right 1 Left
1	182503C	Welcome Sign (181 Pivoted) Ages 5-17 years Direct Bury
1	248819A	We-Go-Round w/Perf Panels - 2 seats DB Only 1
1	114425A	Rhinosody Color Drum DB
1	114441A	Rhinosody Viro Metallophone DB
1	173565A	Kaleidosch Panel Ground Level
1	117146A	Clear Panel Ground Level Under 56" Dia
3	111404I	84" Alum Post DB
1	237675C	DayNite Climber Single Post Pyramid 16" x 16" Shade 12' Roof Height w/Topk Release 1

NOTE:
 CONTRACTOR TO PROVIDE SHOP DRAWING AND COORDINATE WITH NOTIFS FOR FINAL LAYOUT OF ALL EQUIPMENT, POSTS, CONCRETE FOUNDATIONS, AND SPACING.
 CONTRACTOR RESPONSIBLE TO CONFIRM AND VERIFY ALL PARTS AND EQUIPMENT WITH LANDSCAPE STRUCTURES. NO SUBSTITUTIONS WITHOUT LANDSCAPE STRUCTURE'S APPROVAL.
 CONTRACTOR IS RESPONSIBLE TO PROVIDE, INSTALL AND ASSEMBLE ALL PLAYGROUND EQUIPMENT AND PLAY SURFACING PER MANUFACTURER'S SPECIFICATIONS.
 CONTRACTOR SHALL PROVIDE A POST CONSTRUCTION EVALUATION BY A CERTIFIED PLAYGROUND SAFETY INSPECTOR.
 CONTRACTOR SHALL PROVIDE OWNER ALL WARRANTY DOCUMENTS, FIELD NOTES, AND PARTS INVENTORY OF THE PLAYGROUND TO THE OWNER AT COMPLETION OF THE PROJECT.



PLAYGROUND LAYOUT

DATE	BY	REVISIONS
11/17/19		FOR VALUE COMMENTS
11/26/19		FOR VALUE COMMENTS

Prepared For:
 Canuso Development Corp.
 2314 W. Higgins Road
 Hoffman Estates, IL 60169
WINSTON KNOLLS SCHOOL - HOFFMAN ESTATES
 2853 Hassell Road
 Hoffman Estates, Illinois

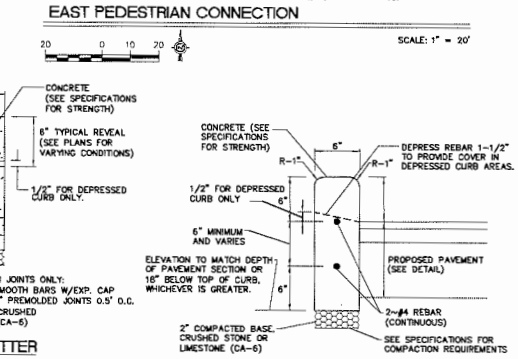
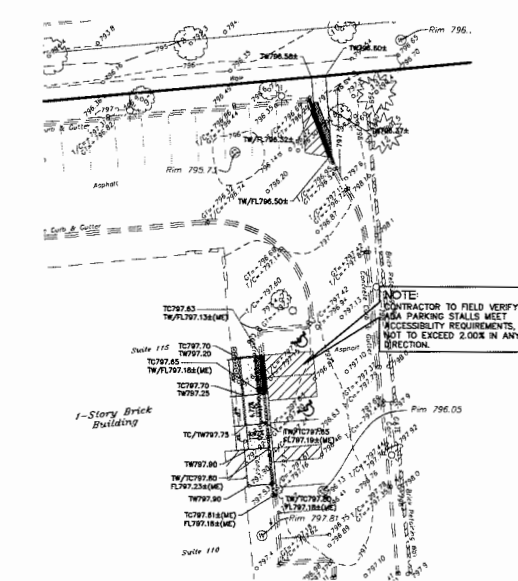
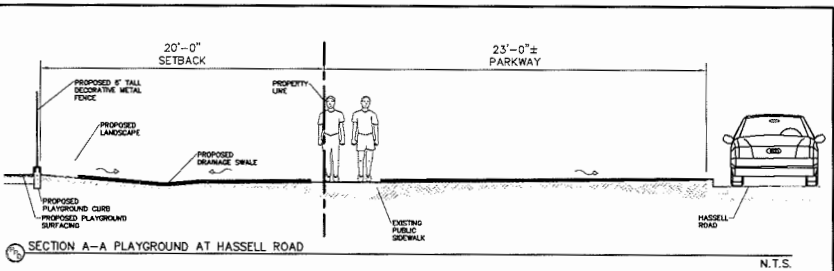
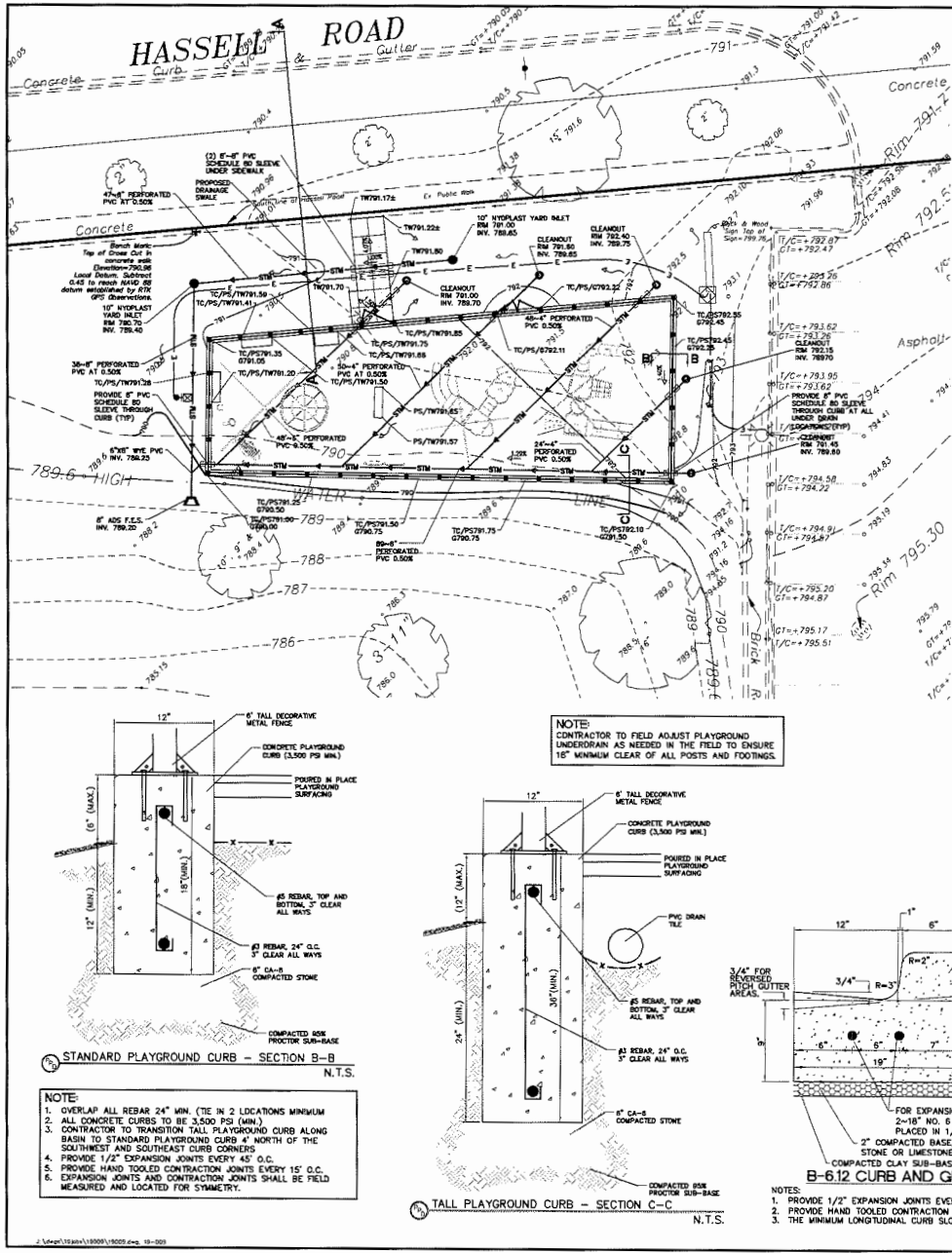
Prepared By:

 2811 Coyle Rd. • Naperville, IL 60563
 phone 630-315-1657 fax 630-315-2525 www.walmarkeng.com

CHECKED BY: D. OLSON
DESIGN BY: K. PRICE
DRAWN BY: K. PRICE
DATE: SEPTEMBER 5, 2019
SCALE: 1" = 5'
PROJECT NO.: 19-009

C-2.1

PLAYGROUND LAYOUT



GENERAL NOTES:
 1. THESE PLANS ARE BASED ON THE TOPOGRAPHIC MAP SURVEY PROJECT #192-2288 DATED 6/18/2019 & 10/28/19 PREPARED BY: SURVEY SYSTEMS OF AMERICA, INC. PO BOX 6174 ELGIN, IL 60121-6174 P 847-428-5275
 2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

REFERENCE BENCHMARK
 LOCATION 1/4 (NAVD83)

NOTE
 CONTRACTOR TO FIELD VERIFY ADA PARKING STALLS MEET ACCESSIBILITY REQUIREMENTS, NOT TO EXCEED 2.00\"/>

GRADING AND UTILITY PLAN

DATE	11/14/21
REVISED	07/20/21
PER VALUE COMMENTS	
PER VALUE COMMENTS	
1	
2	

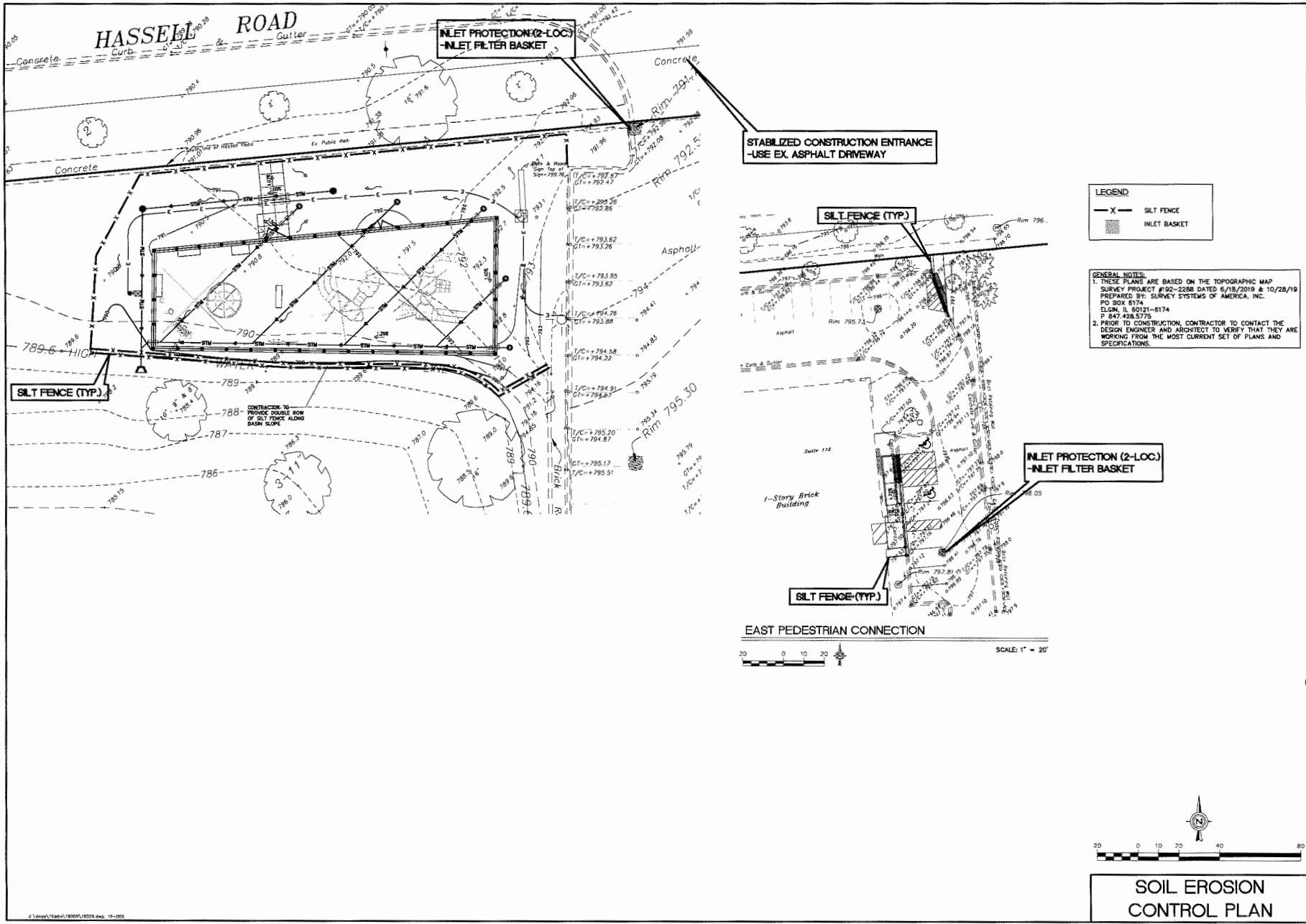
Prepared For:
 Caruso Development Corp.
 2314 W. Higgins Road
 Hoffman Estates, IL 60169
 WINSTON KNOLLS SCHOOL - HOFFMAN ESTATES
 2353 Hassell Road
 Hoffman Estates, Illinois

Prepared By:
Walmark Engineering
 241 Cedar View
 Naperville, IL 60563
 phone 630-212-1000 fax 630-212-2626 www.walmarkeng.com

CHECKED BY: D. OLSON
 DESIGN BY: X. PRICE
 DRAWN BY: K. FRICE
 DATE: SEPTEMBER 5, 2019
 SCALE: 1" = 10'
 PROJECT NO.: 19-009

C-3

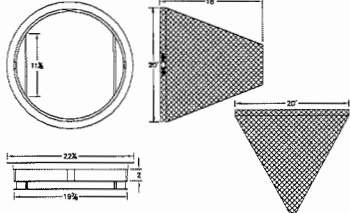
GRADING AND UTILITY PLAN



DATE	11/17/19
DATE	11/29/19
REVISIONS	FOR VALUE COMMENTS
NO.	
Prepared For:	Canuso Development Corp. 23114 W. Higgins Road Hoffman Estates, IL 60139
Prepared By:	WINSTON KNOWLES SCHOOL - HOFFMAN ESTATES 2433 Hassell Road Hoffman Estates, Illinois
CHECKED BY: D. OLSON	 Walsmark Engineering Resources, Ltd. 2011 E. Lincoln Hwy. #200, Joliet, IL 60431 phone: 815.331.1920 fax: 815.331.9740 www.walsmark-engineering.com
DESIGN BY: K. PRIZE	
DRAWN BY: K. PRIZE	
DATE: SEPTEMBER 5, 2019	
SCALE: 1" = 10'	
PROJECT NO: 19-009	

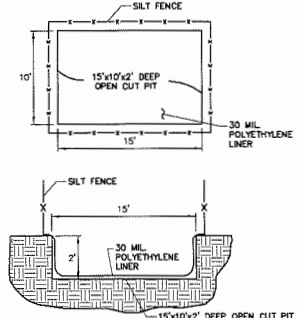
SOIL EROSION CONTROL PLAN

C-4



- NOTES:
- TOP FLANGES FABRICATED FROM 1 1/4" x 1 1/4" x 1/8" ANGLE BASE RIM FABRICATED FROM 1 1/2" x 1/2" x 1/8" CHANNEL. HANDLES AND SUSPENSION BRACKETS FABRICATED FROM 1 1/4" x 1/4" FLAT STOCK.
 - ALL DOMESTIC STEEL IS TO CONFORM TO ASTM-A36.
 - SEDIMENT BAG IS TO BE FABRICATED FROM 4 OZ./SQ. YD. NON-WOVEN POLYPROPYLENE GEOTEXTILE REINFORCED WITH POLYESTER MESH WITH A MINIMUM FLOW RATE OF 145 GAL./MIN./SQ. FT. BAG IS TO BE DESIGNED FOR A MINIMUM SILT AND DEBRIS CAPACITY OF 2 CU. FT. BAG IS TO BE SECURED TO BASE RIM WITH A STAINLESS STEEL STRAP AND LOCK.

INLET BASKET FILTER FOR TYPE 1 INLETS



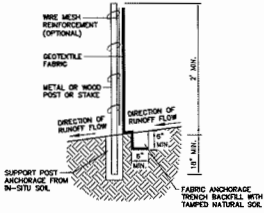
- NOTES:
- OPTIONAL USE OF A PORTABLE CONCRETE WASHOUT CONTAINER IS ACCEPTABLE WITH 30 MIL. POLYETHYLENE LINER.
 - CONCRETE WASHOUT SHOULD BE CONTAINED AT ALL TIMES. WASHOUT MATERIAL SHOULD NOT BE ALLOWED TO ENTER WATER BODIES, STORM SEWERS OR LEACH INTO THE SOIL UNDER ANY CIRCUMSTANCES. ANY WASTE SHOULD BE DISPOSED OF PROPERLY AND THE LOCATION OF THE WASHOUT SHOULD BE DESIGNATED WITH PROPER SIGNAGE. FAILURE TO COMPLY COULD RESULT IN AN INCIDENCE OF NONCOMPLIANCE (ON).

CONCRETE WASHOUT AREA DETAIL

- CONSTRUCTION SEQUENCE:**
- INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 - PREPARE TEMPORARY PARKING AND STORAGE AREA.
 - CONSTRUCT THE SILT FENCES ON THE SITE.
 - HOLD PRE-CONSTRUCTION MEETING TO DISCUSS THE STORM WATER POLLUTION PLAN WITH ENGINEER, ALL CONTRACTORS AND JURISDICTIONAL INSPECTION AGENCIES.
 - CLEAR AND GRUB THE SITE.
 - START CONSTRUCTION.
 - BEGIN MASS GRADING OPERATIONS FOR THE SITE.
 - TEMPORARILY SEED DEGRADED AREAS.
 - INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
 - INSTALL RIP RAP AROUND OUTLET STRUCTURES.
 - COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
 - REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).

- EROSION CONTROL**
- CONTRACTOR IS TO FOLLOW THE REQUIREMENTS OF THE "ILLINOIS PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL," CURRENT EDITION AND THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES).
 - SOIL EROSION CONTROL SYSTEMS SHALL BE CONSTRUCTED AS SHOWN ON THE SOIL EROSION CONTROL PLANS AND/OR AS SPECIFIED BY THE DESIGN ENGINEER, VILLAGE ENGINEER, APPOINTED SWPPP INSPECTOR, OR MUNICIPAL INSPECTOR.
 - PERIMETER EROSION BARRIER SHALL BE PLACED IN A MANNER THAT WILL INTERCEPT WATER BORNE SILT AND PREVENT IT FROM LEAVING THE AREA OF CONSTRUCTION. ALL SILT FENCES SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE WITH THE ENDS EXTENDING TO THE SLOPE. THE MAXIMUM SPACING OF POSTS SHALL BE 6 FEET, WHEN WIRE OR OTHER FORM OF APPROVED BACKING IS USED. SPACING MAY BE INCREASED TO 8 FEET. SPACING MAY NEED TO BE ADJUSTED SO THAT POSTS ARE LOCATED IN LOW AREAS WHERE WATER MAY FLOW. THE FILTER FABRIC AND WIRE POSTS SHALL BE INSTALLED WITH THE ENDS EXTENDING TO THE SLOPE. THE SIDES OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST ONE INCH LONG OR THE WIRES (10 GAUGE MINIMUM). THE FABRIC SHALL NOT BE STAPLED OR WIRED TO THE WIRE SUPPORT OR TO EXISTING TREES. GEOTEXTILE FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 (GEOTEXTILE) TABLE 1 OR 2, CLASS I IN THE ILLINOIS URBAN MANUAL, CURRENT EDITION. THE FABRIC SHALL HAVE AN AOS OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN MATERIAL.
 - INLET FILTERS SHALL BE CONSTRUCTED OF A REPLACEABLE REINFORCED FILTER BAG SUSPENDED FROM A RETAINER RING OR FRAME. INLET FILTER SYSTEMS SHALL BE THE CATCH-ALL WITH OVERFLOW, AS FURNISHED BY MARATHON MATERIALS INC. OR PRE-APPROVED EQUAL. CARE SHOULD BE TAKEN WHEN MAINTAINING OR REMOVING THIS FILTER FABRIC BAG TO NOT ALLOW THE PREVIOUSLY TRAPPED DEBRIS TO ENTER THE STORM SEWER SYSTEM.
 - THE BED FOR RIP RAP SHALL BE TRIMMED AND SHAPED TO ALLOW THE FINISHED SURFACE TO CONFORM TO THE LINES SPECIFIED, AT THE TOE OF THE SLOPE. THE RIP RAP SHALL COMMENCE ON A CONTINUATION OF THE SLOPE AFTER EXCAVATION TO ACCOMMODATE THE FULL DEPTH OF FABRIC, BEDDING LAYER, AND RIP RAP SPECIFIED.
 - FILTER FABRIC IS REQUIRED UNDER STONE RIP RAP GRADATION 4, 5, 6 AND 7 FOR ALL USES, AND UNDER CONCRETE BLOCK, BROKEN CONCRETE, AND STONE OR BROKEN CONCRETE DUMPED RIP RAP WHEN USED FOR SOIL EROSION PROTECTION.
 - STREETS ARE TO BE CLEARED OF DEBRIS, AND SWEEP CLEAN OF SILT AND MUD DAILY.
 - SOIL EROSION CONTROL MEASURES ARE TO BE CHECKED BY QUALIFIED PERSONNEL, AT LEAST ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER OR EQUIVALENT SNOWFALL AND REPAIRED IF NECESSARY.
 - ALL EROSION CONTROL PROTECTION SHALL BE KEPT IN PLACE UNTIL THE GROUND HAS BEEN STABILIZED AND THE PAVEMENT HAS BEEN INSTALLED.
 - ANY DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE STOPPED (PERMANENTLY OR TEMPORARILY) FOR 7 DAYS, MUST BE STABILIZED IN ACCORDANCE WITH WPDES REQUIREMENTS.
 - BUILT UP SEDIMENT SHALL BE REMOVED FROM THE SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.
 - SILT FENCES SHALL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, ETC., TO SEE IF FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND THAT THE FENCE POSTS ARE SECURELY IN THE GROUND.
 - THE SEDIMENT BASIN, IF PRESENT, SHALL BE INSPECTED FOR DEPTH OF SEDIMENT AT LEAST ONCE A WEEK. BUILT UP SEDIMENT SHALL BE REMOVED WHEN IT REACHES 25 PERCENT OF THE DESIGN CAPACITY.
 - CONTRACTOR TO COMPLY WITH FINAL STABILIZATION AND TERMINATION REQUIREMENTS OF THE SWPPP.
 - AT A MINIMUM, SILT FENCE AND OTHER EROSION CONTROL MEASURES SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE PHASE I AND PHASE II SOIL EROSION CONTROL PLANS. THEY SHALL ALSO BE INSTALLED ANYWHERE THAT THEY ARE NEEDED DURING CONSTRUCTION IN ORDER TO PREVENT EROSION AND SEDIMENT FROM BEING CARRIED DOWN STREAM. THIS IS THE GENERAL CONTRACTOR'S RESPONSIBILITY AND SHALL BE INSTALLED, RELOCATED, MAINTAINED, ETC. AS DIRECTED BY THE APPOINTED SWPPP INSPECTOR. EROSION CONTROL INSTALLATION AND MAINTENANCE IS TO BE A PART OF THE CONTRACT AND IS NOT AN EXTRA TO THE OWNER.

- GENERAL NOTES:**
- THESE PLANS ARE BASED ON THE TOPOGRAPHIC MAP (SURVEY PROJECT #162-2208 DATED 6/19/2019) PREPARED BY: SURVEY SYSTEMS OF AMERICA, INC. PO BOX 6174 ELGIN, IL 60121-6174 P. 847.428.5775
 - PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.



- NOTES:
- TEMPORARY SEDIMENT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING WORK IN THE AREA TO BE PROTECTED. THEY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND REMOVED IN CONJUNCTION WITH THE FINAL GRADING AND SITE STABILIZATION.
 - FENCE POSTS SHALL BE EITHER STANDARD STEEL POST OR WOOD POST WITH A MINIMUM CROSS-SECTIONAL AREA OF 3.0 SQ. IN.
 - STEEL POSTS SHALL BE STANDARD I AND U SECTIONS WEIGHING NOT LESS THAN 1.23 POUNDS PER LINEAR FOOT OR OTHER STEEL POSTS HAVING EQUIVALENT STRENGTH AND TENSILE RESISTANCE.
 - WIRE FENCE SHALL BE A MINIMUM 12 GAUGE WIRE WITH A 6 INCH MAXIMUM OPENING.
 - GEOTEXTILE FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 (GEOTEXTILE) TABLE 1 OR 2, CLASS I IN THE FABRIC SHALL HAVE AN AOS OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN MATERIAL.
- MAINTENANCE NOTES:**
- FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL GREATER THAN 1/2" AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
 - SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
 - SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN THE DEPOSITS REACH APPROXIMATELY HALF THE HEIGHT OF THE BARRIER.
 - ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DESIGNED TO CONFORM WITH THE EXISTING GRADING, PREPARED AND SEED.
 - AT A MINIMUM, SILT FENCE AND OTHER EROSION CONTROL MEASURES SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE PHASE I AND PHASE II SOIL EROSION CONTROL PLANS. THEY SHALL ALSO BE INSTALLED ANYWHERE THAT THEY ARE NEEDED DURING CONSTRUCTION IN ORDER TO PREVENT EROSION AND SEDIMENT FROM BEING CARRIED DOWN STREAM. THIS IS THE GENERAL CONTRACTOR'S RESPONSIBILITY AND SHALL BE INSTALLED, RELOCATED, MAINTAINED, ETC. AS DIRECTED BY THE APPOINTED SWPPP INSPECTOR. EROSION CONTROL INSTALLATION AND MAINTENANCE IS TO BE A PART OF THE CONTRACT AND IS NOT AN EXTRA TO THE OWNER.

SILT FENCE DETAIL

SOIL PROTECTION CHART

	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEP	OCT	NOV	DEC
PERMANENT SEEDING												
SOODING												
TEMPORARY SEEDING												
MULCHING												

- NOTES:
- PERMANENT SEEDING SHALL BE PLANTED ACCORDING TO THE APPROVED LANDSCAPE PLAN AND SHALL FOLLOW ILLINOIS URBAN MANUAL PRACTICE STANDARD 880 FOR PERMANENT SEEDING AND 925 FOR SOODING AT A MINIMUM.
 - TEMPORARY SEEDING SHALL BE APPLIED ACCORDING TO THE ILLINOIS URBAN MANUAL PRACTICE STANDARD 965. THIS PRACTICE APPLIES TO ALL CLEARED, UNVEGETATED, OR SPARSELY VEGETATED SOIL SURFACES WHERE VEGETATIVE COVER IS NEEDED FOR LESS THAN 1 YEAR.
 - WHERE THE PH OF THE SOIL IS BELOW 5.5, APPLY ONE AND ONE HALF TO TWO TONS PER ACRE OF FINELY GROUND AGRICULTURAL LIMESTONE. IF THE SEEDING PERIOD IS LESS THAN 30 DAYS, LIMING WILL NOT BE REQUIRED.
 - APPLY 500 POUNDS PER ACRE OF 10-10-10 FERTILIZER OR EQUIVALENT. INCORPORATE LIME AND FERTILIZER INTO THE TOP 2-4 INCHES OF SOIL. IF THE SEEDING PERIOD IS LESS THAN 30 DAYS, FERTILIZER WILL NOT BE REQUIRED.
 - PREPARE A TOPSOIL SEEDBED OF LOOSE SOIL TO A DEPTH OF 3 TO 4 INCHES. IF RECENT TILLAGE OR GRADING OPERATIONS HAVE RESULTED IN A LOOSE SURFACE, ADDITIONAL TILLAGE OR ROUGHENING MAY NOT BE REQUIRED EXCEPT TO BREAK UP LARGE CLODS. IF RAINFALL CAUSED THE SURFACE TO BECOME SEALED OR CRUSTED, LOOSEN IT JUST PRIOR TO SEEDING BY DISKING, RAKING, HARROWING, OR OTHER SUITABLE METHODS. GROVE OR FURROW SLOPES STEEPER THAN 3:1 ON THE CONTOUR BEFORE SEEDING.
 - SEED SHALL BE EVENLY APPLIED WITH A CYCLONE SEEDER, DRILL, QUILTPACKER SEEDER OR HYDROSEEDER. SMALL GRAINS SHALL BE PLANTED NO MORE THAN ONE HALF INCH DEEP. GRASSES SHALL BE PLANTED NO MORE THAN ONE HALF INCH DEEP.
 - COVER BROADCAST SEEDINGS BY QUILTPACKING, DRAGGING A HARROW, OR RAKING.
 - F. OATS SHALL BE APPLIED AT 90 LBS PER ACRE AND SHALL ONLY BE APPLIED EARLY SPRING TO JULY.
 - G. CEREAL RYE SHALL BE APPLIED AT 90 LBS PER ACRE AND SHALL ONLY BE APPLIED EARLY SPRING TO SEPTEMBER 30.
 - H. WHEAT SHALL BE APPLIED AT 90 LBS PER ACRE AND SHALL ONLY BE APPLIED EARLY SPRING TO SEPTEMBER 30.
 - I. PERENNIAL RYE GRASS SHALL BE APPLIED AT 25 LBS PER ACRE AND SHALL ONLY BE APPLIED EARLY SPRING TO SEPTEMBER 30.
 - PERMANENT SEEDING SHALL BE APPLIED TO:
 - AREAS THAT HAVE BEEN SEEDDED TO PROVIDE A TEMPORARY OR PERMANENT SEEDING FOR SOIL SURFACE PROTECTION.
 - FOR MUD AND DUST CONTROL.
 - PROVIDE PROTECTION DURING PERIODS WHEN CONSTRUCTION OR SEEDING CANNOT BE DONE, AND SHALL BE CONSTRUCTED ACCORDING TO THE ILLINOIS URBAN MANUAL PRACTICE STANDARD 875.

SOIL EROSION DETAILS AND SPECIFICATIONS

DATE: 11/27/19
 DRAWN BY: K. PRICE
 CHECKED BY: K. PRICE
 SCALE: N/A
 PROJECT NO.: 19-009

PREPARED FOR:
 Canuso Development Corp.
 2314 W. Higgins Road
 Hoffman Estates, IL 60169

PREPARED BY:
 Wainmark Engineering Resources, Ltd.
 29553 Hassel Road
 Hoffman Estates, Illinois

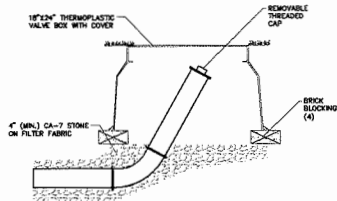
WINSTON KNOLLS SCHOOL - HOFFMAN ESTATES

PROJECT NO.: 19-009

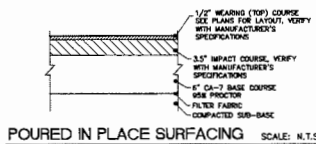
DATE: SEPTEMBER 5, 2019

SCALE: N/A

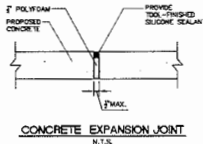
C-5



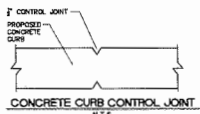
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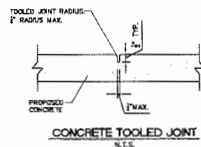
POURED IN PLACE SURFACING SCALE: N.T.S.



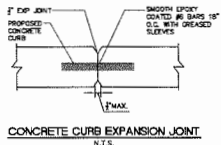
CONCRETE EXPANSION JOINT N.T.S.



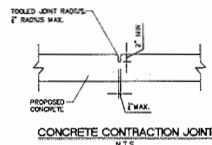
CONCRETE CURB CONTROL JOINT N.T.S.



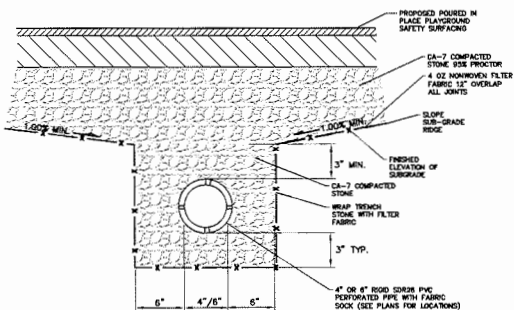
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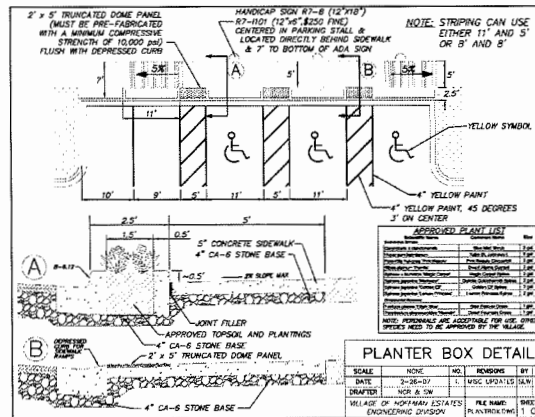
CONCRETE CURB EXPANSION JOINT N.T.S.



CONCRETE CURB CONTRACTION JOINT N.T.S.



PLAYGROUND UNDERDRAIN SCALE: N.T.S.

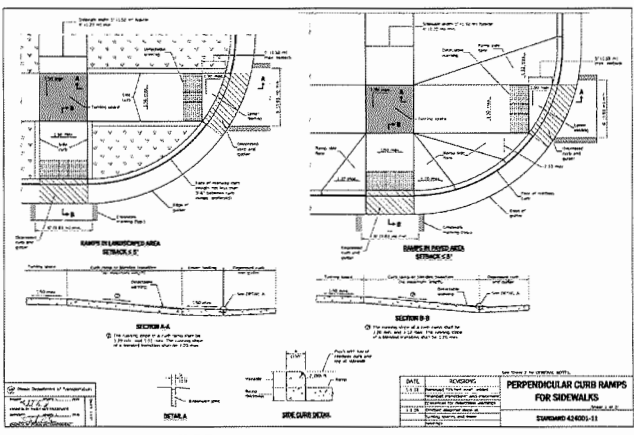
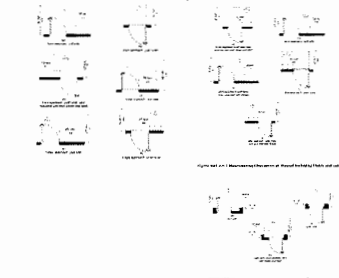


APPROVED PLANT LIST

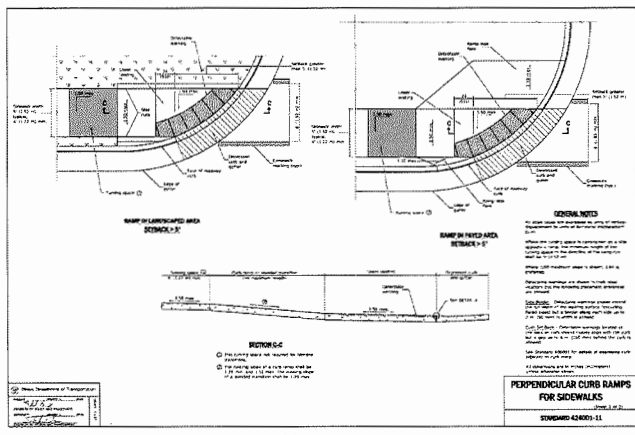
Plant Name	Quantity	Notes
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PLANTER BOX DETAIL

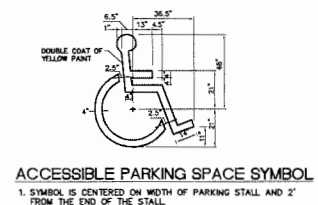
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DATE	3-28-07	1	MISC. UPDATES (AK)	2/10	
DRAWN	NCR & SW				
RELEASED BY	HOFFMAN ESTATES ENGINEERING DIVISION	FILE NAME	WHS1 ML	PLANTBOX.rvt	1 OF 1



PERPENDICULAR CURB RAMPS FOR SIDEWALKS SCALE: N.T.S. STANDARD 424001-11



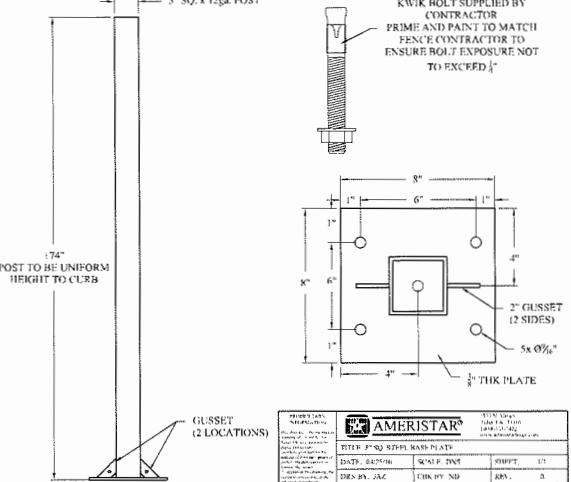
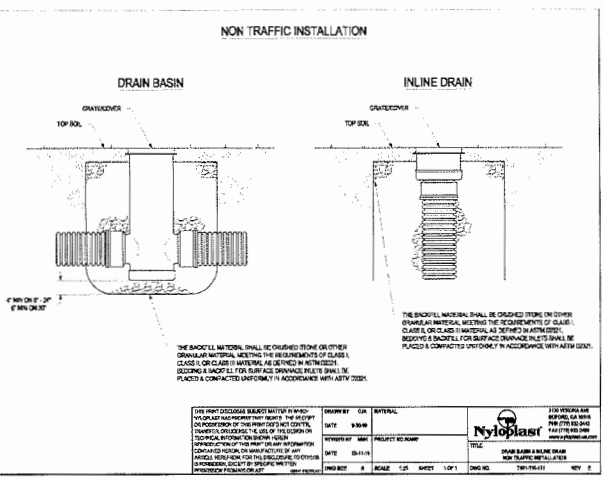
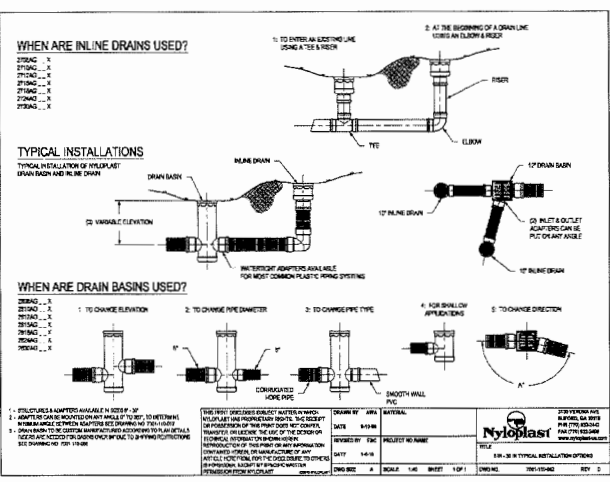
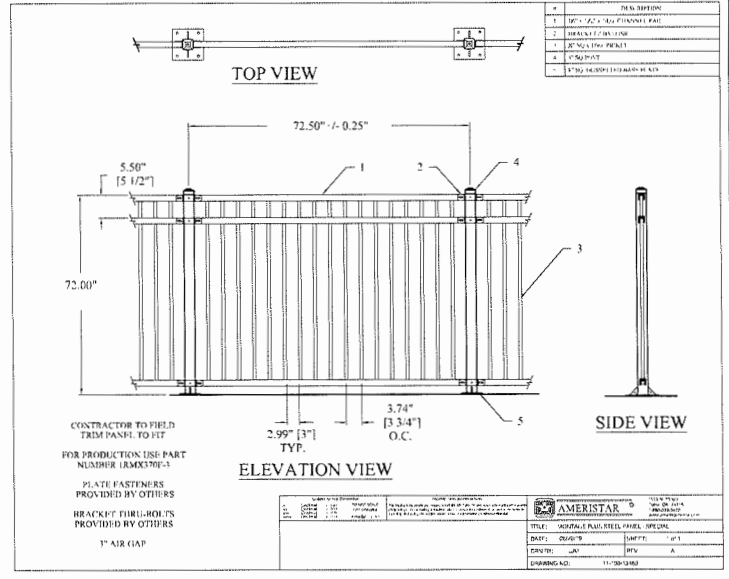
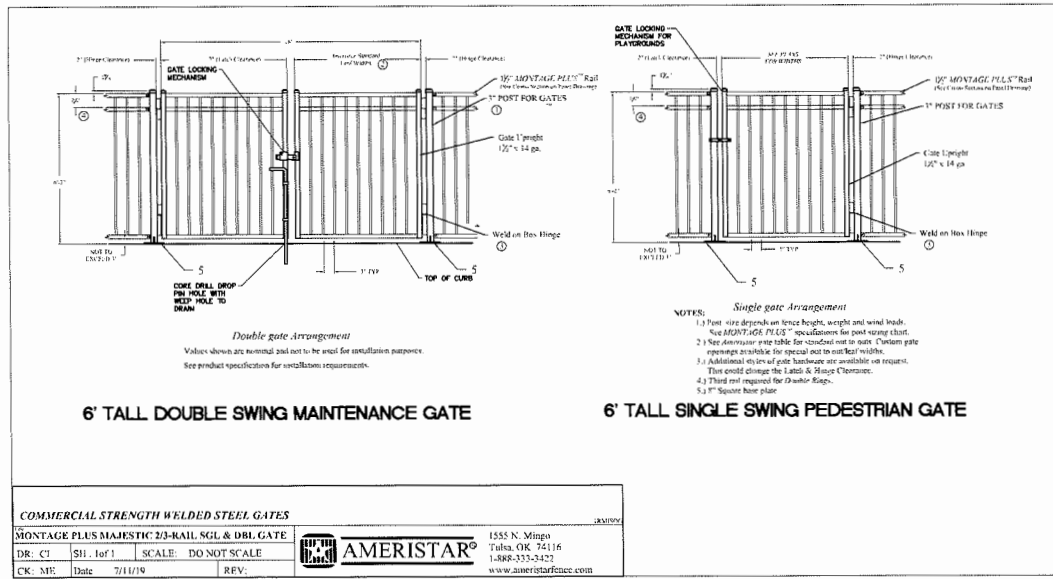
PERPENDICULAR CURB RAMPS FOR SIDEWALKS SCALE: N.T.S. STANDARD 424001-11



ACCESSIBLE PARKING SPACE SYMBOL 1. SYMBOL IS CENTERED ON WIDTH OF PARKING STALL AND 2' FROM THE END OF THE STALL.

PROJECT DETAILS

DATE: 11/27/10
 11/27/10
 REVISIONS:
 PER RELEASE COMMENTS
 FOR: WILSON
 NO. 1
 Prepared For:
 Causo Development Corp.
 2314 W. Higgins Road
 Hoffman Estates, IL 60169
 WINSTON KNOLLS SCHOOL - HOFFMAN ESTATES
 23633 Hessel Road
 Hoffman Estates, Illinois
 Prepared By:
 Waimark Engineering Resources, Ltd.
 1511 W. Higgins Road
 Hoffman Estates, IL 60169
 PHONE: 815.314.1200 FAX: 815.314.2222 WWW.WAIMARKENGINEERING.COM
 CHECKED BY: D. OLSON
 DESIGNED BY: K. PRICE
 DRAWN BY: K. PRICE
 DATE: SEPTEMBER 5, 2010
 SCALE: NONE
 PROJECT NO.: 10-009



DESIGNED BY: D. OLSON	DATE: 7/11/19	SCALE: AS SHOWN	PROJECT NO: 19-009
DESIGN BY: K. PRICE	DATE: 7/11/19	SCALE: AS SHOWN	PROJECT NO: 19-009
DRAWN BY: M. WILSON	DATE: 7/11/19	SCALE: AS SHOWN	PROJECT NO: 19-009
CHECKED BY: M. WILSON	DATE: 7/11/19	SCALE: AS SHOWN	PROJECT NO: 19-009
APPROVED BY: M. WILSON	DATE: 7/11/19	SCALE: AS SHOWN	PROJECT NO: 19-009

DATE: 7/11/19

PROJECT NO: 19-009

PREPARED FOR:

Caruso Development Corp.
2914 W. Higgins Road
Hoffman Estates, IL 60169

WINSTON KNOLLS SCHOOL - HOFFMAN ESTATES
24553 Hassell Road
Hoffman Estates, Illinois

Prepared By:

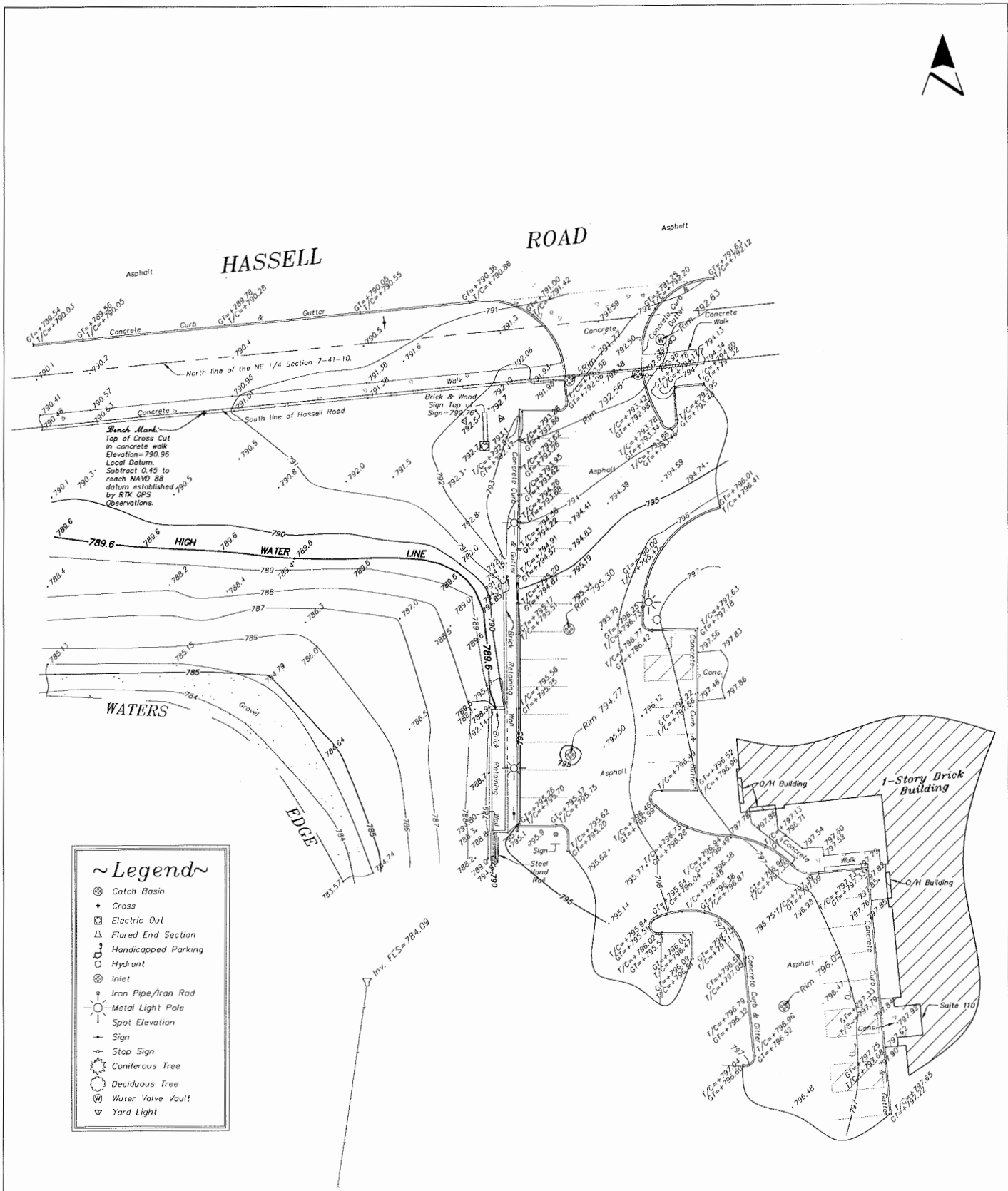
Walmark Engineering Resources, Ltd.

1831 Cherry Woods Parkway, Suite 100, Aurora, IL 60022
Phone: 630-252-2525, Fax: 630-252-2525, www.walmarkeng.com

PROJECT NO: 19-009

PROJECT DETAILS

C-7



- ~ Legend ~
- ⊗ Catch Basin
 - ✦ Cross
 - ⊠ Electric Out
 - △ Flared End Section
 - ⊞ Handicapped Parking
 - Hydrant
 - ⊙ Inlet
 - ↑ Iron Pipe/Iron Rod
 - ⊙ Metal Light Pole
 - ⊙ Spot Elevation
 - ⊙ Sign
 - ⊙ Stop Sign
 - ⊙ Coniferous Tree
 - ⊙ Deciduous Tree
 - ⊙ Water Valve Vault
 - ⊙ Yard Light

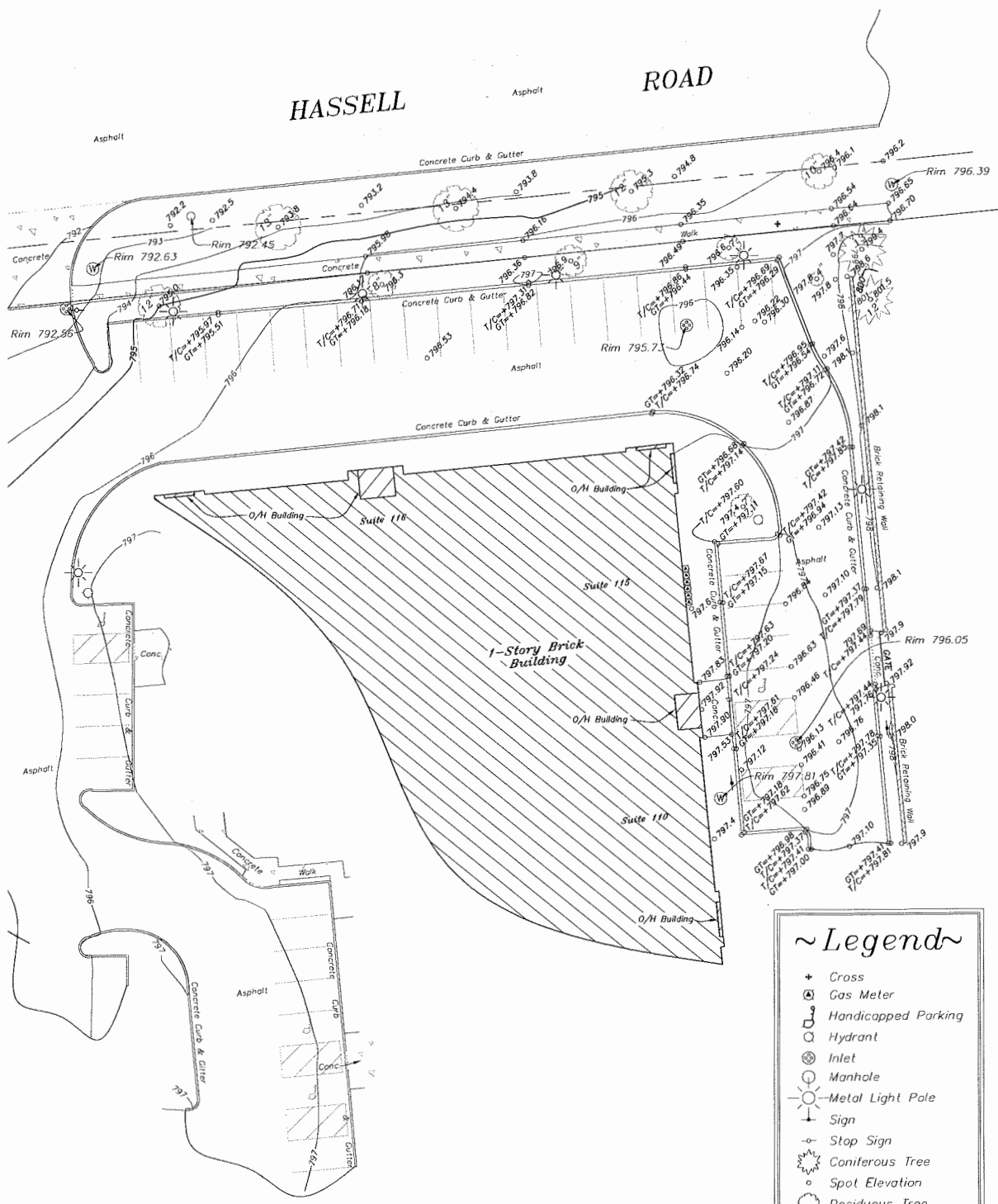
Note!
Elevations shown hereon are referenced to local datum. Subtract 0.45 to reach NAVD 88 datum established by RTK GPS Observations.

Topography Map	
Blackberry Falls Phase 2	
HOFFMAN ESTATES ILLINOIS	
FOR: WATER MARK ENGINEERING	DATE: 07/09/2019
SURVEY SYSTEMS OF AMERICA, INC.	
Subdivision, Land & Construction Surveys	P.O. BOX 6174 ELGIN, ILLINOIS 60121-8174 PHONE: (847) 428-6775
SCALE: 1" = 20' FE.	R.C. GD C/P/N/P/S 1 SHEET 1
ORDER NO. 192-2288 TM	

Drawing last revised: 7/9/2019



HASSELL ROAD



~ Legend ~

- + Cross
- ⊕ Gas Meter
- ♿ Handicapped Parking
- ⊕ Hydrant
- ⊕ Inlet
- ⊕ Manhole
- ⊕ Metal Light Pole
- ⊕ Sign
- ⊕ Stop Sign
- ⊕ Coniferous Tree
- ⊕ Spot Elevation
- ⊕ Deciduous Tree
- ⊕ Water Valve Vault

Topography Map
Blackberry Falls Phase 2

HOFFMAN ESTATES ILLINOIS
 FOR: WATER MARK ENGINEERING

SURVEY SYSTEMS OF AMERICA, INC.

Subdivision, Land & Construction Surveys P.O. BOX 6174 ELGIN, ILLINOIS 60121-8174 PHONE: (847) 428-5775

DATE: 10/28/2019
 SCALE: 1" = 20 FT.
 P.C. CD SHEET 1 OF 1
 CMRPS ORDER NO. 192-2288 TM

2288 TM.dwg

VILLAGE OF HOFFMAN ESTATES

AN ORDINANCE AMENDING SECTIONS 9-1-2, 9-2-1, AND 9-3-13,
AND CREATING ARTICLE 9-11,
CANNABIS DISPENSARY OVERLAY DISTRICT,
OF THE HOFFMAN ESTATES MUNICIPAL CODE
(CANNABIS DISPENSARIES)

WHEREAS, the Planning and Zoning Commission of the Village of Hoffman Estates, at a public hearing duly called and held according to law on November 6, 2019 and November 20, 2019, considered amendments to Chapter 9 of the Hoffman Estates Municipal Code; and

WHEREAS, the Planning and Zoning Commission made certain Finding of Fact attached hereto and made a part hereof as Exhibit "A" and recommended approval of said amendments to the Board of Trustees; and

WHEREAS, the Corporate Authorities have received and considered said recommendation and find that the standards for a text amendment (Section 9-1-17) have been met.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: That Section 9-1-2, ESTABLISHMENT OF DISTRICTS, of the Hoffman Estates Municipal Code be and is hereby amended to read as follows:

Section 9-1-2. ESTABLISHMENT OF DISTRICTS

In order to carry out the purpose and provisions of this Code, the Village of Hoffman Estates is hereby divided into the following districts:

AG Agricultural District

- R-1 One Family Residential District
- R-2 One Family Residential District
- R-3 One Family Residential District
- R-4 One Family Residential District
- R-5 One Family Residential District
- R-6 One Family Residential District
- R-7 One Family Residential District
- R-8 Two Family Residential District
- R-9 Planned Development District
- R-10 Attached Single Family Dwelling Residential District
- RPD Residential Planned Development District
- RAA Residential Active Adult District

TN Traditional Neighborhood District

A-1 Apartment District

- O-1 Office District
- O-2 Office and Research District
- O-3 Office and Research Tollway District
- O-4 Office and Research Campus District
- O-5 Office District

- B-1 Neighborhood Business District
- B-2 Community Business District
- B-3 Business District
- B-4 Business District

C-MU Commercial/Mixed Use District

M-1 Manufacturing District

M-2 Manufacturing District

H Historical District

CDO Cannabis Dispensary Overlay District

Section 2: That Section 9-2-1, DEFINITIONS, of the Hoffman Estates Municipal Code be and is hereby amended by adding Cannabis Dispensary to read as follows:

Cannabis Dispensary: A dispensary or dispensing organization as defined in the Illinois Cannabis Tax Act (410 ILCS 705/1 *et seq.*), as amended, or a “medical cannabis dispensing organization”, as defined in the Illinois Compassionate Use of Medical Cannabis Pilot Program Act (410 ILCS 130/1 *et seq.*), as amended.

Section 3: That Section 9-3-13, CANNABIS USES, of the Hoffman Estates Municipal Code be and is hereby created to read as follows:

Section 9-3-13. CANNABIS USES

A. Cultivation centers, infusers, infuser organizations, craft growers, processing organizations, or transporting organizations, as those terms are defined in the Illinois Cannabis Regulation and Tax Act (410 ILCS 705/1 *et seq.*) as amended and the regulations promulgated thereunder, are prohibited as a special use or a permitted use in all zoning districts.

B. Cannabis Dispensaries are only allowable within the Cannabis Dispensary Overlay Districts and only if in compliance with Section 9-11-2-B. The total number of special use permits issued by the Village of Hoffman Estates for Cannabis Dispensaries shall be limited to three (3).

Section 4: That Article 11, CANNABIS DISPENSARY OVERLAY DISTRICT, of Chapter 9, ZONING CODE, of the Hoffman Estates Municipal Code, is hereby created to read as follows:

Article 11

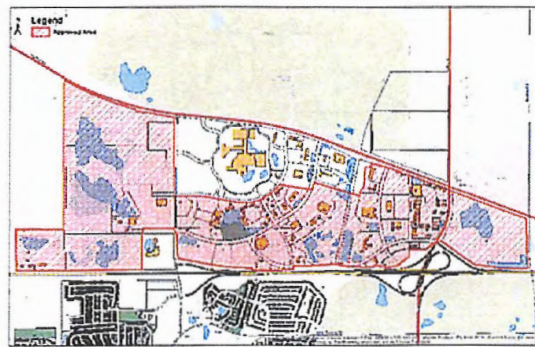
CANNABIS DISPENSARY OVERLAY DISTRICT

Section 9-11-1. LEGISLATIVE INTENT

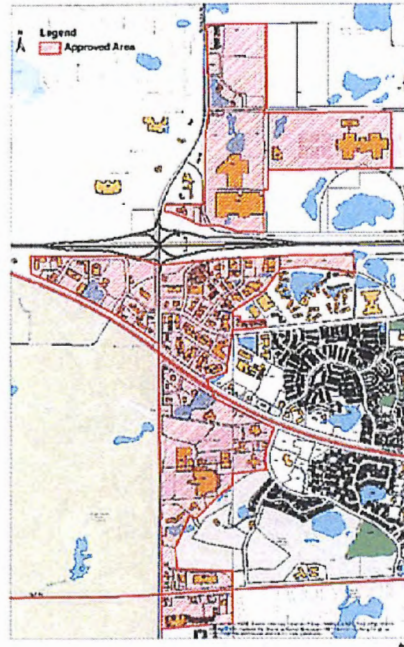
A. Legislative Intent. The purpose of the Cannabis Dispensary Overlay District is to provide areas for Cannabis Dispensaries in locations compatible with supportive business uses established by an existing underlying zoning district.

B. Establishment of Boundaries for Cannabis Dispensary Overlay Districts

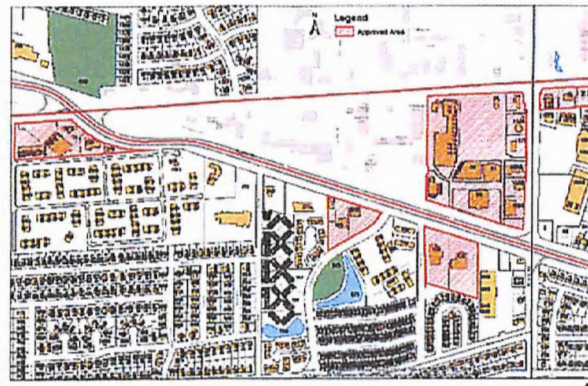
1. Area 1 – Western Area “A-1”



2. Area 2 - Barrington Road Corridor "A-2"



3. Area 3 - Higgins and Roselle "A-3"



Section 9-11-2. USES

A. *Permitted Uses:* The underlying zoning classification shall remain the governing zoning designation with regards to all land uses, bulk restrictions, and the general requirements of Chapter 9, Article 3.

B. *Special Uses:* Cannabis Dispensaries are subject to the standards of Section 9-1-18-1 and the following restrictions.

1. Cannabis Dispensaries shall operate in strict compliance with Illinois law.
2. The number of special use permits issued for a Cannabis Dispensary by the Village of Hoffman Estates shall be limited to three (3).
3. A copy of any security plan required by Illinois law shall be submitted at the time the special use permit application is filed.
4. No consumption of cannabis in any form shall be permitted on the Cannabis Dispensary site.

5. A Cannabis Dispensary shall not operate between the hours of 10:00 p.m. and 6:00 a.m. seven (7) days a week.

Section 5: Severability. If any provision of this Ordinance, or the application of any provision of this Ordinance, is held unconstitutional or otherwise invalid, such occurrence shall not affect other provisions of this Ordinance, or their application, that can be given effect without the unconstitutional or invalid provision or its application. Each unconstitutional or invalid provision, or application of such provision, is severable, unless otherwise provided by this Ordinance.

Section 6: The Village Clerk is hereby authorized to publish this ordinance in pamphlet form.

Section 7: This Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2019

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Michael Gaeta	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
President William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2019

Village President

ATTEST:

Village Clerk

Published in pamphlet form this _____ day of _____, 2019.



VILLAGE MANAGER'S OFFICE

Memo

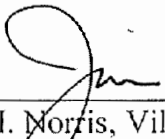
TO: President & Board of Trustees
FROM: James H. Norris, Village Manager
RE: 2020 VILLAGE BOARD & COMMITTEE MEETING SCHEDULE
DATE: December 10, 2019

<input type="checkbox"/> Urgent	<input checked="" type="checkbox"/> For Review	<input type="checkbox"/> Please Reply
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At the General Administration & Personnel Committee meeting on Monday, December 9, the 2020 Village Board and Committee meeting dates were approved, with the Board meeting of September 7 (Labor Day) being moved to September 14. The Committee asked if the date of September 14 would affect bill paying and staff stated it would not.

After further review, next year August has 5 Mondays which would give us 4 full weeks between the August 17 Board meeting and the next meeting of September 14, and staff realized that does not work for bill payments. Therefore, staff is requesting that the September 14 Village Board meeting be moved to Tuesday, September 8.

If you have any questions, please do not hesitate to contact me.



James H. Norris, Village Manager

JHN/ds