

AGENDA

*Village of Hoffman Estates
Second Meeting of the Month
Village Board of Trustees*

*1900 Hassell Road
Hoffman Estates, IL 60169
847/882-9100*

Board Room	7:00 p.m.	June 17, 2019
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1. **CALL TO ORDER/ROLL CALL**
2. **PLEDGE OF ALLEGIANCE TO THE FLAG**
3. **RECOGNITION OF AUDIENCE**
4. **APPROVAL OF MINUTES – June 3, 2019**
5. **CONSENT AGENDA/OMNIBUS VOTE (Roll Call Vote)**
(All items under the Consent Agenda are considered to be routine in nature and will be enacted by one motion. There will be no separate discussion of these items unless a Trustee so requests. In that event, the discussion will be the first item of business after approval of the Consent Agenda.)
 - A. Approval of Agenda
 - B. Approval of the schedule of bills for June 17, 2019 - \$8,577,628.04
 - C. Request Board approval of an Ordinance granting a variation to premises at 1647 Bur Oak Drive, Hoffman Estates.
 - D. Request Board approval of an Ordinance granting a variation to premises at 445 Westview Street, Hoffman Estates.
 - E. Request Board approval of an Ordinance granting a variation to premises at 4401 Wildwood Court, Hoffman Estates.
 - F. Request Board approval of a:
 - 1) Development Agreement for the 53-acre Hoffman Technology Park located on the north side of Lakewood Boulevard; and
 - 2) Resolution supporting a Cook County Class 6B classification application for property tax assessment purposes for the proposed Hoffman Estates Technology Park to be located at Lakewood Boulevard and Eagle Way.
 - G. Request Board approval of an Intergovernmental Agreement with Cook County for capital projects.
 - H. Request Board approval to enter into a no-cost contract with Simple Recycling for curbside recycling of textiles and small home goods.
6. **REPORTS (INFORMATION ONLY)**
 - A. **President's Report**
 - ... Proclamation(s)
 - Michael Plocinski Day (30 Years' Service)
 - PTSD Awareness Day
 - ... Boards & Commissions Appointments

6. REPORTS (INFORMATION ONLY) – Continued

- B. **Trustee Comments**
- C. **Village Manager's Report**
- D. **Village Clerk's Report**
- E. **Treasurer's Report**
- F. **Committee Reports**
 - Public Works & Utilities
 - Public Health & Safety
 - Finance

7. PLANNING & ZONING COMMISSION REPORTS

- A. Request by Michele and Robert Shaw (owner) for a five foot (5') corner side yard setback variation from Section 9-3-3-C-2-b to allow a four foot (4') high open design fence to be zero feet (0') from the western property line instead of the minimum required five feet (5') to encroach the fence in the required sight triangle on the property located at 3930 Whispering Trails Drive.

Voting: 11 Ayes

Motion carried.

- B. Request by Ala Carte Entertainment (applicant and owner) for a special use under Section 9-8-2-C-9 to operate a banquet hall/facility on the property located at 2525 W. Higgins Road.

Voting: 11 Ayes

Motion carried.

- C. Request by TR Greenspoint LLC (owner) and Grissim Metz Andriese Associates (applicant) for a preliminary and final site plan amendment for landscape and hardscape improvements on the property located at 2800 W. Higgins Road.

Voting: 11 Ayes

Motion carried.

- D. Request by SVAP Hoffman Plaza, L.P. (owner and applicant) for a preliminary and final site plan for a retail building located on the Hoffman Plaza Shopping Center property located at the northeast corner of Roselle and Higgins Roads, with 8 conditions (see packets).

Voting: 11 Ayes

Motion carried.

8. ADDITIONAL BUSINESS *(All other new business; those items not recommended unanimously by the Committee)*

- A. Request Board approval of an Ordinance granting a variation to premises at 3930 Whispering Trails Drive, Hoffman Estates.

8. **ADDITIONAL BUSINESS – Continued**

- B. Request Board approval of an Ordinance amending Section 8-3-22, Number of Licenses of Article 3, Alcoholic Liquors, of the Hoffman Estates Municipal Code (reduce number of Class “A” licenses, React Presents LLC Spring Awakening, 5333 Prairie Stone Parkway and Prairie Creek Properties, PIN 01-32-302-047-0000).
- C. Request Board approval of the First Amended and Restated Development Agreement by and between Plum Farms OSR 72 LLC, Rubina Realty Corporation, and Village of Hoffman Estates dated May 1, 2017 and amended as of June 17, 2019.
- D. Request Board direction for action to be taken regarding the proposal to remodel the Bergman Farmhouse.

9. **ADJOURNMENT – *Executive Session-Personnel-Employment (5 ILCS 120/2-(c)-(1))***

MEETING:

HOFFMAN ESTATES VILLAGE BOARD

DATE:

JUNE 3, 2019

PLACE:

**COUNCIL CHAMBERS
MUNICIPAL BUILDING COMPLEX
1900 HASSELL ROAD
HOFFMAN ESTATES, ILLINOIS**

1. CALL TO ORDER:

Village President William McLeod called the meeting to order at 7:21 p.m. The Village Clerk called the roll. Trustees present: Karen Arnet, Karen Mills, Anna Newell, Gary Pilafas, Gary Stanton, Michael Gaeta

A quorum was present.

ADMINISTRATIVE PERSONNEL PRESENT:

D. O'Malley, Deputy Village Manager
A. Janura, Corporation Counsel
P. Cross, Asst. Corporation Counsel
D. LaSota, Assoc. Corporation Counsel
M. Koplin, Asst. Village Manager-Development Services
P. Fortunato, Fire Chief
T. Bos, Police Chief
K. Cawley Asst. Police Chief
K. Kerr, Asst. Public Works Director
F. Besenhoffer, IS Director
R. Musiala, Finance Director
P. Seger, HRM Director
A. Marks, Asst. H&HS Director
P. Gugliotta, Planning, Building & Code Enforcement Director
A. Wenderski, Village Engineer
R. Signorella, Production Asst.
S. Ostrovsky, Asst. to the Village Manager

2. PLEDGE OF ALLEGIANCE TO THE FLAG:

The Pledge was led by Trustee Arnet.

3. RECOGNITION OF AUDIENCE:

No one wished to be recognized.

4. APPROVAL OF MINUTES:

Motion by Trustee Gaeta, seconded by Trustee Pilafas, to approve Item 4. Voice vote taken. All ayes. Motion carried.

Approval of Minutes
Minutes from May 13, 2019.

5. CONSENT AGENDA/OMNIBUS VOTE:

Motion by Trustee Gaeta, seconded by Trustee Mills, to approve Item 5.A.

5.A. Approval of Agenda

Roll Call:

Aye: Arnet, Mills, Newell, Pilafas, Stanton, Gaeta

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Mills, to approve Item 5.B.

5.B. Approval of the schedule of bills for June 3, 2019 - \$1,977,163.06.

Roll Call:

Aye: Arnet, Mills, Newell, Pilafas, Stanton, Gaeta

Nay:

Mayor McLeod voted aye.

Motion carried.

6. REPORTS:

6.A. President's Report

Proclamation(s)

Trustee Gaeta read the following proclamation.

Motion by Trustee Arnet, seconded by Trustee Mills, to concur with the proclamation proclaiming June 2019 as Men's Health Awareness Month. Voice vote taken. All ayes. Motion carried.

Dr. Marks accepted the proclamation.

Trustee Arnet read the following proclamation.

Motion by Trustee Gaeta, seconded by Trustee Pilafas, to concur with the proclamation proclaiming June 2019 as LGBTQ Pride Month. Voice vote taken. All ayes. Motion carried.

Dr. Marks accepted the proclamation.

Trustee Stanton read the following proclamation.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to concur with the proclamation proclaiming June through September 2019 as National Play Ball Summer. Voice vote taken. All ayes. Motion carried.

Mr. O'Malley accepted the proclamation to give to the Park District.

Trustee Newell read the following proclamation.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to concur with the proclamation proclaiming June 2019 as National Children's Awareness Month. Voice vote taken. All ayes. Motion carried.

Dr. Marks accepted the proclamation.

Presentation(s)

Champion of Community Awards were presented to Ed Matone for his volunteerism with in the Village and his advocating for the rights for people with disabilities and to Grace Hsieh for her talents and volunteering contributions.

Boards & Commissions Appointments

Motion by Trustee Arnet, seconded by Trustee Gaeta, to accept the appointment of Dhivyalaksmi Manavazhagan to the Youth Commission. Voice vote taken. All ayes. Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Pilafas, to accept the appointment of Lisa Chrzasc to the Arts Commission. Voice vote taken. All ayes. Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Pilafas, to accept the appointment of Judy Senase to the Commission for People with Disabilities. Voice vote taken. All ayes. Motion carried.

Mayor McLeod reminded everyone that our Summer Concerts start this Thursday and Spring Awakening is Friday, Saturday and Sunday, he read a letter from a resident complimenting the police department. The Mayor stated that he attended the ICSC in Las Vegas, a NWMC Transportation meeting, a safety luncheon, a DARE graduation, the Memorial Day ceremonies both at PD and Schaumburg, the CN public hearing, the ribbon cutting at Allstate Sundra Insurance Group, a block party, family time reading with the Mayor at Schaumburg Township District Library and he sent his sympathies to the Domin family.

6.B. Trustee Comments

Trustee Arnet stated that she volunteered for Cop on a Roof Top and she congratulated Sgt. Bending on his group raising over \$6,000 for Special Olympics, she attended our Memorial Day ceremony, a block party and a 60th Anniversary meeting.

Trustee Stanton stated that he attended the tree planting for former police explorer Graham Fath, the ribbon cuttings for Bennici's Pizza and Allstate, the ICSC, a DARE graduation, the Memorial Day ceremonies and the first pitch night for Next Level Northwest for Blink Tees.

Trustee Mills stated that she attended the tree planting, Cop on a Roof Top, the two ribbon cuttings, ICSC, our Memorial Day ceremony, the retirement luncheon for Bob Markko, a 60th Anniversary meeting, she congratulated Ed and Grace on their awards and she sent her condolences to the police department on the loss of Officer Domin.

Trustee Pilafas sent his condolences to the police department, he stated that he attended a wedding for school board member Jim Pye's son, he congratulated Ed and Grace, reminded everyone of the Summer Concerts starting this Thursday and attended both Memorial Day ceremonies.

Trustee Newell stated that she attended Cop on a Roof Top, Kids to Park Day, two block parties, a JAWA meeting, our Memorial Day ceremony and congratulated Jonathan Pilafas on playing the trumpet at the ceremony and she sent her condolences to the police department and the Domin family.

Trustee Gaeta stated that he attended the tree planting, Cop on a Roof Top, the two ribbon cuttings, Kids to Park Day, a DARE graduation, both Memorial Day ceremonies, a block party he wished his wife happy anniversary and he sent his condolences to the Domin family.

6.C. Village Manager's Report

Mr. O'Malley updated everyone on Bills that were passed as part of the Illinois 2020 budget.

6. D. Village Clerk's Report

The Village Clerk stated that during the month of May 183 FOIA requests were received and 97 passports were processed.

6.E. Committee Reports

Planning, Building & Zoning

Trustee Stanton stated that they would be meeting for request by BK Equities, LLC for: request approval of a Development Agreement for the 53 acre Hoffman Technology Park located on the north side of Lakewood Boulevard and a Resolution supporting a Cook County Class 6B classification for property tax assessment purposes for the proposed facility to be located on the north side of Lakewood Boulevard and for information purposes only the Planning Division, the Code Enforcement Division and the Economic Development and Tourism monthly reports.

General Administration & Personnel

Trustee Arnet stated that they would be meeting for information purposes only the Cable TV, Human Resources Management and Legislative Operations & Outreach Monthly Reports.

Transportation & Road Improvement

Trustee Mills stated that they would be meeting to have a discussion of parking permit program in the Washington Blvd and Alcoa Lane area; request authorization to award a contract for Phase III construction engineering services for the Shoe Factory Road / I-90 bicycle and pedestrian project and for information purposes only the Transportation Division Monthly Report.

7. PLANNING & ZONING COMMISSION:

Motion by Trustee Mills, seconded by Trustee Pilafas, to concur with the Planning & Zoning Commission's recommendation and approve the petitioners' request.

7.A. Request by Steven Anderson (owner) for a five (5) foot corner side yard setback variation from Section 9-3-3-C-2-b to allow a five (5) foot high solid fence to be zero (0) feet from the southern property line instead of the minimum required five (5) feet at 4401 Wildwood Ct.

Roll Call:

Aye: Arnet, Mills, Newell, Pilafas, Stanton, Gaeta

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Pilafas, to concur with the Planning & Zoning Commission's recommendation and approve the petitioners' request.

7.B. Request by Jerry Watron (owner) and Thomas Buckley (Applicant) for a five (5) foot side yard setback variation from section 9-5-3-D-5 of the Zoning Code to permit a five (5) foot setback instead of the minimum ten (10) foot for an existing single family home and proposed addition at 445 Westview St, subject to the following conditions:

1. The house shall be constructed per the size and location included in the petitioner's application materials submitted with this request.
2. Completed building and engineering plans are required to be submitted and all staff-level review comments shall be addressed prior to issuance of a building permit.

Roll Call:

Aye: Arnet, Mills, Newell, Pilafas, Stanton, Gaeta

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Pilafas, to concur with the Planning & Zoning Commission's recommendation and approve the petitioners' request.

7.C. Request by Lionel & Doris Harner (owner) and Thomas Buckley (applicant) for a 2.56' rear yard setback variation from Section 9-5-3-D-6 of the Zoning Code to permit a screen porch (addition) to be setback 17.44' instead of the minimum twenty (20) foot setback on the property located at 1647 Bur Oak Dr, subject to the following condition:

1. Completed building and engineering plans are required to be submitted and all staff-level review comments shall be addressed prior to issuance of a building permit.

Roll Call:

Aye: Arnet, Mills, Newell, Pilafas, Stanton, Gaeta

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Mills, to concur with the Planning & Zoning Commission's recommendation and approve the petitioners' request.

7.D. Request by Lionel & Doris Harner (owner) and Thomas Buckley (applicant) for a two (2) foot rear yard setback variation from Section 9-3-6-E-1 of the Zoning Code to permit a twelve (12) foot setback instead of the minimum twenty (20) foot setback for an attached deck that is higher than five (5) feet from grade on the property located at 1647 Bur Oak Dr, subject to the following conditions:

1. The elevated deck shall be constructed per the size and location included in the petitioner's application materials submitted with this request.
2. Completed building and engineering plans are required to be submitted and all staff-level review comments shall be addressed prior to issuance of a building permit.

Roll Call:

Aye: Arnet, Mills, Newell, Pilafas, Stanton, Gaeta

Nay:

Mayor McLeod voted aye.

Motion carried.

8. ADDITIONAL BUSINESS:

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Items 8.A. through 8.F. by omnibus vote. Voice vote taken. All ayes. Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 8.A.

8.A. Request Board approval of Ordinance No. 4732-2019 amending Section 8-3-22, Number of Licenses of Article 3, Alcoholic Liquors, of the Hoffman Estates Municipal Code (increase in the number of Class "A" licenses, Blazin Wings, Inc., d/b/a Buffalo Wild Wings, 2540 New Sutton Road; and decrease in number of Class "LC" Licenses, Here's Wings Hoffman Estates LLC d/b/a Buffalo Wild Wings, 2540 New Sutton Road, and Baby Vegas Café LLC d/b/a Baby Vegas Café, 138 W. Higgins Road.

Roll Call:

Aye: Arnet, Mills, Newell, Pilafas, Stanton, Gaeta

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 8.B.

8.B. Request Board authorization to extend the existing contract for the provision of Village Towing Service Agreement to Redmon's Towing for a period of one (1) year.

Roll Call:

Aye: Arnet, Mills, Newell, Pilafas, Stanton, Gaeta

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 8C.

8.C. Request Board authorization to award contract for promotional testing for Sergeants and Lieutenants to C.O.P.S. and F.I.R.E. Personnel Testing Service, Schaumburg, IL, in an amount not to exceed \$26,940.

Roll Call:

Aye: Arnet, Mills, Newell, Pilafas, Stanton, Gaeta

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 8.D.

8.D. Request Board authorization to participate in the Northwest Municipal Conference (NWMC) Suburban Purchasing Cooperative (SPC) for a one-year contract for joint purchase of diesel fuel and gasoline with Gas Depot, Morton Grove, IL.

Roll Call:

Aye: Arnet, Mills, Newell, Pilafas, Stanton, Gaeta

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 8.E.

8.E. Request Board authorization to extend the 2017 contract for 2019 valve assessment program with concurrent leak survey to ME Simpson Co., Valparaiso, IN (sole qualified proposal), in an amount not to exceed \$44,400.

Roll Call:

Aye: Arnet, Mills, Newell, Pilafas, Stanton, Gaeta

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 8.F.

8.F. Request Board approval of Ordinance No. 4733-2019 repealing Article 15, Transportation Network Company Tax, of Chapter 13, Revenue Taxes and Charges, of the Hoffman Estates Municipal Code; entering into an Agreement with Uber (rideshare) pertaining to the Sears Centre Arena; and entering into an Agreement with Lyft (rideshare) pertaining to the Sears Centre Arena.

Roll Call:

Aye: Arnet, Mills, Newell, Pilafas, Stanton, Gaeta

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Stanton, seconded by Trustee Arnet, to direct staff to work with M/I Homes of Chicago, LLC and CASE Properties, LLC on an agreement to the Tri-Party Agreement and Final Amendment to Bergman Farmhouse Agreement to extend the completion date to November 30, 2019 and to schedule for consideration on the June 17, 2019 Village Board meeting agenda.

8.G. Request Board direction for action to be taken regarding the proposal to remodel the Bergman Farmhouse.

Discussion

Mr. O'Malley updated the Board on the current status of the Farmhouse and the different options that staff recommends.

Matt Pagoria, M/I Homes, and Chad Evans, CASE Properties, were present to answer any questions.

Trustee Mills asked if they had solved their curb cut issue. Mr. Evens replied yes.

She asked how assured are you in your ability in establishing an escrow? Mr. Evans replied that they were assured they could do it.

Trustee Stanton asked if the timetable was a reasonable one. Mr. Evans again replied yes.

Trustee Newell asked if we would be notified when the money was in the account. Mr. Pagoria replied yes.

Mr. Janura stated that Village counsel, M/I Homes and CASE will work together to write an agreement.

Roll Call:

Aye: Arnet, Mills, Newell, Pilafas, Stanton

Nay: Gaeta

Mayor McLeod voted aye.

Motion carried.

9. ADJOURNMENT:

Motion by Trustee Arnet, seconded by Trustee Gaeta, to adjourn the meeting. Time: 8:23 p.m.

Roll Call:

Aye: Arnet, Mills, Newell, Pilafas, Stanton, Gaeta

Nay:

Mayor McLeod voted aye.

Motion carried.

Bev Romanoff
Village Clerk

Date Approved

The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.



BILL LIST SUMMARY

BILL LIST AS OF 06/17/2019	\$	882,288.13
MANUAL CHECKS 05/30/19 - 06/13/2019	\$	11,754.73
WIRE TRANSFERS 05/01 - 05/31/2019	\$	6,143,624.41
CREDIT CARDS 04/06 - 05/05/2019	\$	236,120.22
PAYROLL 06/07/2019	\$	1,303,840.55
TOTAL	\$	8,577,628.04

VILLAGE OF HOFFMAN ESTATES

June 17, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
GENERAL FUND			
01 0301	GARVEY'S OFFICE PRODUCTS INC	BEVERAGES	\$60.51
01 0302	ADVANCE AUTO PARTS	REPAIR PARTS	\$24.50
01 0302	ADVANCE AUTO PARTS	STOCK REPAIR PARTS	\$71.34
01 0302	BRISTOL HOSE & FITTING	REPAIR PARTS	\$462.51
01 0302	CHICAGO PARTS & SOUND LLC	STOCK REPAIR PARTS	\$249.55
01 0302	CHICAGO PARTS & SOUND LLC	WIPER BLADES	\$90.88
01 0302	FACTORY MOTOR PARTS CO	STOCK REPAIR PARTS	\$49.99
01 0302	FACTORY MOTOR PARTS CO	VARIOUS SUPPLIES	\$131.70
01 0302	FIRESTONE TRUCK & SERVICE CENTER	VEHICLE TIRES	\$933.38
01 0302	GLOBAL EMERGENCY PRODUCTS	REPAIR PARTS	\$32.70
CASH AND INVENTORIES			\$2,107.06
01 1432	BARRINGTON LAKES APTS.	RFD OF PERFORMANCE DEP	\$1,000.00
01 1432	CHRISTOS KYRIAZIS	RFD OF PERFORMANCE DEP	\$1,500.00
01 1432	PROVIDENCE VENTURE HOLDING INC	RFD OF PERFORMANCE DEP	\$1,500.00
01 1432	TNT CONSTRUCTION SERVICES INC	RFD OF PERFORMANCE DEP	\$1,000.00
01 1445	DIVINE SIGNS	SPRING AWAKENING SUPPLIES	\$354.00
01 1445	OFFICE DEPOT	OFFICE SUPPLIES	\$105.91
01 1445	SAUL EWING ARNSTEIN & LEHR LLP	PROFESSIONAL SERVICES	\$352.50
PAYMENTS FROM DEPOSITS ON HAND			\$5,812.41
01000011 3205	THE W-T GROUP, LLC	RFD FOR PERMIT	\$3,023.00
01000013 3402	ALBULENA ASANI & ARBEN AZEMI	REIM FOR HEARING	\$175.00
01000013 3405	ANDRES MEDICAL BILLING, LTD.	MAY PARAMEDIC BILLING	\$7,570.65
01000013 3405	BLUE CROSS BLUE SHIELD	PARAMEDIC REFUND	\$153.13
01000013 3405	CENTRAL STATES HEALTH & WELFARE FND	PARAMEDIC REFUND	\$574.31
01000013 3405	GRACE MCGRAW	PARAMEDIC REFUND	\$93.65
01000013 3405	JOSHUA SINGER	PARAMEDIC REFUND	\$1,260.82
01000014 3502	JONATHAN SALES	CITATION RFD	\$30.00
01000014 3509	ANTONIO SORELLINO	RFD OVER PYMT	\$95.00
01000014 3509	DAVID METZ	RFD OVER PYMT RED LIGHT	\$220.00
GENERAL-REVENUE ACCOUNTS			\$13,195.56
01101123 4403	PLUM GROVE PRINTERS INC	BUSINESS CARDS	\$46.25
01101123 4414	FABBRINIS FLOWERS	SYMPATHY FLOWERS	\$139.00
01101123 4414	THE FINER LINE	ENGRAVED PEN	\$598.39
01101123 4414	THE FINER LINE	KEY LOGOS	\$1,035.51
01101124 4507	ALFRED G RONAN LTD	PROFESSIONAL SERVICES	\$5,000.00
LEGISLATIVE			\$6,819.15

VILLAGE OF HOFFMAN ESTATES

June 17, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01101222 4301	DAN O'MALLEY	ILCMA CONF REIM	\$210.50
01101222 4301	IPELRA	03/01 SEMINAR	\$195.00
01101222 4301	WILLIAM MCLEOD	USCM HAWII MAYORS CONF	\$387.00
01101223 4402	WAREHOUSE DIRECT	OFFICE SUPPLIES	\$19.95
01101223 4403	PLUM GROVE PRINTERS INC	BUSINESS CARDS	\$32.50
01101224 4542	LANGUAGE LINE SERVICES INC	PROFESSIONAL SERVICES	\$51.75
ADMINISTRATIVE			\$896.70
01101324 4542	RICHARD A KAVITT ATTORNEY AT LAW	PROFESSIONAL SERVICES	\$1,175.00
01101324 4542	RICHARD A KAVITT ATTORNEY AT LAW	PROFESSIONAL SERVICES	\$1,300.00
01101324 4567	CLARK BAIRD SMITH LLP	PROFESSIONAL SERVICES	\$3,315.00
LEGAL			\$5,790.00
01101423 4402	GARVEY'S OFFICE PRODUCTS INC	BEVERAGES	\$11.24
01101423 4402	OFFICE DEPOT	OFFICE SUPPLIES	\$79.66
FINANCE			\$90.90
01101621 4212	DEBBI GILLES	REIM FOR TUITION	\$291.94
01101623 4402	WAREHOUSE DIRECT	OFFICE SUPPLIES	\$9.98
01101624 4507	DISCOVERY BENEFITS	FSA MONTHLY	\$597.80
01101624 4579	ALEXIAN BROTHERS CORPORATE HEALTH	DRUG SCREEN	\$192.00
01101624 4579	ALEXIAN BROTHERS CORPORATE HEALTH	EMPLOYEE PHYSICAL	\$1,682.00
01101624 4580	EMPLOYMENT SCREENING ALLIANCE GROUP	PROFESSIONAL SERVICES	\$293.00
HUMAN RESOURCES			\$3,066.72
01102523 4403	PRESSTECH INC.	JUNE NEWSLETTER	\$4,224.00
COMMUNICATIONS			\$4,224.00
01106224 4510	AVI MIDWEST	SOFTWARE ASSURANCE	\$2,347.00
CABLE TELEVISION			\$2,347.00
TOTAL GENERAL GOVERNMENT DEPARTMENT			\$23,234.47
POLICE DEPARTMENT			
01201223 4402	OFFICE DEPOT	OFFICE SUPPLIES	\$275.11
01201223 4403	THE FINER LINE	AWARDS	\$49.36
01201223 4417	MUELLER, MARK	REIM FOR COSTCO PURCHASE	\$119.01

VILLAGE OF HOFFMAN ESTATES

June 17, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01201223 4417	WALGREENS	PRESCRIPTIONS	\$12.27
01201223 4422	CAMIC JOHNSON LTD	PROFESSIONAL SERVICES	\$350.00
01201224 4507	MORIZZO FUNERAL HOME & CREMATION	PROFESSIONAL SERVICES	\$275.00
01201224 4507	MORIZZO FUNERAL HOME & CREMATION	PROFESSIONAL SERVICES	\$275.00
ADMINISTRATIVE			\$1,355.75

01202122 4301	SECOND CHANCE CARDIAC SOLUTIONS	CPR EQUIPMENT	\$583.85
01202124 4510	MAGNUM ELECTRONICS INC	BATTERIES	\$384.95
01202124 4510	ULTRA STROBE COMMUNICATIONS	INSTALL LIGHTBALL	\$80.00
01202124 4542	SECOND CHANCE CARDIAC SOLUTIONS	G3 ADULT ELECTRODE PADS,	\$19.95
01202124 4542	SECOND CHANCE CARDIAC SOLUTIONS	G3 AED BATTERY, PARTIAL L	\$50.00
01202124 4542	SECOND CHANCE CARDIAC SOLUTIONS	POWERHEART FULLY AUTOMATI	\$4,525.00
01202124 4542	SECOND CHANCE CARDIAC SOLUTIONS	POWERHEART G5 ADULT CPR D	\$396.00
01202125 4602	STREICHERS-MILWAUKEE	MEDICAL SUPPLIES	\$25.98
PATROL & RESPONSE			\$6,065.73

01202323 4403	PLUM GROVE PRINTERS INC	BUSINESS CARDS	\$97.50
INVESTIGATIONS			\$97.50

01202524 4542	NORTHWEST CENTRAL DISPATCH SYSTEM	JULY CHARGES FOR DISPATCH	\$58,678.41
COMMUNICATIONS			\$58,678.41

TOTAL POLICE DEPARTMENT **\$66,197.39**

FIRE DEPARTMENT

01301222 4305	MR ACE LLC	VARIOUS SUPPLIES	\$19.95
01301222 4305	RALPH O ROTHBAUER	BADGE FRAMING	\$224.00
01301223 4402	OFFICE DEPOT	OFFICE SUPPLIES	\$20.58
01301223 4414	TOWN & COUNTRY GARDENS	FLOWERS	\$150.00
ADMINISTRATIVE			\$414.53

01303023 4403	OFFICE DEPOT	OFFICE SUPPLIES	\$32.99
PUBLIC EDUCATION			\$32.99

01303122 4304	ON TIME INC	UNIFORMS	\$400.00
01303122 4304	TODAYS UNIFORMS	UNIFORMS	\$69.95
01303122 4304	TODAYS UNIFORMS	UNIFORMS	\$12,040.60
01303122 4304.16	MUNICIPAL EMERGENCY SERVICES	SAFETY WEAR	\$519.22

VILLAGE OF HOFFMAN ESTATES

June 17, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01303122 4304.16	MUNICIPAL EMERGENCY SERVICES	VARIOUS SUPPLIES	\$58.50
01303123 4408.13	MR ACE LLC	VARIOUS SUPPLIES	\$35.96
01303123 4414	MR ACE LLC	VARIOUS SUPPLIES	\$7.99
01303124 4510.12	MR ACE LLC	VARIOUS SUPPLIES	\$7.99
01303124 4510.12	NORTHWEST CENTRAL DISPATCH SYSTEM	PORTABLE RADIO REPAIR	\$28.48
01303124 4510.12	ULTRA STROBE COMMUNICATIONS	VARIOUS SUPPLIES	\$73.90
01303124 4510.13	CAD TECH	REFLECTIVE EQUIPMENT	\$210.00
01303124 4510.13	MR ACE LLC	VARIOUS SUPPLIES	\$9.58
01303124 4515.10	MCMASTER CARR SUPPLY CO	REPAIR PARTS	\$27.52
01303124 4515.10	MR ACE LLC	VARIOUS SUPPLIES	\$98.83
01303124 4515.10	THE NEEDHAM SHOP	REPAIR PARTS	\$1,034.65
01303124 4515.10	ULTRA STROBE COMMUNICATIONS	VARIOUS SUPPLIES	\$13.95
01303125 4602.14	JJS TECHNICAL SERVICES	ESTIMATED SHIPPING/HANDLI	\$18.00
01303125 4602.14	JJS TECHNICAL SERVICES	FOUR GAS MONITOR	\$716.00
01303125 4602.14	JJS TECHNICAL SERVICES	HCN MONITOR	\$545.00
01303125 4602.14	SENSIT TECHNOLOGIES	SAFETY SUPPLIES	\$867.57
01303125 4602.17	DJS SCUBA LOCKER INC	ARCTIC MEN'S LEGGINGS - L	\$147.99
01303125 4602.17	DJS SCUBA LOCKER INC	CHAOS HELMET SIDE CUT	\$89.92
01303125 4602.17	DJS SCUBA LOCKER INC	DY 612009-L	\$320.00
01303125 4602.17	DJS SCUBA LOCKER INC	DY 612214-MK	\$1,699.00
01303125 4602.17	DJS SCUBA LOCKER INC	DY XT250H XEROTHERM HAT -	\$57.58
01303125 4602.17	DJS SCUBA LOCKER INC	DY XT500L-XL ARCTIC MEN'S	\$147.99
01303125 4602.17	DJS SCUBA LOCKER INC	DY XT500S-L ARCTIC SOCKS	\$31.96
01303125 4602.17	DJS SCUBA LOCKER INC	DY XT500S-XL ARCTIC SOCKS	\$31.96
01303125 4602.17	DJS SCUBA LOCKER INC	DY XT500T-L ARCTIC MEN'S	\$147.99
01303125 4602.17	DJS SCUBA LOCKER INC	DY XT500T-XL ARCTIC MEN'S	\$147.99

SUPPRESSION

\$19,606.07

01303223 4419	AIR ONE EQUIPMENT INC	MEDICAL SUPPLIES	\$259.87
01303223 4419	BOUND TREE MEDICAL, LLC	TRIAGE SYSTEM RESUPPLY SM	\$194.90
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	BAIND-AIDS	\$45.00
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	BEMIS DISPOSABLE SUCTION	\$52.50
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	CAVIWIPES XL, 65 WIPES	\$75.54
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	DYNARNEX COLD PACKS	\$63.96
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	HANDCLENS FOAMING SANITIZ	\$50.00
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	LA RESCUE ALS ATTACK PRO	\$510.63
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	LAERDAL V-VAC SUCTION	\$112.39
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	MICRODOT XTRA BLOOD GLUCO	\$183.99
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	NASOPHARYNGEAL AIRWAY, 16	\$8.79
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	NASOPHARYNGEAL AIRWAY, 18	\$8.79
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	NASOPHARYNGEAL AIRWAY, 19	\$8.79
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	NASOPHARYNGEAL AIRWAY, 20	\$8.79
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	NASOPHARYNGEAL AIRWAY, 22	\$8.79
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	NASOPHARYNGEAL AIRWAY, 24	\$8.79
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	NASOPHARYNGEAL AIRWAY, 26	\$8.79
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	NASOPHARYNGEAL AIRWAY, 28	\$8.79
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	NASOPHARYNGEAL AIRWAY, 30	\$8.79

VILLAGE OF HOFFMAN ESTATES

June 17, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	NASOPHARYNGEAL AIRWAY, 32	\$8.79
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	NASOPHARYNGEAL AIRWAY, 34	\$8.79
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	NITRIL EXAM GLOVES, MED	\$150.60
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	NITRILE EXAM GLOVES,LG	\$225.90
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	ORAL AIRWAY, 100MM	\$0.96
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	ORAL AIRWAY, 110MM	\$0.96
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	ORAL AIRWAY, 40MM	\$0.96
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	ORAL AIRWAY, 60MM	\$0.96
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	ORAL AIRWAY, 70MM	\$0.96
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	ORAL AIRWAY, 80MM	\$0.96
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	ORAL AIRWAY, 90MM	\$0.96
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	ORAL AIWAY, 50MM	\$0.96
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	UNISTIK 2 NORMAL LANCET	\$19.29

EMERGENCY MEDICAL SERVICES

\$2,048.94

01303322 4303	FIRE INVESTIGATORS STRIKE FORCE	MEMBERSHIP DUES	\$75.00
01303323 4414	AIR ONE EQUIPMENT INC	1400 PELICAN CASE WITH FO	\$82.00
01303323 4414	AIR ONE EQUIPMENT INC	ESTIMATED SHIPPING/HANDLI	\$12.00
01303324 4501	CALL ONE	LANDLINES	\$46.07
01303324 4507	CHGO METRO.FIRE PREVENTION CO	RADIO MAINTENANCE	\$1,404.00
01303324 4507	CHGO METRO.FIRE PREVENTION CO	SERVICE CALL	\$152.00

PREVENTION

\$1,771.07

01303523 4412	MR ACE LLC	VARIOUS SUPPLIES	\$29.99
01303525 4602	MIDAMERICAN ENERGY COMPANY	VARIOUS SUPPLIES	\$88.25
01303525 4602	MR ACE LLC	VARIOUS SUPPLIES	\$236.98

FIRE STATIONS

\$355.22

TOTAL FIRE DEPARTMENT

\$24,228.82

PUBLIC WORKS

01401224 4509	XEROX CORP.	COPIER LEASING	\$144.96
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ADMINISTRATIVE

\$144.96

01404123 4410	FACTORY MOTOR PARTS CO	REPAIR PARTS	\$286.98
01404123 4414	JOSEPH GAWERECKI	REIM FOR CDL	\$30.00
01404123 4414	MENARDS - HNVK PARK	POSTS	\$579.63
01404123 4414	MENARDS - HNVK PARK	VARIOUS SUPPLIES	\$288.87
01404124 4507	MURRAY & TRETTEL INC/ WEATHER COMMA	CENTRAL WEATHER FEES	\$400.00
01404124 4510	ALTA ENTERPRISES LLC	REPAIR PARTS	\$471.39

SNOW & ICE REMOVAL

\$2,056.87

VILLAGE OF HOFFMAN ESTATES

June 17, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01404224 4521	HEALY ASPHALT CO., LLC.	SURFACE MATERIALS	\$303.45
01404224 4521	HEALY ASPHALT CO., LLC.	SURFACE MATERIALS	\$932.67
PAVEMENT MAINTENANCE			\$1,236.12
01404323 4408	RUSSO POWER EQUIPMENT	REPAIR PARTS	\$149.94
01404323 4414	MENARDS - HNVK PARK	VARIOUS SUPPLIES	\$57.28
01404324 4507	NILCO INC	CONTRACTED MOWING SERVICE	\$3,732.00
01404324 4507	V CARDENAS LANDSCAPING	CONTRACTED LANDSCAPE SERV	\$8,935.00
01404324 4507	WINKLER'S TREE SERVICE	CONTRACTED ASSISTED TREE	\$3,267.00
01404324 4510	RUSSO POWER EQUIPMENT	REPAIR PARTS	\$11.51
01404324 4545	FULLIFE SAFETY CENTER	SAFETY GLOVES GLASSES	\$355.25
01404324 4545	MENARDS - HNVK PARK	VARIOUS SUPPLIES	\$59.98
FORESTRY			\$16,567.96
01404423 4412	GRAINGER INC	VARIOUS SUPPLIES	\$90.86
01404424 4501	AT & T	LANDLINES	\$307.66
01404424 4501	AT & T	LANDLINES	\$210.80
01404424 4501	CALL ONE	LANDLINES	\$5,278.66
01404424 4502	COMMONWEALTH EDISON	ELECTRIC VILLAGE HALL	\$6,045.19
01404424 4502	GRAINGER INC	RTN SUPPLIES	(\$24.00)
01404424 4503	NICOR GAS	GAS 225 FLAGSTAFF	\$251.28
01404424 4503	NICOR GAS	GAS 4622 WESTBURY	\$219.88
01404424 4507	ACCURATE DOCUMENT DESTRUCTION INC	PROFESSIONAL SERVICES	\$929.06
01404424 4509	CINTAS #22	FLOOR MAT RENTAL AND CLEA	\$66.32
01404424 4510	FOX VALLEY FIRE & SAFETY	FIRE ALARM INSPECTION	\$1,275.00
01404424 4510	GRAINGER INC	REPAIR PARTS	\$22.45
01404424 4510	HOME DEPOT PRO	REPAIR PARTS	\$38.44
01404424 4510	MR ACE LLC	VARIOUS SUPPLIES	\$115.55
01404424 4510	NEUCO INC	REPAIR PARTS	\$877.21
01404424 4510	NEUCO INC	RTN REPAIR PARTS	(\$468.63)
01404424 4510	NEUCO INC	VARIOUS SUPPLIES	\$292.40
01404424 4510	TEST GAUGE INC	REPAIR PARTS	\$805.72
01404424 4510	THOMAS FLEMING COMPANY	SERVICE EQUIPMENT	\$775.00
01404424 4510	WEBMARC DOORS	DOOR REPAIRS	\$413.82
01404424 4516	ECO CLEAN MAINTENANCE INC	VILLAGE HALL - \$2,737.00	\$2,737.00
01404424 4517	ECO CLEAN MAINTENANCE INC	POLICE DEPT. - \$1025.00 B	\$1,025.00
01404424 4518	ADVANTAGE MECHANICAL INC.	INSTALL NEW CARRIER 2 TON	\$5,118.00
01404424 4518	CINTAS #22	FLOOR MAT RENTAL AND CLEA	\$132.78
01404424 4518	FOX VALLEY FIRE & SAFETY	FIRE ALARM INSPECTION	\$1,556.00
01404424 4518	GRAINGER INC	REPAIR PARTS	\$72.99
01404424 4518	MR ACE LLC	VARIOUS SUPPLIES	\$62.95

VILLAGE OF HOFFMAN ESTATES

June 17, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01404424 4520	ECO CLEAN MAINTENANCE INC	PWC VEHICLE MAINTENANCE	\$1,179.00
01404424 4520	MR ACE LLC	VARIOUS SUPPLIES	\$138.96
01404424 4542	MR ACE LLC	VARIOUS SUPPLIES	\$36.97
01404424 4542	ROSE PEST SOLUTIONS INC	TO PROVIDE MOSQUITO CONTR	\$300.00

FACILITIES

\$29,882.32

01404522 4304	CINTAS #22	RENTAL SUPPLIES	\$120.12
01404523 4411	GAS DEPOT OIL CO	FUEL	\$31,700.73
01404523 4414	AIRGAS USA, LLC	MEDICAL SUPPLIES	\$176.29
01404523 4414	O'REILLY AUTO PARTS	BATTERIES	\$8.99
01404524 4509	AIRGAS USA, LLC	MEDICAL SUPPLIES	\$191.49
01404524 4510	SYN-TECH SYSTEMS	SOFTWARE	\$168.00
01404524 4513	ADVANCE AUTO PARTS	REPAIR PARTS	\$39.69
01404524 4513	BUMPER TO BUMPER/ LEE AUTO	REPAIR PARTS	\$140.37
01404524 4513	DUNDEE FORD	REPAIR PARTS	\$806.40
01404524 4513	ULTRA STROBE COMMUNICATIONS	DRIVER SEAT BELT RETRACTO	\$84.95
01404524 4514	ADVANCE AUTO PARTS	REPAIR PARTS	\$278.24
01404524 4514	BUMPER TO BUMPER/ LEE AUTO	REPAIR PARTS	\$374.18
01404524 4514	FOSTER COACH SALES INC	PADDLE LATCH	\$108.15
01404524 4514	GLOBAL EMERGENCY PRODUCTS	2.5" BALL VALVE KIT #9146	\$128.13
01404524 4514	GLOBAL EMERGENCY PRODUCTS	DISCHARGE VALVE REPAIR KI	\$337.36
01404524 4514	GLOBAL EMERGENCY PRODUCTS	ESTIMATED SHIPPING/HANDLI	\$23.73
01404524 4514	GLOBAL EMERGENCY PRODUCTS	REPAIR PARTS	\$1,390.68
01404524 4514	GLOBAL EMERGENCY PRODUCTS	VALVE KIT #8804	\$106.94
01404524 4514	GLOBAL EMERGENCY PRODUCTS	VALVE KIT WATEROUS #K681	\$474.97
01404524 4514	INTERSTATE BATTERY SYSTEMS	BATTERIES	\$634.50
01404524 4514	INTERSTATE BATTERY SYSTEMS	REPAIR PARTS	\$442.42
01404524 4514	KAMMES AUTO & TRUCK REPAIR INC	VEHICLE BATTERIES	\$70.00
01404524 4514	POMP'S TIRE	2 FIRESTONE F/S818 TIRES	\$1,158.52
01404524 4514	RUSH TRUCK CENTER OF ILLINOIS, INC	REPAIR PARTS	\$83.38
01404524 4534	ADVANCE AUTO PARTS	REPAIR PARTS	\$225.90
01404524 4534	ALTA ENTERPRISES LLC	BOLT ON EDGE #1157181	\$361.51
01404524 4534	ALTA ENTERPRISES LLC	ESTIMATED SHIPPING/HANDLI	\$167.56
01404524 4534	ALTA ENTERPRISES LLC	FLANGE NUT #60113144	\$42.00
01404524 4534	ALTA ENTERPRISES LLC	REPAIRS TO EQUIPMENT	\$805.50
01404524 4534	ALTA ENTERPRISES LLC	SCREW (PKG 25) #928919	\$129.00
01404524 4534	ALTA ENTERPRISES LLC	REPAIR PARTS	\$2,394.88
01404524 4534	ALTA ENTERPRISES LLC	REPAIR PARTS	\$415.34
01404524 4534	BUMPER TO BUMPER/ LEE AUTO	REPAIR PARTS	\$23.68
01404524 4534	DUNDEE FORD	REPAIR PARTS	\$9.11
01404524 4534	FACTORY MOTOR PARTS CO	CORE & PARTS	\$705.40
01404524 4534	FAIRWAY GOLF CARS INC	REPAIR PARTS	\$117.00
01404524 4534	INTERSTATE BATTERY SYSTEMS	BATTERIES	\$82.75
01404524 4534	KAMMES AUTO & TRUCK REPAIR INC	VEHICLE BATTERIES	\$140.00
01404524 4545	GLOBE MEDICAL SURGICAL SUPPLY	MEDICAL SUPPLIES	\$75.60

FLEET SERVICES

\$44,743.46

VILLAGE OF HOFFMAN ESTATES

June 17, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01404624 4510	MR ACE LLC	VARIOUS SUPPLIES	\$29.99
01404624 4545	FULLIFE SAFETY CENTER	SAFETY SUPPLIES	\$111.76
F.A.S.T.			\$141.75
01404724 4522	WELCH BROS INC	REPAIR PARTS	\$273.40
STORM SEWERS			\$273.40
01404822 4301	APWA-CHICAGO METRO CHAPTER	CONFERENCE REGISTRATION	\$50.00
01404824 4502	COMMONWEALTH EDISON	ELECTRIC GLENDALE LITES	\$2,746.99
01404824 4502	COMMONWEALTH EDISON	ELECTRIC RED LIGHTS	\$12.82
01404824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 5510 PRAIRIESTON	\$249.07
01404824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC SEDGE/RTE 25	\$5,940.33
TRAFFIC CONTROL			\$8,999.21
TOTAL PUBLIC WORKS DEPARTMENT			\$104,046.05
01501223 4402	OFFICE DEPOT	OFFICE SUPPLIES	\$214.99
ADMINISTRATIVE			\$214.99
DEVELOPMENT SERVICES			
01505024 4507	S.B. FRIEDMAN & CO.	PROFESSIONAL SERVICES	\$9,258.50
PLANNING			\$9,258.50
01505122 4301	IACE	TRAINING	\$200.00
01505124 4507	GILIO LANDSCAPE CONTRACTORS	MOWING FOR CODE	\$830.00
01505124 4507	GILIO LANDSCAPE CONTRACTORS	MOWING FOR CODE	\$350.00
01505124 4507	THOMPSON ELEVATOR INSPECTION INC	INSPECTIONS	\$40.00
01505124 4507	THOMPSON ELEVATOR INSPECTION INC	INSPECTIONS	\$18.00
CODE ENFORCEMENT			\$1,438.00
01505222 4304	DLS CUSTOM EMBROIDERY	UNIFORMS	\$272.00
01505223 4408	PRO SAFETY EQUIPMENT	SAFETY SUPPLIES	\$184.35

VILLAGE OF HOFFMAN ESTATES

June 17, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01505224 4507	CIVILTECH ENGINEERING, INC.	PROFESSIONAL SERVICES	\$1,214.85
01505224 4542	ALL-STAR CAB DISPATCH INC	TRANSPORTATION	\$2,408.00
01505224 4542	GOVTEMPSUSA LLC	ADMIN SERVICES	\$8,347.50
01505224 4542	UNITED DISPATCH	TRANSPORTATION COUPONS	\$140.00
01505224 4545	FULLIFE SAFETY CENTER	SAFETY VEST	\$15.99
TRANSPORTATION AND ENGINEERING			\$12,582.69

01505922 4301	MR ACE LLC	VARIOUS SUPPLIES	\$17.17
01505922 4301	THE UPS STORE	SHIPPING	\$393.60
01505924 4542	ZADRO WEB	WEB HOSTING	\$718.75
ECONOMIC DEVELOPMENT			\$1,129.52

TOTAL DEVELOPMENT SERVICES DEPARTMENT **\$24,623.70**

HEALTH & HUMAN SERVICES

01556523 4413	GLAXOSMITHKLINE	TWINRIX® PFS NDC: 58160-8	\$456.50
01556524 4510	SCHOOL HEALTH CORP.	CALIBRATION CHECK	\$50.00
01556524 4556	CALL ONE	LANDLINES	\$42.55
TOTAL HEALTH & HUMAN SERVICES DEPARTMENT			\$549.05

01605324 4561.1	ANDY LINDER	4TH OF JULY PARADE	\$200.00
01605324 4561.1	DANCE FORCE ELITE	4TH OF JULY PARADE	\$1,500.00
01605324 4561.1	MEDINAH SHRINERS MINICHOPPERS	4TH JULY ENTERTAINMENT	\$500.00
01605324 4561.1	PROVISO WEST HS BAND	4TH OF JULY PARADE	\$1,000.00
01605324 4561.1	SAMUEL SAKE	4TH JULY ENTERTAINMENT	\$17.00
01605324 4561.1	SHKUNNA MCGEE	4TH JULY ENTERTAINMENT	\$1,500.00
01605324 4561.1	THOMAS P MCDERMOTT	4TH JULY ENTERTAINMENT	\$2,000.00
FOURTH OF JULY			\$6,717.00

01605824 4555	AARON HOWE	REIM FOR LODGING	\$132.49
01605824 4555	LILLIAN MOSIER	REIMB BASEBALL EXCHANGE	\$65.03
01605824 4560	MAD SCIENCE OF NORTHERN ILLINOIS	FIRE & ICE SHOW	\$475.00
01605824 4575	BILLY CROFT PRODUCTIONS	7/25 PERFORMANCE	\$1,200.00
01605824 4575	KEVIN E CONNER	8/1 PERFORMANCE	\$2,900.00
01605824 4575	ROCCO CALIPARI	07/18 PERFORMANCE	\$1,650.00
01605824 4575	TODD DONNELLY	7/11 PERFORMANCE	\$1,000.00
01605824 4575	VANESSA ZACH	REIM FOR ARTS COMM	\$405.71
01605824 4599	THE FINER LINE	AWARDS	\$114.00
01605824 5502	HENRY SERGIENKO	DEPOSIT FOR PERFORMANCE	\$50.00
MISCELLANEOUS B & C			\$7,992.23

TOTAL BOARDS & COMMISSIONS DEPARTMENT **\$14,709.23**

TOTAL GENERAL FUND **\$278,703.74**

VILLAGE OF HOFFMAN ESTATES

June 17, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
MFT FUND			
03400024 4512	MEADE ELECTRIC CO., INC.	TRAFFIC SIGNAL MAINTENANC	\$525.00
TOTAL MFT FUND			\$525.00
ASSET SEIZURE			
08200822 4307	GALLS, LLC	POLICE DEPT UNIFORMS	\$495.00
08200824 4539	ADVANCE AUTO PARTS	REPAIR PARTS	\$13.49
TOTAL ASSET SEIZURE FUND			\$508.49
PRAIRIE STONE CAPITAL FUND			
27000025 4621	QUANTUM SIGN CORPORATION	DESIGN CREATION GATEWAY	\$6,250.00
TOTAL CAPITAL FUND			\$6,250.00
ROAD IMPROVEMENT FUND			
29000025 4606	APPLIED GEOSCIENCE INC.	HOT MIX ASPHALT TESTING	\$14,531.00
29000025 4606	ARROW ROAD CONSTRUCTION CO	CAPITAL IMPROVEMENT	\$283,751.66
29000025 4606	ARROW ROAD CONSTRUCTION CO	CDBG PW	\$153,349.64
TOTAL ROAD IMPROVEMENT FUND			\$451,632.30
CAPITAL ROAD IMPROVEMENT			
36000025 4615	CIVILTECH ENGINEERING, INC.	PROFESSIONAL SERVICES	\$2,462.76
TOTAL CAPITAL IMPROVEMENTS FUND			\$2,462.76
WATERWORKS AND SEWERAGE FUND			
40400013 3425	JEFFERY VAN BUREN	RFD OVER PYMT WATER	\$73.98
WATER REFUND			\$73.98
40406723 4408	MENARDS - HNVR PARK	REPAIR PARTS	\$17.99
40406723 4414	MR ACE LLC	VARIOUS SUPPLIES	\$106.11
40406724 4501	AT & T	LANDLINES	\$90.34
40406724 4501	CALL ONE	LANDLINES	\$2,051.45
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1355 WESTBURY	\$90.09
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1775 ABBEYWOOD	\$1,359.16
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1790 CHIPPENDALE	\$1,855.95

VILLAGE OF HOFFMAN ESTATES

June 17, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 2 N HILLCREST	\$81.86
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 2002 PARKVIEW	\$201.09
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 2150 STONINGTON	\$350.66
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 2550 BEVERLY	\$237.53
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 3451 N WILSHIRE	\$251.11
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 3990 HUNTINGTON	\$114.29
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 4140 CRIMSON	\$617.90
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 4690 OLMSTEAD	\$98.18
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 720 CHARLESTON	\$69.84
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 780 HASSELL RD	\$252.38
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 95 ASTER LANE	\$561.25
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC HIGGINS/BEVERLY	\$148.36
40406724 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC HIGGINS/OLD SUTT	\$390.84
40406724 4503	NICOR GAS	GAS 4690 OLMSTEAD	\$29.51
40406724 4503	NICOR GAS	GAS 720 CHARLESTON	\$217.95
40406724 4509	XEROX CORP.	COPIER LEASING	\$144.97
40406724 4526	GRAINGER INC	VARIOUS SUPPLIES	\$71.25
40406724 4526	MENARDS - HNVK PARK	VARIOUS SUPPLIES	\$72.07
40406724 4528	MENARDS - HNVK PARK	REPAIR PARTS	\$71.68
40406724 4528	SCHRACK ENVIRONMENTAL CONSULTING, I	SOIL TESTING	\$850.00
40406724 4528	ZIEBELL WATER SERVICE	PAIR PARTS	\$193.56
40406724 4528	ZIEBELL WATER SERVICE	REPAIR PARTS	\$257.35
40406724 4529	BEVERLY MATERIALS, L.L.C.	CLEAN FILL	\$310.00
40406724 4529	BEVERLY MATERIALS, L.L.C.	STONE	\$1,098.34
40406724 4529	JSN CONTRACTORS SUPPLY	WHITE MARKING PAINT	\$117.00
40406724 4529	LEE JENSEN SALES CO., INC.	REPAIR PARTS	\$1,077.50
40406724 4529	R.C. TOPSOIL	TOPSOIL	\$150.00
40406724 4529	UNDERGROUND PIPE & VALVE CO	REPAIR PARTS	\$259.00
40406724 4529	UNITED RENTALS INC	EXCAVATOR RENTAL	\$1,517.42
40406724 4529	ZIEBELL WATER SERVICE	REPAIR PARTS	\$1,334.34
40406724 4545	FULLIFE SAFETY CENTER	SAFETY SUPPLIES	\$373.00
40406724 4585	KAMMES AUTO & TRUCK REPAIR INC	VEHICLE BATTERIES	\$35.00
40406724 4585	LINDCO EQUIPMENT SALES INC	REPAIR PARTS	\$684.47
WATER DIVISION			\$17,810.79

40406824 4501	CALL ONE	LANDLINES	\$46.04
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC SEVERAL LOCATIONS	\$331.68
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1101 WESTBURY	\$1,132.46
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1200 KINGSDALE	\$232.63
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1215 MOON LAKE	\$847.82
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1513 GOLF RD	\$1,231.39
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1629 CROWFOOT CI	\$226.54
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1775 HUNTINGTON	\$202.04
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 1869 HAMPTON	\$152.15
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 2090 CENTRAL	\$115.19
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 2094 CARLING	\$64.84

VILLAGE OF HOFFMAN ESTATES

June 17, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 2364 HIGGINS	\$1,335.77
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 515 CENTRAL	\$33.85
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 6100 SHOE FACTOR	\$592.45
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 897 PARK LN	\$116.33
40406824 4510	INTERSTATE BATTERY SYSTEMS	BATTERIES	\$106.67
40406824 4510	INTERSTATE BATTERY SYSTEMS	REPAIR PARTS	\$351.34
40406824 4530	BEVERLY MATERIALS, L.L.C.	CLEAN FILL	\$310.00
40406824 4530	BEVERLY MATERIALS, L.L.C.	STONE	\$1,098.33
40406824 4530	JSN CONTRACTORS SUPPLY	WHITE MARKING PAINT	\$117.00
40406824 4530	MR ACE LLC	VARIOUS SUPPLIES	\$14.16
40406824 4530	R.C. TOPSOIL	TOPSOIL	\$150.00
40406824 4530	WELCH BROS INC	REPAIR PARTS	\$179.72
SEWER DIVISION			\$8,988.40

40407023 4403	CLASS PRINTING	DOOR HANGERS	\$380.00
BILLING DIVISION			\$380.00

40407523 4420	WATER RESOURCES INC	WATER METERS AND VARIOUS	\$3,250.00
40407525 4608	ARROW ROAD CONSTRUCTION CO	SANITARY SEWER PW	\$12,640.00
40407525 4608	BAXTER & WOODMAN, INC.	ENGINEERING SERVICES FOR	\$18,547.53
40407525 4608	BAXTER & WOODMAN, INC.	PERFORM ENGINEERING SERVI	\$6,193.00
40407525 4608	ENGINEERING ENTERPRISES INC	PROVIDE ENGINEERING SERVI	\$531.00
CAPITAL PROJECTS			\$41,161.53

TOTAL WATERWORKS AND SEWERAGE FUND **\$68,414.70**

STORM MANAGEMENT

42000025 4613	ALAMP CONCRETE CONTRACTORS, INC.	DRAINAGE REPAIRS	\$47,687.45
42000025 4613	CHASTAIN & ASSOCIATES LLC	PROFESSIONAL SERVICES	\$2,557.44
TOTAL STORMWATER MANAGEMENT			\$50,244.89

INSURANCE FUND

46700024 4551	EMPLOYMENT SCREENING ALLIANCE GROUP	PROFESSIONAL SERVICES	\$195.00
46700024 4579	ALEXIAN BROTHERS CORPORATE HEALTH	EMPLOYEE PHYSICAL	\$85.00
TOTAL INSURANCE FUND			\$280.00

VILLAGE OF HOFFMAN ESTATES

June 17, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
INFORMATION SERVICES			
47001223 4402	OFFICE DEPOT	OFFICE SUPPLIES	\$61.94
47001223 4406	SOUTHERN COMPUTER WAREHOUSE	HEW-CB542A	\$68.52
47001223 4406	SOUTHERN COMPUTER WAREHOUSE	HEW-CB543A	\$68.52
47001223 4406	SOUTHERN COMPUTER WAREHOUSE	HEW-CF410X	\$129.00
47001223 4406	SOUTHERN COMPUTER WAREHOUSE	PCI-CF214X-PCI	\$150.90
47001223 4406	SOUTHERN COMPUTER WAREHOUSE	PCI-CF280X-RPC	\$171.76
ADMINISTRATIVE			\$650.64
47008524 4507	FILEMAKER INC	FM151141LL FM 5 USER ANNU	\$2,398.00
47008524 4507	WEBQA INC	GOVQA CITY WIDE MOBILE AP	\$3,040.00
47008524 4507	WEBQA INC	GOVQA CRM SUBSCRIPTION -	\$7,470.00
47008524 4507	WEBQA INC	GOVQA FOIA SERVICE - FREE	\$5,695.00
47008524 4510	SENTINEL IPS BY ECONET, INC.	SENTINEL IPS ADVANCE UNIT	\$1,647.00
47008524 4510	SOUTHERN COMPUTER WAREHOUSE	CISCO SMART NET TOTAL CAR	\$170.43
47008525 4602	SOUTHERN COMPUTER WAREHOUSE	CISCO AIRONET AP2802I IEE	\$1,889.55
47008525 4602	SOUTHERN COMPUTER WAREHOUSE	CISCO POWER OVER ETHERNET	\$318.69
OPERATIONS			\$22,628.67
TOTAL INFORMATION SYSTEMS FUND			\$23,279.31
 BILL LIST TOTAL			 \$882,301.19

SUPERION
 DATE: 06/13/2019
 TIME: 13:16:33

VILLAGE OF HOFFMAN ESTATES
 CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 1
 ACCTPA21

SELECTION CRITERIA: transact.t_c='20' and transact.trans_date between '20190530 00:00:00.000' and '20190613 00:00:00.000'
 ACCOUNTING PERIOD: 6/19

FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
0102	114051 v	06/04/19	2278	WATER RESOURCES INC	01404724	REPAIR PARTS	0.00	-805.03
0102	114051 v	06/04/19	2278	WATER RESOURCES INC	40406824	REPAIR PARTS	0.00	-296.80
TOTAL CHECK							0.00	-1,101.83
0102	114057	05/31/19	5055	MARCIA FRANK	01605824	COOKING DEMO REIMB	0.00	51.37
0102	114092	06/04/19	2321	WELCH BROS INC	40406824	REPAIR PARTS	0.00	296.80
0102	114093	06/04/19	2321	WELCH BROS INC	01404724	REPAIR PARTS	0.00	805.03
0102	114094	06/05/19	19404	PROVEN IT	01556523	COPIER LEASING	0.00	84.27
0102	114094	06/05/19	19404	PROVEN IT	01101623	COPIER LEASING	0.00	44.67
0102	114094	06/05/19	19404	PROVEN IT	01	COPIER LEASING	0.00	563.87
TOTAL CHECK							0.00	692.81
0102	114095	06/05/19	17168	ILLINOIS STATE POLICE AS 08		FORFEITURE	0.00	8,016.00
0102	114096	06/05/19	19678	RACHEL BORGMAN	01605824	REIM FOR FRANCE TRIP	0.00	1,075.00
0102	114097	06/07/19	11261	WEX BANK	01404524	FUEL PURCHASES	0.00	305.44
0102	114098	06/07/19	18039	WEX BANK	01404524	FUEL PURCHASES	0.00	451.25
0102	114099	06/10/19	12802	LEAF	01303124	COPIERRR LEASING	0.00	197.00
0102	114100	06/11/19	3501	SUSAN WENDERSKI	01	C-PAL LOAN	0.00	965.86
TOTAL CASH ACCOUNT							0.00	11,754.73
TOTAL FUND							0.00	11,754.73
TOTAL REPORT							0.00	11,754.73

Detail of Wire/ACH Activity
For the Period 05/01/19 - 05/31/19

<u>Date</u>	<u>Vendor</u>	<u>Description</u>	<u>Source of Funds</u>	<u>Amount</u>
05/01/19	IPBC	Insurance Premium	General	\$ 574,429.51
05/02/19	Payment Express	Credit Card Merchant Fees 4/19	General, Water & Sewer	\$ 36.50
05/03/19	Neopost	Replenish Postage Machine	General	\$ 1,600.00
05/06/19	Employer's Claim Service	Workers Comp Claims	Insurance	\$ 79,091.47
05/06/19	Northwest Central 9-1-1 System	Monthly Radio Lease Obligation 05/19	Capital Vehicle & Equipment	\$ 15,656.79
05/07/19	CCMSI	General Liability Claims	Insurance	\$ 4,013.93
05/10/19	IMRF	IMRF April 2019 Payroll Costs	Various	\$ 105,269.00
05/13/19	Neopost	Replenish Postage Machine	General, Water & Sewer	\$ 1,600.00
05/14/19	CCMSI	General Liability Claims	Insurance	\$ 6,435.00
05/14/19	Sears	Note Payment	EDA General	\$ 2,508,660.33
05/15/19	Dr. Marc Reynolds	Services for 60th Anniversary Book	General	\$ 803.00
05/20/19	SWANCC	Monthly Tipping Fees	Municipal Waste System	\$ 52,284.88
05/20/19	JAWA	Monthly Water Usage	Water & Sewer	\$ 684,093.00
05/20/19	Sebis	Postage Deposit for Water Bills	Water & Sewer	\$ 6,000.00
05/29/19	Amalgamated Bank of Chicago	2018 GODS	General, Water & Sewer	\$ 812,918.75
05/29/19	Amalgamated Bank of Chicago	2017B Debt Service Payment	General, Water & Sewer	\$ 62,350.00
05/29/19	Amalgamated Bank of Chicago	2017A Debt Service Payment	General, Water & Sewer	\$ 97,331.26
05/29/19	Amalgamated Bank of Chicago	2016 Debt Service Payment	2016 GO Debt Service	\$ 167,900.00
05/29/19	Amalgamated Bank of Chicago	2015C Debt Service Payment	Sears Center Operating	\$ 505,906.26
05/29/19	Amalgamated Bank of Chicago	2015B Debt Service Payment	2015B Go Debt Service	\$ 94,325.00
05/29/19	Amalgamated Bank of Chicago	2015A Debt Service Payment	Sears Center Operating	\$ 307,849.38
05/29/19	Dr. Marc Reynolds	Services for 60th Anniversary Book	General	\$ 803.00
05/31/19	Neopost	Replenish Postage Machine	General, Water & Sewer	\$ 1,600.00
05/31/19	CCMSI	General Liability Claims	Insurance	\$ 52,667.35
	TOTAL			\$ 6,143,624.41

VILLAGE OF HOFFMAN ESTATES
 Monthly Credit Card Activity

From: 04/06/2019

To: 5/5/2019

Account Name	Merchant Name	Transaction Date	Accounting Code	Accounting Code	Transaction Amount	Expense Description
ANTHONY FASHODA	ILLINOIS GOVERNMENT FI	04/15/2019	01101422	4301	\$25.00	FIXED INCOME INVEST SEM
ANTHONY FASHODA	MAILFINANCE	04/05/2019	01101424	4510	\$745.50	FOLDING MACHINE LEASE
ANTHONY FASHODA	MAILFINANCE	04/05/2019	40407024	4510	\$745.50	FOLDING MACHINE LEASE
BEN GIBBS	AMAZON.COM*MZ3V17UP0	05/03/2019	01	1445	\$57.03	SCA-SUPPLIES
BEN GIBBS	AMAZON.COM*MZ5PY49S0	05/02/2019	01	1445	\$180.00	SCA-SUPPLIES
BEN GIBBS	AMZN MKTP US*MW0WR0KP2	04/07/2019	01	1445	\$95.92	SCA-SUPPLIES
BEN GIBBS	AMZN MKTP US*MW1LB2WT1	04/07/2019	01	1445	\$90.76	SCA-SUPPLIES
BEN GIBBS	AMZN MKTP US*MZ0GI71B2	04/23/2019	01	1445	\$33.49	SCA-SUPPLIES
BEN GIBBS	AMZN MKTP US*MZ0QG5VT0	04/23/2019	01	1445	\$313.81	SCA-SUPPLIES
BEN GIBBS	AMZN MKTP US*MZ1FV12J2	05/02/2019	01	1445	\$34.99	SCA-SUPPLIES
BEN GIBBS	AMZN MKTP US*MZ4OC1KI0	05/01/2019	01	1445	\$19.79	SCA-SUPPLIES
BEN GIBBS	AMZN MKTP US*MZ59W8S12	05/01/2019	01	1445	\$94.95	SCA-SUPPLIES
BEN GIBBS	AMZN MKTP US*MZ6O81B01	04/23/2019	01	1445	\$49.99	SCA-SUPPLIES
BEN GIBBS	AMZN MKTP US*MZ7VU6KC0	05/01/2019	01	1445	\$172.26	SCA-SUPPLIES
BEN GIBBS	AMZN MKTP US*MZ9MA19S0	05/02/2019	01	1445	\$31.09	SCA-SUPPLIES
BEN GIBBS	BEST PRICE CLEANERS	04/13/2019	01	1445	\$120.00	SCA-DRY CLEANING SER
BEN GIBBS	CLAIM JUMPER 0535	04/12/2019	01	1445	\$42.82	SCA-LUNCH MTG
BEN GIBBS	DNH*GODADDY.COM	04/05/2019	01	1445	\$36.34	SCA-SUBSCRIPTION
BEN GIBBS	EIG*CONSTANTCONTACT.C	04/16/2019	01	1445	\$69.06	SCA-SUBSCRIPTION
BEN GIBBS	ETSY.COM	04/09/2019	01	1445	\$105.00	SCA-SUPPLIES
BEN GIBBS	ETSY.COM - IDENTITYWEA	05/01/2019	01	1445	\$50.00	SCA-SUPPLIES
BEN GIBBS	OFFICEMAX/DEPOT 6749	04/11/2019	01	1445	\$75.00	SCA-SUPPLIES
BEN GIBBS	ROOKIES BAR AND GRILL	04/08/2019	01	1445	\$45.36	SCA-LUNCH MTG
BEN GIBBS	STARBUCKS STORE 27406	04/24/2019	01	1445	\$49.84	SCA-MEETING
BEN GIBBS	TARGET 00021220	04/09/2019	01	1445	\$37.38	SCA-SUPPLIES
BEN GIBBS	TARGET 00021220	04/20/2019	01	1445	\$878.90	SCA-SUPPLIES
BEN GIBBS	TARGET 00021220	04/22/2019	01	1445	\$35.50	SCA-SUPPLIES
BEN GIBBS	THE HOME DEPOT #1912	04/19/2019	01	1445	\$162.61	SCA-SUPPLIES
BEN GIBBS	THE HOME DEPOT #1912	04/23/2019	01	1445	\$50.80	SCA-SUPPLIES
BEN GIBBS	THE HOME DEPOT #1912	04/28/2019	01	1445	\$104.12	SCA-SUPPLIES
BEN GIBBS	WIX.COM*420837701	04/06/2019	01	1445	\$4.99	SCA-SUBSCRIPTION
BEN GIBBS	WIX.COM*421384851	04/07/2019	01	1445	\$36.00	SCA-SUBSCRIPTION
BEVERLY ROMANOFF	OTC BRANDS, INC.	04/11/2019	01605824	4593	\$66.05	4TH OF JULY DECORATIONS
BEVERLY ROMANOFF	SQ *SQ *NOTARY PUBLIC	04/11/2019	01101522	4303	\$54.00	NOTARY-CHRISTINE
BOB MARKKO	PETRO CHOICE HOLDING	04/12/2019	01404523	4411	\$149.35	DIESEL EXHAUST FLUID
DARIN W FELGENHAUER	JONAH S SEAFOOD HOUSE	04/30/2019	01	1445	\$160.67	PENSION CONFER MEAL
DEBRA SCHOOP	INTERNATION	04/23/2019	01101222	4303	\$1,324.00	RENEWAL DUES-OMALLEY
DEBRA SCHOOP	PARIS LV ROOM RESRVATI	04/24/2019	01505922	4301	\$266.44	ICSC CONF-STANTON
DEBRA SCHOOP	PARIS LV ROOM RESRVATI	04/24/2019	01505922	4301	\$266.44	ICSC CONF-KRAMER
DEBRA SCHOOP	PARIS LV ROOM RESRVATI	04/24/2019	01505922	4301	\$147.39	ICSC CONF-NORRIS
DEBRA SCHOOP	PARIS LV ROOM RESRVATI	04/24/2019	01505922	4301	\$147.39	ICSC CONF-OMALLEY
DEBRA SCHOOP	PARIS LV ROOM RESRVATI	04/24/2019	01505922	4301	\$255.11	ICSC CONF-KOPLIN
DR AUDRA MARKS	AMZN MKTP US*MZ8U77KR0	05/01/2019	01556523	4414	\$285.13	CAMERA EQUIP FOR TRAIN
DR AUDRA MARKS	APPIC	04/12/2019	01556522	4303	\$250.00	3 YEAR RENEWAL

VILLAGE OF HOFFMAN ESTATES
Monthly Credit Card Activity

From: 04/06/2019

To: 5/5/2019

Account Name	Merchant Name	Transaction Date	Accounting Code	Accounting Code	Transaction Amount	Expense Description
DR AUDRA MARKS	APPIC	04/12/2019	01556522	4303	\$600.00	MEMBERSHIP DUES
DR AUDRA MARKS	JEWEL-OSCO	04/12/2019	01605824	4599	\$179.93	TRANSITION SUMMIT
DR AUDRA MARKS	PAPA JOHN'S #3338	04/05/2019	01605824	4599	\$150.11	TEEN CENTER
DR AUDRA MARKS	PAPA JOHN'S #3338	04/09/2019	01605824	4599	\$43.22	TEEN CENTER
DR AUDRA MARKS	PAPA JOHN'S #3338	04/16/2019	01605824	4599	\$63.21	TEEN CENTER
DR AUDRA MARKS	PAPA JOHN'S #3338	04/30/2019	01605824	4599	\$46.22	TEEN CENTER
DR AUDRA MARKS	PARTY CITY 5256	05/02/2019	01605824	4499	\$62.86	SUPPLIES-1ST FRIDAY
FRED BESENHOFFER	AMAZON PRIME	04/24/2019	47001222	4303	\$12.99	PRIME MEMBERSHIP FEE
FRED BESENHOFFER	AMAZON.COM*MZ41V80N2	04/22/2019	47008525	4602	\$268.21	UPS FOR VLG GREEN
FRED BESENHOFFER	AMZN MKTP US*MZ8802EO2	04/22/2019	47001222	4301	\$33.99	TRAINING BOOK
FRED BESENHOFFER	COMCAST CHICAGO	04/08/2019	47008524	4542	\$161.85	INTERNET SERVICES
FRED BESENHOFFER	COMCAST CHICAGO	04/09/2019	47008524	4542	\$143.89	INTERNET SERVICES
FRED BESENHOFFER	COMCAST CHICAGO	04/23/2019	47008524	4542	\$82.95	INTERNET SERVICES
FRED BESENHOFFER	COMCAST CHICAGO	04/29/2019	47008524	4542	\$79.90	INTERNET SERVICES
FRED BESENHOFFER	DLS INTERNET SERVICES	04/23/2019	47008524	4542	\$350.00	INTERNET SERVICES
JAMES H NORRIS	BANK OF SPRINGFIELD CE	05/01/2019	01101222	4301	\$7.00	PARK LINCOLN HOTEL
JAMES H NORRIS	BANK OF SPRINGFIELD CE	05/02/2019	01101222	4301	\$7.00	PARK LINCOLN HOTEL
JAMES H NORRIS	METRA PALATINE	04/11/2019	01101222	4301	\$14.50	TRAIN-FIRE SPRINKLER LIT
JAMES H NORRIS	METRA PALATINE	04/12/2019	01101222	4301	\$14.50	TRAIN-FIRE SPRINKLER LIT
JAMES H NORRIS	METRA PALATINE	04/15/2019	01101222	4301	\$14.50	TRAIN-FIRE SPRINKLER LIT
JAMES H NORRIS	VILLAGE OF PALATINE	04/11/2019	01101222	4301	\$2.20	TRAIN-FIRE SPRINKLER LIT
JAMES H NORRIS	VILLAGE OF PALATINE	04/12/2019	01101222	4301	\$2.20	TRAIN-FIRE SPRINKLER LIT
JAMES H NORRIS	VILLAGE OF PALATINE	04/15/2019	01101222	4301	\$2.20	TRAIN-FIRE SPRINKLER LIT
JENNIFER DJORDJEVIC	AMZN MKTP US*MW5RK7R10	04/09/2019	01101124	4542	\$18.31	SIGN IN BOOK-SWEARING IN
JENNIFER DJORDJEVIC	DAVE'S SPECIALTY FOODS	04/10/2019	01101122	4301	\$20.26	NWMC LUNCH MTG
JENNIFER DJORDJEVIC	FABBRINI S FLOWERS	04/29/2019	01101124	4542	\$89.00	FLOWERS-SWEARING IN
JENNIFER DJORDJEVIC	HOFFMAN ESTATES GARIBA	04/08/2019	01101122	4301	\$19.47	HHS MEETING
JENNIFER DJORDJEVIC	MARIANOS #506	04/15/2019	01101123	4414	\$33.95	290G RECEPTION
JENNIFER DJORDJEVIC	MARIANOS #506	04/15/2019	01101123	4414	\$54.42	290G RECEPTION
JENNIFER DJORDJEVIC	MARIANOS #541	04/26/2019	01101124	4542	\$48.00	FOOD FOR SWEARING IN
JENNIFER DJORDJEVIC	MORETTI'S RISTORANTE HO	04/15/2019	01101123	4414	\$175.52	TRUSTEE DINNER
JENNIFER DJORDJEVIC	OTC BRANDS, INC.	04/23/2019	01101124	4542	\$94.93	SUPPLIES-SWEARING IN
JENNIFER DJORDJEVIC	PAYPAL *POC	05/02/2019	01101122	4301	\$500.00	POC SPONSORSHIP
JENNIFER DJORDJEVIC	USPS PO 1670640195	04/08/2019	01101124	4542	\$143.00	STAMPS FOR SWEARING IN
JENNIFER DJORDJEVIC	VALLI PRODUCE OF H	04/24/2019	01101124	4542	\$67.00	FOOD FOR SWEARING IN
JENNIFER DJORDJEVIC	VALLI PRODUCE OF H	04/27/2019	01101124	4542	\$274.95	FOOD FOR SWEARING IN
JENNIFER DJORDJEVIC	VOLGISTICS INC	04/29/2019	01101123	4404	\$48.00	VOLUNTR DATABS SUBSCR
JOHN JANICKI	FACEBK *6UEUKKNTB2	04/15/2019	01	1445	\$750.00	SCA-SUBSCRIPTION
JOHN JANICKI	FACEBK *P996PKSTB2	04/07/2019	01	1445	\$750.00	SCA-SUBSCRIPTION
JOHN JANICKI	FACEBK *X3ZK6LJTB2	04/30/2019	01	1445	\$496.50	SCA-SUBSCRIPTION
JOHN JANICKI	GOOGLE *ADS6015163255	04/17/2019	01	1445	\$500.00	SCA-SUBSCRIPTION
JOHN JANICKI	GOOGLE *ADS6015163255	05/02/2019	01	1445	\$500.00	SCA-SUBSCRIPTION
JOHN JANICKI	TARGET 00021220	05/01/2019	01	1445	\$8.97	SCA-SUPPLIES
JOHN JANICKI	TINT - TINTUP.COM SIGN	04/30/2019	01	1445	\$300.00	SCA-SUBSCRIPTION

Account Name	Merchant Name	Transaction Date	Accounting Code	Accounting Code	Transaction Amount	Expense Description
JOHN JANICKI	WOOBX	05/01/2019	01	1445	\$30.00	SCA-SUBSCRIPTION
JOSEPH NEBEL	AMERICAN PUBLIC WORKS	04/26/2019	01404122	4303	\$101.00	MEMBER RENEWAL-NEBEL
JOSEPH NEBEL	AMERICAN PUBLIC WORKS	04/26/2019	40406722	4303	\$101.00	MEMBER RENEWAL-NEBEL
JOSEPH NEBEL	AWWA.ORG	04/27/2019	40406722	4303	\$83.00	MEMBERSHIP RENEWAL
JOSEPH NEBEL	COMCAST CHICAGO	04/15/2019	40406724	4501	\$106.85	BUSINESS INTERNET-XIAO
JOSEPH NEBEL	IL TOLLWAY-AUTOREPLENI	04/30/2019	40406722	4301	\$40.00	IPASS REPLENISH
JOSEPH NEBEL	VCN*COOKCOCLERKETHICS	05/02/2019	01401222	4301	\$15.32	STATE OF ECONOMIC INT
KATHRYN CAWLEY	ALIEXPRESS	05/01/2019	01202423	4414	\$460.88	CPA SUPPLIES
KATHRYN CAWLEY	APPAREL 2000 LLC	04/16/2019	01202922	4304	\$83.95	HE CSO PATCH LOGO (20)
KATHRYN CAWLEY	US DIGITIZING LLC	04/04/2019	01202922	4304	\$50.00	HE CSO PATCH LOGO
KELLY KERR	AMAZON.COM*MZ7LK91J2	04/23/2019	01404424	4510	\$809.52	ERGONOMIC OFFICE CHAIR
KELLY KERR	APL*ITUNES.COM/BILL	05/02/2019	40406723	4408	\$0.99	ICLOUD STORAGE PLAN
KELLY KERR	BUS MGMT DAILY ADMINIS	04/23/2019	01401223	4403	\$67.00	ADMIN PROF TODAY PUBLIC
KELLY KERR	GREEN SOIL	04/22/2019	40406724	4529	\$127.50	BLACK DIRT
KELLY KERR	GREEN SOIL	04/22/2019	40406824	4530	\$127.50	BLACK DIRT
KELLY KERR	HAMPTON INNS OTTAWA	04/06/2019	40406722	4301	\$261.74	VACTOR TRAINING-WAYTON
KELLY KERR	HAMPTON INNS OTTAWA	04/06/2019	40406722	4301	\$261.74	VACTOR TRAIN-BACKSTROM
KELLY KERR	HAMPTON INNS OTTAWA	04/06/2019	40406722	4301	\$261.74	VACTOR TRAINING-KASSAL
KELLY KERR	ILLINOIS AWWA	05/01/2019	40406722	4301	\$180.00	ADV IN WTR TECHNOLOGY
KELLY KERR	ILLINOIS AWWA	05/01/2019	40406722	4301	\$240.00	STATION & PUMPING EQUIP
KELLY KERR	ILLINOIS AWWA	05/01/2019	40406722	4301	\$120.00	CONTROL VALVES
KELLY KERR	ROSATIS PIZZA - HOFFMA	04/09/2019	40406722	4301	\$555.85	TRAINING DAY
KELLY KERR	SQ *SQ *PETERSON'S TAS	04/09/2019	01401223	4414	\$101.49	EMPLOYEE APPRECIATION
KELLY KERR	SQ *SQ *PETERSON'S TAS	04/30/2019	01401223	4414	\$101.49	TRAINING DAY
KEVIN D KRAMER	AIRE BROKERS	04/22/2019	01505922	4301	\$40.00	JOINT LUNCH EVENT
KEVIN D KRAMER	BUDDYZ PIZZA	04/10/2019	01505922	4301	\$21.78	ED LUNCH
KEVIN D KRAMER	HYATT PLACE NORMAL	04/25/2019	62000024	4507	\$30.52	TIF CONFERENCE
KEVIN D KRAMER	HYATT PLACE NORMAL	04/25/2019	63000024	4507	\$30.52	TIF CONFERENCE
KEVIN D KRAMER	HYATT PLACE NORMAL	04/25/2019	72000024	4507	\$30.52	TIF CONFERENCE
KEVIN D KRAMER	HYATT PLACE NORMAL	04/25/2019	01505024	4507	\$30.52	TIF CONFERENCE
KEVIN D KRAMER	ICSC	04/22/2019	01505922	4301	\$655.00	ICSC DEAL MAKING ATTEND
KEVIN D KRAMER	LAS VEGAS MONORAIL COM	04/30/2019	01505922	4301	\$218.00	MONORAIL TICKETS-ICSC
KEVIN D KRAMER	SPOTHERO 844-356-8054	04/15/2019	01505922	4301	\$25.00	PARKING FOR IEDA
KEVIN D KRAMER	STARBUCKS STORE 13754	04/16/2019	01505922	4301	\$10.14	DISCUSS NLNW
KEVIN D KRAMER	WWW.1AND1.COM	04/21/2019	01605824	4575	\$10.00	ARTS COMMISS WEBSITE
MARK A KOPLIN	SQ *SQ *DAWIT GEBREGIO	04/16/2019	01501222	4301	\$69.54	TAXI FROM HOTEL
MARK A KOPLIN	SQU*SQ *YELLOW CAB SF	04/10/2019	01501222	4301	\$54.75	TAXI FROM AIRPORT
MONICA SAAVEDRA	JEWEL-OSCO	04/27/2019	01605824	4560	\$37.80	ALICE CLASS SNACKS
MONICA SAAVEDRA	ROSATIS PIZZA - HOFFMA	04/17/2019	01605824	4559	\$900.00	SR COMMISS APRIL LUNCH
PATRICK FORTUNATO	AVADLLC	04/17/2019	01107123	4408	\$1,622.44	TECH EQUIP FOR EOC
PATRICK FORTUNATO	VISTAPR*VISTAPRINT.COM	04/12/2019	01303023	4414	\$217.99	DISPLAY CLOTHS
PATRICK J SEGER	AMERICAN 0010286451906	04/05/2019	01101622	4301	\$30.00	BAGGAGE FEE
PATRICK J SEGER	AMERICAN 0010286962704	04/10/2019	01101622	4301	\$30.00	BAGGAGE FEE
PATRICK J SEGER	AMERICAN TAXI DISPATCH	04/10/2019	01101622	4301	\$53.00	TAXI-NPELRA

VILLAGE OF HOFFMAN ESTATES
 Monthly Credit Card Activity

From: 04/06/2019

To: 5/5/2019

Account Name	Merchant Name	Transaction Date	Accounting Code	Accounting Code	Transaction Amount	Expense Description
PATRICK J SEGER	DOUBLETREE HOTELS	04/10/2019	01101622	4301	\$619.95	HOTEL-NPELRA
PATRICK J SEGER	JEWEL-OSCO	04/05/2019	01	1445	-\$54.99	REVERSED CHARGE
PATRICK J SEGER	JEWEL-OSCO	04/05/2019	01101623	4405	\$49.99	ANNV CAKE-BRUNNER
PATRICK J SEGER	JEWEL-OSCO	04/05/2019	01	1445	\$54.99	CHARGE TO BE REVERSED
PATRICK J SEGER	JEWEL-OSCO	04/08/2019	01101624	4568	\$66.43	ACTIVE SHOOTER TRAINING
PATRICK J SEGER	JEWEL-OSCO	04/18/2019	01101623	4405	\$49.99	ANNIV CAKE-LEVIN
PATRICK J SEGER	JEWEL-OSCO	04/22/2019	01101624	4568	\$18.98	ACTIVE SHOOTER TRAINING
PATRICK J SEGER	JEWEL-OSCO	04/25/2019	01101624	4568	\$9.49	ACTIVE SHOOTER TRAINING
PATRICK J SEGER	PANERA BREAD #608013	04/08/2019	01101623	4405	\$42.91	ANNV BAGELS-GESSERT
PAUL W PETRENKO	AMZN MKTP US*MZ7254LI2	04/16/2019	01404424	4510	\$38.49	FRIDGE ICE MAKER REPLAC
PAUL W PETRENKO	INTERNATIONAL FACILITY	04/09/2019	01404422	4303	\$322.00	VARIOUS SUBSCRIPTIONS
PAUL W PETRENKO	PAYPAL *BAKARCWC	04/16/2019	01404424	4510	\$149.99	TUBULAR SHADE MOTOR
PETER GUGLIOTTA	AMAZON.COM*MZ8RJ5JE0	04/17/2019	01505023	4414	\$39.98	KEYBOARD/MOUSE (2)
RACHEL E MUSIALA	IL TOLLWAY-WEB	04/08/2019	01	1445	\$3.80	TOLLWAY CHARGES
RACHEL E MUSIALA	IL TOLLWAY-WEB	04/08/2019	01	1445	\$65.70	TOLLWAY CHARGES
RACHEL E MUSIALA	IL TOLLWAY-WEB	04/12/2019	01	1445	\$15.55	TOLLWAY CHARGES
RACHEL E MUSIALA	MESA SAFE COMPANY INC	04/17/2019	01101423	4414	\$38.00	SAFE RESET KEY
RACHEL E MUSIALA	WCI*GROOT EAST	04/15/2019	09000024	4542	\$96,628.94	VLG RREFUSE SERVICE
RACHEL E MUSIALA	WCI*GROOT EAST	04/15/2019	09000024	4542	\$97,000.00	VLG REFUSE SERVICE
RACHEL E MUSIALA	WCI*GROOT EAST	04/15/2019	09000024	4542	\$8,790.00	YARDWASTE STICKERS
RICHARD D ENGLUND	AMZN MKTP US*MW27B6I1	04/05/2019	01303124	4510.11	\$133.43	TORQUE DRIVER
RICHARD D ENGLUND	AMZN MKTP US*MW2LG6792	04/08/2019	01303124	4510.11	\$28.49	THREADLOCK
RICHARD D ENGLUND	AMZN MKTP US*MW2XK4W91	04/07/2019	01303124	4510.11	\$157.74	WRENCH/PTFE/PETROJELLY
RICHARD D ENGLUND	AMZN MKTP US*MW3C30KB0	04/05/2019	01303124	4510.11	\$105.77	NEWTON METER
RICHARD D ENGLUND	AMZN MKTP US*MW6IN7RP0	04/09/2019	01303123	4408.13	\$326.67	ALUM CARGO CARRIER
RICHARD D ENGLUND	AMZN MKTP US*MW80L6210	04/05/2019	01303124	4510.11	\$64.06	DIVE LUBE
RICHARD D ENGLUND	AMZN MKTP US*MW8FH0SE2	04/06/2019	01303124	4510.11	\$18.88	THREADLOCK
RICHARD D ENGLUND	AMZN MKTP US*MW8JY3280	04/05/2019	01303124	4510.11	\$32.37	THREADLOCK
RICHARD D ENGLUND	AMZN MKTP US*MZ3BV2ZS1	04/12/2019	01303124	4510.11	\$77.70	TORQUE CABLE KEY
RICHARD D ENGLUND	AUTOZONE #2567	04/30/2019	01303124	4515.10	\$13.98	ANTI-FOG
RICHARD D ENGLUND	INT*IN *LIGHTNING X PR	04/26/2019	01303122	4304.16	\$566.92	GEAR BAGS
RICHARD D ENGLUND	SQ *SQ *KEJO LIMITED C	04/30/2019	01	1445	\$1,875.00	RENTAL RTF GEAR
RICHARD D ENGLUND	WEBER STEPHEN PRODUCTS	04/23/2019	01303525	4602	\$109.98	GRILL HOSE
RICHARD D ENGLUND	WWW.CATIARMOR.COM	04/26/2019	01303122	4304.16	\$720.00	RFT VESTS
TED BOS	EB 2019 HANOVER TOWNS	04/05/2019	01201222	4301	\$140.00	ANNUAL CONFERENCE (4)
TED BOS	EB 2019 HANOVER TOWNS	04/05/2019	01201222	4301	\$35.00	ANNUAL CONFERENCE
TED BOS	EB 2019 HANOVER TOWNS	04/08/2019	01201222	4301	\$35.00	ANNUAL CONFERENCE
TED BOS	ILLINOIS FIRE AND POLI	04/26/2019	01605722	4301	\$340.00	TRAINING MANUALS (4)
THOMAS MACKIE	CONRAD HOTEL INDANAPLS	04/10/2019	01303122	4301.19	\$1,704.32	FDIC ROOM
THOMAS MACKIE	IMAGETREND INC	04/17/2019	01303122	4301.15	\$1,220.00	IMAGE TREND CONFERENCE
THOMAS MACKIE	INT*IN *ILLINOIS FIRE	04/17/2019	01303322	4301	\$75.00	SEMINAR-KITCHEN INSPECT
THOMAS MACKIE	MARRIOTT	04/14/2019	01303122	4301.19	\$241.02	FDIC ROOM
THOMAS MACKIE	MARRIOTT	04/14/2019	01303122	4301.19	\$241.02	FDIC ROOM
THOMAS MACKIE	MARRIOTT	04/14/2019	01303122	4301.19	\$241.02	FDIC ROOM

VILLAGE OF HOFFMAN ESTATES
Monthly Credit Card Activity

From: 04/06/2019

To: 5/5/2019

Account Name	Merchant Name	Transaction Date	Accounting Code	Accounting Code	Transaction Amount	Expense Description
WILLIAM D MCLEOD	JEWEL-OSCO	04/27/2019	01101123	4414	\$25.55	CAKE-SWEARING IN
WILLIAM D MCLEOD	THE ASSEMBLY AMERICAN	04/04/2019	01605824	4598	\$33.75	60TH ANNIV MTG
Total					\$236,120.22	

VILLAGE OF HOFFMAN ESTATES

**AN ORDINANCE GRANTING A VARIATION TO PREMISES AT
1647 BUR OAK DRIVE, HOFFMAN ESTATES, ILLINOIS**

WHEREAS, the Planning and Zoning Commission, at a public hearing duly called and held according to law on May 15, 2019, considered the request by Lionel and Doris Harner (owner) and Thomas Buckley (applicant), of the property commonly known as 1647 Bur Oak Drive, and shown on Exhibit "A" attached hereto and made a part hereof, to consider the request for a variation from Section 9-5-3-D-6 and Section 9-3-6-E-1 of the Zoning Code to allow for a screen porch and attached deck on the property located at 1647 Bur Oak Drive; and

WHEREAS, the Planning and Zoning Commission made certain Finding of Fact attached hereto and made a part hereof as Exhibit "B" and recommended approval of a setback variation to the Board of Trustees; and

WHEREAS, the Corporate Authorities have received and considered said recommendation; and

WHEREAS, the proposed variation has met the standards of Section 9-1-15 of the Zoning Code of the Hoffman Estates Municipal Code; and

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: The Corporate Authorities hereby find that the facts and statements contained in the preamble of this Ordinance are true.

Section 2: A variation authorized under Section 9-5-3-D-6 of the Zoning Code is hereby granted to Lionel and Doris Harner to allow a rear yard setback distance of 17.44 feet for a screen porch instead of the required minimum setback distance of twenty feet (20') on the property located at 1647 Bur Oak Drive.

Section 3: A variation authorized under Section 9-3-6-E-1 of the Zoning Code is hereby granted to Lionel and Doris Harner to allow a rear yard setback distance of twelve feet (12') for an elevated deck instead of the required minimum setback distance of twenty feet (20') on the property located at 1647 Bur Oak Drive.

Section 4: The variations are granted upon the following conditions:

- a) The elevated deck shall be constructed per the size and location in the petitioner's application materials submitted with this request.
- b) Completed building and engineering plans are required to be submitted and all staff-level review comments shall be addressed prior to issuance of a building permit.

Section 5: The Village Clerk is hereby authorized to publish this Ordinance in pamphlet form.

Section 6: This Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2019

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Michael Gaeta	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2019

Village President

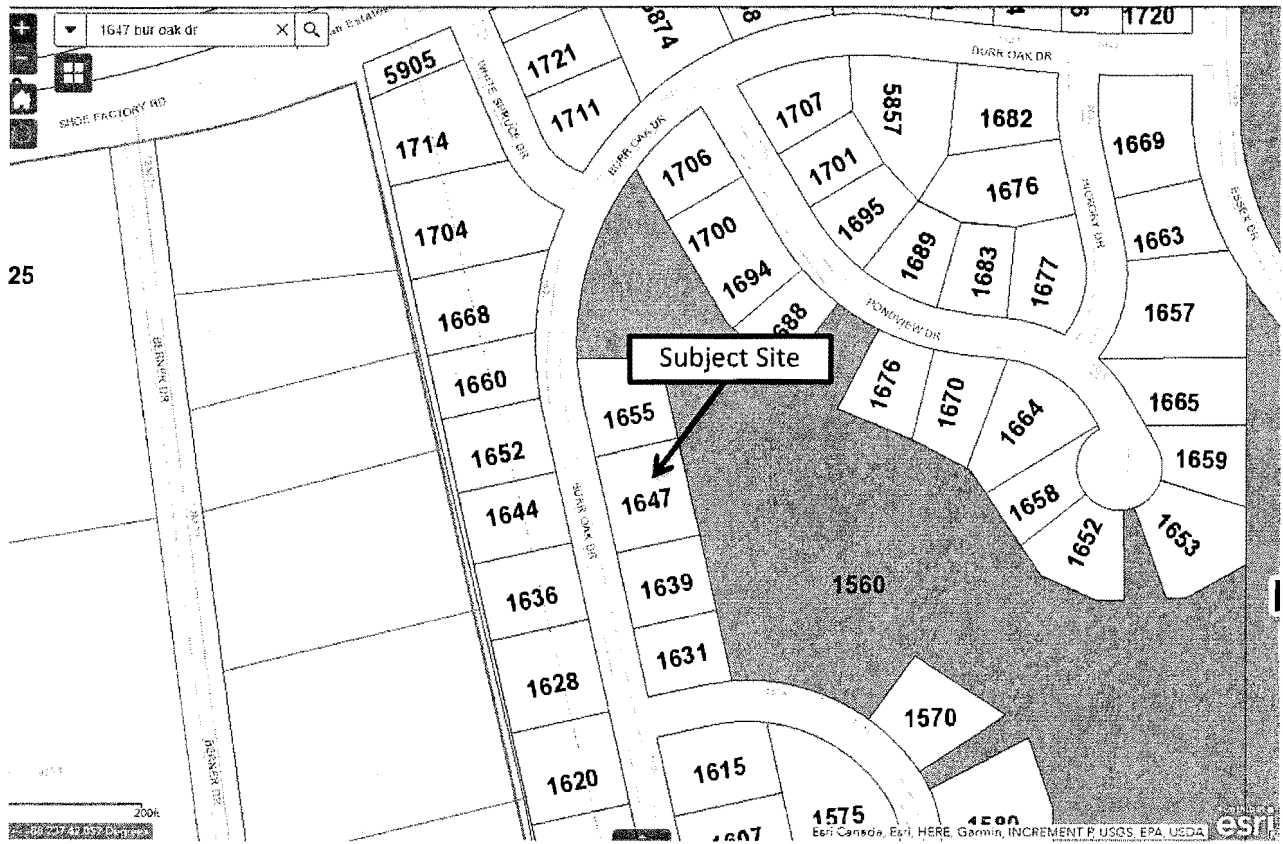
ATTEST:

Village Clerk

Published in pamphlet form this _____ day of _____, 2019.

1647 Bur Oak Dr

P.I.N. 06-08-101-010-0000



May 2019

Village of Hoffman Estates
Planning Division





VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION
FINDING OF FACT

PROJECT NO.: 2019022R

VILLAGE BOARD MEETING DATE: JUNE 3, 2019

PETITIONER(S): LIONEL & DORIS HARNER (OWNER) & THOMAS BUCKLEY (APPLICANT)

PROJECT ADDRESS: 1647 BUR OAK DR

ZONING DISTRICT: R-3, ONE FAMILY RESIDENTIAL

Does the Planning and Zoning Commission find that this request meets the Standards for a Variation (Section 9-1-15 of the Zoning Code)?

YES

NO

Recommendation: **APPROVAL (Both Motions)** Vote: 10 Ayes 0 Nays, 0 Abstain, 0 Absent

PZC MEETING DATE: MAY 15, 2019

STAFF ASSIGNED: **PARTH JOSHI**

Approval of a request by Lionel & Doris Harner (owner) and Thomas Buckley (applicant) for the following setback variations from the Zoning Code for a screen porch (addition) and an attached deck on the property located at 1647 Bur Oak Dr:

- a) A 2.56 feet rear yard setback variation from Section 9-5-3-D-6 to allow a screen porch to be 17.44 feet setback instead of the minimum 20 feet.
- b) A 2 feet rear yard setback variation from Section 9-3-6-E-1 to allow an elevated deck to 12 feet setback instead of the minimum 20 feet

The following conditions shall apply:

- 1. The elevated deck shall be constructed per the size and location included in the petitioner's application materials submitted with this request.
- 2. Completed building and engineering plans are required to be submitted and all staff-level review comments shall be addressed prior to issuance of a building permit.

**Commissioner Lon Harner recused himself from the hearing*

FINDING

The petitioner's architect for the project, Thomas Buckley, presented the Planning and Zoning Commission with the proposal to install a new elevated deck and a screened porch located on the new one-story single family home at 1647 Bur Oak Dr in the Devonshire Woods Estates Subdivision. The proposed porch will extend 2.56 feet into the required 20 feet rear yard setback for principle structure. Similarly, the elevated deck would extend 2 feet into the required 20 feet rear yard setback and/or alter into the extension of up to ten feet from the principal structure. The petitioners did not wish to reduce the size of their existing deck to meet the setback requirements and request to install the porch and deck to accommodate reasonable amount of guests along with tables and chairs.

The Commission found that the Zoning Code treats a screened porch and elevated decks similar to a home addition because it functions as part of the primary structure and living space. The Commission learned the lot is unique in nature as the home was constructed further back on the lot leaving more front yard space and less rear yard space. They also believed the proposed porch and deck was unlikely to change the rear yard setback aesthetics of the neighborhood or cause any visual concerns due to the home backing up to a pond.

The Planning & Zoning Commission considered the Standards for Variation as outlined in Section 9-1-15 of the Zoning Code, which states that the Planning and Zoning Commission shall not recommend the adoption of a proposed variation unless it finds that the variation meets the Standards for Variations as set forth in the Zoning Code.

1. The Planning and Zoning Commission shall not recommend the variation of the regulations of the Code unless it shall first make a finding based upon the evidence presented to it in each specific case that:

- a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located;
- b. The plight of the owner is due to unique circumstances;
- c. The variation, if granted, will not alter the essential character of the locality.

2. For the purpose of implementing the above rules, the Planning and Zoning Commission shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the applicant have been established by the evidence;

- a. The particular physical surroundings, shape of topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;
- b. The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning classification;
- c. The purpose of the variation is not based exclusively upon a desire to increase the value of the property;
- d. The alleged difficulty or hardship has not been based exclusively upon a desire to increase the value of property;
- e. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
- f. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood.

3. The Planning and Zoning Commission may recommend to the Village Board that such conditions and restrictions be imposed upon the premises benefited by a variation as may be necessary to comply with the standards set forth in this section to reduce or minimize the injurious effect of such variation upon other property in the neighborhood, and better to carry out the general intent of this Code.

The Commission agreed that the Standards for Variation had been met by the petitioner and voted unanimously to recommend approval of the request.

AUDIENCE COMMENTS

None.

Planning and Zoning Commission Finding of Fact
1647 Bur Oak Dr – Porch & Deck Variation
Village Board Meeting Date: June 2, 2019

PLANNING AND ZONING COMMISSIONERS

Chairperson Eva Combs	Myrene Iozzo
Vice-Chairman Greg Ring	Minerva Milford
Adam Bauske	Nancy Trieb
Tom Burnitz	Sohita Patel
Lon Harner	Denise Wilson
Lenard Henderson	

ROLL CALL VOTE

10 Ayes
1 recused (Harner, did not vote)

MOTION PASSED

The following attachments are hereby incorporated as part of this Finding of Fact:

- Staff Report
- Petitioner Application & Submittals
- Legal Notice & Location Map
- Staff Exhibit – Aerial Photo

VILLAGE OF HOFFMAN ESTATES

**AN ORDINANCE GRANTING A VARIATION TO PREMISES AT
445 WESTVIEW STREET, HOFFMAN ESTATES, ILLINOIS**

WHEREAS, the Planning and Zoning Commission, at a public hearing duly called and held according to law on May 15, 2019, considered the request by Jerry Wattron (owner) and Thomas Buckley (applicant), of the property commonly known as 445 Westview Street, and shown on Exhibit "A" attached hereto and made a part hereof, to consider the request for a variation from Section 9-5-3-D-5 of the Zoning Code to allow for an existing single family home and proposed addition on the property located at 445 Westview Street; and

WHEREAS, the Planning and Zoning Commission made certain Finding of Fact attached hereto and made a part hereof as Exhibit "B" and recommended approval of a setback variation to the Board of Trustees; and

WHEREAS, the Corporate Authorities have received and considered said recommendation; and

WHEREAS, the proposed variation has met the standards of Section 9-1-15 of the Zoning Code of the Hoffman Estates Municipal Code; and

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: The Corporate Authorities hereby find that the facts and statements contained in the preamble of this Ordinance are true.

Section 2: A side yard setback variation authorized under Section 9-5-3-D-5 of the Zoning Code is hereby granted to Jerry Wattron to allow a side yard setback distance of five feet (5') for an existing single family home and proposed addition instead of the required minimum setback distance of ten feet (10') on the property located at 445 Westview Street.

Section 3: The variation is granted upon the following conditions:

- a) The house shall be constructed per the size and location included in the petitioner's application materials submitted with this request.
- b) Completed building and engineering plans are required to be submitted and all staff-level review comments shall be addressed prior to issuance of a building permit.

Section 4: The Village Clerk is hereby authorized to publish this Ordinance in pamphlet form.

Section 5: This Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2019

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Michael Gaeta	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2019

Village President

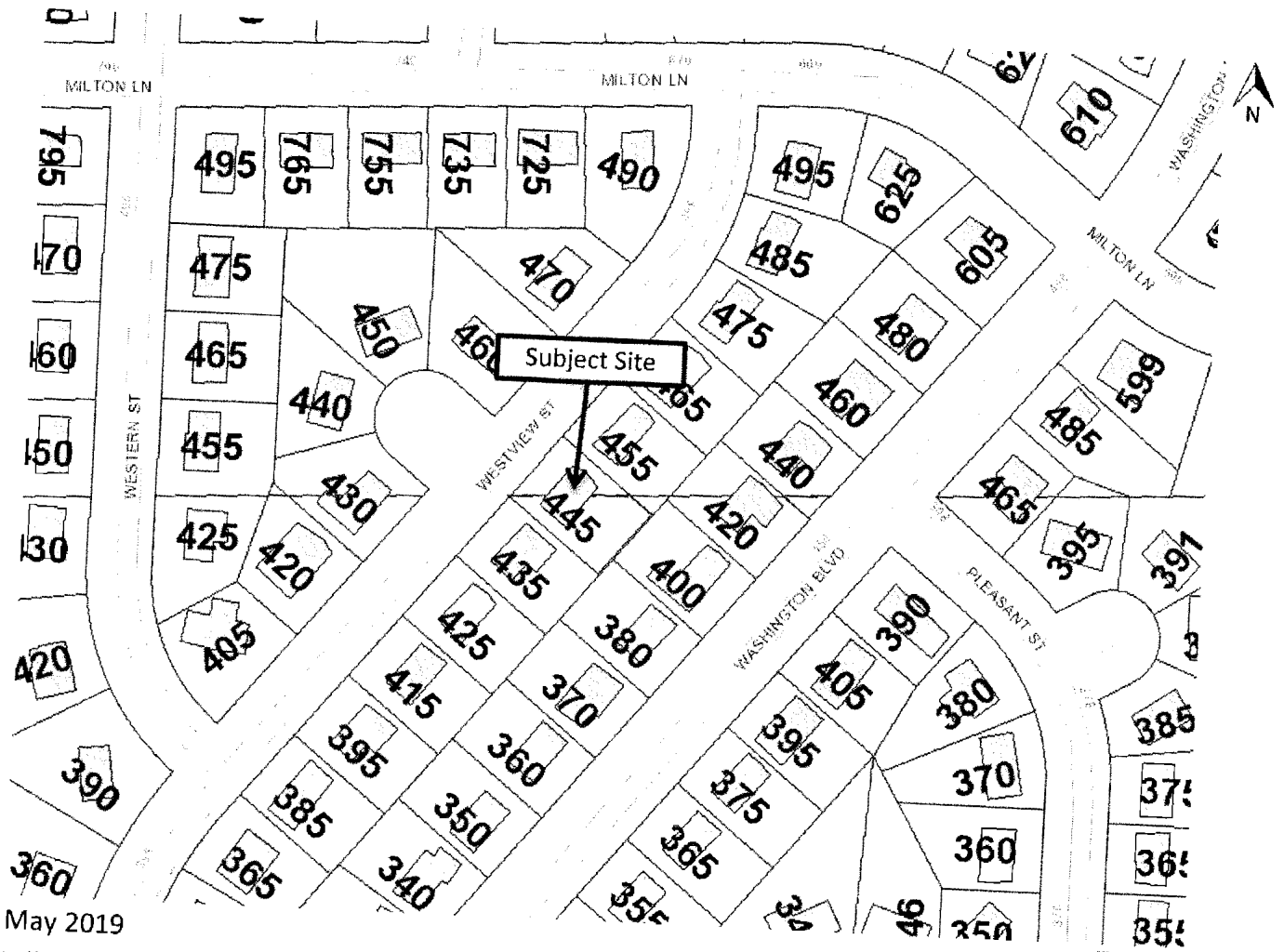
ATTEST:

Village Clerk
Published in pamphlet form this _____ day of _____, 2019.

445 Westview St

P.I.N. 07-16-417-006-0000

07-21-215-002-0000



May 2019

Village of Hoffman Estates
Planning Division





VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION
FINDING OF FACT

PROJECT NO.: 2019023R

VILLAGE BOARD MEETING DATE: JUNE 3, 2019

PETITIONER(S): JERRY WATTRON (OWNER) & THOMAS BUCKLEY (APPLICANT)

PROJECT ADDRESS: 445 WESTVIEW ST

ZONING DISTRICT: R-3, ONE FAMILY RESIDENTIAL

Does the Planning and Zoning Commission find that this request meets the Standards for a Variation (Section 9-1-15 of the Zoning Code)? YES NO

Recommendation: APPROVAL

Roll Call Vote: 11 Ayes, 0 Absent

PZC MEETING DATE: MAY 15, 2019

STAFF ASSIGNED: PARTH JOSHI

Approval of a request by Jerry Wattron (owner) and Thomas Buckley (Applicant) for a five (5) foot side yard setback variation from section 9-5-3-D-5 of the Zoning Code to permit a five (5) foot setback instead of the minimum ten (10) foot for an existing single family home and proposed addition at 445 Westview St, subject to the following conditions:

1. The house shall be constructed per the size and location included in the petitioner's application materials submitted with this request.
2. Completed building and engineering plans are required to be submitted and all staff-level review comments shall be addressed prior to issuance of a building permit.

AUDIENCE COMMENTS

None.

FINDING

The petitioner's architect (Thomas Buckley), presented the proposal to expand their existing house by enlarging the two existing bedrooms for additional living space. The existing house includes a fifteen (15') feet setbacks on both sides of the property into the required ten (10') feet interior side yard setback. The proposed variation would expand the total square footage of the home that encroaches into the interior side yard by five (5') feet setback. The new addition would follow the existing structure's building line.

Staff stated that the house was built somewhere between 1950s and 1960s, prior to the current Zoning Code requirements. Staff stated that the alternative to the variation request to expand the house in the rear yard would be not feasible due to the alignment of the existing bedrooms located in the front. This would create a non-symmetrical design that would be atypical for a house and is not likely to be aesthetically pleasing to the petitioner or neighboring property owners.

The Commission asked questions in regards to fencing around the lot and proposed exterior material to be used for the addition. Staff stated the property has a six (6') feet tall privacy fence around the house which should minimize the impact of the addition aesthetically. Furthermore, Mr. Buckley stated the expansion would have the same exterior brick material as existing on the principal structure. Overall, the commission generally had no concerns about the petitioner's proposal.

The Planning & Zoning Commission considered the Standards for Variation (below) as outlined in Section 9-1-15 of the Zoning Code, which state that the Planning and Zoning Commission shall not recommend the adoption of a proposed variation unless it finds that the variation meets the Standards for Variations as set forth in the Zoning Code.

1. The Planning and Zoning Commission shall not recommend the variation of the regulations of the Code unless it shall first make a finding based upon the evidence presented to it in each specific case that:

- a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located;
- b. The plight of the owner is due to unique circumstances;
- c. The variation, if granted, will not alter the essential character of the locality.

2. For the purpose of implementing the above rules, the Planning and Zoning Commission shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the applicant have been established by the evidence;

- a. The particular physical surroundings, shape of topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;
- b. The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning classification;
- c. The purpose of the variation is not based exclusively upon a desire to increase the value of the property;
- d. The alleged difficulty or hardship has not been based exclusively upon a desire to increase the value of property;
- e. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
- f. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood.

3. The Planning and Zoning Commission may recommend to the Village Board that such conditions and restrictions be imposed upon the premises benefited by a variation as may be necessary to comply with the standards set forth in this section to reduce or minimize the injurious effect of such variation upon other property in the neighborhood, and better to carry out the general intent of this Code.

The Commission agreed that the Standards for Variations had been met and voted unanimously to recommend approval of the request.

PLANNING AND ZONING COMMISSIONERS

Chairperson Eva Combs	Tom Burnitz
Vice-Chairman Greg Ring	Sohita Patel
Adam Bauske	Nancy Trieb
Lenard Henderson	Lon Harner
Myrene Iozzo	Denise Wilson
Minerva Milford	

ROLL CALL VOTE

11 Ayes
0 Absent

MOTION PASSED

The following attachments are hereby incorporated as part of this Finding of Fact:

- Staff Report
- Petitioner Application & Submittals
- Legal Notice & Location Map
- Aerial Map

VILLAGE OF HOFFMAN ESTATES

AN ORDINANCE GRANTING A VARIATION TO PREMISES AT
4401 WILDWOOD COURT, HOFFMAN ESTATES, ILLINOIS

WHEREAS, the Planning and Zoning Commission, at a public hearing duly called and held according to law on May 15, 2019, considered the request by Steven Anderson (owner), of the property commonly known as 4401 Wildwood Court, and shown on Exhibit "A" attached hereto and made a part hereof, to consider the request for a variation from Section 9-3-3-C-2-b of the Zoning Code to allow a five foot (5') high solid fence on the property located at 4401 Wildwood Court; and

WHEREAS, the Planning and Zoning Commission made certain Finding of Fact attached hereto and made a part hereof as Exhibit "B" and recommended approval of a setback variation to the Board of Trustees; and

WHEREAS, the Corporate Authorities have received and considered said recommendation; and

WHEREAS, the proposed variation has met the standards of Section 9-1-15 of the Zoning Code of the Hoffman Estates Municipal Code; and

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: The Corporate Authorities hereby find that the facts and statements contained in the preamble of this Ordinance are true.

Section 2: A side yard setback variation authorized under Section 9-3-3-C-2-b of the Zoning Code is hereby granted to Steven Anderson to allow a side yard setback distance of zero feet (0') for a five foot (5') high solid fence instead of the required minimum setback distance of five feet (5') from the southern property line on the property located at 4401 Wildwood Court.

Section 3: The Village Clerk is hereby authorized to publish this Ordinance in pamphlet form.

Section 4: This Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2019

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Michael Gaeta	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2019

Village President

ATTEST:

Village Clerk

Published in pamphlet form this _____ day of _____, 2019.

4401 Wildwood Ct

P.I.N. 02-19-225-028-0000



May 2019
Village of Hoffman Estates
Planning Division





VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION
FINDING OF FACT

PROJECT NO.: 2019021R

VILLAGE BOARD MEETING DATE: JUNE 3, 2019

PETITIONER(S): STEVEN ANDERSON (OWNER)

PROJECT ADDRESS: 4401 WILDWOOD CT

ZONING DISTRICT: R-9, PLANNED DEVELOPMENT
DISTRICT, SUB-ZONE A – SINGLE FAMILY

Does the Planning and Zoning Commission find that this request meets the Standards
for a Variation (Section 9-1-15 of the Zoning Code)?

YES

NO

Recommendation: **APPROVAL**

Vote: 11 Ayes 0 Nays 0 Absent

PZC MEETING DATE: MAY 15, 2019

STAFF ASSIGNED: **PARTH JOSHI**

Approval of a request by Steven Anderson (owner) for a five (5) foot corner side yard setback variation from Section 9-3-3-C-2-b to allow a five (5) foot high solid fence to be zero (0) feet from the southern property line instead of the minimum required five (5) feet at 4401 Wildwood Ct.

AUDIENCE COMMENTS

None.

FINDING

The Commission heard from Steven Anderson (owner) who presented his request to replace the existing five (5') feet fence with a new five (5') feet high, solid design privacy fence in the same location on their property due to wear and tear reasons. The subject property sits on a corner lot whose rear yard is adjacent to the neighbor's driveway, hence the petitioner requested for a variation to allow a five (5') feet high privacy fence on their property to be built zero (0') foot from the lot line instead of being set back the required five (5') feet. Mr. Anderson stated that the unique orientation of his lot, owning a dog who can jump a small fence and concern of losing unused back yard space were the reasons for the request.

Section 9-1-15 of the Zoning Code (Standards for Variation) states that no variation shall be recommended by the Planning and Zoning Commission unless it finds that the Standards for Variation set forth in the Zoning Code are met.

The Planning & Zoning Commission considered the Standards for Variation as outlined in Section 9-1-15 of the Zoning Code, which state that the Planning and Zoning Commission shall not recommend the adoption of a proposed variation unless it finds that the variation meets the Standards for Variations as set forth in the Zoning Code.

1. The Planning and Zoning Commission shall not recommend the variation of the regulations of the Code unless it shall first make a finding based upon the evidence presented to it in each specific case that:

- a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located;
- b. The plight of the owner is due to unique circumstances;
- c. The variation, if granted, will not alter the essential character of the locality.

2. For the purpose of implementing the above rules, the Planning and Zoning Commission shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the applicant have been established by the evidence;

- a. The particular physical surroundings, shape of topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;
- b. The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning classification;
- c. The purpose of the variation is not based exclusively upon a desire to increase the value of the property;
- d. The alleged difficulty or hardship has not been based exclusively upon a desire to increase the value of property;
- e. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
- f. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood.

3. The Planning and Zoning Commission may recommend to the Village Board that such conditions and restrictions be imposed upon the premises benefited by a variation as may be necessary to comply with the standards set forth in this section to reduce or minimize the injurious effect of such variation upon other property in the neighborhood, and better to carry out the general intent of this Code.

The majority of the Commission did not have concerns about the fence in terms of its effect on visibility or appearance. Visibility at the location was considered acceptable due to the fulfillment of the newly adopted "sight triangle" requirement. By a vote of 11-0, the Commission unanimously recommended approval of the request.

PLANNING AND ZONING COMMISSIONERS

Chairperson Eva Combs	Minerva Milford
Vice-Chairman Greg Ring	Tom Burnitz
Adam Bauske	Nancy Trieb
Lenard Henderson	Sohita Patel
Myrene Iozzo	Denise Wilson
Lon Harner	

ROLL CALL VOTE

11 Ayes
0 Nays
0 Absent

MOTION PASSED

The following attachments are hereby incorporated as part of this Finding of Fact:

- Petitioner Application & Submittals
- Legal Notice
- Location Map
- Staff Exhibit – Location Photos, Aerial Photo

VILLAGE OF HOFFMAN ESTATES

**A RESOLUTION SUPPORTING A COOK COUNTY CLASS 6B
CLASSIFICATION APPLICATION FOR PROPERTY TAX ASSESSMENT
PURPOSES FOR THE PROPOSED HOFFMAN ESTATES
TECHNOLOGY PARK TO BE LOCATED AT
LAKEWOOD BOULEVARD AND EAGLE WAY**

WHEREAS, the Cook County Real Property Assessment Classification Ordinance requires the Village's support and consent for an application for a 6B real estate classification under Sec. 74-63 (7); and

WHEREAS, BK Equities, LLC, or its assignee, (the "Applicant") is under contract to purchase the property located at the northeast corner of Lakewood Boulevard and Eagle Way (PIN #:01-36-101-005-0000 & 01-36-101-007-0000) Hoffman Estates, Illinois, and hereinafter legally described on **Exhibit A**, a copy of which is attached hereto and made a part hereof (the "Property"); and

WHEREAS, Applicant intends to construct up to 800,000 square feet in multiple industrial buildings ("Project") on the Property, the viability of such being dependent on the granting of a Class 6B Tax Assessment Classification, as said term is defined in the Classification Ordinance (the "Class 6B Tax Assessment Classification");

WHEREAS, Applicant's proposed commitment in terms of Project size, cost, and related operations represents an extraordinary increase in financial commitment in the Village, Cook County and Illinois; and

WHEREAS, Applicant cannot make this financial commitment but for a commitment of support from the Village for a Cook County 6B real estate classification; and

WHEREAS, Applicant has requested that the President and Board of Trustees of the Village of Hoffman Estates (the "Corporate Authorities") support and consent to the filing of its application for a Cook County Class 6B Real Estate Tax Assessment Classification for the Property; and

WHEREAS, the Village has received Applicant's completed Class 6B application (**Exhibit B**), including the identification of persons having an interest in the property, a detailed description of the precise nature of the intended use, and a signed Living Wage Ordinance Affidavit ; and

WHEREAS, the adoption of a resolution by the Corporate Authorities is required and must be filed with Applicant's application in order for the Property to obtain a Class 6B Tax Assessment Classification; and

WHEREAS, the proposed development would result in significant economic and fiscal impacts for the Village of Hoffman Estates and Cook County; and

WHEREAS, to ensure the ongoing viability of the industrial base of the Village, the continuation and expansion of employment opportunities in the Village and to safeguard and further diversify the tax base of the Village, the Corporate Authorities have determined that it is necessary and in the best interests of the Village to approve the application by Applicant for a Class 6B Real Estate Tax Assessment Classification for the Property.

NOW, THEREFORE, BE IT RESOLVED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: That the above recitals and legislative findings are hereby incorporated herein and made a part hereof, as if fully set forth in their Entirety.

Section 2: That the Village of Hoffman Estates supports and consents to the Applicant's filing of a Class 6B Application with respect to the Property and finds Class 6B classification under the Cook County Real Estate Classification System necessary for development to occur on the Property.

Section 3: That this Resolution shall be in full force and effect immediately from and after its passage and approval.

Section 4: As Applicant plans to construct the buildings in phases, the Village shall, consider future approvals, consents and support of the Class 6B Incentive for all buildings proposed on the property.

Section 5: If any section, paragraph, clause or provision of this Resolution shall be held invalid, the invalidity thereof shall not affect any other provision of this Resolution.

PASSED THIS _____ day of _____, 2019

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Michael Gaeta	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2019

Village President

ATTEST:

Village Clerk

Exhibit A
Legal Description of Property

PARCEL 1:

THE EAST $\frac{1}{2}$ OF THE EAST $\frac{1}{2}$ OF THE NORTHWEST $\frac{1}{4}$ (EXCEPT THE NORTH 825.0 FEET THEREOF AND EXCEPT THE SOUTH 60.0 FEET DEDICATED FOR RIGHT OF WAY RECORDED SEPTEMBER 16, 1989 AS DOCUMENT 89418134) OF SECTION 36, TOWNSHIP 42 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 2:

THE WEST $\frac{1}{2}$ OF THE EAST $\frac{1}{2}$ OF THE NORTHWEST $\frac{1}{4}$ (EXCEPT THE NORTH 825.00 FEET THEREOF AND EXCEPT THE SOUTH 60.0 FEET DEDICATED FOR RIGHT OF WAY RECORDED SEPTEMBER 16, 1989 AS DOCUMENT 89418134) OF SECTION 36, TOWNSHIP 42 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



CLASS 6B
ELIGIBILITY APPLICATION

Carefully review the Class 6B Eligibility Bulletin before completing this Application. For assistance, please contact the Assessor's Office, Development Incentives Department (312) 603-7529. This application, a *filing fee of \$500.00*, and supporting documentation (*except drawings and surveys*) must be filed as follows:

This application must be filed **PRIOR TO** the commencement of New Construction or **PRIOR TO** the commencement of Substantial Rehabilitation Activities or **PRIOR TO** the commencement of Reoccupation of Abandoned Property.

Applicant Information

Name: BK Equities LLC, or its assignee Telephone: (847) 698-8202
Address: 6250 River Road, Suite 11-100
City: Rosemont State: IL Zip Code: 60018

Contact Person (if different than the Applicant)

Name: William Fausone Telephone: (847) 698-8202
Address: 6250 River Road, Suite 11-100
City: Rosemont State: IL Zip Code: 60018
Email: William.Fausone@colliers.com

Property Description (per PIN)

If you are applying for more than three different PINs, please submit the additional PIN information in an attachment.

Street Address: (1) 106-110 Barrington Road/2000 Lakewood Blvd.
Permanent Real Estate Index Number: 01-36-101-005/-007
(2) _____
Permanent Real Estate Index Number: _____
(3) _____
Permanent Real Estate Index Number: _____
City: Hoffman Estates State: IL Zip Code: 60010
Township: Barrington Existing Class: 2-39

Attach legal description, site dimensions and square footage and building dimensions and square footage.

Identification of Person Having an Interest in the Property

Attach a complete list of all owners, developers, occupants and other interested parties (*including all beneficial owners of a land trust*) identified by names and addresses, and the nature and extent of their interest.

Industrial Use

Attach a detail description of the precise nature and extent of the intended use of the subject property, specifying in the case of the multiple uses the relative percentages of each use.

Include copies of materials, which explain the occupant's business, including corporate letterhead, brochures, advertising material, leases, photographs, etc.

Nature of Development

Indicate nature of proposed development by checking the appropriate space:

- New Construction (**Read and Complete Section A**)
- Substantial Rehabilitation (**Read and Complete Section A**)
Incentive only applied to the market value attributable to the rehabilitation
- Occupation of Abandoned Property - No Special Circumstance
(Read and Complete Section B)
- Occupation of Abandoned Property - With Special Circumstance
(Read and Complete Section C)
- Occupation of Abandoned Property - (**TEERM Supplemental Application**)
(Read and Complete Section C)

SECTION A (NEW CONSTRUCTION/SUBSTANTIAL REHABILITATION)

If the proposed development consists of *New Construction* or *Substantial Rehabilitation*, provide the following information:

Estimated date of construction commencement (*excluding demolition, if any*): April 2020

Estimated date of construction completion: December 2020

Attach copies of the following:

1. Specific description of the proposed *New Construction* or *Substantial Rehabilitation*
2. Current Plat of Survey for subject property
3. 1st floor plan or schematic drawings
4. Building permits, wrecking permits and occupancy permits (*including date of issuance*)
5. Complete description of the cost and extent of the *Substantial Rehabilitation* or *New Construction* (*including such items as contracts, itemized statements of all direct and indirect costs, contractor's affidavits, etc*)

SECTION B (ABANDONED PROPERTY WITH NO SPECIAL CIRCUMSTANCE)

If the proposed development consists of the reoccupation of abandoned property, purchased for value, complete (1) and (2) below:

1. Was the subject property vacant and unused for at least 24 continuous months prior to the purchase for value?

YES NO

When and by whom was the subject property last occupied prior to the purchase for value?

Attach copies of the following documents:

- (a) Sworn statements from person having personal knowledge attesting to the fact and the duration of vacancy and abandonment
- (b) Information (*such as statements of utility companies*) which demonstrate that the property was vacant and unused and indicate duration of such vacancy

2. Application must be made to the Assessor prior to occupation:

Estimated date of reoccupation: _____
Date of Purchase: _____
Name of purchaser: _____
Name of seller: _____
Relationship of purchaser to seller: _____

Attach copies of the following documents:

- (a) Sale Contract
- (b) Closing Statement
- (c) Recorded Deed
- (d) Assignment of Beneficial Interest
- (e) Real Estate Transfer Declaration

SECTION C (SPECIAL CIRCUMSTANCES)

If the applicant is seeking special circumstances to establish that the property was abandoned for purposes of the Incentive where there was a **purchase for value**, but the period of *abandonment prior to purchase was less than 24 months*, complete section (1).

If the applicant is seeking special circumstances to establish that the property was abandoned for purposes of the Incentive where there was **no purchase for value**, but the period of **abandonment prior to the application 24 continuous months or greater**, complete section (2).

If the applicant is seeking special circumstances to establish that the property was abandoned for purposes of the Incentive where there was **no purchase for value**, but the period of **abandonment prior to the application was greater than 12 continuous months and less than 24 continuous month**, complete section (2) and the **TEERM Supplemental Application**.

1. How long was the period of abandonment prior to the purchase for value? _____

When and by whom was the subject property last occupied prior to the purchase for value?

Attach copies of the following documents:

- (a) Sworn statements from persons having personal knowledge attesting to the fact and the duration of the vacancy and abandonment
- (b) Information (*such as statements of utility companies*) which demonstrate that the property was vacant and unused and indicate duration of vacancy
- (c) Include the finding of special circumstances supporting "abandonment" as determined by the municipality, or the County Board, if located in an unincorporated area. *Also include the ordinance or resolution from the Board of Commissioners of Cook County stating its approval for less than 24-month abandonment period.*

Application must be made to the Assessor prior to the commencement of reoccupation of the abandoned property.

Estimated date of Reoccupation: _____
Date of purchase: _____
Name of purchaser: _____
Name of seller: _____
Relationship of purchaser to seller: _____

Attach copies of the following documents:

- (a) Sale Contract
- (b) Closing Statement
- (c) Recorded Deed
- (d) Assignment of Beneficial Interest
- (e) Real Estate Transfer Declaration

2. How long has the subject property been unused?

- 24 or greater continuous months (*Eligible for Special Circumstance*)
- 12 continuous months but less than 24 continuous months (*Eligible for Special Circumstance under TEERM*) - **Complete TEERM Supplemental Application**
- Less than 12 continuous months (*Not Eligible for Special Circumstance*)

When and by whom was the subject property last occupied prior to the filing of this application?

Attach copies of the following documents:

- (a) Sworn statements from persons having personal knowledge attesting to the fact and the duration of the vacancy and abandonment
- (b) Information (*such as statements of utility companies*) which demonstrate that the property was vacant and unused and indicate duration of vacancy
- (c) Include the finding of special circumstances supporting "abandonment" as determined by the municipality, or the County Board, if located in an unincorporated area. Also include the ordinance or resolution from the Board of Commissioners of Cook County stating its approval for lack of a purchase for value.

Application must be made to Assessor prior to the commencement of reoccupation of the abandoned property.

Estimated date of reoccupation: _____

TEERM SUPPLEMENTAL APPLICATION

(This form will ONLY be utilized for applicants who specifically elect for TEERM)

This supplemental eligibility application is for properties that have been abandoned (due to special circumstances) for at least 12 continuous months and less than 24 continuous months with no purchase taking place.

Under the TEERM Program, qualifying industrial real estate would be eligible for the Class 6B level of assessment from the date of substantial re-occupancy of the abandoned property. Properties receiving Class 6B will be assessed at 10% of market value for the first 10 years, 15% in the 11th year and 20% in the 12th year. The terms of this program are Not Renewable.

No applications will be taken after November 30, 2018.

I _____ applicant/representative hereby specifically elect to submit this **Supplemental Application** for the **TEERM** program.

Further affiant sayeth not.

Agent's Signature

Agent's Name & Title

Agent's Mailing Address

Agent's Telephone Number

Applicant's Name

Applicant's Mailing Address

Applicant's e-mail address

Subscribed and sworn before me this _____ day of _____, 20 _____

Signature of Notary Public

EMPLOYMENT OPPORTUNITIES

How many construction jobs will be created as a result of this development? Approx. 200-250

How many new permanent full-time and part-time employees do you now employ in Cook County?

Full-time: 0 Part-time: 0

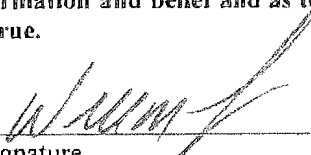
How many new permanent full-time jobs will be created as a result of this proposed development?
Approx. 600-700

How many new permanent full-time jobs will be created as a result of this proposed development?
See above.

LOCAL APPROVAL

A certified copy of a resolution or ordinance from the municipality in which the real estate is located (or the County Board, if the real estate is located in an unincorporated area) should accompany this Application. The ordinance or resolution must expressly state that the municipality supports and consents to this Class 6B Application and that it finds Class 6B necessary for development to occur on the subject property. If a resolution is unavailable at the time the application is filed, a letter from the municipality or the County Board, as the case may be, stating that a resolution or ordinance supporting the incentive has been requested may be filed with this application instead. If the applicant is seeking to apply based on the reoccupation of abandoned property and will be seeking a finding of "special circumstances" from the municipality, in addition to obtaining a letter from the municipality confirming that a resolution or ordinance supporting the incentive has been requested, the applicant must file a letter from the County Board confirming that a resolution validating a municipal finding of special circumstances has been requested. If, at a later date, the municipality or the County Board denies the applicant's request for a resolution or ordinance, the applicant will be deemed ineligible for the Class 6B incentive, whether or not construction has begun. In all circumstances, the resolution must be submitted by the time the applicant files an "Incentive Appeal".

I, the undersigned, certify that I have read this Application and that the statements set forth in this Application and in the attachments hereto are true and correct, except as those matters stated to be on information and belief and as to such matters the undersigned certifies that he/she believes the same to be true.



Signature

6/5/19

Date

William Fausone

Print Name

Manager

Title

INCENTIVES CLASS LIVING WAGE ORDINANCE AFFIDAVIT

William Fausone as agent for the applicant set forth below, who is seeking a classification incentive as referenced below, I do hereby state under oath as follows:

1. As the agent for the applicant set forth below, I have personal knowledge as to the facts stated herein.
2. The property identified by PIN(s) with commonly known address(es), listed in Exhibit A attached and herein incorporated, are/is the subject of a pending application/renewal (*circle as appropriate*) for one of the following development incentives provided by the Code of Ordinances of Cook County, Chapter 74, Article II, Division 2, The Cook County Real Property Assessment Classification Ordinance, Sec.74-60 et seq., as amended:

Class 6B Class 8 (*Industrial property*) Class 9

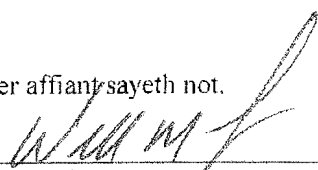
3. I have reviewed the Code of Ordinances of Cook County, Chapter 34, Article IV, Division 1 and The Cook County Living Wage Ordinance, Sec. 34-127 et seq., as amended (*the "Ordinance"*), and certify that the applicant is in compliance with the above referenced Cook County Living Wage Ordinance, due to one of the following options (*check as appropriate*):

Applicant is currently paying a living wage to its employees, as defined in the Ordinance.

OR

Applicant is not required to pay a living wage, pursuant to the Ordinance.

Further affiant sayeth not.


Agent's Signature

6250 River Road, Suite 11-100, Rosemont, IL

Agent's Mailing Address

BK Equities, LLC or its assignee

Applicant's Name

William.Fausone@colliers.com

Applicant's e-mail address

William Fausone -

Agent's Name & Title

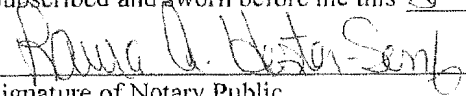
(847) 698-8202

Agent's Telephone Number

6250 River Road, Suite 11-100, Rosemont, IL

Applicant's Mailing Address

Subscribed and sworn before me this 5th day of June, 20 19


Signature of Notary Public

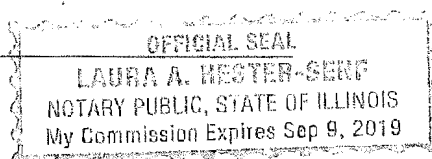


EXHIBIT A

(Please type or Print)

PIN(s)

Common Address

01-36-101-005-0000

106-110 Barrington Road/2000 Lakewood Blvd.

01-36-101-007-0000

EDS AFFIDAVIT

I, William M. Fausone as agent for Bk Equities, LLC (the "Applicant") does hereby certify that it would attest to the following facts as required by Sections 74-46 and 74-62 through 74-73 of the Cook County Code if called to testify:

1. That I am a duly authorized agent for Applicant, who is the contract purchaser of the property located at 2000 Lakewood Boulevard, Hoffman Estates, IL 60010; PINs: 01-36-101-005/-007 (the "Subject Property").
2. Applicant does not own any properties in Cook County.
3. Applicant's ownership is as follows:

BK Equities, LLC:

David R. Kahnweiler – 50% - Member/Manager
6250 N. River Road, Suite 11-100
Rosemont, IL 60018

William M. Fausone – 50% - Member/Manager
6250 N. River Road, Suite 11-100
Rosemont, IL 60018

4. To my knowledge and after reviewing the Applicant's records, Applicant is not delinquent in the payment of any property taxes administered by Cook County or by a local municipality.

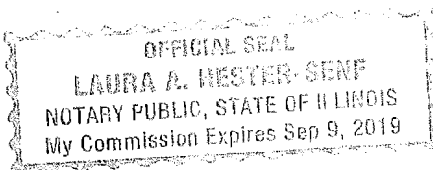
Further Affiant Sayeth No

William M. Fausone

Date: 6/5/19

Subscribed and sworn before me
This 5th day of June, 2019

Laura A. Hester-Senf
Signature of Notary Public



VILLAGE OF HOFFMAN ESTATES
Office of the Mayor

Memo

TO: Village Board of Trustees and the Village Clerk
FROM: Mayor Bill McLeod
RE: *Boards & Commissions Appointment/s*
DATE: Wednesday, June 12, 2019

At the June 17, 2019 Village Board meeting, the following persons will be appointed:

- Patrick Seger – Fire Pension Board

Thank you.


William D. McLeod
Mayor

/sl



HOFFMAN ESTATES

GROWING TO GREATNESS

May 8, 2019

To: Mayor and Board of Trustees

TREASURER'S REPORT

April 2019

Attached hereto is the Treasurer's Report for the month of April, 2019, summarizing total cash receipts and disbursements for the various funds of the Village.

For the Operating funds, cash disbursements and transfers-out exceeded cash receipts and transfers-in by \$544,331, primarily due to general operating expenses. After including these receipts and disbursements, the balance of cash and investments for the operating funds is \$50 million.

For the Operating, Debt Service and Capital Projects funds, cash receipts and transfers-in exceeded cash disbursements and transfers-out by \$1.08 million, primarily due to monthly operating transfers.

For the Trust Funds, cash receipts and transfers-in exceeded cash disbursements and transfers-out by \$3.05 million, primarily due to pension fund investment activity.

The total for cash and investments for all funds increased to \$243 million.

Respectfully Submitted,

Stan W. Helgerson
Stan W. Helgerson
Village Treasurer

Attachment

TREASURER'S REPORT
FOR THE MONTH ENDING April 30, 2019

Fund	Beginning Balance	Receipts/ Transfers - In	Disbursements/ Transfers - Out	Amount in Cash	Amount Invested	Ending Balance
Operating Funds						
General (incl. Veterans' Mem)	\$ 29,549,907	\$ 3,722,426	\$ 3,759,929	\$ 3,088,684	\$ 26,423,719	\$ 29,512,403
Payroll Account	-	2,493,787	2,493,787	-	-	-
Petty Cash	2,100	-	-	2,100	-	2,100
Foreign Fire Ins. Board	129,892	-	-	129,892	-	129,892
Cash, Village Foundation	12,676	-	-	12,676	-	12,676
Cash, Fire Protection District	31,733	673	-	32,407	-	32,407
Motor Fuel Tax	61,725	98,119	125,861	9,972.38	24,011	33,983
Comm. Dev. Block Grant	8,442	-	-	8,442	-	8,442
Asset Seizure - Federal	389,332	17,090	21,811	380,329	4,282	384,611
Asset Seizure - State	331,043	312	-	276,515	54,841	331,356
Asset Seizure - Battle	150	-	-	-	151	151
Asset Seizure - U.S. Marshall	7,754	6	-	7,759	-	7,759
Municipal Waste System	724,739	229,759	253,547	693,158	7,793	700,951
Roselle Road TIF	886,561	542	108	766,158	120,836	886,994
Higgins/Hassell TIF	214,895	117	181	214,831	-	214,831
Barrington/Higgins TIF	276,372	35,480	1,753	100,108	209,991	310,099
Water & Sewer	11,289,839	1,452,968	1,621,873	1,591,172	9,529,761	11,120,933
Sears Centre Operating	2,952,024	286,790	424,988	2,372,716	441,110	2,813,827
Insurance	2,735,578	151,691	200,775	365,359	2,321,135	2,686,494
Information Systems	982,257	163,439	292,925	176,903	675,868	852,770
Total Operating Funds	\$ 50,591,292	\$ 8,653,207	\$ 9,197,538	\$ 10,229,180	\$ 39,813,499	\$ 50,046,962
Debt Service						
2015 A & C G.O. Debt Serv.	\$ 604,060	\$ 719	\$ -	\$ 301,208	\$ 303,570	\$ 604,779
2009 G.O. Debt Serv.	-	-	-	-	-	-
2016 G.O. Debt Serv.	219,707	4,698	475	223,930	-	223,930
2018 G.O. Debt Serv.	933,552	30,984	-	964,537	-	964,537
Total Debt Service Funds	\$ 1,757,319	\$ 36,401	\$ 475	\$ 1,489,675	\$ 303,570	\$ 1,793,245
Capital Projects Funds						
Central Road Imp.	\$ 32,893	\$ 52	\$ 6,250	\$ 2,397	\$ 24,297	\$ 26,694
Hoffman Blvd Bridge Maintenance	266,109	43	-	1,336	264,816	266,152
Western Corridor	3,635,022	11,861	4,583	79,403	3,562,896	3,642,299
Traffic Improvement	15,652	-	-	15,652	-	15,652
Prairie Stone Capital	1,430,823	890,738	6,667	1,023,723	1,291,171	2,314,894
Road Improvements	4,165,374	454,633	21,083	1,318,661	3,280,263	4,598,924
Central Area Road Impact Fee	97,532	28,626	-	126,158	-	126,158
Western Area Traff. Impr.	26,431	10	-	26,440	-	26,440
West Area Rd Impr. Impact Fee	55,285	20	-	55,305	-	55,305
Capital Improvements	668,389	259,477	118,395	563,187	246,284	809,471
Capital Vehicle & Equipment	301,781	101,060	16,918	292,719	93,205	385,924
Capital Replacement	547,164	483	25,000	26,608	496,039	522,647
Stormwater Management	408,404	50,146	10,000	448,550	-	448,550
Total Capital Proj. Funds	\$ 11,650,857	\$ 1,797,150	\$ 208,897	\$ 3,980,141	\$ 9,258,970	\$ 13,239,111
Total Operating, Debt Service and Capital Project Funds	\$ 63,999,469	\$ 10,486,758	\$ 9,406,909	\$ 15,698,996	\$ 49,376,040	\$ 65,079,318
Trust Funds						
Police Pension (Mar)	\$ 75,964,883	\$ 1,562,103	\$ 545,264	\$ 9,873	\$ 76,971,850	\$ 76,981,722
Firefighters Pension (Mar)	83,708,901	2,534,020	473,418	9,690	85,759,813	85,769,504
EDA Spec. Tax Alloc.	15,316,061	30,009	57,009	298,499	14,990,561	15,289,061
Total Trust Funds	\$ 174,989,845	\$ 4,126,132	\$ 1,075,690	\$ 318,062	\$ 177,722,225	\$ 178,040,287
GRAND TOTAL	\$ 238,989,313	\$ 14,612,890	\$ 10,482,600	\$ 16,017,058	\$ 227,098,264	\$ 243,119,605

AGENDA
PUBLIC WORKS & UTILITIES COMMITTEE
Village of Hoffman Estates
June 24, 2019
DRAFT

7:00 p.m. – Board Room

Members:	Anna Newell, Chairperson	Gary G. Stanton, Trustee
	Michael Gaeta, Vice Chairperson	Karen J. Arnet, Trustee
	Gary Pilafas, Trustee	William McLeod, Mayor
	Karen V. Mills, Trustee	

- I. Roll Call**
- II. Approval of Minutes – June 3, 2019**

NEW BUSINESS

1. Request authorization to waive bidding and purchase a portable message board through Tapco Inc. Brown Deer, WI, using the U.S. Communities contract discount, in an amount not to exceed \$30,542.50

REPORTS (INFORMATION ONLY)

1. Department of Public Works Monthly Report
2. Department of Development Services Monthly Engineering Report of the Transportation and Engineering Division

- III. President's Report**
- IV. Other**
- V. Items in Review**
- VI. Adjournment**

(Further details and information can be found in the agenda packet attached hereto and incorporated herein and can also be viewed online at www.hoffmanestates.org and/or in person in the Village Clerk's office).

The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance call the ADA Coordinator at 847/882-9100.

**AGENDA
PUBLIC HEALTH AND SAFETY COMMITTEE
Village of Hoffman Estates
June 24, 2019**

DRAFT

Immediately Following Public Works & Utilities Committee

**Members: Michael Gaeta, Chairman
Gary Pilafas, Vice Chairman
Anna Newell, Trustee
Karen Mills, Trustee
Gary Stanton, Trustee
Karen Arnet, Trustee
William McLeod, Mayor**

- I. Roll Call**
- II. Approval of Minutes – June 3, 2019 Committee Meeting**

NEW BUSINESS

REPORTS (INFORMATION ONLY)

- 1. Police Department Monthly Report.
- 2. Health & Human Services Monthly Report.
- 3. Emergency Management Coordinator Monthly Report.
- 4. Fire Department Monthly Report.

- III. President's Report**
- IV. Other**
- V. Items in Review**
- VI. Adjournment**

(Further details and information can be found in the agenda packet attached hereto and incorporated herein and can also be viewed online at www.hoffmanestates.org and/or in person in the Village Clerk's office).

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**AGENDA
FINANCE COMMITTEE
Village of Hoffman Estates
June 24, 2019**

Draft #1

Immediately Following Public Health & Safety

Members:	Gary Pilafas, Chairperson	Karen Mills, Trustee
	Anna Newell, Vice Chairperson	Gary Stanton, Trustee
	Michael Gaeta, Trustee	Karen Arnet, Trustee
		William McLeod, Mayor

I. Roll Call

II. Approval of Minutes – June 3, 2019

NEW BUSINESS

1. Request acceptance of the Comprehensive Annual Financial Report for the year ended December 31, 2018.
2. Request acceptance of the Economic Development Area Special Tax Allocation Fund Annual Financial Report for the year ended December 31, 2018.
3. Request authorization to waive bid and award a contract to CDW Government for the purchase of 45 desktop computers in an amount not to exceed \$32,130.00.

REPORTS (INFORMATION ONLY)

1. Finance Department Monthly Report.
2. Information System Department Monthly Report.
3. Sears Centre Monthly Report.

III. President's Report

IV. Other

V. Items in Review

VI. Adjournment

Further details and information can be found in the agenda packet attached hereto and incorporated herein and can also be viewed online at www.hoffmanestates.org and/or in person in the Village Clerk's office.

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VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION
FINDING OF FACT

PROJECT NO.: 2019024R

VILLAGE BOARD MEETING DATE: JUNE 17, 2019

PETITIONER(S): MICHELE & ROBERT SHAW (OWNER)

PROJECT ADDRESS: 3930 WHISPERING TRAILS DR ZONING DISTRICT: R-5, ONE FAMILY RESIDENTIAL TRAILS DR

Does the Planning and Zoning Commission find that this request meets the Standards for a Variation (Section 9-1-15 of the Zoning Code)? YES NO

Recommendation: **APPROVAL**

Vote: 11 Ayes 0 Nays 0 Absent

PZC MEETING DATE: JUNE 05, 2019

STAFF ASSIGNED: **PARTH JOSHI**

Approval of a request by Michele & Robert Shaw (owner) for a five (5) feet corner side yard setback variation from Section 9-3-3-C-2-b to allow a four (4) feet high open design fence to be zero (0) foot from the western property line instead of the minimum required five (5) feet and to encroach the fence in the required sight triangle at 3930 Whispering Trails Dr.

AUDIENCE COMMENTS

None.

FINDING

The Commission heard from Robert Shaw (owner) who presented his request to replace the existing five (4') feet high fence with a new four (4') feet high, open design fence in the same location on their property due to wear and tear reasons. The subject property sits on a corner lot whose rear yard is adjacent to the neighbor's driveway, hence the petitioner requested for a variation to allow a four (4') feet high open design fence on their property to be built zero (0') foot from the lot line instead of being set back the required five (5') feet. The petitioner also presented his request for a variation to not meet the 'sight triangle' requirement due to numerous number of landscaping components within the 'sight triangle' encroachment which would make it difficult for the owner to loose matured landscaping. Mr. Shaw stated that the unique orientation of his lot, matured greenspace and concern of losing unused back yard space were the reasons for the request.

Section 9-1-15 of the Zoning Code (Standards for Variation) states that no variation shall be recommended by the Planning and Zoning Commission unless it finds that the Standards for Variation set forth in the Zoning Code are met.

The Planning & Zoning Commission considered the Standards for Variation as outlined in Section 9-1-15 of the Zoning Code, which state that the Planning and Zoning Commission shall not recommend the adoption of a proposed variation unless it finds that the variation meets the Standards for Variations as set forth in the Zoning Code.

1. The Planning and Zoning Commission shall not recommend the variation of the regulations of the Code unless it shall first make a finding based upon the evidence presented to it in each specific case that:

- a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located;
- b. The plight of the owner is due to unique circumstances;
- c. The variation, if granted, will not alter the essential character of the locality.

2. For the purpose of implementing the above rules, the Planning and Zoning Commission shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the applicant have been established by the evidence;

- a. The particular physical surroundings, shape of topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;
- b. The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning classification;
- c. The purpose of the variation is not based exclusively upon a desire to increase the value of the property;
- d. The alleged difficulty or hardship has not been based exclusively upon a desire to increase the value of property;
- e. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
- f. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood.

3. The Planning and Zoning Commission may recommend to the Village Board that such conditions and restrictions be imposed upon the premises benefited by a variation as may be necessary to comply with the standards set forth in this section to reduce or minimize the injurious effect of such variation upon other property in the neighborhood, and better to carry out the general intent of this Code.

The majority of the Commission did not have concerns about the fence in terms of its effect on visibility or appearance. Visibility at the location was considered acceptable due to Statement of Awareness forms which were signed by the immediate neighbors in support of the request and submitted by the petitioner. By a vote of 11-0, the Commission unanimously recommended approval of the request.

PLANNING AND ZONING COMMISSIONERS

Chairperson Eva Combs	Minerva Milford
Vice-Chairman Greg Ring	Tom Burnitz
Adam Bauske	Nancy Trieb
Lenard Henderson	Sohita Patel
Myrene Iozzo	Denise Wilson
Lon Harner	

ROLL CALL VOTE

11 Ayes
0 Nays
0 Absent

MOTION PASSED

The following attachments are hereby incorporated as part of this Finding of Fact:

Petitioner Application & Submittals
Legal Notice
Location Map
Staff Exhibit – Location Photos, Aerial Photo



VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION
STAFF REPORT

PROJECT NO.: 2019024R PROJECT NAME: 3930 WHISPERING TRAILS DR FENCE VARIATION

PROJECT ADDRESS/LOCATION: 3930 WHISPERING TRAILS DR

PUBLIC HEARING
YES NO

REZONING MASTER SIGN PLAN SPECIAL USE VARIATION

SITE PLAN PLAT

MEETING DATE: JUNE 05, 2019

STAFF ASSIGNED: PARTH JOSHI

REQUESTED MOTION

Request by Michele & Robert Shaw (owner) for a five (5) feet corner side yard setback variation from Section 9-3-3-C-2-b to allow a four (4) feet high open design fence to be zero (0) foot from the western property line instead of the minimum required five (5) feet and to encroach the fence in the required sight triangle at 3930 Whispering Trails Dr.

INCLUDES RECOMMENDED CONDITION(S)
YES NO

ZONING DISTRICT: R-5, ONE FAMILY RESIDENTIAL

ADJACENT	NORTH: R-5, ONE FAMILY RESIDENTIAL	SOUTH: R-5, ONE FAMILY RESIDENTIAL
PROPERTIES:	EAST: R-5, ONE FAMILY RESIDENTIAL	WEST: R-5, ONE FAMILY RESIDENTIAL

APPLICABLE ZONING CODE SECTION

Section 9-3-3-C-2-b of the Zoning Code states that fences shall be set back five (5) feet from the side lot line, on those lots adjacent to a street where the rear yard adjoins a neighboring property's driveway and shall not encroach into the sight triangle on either side of a driveway.

*NOTE: This code section was recently amended.

BACKGROUND

The property was originally built around 1976 and currently includes a two story house with an attached garage and has an existing fence in the back and side yards. The original fence was installed in 1993, before the fence code was adopted, which makes the fence legal non-conforming currently. The petitioner did pull a permit for the original fence. The Village does not retroactively enforce new code adaptations unless until a property owner makes any alterations to the legal non-conforming structure.

PROPOSAL

The petitioner is proposing to replace the existing 4 foot high open design fence on their property due to wear and tear reasons. Due to alignment of the petitioner's corner side yard being adjacent to a street and the rear yard adjacent to the neighbor's driveway, the Zoning Code requires a 5 feet minimum setback from the property line for a fence. This particular lot homes numerous landscaping features such as trees, shrubs and hedges. The petitioner's intention is to negate the removal of the existing trees and plants to meet the sight triangle requirement and avoid having unused property located outside of the fence.

VARIATION STANDARDS

Section 9-1-15 of the Zoning Code – *Standards for a Variation* - states that the Planning and Zoning Commission shall not recommend the adoption of a proposed variation unless it finds that the variation meets the Standards for Variations as set forth in the Zoning Code.

1. The Planning and Zoning Commission shall not recommend the variation of the regulations of the Code unless it shall first make a finding based upon the evidence presented to it in each specific case that:
 - a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located;
 - b. The plight of the owner is due to unique circumstances;
 - c. The variation, if granted, will not alter the essential character of the locality.

2. For the purpose of implementing the above rules, the Planning and Zoning Commission shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the applicant have been established by the evidence;
 - a. The particular physical surroundings, shape of topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;
 - b. The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning classification;
 - c. The purpose of the variation is not based exclusively upon a desire to increase the value of the property;
 - d. The alleged difficulty or hardship has not been based exclusively upon a desire to increase the value of property;
 - e. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
 - f. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood.

3. The Planning and Zoning Commission may recommend to the Village Board that such conditions and restrictions be imposed upon the premises benefited by a variation as may be necessary to comply with the standards set forth in this section to reduce or minimize the injurious effect of such variation upon other property in the neighborhood, and better to carry out the general intent of this Code.

If this request is approved, the fence would be allowed to exist at this location with the proposed height and design by ordinance, in perpetuity or until otherwise amended or dissolved by a future ordinance.

NOTIFICATION

Standard notification letters were sent to surrounding properties within 150 feet. No comments were received. Statement of Awareness form have been signed by the adjacent property owner at 3928 & 3924 Whispering Trails Dr and submitted by the petitioner.

STAFF SUMMARY

The Zoning Code requirement for a shorter or open design fence in a corner side yard is intended to encourage visibility at street corners for pedestrians and drivers; as well as for neighboring properties when backing out of their driveway. Staff would typically not support a variation for a homeowner to encroach a fence installation in the required sight triangle component. However, the sight triangle area in this case is already been encroached by landscape plantings, including tall trees and shrubs, for several years now. In addition, the petitioner has submitted Statement of Awareness form signed by the adjacent property owner in support of the request. Therefore Planning staff has reviewed the fence location for safety and determined it to be acceptable for vehicle visibility based on the current conditions. The proposed fence is not expected to interfere with pedestrian traffic or visibility at the intersection.

Another purpose of the Zoning Code requirement is to preserve the front yard streetscape. This lot is a unique situation because the house is situated on a corner lot and regardless of the design of the house, it will create a situation whose rear yard will always be adjacent to the neighbor's driveway, whether facing south or west on Whispering Trails Dr. Because of the distinctive corner lot situation, there is no front yard streetscape to maintain. The fence would be only visible entering Whispering Trails Dr, however this would look similar even if the fence is setback five (5) feet from the property line. The Village has previously approved requests for fences on corner lots where there is adequate visibility around the fence for drivers and for neighboring properties.

Attachments: Petitioner Application & Submittals
 Legal Notice
 Staff Exhibit – Aerial Photo
 Location Map



VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING
GENERAL APPLICATION*

RECEIVED
MAY 07 2019
PLANNING DIVISION

Special Use for _____ Rezoning from _____ to _____

Variation: Commercial Residential Sign

Plat (Subdivision & Others): Preliminary Final

Site Plan: Amendment Concept Preliminary Final

Master Sign Plan: Amendment

Other: _____

* ADDENDUM MATERIALS ARE REQUIRED FOR SPECIFIC REQUESTS

Posting of Notification Sign(s) may be required.

Specific requirements will be provided when your request is scheduled.

FOR VILLAGE USE ONLY

Hearing Fee \$175.00 Check No. 7681 Date Paid 5/7/19

Project Number: 2019024R

Staff Assigned: Josh?

Meeting Date: 06/05/19

Public Hearing: Yes No

Sign Posting Required: Yes No

Date Sign Posted na

PLEASE PRINT OR TYPE

Date: 5-6-19

Project Name: Shaw Fence

Project Description: fence replacement / like for like 4' cedar picket

Project Address/Location: 3930 Whispering Trails Dr

Property Index No. 01-25-202-010-0000

Acres: 0.22

Zoning District: R-5

I. Owner of Record

Michael & Robert Shew
Name Company

3930 Whispering Trails Hickman Estates
Street Address City

IL 60192 312 805 8730
State Zip Code Telephone Number

Fax Number E-Mail Address
MS Shew @ Murphy Miller . com
RIC Shew 57 @ hotmail . com

II. Applicant (Contact Person/Project Manager)

Michael & Robert Shew
Name Company

3930 Whispering Trails Hickman Estates
Street Address City

IL 60192 312 805 8730
State Zip Code Telephone Number

Fax Number E-Mail Address
MS Shew @ Murphy Miller . com
RIC Shew 57 @ hotmail . com

Applicant's relationship to property: owner

III. Owner Consent for Authorized Representative

It is required that the property owner or his designated representative be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. **If the owner cannot be present at the meeting, the following statement must be signed by the owner:**

I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize _____ to act on my behalf and advise that he/she has full authority to act as my/our representative.

Owner Signature Print Name

IV. Acknowledgement(s)

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

The **Owner and Applicant**, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature: Michele Shaw

Owner's Name (Please Print): Michele Shaw

Applicant's Signature: _____
(If other than Owner)

Applicant's Name (Please Print): _____

Date: 5-6-19

All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.

Please contact the Planning Division (located in the Municipal Building) with any questions:

Email: planning@hoffmanestates.org
Address: 1900 Hassell Road
Hoffman Estates, IL 60169
Phone: (847) 781-2660
Fax: (847) 781-2679

Addendums Attached:

- | | |
|--|---|
| <input type="checkbox"/> Special Use | <input type="checkbox"/> Master Sign Plan |
| <input type="checkbox"/> Rezoning | <input checked="" type="checkbox"/> Other <u>Statement of awareness</u> |
| <input type="checkbox"/> Variation | <u>from adjacent neighbors</u> |
| <input checked="" type="checkbox"/> Plat | |
| <input type="checkbox"/> Site Plan | |



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION VARIATION ADDENDUM

Commercial Residential Sign

REQUIRED SUBMITTALS

- General Application
- Variation Hearing Fee: (Checks payable to the Village of Hoffman Estates)
Commercial: \$500.00 per Variation*
Residential: \$175.00
Sign: \$500.00 per Sign



- Legal Description
(Typically found on a tax bill, survey, mortgage documents or deed)
- Current Plat of Survey drawn to scale showing the proposed improvement(s) and distance(s) from existing structures and property lines. For sign variations, ALL signs should be shown and labeled on the plat including the sign(s) for which the variation is being requested.
- A scale drawing of the floor plan and elevations, including windows and door locations.
- A Project Narrative detailing the variation request including whether there are other options that would not require a variation, proposed construction materials, whether removal/relocation of trees, utilities will be required and the estimated total project cost. Include any relevant plans, documents, photos to support the request.
- If any part of your existing and/or proposed use is located in any part of a utility easement, written release(s) from the Village or utility company may be required; contact the Planning Division for information.
- For residential variations only: You are encouraged to discuss your variation request with your neighbors and have them a Statement of Awareness acknowledging their awareness of your proposal. Statement of Awareness forms can be found on the Village's Planning Documents & Applications webpage or can be provided by Staff.

* *Some commercial requests require the posting of a notification sign(s) on the property 10 days before the Planning & Zoning Commission hearing and removal of the sign(s) 10 days after final Village Board action. Should your request require a notification sign, the specific requirements will be provided by Planning Staff.*

Zoning Code Section 9-1-15-C-2 of the Municipal Code requires that the Planning and Zoning Commission shall, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the applicant have been established by the evidence. (Respond to each standard as it applies to your request either below or address on a separate sheet)

1. The particular physical surroundings, shape of topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.

we were proposing replacing 20 yr old cedar 4' picket fence with exact same - it would be difficult to dig post holes around tree trunks that exist for 90 degree - neighbors have no issues with replacing for same fence - would require removal of ^{some trees} _{planting}

2. The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning classification.

The existing fence has been there for 20 years and complied with the code for corner lot next to neighbors driveway when put in being 50' 90' open and only 4' high - the code is currently new with change - neighbors have no issue and the signatures are included

3. The purpose of the variation is not based exclusively upon a desire to increase the value of the property.

The existing fence is being replaced with an exact same fence due to aging & decay was to previous code - to comply with new code would remove mature plantings

4. The alleged difficulty or hardship has not been based exclusively upon a desire to increase the value of property.

5. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.

there is no difference in new fence,
neighbors on other side have agreed to the
replacement as is -

We would like to keep fence from falling down
currently in bad shape

6. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood.

there is no difference
there are existing mature trees & plantings
that remain - fence is the same

Property:

Shaw
3930 Whispering Trails Dr
Hoffman Estates, IL 60192

Project Variance Description:

We are requesting a variance to replace our current fence “like for like” and in the existing location. The current fence met all pre-existing codes and is a 4’ cedar scalloped picket fence with two gates that runs the perimeter of the back yard of the corner property. The fence was originally built in 1993. The property has extensive and mature landscaping.

The fence is aged and in need repair or replacement. Posts have heaved, succumbed to weathering and insect damage, and sections of the fence need repair or replacement.

Upon submittal of a permit application to replace the fence as it is today, we were made aware of the new 2019 fence code requiring the changes to the fence line. Building and Zoning has allowed the fence to be replaced as is except for the following:

We are requesting approval of a variance to not have a 15ft sight triangle near the neighbor’s driveway located in the cul de sac at the corner of the backyard and maintain the existing fence line. The requested change will require for removal of some mature arborvitaes and dogwood bushes, removal of a 3.5ft round maple tree stump and root system, “leveling” of the berm, and removal of established perennial gardening in the triangle area to allow for post holes and installation of the fence. Landscaping that is removed would need to be replaced (if possible) to recreate previous state. Replacing the fence as it is today does not require any removal or modification to landscaping and surrounding area, not required large added cost, and will maintain the esthetics and privacy that is currently established.

The neighbors adjacent to our property and of the driveway in question have signed Statement of Awareness (3928 & 3934) in agreement of the requested variance with no issues.

(see pictures on following pages)



Back Rear Corner
(Left)





**Back Rear Corner
(Right)**



**Back Side
(Left)**



Back Rear Corner
(3928 Driveway)



Back Side



Rear Corner



Rear Corner
(3928 Driveway)

PLAT OF SURVEY

LOT 10 IN BLOCK 2 IN POPLAR HILLS UNIT ONE, BEING A SUBDIVISION OF PARTS OF THE SE. 1/4 OF SECTION 24 AND NE. 1/4 OF SECTION 25, BOTH IN TOWNSHIP 42 NORTH, RANGE 9, AND ALSO PART OF THE SW. 1/4 OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 10, ALL EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

97-0447

RECEIVED

OCT 23 1997

CODE ENFORCEMENT
HOFFMAN ESTATES

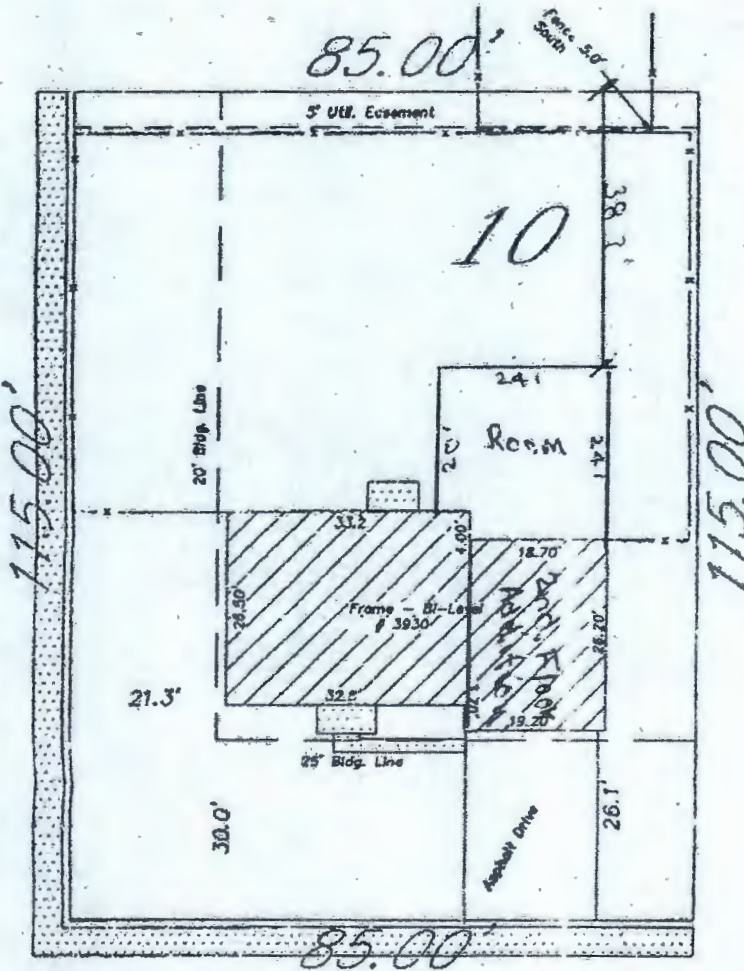
APPROVED

OCT 30 1997 *Shul*

HOFFMAN ESTATES DEPT.
OF CODE ENFORCEMENT

FILE COPY

Whispering Trail Dr. 3924 - 3928



Whispering Trail Dr.

STATE OF ILLINOIS)
COUNTY OF McHENRY) S.S.

ILLINI ENGINEERING HEREBY CERTIFIES THAT
THEY HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY,
AND THAT THIS PLAT CORRECTLY REPRESENTS SAID
SURVEY PERFORMED, AND THE ON SITE CONDITIONS
PRESENT ON THAT DATE.

DATED: 5-21-93

W. Schutz
ILLINOIS LAND SURVEYOR 2834



Scale: 1" = 15'



ILLINI ENGINEERING P.C.

LAND SURVEYORS - ENGINEERS
453 COVENTRY LANE 60014
CRYSTAL LAKE, ILLINOIS
(815) 455-7777

JOB NUMBER: 93-604

STATEMENT OF AWARENESS

TO: THE VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION

DATE: 5-4-19

THIS IS TO CERTIFY THAT THE UNDERSIGNED, BEING A PROPERTY OWNER DIRECTLY AFFECTED, IS AWARE OF THE INTENTIONS OF:

Michelle & Robert Shew
Petitioner Name

3930 Whispering Trails
Petitioner Address

TO INSTALL/ERECT/CONSTRUCT A:

Cedar 4' fence, exactly the same, replacing existing damaged fence

ON PROPERTY LOCATED AT:

3930 Whispering Trails
Address

HOFFMAN ESTATES, ILLINOIS, AS SO STATED IN THIS PETITION FOR A ZONING VARIATION.

[Signature]
Signature of Property Owner Directly Affected

3928 Whispering Trails Dr Hoffman Estates, IL 60192
Address of Property Owner Directly Affected

This form is to be completed by the property owner directly affected by the petitioner before the Planning and Zoning Commission and submitted with the Residential Variation Application.

The "property owner affected by the petition" may appear and testify for or against the petition. The date and time of the hearing will be mailed to said property owner.

Should assistance be required in determining property owners affected or in obtaining signatures, contact the Planning Division, 847/781-2660.

STATEMENT OF AWARENESS

TO: THE VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION

DATE: 5-4-19

THIS IS TO CERTIFY THAT THE UNDERSIGNED, BEING A PROPERTY OWNER DIRECTLY AFFECTED, IS AWARE OF THE INTENTIONS OF:

Michelle & Robert Shaw
Petitioner Name

3930 Whispering Trails Hoffman Estates
Petitioner Address

TO INSTALL/ERECT/CONSTRUCT A:

New fence, exactly the same as existing cedar 4'

ON PROPERTY LOCATED AT:

3930 Whispering Trails Hoffman Estates
Address

HOFFMAN ESTATES, ILLINOIS, AS SO STATED IN THIS PETITION FOR A ZONING VARIATION.

Mary E DePinto
Signature of Property Owner Directly Affected

3934 Whispering Tr Drive
Address of Property Owner Directly Affected

This form is to be completed by the property owner directly affected by the petitioner before the Planning and Zoning Commission and submitted with the Residential Variation Application.

The "property owner affected by the petition" may appear and testify for or against the petition. The date and time of the hearing will be mailed to said property owner.

Should assistance be required in determining property owners affected or in obtaining signatures, contact the Planning Division, 847/781-2660.

NOTICE OF PUBLIC HEARING
Notice is hereby given that the Planning & Zoning Commission of the Village of Hoffman Estates will hold a public hearing of the request of Michele and Robert Shaw (owner) for a variation from the Zoning Code to permit the construction of a fence on the property located at 3930 Whispering Trails Dr.
P.I.N.: 01-25-202-010-0000
The hearing will be held on Wednesday, June 5, 2019 at 7:00 p.m. in the Hoffman Estates Municipal Building, 1900 Hassett Road, Hoffman Estates, IL.
Eva Combs, Chairperson
Planning and Zoning Commission
Published in Daily Herald
May 21, 2019 (4525194).

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

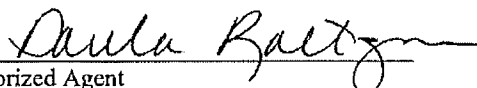
Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **DAILY HERALD**. That said **DAILY HERALD** is a secular newspaper and has been circulated daily in the Village(s) of Algonquin, Antioch, Arlington Heights, Aurora, North Aurora, Bannockburn, Barrington, Barrington Hills, Lake Barrington, North Barrington, South Barrington, Bartlett, Batavia, Buffalo Grove, Burlington, Campton Hills, Carpentersville, Cary, Crystal Lake, Deerfield, Deer Park, Des Plaines, Elburn, East Dundee, Elgin, South Elgin, Elk Grove Village, Fox Lake, Fox River Grove, Franklin Park, Geneva, Gilberts, Glenview, Grayslake, Green Oaks, Gurnee, Hainesville, Hampshire, Hanover Park, Hawthorn Woods, Highland Park, Highwood, Hoffman Estates, Huntley, Inverness, Island Lake, Kildeer, Lake Bluff, Lake Forest, Lake in the Hills, Lake Villa, Lake Zurich, Libertyville, Lincolnshire, Lindenhurst, Long Grove, Melrose Park, Montgomery, Morton Grove, Mt. Prospect, Mundelein, Niles, Northbrook, Northfield, Northlake, Palatine, Park Ridge, Prospect Heights, River Grove, Riverwoods, Rolling Meadows, Rosemont, Round Lake, Round Lake Beach, Round Lake Heights, Round Lake Park, Schaumburg, Schiller Park, Sleepy Hollow, St. Charles, Streamwood, Sugar Grove, Third Lake, Tower Lakes, Vernon Hills, Volo, Wadsworth, Wauconda, Waukegan, West Dundee, Wheeling, Wildwood, Wilmette County(ies) of Cook, Kane, Lake, McHenry and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

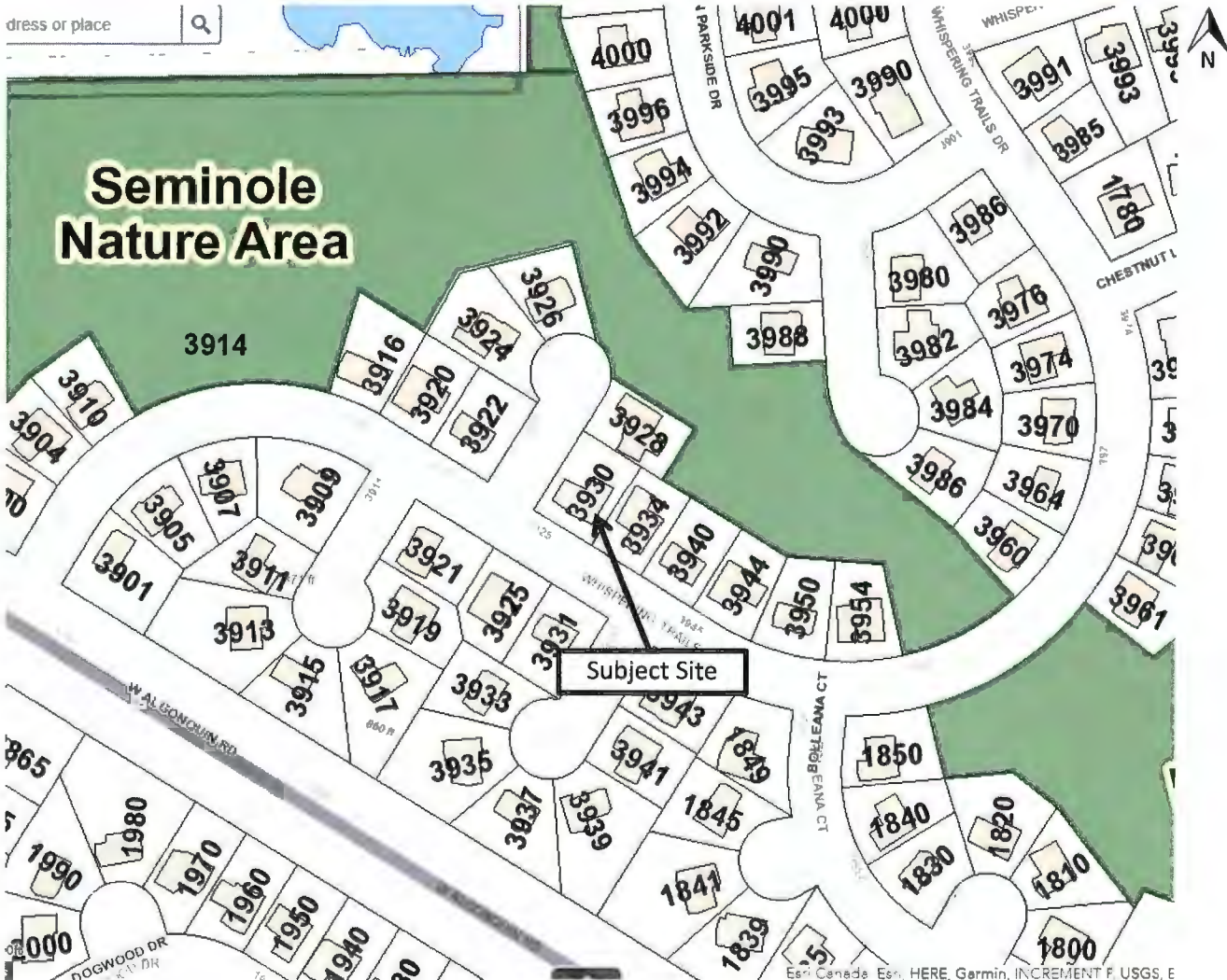
I further certify that the **DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 5/21/19 in said **DAILY HERALD**.

IN WITNESS WHEREOF, the undersigned, the said **PADDOCK PUBLICATIONS, Inc.**, has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

PADDOCK PUBLICATIONS, INC.
DAILY HERALD NEWSPAPERS

BY 
Authorized Agent

Control # 4525194

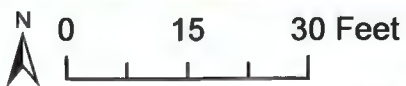




May 2019
 Village of Hoffman Estates
 Planning Division



Esri, Canada, Esri, HERE, Garmin, INCREMENT F, USGS, E

3930 Whispering Trails Dr



	Fence as proposed
	Meets 5 ft Setback Requirement

Planning Division
Village of Hoffman Estates
May 2019



VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION
FINDING OF FACT

PROJECT NO.: 2018043P

VILLAGE BOARD MEETING DATE: June 17, 2019

PETITIONER(S): Ala Carte Entertainment (Applicant & Owner)

PROJECT ADDRESS: 2525 W. Higgins Rd.

ZONING DISTRICT: B-2, Community Business

Recommendation: **APPROVAL**

Vote: 11 Ayes 0 Nays 0 Absent

PZC MEETING DATE: June 5, 2019

STAFF ASSIGNED: MO KHAN

- A. Approval of a request by Ala Carte Entertainment (Applicant & Owner) for a Special use to operate a Banquet Facility at 2525 W. Higgins Road in accordance with Section 9-8-2-C-9 of the Municipal Code.**

AUDIENCE COMMENTS

No audience comments.

FINDING

The Planning & Zoning Commission heard from the petitioner, Mark Hoffman, who explained that they are requesting a Special Use Permit to operate a Banquet Facility at 2525 W. Higgins Road. The proposed business, Moretti's Unique Events will complement the existing Moretti's restaurant located at the adjacent property. The petitioner explained that they have had to turn away potential business for their banquet space at the Moretti's Restaurant location and believe opening a standalone dedicated banquet facility will help provide additional banquet/meeting space that their customers are seeking.

Staff informed the Commission that the business is currently operating and the request for Special Use will bring it into conformance with code requirements.

Commissioner Burntiz asked if everything is staying the same in the building. Petitioner responded, Yes.

Commissioner Trieb asked if any changes will be made inside. Petitioner responded, Not at this time.

NOTE: Petitioner has had discussion with Village Staff to make some minor interior remodeling, primarily removing the existing bar in the building.

Commissioner Henderson asked if there would be any video gaming machines. Petitioner responded, there may be in the future.

Planning and Zoning Commission Finding of Fact
Banquet Facility Special Use – 2525 W. Higgins Rd.
Village Board Meeting Date: June 17, 2019

PLANNING AND ZONING COMMISSIONERS

Chairperson Eva Combs	Vice-Chair Ring
Minerva Milford	Tom Burnitz
Adam Bauske	Nancy Trieb
Sohita Patel	Denise Wilson
Lon Harner	Lenard Henderson
Myrene Iozzo	

ROLL CALL VOTE

11 Ayes
0 Abstain
0 Absent

MOTION PASSED

The following attachments are hereby incorporated as part of this Finding of Fact:

Staff's Memo
General Application
Special Use Addendum
Project Narrative
Plat of Survey
Existing & Proposed Floorplan (Exhibit A)
Legal Notice Publication
Aerial Location Map



VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION
STAFF REPORT

PROJECT NO.: 2018043P

PROJECT NAME: Moretti's Unique Events Special Use –
Banquet Facility

PROJECT ADDRESS/LOCATION: 2525 W Higgins

PUBLIC HEARING
YES NO

REZONING MASTER SIGN PLAN SPECIAL USE VARIATION
PRELIMINARY & FINAL SITE PLAN PRELIMINARY & FINAL PLAT

MEETING DATE: JUNE 5, 2019

STAFF ASSIGNED: MO KHAN

REQUESTED MOTIONS

- A. Approval of a request by Ala Carte Entertainment (Applicant & Owner) for a Special Use Permit to operate a Banquet Hall/Facility at 2525 W. Higgins Road in accordance with Section 9-8-2-C-9 of the Municipal Code.

INCLUDES RECOMMENDED CONDITIONS
YES NO

ACRES: 1.72 (APPROXIMATE)	ZONING DISTRICT: B-2, Community Business
ADJACENT NORTH: Vacant; Restaurant, Zoned B-2	SOUTH: Vacant; Retention Pond, Zoned R-3 & B-2
PROPERTIES: EAST: Restaurant, Zoned B-2	WEST: Vacant; Zoned B-2

BACKGROUND

The subject property is located on the south side of Higgins Road, approximately 300 feet south of the road. The subject property is an interior lot with access to both Barrington and Higgins Road via a private access road. The subject property is improved with a one-story banquet facility/hall that is approximately 6,560 ft.², an outdoor fenced-in seating area that is approximately 1,100 ft.² and surface parking lot. The subject property was previously occupied by a restaurant and has since been converted to a banquet facility/hall.

PROPOSAL

The petitioner is requesting an approval for a Special Use to operate a banquet facility/hall at the subject property.

Meeting Date: June 5, 2019

PROPOSAL

The applicant is requesting an approval for a Special Use Permit to operate a banquet facility at the subject property.

STANDARDS

The Planning and Zoning Commission shall, in making its determination the potential impacts that the granting of the special use may or may not have on the surrounding neighborhood. Specifically, "Section 9-1-18-I of the Zoning Code (Standards for a Special Use) states: "No special use shall be recommended by the Planning and Zoning Commission unless said Planning and Zoning Commission shall find:

- 1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;**
- 2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;**
- 3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;**
- 4. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;**
- 5. That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets; and**
- 6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Planning and Zoning Commission.**

ANALYSIS

The proposed banquet facility can seat up to 211 occupants (Exhibit A). The subject property has 111 parking spaces, five (5) of which are handicap accessible stalls. Based on the suggested parking guidelines found in Sec. 10-5-2-B-1, a ratio of 0.48 parking space per seat is suggested. Based on this ratio the minimum number of parking spaces suggested would be 101, the site provides ten (10) spaces more than the suggested parking guideline.

A banquet facility is not listed as a permitted or specifically stated special use within the B-2, Community Business, Zoning District. The request for a special use is being made under the "all other uses" category stated in Sec. 9-8-2-C-9.

Meeting Date: June 5, 2019

The purpose of the B-2, Community Business, Zoning District is *to provide areas for a broad range of business establishments which offer goods and services to residents of the entire community* [Sec. 9-8-2-A]. The proposed use will provide for a banquet facility for residents, businesses and visitors to use for a number of social gatherings. The proposed use complements the nearby adjacent uses of restaurants and business offices and would not have adverse impacts on the adjacent properties or businesses.

RECOMMENDATION

Approval of a request by Ala Carte Entertainment (Applicant & Owner) for a Special Use Permit to operate a Banquet Facility at 2525 W. Higgins Road in accordance with Section 9-8-2-C-9 of the Municipal Code.

Attachments: General Application
 Special Use Addendum
 Project Narrative
 Plat of Survey
 Existing & Proposed Floorplan (Exhibit A)
 Legal Notice Publication
 Aerial Location Map



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING GENERAL APPLICATION*

RECEIVED
SEP 26 2018
PLANNING DIVISION

Special Use for BANQUET FACILITY Rezoning from _____ to _____

Variation: Commercial Residential Sign

Plat (Subdivision & Others): Preliminary Final

Site Plan: Amendment Concept Preliminary Final

Master Sign Plan: Amendment

Other: _____

*** ADDENDUM MATERIALS ARE REQUIRED FOR SPECIFIC REQUESTS**

Posting of Notification Sign(s) may be required.

Specific requirements will be provided when your request is scheduled.

FOR VILLAGE USE ONLY			
Hearing Fee	<u>\$500⁰⁰</u>	Check No.	<u>0458</u>
		Date Paid	<u>9-14-18</u>
Project Number:	<u>2018043P</u>		
Staff Assigned:	<u>MO KHAN</u>		
Meeting Date:	<u>06/05/19</u>	Public Hearing:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Sign Posting Required:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Date Sign Posted	_____

PLEASE PRINT OR TYPE

Date: _____

Project Name: Moretta's Unique Events

Project Description: Banquet Hall

Project Address/Location: 2525 W. HILGINC RD

Property Index No. 07-07-100-029

Acres: 1.73 Zoning District: B-2 BUSINESS

I. Owner of Record

FRED + MARK HOFFMANN ALA CARTE ENTERTAINMENT LTD PARTNER
 Name Company
2330 HAMMOND DR #6 SCHAUMBURG
 Street Address City
IL 60173 847 303-4426
 State Zip Code Telephone Number
jdiller@aceplaces.com
 Fax Number E-Mail Address

II. Applicant (Contact Person/Project Manager)

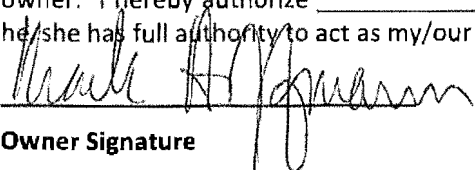
MARK HOFFMANN
 Name Company
2330 HAMMOND DR #6 SCHAUMBURG
 Street Address City
IL 60173 847-456-6169
 State Zip Code Telephone Number
MARK@aceplaces.com
 Fax Number E-Mail Address

Applicant's relationship to property: OWNER

III. Owner Consent for Authorized Representative

It is required that the property owner or his designated representative be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. **If the owner cannot be present at the meeting, the following statement must be signed by the owner:**

I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize _____ to act on my behalf and advise that he/she has full authority to act as my/our representative.


 Owner Signature MARK HOFFMANN
 Print Name

IV. Acknowledgement(s)

Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.

Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

The Owner and Applicant, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature: Mark Hoffmann

Owner's Name (Please Print): MARK HOFFMANN

Applicant's Signature: Mark Hoffmann
(If other than Owner)

Applicant's Name (Please Print): MARK HOFFMANN

Date: 9/24/18

All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.

Please contact the Planning Division (located in the Municipal Building) with any questions:

Email: planning@hoffmanestates.org
Address: 1900 Hassell Road
Hoffman Estates, IL 60169
Phone: (847) 781-2660
Fax: (847) 781-2679

Addendums Attached:

- Special Use
- Rezoning
- Variation
- Plat
- Site Plan
- Master Sign Plan
- Other _____



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION SPECIAL USE ADDENDUM

REQUIRED SUBMITTALS:

- General Application
- \$500 Special Use hearing fee/\$750 for "All Other Uses"
- Legal Description
Typically found on a tax bill, survey, mortgage documents or deed
- Current Plat of Survey drawn to scale
- A scale drawing of the floor plan and elevations, including windows and door locations.
- A Project Narrative detailing the use, hours of operation, parking demand, etc. Provide relevant plans, studies, and any other documents to support the request.
- A written response to each of the Standards for a Special Use (see below).

You are responsible for posting a notification sign(s) on your property 10 days before the Planning & Zoning Commission hearing and removing the sign(s) 10 days after final Village Board action. Specific requirements will be provided by Planning Staff.

No special use shall be recommended by the Planning and Zoning Commission unless said Commission finds that adequate evidence is provided to meet the Special Use Standards. (Respond to each standard as it applies to your request either below or address on a separate sheet)

1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

Moretti's Unique Events will be a private event space that will complement and enhance Moretti's Restaurant and Pizzeria. It will fulfill a growing demand for unique event spaces for the community. Everything from showers, company parties, resident events (birthday celebratory etc.) as well as casual wedding events. Parties for Willow Creek, St Alexius Hospital and the surrounding community will benefit greatly and keep tax dollars in the Hoffman Estates Community.

2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;

We look forward to adding a wonderful facility and service to our ever growing demand in the community while strengthening the Moretti's brand simultaneously.

There will be no change in the use of the property and this will only enhance the desirability and add value to contiguous properties.

3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;

The occupancy for the building will not change, therefore the parking requirements will remain the same. The signage plan for the venue will also remain exactly the same.

4. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;

All Utility requirements are existing and approved and will not change.

5. That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets; and

All ingress and egress requirements have been addressed and will not change.

6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Planning and Zoning Commission.

The special use will conform to all the applicable regulations of the district.

Moretti's

Unique Events



Moretti's Unique Events Project Narrative

Our intent is to accommodate the many requests for larger parties that we cannot currently accommodate at Moretti's Ristorante and Pizzeria.

Moretti's Unique Events will be a private event space that will complement and enhance Moretti's Ristorante and Pizzeria. It will fulfill a growing demand for unique event spaces for the community. Everything from showers, company parties, resident events (birthday celebratory etc.) as well as casual wedding events. Parties for Willow Creek, St Alexius Hospital and the surrounding community will benefit greatly and keep tax dollars in the Hoffman Estates Community.

We are not asking for any sign changes or change in occupancy from our original concept. We will be catering to the same demographic as well.

MORETTI'S UNIQUE EVENTS

BAR REMOVAL & SEATING COUNT TRADE-OFF
 2525 W. HIGGINS RD., HOFFMAN ESTATES, ILLINOIS

SCOPE OF RECONFIGURATION:

1. REMOVE BAR STRUCTURE & 100 SEAT STools (100) TO FLOOR & MATCH HOOD
2. REMOVE 100 2' TOP TABLES & CHAIRS AGAINST WEST WALL
3. REMOVE 100 2' TOP TABLES & CHAIRS AGAINST SOUTH WALL
4. REMOVE 100 2' TOP TABLES & CHAIRS AGAINST EAST WALL
5. ADD 100 2' TOP TABLES & CHAIRS TO NEW BAR SOUTH
6. ADD 100 2' TOP TABLES & CHAIRS TO NEW BAR NORTH
7. ADD 100 2' TOP TABLES & CHAIRS TO NEW BAR EAST
8. ADD 100 2' TOP TABLES & CHAIRS TO NEW BAR WEST

ELECTRICAL NOTES:

1. REMOVE BAR RELATED LIGHT BREAKERS FROM PANEL & ADD 2 NEW CIRCUIT BREAKERS
2. ADD LIGHTS FROM BAR TO BACK TO PANEL. ADD LIGHTS TO NEW BAR. ADD 100 150 WATT

PLUMBING NOTES:

1. CUT OFF ALL PLUMBING AND REINSTALLATION NEEDS AND CAPS. CUT PLUMBING REARWARD RUSH

EXISTING TOTALS:

34 BAR STOODS + 10 CHAIRS AT 3 TABLES + OCCUPAN. LOAD 112 SEATING

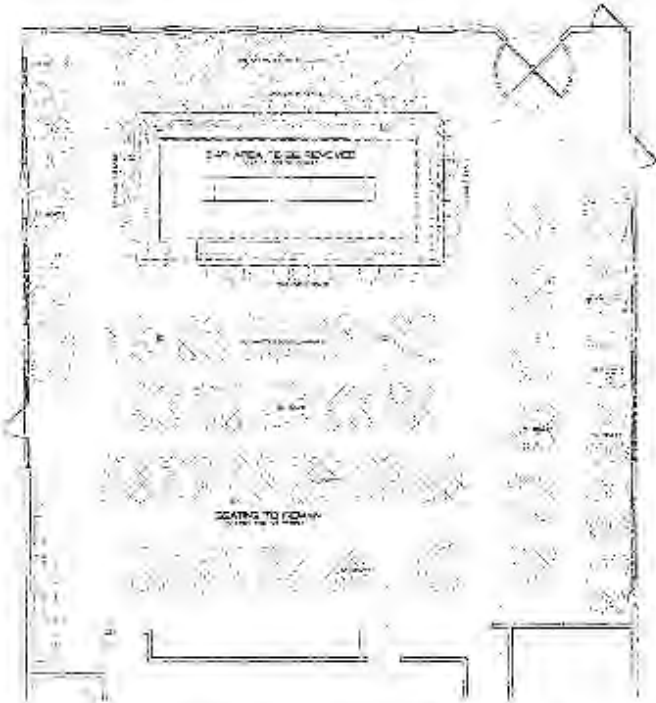
EQU. PROPOSED TOTALS:

34 CHAIRS AT 100 BAR AT 100 TABLES + 10 CHAIRS AT 100 TABLES + OCCUPAN. LOAD 112 SEATING

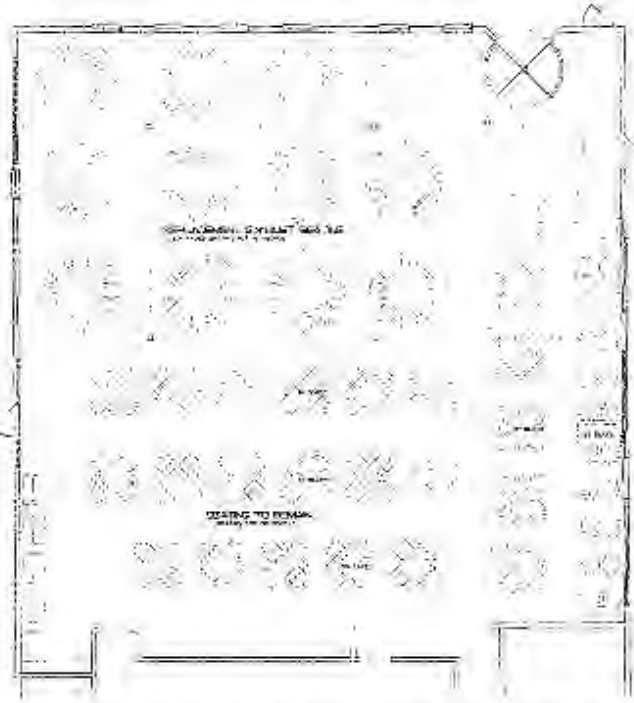
FOR MORE INFORMATION CONTACT:
 JEFFREY A. HOFFMAN
 HOFFMAN ESTATES, ILLINOIS
 2525 W. HIGGINS RD.
 HOFFMAN, ILLINOIS 60143
 TEL: 630-329-1111
 FAX: 630-329-1112
 WWW.HOFFMANESTATES.COM



AERIAL VIEW OF PROPERTY



EXISTING 100 2' TOP TABLES & 100 SEAT STools
 SCALE 3/8" = 1'-0" (SEE DIMENSIONS FOR TOTALS)



PROPOSED 100 2' TOP TABLE TRADE-OFF
 SCALE 3/8" = 1'-0" (SEE DIMENSIONS FOR TOTALS)

BAR REMOVAL & SEATING ADJUSTMENT
 MORETTI'S UNIQUE EVENTS
 2525 W. HIGGINS RD.
 HOFFMAN ESTATES, ILLINOIS



JEFFREY A. HOFFMAN
 ARCHITECT
 2525 W. HIGGINS RD.
 HOFFMAN, ILLINOIS 60143
 TEL: 630-329-1111
 FAX: 630-329-1112
 WWW.HOFFMANESTATES.COM

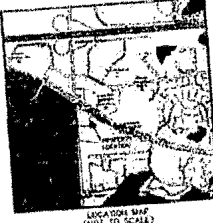
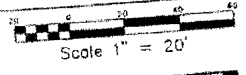


DATE OF ISSUE: 08/05/2010
 BY: JAH
 IN CHARGE: JAH
 PROJECT: MORETTI'S UNIQUE EVENTS
 DRAWN BY: JAH
 ART. 1.001



A.L.T.A./A.C.S.M.
LAND TITLE SURVEY

PREPARED BY
F. R. H. Jones, Surveyor, Inc.
1000 West Higgins Road, Suite 100
Chicago, Illinois 60641



- LEGEND
- WATER MAIN
 - VALVE VAULT
 - FIRE HYDRANT
 - SANITARY MANHOLE
 - STORM MANHOLE
 - STORM VAULT
 - MANHOLE MANHOLE
 - FLOOD LIGHT
 - PARKING LOT LIGHT
 - SIGNAGE
 - SIGNAGE SIGN
 - ONE-WAY SIGN & CENTER
 - METAL SIGN
 - METAL SIGN
 - SIGNAGE OF HIGH FLOODWAY SIGNAGE
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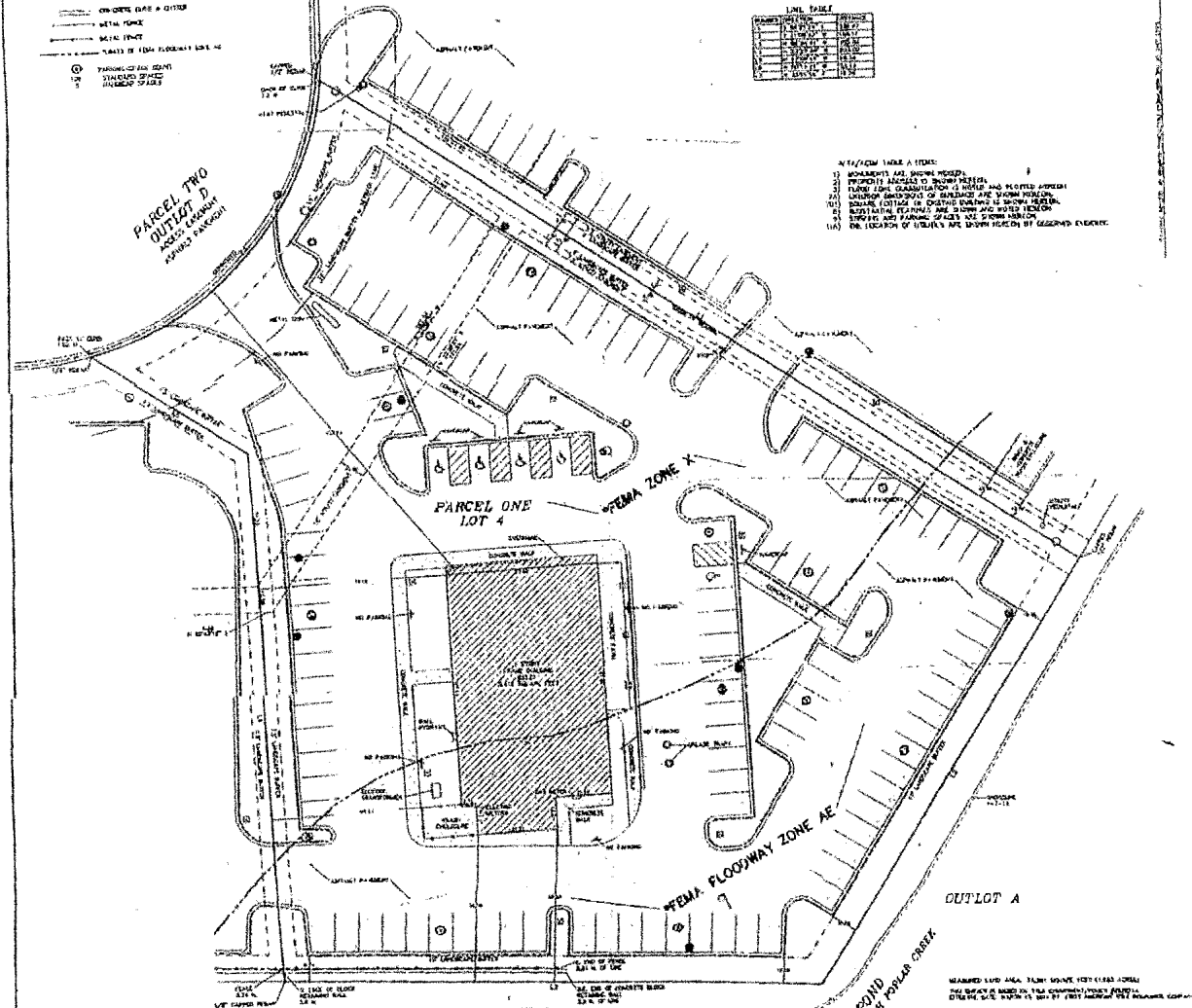
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- NOTES FROM THESE A SHEETS:
- 1) MONUMENTS AND BENCH MARKS
 - 2) PROPERTY LINES AND BOUNDARIES
 - 3) EXISTING UTILITIES AND STRUCTURES
 - 4) EXISTING EASEMENTS AND RIGHTS
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2525 N. HIGGINS RD

ALL DIMENSIONS SHOWN ON THIS PLAN ARE BASED ON THE SURVEY DATA AND FIELD MEASUREMENTS. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF UNRECORDED INTERESTS OR EASEMENTS. THE SURVEYOR HAS ALSO CONDUCTED A VISUAL INSPECTION OF THE ADJACENT PROPERTIES AND HAS FOUND NO EVIDENCE OF UNRECORDED INTERESTS OR EASEMENTS. THE SURVEYOR HAS ALSO CONDUCTED A VISUAL INSPECTION OF THE ADJACENT PROPERTIES AND HAS FOUND NO EVIDENCE OF UNRECORDED INTERESTS OR EASEMENTS.

THE PROPERTY LINES AND BOUNDARIES ARE LOCATED BY THE FOLLOWING AREAS AS DESCRIBED BY FIELD MEASUREMENT DATA: ...



STATE OF ILLINOIS
COUNTY OF COOK

NOTARY PUBLIC

DATE OF NOTARIZATION: 1/1/2020

NOTARY PUBLIC: [Signature]

NOTICE OF
PUBLIC HEARING
Notice is hereby given that
the Planning & Zoning Com-
mission of the Village of
Hoffman Estates will hold a
public hearing of the re-
quest of Ala Corie Enter-
tainment (Applicant &
Owner) for a Special Use
Permit to operate a Banquet
Hall/Facility at 2525 W. Hig-
gins Road in accordance
with Section 9-8-2-C-9 of the
Municipal Code,
P.I.N.: 97-07-100-028-0000
The hearing will be held on
Wednesday, June 3, 2019 at
7:00 p.m. in the Hoffman Es-
tates Municipal Building,
1900 Hessel Road, Hoffman
Estates, IL.
Eva Combs, Chairperson
Planning and Zoning
Commission
Published in Daily Herald
May 21, 2019 (4525193).

CERTIFICATE OF PUBLICATION
Paddock Publications, Inc.

Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the DAILY HERALD. That said DAILY HERALD is a secular newspaper and has been circulated daily in the Village(s) of Algonquin, Antioch, Arlington Heights, Aurora, North Aurora, Bannockburn, Barrington, Barrington Hills, Lake Barrington, North Barrington, South Barrington, Bartlett, Batavia, Buffalo Grove, Burlington, Campton Hills, Carpentersville, Cary, Crystal Lake, Deerfield, Deer Park, Des Plaines, Elburn, East Dundee, Elgin, South Elgin, Elk Grove Village, Fox Lake, Fox River Grove, Franklin Park, Geneva, Gilberts, Glenview, Grayslake, Green Oaks, Gurnee, Hainesville, Hampshire, Hanover Park, Hawthorn Woods, Highland Park, Highwood, Hoffman Estates, Huntley, Inverness, Island Lake, Kildeer, Lake Bluff, Lake Forest, Lake in the Hills, Lake Villa, Lake Zurich, Libertyville, Lincolnshire, Lindenhurst, Long Grove, Melrose Park, Montgomery, Morton Grove, Mt. Prospect, Mundelein, Niles, Northbrook, Northfield, Northlake, Palatine, Park Ridge, Prospect Heights, River Grove, Riverwoods, Rolling Meadows, Rosemont, Round Lake, Round Lake Beach, Round Lake Heights, Round Lake Park, Schaumburg, Schiller Park, Sleepy Hollow, St. Charles, Streamwood, Sugar Grove, Third Lake, Tower Lakes, Vernon Hills, Volo, Wadsworth, Wauconda, Waukegan, West Dundee, Wheeling, Wildwood, Wilmette

County(ies) of Cook, Kane, Lake, McHenry
and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the DAILY HERALD is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 5/21/19 in said DAILY HERALD.

IN WITNESS WHEREOF, the undersigned, the said PADDOCK PUBLICATIONS, Inc., has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

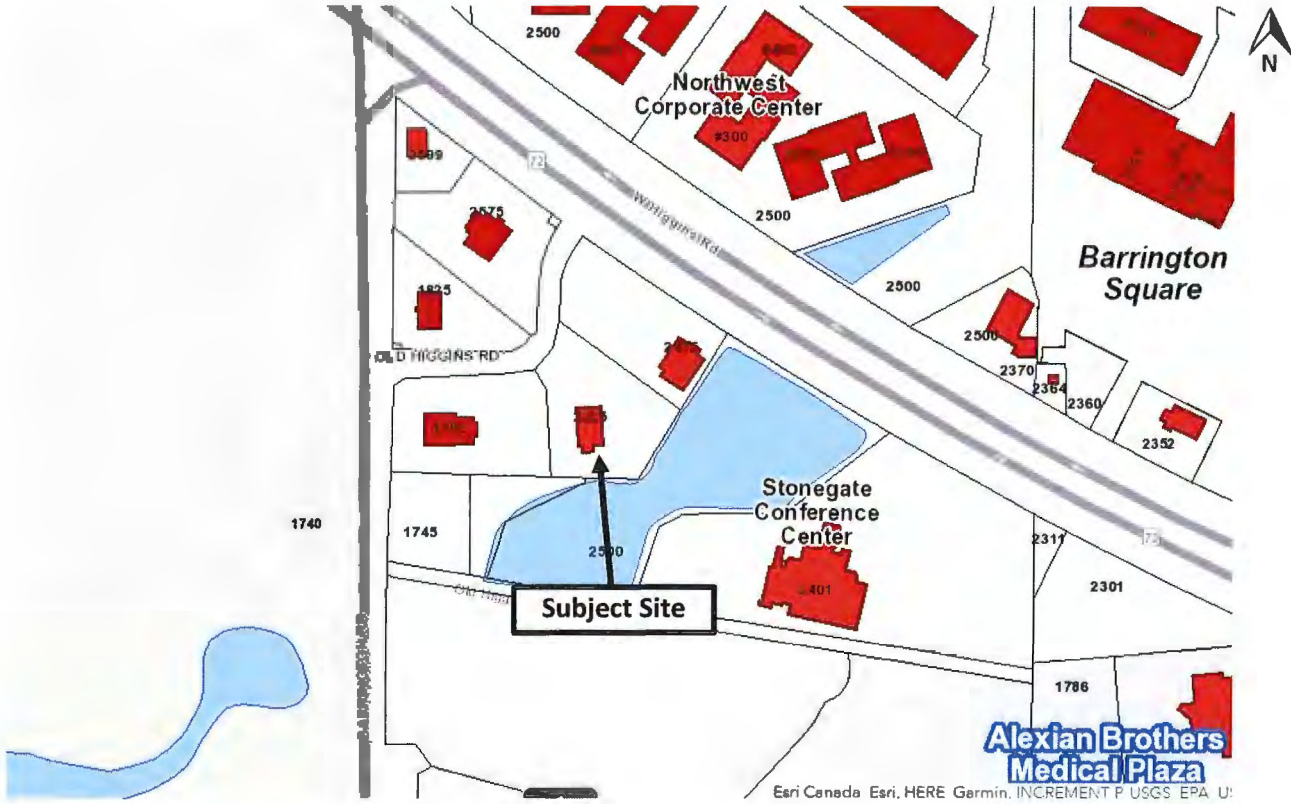
PADDOCK PUBLICATIONS, INC.
DAILY HERALD NEWSPAPERS

BY Daula Baltz
Authorized Agent

Control # 4525193

2525 W Higgins Rd

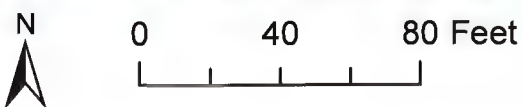
P.I.N. 07-07-100-028-0000



May 2019
 Village of Hoffman Estates
 Planning Division



2525 W Higgins Rd



Planning Division
Village of Hoffman Estates
May 2019



VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION
FINDING OF FACT

PROJECT NO.: 2018022P

VILLAGE BOARD MEETING DATE: June 17, 2019

PETITIONER(S): TR Greenspoint LLC (Owner) and Grissim Metz Andriese Associates (Applicant))

PROJECT ADDRESS: 2800 W. Higgins Rd.

ZONING DISTRICT: B2 – Community Business District

Recommendation: **APPROVAL**

Vote: 11 **Ayes**

PZC MEETING DATE: February 6, 2019

STAFF ASSIGNED: JAMES DONAHUE

Approval of a request by TR Greenspoint LLC (Owner) and Grissim Metz Andriese Associates (Applicant) to consider a Preliminary and Final Site Plan Amendment for landscape and hardscape improvements on the property located at 2800 W. Higgins Road, subject to the following conditions:

1. The building permit shall be obtained within twelve (12) months of the Village Board action on this request.
2. A performance guarantee for all exterior building and site work shall be submitted to the Village prior to issuance of a building permit.
3. The following conditions relate to the site construction:
 - a. A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
 - b. Construction times shall be in accordance with Village Code or as approved by the Director of Planning, Building, and Code Enforcement.

FINDING

The petitioner is proposing to upgrade the landscape and hardscape aspects of the detention pond area by providing an updated walking path, updated outdoor seating, pergolas and pedestrian level lighting elements. Additionally, landscape upgrades will be installed

The Commission heard from the petitioner who described the proposed changes and showed renderings of the hardscape and landscape changes. They explained that the site needed upgrades to make it more attractive to new tenants. They identified the possibility of food trucks and grills being used by their food service provider to offer outdoor lunching options and for gatherings.

The Commission had questions about how close the seating area would be to the pond. The applicant stated it would be above the high water line and not very close to the edge. The Commission also recommended having security monitor the area and lock the grills after hours. Applicant said they have a security guard already and would lock the grills.

The petitioner asked about construction hours and asked if they could start earlier than the 7:00 that was prescribed in the condition of approval. Staff said given that the work is low impact from a site standpoint and there are no nearby residents, it shouldn't be an issue. The Planning & Zoning Commission amended the motion to say that "construction times shall be in accordance with Village Code or as approved by the Director of Planning, Building,

Planning and Zoning Commission Finding of Fact
Greenspoint Office Park
Village Board Meeting Date: June 17, 2019

and Code Enforcement”.

AUDIENCE COMMENTS

None.

PLANNING AND ZONING COMMISSIONERS

Chairperson Eva Combs	Adam Bauske
Vice-Chairman Greg Ring	Nancy Trieb
Tom Burnitz	Sohita Patel
Lenard Henderson	Denise Wilson
Myrene Iozzo	Lon Harner
Minerva Milford	

ROLL CALL VOTE

11 Ayes
0 Nays
0 Absent

The following attachments are hereby incorporated as part of this Finding of Fact:

Applications
Engineering & Landscape Plans



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT NO.: 20180022P

PROJECT NAME: Greenspoint Office Park

PROJECT ADDRESS/LOCATION: 2800 W. Higgins Road

PUBLIC HEARING
YES NO

REZONING MASTER SIGN PLAN SPECIAL USE VARIATION

PRELIMINARY & FINAL SITE PLAN AMENDMENT PRELIMINARY & FINAL PLAT

MEETING DATE: JUNE 5, 2019

STAFF ASSIGNED: JIM DONAHUE

REQUESTED MOTION

Approval of a request by TR Greenspoint LLC (Owner) and Grissim Metz Andriese Associates (Applicant) to consider a Preliminary and Final Site Plan Amendment for landscape and hardscape improvements on the property located at 2800 W. Higgins Road.

INCLUDES RECOMMENDED CONDITIONS
YES NO

ACRES: 4 (APPROXIMATE)

ZONING DISTRICT: B-2 COMMUNITY BUSINESS DISTRICT

ADJACENT NORTH: Hotel – Zoned B-2
PROPERTIES: EAST: Offices – Zoned B-2

SOUTH: Forest Preserve – Zoned FP
WEST: Offices - Zoned B-2

BACKGROUND

The Greenspoint Office Park was developed in multiple phases in the 1980s and 1990s. It includes the area bounded on the north, east and west by Greenspoint Parkway and by Higgins Road to the south. It also includes the 2300 Barrington Road building. In 2014, the parking lot for the 2800 W. Higgins Road was expanded immediately east of the central detention pond.

PROPOSAL

The petitioner is proposing upgrade the landscape and hardscape aspects of the detention pond area by providing an updated walking path, updated outdoor seating, pergolas and pedestrian level lighting elements. Additionally, landscape upgrades will be installed

SITE PLAN AMENDMENT

Pedestrian Access

Pedestrian access around the pond will connect to the adjacent buildings allowing the office tenants to easily access the new improvements.

Engineering – Subdivision Code Section 10-3

No changes to utilities are proposed and only slight grading modifications are anticipated. The Village Engineer has reviewed the plans and has no concerns.

Landscaping – Subdivision Code Section 10-4

The overall site is landscaped and the petitioner is proposing to add additional landscaping around the pond to complement the new pedestrian improvements and outdoor seating. The plans identify new trees, shrubs and perennials augment the existing plantings within the overall site. There are existing trees within the parking islands that are being removed to accommodate the new upgrades, but the additional plantings will offset any loss. .

Exterior Lighting – Subdivision Code Section 10-5-3-G

No changes to the existing site lighting are proposed other than building mounted lights.

RECOMMENDED CONDITIONS

1. The building permit shall be obtained within twelve (12) months of the Village Board action on this request.
2. A performance guarantee for all exterior building and site work shall be submitted to the Village prior to issuance of a building permit.
3. The following conditions relate to the site construction:
 - a. A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
 - b. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.

Attachments: Petitioner's Applications and Submittals
Staff Exhibit – Aerial Photo
Location Map



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING GENERAL APPLICATION*

Special Use for _____ Rezoning from _____ to _____

Variation: Commercial Residential Sign

Plat (Subdivision & Others): Preliminary Final

Site Plan: Amendment Concept Preliminary Final

Master Sign Plan: Amendment

Other: _____

* ADDENDUM MATERIALS ARE REQUIRED FOR SPECIFIC REQUESTS

Posting of Notification Sign(s) may be required.

Specific requirements will be provided when your request is scheduled.

FOR VILLAGE USE ONLY		
Hearing Fee <u>\$500</u>	Check No. <u>005525</u>	Date Paid <u>5/24/19</u>
Project Number: <u>2018022 P</u>		
Staff Assigned: <u>J. Donahue</u>		
Meeting Date: <u>6/5/19</u>	Public Hearing: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Sign Posting Required: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Date Sign Posted <u>N/A</u>	

PLEASE PRINT OR TYPE

Date: 05/22/2019

Project Name: Greenspoint Office Park

Project Description: Landscape, Hardscape and Irrigation Improvements

Project Address/Location: 2800 W. Higgins Road, 2300 N. Barrington Road, Greenspoint Office Park POA

Property Index No. 06-01-201-001-0000, 06-01-200-015-0000, 06-01-200-037-0000

Acres: 4.2019 Zoning District: B2

I. Owner of Record

Jenifer A. Ratcliffe

TR Greenspoint LLC

Name

Company

120 N. LaSalle Street Suite 2900 Chicago

Street Address

City

Illinois 60602

312-345-8784

State

Zip Code

Telephone Number

312-345-8760

JRATCLIFFE@LPC.com

Fax Number

E-Mail Address

II. Applicant (Contact Person/Project Manager)

Andrew Parin

Grissim Metz Andriese

Name

Company

311 East Cady Street

Northville

Street Address

City

Michigan 48167

248-347-7010

State

Zip Code

Telephone Number

248-347-7005

andrewp@gma-la.com

Fax Number

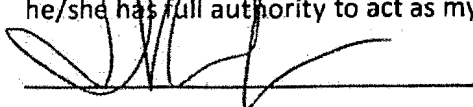
E-Mail Address

Applicant's relationship to property: Landscape Architect

III. Owner Consent for Authorized Representative

It is required that the property owner or his designated representative be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. **If the owner cannot be present at the meeting, the following statement must be signed by the owner:**

I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize Andrew Parin to act on my behalf and advise that he/she has full authority to act as my/our representative.



Owner Signature

Jenifer A. Ratcliffe

Print Name

IV. Acknowledgement(s)

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

The Owner and Applicant, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature: See attached

Owner's Name (Please Print): _____

Applicant's Signature: Andrew Parin
(If other than Owner)

Applicant's Name (Please Print): Andrew Parin

Date: 5/22/2019

All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.

Please contact the Planning Division (located in the Municipal Building) with any questions:

Email: planning@hoffmanestates.org
Address: 1900 Hassell Road
Hoffman Estates, IL 60169
Phone: (847) 781-2660
Fax: (847) 781-2679

Addendums Attached:

- Special Use
- Rezoning
- Variation
- Plat
- Site Plan
- Master Sign Plan
- Other _____

OWNER:

TR GREENSPPOINT LLC, a Delaware limited liability company

By: **LPC Realty Advisors I, LP**, a Texas limited partnership, its Manager

By: **LPC Realty Advisors, Inc.**, a Texas corporation, its General Partner

By: 

Name: **Jenifer A. Ratcliffe**

Its: **President**

GREENSPOINT OFFICE PARK

Hoffman Estates, Illinois

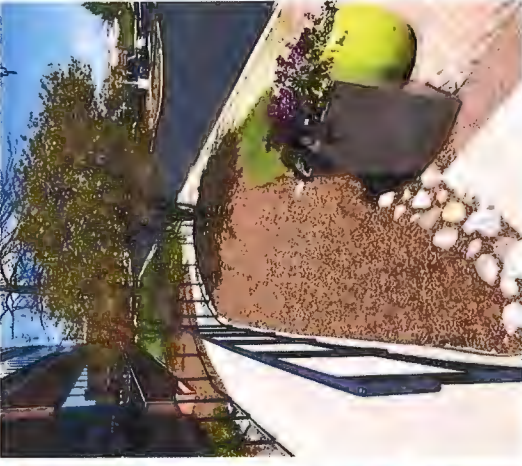
PLANNING COMMISSION MEETING

06.05.2019

GRISSIM
METZ ASSOCIATES
ANDRIESE



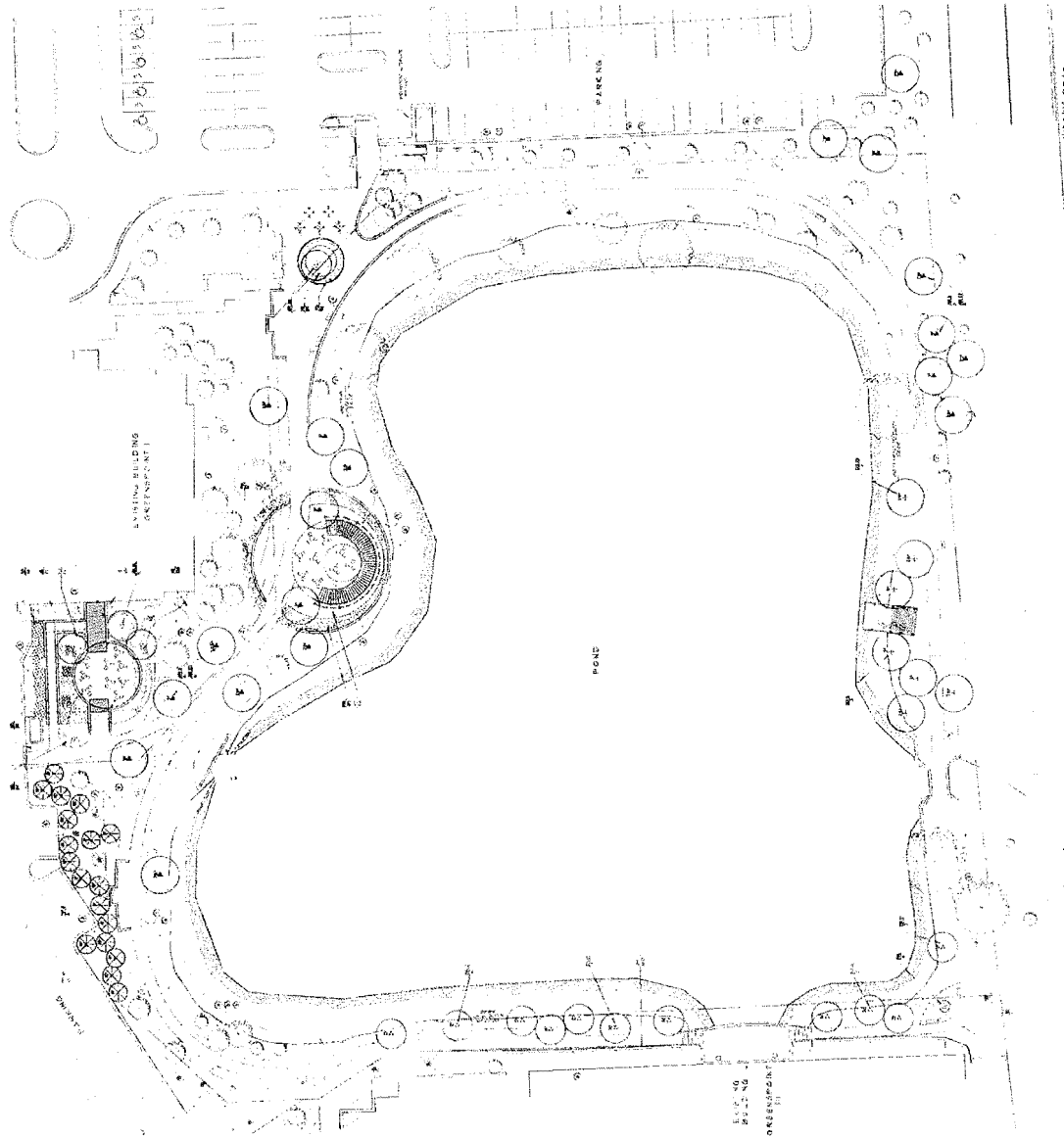
Existing Conditions - Greenspoint

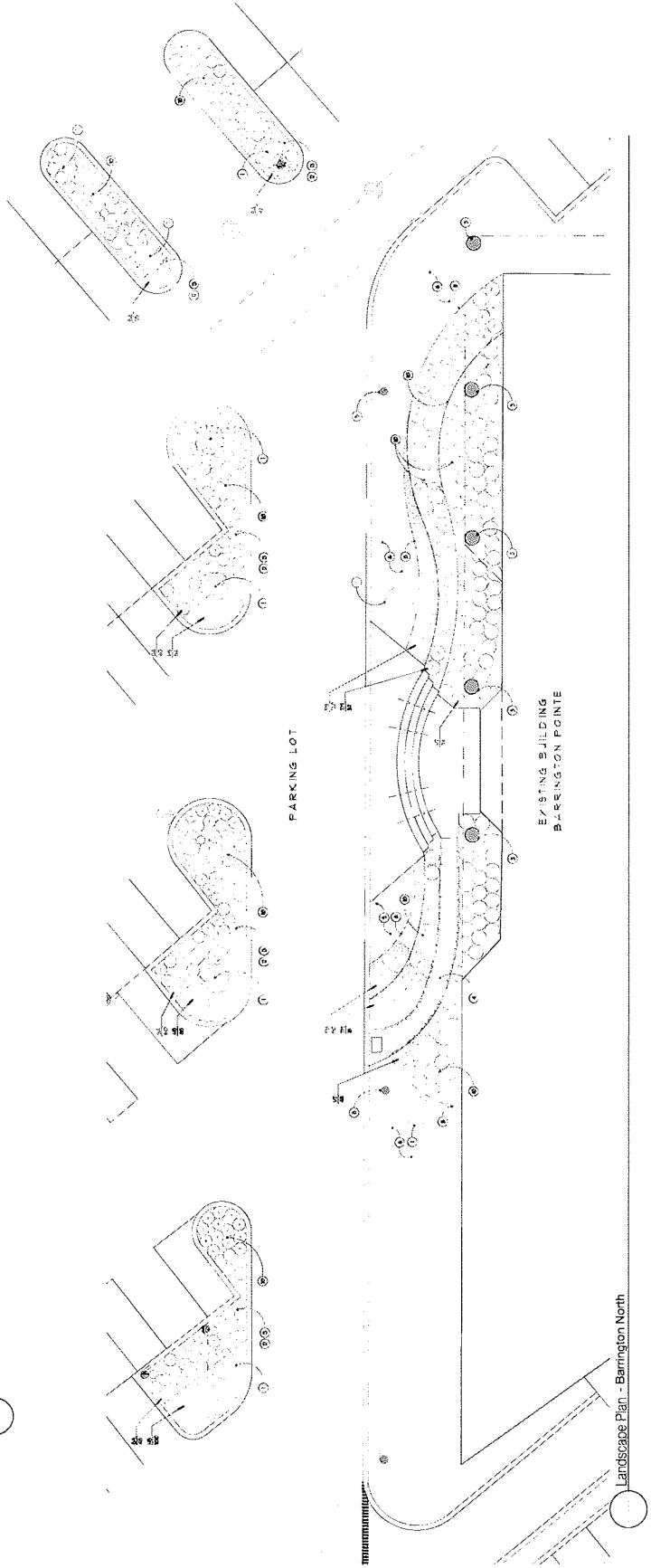
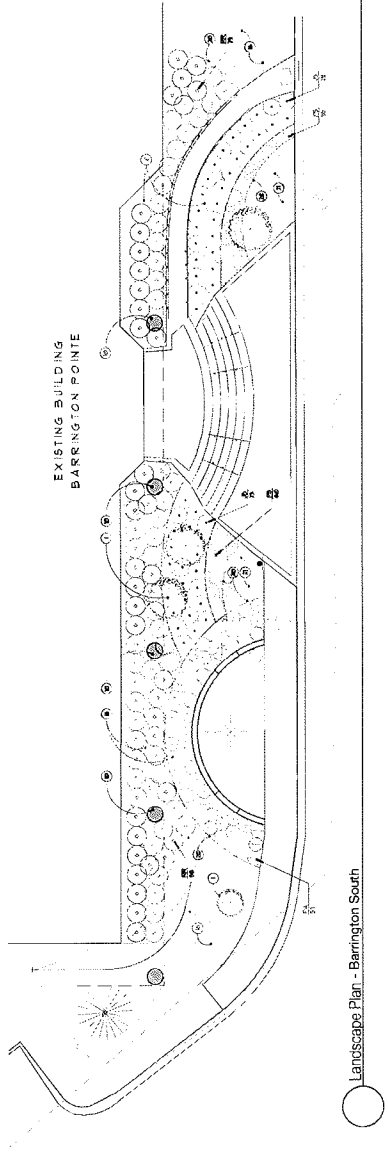


Existing Conditions - Barrington North

Existing Conditions - Barrington South

- 1. EXISTING BUILDING (GREENSPPOINT)
- 2. EXISTING POND
- 3. EXISTING DRIVEWAY
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- 498. EXISTING PARKING
- 499. EXISTING WALKWAY
- 500. EXISTING PLANTING









Greenspoint Office Park
Hoffman Estates, IL

Greenspoint Dining Terrace
08.28.2018

**GRASSIM
METZ ASSOCIATES
ANDRIESE**



Greenspoint Office Park
Hoffman Estates, IL

Greenspoint Central Terrace
08.06.2016





Greenspoint Office Park
Hoffman Estates, IL

Barrington Terrace
08.08.2018



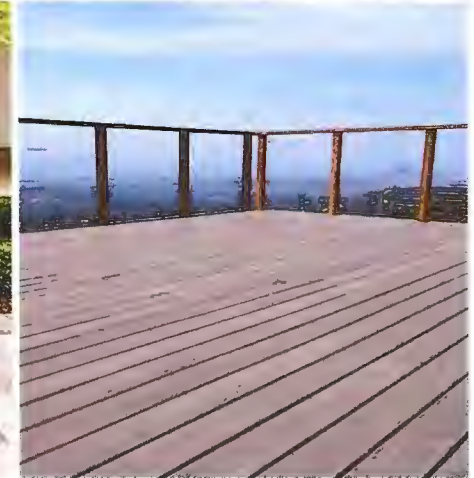
COLORED CONCRETE PAVEMENT



MACKINAW RETAINING WALL by UNILOCK



UMBRIANO SUMMER WHEAT by UNILOCK



COASTLINE SYNTHETIC WOOD DECKING by AZEK



CUSTOM ROUND PERGOLA



GO OUTDOOR TABLE by LANDSCAPE FORMS



PARALLEL 42 by LANDSCAPE FORMS



PARC VUE BENCH by LANDSCAPE FORMS



OCEAN MASTER MAX CANTILEVER by TUUCI



PARC CENTRE CHAIR AND TABLE by LANDSCAPE FORMS

Greenspoint Office Park
Hoffman Estates, IL

Character Images
Site Furniture
08.06.2016

GRISSIM
METZ ASSOCIATES
ANDRIESE



MINI LED BOLLARDS by BEGA



HAWTHORNE PATH LIGHT by LANDSCAPE FORMS - existing on site



GROUND MOUNTED LED by BEGA



LIGHTED RAILING



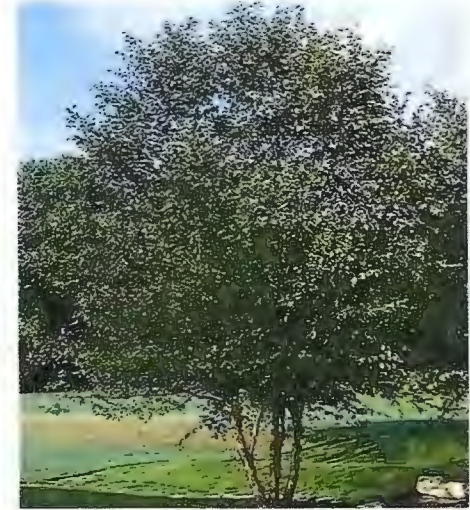
POLE LIGHT 88 977 by BEGA



SUGAR MAPLE



HACKBERRY



HERITAGE RIVER BIRCH



DARK GREEN ARBORVITAE



MULTI-STEM RED SUNSET MAPLE



ELIJAH BLUE FESCUE



DWARF FOUNTAIN GRASS



BROADMOOR JUNIPER



DAYLILY



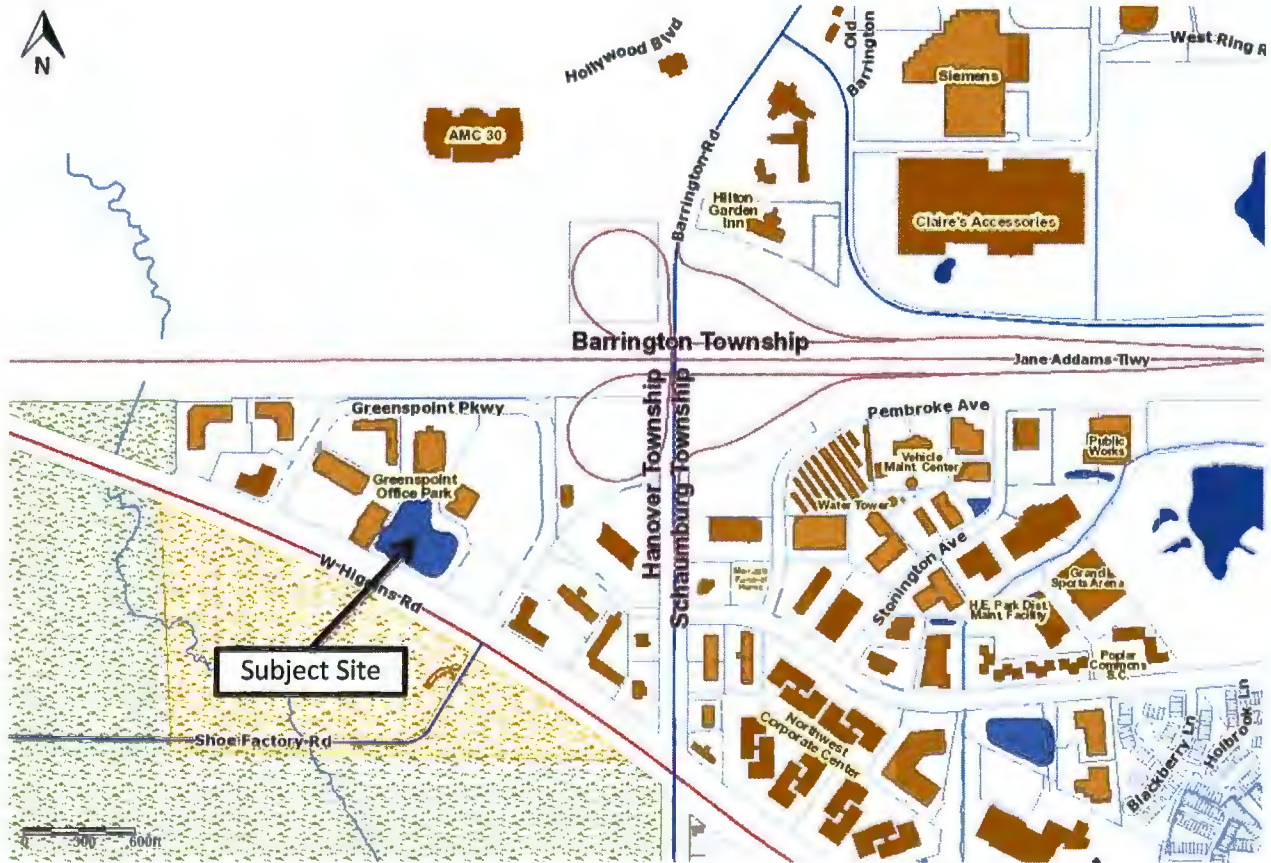
COLEUS



KNOCK OUT ROSE

Greenspoint Office Park

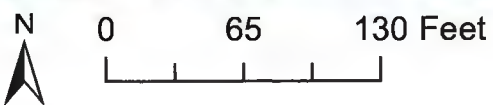
PIN : 06-01-200-037-0000



May 2019
Village of Hoffman Estates
Planning Division



**Greenspoint Office Park
2730 Higgins Rd**



**Planning Division
Village of Hoffman Estates
May 2019**

Greenspoint Office Park and Barrington Pointe Building - Amenities Improvements

Hoffman Estates, Illinois

Issued for: Bids

Date: 4/26/2019



Drawing Index Key:		
<input checked="" type="checkbox"/>	Drawing Issued	
<input type="checkbox"/>	Drawing Not Issued	
<input type="checkbox"/>	Drawing Issued for Reference Only	
Drawing Index:		
---	COVER	•••
L100	TOPOGRAPHICAL SURVEY	•••
L101	SCHEMATIC PLAN	•••
L102	SITE PREFECTION DETAILS	•••
L201	PAVING PLAN	•••
L301	LAYOUT PLAN	•••
L401	GRADING PLAN	•••
L501	SITE DETAILS	•••
L502	SITE DETAILS	•••
L503	SITE DETAILS	•••
L504	SITE DETAILS	•••
L505	SITE DETAILS	•••
L601	LANDSCAPE PLAN	•••
L602	BARRINGTON POINTE - SOUTH ENTRANCE PAVING & LANDSCAPE PLAN	•••
L603	BARRINGTON POINTE - NORTH ENTRANCE LANDSCAPE PLAN	•••
L604	BARRINGTON POINTE ALTERNATE 1	•••
L605	GREENSPONT ALTERNATE 1	•••
L606	LANDSCAPE DETAILS	•••
I101	IRRIGATION PLANS	•••
I102	IRRIGATION DETAILS	•••

Contacts:

Landscape Architect:

Offshore M&A Associates
 800 East Clark Street
 Northville, Michigan 48167
 248-347-2970
 248-347-2125 fax
 Andrew Pielek
 Paul Andriese

Irrigation:

Circle & Associates, Inc.
 20228 Cedar Hill
 Chevrolet, Michigan 48047
 988-915-4982
 Geoff Geyer

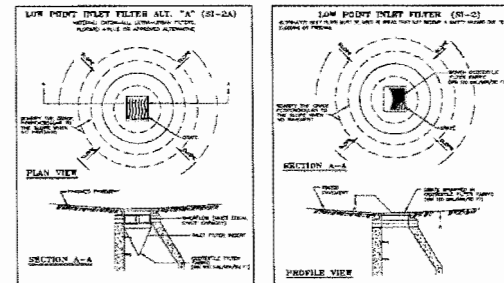
Owner's Representative:

Shawen Management
 Lincoln Property Company
 100 N. LaSalle Street, Suite 2000
 Chicago, Illinois 60602
 312-266-8772

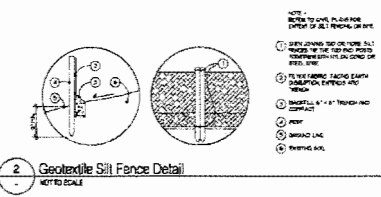
Building Manager:

ICM Ltd.
 Lincoln Property Company
 800 W. Higgins Rd.
 Hoffman Estates, Illinois 60139
 847-884-2800

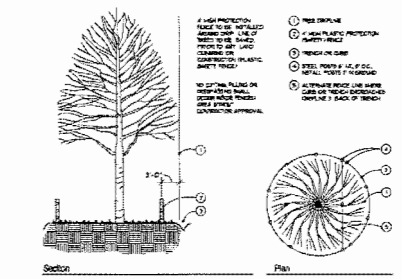
**GRISSIM
 METZ ASSOCIATES
 ANDRIESE**



3 Storm Inlet Filter
NOT TO SCALE



2 Geotextile Silt Fence Detail
NOT TO SCALE



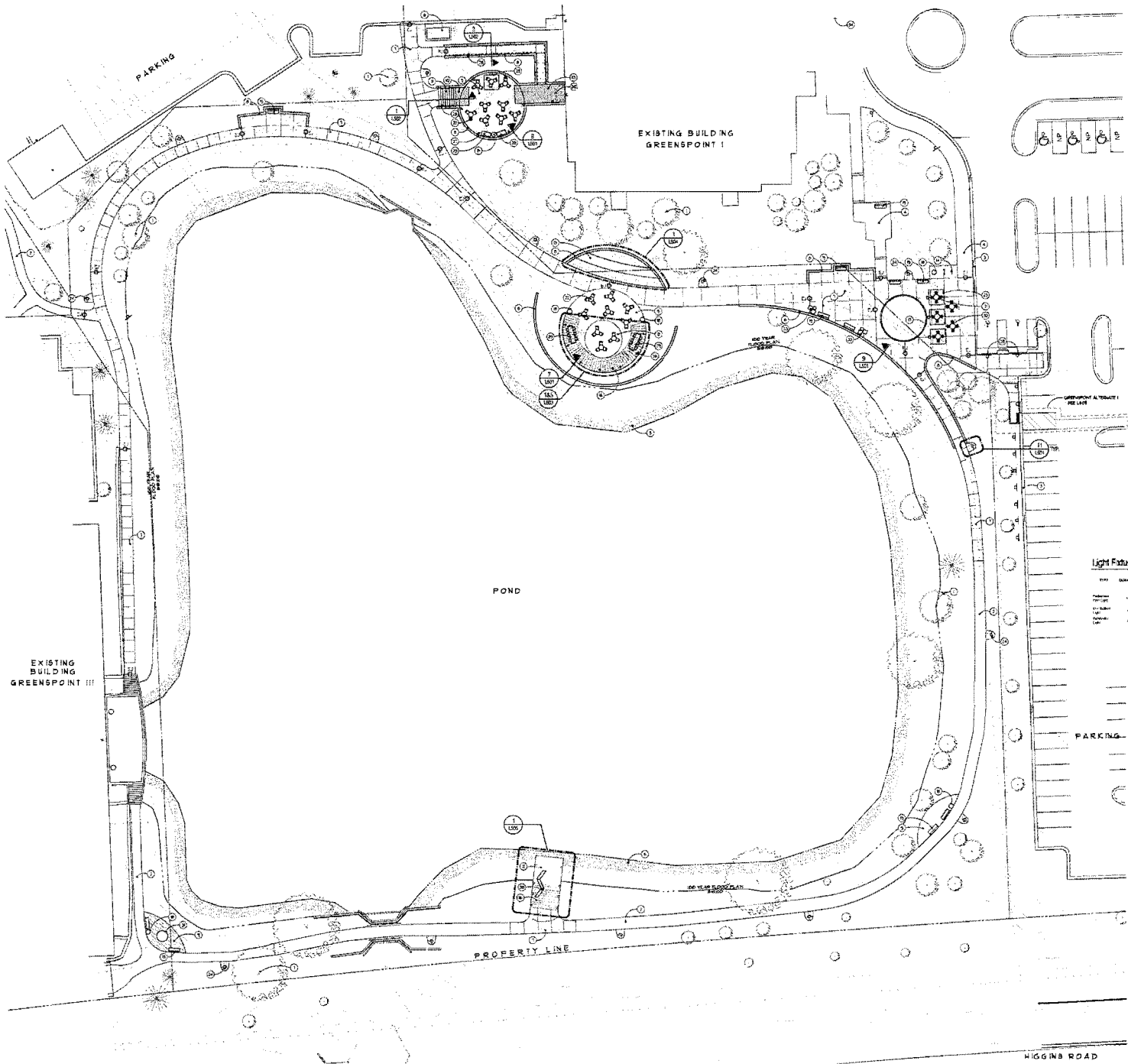
1 Tree Protection Detail
SCALE: 1/4" = 1'-0"

**GRISSIM
METZ
ANDRIESE**
ASSOCIATES

311 East Lech Street
Boscawen, MI 48317
Ph: 248-347-7810

Project	Granspet Office Park
Location	Boscawen, MI
Project Description	Site Protection Details
Drawn By	
Checked By	
Scale	1/4" = 1'-0"

Date	12/27/18
Revision	1/27/2019
By	JKH
Check	JKH



- Note Key:**
- 1 EXISTING TREES TO REMAIN TYP
 - 2 EXISTING SPALLS PAVEN TO REMAIN TYP
 - 3 EXISTING CURB AND GUTTER TO REMAIN TYP
 - 4 EXISTING FINISH TO REMAIN TYP
 - 5 EXISTING EDGE TO REMAIN TYP
 - 6 EXISTING SLOPE TO REMAIN TYP
 - 7 EXPOSED CONCRETE FINISHING TYP - REFER TO DETAIL AND SPEC
 - 8 PRECAST CONCRETE FINISHING TYP - REFER TO DETAIL AND SPEC
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Site Electrical Note:

All electrical and lighting fixtures shall be installed in accordance with the National Electrical Code (NEC) and all applicable local codes. The contractor shall be responsible for obtaining all necessary permits and approvals for the installation of all electrical and lighting fixtures. The contractor shall also be responsible for coordinating with the building owner and other trades to ensure proper installation and operation of all electrical and lighting fixtures.

Light Fixture Schedule

TYPE	QUANTITY	MANUFACTURER	MODEL	WATTAGE	VOLTS	INSTALLATION NOTES
Recessed	10	LEDVANCE	RECESSED	100W	120V	Install in ceiling
Recessed	5	LEDVANCE	RECESSED	150W	120V	Install in ceiling
Recessed	3	LEDVANCE	RECESSED	200W	120V	Install in ceiling
Recessed	2	LEDVANCE	RECESSED	300W	120V	Install in ceiling
Recessed	1	LEDVANCE	RECESSED	400W	120V	Install in ceiling

**GRISSIM
METZ ASSOCIATES
ANDRIESE**

311 East Cody Street
Northville, MI 48167
Ph: 248-347-7010

Project: Greenspoint Office Park

Address: 311 East Cody Street, Northville, MI 48167

Client: Greenspoint Office Park

Site: Greenspoint Office Park

Scale: 1/8" = 1'-0"

Date: 11/18/2017

Drawn by: AMM, TD

Checked by: AMM

Scale: 1/8" = 1'-0"

Date	By	Check By
12/21/18	AMM	TD
2/15/19	AMM	TD
4/1/2019	AMM	TD
4/26/2019	AMM	TD

Scale: 1/8" = 1'-0"

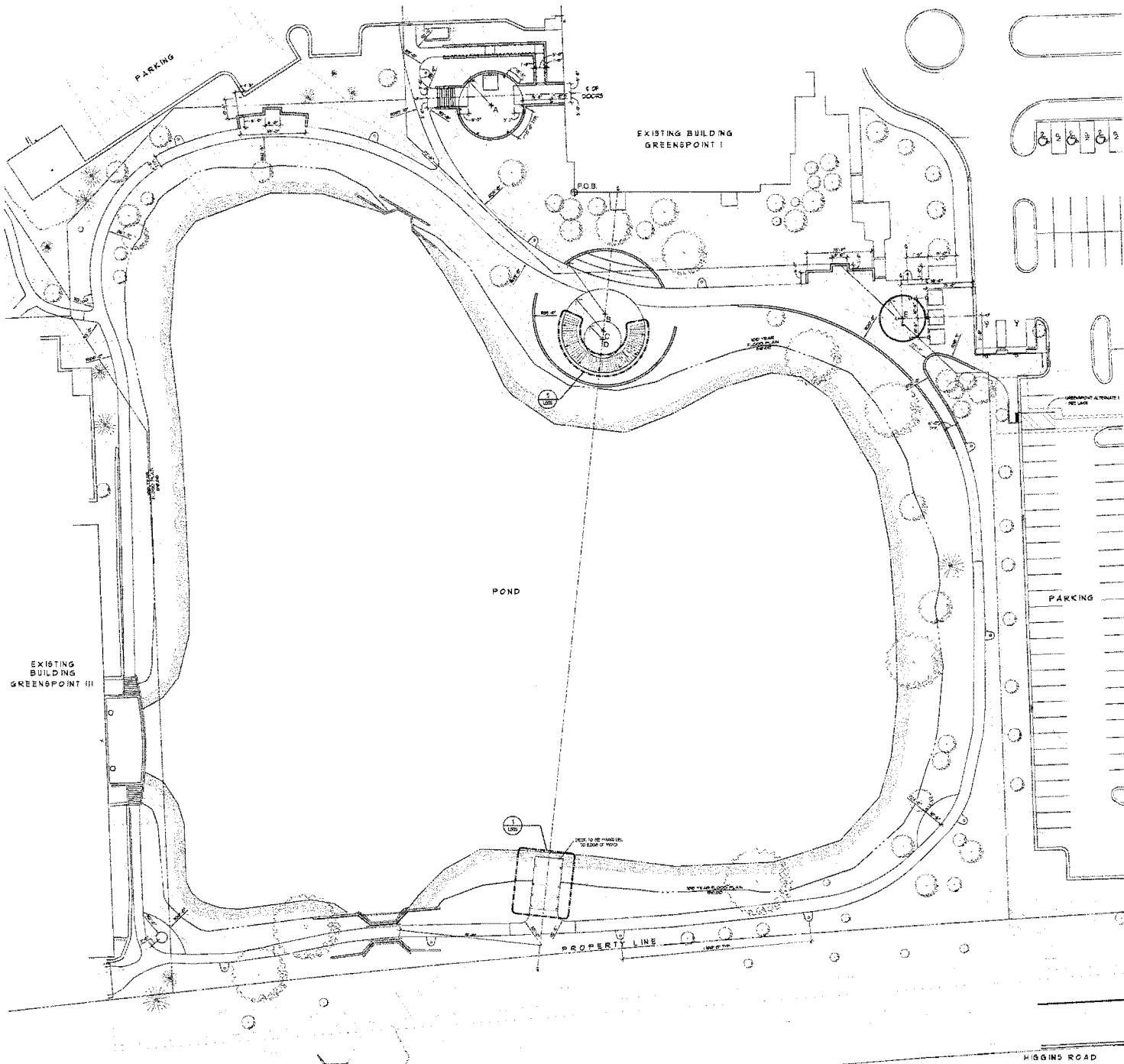
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SCALE: 1/8" = 1'-0"



L201



Legend:

- ▲ ASSESSMENT CENTER POINT - REFER TO ASSESSMENT LAYOUT SCHEDULE
- POB POINT OF BEGINNING FOR AREAS LAYOUT - REFER TO SCHEDULE

Are Radius Layout Schedule

SECTION	SECTION DESCRIPTION	DATE	APPROVED
1	AREAS LAYOUT	11/14/18	[Signature]
2	AREAS LAYOUT	11/14/18	[Signature]
3	AREAS LAYOUT	11/14/18	[Signature]
4	AREAS LAYOUT	11/14/18	[Signature]
5	AREAS LAYOUT	11/14/18	[Signature]

NOTE: LAYOUT SCHEDULE APPLICABLE PROJECT WHEN FOR CONSTRUCTION DOCUMENTS

- General Layout Notes:**
- LAYOUT TO BE CONSIDERED BY A REGISTERED SURVEYOR ADHERING TO ALL APPLICABLE STATE AND FEDERAL REQUIREMENTS FOR LAYOUTS.
 - ALL AREAS LAYOUT SHALL BE SHOWN ON PLANS IN THE FIELD AND SURVEYED BY THE SURVEYOR FOR ANY ADJUSTMENTS PRIOR TO PROCEEDING.
 - ALL DIMENSIONS IN THIS LAYOUT SHALL BE SHOWN TO THE CENTER OF THE LAYOUT UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS SHALL BE SHOWN TO THE CENTER OF THE LAYOUT UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS SHALL BE SHOWN TO THE CENTER OF THE LAYOUT UNLESS OTHERWISE NOTED.

**GRISSIM
METZ
ANDRIESE** ASSOCIATES

371 East Cady Street
Northville, MI 48167
PH: 248-347-7010

Project: Greenpoint Office Park

Location: Greenpoint Office Park

Client: Greenpoint Office Park

Project No: 118-181-003

Date: 11/14/18

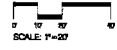
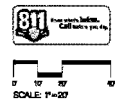
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Sheet: 1301

Drawn by: [Signature]

Checked by: [Signature]

Approved by: [Signature]

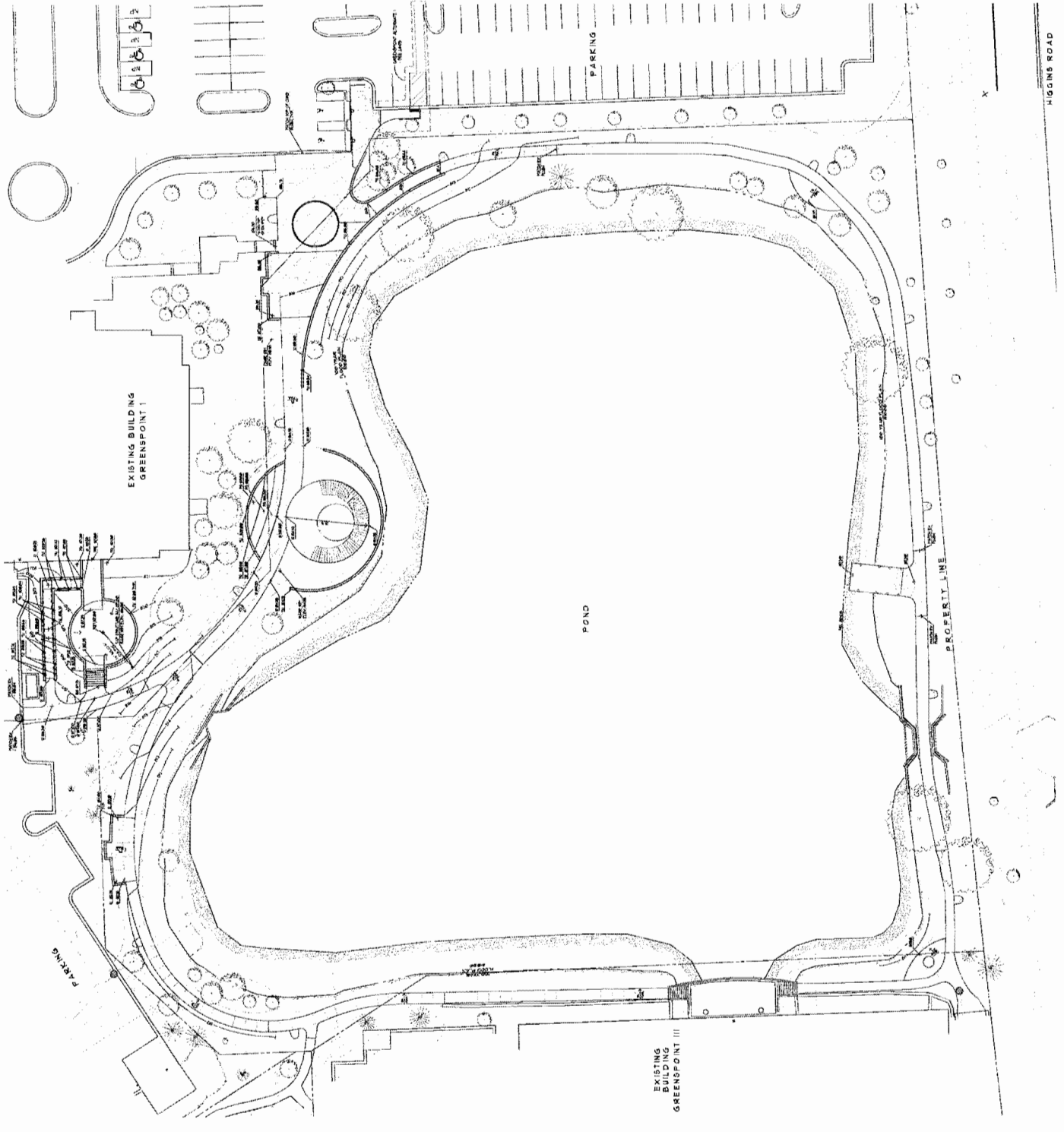


1301

- General Grading Notes:**
1. ALL GRADES SHALL BE TO FINISHED GRADE UNLESS OTHERWISE NOTED.
 2. ALL GRADES SHALL BE TO FINISHED GRADE UNLESS OTHERWISE NOTED.
 3. ALL GRADES SHALL BE TO FINISHED GRADE UNLESS OTHERWISE NOTED.
 4. ALL GRADES SHALL BE TO FINISHED GRADE UNLESS OTHERWISE NOTED.
 5. ALL GRADES SHALL BE TO FINISHED GRADE UNLESS OTHERWISE NOTED.
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 8. ALL GRADES SHALL BE TO FINISHED GRADE UNLESS OTHERWISE NOTED.
 9. ALL GRADES SHALL BE TO FINISHED GRADE UNLESS OTHERWISE NOTED.
 10. ALL GRADES SHALL BE TO FINISHED GRADE UNLESS OTHERWISE NOTED.

Legend:

1	EXISTING CONTOUR LINE
2	PROPOSED CONTOUR LINE
3	PROPOSED ROAD
4	TOP OF WALL
5	PROPOSED DRAINAGE
6	PROPOSED CURB
7	PROPOSED DRIVE
8	PROPOSED DRIVE
9	PROPOSED DRIVE
10	PROPOSED DRIVE



**GRISSIM
METZ
ASSOCIATES
ANDRIESE**

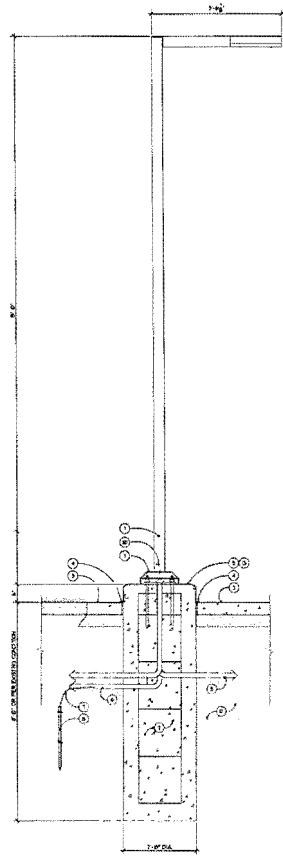
311 East Golf Street
Bloomington, IL 61817
PH: 248.814.2010

PROJECT NO.	14-01-02
DATE	06/11
SCALE	1" = 20'
DRAWN BY	
CHECKED BY	
DATE	
PROJECT NO.	14-01-02
DATE	06/11
SCALE	1" = 20'
DRAWN BY	
CHECKED BY	
DATE	

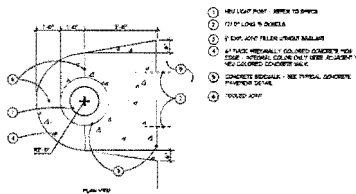
811 Call Before You Dig

SOLE 1"=20'

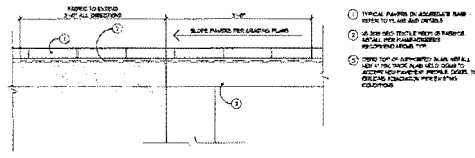
1401



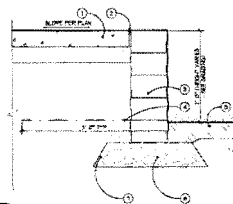
12 Typical Pole Light Installation Detail
SCALE: 1/2" = 1'-0"



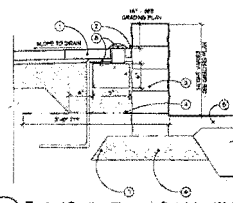
11 Typical Light Pole Pavement Layout
SCALE: 1/8" = 1'-0"



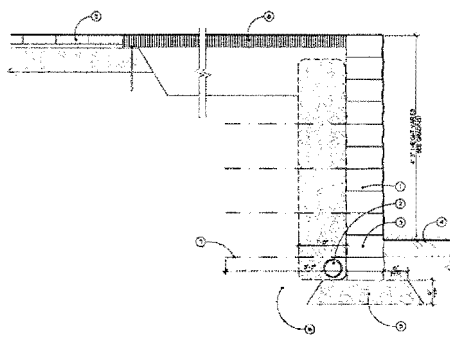
10 Typical Pavers over Supported Slab
SCALE: 1" = 1'-0"



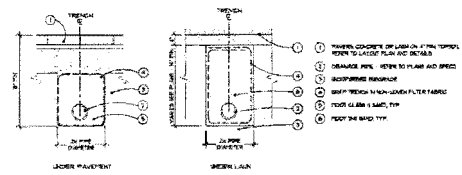
9 Typical Section Through Retaining Wall Adjacent to Concrete Walk
SCALE: 1" = 1'-0"



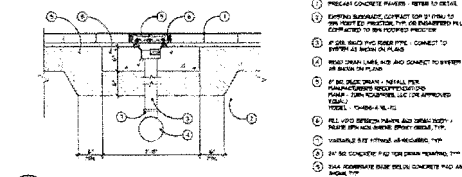
8 Typical Section Through Retaining Wall at Dining Terrace
SCALE: 1" = 1'-0"



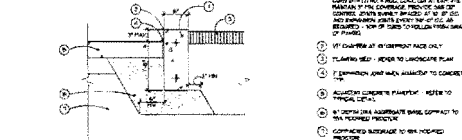
7 Typical Section Through Retaining Wall at Seating Area
SCALE: 1" = 1'-0"



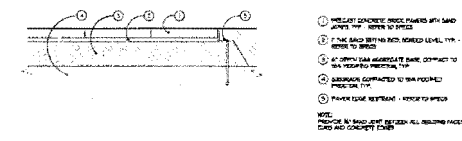
6 Typical Drain Tile Installation Details
SCALE: 1" = 1'-0"



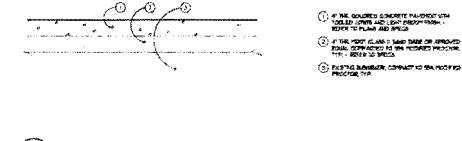
5 Typical Plaza Drain Detail
SCALE: 1" = 1'-0"



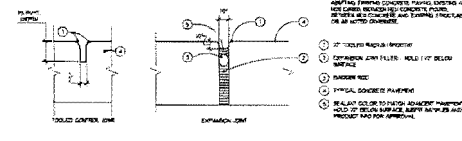
4 Typical 3' Ht. Concrete Planter Curb
SCALE: 1" = 1'-0"



3 Typical Pavers on Aggregate Base
SCALE: 1" = 1'-0"



2 Typical 4' Thick Concrete Pavement
SCALE: 1" = 1'-0"



1 Typical Expansion Joint / Topped Central Joint Details
NOT TO SCALE

**GRISSIM
METZ
ANDRIESE**

389 East Cary Street
Northville, MI 48167
Ph: 248-847-7610

Project: **Greenpoint Office Park**
Inflow East, East
Aerialview, Improvements

Site: **Site Details**

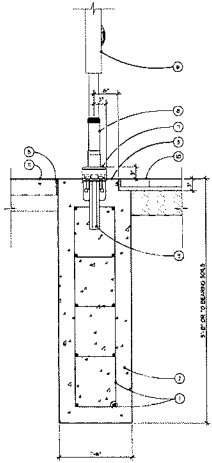
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Date: **08/13**
Scale: **AS SHOWN**

Drawn By: **TSJ**
Checked By: **TSJ**

Project No: **118-181-007**
Date: **08/13**

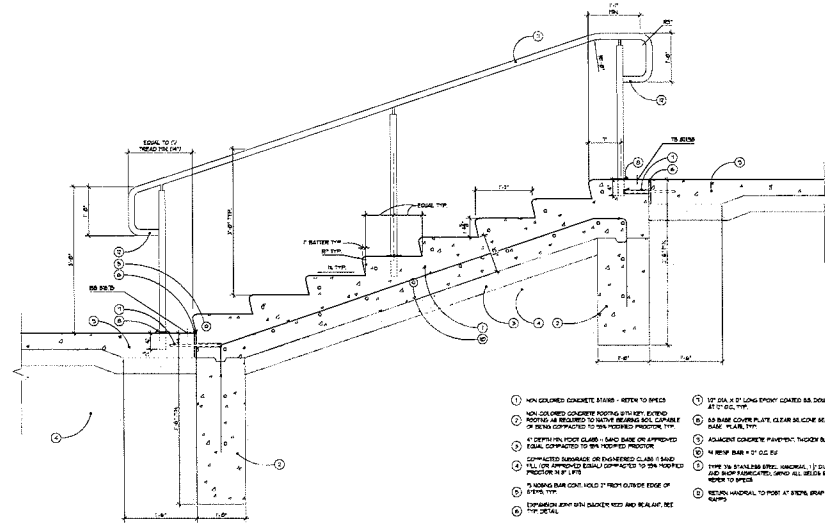
Scale: **AS SHOWN**

L501



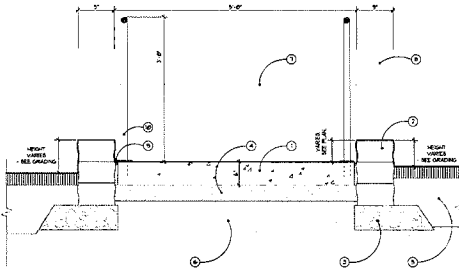
- 1 REMAINS AS SHOWN FOR CASE IN FOOTING 3" MIN COVERAGE TYP
- 2 SMT IN PLACE CONCRETE FOOTING FOR 6" BONDORITE
- 3 NEW 1/2" WEPER PERFORATED POLYMER BITUMEN MEMBRANE OR EQUIVALENT TO ACCEPT PAINTED PAVEMENT OVER EXISTING POLYMER CONCRETE FOOTING AT FINISH GRADE & CLEAN 1" FROM PAINTED SURFACE
- 4 SET FINISH OR GRADE TO 1/2" BELOW TOP OF AS REQUIRED
- 5 PROVIDE TYP JOINT BETWEEN CONCRETE AND FOOTING
- 6 1/2" SINGLE GATHER-UP OVER 1/2" WEPER TYP PARALLEL TO FINISH GRADE
- 7 STAINLESS STEEL SHEET COVER PLATE BY TYPICAL INSTALL PER MANUFACTURER'S SPECIFICATIONS
- 8 STAINLESS STEEL TIE ROD SECURED WITH BUSHES BY TYPICAL INSTALL PER MANUFACTURER'S SPECIFICATIONS
- 9 STAINLESS STEEL W/GRAND SECURITY TYPED BY TYPICAL INSTALL PER MANUFACTURER'S SPECIFICATIONS
- 10 PRECAST CONCRETE PAVERS REFER TO DETAIL PROVIDE 1/2" SAND JOINT BETWEEN PAVERS AND FOOTING
- 11 ADHESIVE PAINTMENT REFER TO DETAIL

4 Typical In-Ground Umbrella Mounting Detail
SCALE: 1/2" = 1'-0"



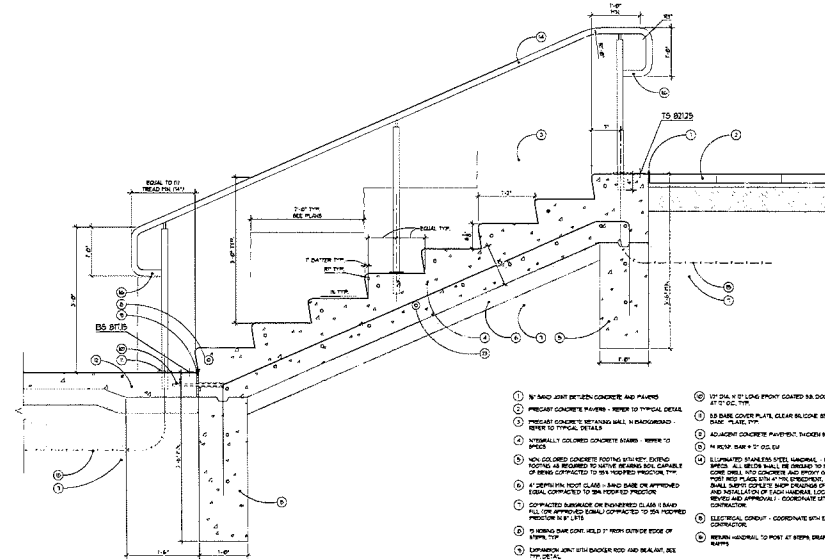
- 1 4" UNCOLORED CONCRETE STAIRS - REFER TO SPEC
- 2 1/2" PRECAST CONCRETE FOOTING 6" MIN EMBEDMENT REQUIRED AS REQUIRED TO HAVE BEARING SOIL CAPABLE OF BEING COMPACTED TO 95% PROVED PROCTOR TYP
- 3 1" DEPTH POLYMER SLAB SAND BASE OR APPROVED EQUAL COMPACTED TO 95% PROVED PROCTOR
- 4 COMPACTED SURFACE OR FINISHED CLASS 1 SAND FILL OR APPROVED EQUAL COMPACTED TO 95% PROVED PROCTOR TYP
- 5 1/2" POLYMER SLAB SAND BASE OR APPROVED EQUAL COMPACTED TO 95% PROVED PROCTOR TYP
- 6 EXPANSION JOINT WITH BACKER ROD AND SEALANT SEE TYPICAL DETAIL
- 7 1/2" DIA. 1/2" LONG EPDM COATED BA DOWEL WITH CAP AT 1/2" O.C. TYP
- 8 1/2" BASE COVER PLATE CLEAR 1/2" FROM SEALANT AROUND BASE PLATE TYP
- 9 ADJACENT CONCRETE PAVERS THICKER SLAB TO 6" MIN
- 10 1/4" WEPER BAR # 7 @ 6" O.C. E/B
- 11 5" DIA. 1/2" LONG STAINLESS STEEL W/GRAND 1/2" DIA. WELDED AND BUSH BARRIAGED W/EPER ALL BEARS PROOF REFER TO SPEC
- 12 REMAIN W/GRAND TO POINT AT WEPER BRUSH CORNER AT WEPER

2 Concrete Stair Detail - Barrington Alternate 1
SCALE: 1" = 1'-0"



- 1 4" PAINT COLORED CONCRETE PAVERS - REFER TO DETAIL
- 2 TYPICAL SMT JOINT LEVEL, UNCOLORED CONCRETE WITH COARSENESS AND MAX LEVEL OF LAPORITE PER OFFICE PRACTICE AS REQUIRED TO HAVE BEARING SOIL CAPABLE OF BEING COMPACTED TO 95% PROVED PROCTOR TYP
- 3 1" DEPTH POLYMER SLAB SAND BASE OR APPROVED EQUAL COMPACTED TO 95% PROVED PROCTOR
- 4 1/2" POLYMER SLAB SAND BASE OR APPROVED EQUAL COMPACTED TO 95% PROVED PROCTOR TYP
- 5 TYPICAL LANDSCAPE BED
- 6 COMPACTED SURFACE OR FINISHED CLASS 1 SAND FILL OR APPROVED EQUAL COMPACTED TO 95% PROVED PROCTOR TYP
- 7 SAND BEDTING
- 8 1/2" WEPER BAR # 7
- 9 TYPICAL 1/2" EXPANSION JOINT BETWEEN SMT AND CONCRETE SLAB
- 10 EXPANSION JOINT WITH BACKER ROD AND SEALANT SEE TYPICAL DETAIL
- 11 ELECTRICAL GROUND - COORDINATE WITH ELECTRICAL CONTRACTOR
- 12 REMAIN W/GRAND TO POINT AT WEPER BRUSH CORNER AT WEPER

3 Typical Section Through Ramp
SCALE: 1" = 1'-0"



- 1 1/2" DIA. 1/2" LONG EPDM COATED BA DOWEL WITH CAP AT 1/2" O.C. TYP
- 2 1/2" BASE COVER PLATE CLEAR 1/2" FROM SEALANT AROUND BASE PLATE TYP
- 3 ADJACENT CONCRETE PAVERS THICKER SLAB TO 6" MIN
- 4 1/4" WEPER BAR # 7 @ 6" O.C. E/B
- 5 5" DIA. 1/2" LONG STAINLESS STEEL W/GRAND 1/2" DIA. WELDED AND BUSH BARRIAGED W/EPER ALL BEARS PROOF REFER TO SPEC
- 6 EXPANSION JOINT WITH BACKER ROD AND SEALANT SEE TYPICAL DETAIL
- 7 1/2" DIA. 1/2" LONG EPDM COATED BA DOWEL WITH CAP AT 1/2" O.C. TYP
- 8 1/2" BASE COVER PLATE CLEAR 1/2" FROM SEALANT AROUND BASE PLATE TYP
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- 11 5" DIA. 1/2" LONG STAINLESS STEEL W/GRAND 1/2" DIA. WELDED AND BUSH BARRIAGED W/EPER ALL BEARS PROOF REFER TO SPEC
- 12 ELECTRICAL GROUND - COORDINATE WITH ELECTRICAL CONTRACTOR
- 13 REMAIN W/GRAND TO POINT AT WEPER BRUSH CORNER AT WEPER

1 Concrete Stair Detail
SCALE: 1" = 1'-0"

**GRISSIM
METZ
ASSOCIATES
ANDRIESE**

300 East Cody Street
Northville, MI 48167
Ph: 248-347-7010

Project Name:	Greenspot Office Park
Client:	Amnity Investments
Site Details:	
Site Address:	
Site Area:	
Site Zoning:	
Site Elevation:	
Site Orientation:	
Site Photos:	
Site Map:	
Site Plan:	
Site Section:	
Site Detail:	
Site Elevation:	
Site Orientation:	
Site Photos:	
Site Map:	
Site Plan:	
Site Section:	
Site Detail:	

11/27/18
4/1/2019
4/26/2019

11/27/18
4/1/2019
4/26/2019

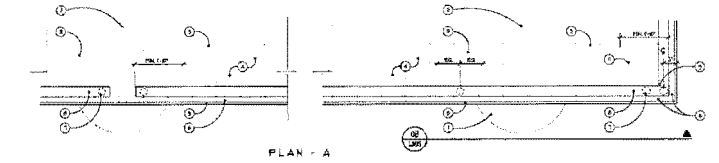
11/27/18
4/1/2019
4/26/2019

11/27/18
4/1/2019
4/26/2019

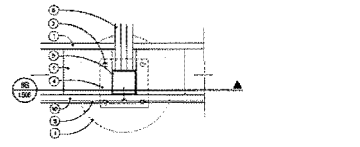
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4/1/2019
4/26/2019

11/27/18
4/1/2019
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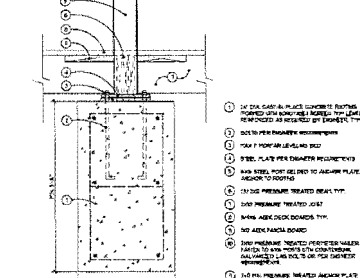
L502



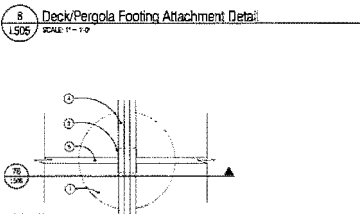
6 Deck/Pergola Footing Attachment Detail
SCALE: 1" = 1'-0"



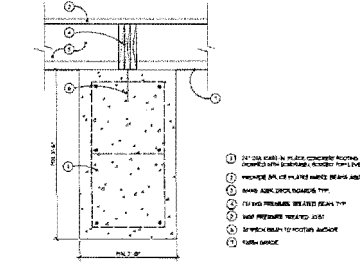
6 Deck/Pergola Footing Attachment Detail
SCALE: 1" = 1'-0"



6 Deck/Pergola Footing Attachment Detail
SCALE: 1" = 1'-0"

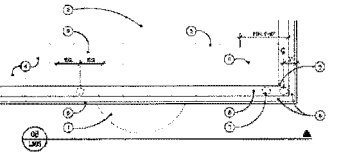


6 Deck/Pergola Footing Attachment Detail
SCALE: 1" = 1'-0"

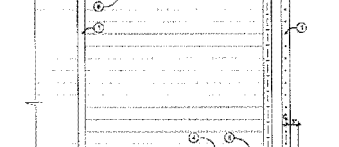


6 Deck/Pergola Footing Attachment Detail
SCALE: 1" = 1'-0"

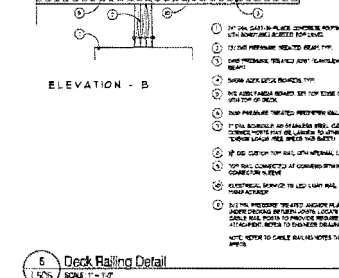
7 Deck Footing Detail
SCALE: 1" = 1'-0"



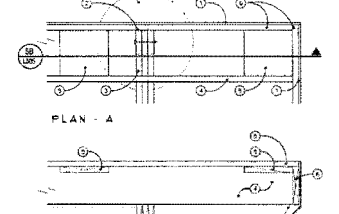
5 Deck Railing Detail
SCALE: 1" = 1'-0"



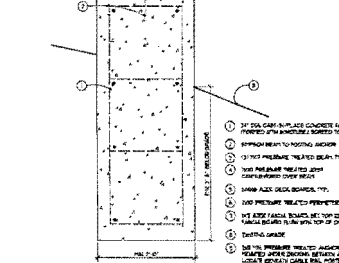
5 Deck Railing Detail
SCALE: 1" = 1'-0"



5 Deck Railing Detail
SCALE: 1" = 1'-0"

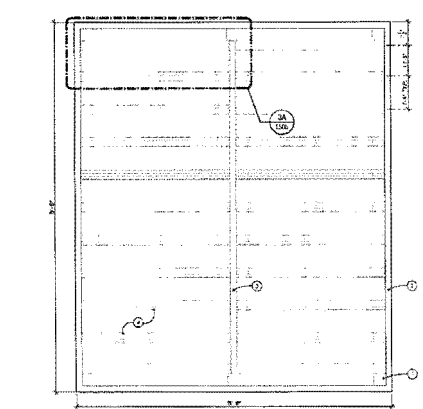


5 Deck Railing Detail
SCALE: 1" = 1'-0"

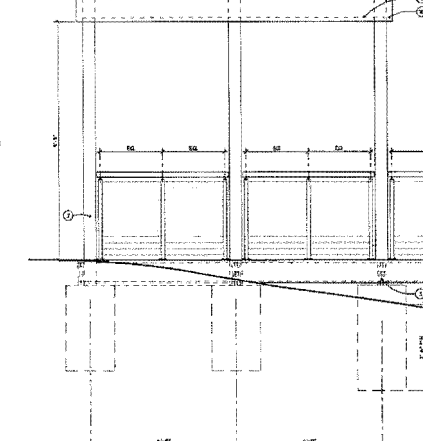


5 Deck Railing Detail
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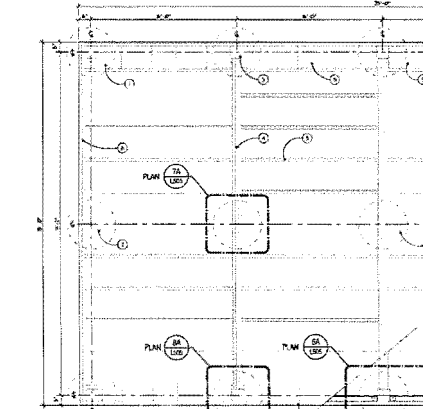
5 Deck Footing Detail
SCALE: 1" = 1'-0"



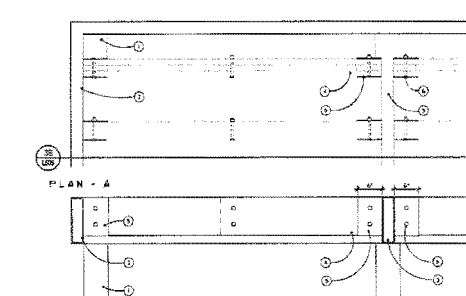
2 South Deck Pergola Plan & Details
SCALE: 1/2" = 1'-0"



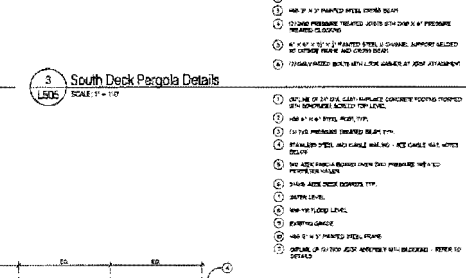
3 South Deck Pergola Details
SCALE: 1" = 1'-0"



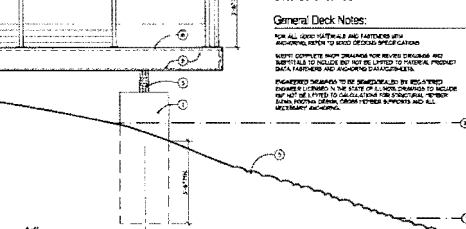
4 South Deck Framing Plan
SCALE: 1/2" = 1'-0"



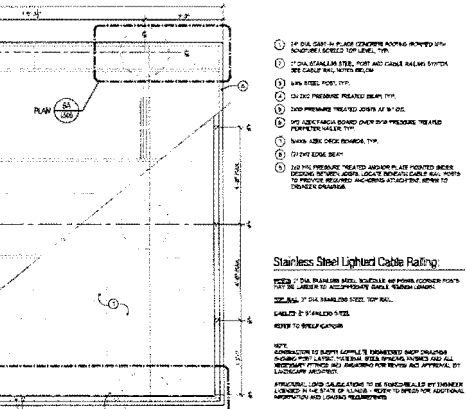
3 South Deck Pergola Details
SCALE: 1" = 1'-0"



3 South Deck Pergola Details
SCALE: 1" = 1'-0"



3 South Deck Pergola Details
SCALE: 1" = 1'-0"



1 South Deck Framing Plan
SCALE: 1/2" = 1'-0"

- NOTES: REFER TO GENERAL NOTES
1. 2x4 SIPS ON 4" MINIMUM SPACED CONCRETE FOOTING PERMITTED TO BE EXPOSED TO WEATHER.
 2. 2x4 SIPS ON 4" MINIMUM SPACED CONCRETE FOOTING PERMITTED TO BE EXPOSED TO WEATHER.
 3. 2x4 SIPS ON 4" MINIMUM SPACED CONCRETE FOOTING PERMITTED TO BE EXPOSED TO WEATHER.
 4. 2x4 SIPS ON 4" MINIMUM SPACED CONCRETE FOOTING PERMITTED TO BE EXPOSED TO WEATHER.
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 6. 2x4 SIPS ON 4" MINIMUM SPACED CONCRETE FOOTING PERMITTED TO BE EXPOSED TO WEATHER.

- General Steel Notes:
1. ALL STEEL SHALL BE A36 UNLESS OTHERWISE NOTED.
 2. ALL STEEL SHALL BE GALVANNEAL UNLESS OTHERWISE NOTED.
 3. ALL STEEL SHALL BE GALVANNEAL UNLESS OTHERWISE NOTED.
 4. ALL STEEL SHALL BE GALVANNEAL UNLESS OTHERWISE NOTED.
 5. ALL STEEL SHALL BE GALVANNEAL UNLESS OTHERWISE NOTED.
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- NOTES: REFER TO GENERAL NOTES
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 3. 2x4 SIPS ON 4" MINIMUM SPACED CONCRETE FOOTING PERMITTED TO BE EXPOSED TO WEATHER.
 4. 2x4 SIPS ON 4" MINIMUM SPACED CONCRETE FOOTING PERMITTED TO BE EXPOSED TO WEATHER.
 5. 2x4 SIPS ON 4" MINIMUM SPACED CONCRETE FOOTING PERMITTED TO BE EXPOSED TO WEATHER.
 6. 2x4 SIPS ON 4" MINIMUM SPACED CONCRETE FOOTING PERMITTED TO BE EXPOSED TO WEATHER.

- Stainless Steel Lighted Cable Railing:
1. 2x4 SIPS ON 4" MINIMUM SPACED CONCRETE FOOTING PERMITTED TO BE EXPOSED TO WEATHER.
 2. 2x4 SIPS ON 4" MINIMUM SPACED CONCRETE FOOTING PERMITTED TO BE EXPOSED TO WEATHER.
 3. 2x4 SIPS ON 4" MINIMUM SPACED CONCRETE FOOTING PERMITTED TO BE EXPOSED TO WEATHER.
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- NOTES: REFER TO GENERAL NOTES
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 5. 2x4 SIPS ON 4" MINIMUM SPACED CONCRETE FOOTING PERMITTED TO BE EXPOSED TO WEATHER.
 6. 2x4 SIPS ON 4" MINIMUM SPACED CONCRETE FOOTING PERMITTED TO BE EXPOSED TO WEATHER.

**GRISSIM
METZ
ANDRIESE**
300 East Coody Street
Berkshire, MA 01817
Ph: 218-347-7810

Project Name	Spergonfarm Office Park
Client	Perkins + Eastman Architects
Site	See Details
Scale	As Shown
Date	11/11/11
Drawn By	ML
Checked By	ML
Scale	1/2" = 1'-0"
Date	11/11/11

Sheet No.	11/11/11
Scale	1/2" = 1'-0"
Date	11/11/11
Drawn By	ML
Checked By	ML
Scale	1/2" = 1'-0"
Date	11/11/11

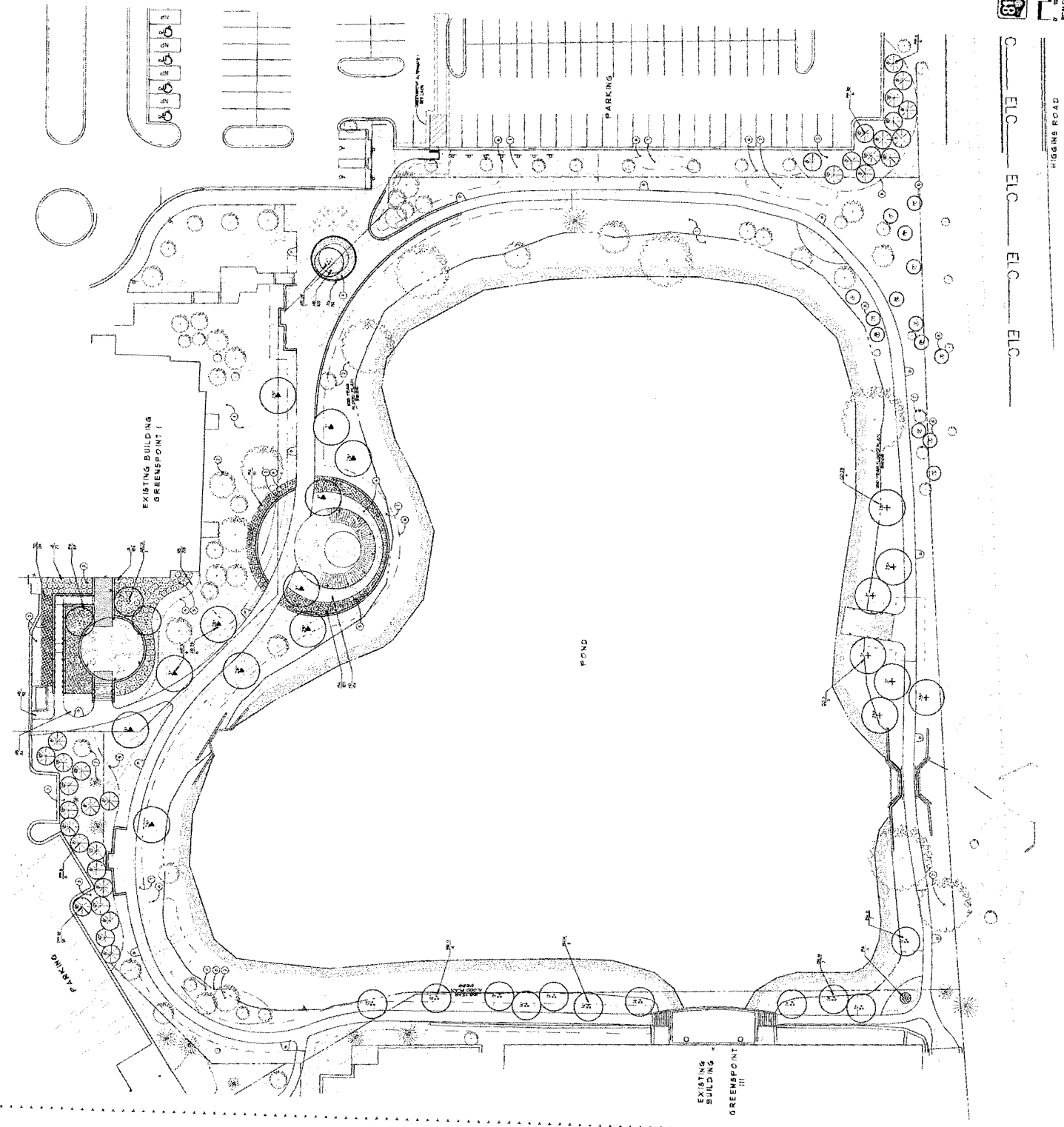
1505
Griffin & Johnson Architects, Inc.

Project Name	Greenpoint I, II, III
Client	Greenpoint I, II, III
Site Address	1100 E. State St., Ann Arbor, MI 48106
Scale	1" = 20'-0"
Date	11/10/10
Drawn By	MM
Checked By	MM
Project No.	1100-10
Sheet No.	1601

- NOTE KEY:**
- 1) EXISTING LANDSCAPE AREA TO REMAIN UNCHANGED.
 - 2) EXISTING TREES TO REMAIN.
 - 3) EXISTING TREES TO BE REMOVED AND REPLACED WITH NEW TREES.
 - 4) EXISTING TREES TO BE REMOVED AND REPLACED WITH NEW TREES.
 - 5) EXISTING TREES TO BE REMOVED AND REPLACED WITH NEW TREES.
 - 6) EXISTING TREES TO BE REMOVED AND REPLACED WITH NEW TREES.
 - 7) EXISTING TREES TO BE REMOVED AND REPLACED WITH NEW TREES.
 - 8) EXISTING TREES TO BE REMOVED AND REPLACED WITH NEW TREES.
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 - 10) EXISTING TREES TO BE REMOVED AND REPLACED WITH NEW TREES.

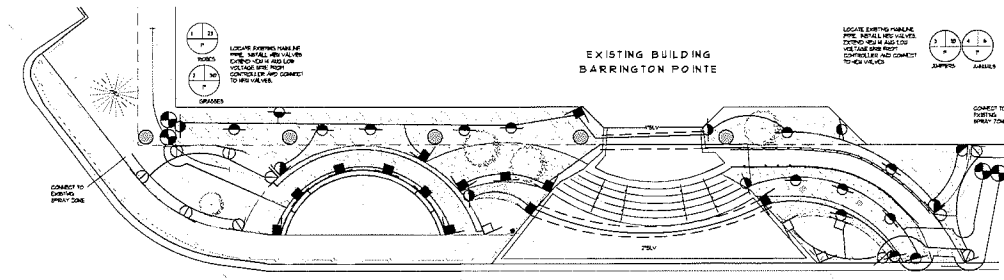
Plant List

Plant	Quantity	Notes
1. Tree	100	...
2. Tree	50	...
3. Tree	20	...
4. Tree	10	...
5. Tree	5	...
6. Tree	3	...
7. Tree	2	...
8. Tree	1	...
9. Tree	1	...
10. Tree	1	...



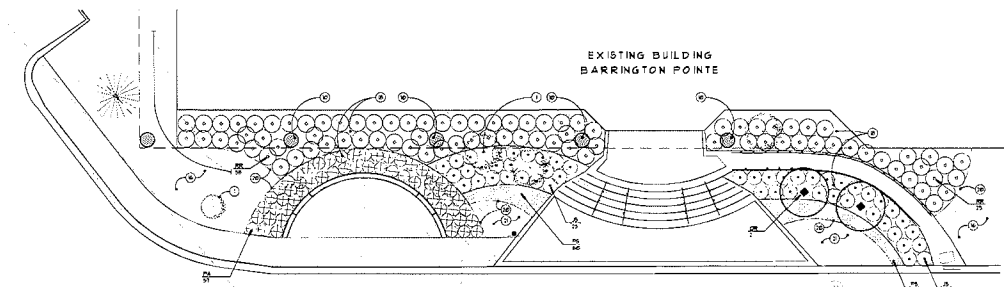
HIGGINS ROAD

ELC — ELC — ELC — ELC



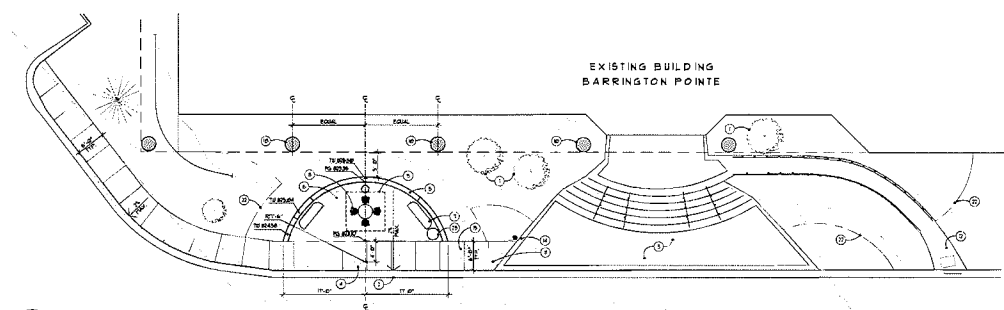
IRRIGATION CONTRACTOR TO FIELD VERIFY THE FOLLOWING:
 - EXISTING CHASE LOCATION AND SIZE
 - EXISTING CHASE PIPE ROUTING AND SIZE
 - EXISTING CONTROL VALVE LOCATION AND CAPACITY FOR ADDING NEW ZONES
 - EXISTING SYSTEM REMAINS REQUIRED AS A RESULT OF THE PROPOSED LANDSCAPE AND TREE PROJECTIONS
 - OBTAIN FIELD MEASUREMENTS, CONTACT LANDSCAPE ARCHITECT AND CONSULT LOCAL PROFESSIONALS TO THE IRRIGATION SCOPE OF WORK TO ACCOMMODATE EXISTING CONDITIONS

4 Irrigation Plan
 SCALE: 1" = 10'-0"



- Note Key:** (APPLY TO ALL DRAWINGS UNLESS NOTED)
- 1 EXISTING TREES TO REMAIN, TYP.
 - 2 EXISTING GRASS AND GARDEN TO REMAIN, TYP.
 - 3 EXISTING PAVEMENT TO REMAIN, TYP.
 - 4 CONCRETE FINISH, FRESH TOP OF CURB FLUSH, TYP. REFER TO DETAIL.
 - 5 PRECAST CONCRETE BLOCK WALL, TYP. REFER TO DETAIL AND SPEC.
 - 6 PRECAST CONCRETE PAVING BLOCK, 18" X 18" RUNNING BOND PATTERN, 4" THICKNESS, 3/8" JOINTS, OR EQUALS AS REQUIRED, TYP. REFER TO DETAIL AND SPEC.
 - 7 NEW TREES AND SHRUBS, TYP. - REFER TO SPEC.
 - 8 ALL SPINDLES, TYP. - REFER TO DETAIL AND SPEC.
 - 9 EXISTING BUILDING COLUMNS
 - 10 EXISTING FOG
 - 11 EXISTING PAVEMENT TO REMAIN, TYP.
 - 12 EXISTING SIGN TO BE RELOCATED
 - 13 RELOCATED SIGN LOCATION
 - 14 ADJUST GATE VALVE TO BE FLUSH TO FINISH GRADE AS REQUIRED
 - 15 REMOVE EXISTING PLANT MATERIAL AND ROOT SYSTEMS TO 2' OR AS REQUIRED DEPTH FOR NEW PROJECTIONS
 - 16 IF DEPTH LIMITED GROUND PUMP TO MINIMUM 3' DEPTH
 - 17 EXISTING TREE TO BE REMOVED, GRASS GRUMP TO MINIMUM 3' DEPTH
 - 18 ALIGNMENT BOUND BETWEEN LAWN AND PLAY DECK, TYP. REFER TO SPEC
 - 19 ROCKED LAWN ON 4" DEPTH TOPSOIL, TYP.
 - 20 INSTALL BENCH FOR SEATING - REFER TO LANDSCAPE PLAN
 - 21 NEW TREES REQUIRED AS TO FIELD EXISTING
 - 22 ALL PRICES, TYP. - REFER TO DETAIL.

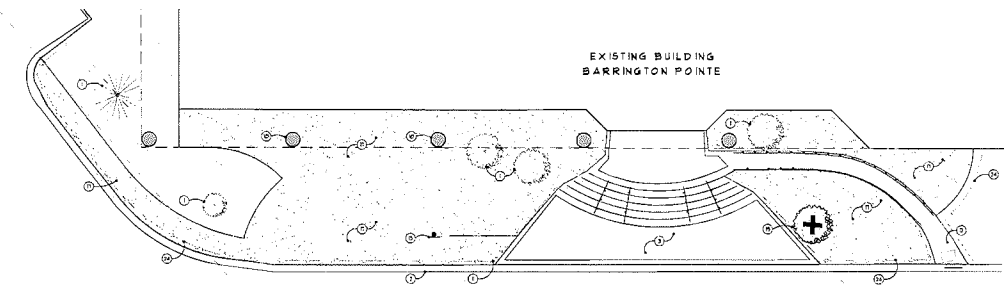
3 Landscape Plan
 SCALE: 1" = 10'-0"



Plant List

NO.	SYM.	DESCRIPTION	QTY.	COMMENTS
1	T	Tree	1	Refer to landscape plan
2	S	Shrub	1	Refer to landscape plan
3	G	Grass	1	Refer to landscape plan
4	P	Paving	1	Refer to landscape plan
5	W	Wall	1	Refer to landscape plan
6	B	Bench	1	Refer to landscape plan
7	F	Furniture	1	Refer to landscape plan
8	L	Lawn	1	Refer to landscape plan
9	R	Rock	1	Refer to landscape plan
10	W	Water	1	Refer to landscape plan
11	S	Sign	1	Refer to landscape plan
12	C	Column	1	Refer to landscape plan
13	F	Fog	1	Refer to landscape plan
14	W	Water	1	Refer to landscape plan
15	S	Sign	1	Refer to landscape plan
16	C	Column	1	Refer to landscape plan
17	F	Fog	1	Refer to landscape plan
18	W	Water	1	Refer to landscape plan
19	S	Sign	1	Refer to landscape plan
20	C	Column	1	Refer to landscape plan
21	F	Fog	1	Refer to landscape plan
22	W	Water	1	Refer to landscape plan
23	S	Sign	1	Refer to landscape plan
24	C	Column	1	Refer to landscape plan
25	F	Fog	1	Refer to landscape plan
26	W	Water	1	Refer to landscape plan
27	S	Sign	1	Refer to landscape plan
28	C	Column	1	Refer to landscape plan
29	F	Fog	1	Refer to landscape plan
30	W	Water	1	Refer to landscape plan
31	S	Sign	1	Refer to landscape plan
32	C	Column	1	Refer to landscape plan
33	F	Fog	1	Refer to landscape plan
34	W	Water	1	Refer to landscape plan
35	S	Sign	1	Refer to landscape plan
36	C	Column	1	Refer to landscape plan
37	F	Fog	1	Refer to landscape plan
38	W	Water	1	Refer to landscape plan
39	S	Sign	1	Refer to landscape plan
40	C	Column	1	Refer to landscape plan
41	F	Fog	1	Refer to landscape plan
42	W	Water	1	Refer to landscape plan
43	S	Sign	1	Refer to landscape plan
44	C	Column	1	Refer to landscape plan
45	F	Fog	1	Refer to landscape plan
46	W	Water	1	Refer to landscape plan
47	S	Sign	1	Refer to landscape plan
48	C	Column	1	Refer to landscape plan
49	F	Fog	1	Refer to landscape plan
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72	C	Column	1	Refer to landscape plan
73	F	Fog	1	Refer to landscape plan
74	W	Water	1	Refer to landscape plan
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82	W	Water	1	Refer to landscape plan
83	S	Sign	1	Refer to landscape plan
84	C	Column	1	Refer to landscape plan
85	F	Fog	1	Refer to landscape plan
86	W	Water	1	Refer to landscape plan
87	S	Sign	1	Refer to landscape plan
88	C	Column	1	Refer to landscape plan
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90	W	Water	1	Refer to landscape plan
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92	C	Column	1	Refer to landscape plan
93	F	Fog	1	Refer to landscape plan
94	W	Water	1	Refer to landscape plan
95	S	Sign	1	Refer to landscape plan
96	C	Column	1	Refer to landscape plan
97	F	Fog	1	Refer to landscape plan
98	W	Water	1	Refer to landscape plan
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100	C	Column	1	Refer to landscape plan

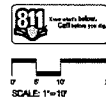
2 Layout, Paving and Grading Plans
 SCALE: 1" = 10'-0"



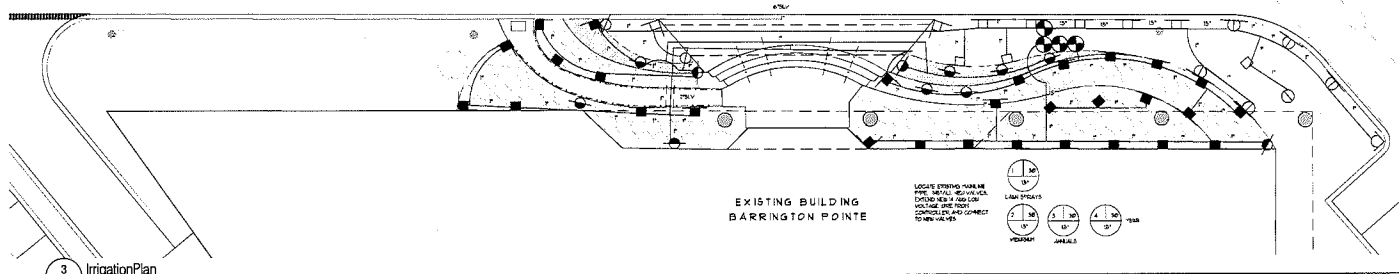
1 Demolition Plan
 SCALE: 1" = 10'-0"

**GRISSIM
 METZ
 ANDRIESE**
 311 East Coyle Street
 Northville, MI 48167
 Ph: 248-347-7010

NO.	DATE	DESCRIPTION
1	12/21/18	72% Design Development
2	4/1/2019	100% Design Review
3	8/26/2019	RE

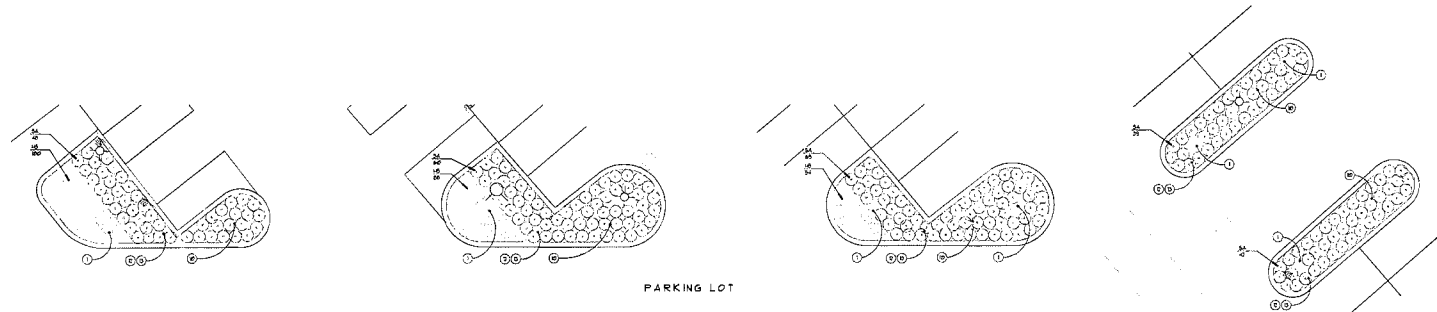


L602



3 Irrigation Plan
SCALE: 1" = 10'-0"

IRRIGATION CONTRACTOR IS TO FIELD VERIFY THE FOLLOWING:
 - UNDERGROUND LOCATION AND DEPTH
 - EXISTING MAINLINE PIPE MATERIAL AND SIZE
 - EXISTING CONTROLLER LOCATION AND CAPACITY FOR ADDING NEW ZONES
 - EXISTING SYSTEM REPAIRS REQUIRED AS A RESULT OF THE PROPOSED LANDSCAPE AND IRRIGATION SYSTEMS
 - EXISTING SYSTEM REPAIRS REQUIRED AS A RESULT OF THE PROPOSED LANDSCAPE AND IRRIGATION SYSTEMS
 - EXISTING SYSTEM REPAIRS REQUIRED AS A RESULT OF THE PROPOSED LANDSCAPE AND IRRIGATION SYSTEMS
 - EXISTING SYSTEM REPAIRS REQUIRED AS A RESULT OF THE PROPOSED LANDSCAPE AND IRRIGATION SYSTEMS



2 Landscape Plan
SCALE: 1" = 10'-0"

Note Key: (APPLIED TO ALL DRAWINGS THIS SHEET)
 ① EXISTING TREES TO REMAIN TYP.
 ② EXISTING SHRUBS AND GLETTER TO REMAIN TYP.
 ③ EXISTING BUILDING COLUMN TYP.
 ④ EXISTING PAVEMENT TO REMAIN TYP.
 ⑤ EXISTING SIGN TO BE DEMO.
 ⑥ REMOVE ALL DISTURBED LAWN AREAS WITH TOPSOIL AND SEEDED LAWN TYP.
 ⑦ REMOVE EXISTING PLANT MATERIAL AND ROOT SYSTEMS TO 12" DEPTH FOR NEW LANDSCAPE IMPROVEMENTS.
 ⑧ ALTERNATE EDGING BETWEEN LAWN AND PLANT BED TYP. REFER TO SHEET 1001.
 ⑨ EXISTING LAWN TO BE DEMO TYP.
 ⑩ 3" DEPTH SANDFILLED BARK MULCH TYP.
 ⑪ ALL FINISH TYP. REFER TO DETAIL.
 ⑫ EXISTING PLANT MATERIAL AND EXCAVATE TO A 12" DEPTH PER NEW SPECIFICATIONS.
 ⑬ REMOVE EXISTING IRRIGATION REPAIRS PLANTING LAYOUT IF IRRIGATION EXISTING IN PARKING LOT BUNDLES.

Plant List:
 (APPLIED TO ALL DRAWINGS THIS SHEET)

PLANT	CODE	QTY	DESCRIPTION	SIZE	COMMENTS
10	10	10	10' ROUND TREE	10'	10' ROUND TREE
11	11	11	11' ROUND TREE	11'	11' ROUND TREE
12	12	12	12' ROUND TREE	12'	12' ROUND TREE
13	13	13	13' ROUND TREE	13'	13' ROUND TREE
14	14	14	14' ROUND TREE	14'	14' ROUND TREE
15	15	15	15' ROUND TREE	15'	15' ROUND TREE
16	16	16	16' ROUND TREE	16'	16' ROUND TREE
17	17	17	17' ROUND TREE	17'	17' ROUND TREE
18	18	18	18' ROUND TREE	18'	18' ROUND TREE
19	19	19	19' ROUND TREE	19'	19' ROUND TREE
20	20	20	20' ROUND TREE	20'	20' ROUND TREE

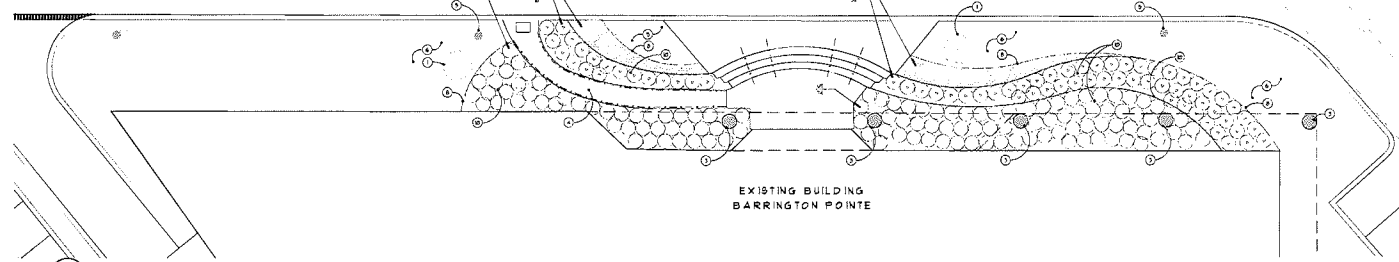
**GRISSIM
 METZ
 ANDRIESE**
 311 East Cady Street
 Northville, MI 48167
 Ph: 248-347-7010

Project:
 Greenspring Office Park
 Barrington Point
 Associated Improvements

Site:
 Barrington Point
 North Entrance Landscape Plan

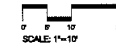
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Drawn by: MMS, ES
Checked by: JET
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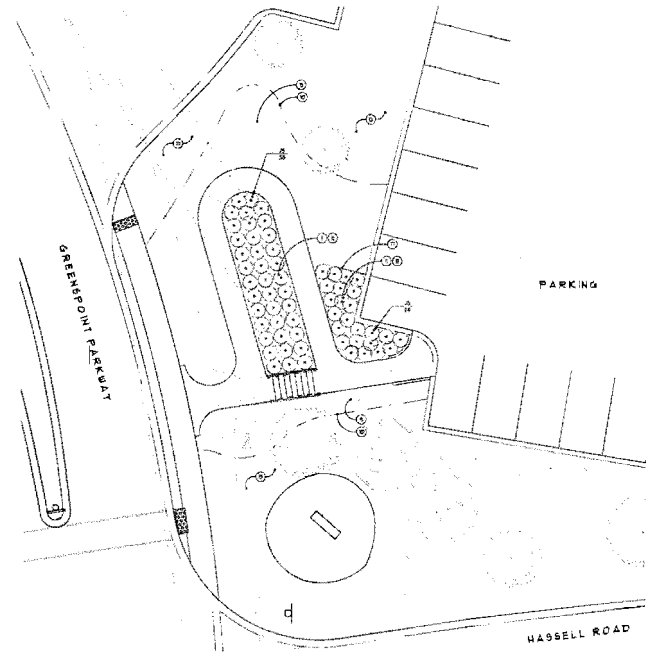
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Date: 11/18/10
Scale: 1" = 10'-0"



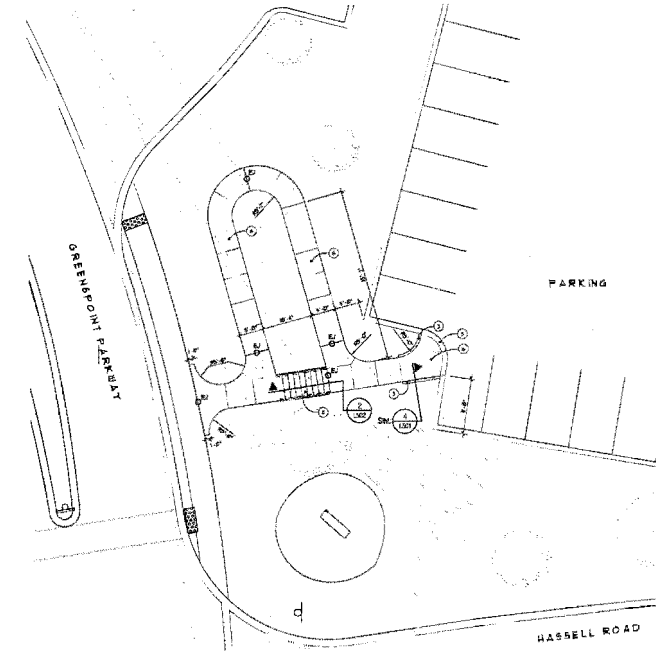
1 Demolition Plan
SCALE: 1" = 10'-0"

Demolition Note:
 REMOVE EXISTING IRRIGATION HEADS, LATERAL PIPING AND MAIN PIPES WITH A SCOPE OF EXISTING IRRIGATION AREA. IRRIGATION HEADS TO BE DEMOLISHED TO 18" ABOVE FINISH GRADE. IRRIGATION MAINS TO BE DEMOLISHED TO 18" DEPTH.

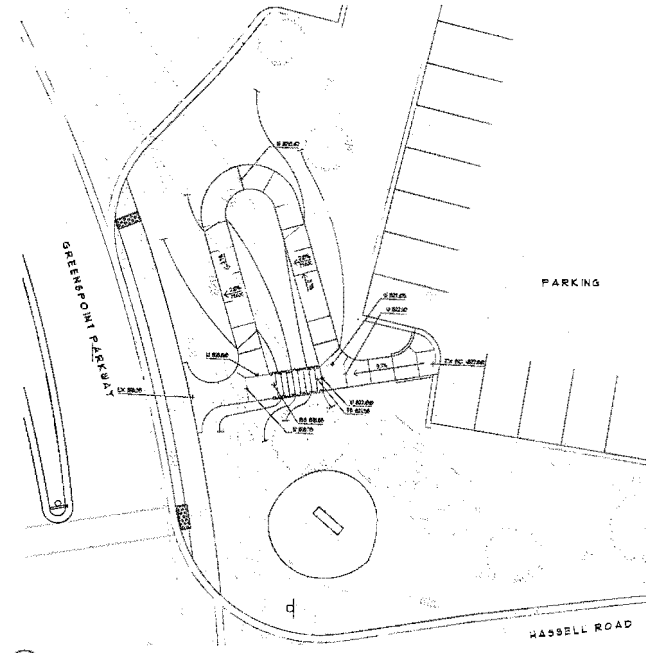




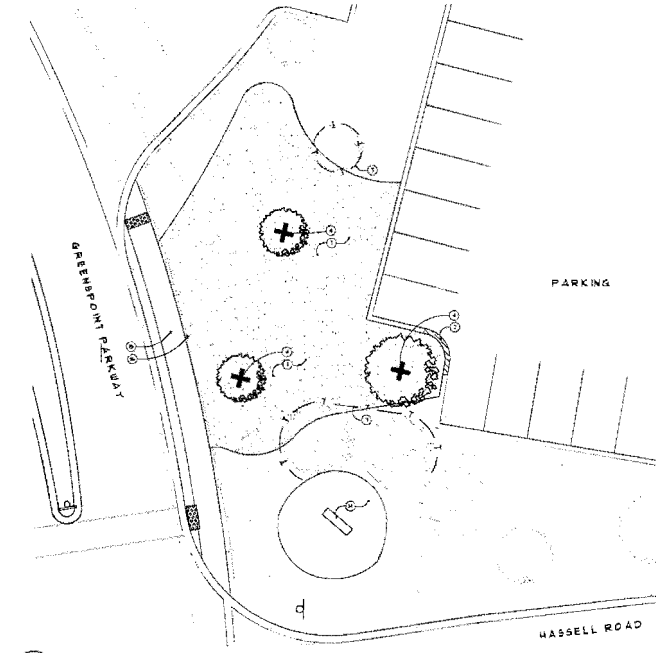
4 Landscape Plan
SCALE: 1" = 10'-0"



2 Paving and Layout Plan
SCALE: 1" = 10'-0"



3 Grading Plan
SCALE: 1" = 10'-0"



1 Demolition Plan
SCALE: 1" = 10'-0"

- Note Key:** (APPLIES TO ALL DRAWINGS UNLESS NOTED)
- RECYCLE EXISTING PLANT MATERIAL AND SOIL SYSTEMS AS REQUIRED PER ALL APPLICABLE CODES.
 - USE 1/2" AND 3/4" DIBBLE CIRCLES AND BUTTER AS REQUIRED FOR NEW PLANTINGS.
 - 4" X 4" X 8' LONG CONCRETE W/ FIBERGLASS CLOTH FABRIC TO MATCH TYP.
 - CONCRETE WALKWAYS TO BE RETAINED OR NEW EXISTING WALKWAYS TO BE 4" DEPTH TYP.
 - FLUSH CURBS AND CURBLES TYP.
 - TYPICAL 4" THICK CONCRETE FINISHMENT, NON-SKIDING. REFER TO DETAILS FOR SPEC.
 - USE 1/2" DIBBLE CIRCLES TYP.
 - CONCRETE STAIRS W/ FIBERGLASS. REFER TO DETAILS.
 - ASBESTOS REMOVAL TO BE PERFORMED BY LICENSED ASBESTOS REMOVAL CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE CODES.
 - 3" DEPTH FILLION IN WALKED EDGE TYP.
 - EXISTING CURBS TO REMAIN UNLESS NOTED TYP.
 - EXISTING PAVES AND LANDSCAPE TO REMAIN.
 - PAVING BACK TO MATCH EXISTING TO MATCH PLANS.
 - SEE WALKWAY TYP. REFER TO DETAILS.
 - ALIGNMENT BOUNDING BETWEEN LANE AND PLANT BED TYP. REFER TO SPEC.

Plant List

CODE	SYMBOL	DESCRIPTION	QTY	COMMENTS
1	(Symbol)



**GRISSIM
METZ
ANDRIESE**

311 East Cady Street
Hawthorne, NJ 07037
PH: 248-3447-7010

Plant List

DATE	BY	DESCRIPTION	QTY	COMMENTS

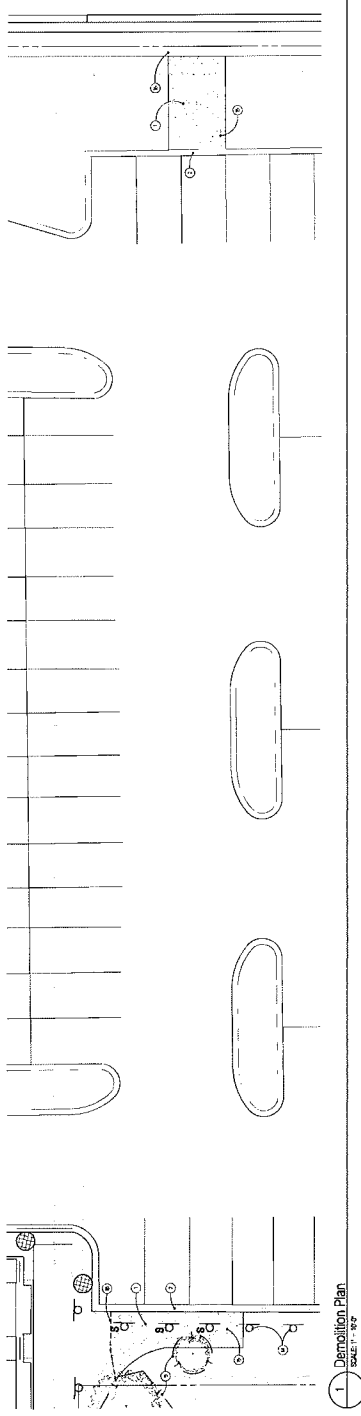
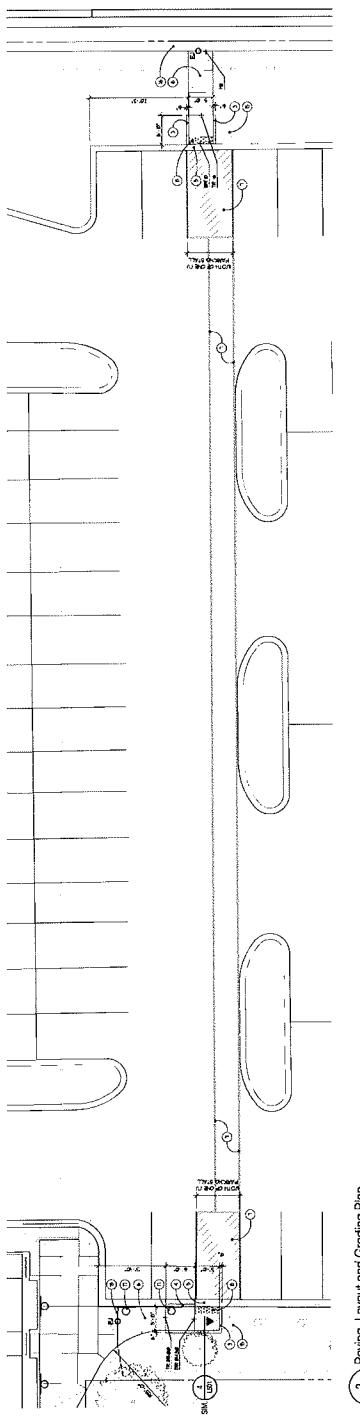
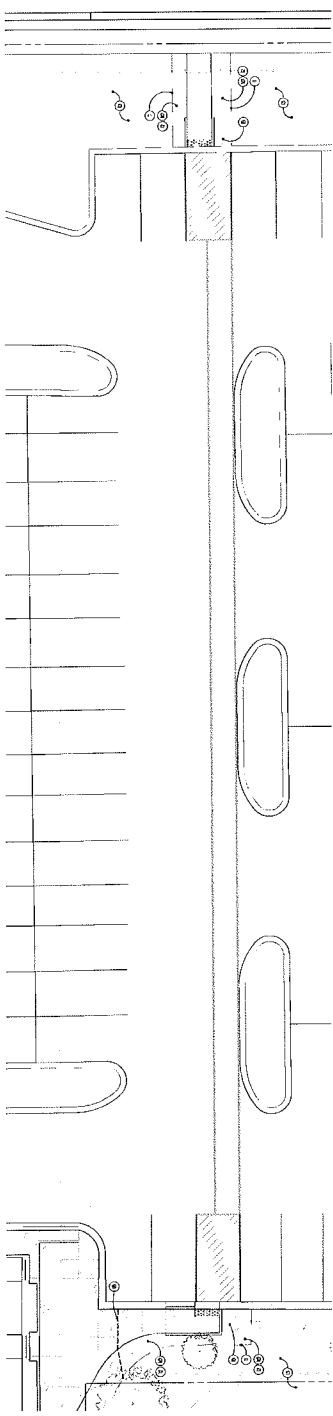
Project: Greenpoint Green Park
 Client: New York State
 Architect: Grissim Metz Andriese
 Date: 1/18/17
 Scale: 1" = 10'-0"
 Title: L604

Legend:

- ① HATCHED: TO BE DEMOLISHED OR RECONSTRUCTED
- ② HATCHED: EXISTING PAVING TO REMAIN
- ③ HATCHED: EXISTING GRAVEL AND TOPSOIL TO REMAIN
- ④ HATCHED: EXISTING ASPHALT DRIVE TO BE REPAIRED
- ⑤ HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH ASPHALT
- ⑥ HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CURB AND GUTTER
- ⑦ HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE
- ⑧ HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER
- ⑨ HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER AND CURB
- ⑩ HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER AND CURB AND SIDEWALK
- ⑪ HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER AND CURB AND SIDEWALK AND BIKEWAY
- ⑫ HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER AND CURB AND SIDEWALK AND BIKEWAY AND LANDSCAPE
- ⑬ HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER AND CURB AND SIDEWALK AND BIKEWAY AND LANDSCAPE AND FURNITURE
- ⑭ HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER AND CURB AND SIDEWALK AND BIKEWAY AND LANDSCAPE AND FURNITURE AND SIGNAGE
- ⑮ HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER AND CURB AND SIDEWALK AND BIKEWAY AND LANDSCAPE AND FURNITURE AND SIGNAGE AND LIGHTING
- ⑯ HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER AND CURB AND SIDEWALK AND BIKEWAY AND LANDSCAPE AND FURNITURE AND SIGNAGE AND LIGHTING AND PAINT
- ⑰ HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER AND CURB AND SIDEWALK AND BIKEWAY AND LANDSCAPE AND FURNITURE AND SIGNAGE AND LIGHTING AND PAINT AND TRAFFIC SIGNALS
- ⑱ HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER AND CURB AND SIDEWALK AND BIKEWAY AND LANDSCAPE AND FURNITURE AND SIGNAGE AND LIGHTING AND PAINT AND TRAFFIC SIGNALS AND OTHER FEATURES
- ⑲ HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER AND CURB AND SIDEWALK AND BIKEWAY AND LANDSCAPE AND FURNITURE AND SIGNAGE AND LIGHTING AND PAINT AND TRAFFIC SIGNALS AND OTHER FEATURES AND UTILITY LOCATIONS
- ⑳ HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER AND CURB AND SIDEWALK AND BIKEWAY AND LANDSCAPE AND FURNITURE AND SIGNAGE AND LIGHTING AND PAINT AND TRAFFIC SIGNALS AND OTHER FEATURES AND UTILITY LOCATIONS AND TREE REMOVAL
- ㉑ HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER AND CURB AND SIDEWALK AND BIKEWAY AND LANDSCAPE AND FURNITURE AND SIGNAGE AND LIGHTING AND PAINT AND TRAFFIC SIGNALS AND OTHER FEATURES AND UTILITY LOCATIONS AND TREE REMOVAL AND GRADING
- ㉒ HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER AND CURB AND SIDEWALK AND BIKEWAY AND LANDSCAPE AND FURNITURE AND SIGNAGE AND LIGHTING AND PAINT AND TRAFFIC SIGNALS AND OTHER FEATURES AND UTILITY LOCATIONS AND TREE REMOVAL AND GRADING AND PAVING
- ㉓ HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER AND CURB AND SIDEWALK AND BIKEWAY AND LANDSCAPE AND FURNITURE AND SIGNAGE AND LIGHTING AND PAINT AND TRAFFIC SIGNALS AND OTHER FEATURES AND UTILITY LOCATIONS AND TREE REMOVAL AND GRADING AND PAVING AND DEMOLITION

Note Key:

- 1. HATCHED: TO BE DEMOLISHED OR RECONSTRUCTED
- 2. HATCHED: EXISTING PAVING TO REMAIN
- 3. HATCHED: EXISTING GRAVEL AND TOPSOIL TO REMAIN
- 4. HATCHED: EXISTING ASPHALT DRIVE TO BE REPAIRED
- 5. HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH ASPHALT
- 6. HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CURB AND GUTTER
- 7. HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE
- 8. HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER
- 9. HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER AND CURB
- 10. HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER AND CURB AND SIDEWALK
- 11. HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER AND CURB AND SIDEWALK AND BIKEWAY
- 12. HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER AND CURB AND SIDEWALK AND BIKEWAY AND LANDSCAPE
- 13. HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER AND CURB AND SIDEWALK AND BIKEWAY AND LANDSCAPE AND FURNITURE
- 14. HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER AND CURB AND SIDEWALK AND BIKEWAY AND LANDSCAPE AND FURNITURE AND SIGNAGE
- 15. HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER AND CURB AND SIDEWALK AND BIKEWAY AND LANDSCAPE AND FURNITURE AND SIGNAGE AND LIGHTING
- 16. HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER AND CURB AND SIDEWALK AND BIKEWAY AND LANDSCAPE AND FURNITURE AND SIGNAGE AND LIGHTING AND PAINT
- 17. HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER AND CURB AND SIDEWALK AND BIKEWAY AND LANDSCAPE AND FURNITURE AND SIGNAGE AND LIGHTING AND PAINT AND TRAFFIC SIGNALS
- 18. HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER AND CURB AND SIDEWALK AND BIKEWAY AND LANDSCAPE AND FURNITURE AND SIGNAGE AND LIGHTING AND PAINT AND TRAFFIC SIGNALS AND OTHER FEATURES
- 19. HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER AND CURB AND SIDEWALK AND BIKEWAY AND LANDSCAPE AND FURNITURE AND SIGNAGE AND LIGHTING AND PAINT AND TRAFFIC SIGNALS AND OTHER FEATURES AND UTILITY LOCATIONS
- 20. HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER AND CURB AND SIDEWALK AND BIKEWAY AND LANDSCAPE AND FURNITURE AND SIGNAGE AND LIGHTING AND PAINT AND TRAFFIC SIGNALS AND OTHER FEATURES AND UTILITY LOCATIONS AND TREE REMOVAL
- 21. HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER AND CURB AND SIDEWALK AND BIKEWAY AND LANDSCAPE AND FURNITURE AND SIGNAGE AND LIGHTING AND PAINT AND TRAFFIC SIGNALS AND OTHER FEATURES AND UTILITY LOCATIONS AND TREE REMOVAL AND GRADING
- 22. HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER AND CURB AND SIDEWALK AND BIKEWAY AND LANDSCAPE AND FURNITURE AND SIGNAGE AND LIGHTING AND PAINT AND TRAFFIC SIGNALS AND OTHER FEATURES AND UTILITY LOCATIONS AND TREE REMOVAL AND GRADING AND PAVING
- 23. HATCHED: EXISTING ASPHALT DRIVE TO BE REPLACED WITH CONCRETE AND GUTTER AND CURB AND SIDEWALK AND BIKEWAY AND LANDSCAPE AND FURNITURE AND SIGNAGE AND LIGHTING AND PAINT AND TRAFFIC SIGNALS AND OTHER FEATURES AND UTILITY LOCATIONS AND TREE REMOVAL AND GRADING AND PAVING AND DEMOLITION

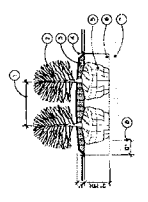


SCALE 1" = 16'

Client:	University of Alabama at Birmingham
Project:	Amnicast, Birmingham
Location:	Birmingham, Alabama
Designer:	Grissim Metz Associates and Andriese
Date:	11/11/2011
Drawn by:	AMC
Scale:	1" = 16'
Sheet:	1605

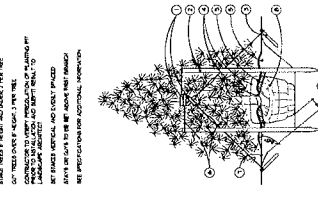
Project:	
Client:	Michigan State University
Location:	East Lansing, MI
Date:	4/7/2011
Scale:	1" = 2'-0"
Sheet:	16.00
Drawn by:	...
Checked by:	...
Approved by:	...

- CONNECTION TO NEW PREPARATION OF PLANTING
1. SEE PLANTING SPECIFICATIONS
 2. SEE PLANTING SPECIFICATIONS
 3. SEE PLANTING SPECIFICATIONS
 4. SEE PLANTING SPECIFICATIONS
 5. SEE PLANTING SPECIFICATIONS
 6. SEE PLANTING SPECIFICATIONS
 7. SEE PLANTING SPECIFICATIONS
 8. SEE PLANTING SPECIFICATIONS



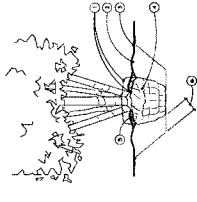
4. Shrub Planting Detail
1/8" = 1'-0" SCALE

- NOTES:
1. SEE PLANTING SPECIFICATIONS FOR SHRUBS AND BUSHES.
 2. SEE PLANTING SPECIFICATIONS FOR SHRUBS AND BUSHES.
 3. SEE PLANTING SPECIFICATIONS FOR SHRUBS AND BUSHES.
 4. SEE PLANTING SPECIFICATIONS FOR SHRUBS AND BUSHES.
 5. SEE PLANTING SPECIFICATIONS FOR SHRUBS AND BUSHES.
 6. SEE PLANTING SPECIFICATIONS FOR SHRUBS AND BUSHES.
 7. SEE PLANTING SPECIFICATIONS FOR SHRUBS AND BUSHES.
 8. SEE PLANTING SPECIFICATIONS FOR SHRUBS AND BUSHES.



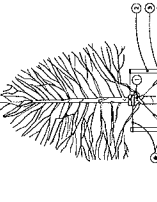
3. Evergreen Tree Planting Detail
1/8" = 1'-0" SCALE

- CONNECTION TO NEW PREPARATION OF PLANTING
1. SEE PLANTING SPECIFICATIONS
 2. SEE PLANTING SPECIFICATIONS
 3. SEE PLANTING SPECIFICATIONS
 4. SEE PLANTING SPECIFICATIONS
 5. SEE PLANTING SPECIFICATIONS
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 7. SEE PLANTING SPECIFICATIONS
 8. SEE PLANTING SPECIFICATIONS



2. Multi-Stem Tree Planting Detail
1/8" = 1'-0" SCALE

- CONNECTION TO NEW PREPARATION OF PLANTING
1. SEE PLANTING SPECIFICATIONS
 2. SEE PLANTING SPECIFICATIONS
 3. SEE PLANTING SPECIFICATIONS
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 5. SEE PLANTING SPECIFICATIONS
 6. SEE PLANTING SPECIFICATIONS
 7. SEE PLANTING SPECIFICATIONS
 8. SEE PLANTING SPECIFICATIONS



1. Deciduous Tree Planting Detail
1/8" = 1'-0" SCALE

- CONNECTION TO NEW PREPARATION OF PLANTING
1. SEE PLANTING SPECIFICATIONS
 2. SEE PLANTING SPECIFICATIONS
 3. SEE PLANTING SPECIFICATIONS
 4. SEE PLANTING SPECIFICATIONS
 5. SEE PLANTING SPECIFICATIONS
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 8. SEE PLANTING SPECIFICATIONS



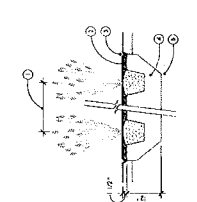
8. Deciduous Tree Transplanting Detail
1/8" = 1'-0" SCALE

- CONNECTION TO NEW PREPARATION OF PLANTING
1. SEE PLANTING SPECIFICATIONS
 2. SEE PLANTING SPECIFICATIONS
 3. SEE PLANTING SPECIFICATIONS
 4. SEE PLANTING SPECIFICATIONS
 5. SEE PLANTING SPECIFICATIONS
 6. SEE PLANTING SPECIFICATIONS
 7. SEE PLANTING SPECIFICATIONS
 8. SEE PLANTING SPECIFICATIONS



7. Perennial Planting Detail
1/8" = 1'-0" SCALE

- CONNECTION TO NEW PREPARATION OF PLANTING
1. SEE PLANTING SPECIFICATIONS
 2. SEE PLANTING SPECIFICATIONS
 3. SEE PLANTING SPECIFICATIONS
 4. SEE PLANTING SPECIFICATIONS
 5. SEE PLANTING SPECIFICATIONS
 6. SEE PLANTING SPECIFICATIONS
 7. SEE PLANTING SPECIFICATIONS
 8. SEE PLANTING SPECIFICATIONS



6. Ornamental Grass Planting Detail
1/8" = 1'-0" SCALE

- CONNECTION TO NEW PREPARATION OF PLANTING
1. SEE PLANTING SPECIFICATIONS
 2. SEE PLANTING SPECIFICATIONS
 3. SEE PLANTING SPECIFICATIONS
 4. SEE PLANTING SPECIFICATIONS
 5. SEE PLANTING SPECIFICATIONS
 6. SEE PLANTING SPECIFICATIONS
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5. Upright Evergreen Planting Detail
1/8" = 1'-0" SCALE

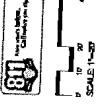
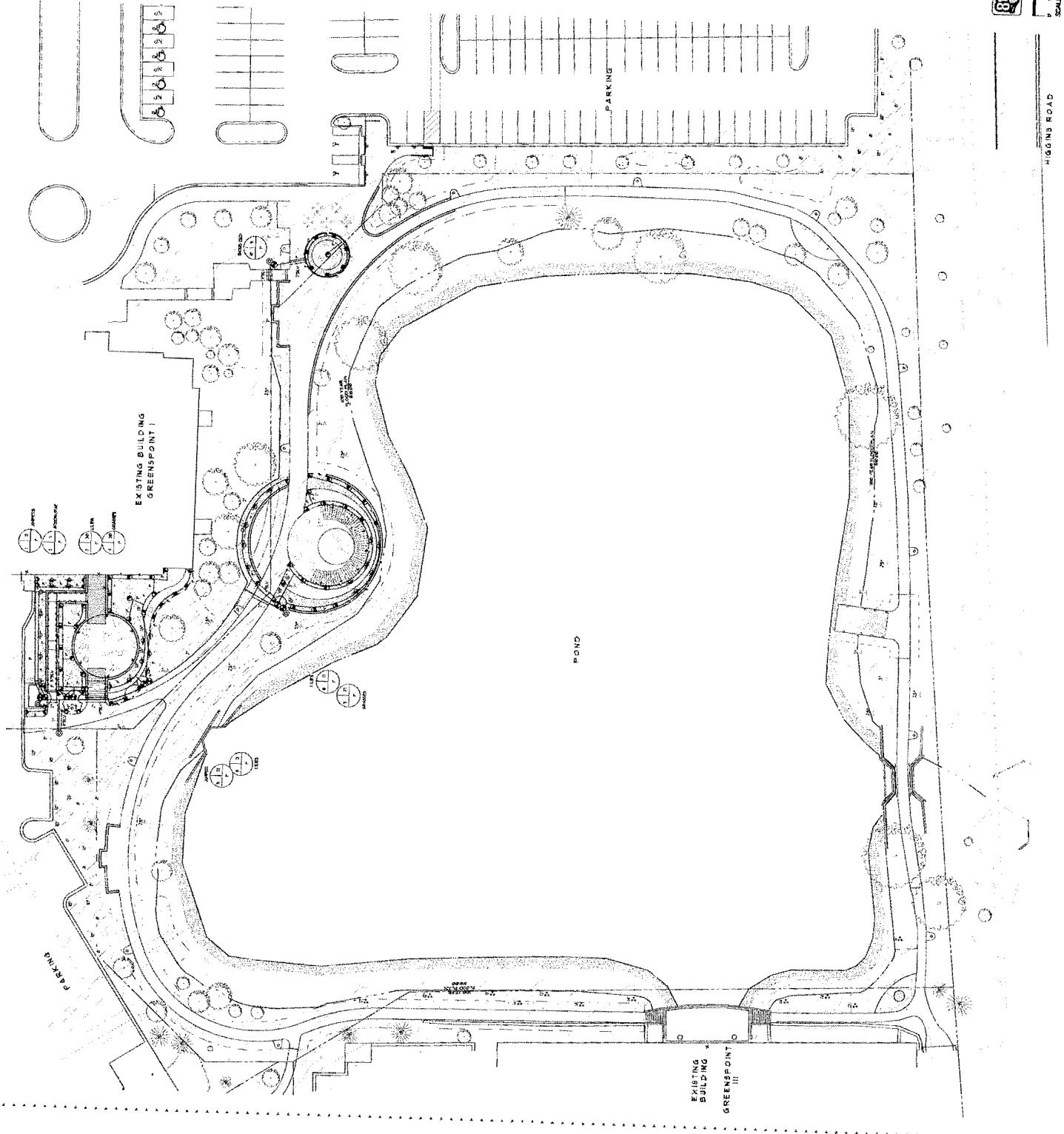
**GRISSIM
METZ
ASSOCIATES
ANDRIESE**

311 East Lake Street
Milwaukee, WI 53202
PH 784-8474/10

Project Name	Greenpoint I, II, III
Client	Greenpoint I, II, III
Location	Greenpoint I, II, III
Scale	1" = 20'-0"
Date	7/1/10
Drawn By	Greenpoint I, II, III
Checked By	Greenpoint I, II, III
Project No.	Greenpoint I, II, III
Sheet No.	1101

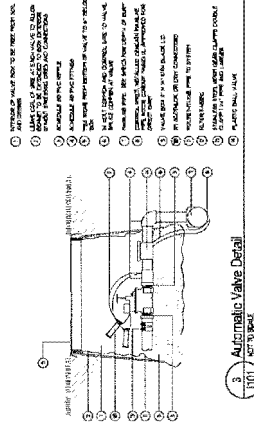
REVISIONS TO THIS SHEET IN ACCORDANCE WITH THE FOLLOWING:

NO.	DATE	DESCRIPTION
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2	7/1/10	ISSUED FOR PERMITTING
3	7/1/10	ISSUED FOR PERMITTING
4	7/1/10	ISSUED FOR PERMITTING
5	7/1/10	ISSUED FOR PERMITTING
6	7/1/10	ISSUED FOR PERMITTING
7	7/1/10	ISSUED FOR PERMITTING
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9	7/1/10	ISSUED FOR PERMITTING
10	7/1/10	ISSUED FOR PERMITTING



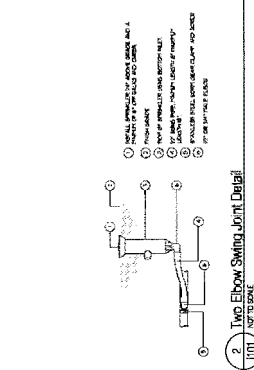
HIGGINS ROAD

Project No.	1102
Client	Frederick City, MD
Site	Frederick, MD
Sheet No.	1102
Scale	1" = 2'-0"
Date	1/1/02
Drawn By	J.P. Metz
Checked By	J.P. Metz
Approved By	J.P. Metz
Project Manager	J.P. Metz
Project Engineer	J.P. Metz
Project Designer	J.P. Metz
Project Checker	J.P. Metz
Project Approver	J.P. Metz
Project Coordinator	J.P. Metz
Project Assistant	J.P. Metz
Project Secretary	J.P. Metz
Project Receptionist	J.P. Metz
Project Mail Room	J.P. Metz
Project Storage	J.P. Metz
Project Office	J.P. Metz
Project Warehouse	J.P. Metz
Project Shop	J.P. Metz
Project Yard	J.P. Metz
Project Site	J.P. Metz
Project Area	J.P. Metz
Project Zone	J.P. Metz
Project Sector	J.P. Metz
Project Subsector	J.P. Metz
Project Block	J.P. Metz
Project Lot	J.P. Metz
Project Parcel	J.P. Metz
Project Tract	J.P. Metz
Project Estate	J.P. Metz
Project Domain	J.P. Metz
Project Territory	J.P. Metz
Project Region	J.P. Metz
Project State	J.P. Metz
Project Country	J.P. Metz
Project World	J.P. Metz



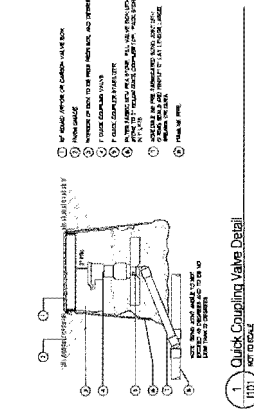
1. VALVE BODY
2. VALVE SEAT
3. VALVE BALL
4. VALVE BALL SEAT
5. VALVE BALL SPRING
6. VALVE BALL SPRING WASHER
7. VALVE BALL SPRING NUT
8. VALVE BALL SPRING WASHER
9. VALVE BALL SPRING NUT
10. VALVE BALL SPRING WASHER

100 Automatic Valve Detail



1. JOINT BODY
2. JOINT SEAT
3. JOINT BALL
4. JOINT BALL SEAT
5. JOINT BALL SPRING
6. JOINT BALL SPRING WASHER
7. JOINT BALL SPRING NUT
8. JOINT BALL SPRING WASHER
9. JOINT BALL SPRING NUT
10. JOINT BALL SPRING WASHER

100 Two Elbow Swivel Joint Detail



1. VALVE BODY
2. VALVE SEAT
3. VALVE BALL
4. VALVE BALL SEAT
5. VALVE BALL SPRING
6. VALVE BALL SPRING WASHER
7. VALVE BALL SPRING NUT
8. VALVE BALL SPRING WASHER
9. VALVE BALL SPRING NUT
10. VALVE BALL SPRING WASHER

100 Quick Coupling Valve Detail

Irrigation Legend:

Symbol	Description
1	1" Polypropylene
2	2" Polypropylene
3	3" Polypropylene
4	4" Polypropylene
5	5" Polypropylene
6	6" Polypropylene
7	7" Polypropylene
8	8" Polypropylene
9	9" Polypropylene
10	10" Polypropylene
11	11" Polypropylene
12	12" Polypropylene
13	13" Polypropylene
14	14" Polypropylene
15	15" Polypropylene
16	16" Polypropylene
17	17" Polypropylene
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36	36" Polypropylene
37	37" Polypropylene
38	38" Polypropylene
39	39" Polypropylene
40	40" Polypropylene
41	41" Polypropylene
42	42" Polypropylene
43	43" Polypropylene
44	44" Polypropylene
45	45" Polypropylene
46	46" Polypropylene
47	47" Polypropylene
48	48" Polypropylene
49	49" Polypropylene
50	50" Polypropylene

REVISIONS TO THIS SHEET ARE AS FOLLOWS:
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 9. REVISIONS TO THIS SHEET ARE AS FOLLOWS:
 10. REVISIONS TO THIS SHEET ARE AS FOLLOWS:



VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION
FINDING OF FACT

PROJECT NO.: 2019004P

VILLAGE BOARD MEETING DATE: JUNE 17, 2019

PETITIONER(S): SVAP Hoffman Plaza, L.P. (Owner and Applicant)

PROJECT ADDRESS: NEC Roselle & Higgins

ZONING DISTRICT: B-2, COMMUNITY BUSINESS DISTRICT

Recommendation: **APPROVAL**

Vote: 11 Ayes 0 Nays 0 Absent

PZC MEETING DATE: JUNE 5, 2019

STAFF ASSIGNED: JIM DONAHUE

Request by SVAP Hoffman Plaza, L.P. (Owner and Applicant) to consider a Preliminary and Final Site Plan for a retail building located on the Hoffman Plaza Shopping Center property located at the NEC Roselle Rd. & Higgins Rd, subject to the following conditions:

1. The building permit shall be obtained within twelve (12) months of the Village Board action on this request.
2. The following Subdivision Code landscaping waiver is granted:
 - a. A waiver from 10-4-4 D. a. to not provide foundation landscaping on the side (south) building façade.
3. With respect to the existing detention basins at 1080 Apple Street and behind Acorn Tire; to close-out the project, the Village will require the outstanding site work to be completed by September 1, 2019 including the submittal of record drawings which would be reviewed and approved to verify volume, and the scheduling of an RFI with MWRD to close permit. No occupancy will be given to the building until the detention work is completed. The petitioner agrees to install a temporary skim coat of asphalt (1-2 inches) over the existing trench on Apple Street by the end of June 2019.
4. As shown on the plans, all electric and gas meters shall be located inside the building.
5. No signage is approved with these plans. Any tenant signage must comply with current code or the existing Master Sign Plan for the overall center.
6. A performance guarantee for all site work shall be submitted to the Village prior to issuance of a building permit.
7. A permit from the Metropolitan Water Reclamation District shall be provided prior to site construction commencing.
8. The following conditions relate to the site construction:
 - a. A construction traffic plan denoting directional signage shall be provided for review and approval by Village staff prior to a pre-construction meeting and prior to construction commencing.

- b. A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
- c. Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.
- d. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.

AUDIENCE COMMENTS

None

FINDING

The Planning & Zoning Commission heard from representatives of SVAP Hoffman Plaza, L.P. (Owner & Applicant) who explained the proposed project to build a small (approximately 4500 sq. ft.) multi-tenant retail building on the existing pad area that was created as part of the Burlington store construction. The proposed two tenant building will feature outdoor seating on the northwest corner of the building and a drive-through for a future restaurant. Tenants are not being disclosed at this time, but the petitioner has been in discussions with many types of business to occupy the building.

The Commission learned that the existing parking on the overall shopping center site has a combined total of 591 spaces. The proposed building will be part of the overall lot and can utilize any parking on the property. There are 5 new spaces that will be added adjacent to the building with over 40 parking spaces in close proximity to serve the building.

The staff memo noted that the Engineering Division has reviewed the proposed engineering, grading, utility, and erosion control plans and the plans are acceptable. In addition to the stormwater detention ponds currently utilized for the site, the petitioner previously installed underground detention storage for stormwater as well as incorporated Best Management Practices (BMPs) into the site design to improve stormwater quality. The new building will be utilizing these.

Staff stated that the existing north detention basin located along Apple Street (located between residential lots) that currently serves the overall site was supposed to be dredged, regraded and landscaped for required storm water storage per Village and MWRD requirements. This was held off on until the Village completed the replacement of the Apple Street culvert which is the outflow for the Apple Street detention basin. The Hoffman Plaza Phase 1 improvements were not completed mainly due to the condition of the culvert pipe. Additionally, the pond on the south end of the site needs further dredging to accommodate the required volume control. This was being held off on until the north pond could be done. The issue is now corrected and the applicant can now be complete the pond issues so that all improvements are completed and final occupancy is granted for the Burlington store. A condition denoting this was modified at the meeting to have this work done by September 1 with temporary street patching over the existing trench cut in the street done by end of June.

A landscape waiver is being requested from Section 10-4-4 D. a. to not provide foundation landscaping on the south building façade. These building frontages have sidewalk for pedestrian access. Landscape is being provided on those area where it can fit.

The petitioner showed renderings of the new building which will be a combination of brick, block and EIFS on all four elevations. Canopies are proposed on the elevations with windows. The new front façade will feature brick, EIFS and glass. The north, east and south elevations will include of brick, block and EIFS. The elevations show that all roof top mechanicals will be required to be screened by means of a raised parapet. Additionally, the plans identify all electric and gas meters being located inside the building. A condition has been added to ensure this occurs at time of construction.

One commissioner had questions about the location of the outdoor seating and number of handicap spaces. The applicant pointed out the seating area on the plan and showed the handicap parking space location. Another question from the commission asked about queueing length (staff said it was sufficient based on transportation review) and some missing information from the application. Subsequent to the PZC meeting, the petitioner revised their narrative and included a queueing exhibit that are included in the finding packet.

The petitioners had no objections to the recommended conditions and by a unanimous vote of 11-0, the Commission recommended approval of the request.

PLANNING AND ZONING COMMISSIONERS

Chairperson Eva Combs	Adam Bauske
Vice-Chairman Greg Ring	Nancy Trieb
Tom Burnitz	Sohita Patel
Lenard Henderson	Denise Wilson
Myrene Iozzo	Lon Harner
Minerva Milford	

ROLL CALL VOTE (All Motions)

11 Ayes
0 Nays
0 Absent

The following attachments are hereby incorporated as part of this Finding of Fact:

Petitioner's Applications and Submittals
Staff Exhibit – Aerial Photo



**VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION
STAFF REPORT**

PROJECT NO.: 2019004P

PROJECT NAME: Building Pad 4 Retail Building

PROJECT ADDRESS/LOCATION: Building Pad 4 (Hoffman Plaza – NEC Roselle & Higgins)

PUBLIC HEARING
YES NO

REZONING MASTER SIGN PLAN SPECIAL USE AMENDMENT VARIATION

PRELIMINARY & FINAL SITE PLAN PRELIMINARY & FINAL PLAT

MEETING DATE: JUNE 5, 2019

STAFF ASSIGNED: JIM DONAHUE

REQUESTED MOTION

Request by SVAP Hoffman Plaza, L.P. (Owner and Applicant) to consider a Preliminary and Final Site Plan for a retail building located on the Hoffman Plaza Shopping Center property located at the NEC Roselle Rd. & Higgins Rd.

INCLUDES RECOMMENDED CONDITIONS
YES NO

ACRES: 16.4 ACRES	ZONING DISTRICT: B-2 COMMUNITY BUSINESS DISTRICT
ADJACENT NORTH: B-2 (carwash, retail)	SOUTH: R-3 Single Family (Parcel B)
PROPERTIES: EAST: R-2 Single Family (Parcel A)	WEST: B-2 (Golf Center)

BACKGROUND

In 2017, the petitioner razed a portion of the existing south building in Hoffman Plaza and built out the balance of the building with a 50,000 square foot Burlington store and approximately 10,000 square feet of inline retail spaces. The plans also identified two future outbuilding pad areas for additional future retail which were not proposed at that time. The long shuttered Burger King was razed as part of the redevelopment.

PROPOSAL

The petitioner is proposing to build a small (approximately 4500 sq. ft.) multi-tenant retail building on the existing pad area that was created as part of the Burlington store construction. The proposed two tenant building will feature outdoor seating on the northwest corner of the building and a drive-through for a future restaurant. Tenants are not being disclosed at this time, but the petitioner has been in discussions with many types of business to occupy the building.

Sidewalk connections already exist from the Roselle Road public sidewalk and will be extended to allow pedestrian access to the building.

Parking – Subdivision Code Section 10-5-2

The existing parking on the overall shopping center site has a combined total of 591 spaces. The proposed building will be part of the overall lot and can utilize any parking on the property. There are 5 new spaces that will be added adjacent to the building with over 40 parking spaces in close proximity to serve the building.

The Transportation Division has reviewed the proposed layout of the site as well as the previous parking study provided by the petitioner as part of the Burlington store project and determined parking numbers to be acceptable. The new parking lot area is designed to current standards.

Engineering – Subdivision Code Section 10-3

The Engineering Division has reviewed the proposed engineering, grading, utility, and erosion control plans and the plans are acceptable. In addition to the stormwater detention ponds currently utilized for the site, the petitioner previously installed underground detention storage for stormwater as well as incorporated Best Management Practices (BMPs) into the site design to improve stormwater quality. The new building will be utilizing these.

The existing north detention basin located along Apple Street (located between residential lots) that currently serves the overall site was supposed to be dredged, regraded and landscaped for required storm water storage per Village and MWRD requirements. This was held off on until the Village completed the replacement of the Apple Street culvert which is the outflow for the Apple Street detention basin. The Hoffman Plaza Phase 1 improvements were not completed mainly due to the condition of the culvert pipe. Additionally, the pond on the south end of the site needs further dredging to accommodate the required volume control. This was being held off on until the north pond could be done. The issue is now corrected and the applicant can now be complete the pond issues so that all improvements are completed and final occupancy is granted for the Burlington store.

The Village is scheduled to resurface Apple Street this year and needs this work to be completed prior to the resurfacing due to the necessary construction traffic to complete the work. A condition has been added to complete the work by July 31.

Landscaping – Subdivision Code Section 10-4

The proposed landscape plan includes the installation of plants around the building and parking lot. The plans include shade trees along the perimeters of the new drive through island. Shrubs and trees are proposed around the parking lot where required. Foundation plantings are included two sides of the building where feasible and not obstructing pedestrian traffic. A wide variety of plant materials are proposed.

Landscaping Waiver

The petitioner is requesting a waiver from Section 10-4-4 D. a. to not provide foundation landscaping on the side (south) building façade. This building frontage has sidewalk for pedestrian access. Landscape is being provided in those areas where it can fit.

Building Design – Subdivision Code Section 10-5-3-H

The building is proposed as a combination of brick, block and EIFS on all four elevations. Canopies are proposed on the elevations with windows. The new front façade will feature brick, EIFS and glass. The north, east and south elevations will include of brick, block and EIFS. The elevations show that all roof top mechanicals will be required to be screened by means of a raised parapet. A standard condition has been added to reinforce this. Additionally, the plans identify all electric and gas meters being located inside the building. A condition has been added to ensure this occurs at time of construction.

This property is subject to the site development requirements of the Revitalization Concepts for the Roselle Road Corridor study adopted by the Village as part of the BID and TIF Districts and meets those requirements.

Signage

The Master Sign Plan for the property was adopted in 2008 before the Burlington store project. As such, allowed signage in the Master Sign Plan for this new building may not reflect proposed tenant needs. If future signage doesn't meet the current Master Sign Plan, then it will need to meet the current sign ordinance.

Exterior Lighting – Subdivision Code Section 10-5-3-G

No new light poles or fixtures are proposed around the parking lot. Existing lighting standards will provide lighting for the site.

Fire Prevention

The Fire Department has reviewed the proposal and has no concerns. The Fire Department Connection is located at the front of the building facing Roselle Road.

RECOMMENDED CONDITIONS

1. The building permit shall be obtained within twelve (12) months of the Village Board action on this request.
2. The following Subdivision Code landscaping waiver is granted:
 - a. A waiver from 10-4-4 D. a. to not provide foundation landscaping on the side (south) building façade.

3. With respect to the existing detention basins at 1080 Apple Street and behind Acorn Tire; to close-out the work the Village will require the outstanding site work to be completed by July 31, the submittal of record drawings which would be reviewed and approved to verify volume, and the scheduling of an RFI with MWRD to close permit. No occupancy will be given to the building until the detention work is completed.
4. As shown on the plans, all electric and gas meters shall be located inside the building.
5. No signage is approved with these plans. Any tenant signage must comply with current code or the existing Master Sign Plan for the overall center.
6. A performance guarantee for all site work shall be submitted to the Village prior to issuance of a building permit.
7. A permit from the Metropolitan Water Reclamation District shall be provided prior to site construction commencing.
8. The following conditions relate to the site construction:
 - a. A construction traffic plan denoting directional signage shall be provided for review and approval by Village staff prior to a pre-construction meeting and prior to construction commencing.
 - b. A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
 - c. Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.
 - d. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.

Attachments: Petitioner's Applications and Submittals
Staff Exhibit – Aerial Photo



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING GENERAL APPLICATION*

Special Use for _____ Rezoning from _____ to _____

Variation: Commercial Residential Sign

Plat (Subdivision & Others): Preliminary Final

Site Plan: Amendment Concept Preliminary Final

Master Sign Plan: Amendment

Other: _____

*** ADDENDUM MATERIALS ARE REQUIRED FOR SPECIFIC REQUESTS**

Posting of Notification Sign(s) may be required.

Specific requirements will be provided when your request is scheduled.

FOR VILLAGE USE ONLY			
Hearing Fee	<u>500⁰⁰</u>	Check No.	<u>CC</u>
		Date Paid	<u>4/24/19</u>
Project Number:	<u>20019004P</u>		
Staff Assigned:	<u>J. DONAHUE</u>		
Meeting Date:	<u>6/5/19</u>	Public Hearing:	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Sign Posting Required:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Date Sign Posted	<u>5/24/19</u>

PLEASE PRINT OR TYPE

Date: January 25, 2019

Project Name: Hoffman Plaza - Outlot 4

Project Description: Single story retail building

Project Address/Location: Hoffman Plaza along Roselle Rd

Property Index No. 07-15-200-035-0000

Acres: 0.6 Zoning District: B2

I. Owner of Record

SVAP Hoffman Plaza, L.P.

Name		Company	
340 Royal Poinciana Way, Suite 316		Palm Beach	
Street Address		City	
FL	33480	954-592-1014	
State	Zip Code	Telephone Number	
		ckapper@sterlingorganization.com	
Fax Number		E-Mail Address	

II. Applicant (Contact Person/Project Manager)

CHAS KAPPER

SVAP Hoffman Plaza, L.P.

Name		Company	
340 Royal Poinciana Way, Suite 316		Palm Beach	
Street Address		City	
FL	33480	954-592-1014	
State	Zip Code	Telephone Number	
		ckapper@sterlingorganization.com	
Fax Number		E-Mail Address	

Applicant's relationship to property: Agent for owner

III. Owner Consent for Authorized Representative

It is required that the property owner or his designated representative be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. **If the owner cannot be present at the meeting, the following statement must be signed by the owner:**

I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize CHAS KAPPER to act on my behalf and advise that he/she has full authority to act as my/our representative.



Owner Signature

GREG MOROSS

Print Name

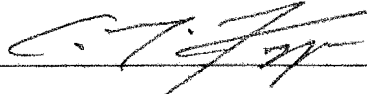
IV. Acknowledgement(s)

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

The Owner and Applicant, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature: _____ 

Owner's Name (Please Print): Greg Moross, VP

Applicant's Signature: _____ 
(If other than Owner)

Applicant's Name (Please Print): CHRIS KAPPER, AS AGENT FOR OWNER

Date: 1/25/19

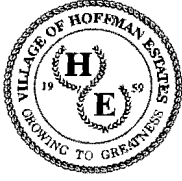
All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.

Please contact the Planning Division (located in the Municipal Building) with any questions:

Email: planning@hoffmanestates.org
Address: 1900 Hassell Road
Hoffman Estates, IL 60169
Phone: (847) 781-2660
Fax: (847) 781-2679

Addendums Attached:

- | | |
|---|---|
| <input type="checkbox"/> Special Use | <input type="checkbox"/> Master Sign Plan |
| <input type="checkbox"/> Rezoning | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Variation | |
| <input type="checkbox"/> Plat | |
| <input checked="" type="checkbox"/> Site Plan | |



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION SITE PLAN ADDENDUM – NON-RESIDENTIAL

Amendment Concept Preliminary Final

I. DESCRIPTION OF PROJECT:

A. ATTACH A NARRATIVE FOR THE PROPOSED PROJECT ON A SEPARATE SHEET

- ✓ Article 10-6 of the Subdivision Code details the application process and required submittal documents. For relevant items, provide detailed information as part of the project narrative.

B. Total Number of Buildings: 1

C. Total Gross Floor Area: 4680 square feet

D. Height of tallest building (including antennas, hvac, etc.): 26.5 feet

E. With respect to this project's compatibility with adjacent land uses, address the following in the Project Narrative: Building Scale, architectural Materials, Coordinated Color Scheme, Existing and Planned Areas of Visual Interest, Design Concept and Relationship of Building Materials to one another.

F. Estimated start of construction: Summer 2019

G. Estimated time to complete development: Winter 2019
Attach a phasing schedule, if applicable.

H. Does the property contain flood plain lands or wetlands? Yes No
If yes, please address as part of the narrative.

I. Is there any historical or archeological significance to the existing structures or features of this site or the surrounding sites? Yes No
If yes, please address as part of the narrative.

J. Are there any endangered, threatened, or unique plants or animals located in or near the area?
Yes No
If yes, please address as part of the narrative.

II. OPERATIONAL CONSIDERATIONS

A. Anticipated hours of operation: 11 am/pm to 9 am/pm

- B. Anticipated number of employees: 14 total 7 per shift 2 number of shifts
- C. Estimated number of customers: 50 daily 10 peak hour
- D. If there is any additional information about the proposed development or its operation that may affect the site development, address as part of the narrative.

III. FINANCIAL CONSIDERATIONS

- A. Estimated annual gross sales of general merchandise subject to sales tax for this project (includes 1% local share of state tax and 1% home rule tax):

Gross Sales (General)		Tax Rate		General Sales Tax
\$750,000	X	2%	=	\$ 15,000

- B. Estimated annual gross sales subject to food and beverage (F & B) tax for this project (food prepared on premises and alcoholic beverages consumed on premises). See article 13-7 of the Hoffman Estates Municipal Code for detailed definition:

Gross Sales (F & B)		Tax Rate		F & B Tax
\$750,000	X	2%	=	\$ \$15,000

- C. Estimated Annual Hotel Tax: 365 Days X

Estimated Average Room Rate		Number of rooms		Occupancy Percentage		365 Days		Tax Rate		Hotel Tax
N/A	X	N/A	X	N/A	X	N/A	X	6%	=	\$ N/A

- D. Other tax/revenue:
(Entertainment tax = 6%, etc.)

		Rate		Tax
N/A	X	N/A	=	\$ N/A

- E. Estimated Annual Telecommunications (TC) Tax:

Estimated Yearly Phone Bill		Tax Rate		TC tax
\$2,400	X	6%	=	\$ \$144.00

- F. Current assessment of the property: \$3,404,973 (assessment based on overall lot)

- G. Estimated value of Construction: \$700,000.00

H. Will this project result in any unusual expenditure of public funds or requirements for public services in anyway? Yes No

If yes, please address as part of the narrative.

IV. TRAFFIC CONSIDERATIONS

A. Parking

1. Total number of parking spaces to be provided:

Employees: 7 Customers/
Visitors: 25 Handicapped: 1 Total: 33

2. When is the peak parking period for this project?

Lunch Hour (11AM - 2PM)

3. Will this project share parking spaces with other businesses? Yes No

If yes, please address as part of the narrative.

B. Traffic

1. Estimated number of vehicles entering and exiting this site during the peak one hour period between 4:00 p.m. and 6:00 p.m. 20

2. Will there be any other peak traffic times for this project? Yes No

If yes, give the time(s) of day and traffic volume: _____

3. Will this project contain a drive through? Yes No

If yes, the project narrative should address order processing time, projected stacking demand, and other details to explain the operation.

C. Deliveries

1. The project plan submittal should include turning templates to show all routes to be used for making deliveries to and from site. Is this plan included? Yes No

2. How often will deliveries be made on site? 3x per week

2. What is the frequency and time period expected for deliveries? _____ 3x per week, anticipate morning deliveries before business hours.

3. What is the largest delivery vehicle to be used and its size?

Vehicle Type	Size	check	
Single Unit truck	30 ft.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Intermediate Semitrailer	50 ft.	<input type="checkbox"/>	<input type="checkbox"/>
Large Semitrailer	55 ft.	<input type="checkbox"/>	<input type="checkbox"/>
Other		<input type="checkbox"/>	<input type="checkbox"/>

If the delivery truck used fits into the "Other" category, please specify type, size and turning radius: _____

- D. Any additional site related traffic information not covered above? Yes No
If yes, please address as part of the narrative.

V. RECYCLING AND GREEN INITIATIVES

- A. Article 9 of The Municipal Code of the Village of Hoffman Estates requires that businesses maintain an effective recycling program. Address any unique recycling plans as part of the project narrative.
- B. The Village supports and promotes sustainability. Please address any planned green or sustainability initiatives as part of the narrative.
- C. Do you anticipate submitting this project for LEED certification (or any other similar certifications)? Yes No
If yes, please address as part of the narrative.

VI. GENERAL CONSIDERATIONS

- A. Please list examples of similar uses (including name and location) in the area that can be used for comparison by the Village:
1. KFC 1030 N Roselle Rd. (restaurant with drive-thru)
 2. McDonalds 1070 N Roselle Rd. (restaurant with drive-thru)
 3. American Matress (general retail)
- B. Will this project contain any noise generators that will adversely affect surrounding areas?
Yes No
If yes, please address as part of the narrative.

- C. Is there anything included in this project that may be sensitive to surrounding noise generators?
Yes No

If yes, please address as part of the narrative.

- D. Do you intend to apply for a liquor license? Yes No

If yes, please contact the Village Clerk's Office at 847.781.2625

- E. Will this project contain a cafeteria or food service area (in order to determine applicability of a sewer and water surcharge)? Yes No

If yes, please address as part of the narrative.

- F. In the project narrative, please list and explain anything involved in this project that is not covered in this application that should be brought to the Village's attention. Also address any rare or unusual circumstances or needs related to this project.

Please contact the Planning Division with any questions:

Email: planning@hoffmanestates.org

Address: 1900 Hassell Road
Hoffman Estates, IL 60169

Phone: 847.781.2660

Fax: 847.781.2679

PROJECT NARRATIVE
HOFFMAN PLAZA – OUTLOT 4
VILLAGE OF HOFFMAN ESTATES, ILLINOIS

INTRODUCTION

This report presents calculations and documentation for the design of the stormwater and sanitary facilities for the proposed retail development in the Village of Hoffman Estates, IL. The 0.30-acre project site is located 1067 North Roselle Road, Hoffman Estates, Illinois, in what is currently a planned outlot as part of a previous development referred to as Hoffman Plaza. The site is located in Township 41 North, Range 10 East, Section 15.

The purpose of this report is to provide a general narrative of the existing conditions of the site, as well as a description of the proposed site conditions.

EXISTING CONDITIONS

The existing site is currently an asphalt parking lot surrounding a vacant building pad within a larger retail development and was surveyed by Manhard Consulting LTD. dated on January 2, 2019. The FEMA FIRM Panel #17031C0187J, effective August 19th, 2008 shows that the project area does not contain regulatory floodplain or floodway within the limits of construction. The National Wetland Inventory shows no wetlands on site.

The existing site currently has minor landscaping. Existing conditions are reflected in sheet 2 of the Construction Plans.

PROPOSED CONDITIONS

The proposed retail development consists of a 0.30-acre site located at 1067 North Roselle Road, Hoffman Estates, Illinois. The site will be developed into a speculative retail building with 2 units, totaling approximately 4,680 square feet. Once developed, the site will include a drive thru, parking lot, and underground improvements. The new building will share parking with the existing parking provided in Phase 1 for the Burlington store. A drive-thru is proposed for one of the two tenants.

In general, the runoff from the existing site sheet flows into existing stormwater management structures into facilities that detain the runoff for the entire development. The proposed development will include gutters and storm structures to convey and this surface flow to the existing detention facility on the same property.

Stormwater Detention, Volume Control, and Water Quality Measures

The existing site was mass graded as part of the Burlington Store construction. Detention has been provided under multiple previous permits. Outlot 4 was assumed to be 90% impervious for the purposes of stormwater management. The proposed site plan will be a reduction of the assumed percent impervious. Therefore, additional detention will not be required. The site will tie into existing facilities provided by the previous project that were designed to include the current proposed site.

Storm Sewer

The proposed storm sewer system collects storm runoff through a proposed inlet and roof drains and routes it to an existing detention system below the ground provided during a previous development of the larger site. Most of the site drains to existing storm structures and will continue to do so in the proposed condition.

Sanitary Sewer

The sanitary sewer leaves the building by one connection and connects to an existing 6" stub in the northeast corner of the site. The project currently includes one tenant that will provide food service. An internal grease separator is proposed and drawings will be provided by the MEP.

CONCLUSION

In our professional opinion, the stormwater and sanitary sewer design for this project, as described in this report, meets the requirements set forth by the Metropolitan Water Reclamation District of Greater Chicago and general engineering practices. We respectfully request your concurrence and approval.

Sincerely,

MANHARD CONSULTING, LTD

Zach Steele
Manhard Consulting

Hoffman Plaza - Outlot 4

1033-37 N Roselle Road

Introduction

Owner/Developer

Sterling Organization

John DeWolfe, Senior Vice President

Consultants

Civil Engineer: Manhard Consulting, Zach Steele

Landscape Architect: Manhard Consulting, Matt Nelson

Architect: Jensen & Jensen Architects, David Dix

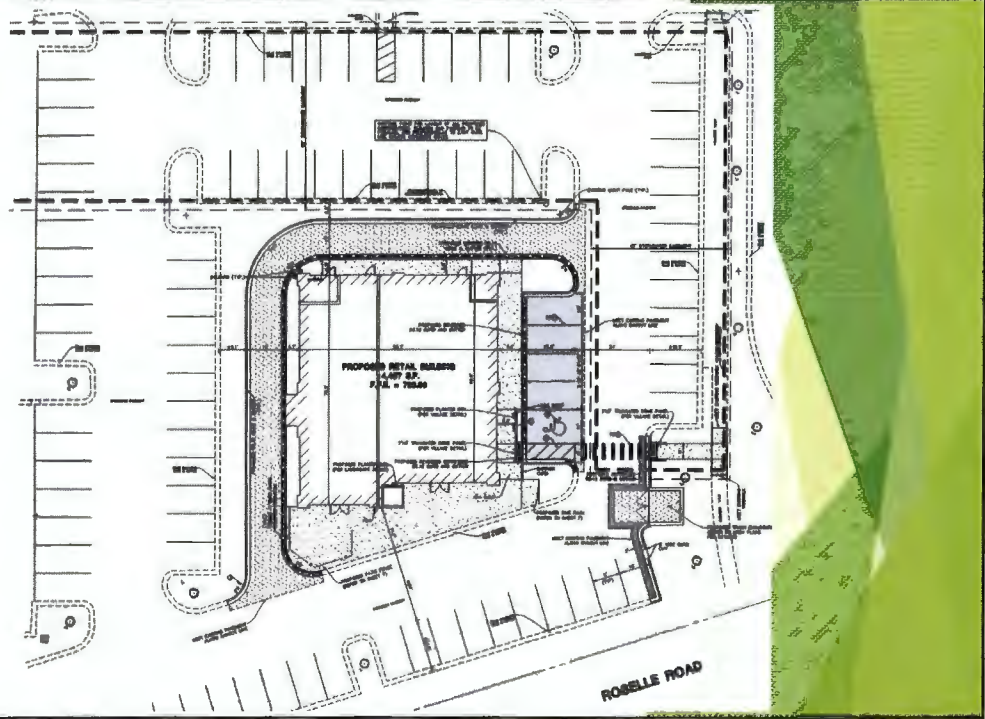
Project Overview

- ▶ Location Map
- ▶ Site Plan
- ▶ Utility Plans
- ▶ Landscape Plans
- ▶ Architectural Elevations and Floor Plan
- ▶ Material Samples

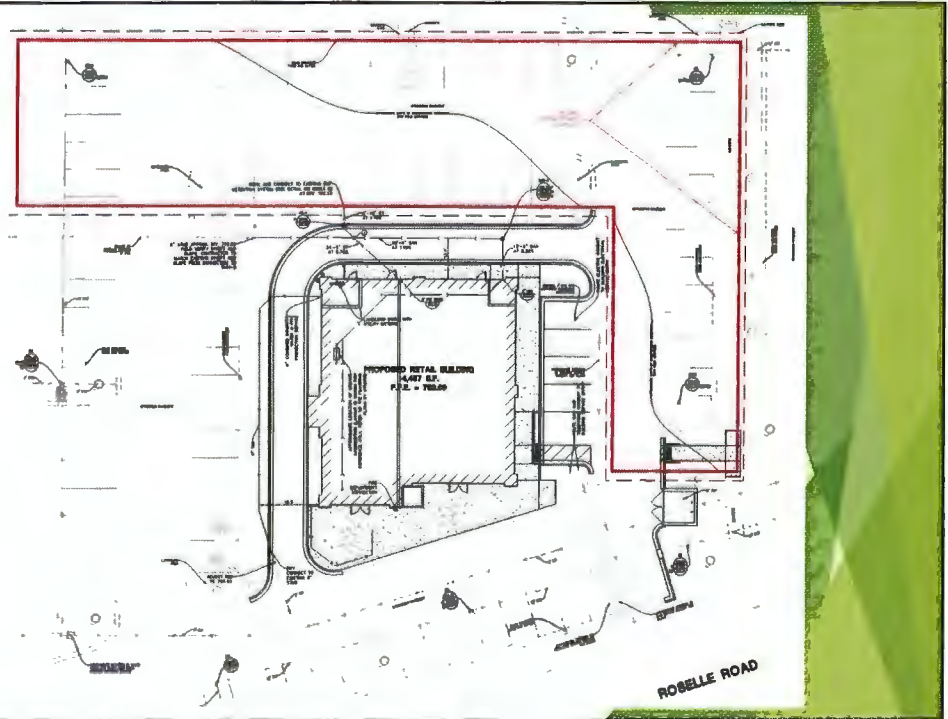
Location Map



Site Plan

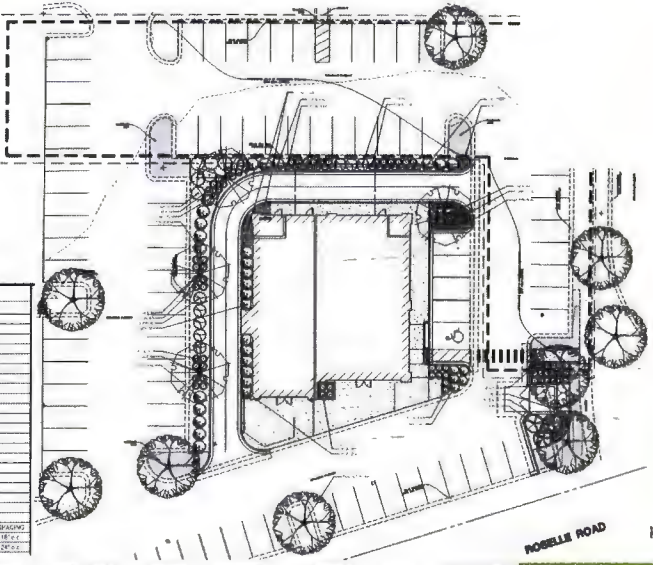


Utility Plan



Landscape Plan

QUANTITY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
DECIDUOUS TREES					
GLS ONE	4	Castanea sativa 'Primo' (Chestnut)	Thornless Green Hornbeak	2 1/2' Cal	438
EVERGREEN TREES					
UN FAT	3	Juniperus horizontalis 'Lambert' (Lambert's Blue Juniper)	Parsons Juniper	6' H	
DRIPPOLETS SHRUBS					
WILY GARD	14	Rosa rugosa 'Goldschmied' (Goldschmied Rose)	Old Blush Rose	3 gal	Plt
WILY WIND	18	Rosa rugosa 'Goldschmied' (Goldschmied Rose)	Old Blush Rose	3 gal	Plt
WILY WIND	12	Rosa rugosa 'Goldschmied' (Goldschmied Rose)	Old Blush Rose	3 gal	Plt
WILY WIND	6	Rosa rugosa 'Goldschmied' (Goldschmied Rose)	Old Blush Rose	3 gal	Plt
WILY WIND	3	Rosa rugosa 'Goldschmied' (Goldschmied Rose)	Old Blush Rose	3 gal	Plt
EVERGREEN SHRUBS					
WILY WIND	4	Juniperus horizontalis 'Lambert' (Lambert's Blue Juniper)	Parsons Juniper	3 gal	Plt
COMPLEMENTARY SHRUBS					
DAL BAR	37	Campanula medium 'Primo' (Primo Bellflower)	Primo Bellflower	3 gal	Plt
WILY WIND	43	Rosa rugosa 'Goldschmied' (Goldschmied Rose)	Old Blush Rose	3 gal	Plt
WILY WIND	6	Rosa rugosa 'Goldschmied' (Goldschmied Rose)	Old Blush Rose	3 gal	Plt
WILY WIND	43	Rosa rugosa 'Goldschmied' (Goldschmied Rose)	Old Blush Rose	3 gal	Plt
GRAND COVERS					
WILY WIND	27	Hemerocallis 'Stella de Oro' (Stella de Oro Day Lily)	Stella de Oro Day Lily	3 gal	Plt
WILY WIND	15	Hemerocallis 'Stella de Oro' (Stella de Oro Day Lily)	Stella de Oro Day Lily	3 gal	Plt



Manhard
CONSULTING LTD

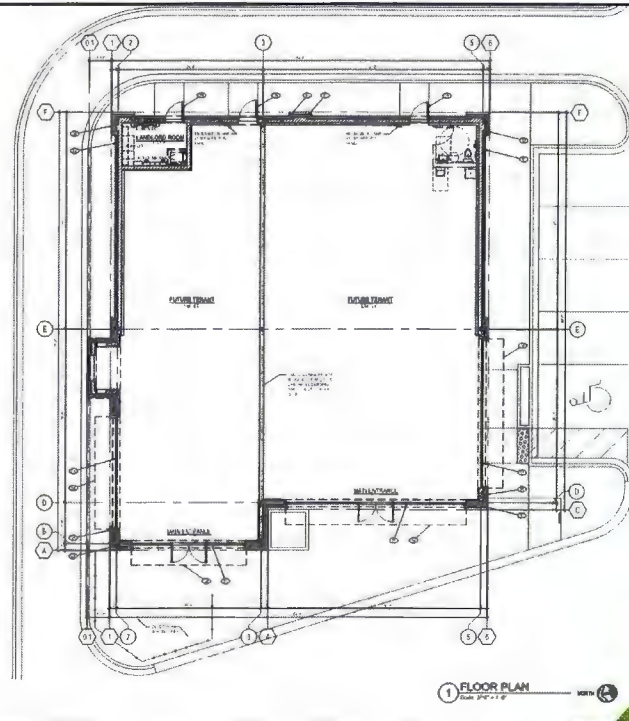
Elevations



Elevations



Floor Plan

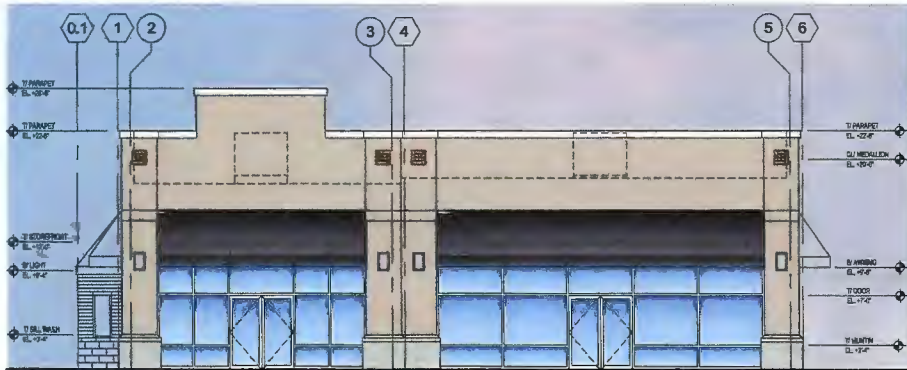


1 FLOOR PLAN
DATE: 05/21/19

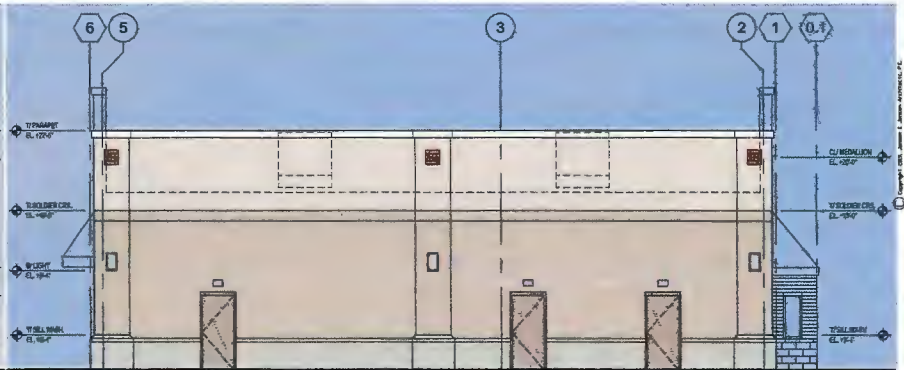
Materials Samples

IDE. 03.19 - Hofman Plaza - Corner No. 4 - Materials Update -
Jensen & Jensen Architects, P.C.

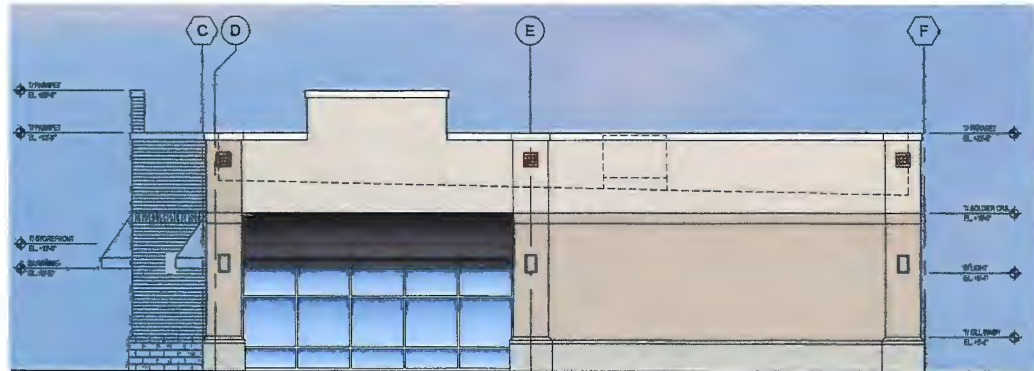




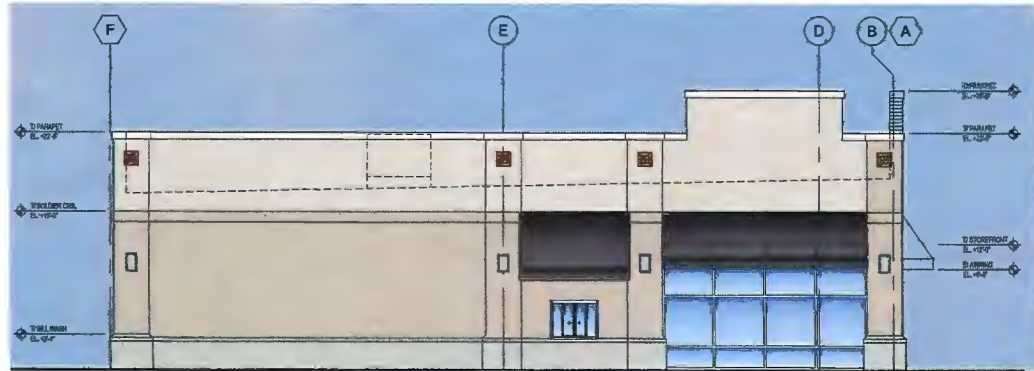
1 WEST WALL ELEVATION
Scale: 3/16" = 1'-0"



2 EAST WALL ELEVATION
Scale: 3/16" = 1'-0"



3 SOUTH WALL ELEVATION
Scale: 3/16" = 1'-0"



4 NORTH WALL ELEVATION
Scale: 3/16" = 1'-0"

Copyright © 2019, James L. Jensen Architects, P.C.
 1000 WEST 95th Street, Suite 200, Burr Ridge, Illinois 60527
 Tel: (630) 331-7773
 Fax: (630) 331-7774
 www.jensenandjensen.com
Jensen & Jensen
 Architects, P.C.

NEW RETAIL BUILDING FOR
Hoffman Plaza Outlet 4
 1807 North Lincoln Rd.
 Hoffman Estates, IL

EXTERIOR
 ELEVATIONS

DATE	DESCRIPTION

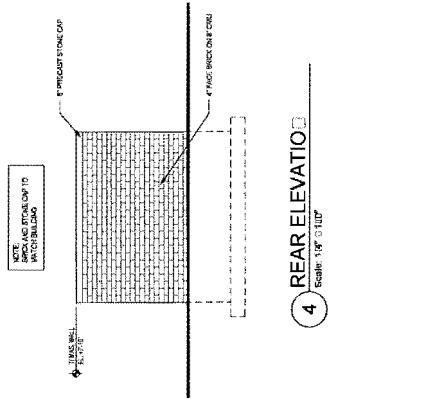
Drawn: CHA
 DAD: JH
 Date: 04.30.19
 Project: 1919-23-A.dwg

Sheet: **A2.0C**

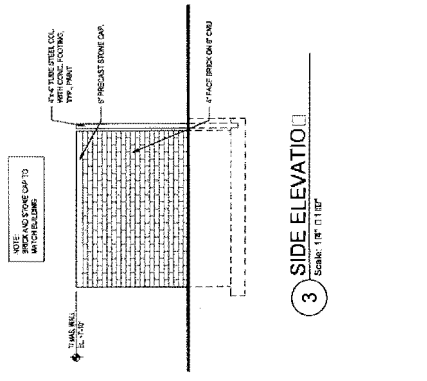
ISSUED FOR REVIEW 04-30-2019

NO.	DATE	BY	CHKD BY

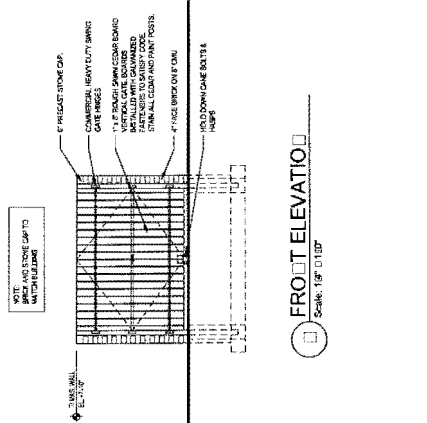
ISSUED FOR REVIEW 08-05-2019



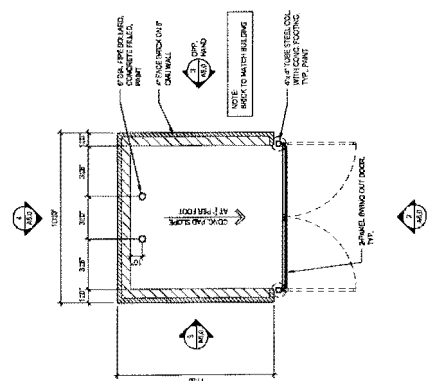
4 REAR ELEVATION
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3 SIDE ELEVATION
 Scale: 1/8" = 1'-0"



2 FRONT ELEVATION
 Scale: 1/8" = 1'-0"

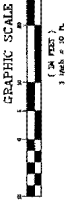
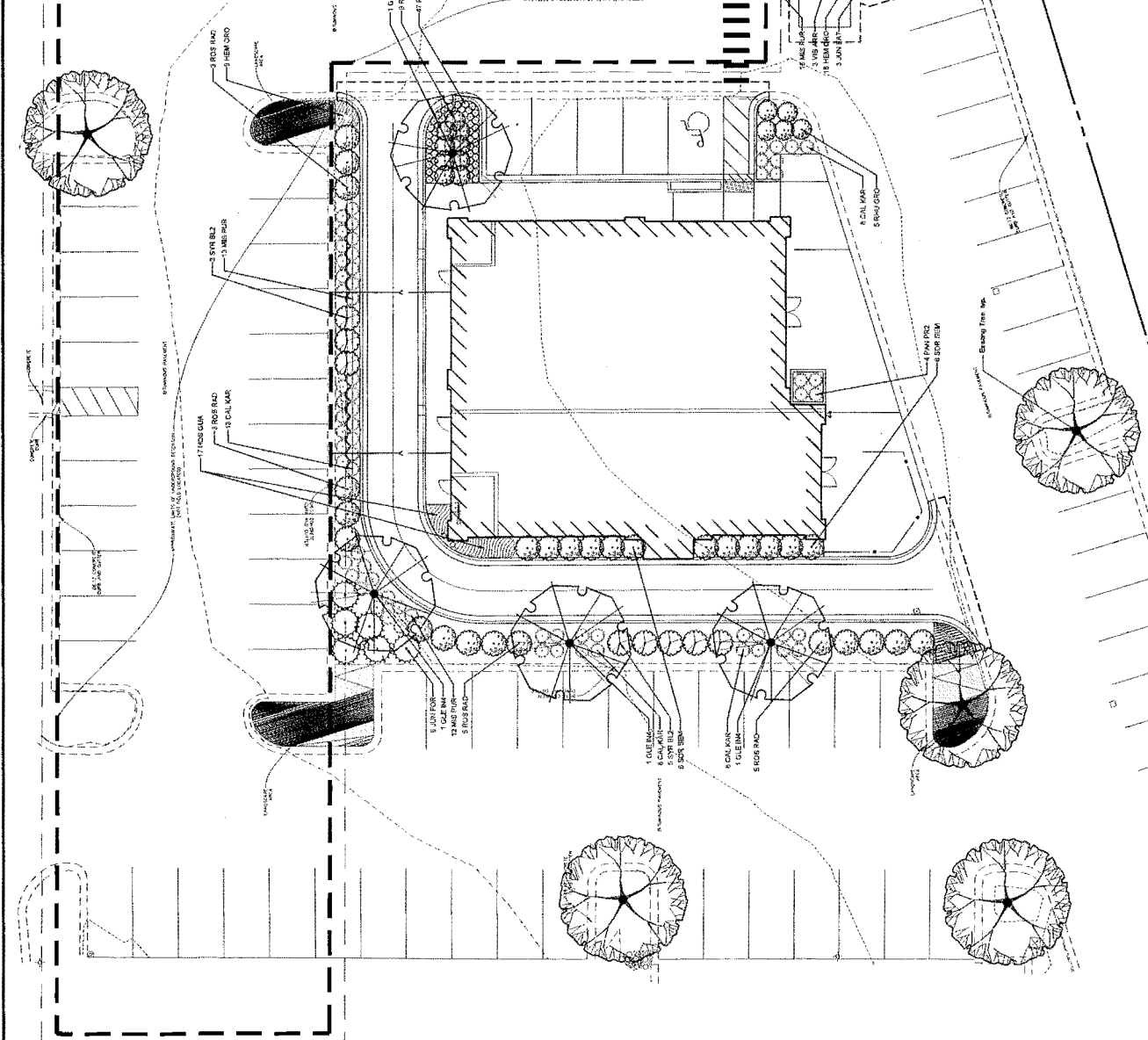


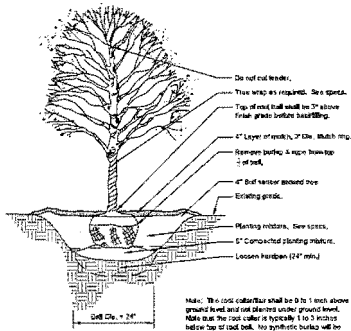
1 TRASH ENCLOSURE PLAN
 Scale: 1/8" = 1'-0"



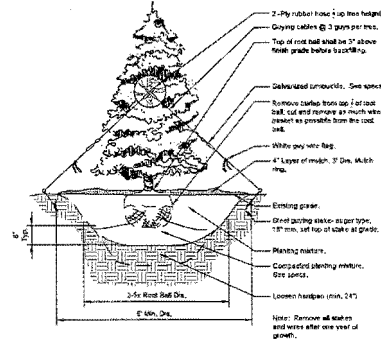
PLANT SCHEDULE

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
D	4	DECELIUM	Thornless Green Honeylocust	3" x 3" CM	BBS
		GLORIA	Greenhollyhock	3" x 3" CM	BBS
E	3	EVANGELINA	Flamingo Juniper	8" H	CONTAINER
		EVANGELINA	Flamingo Juniper	8" H	CONTAINER
S	14	SPRING	Common Name	5 gal	CONTAINER
		SPRING	Common Name	5 gal	CONTAINER
		SPRING	Common Name	5 gal	CONTAINER
		SPRING	Common Name	5 gal	CONTAINER
		SPRING	Common Name	5 gal	CONTAINER
V	3	VIOLA	Common Name	5 gal	CONTAINER
		VIOLA	Common Name	5 gal	CONTAINER
G	37	GRASS	Common Name	1 gal	CONTAINER
		GRASS	Common Name	1 gal	CONTAINER
		GRASS	Common Name	1 gal	CONTAINER
		GRASS	Common Name	1 gal	CONTAINER
		GRASS	Common Name	1 gal	CONTAINER
		GRASS	Common Name	1 gal	CONTAINER
		GRASS	Common Name	1 gal	CONTAINER
		GRASS	Common Name	1 gal	CONTAINER
		GRASS	Common Name	1 gal	CONTAINER
		GRASS	Common Name	1 gal	CONTAINER
C	4	CORN	Common Name	1 gal	CONTAINER
		CORN	Common Name	1 gal	CONTAINER
		CORN	Common Name	1 gal	CONTAINER
		CORN	Common Name	1 gal <td CONTAINER	
M	77	MILK	Common Name	1 gal	CONTAINER
		MILK	Common Name	1 gal	CONTAINER

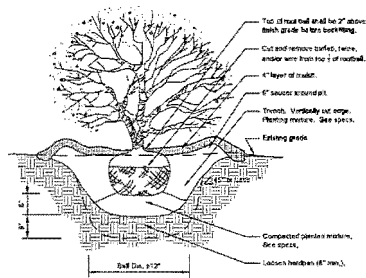




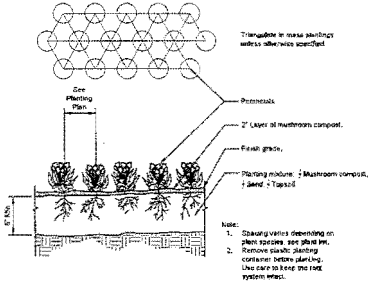
1 DECIDUOUS TREE PLANTING
 1/4" = 1'-0" 3/23/13-23



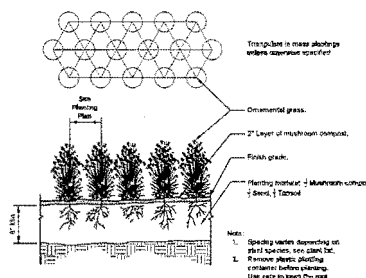
2 CONIFER TREE PLANTING
 1/4" = 1'-0" 3/23/13-46/61



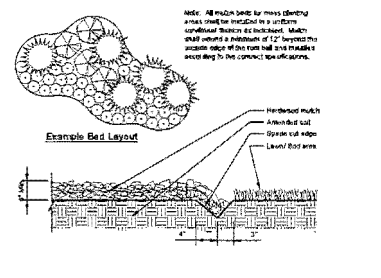
3 SHRUB PLANTING DETAIL
 1/4" = 1'-0" 3/23/13-16/49



4 PERENNIAL / ANNUAL PLANTING
 1/4" = 1'-0" 3/23/13-26/42



5 ORNAMENTAL GRASS PLANTING
 1/4" = 1'-0" 3/23/13-41



6 CONTINUOUS MULCH EDGING
 1/4" = 1'-0" 3/23/13-36/43

City of Hoffman Estates Required Landscaping

PARKWAY TREE REQUIREMENT
 One canopy tree per 50' of street frontage, in the parkway on each side of each public street.
 Roselle Road - 6' Wide existing parkway unplanted, too narrow for street trees. Surrounding area commercial developments are also not planted in parkways.
 On Plan - Not Provided due to parkway size and adjacent development standards. Outside of project limits.

SITE PERIMETER AND BUFFER AREAS
 A minimum site perimeter width of ten feet shall be required.
 Shade trees, evergreen trees, or a mix of shade and evergreen trees, shall be provided at the equivalent of 40 feet apart.

On Plan - Perimeter Planting area outside of project limits and is currently landscaped

PARKING LOT SCREENING AREAS
 The minimum height requirement of screening and buffer areas provided shall be three feet at the periphery of parking lots, paved interior roads, and wherever headlight glare is anticipated to be problematic. In no case shall less than 60 percent of a parking lot perimeter adjacent to public or private roads be screened with shrubs and/or trees.

On Plan - Parking lot screening area outside of project limits and is currently landscaped

PARKING LOT INTERIOR LANDSCAPING
 One tree per (15) fifteen parking spaces planted within interior of parking lot.

Parking Lot along sides of building (existing parking not included, outside of project limits)
 Total Number of Parking Spaces - 5 Proposed

5 parking spaces
 15 spaces per tree = (0.3) = 0 canopy trees

Required - 0 canopy trees
 On Plan - 1 canopy tree

FOUNDATION PLANTINGS
 Landscape improvements shall be provided along building facades, visible from adjacent properties and right-of-way areas. Additional landscaping may be required by the Village Board.
 Landscape improvements shall be provided to screen views of mechanical equipment, bicycle parking areas, and loading docks from adjacent properties and right-of-way areas.

On Plan - Requirement to met.

- Minimum clearances shall be provided as follows:
- Eight feet between the center trunkline of a tree and a fire hydrant.
 - Four feet between the center trunkline of a tree and any paved surface.
- In developments requiring more than 20 trees, the following standards apply:
- No genus selected for planting shall exceed 20 percent of the overall total of trees being planted.
 - No species selected for planting shall exceed ten percent of the overall total of street trees being planted.
 - Street trees shall be planted in a sequence using all approved species in an alternating fashion, or with no more than six of the same species being planted in succession.
- Surface areas shall be graded and covered with a minimum of six inches of topsoil and sod or landscape plantings.

GENERAL PLANTING SPECIFICATIONS

PART 1 - GENERAL

1-01 DESCRIPTION

- A. Provide trees, shrubs, perennials and groundcovers as shown and specified. See notes and schedule.
- B. Provide all necessary irrigation and drainage.
- C. Provide all necessary mulch and weed control.
- D. Provide all necessary staking and support.
- E. Provide all necessary watering and maintenance.

1-02 QUALITY ASSURANCE

- A. Carry out all work requirements.
- B. Show sources and methods of procurement for all materials and labor to be used in the work.
- C. Provide all necessary permits and approvals for the work.
- D. Provide all necessary insurance for the work.
- E. Provide all necessary safety measures for the work.

1-03 DELIVERY, STORAGE & HANDLING

- A. Deliver all materials to the site in accordance with the schedule.
- B. Store all materials in a secure and dry location.
- C. Handle all materials in accordance with the manufacturer's instructions.
- D. Protect all materials from damage and theft.
- E. Provide all necessary documentation for the materials.

1-04 PROJECT CONDITIONS

- A. Notify the Contractor of any site conditions that may affect the work.
- B. Provide all necessary access for the Contractor.
- C. Protect all existing structures and utilities.
- D. Provide all necessary utilities for the work.
- E. Provide all necessary safety measures for the work.

1-05 PRELIMINARY ACCEPTANCE

- A. Provide all necessary information for the preliminary acceptance.
- B. Provide all necessary access for the preliminary acceptance.
- C. Provide all necessary safety measures for the preliminary acceptance.

1-06 WARRANTY

- A. Provide all necessary information for the warranty.
- B. Provide all necessary access for the warranty.
- C. Provide all necessary safety measures for the warranty.

PART 2 - PRODUCTS

2-01 PLANT MATERIALS

- A. Provide all necessary information for the plant materials.
- B. Provide all necessary access for the plant materials.
- C. Provide all necessary safety measures for the plant materials.
- D. Provide all necessary documentation for the plant materials.
- E. Provide all necessary safety measures for the plant materials.

2-02 ACCESSORIES

- A. Provide all necessary information for the accessories.
- B. Provide all necessary access for the accessories.
- C. Provide all necessary safety measures for the accessories.
- D. Provide all necessary documentation for the accessories.
- E. Provide all necessary safety measures for the accessories.

2-03 PLANTING PROCEDURES

- A. Provide all necessary information for the planting procedures.
- B. Provide all necessary access for the planting procedures.
- C. Provide all necessary safety measures for the planting procedures.
- D. Provide all necessary documentation for the planting procedures.
- E. Provide all necessary safety measures for the planting procedures.

2-04 MAINTENANCE

- A. Provide all necessary information for the maintenance.
- B. Provide all necessary access for the maintenance.
- C. Provide all necessary safety measures for the maintenance.
- D. Provide all necessary documentation for the maintenance.
- E. Provide all necessary safety measures for the maintenance.

PART 3 - INSTALLATION OF PLANT MATERIAL

3-01 FIELD VERIFICATION

- A. Provide all necessary information for the field verification.
- B. Provide all necessary access for the field verification.
- C. Provide all necessary safety measures for the field verification.

3-02 PREPARATION

- A. Provide all necessary information for the preparation.
- B. Provide all necessary access for the preparation.
- C. Provide all necessary safety measures for the preparation.
- D. Provide all necessary documentation for the preparation.
- E. Provide all necessary safety measures for the preparation.

3-03 PLANTING

- A. Provide all necessary information for the planting.
- B. Provide all necessary access for the planting.
- C. Provide all necessary safety measures for the planting.
- D. Provide all necessary documentation for the planting.
- E. Provide all necessary safety measures for the planting.

3-04 MAINTENANCE

- A. Provide all necessary information for the maintenance.
- B. Provide all necessary access for the maintenance.
- C. Provide all necessary safety measures for the maintenance.
- D. Provide all necessary documentation for the maintenance.
- E. Provide all necessary safety measures for the maintenance.

GENERAL PLANTING SPECIFICATIONS

PART 1 - GENERAL

- A. Provide trees, shrubs, perennials and groundcovers as shown and specified. See notes and schedule.
- B. Provide all necessary irrigation and drainage.
- C. Provide all necessary mulch and weed control.
- D. Provide all necessary staking and support.
- E. Provide all necessary watering and maintenance.

PART 2 - PRODUCTS

- A. Provide all necessary information for the plant materials.
- B. Provide all necessary access for the plant materials.
- C. Provide all necessary safety measures for the plant materials.
- D. Provide all necessary documentation for the plant materials.
- E. Provide all necessary safety measures for the plant materials.

PART 3 - INSTALLATION OF PLANT MATERIAL

- A. Provide all necessary information for the field verification.
- B. Provide all necessary access for the field verification.
- C. Provide all necessary safety measures for the field verification.
- D. Provide all necessary documentation for the field verification.
- E. Provide all necessary safety measures for the field verification.

PART 4 - MAINTENANCE

- A. Provide all necessary information for the maintenance.
- B. Provide all necessary access for the maintenance.
- C. Provide all necessary safety measures for the maintenance.
- D. Provide all necessary documentation for the maintenance.
- E. Provide all necessary safety measures for the maintenance.

PART 5 - SITE CLEANUP

- A. Provide all necessary information for the site cleanup.
- B. Provide all necessary access for the site cleanup.
- C. Provide all necessary safety measures for the site cleanup.
- D. Provide all necessary documentation for the site cleanup.
- E. Provide all necessary safety measures for the site cleanup.

PART 6 - ACCEPTANCE

- A. Provide all necessary information for the acceptance.
- B. Provide all necessary access for the acceptance.
- C. Provide all necessary safety measures for the acceptance.
- D. Provide all necessary documentation for the acceptance.
- E. Provide all necessary safety measures for the acceptance.

PART 7 - WARRANTY

- A. Provide all necessary information for the warranty.
- B. Provide all necessary access for the warranty.
- C. Provide all necessary safety measures for the warranty.
- D. Provide all necessary documentation for the warranty.
- E. Provide all necessary safety measures for the warranty.

PART 8 - NOTES

- A. Provide all necessary information for the notes.
- B. Provide all necessary access for the notes.
- C. Provide all necessary safety measures for the notes.
- D. Provide all necessary documentation for the notes.
- E. Provide all necessary safety measures for the notes.

PART 9 - APPENDICES

- A. Provide all necessary information for the appendices.
- B. Provide all necessary access for the appendices.
- C. Provide all necessary safety measures for the appendices.
- D. Provide all necessary documentation for the appendices.
- E. Provide all necessary safety measures for the appendices.

MANHARD CONSULTING ENGINEERS

LANDSCAPE SPECIFICATIONS

VILLAGE OF HOFFMAN PLAZA - OUTLOT 4

HOFFMAN PLAZA - OUTLOT 4

LANDSCAPE SPECIFICATIONS

SHEET

L3 OF L3

STANDARD

DATE: 05/15/2018
TIME: 10:00 AM

PROJECT: HOFFMAN PLAZA - OUTLOT 4

CLIENT: VILLAGE OF HOFFMAN

DESIGNER: MANHARD CONSULTING ENGINEERS

SCALE: AS SHOWN

DATE: 05/15/2018

TIME: 10:00 AM

PROJECT: HOFFMAN PLAZA - OUTLOT 4

CLIENT: VILLAGE OF HOFFMAN

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TIME: 10:00 AM

PROJECT: HOFFMAN PLAZA - OUTLOT 4

CLIENT: VILLAGE OF HOFFMAN

DESIGNER: MANHARD CONSULTING ENGINEERS

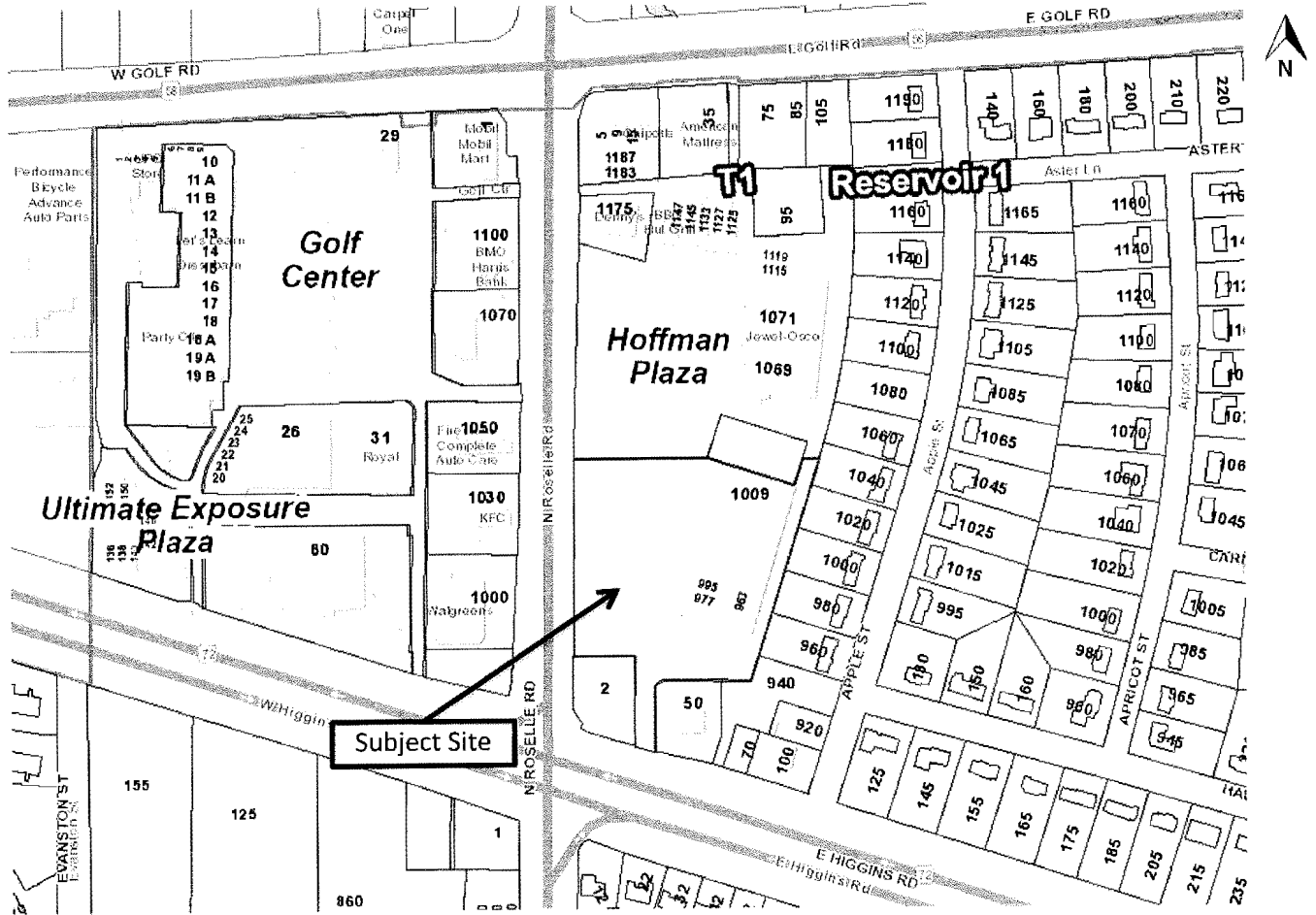
SCALE: AS SHOWN

DATE: 05/15/2018

TIME: 10:00 AM

Hoffman Plaza (In front of Burlington)

PIN: 07-15-200-045



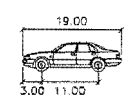
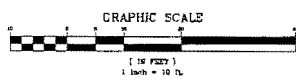
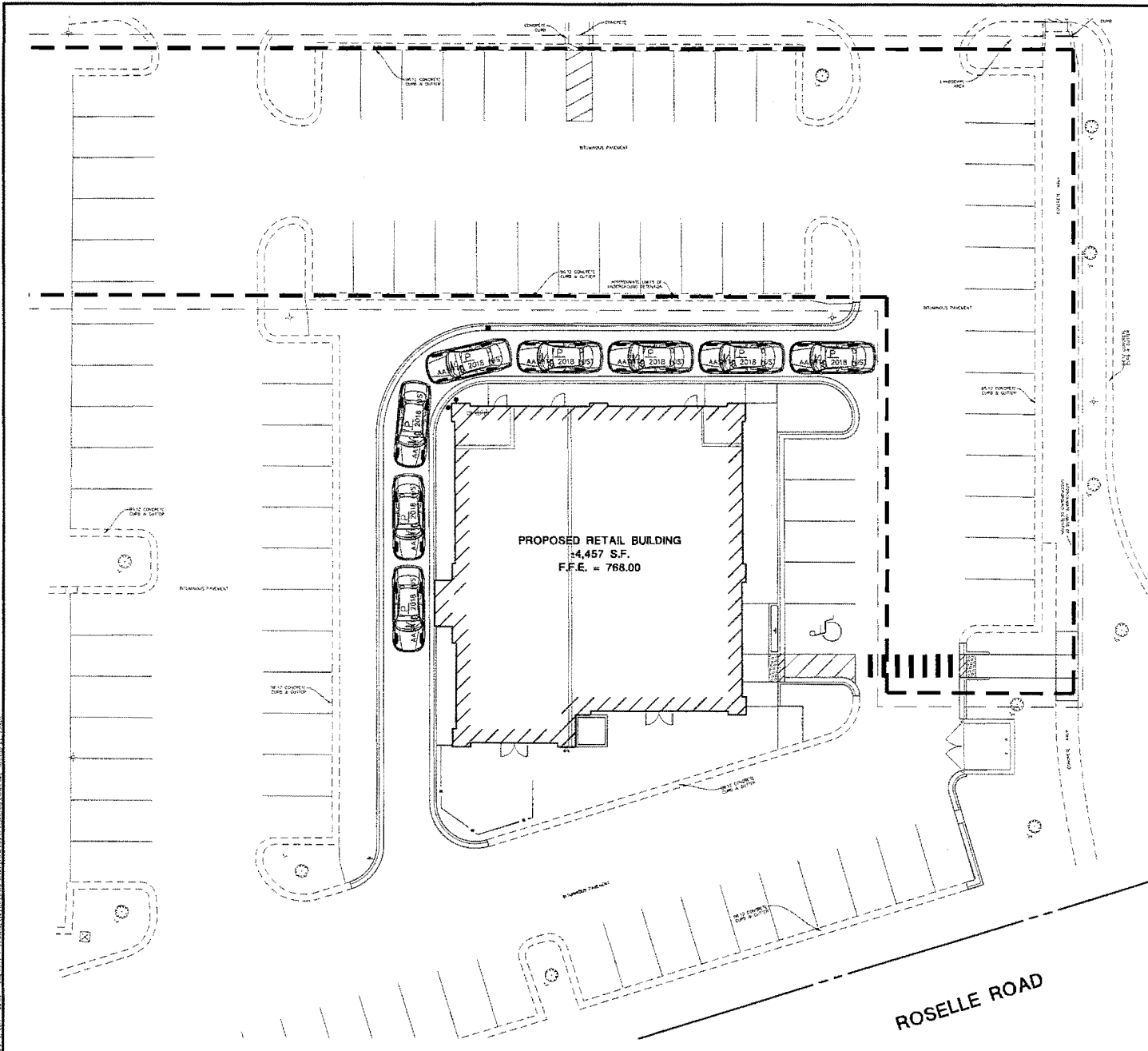
May 2019
Village of Hoffman Estates
Planning Division



Building Pad 4 (Hoffman Plaza – NEC Roselle & Higgins)



Planning Division
Village of Hoffman Estates
May 2019



P

feet	
Width	: 7.00
Track	: 6.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.6

Manhard CONSULTING						
HOFFMAN PLAZA - OUTLOT 4 VILLAGE OF HOFFMAN ESTATES, ILLINOIS STACKING EXHIBIT						
PROJECT NO. 2018-001 PROJECT NAME DATE DRAWN BY CHECKED BY SCALE SHEET NO. 1 OF 1 STW/MJL/IZ						

FOR SITE PLAN APPROVAL

Proposed Improvements for HOFFMAN PLAZA - OUTLOT 4

1067 NORTH ROSELLE ROAD
VILLAGE OF HOFFMAN ESTATES, ILLINOIS

STANDARD SYMBOLS

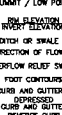
EXISTING

Legend of existing symbols for storm, sanitary, and utility lines, including dimensions and materials like 12" PVC, 18" CIP, etc.



PROPOSED

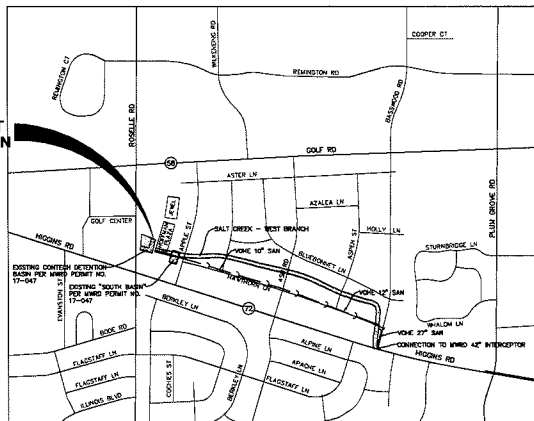
Legend of proposed symbols for storm, sanitary, and utility lines, including dimensions and materials like 12" PVC, 18" CIP, etc.



ABBREVIATIONS

Table of abbreviations for construction elements: ADU, AGG, ARCH, ALAN, etc., corresponding to descriptions like 'ADJUTANT', 'AGGREGATE', 'ARCHITECT', etc.

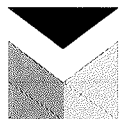
PROJECT LOCATION



LOCATION MAP

N.T.S.

OWNER: SVAP HOFFMAN PLAZA, L.P.
340 ROYAL POINCIANA WAY, SUITE 316
PALM BEACH, FLORIDA 33480
(561) 623-5949



Manhard

CONSULTING LTD

800 Woodlands Parkway, Vernon Hills, IL 60061 • (847) 834-8380 • (847) 834-0288 • manhard.com
Civil Engineers • Surveyors • Water Resource Engineers • Water & Wastewater Engineers
Construction Managers • Environmental Scientists • Landscape Architects • Planners



INDEX OF SHEETS

SHEET NUMBER	SHEET TITLE
1	TITLE SHEET
2	EXISTING CONDITIONS AND DEMOLITION PLAN
3	SOIL EROSION AND SEDIMENT CONTROL PLAN
4	SITE DIMENSIONAL AND PAVING PLAN
5	GRADING PLAN
6	UTILITY PLAN
7	CONSTRUCTION DETAILS
8	CONSTRUCTION DETAILS
8A	MWRD GENERAL NOTES
9	CONSTRUCTION SPECIFICATIONS
EX1	MWRD DRAINAGE EXHIBIT

NOTES:

- 1. THE TOPOGRAPHY FOR THIS PROJECT ARE BASED ON A FIELD SURVEY COMPLETED BY MANHARD CONSULTING, LTD. ON JANUARY 2, 2019. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY MANHARD CONSULTING AND THE CLIENT IN WRITING OF ANY DIFFERING CONDITIONS.

BENCHMARKS:

REFERENCE BENCHMARK: (NGS PD:A2836)
STAINLESS STEEL ROD IN SLEEVE LOCATED APPROXIMATELY 36 FEET NORTH OF THE CENTERLINE OF WESTWARD CENTRAL ROAD AND APPROXIMATELY 1850 FEET WEST OF ROSELLE ROAD.

ELEVATION=771.10 DATUM=NAVD88

SITE BENCHMARK #1:
NORTHWEST CORNER BOLT ON HYDRANT LOCATED APPROXIMATELY 150 FEET EASTERLY OF THE CENTERLINE OF PAVEMENT OF ROSELLE ROAD AND APPROXIMATELY 155 FEET SOUTHERLY OF THE CENTER OF CONCRETE MEDIAN AT THE MAIN ENTRANCE TO HOFFMAN PLAZA.

ELEVATION= 770.34 DATUM=NAVD88

SITE BENCHMARK #2:
EAST ARROW BOLT ON HYDRANT LOCATED APPROXIMATELY 285 FEET EASTERLY OF THE CENTERLINE OF PAVEMENT OF ROSELLE ROAD AND APPROXIMATELY 375 FEET NORTHERLY OF THE CENTERLINE OF PAVEMENT OF ILLINOIS ROUTE 72 (HIGGINS ROAD)

ELEVATION=767.03 DATUM=NAVD88

UTILITY AND PERMIT CONTACTS

PLANNING AND ZONING DEPT. VILLAGE OF HOFFMAN ESTATES 1800 HASSELL ROAD HOFFMAN ESTATES, IL 60168 (847) 781-2668 CONTACT: JAMES DONAHUE	ELECTRIC COMMONWEALTH EDISON 6100 SWIFT DR OAKBROOK, IL 60523 (630) 576-7094 CONTACT: JAMES DONAHUE
SEWER VILLAGE OF HOFFMAN ESTATES 1900 HASSELL ROAD HOFFMAN ESTATES, IL 60169 (847) 252-5802 CONTACT: ALAN WENDERSKI	GAS NICOR 1011 WILEY ROAD SCHAUMBURG, IL 60173 (847) 598-4000 CONTACT: ALAN WENDERSKI
METROPOLITAN WATER RECLAMATION DISTRICT 100 EAST ERIE STREET CHICAGO, IL 60611 (312) 791-5600	WATER VILLAGE OF HOFFMAN ESTATES 1900 HASSELL ROAD HOFFMAN ESTATES, IL 60169 (847) 252-5802 CONTACT: ALAN WENDERSKI
TELEPHONE AT&T (630) 573-5450 CONTACT: CUSTOMER SERVICE	

MANHARD CONSULTING, LTD. IS NOT RESPONSIBLE FOR THE SAFETY OF ANY PARTY AT OR ON THE CONSTRUCTION SITE. SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND ANY OTHER PERSON OR ENTITY PERFORMING WORK OR SERVICES. NEITHER THE ENGINEER ASSUMES ANY RESPONSIBILITY FOR THE JOB SITE SAFETY OF PERSONS ENGAGED IN THE WORK OR THE MEANS OR METHODS OF CONSTRUCTION.

SHEET	NO.	DATE
1	1	05/2019

Manhard CONSULTING logo
HOFFMAN PLAZA - OUTLOT 4
VILLAGE OF HOFFMAN ESTATES, ILLINOIS
TITLE SHEET
SHEET 1 of 9
STD.MELO2

EXISTING CONDITIONS AND DEMOLITION PLAN



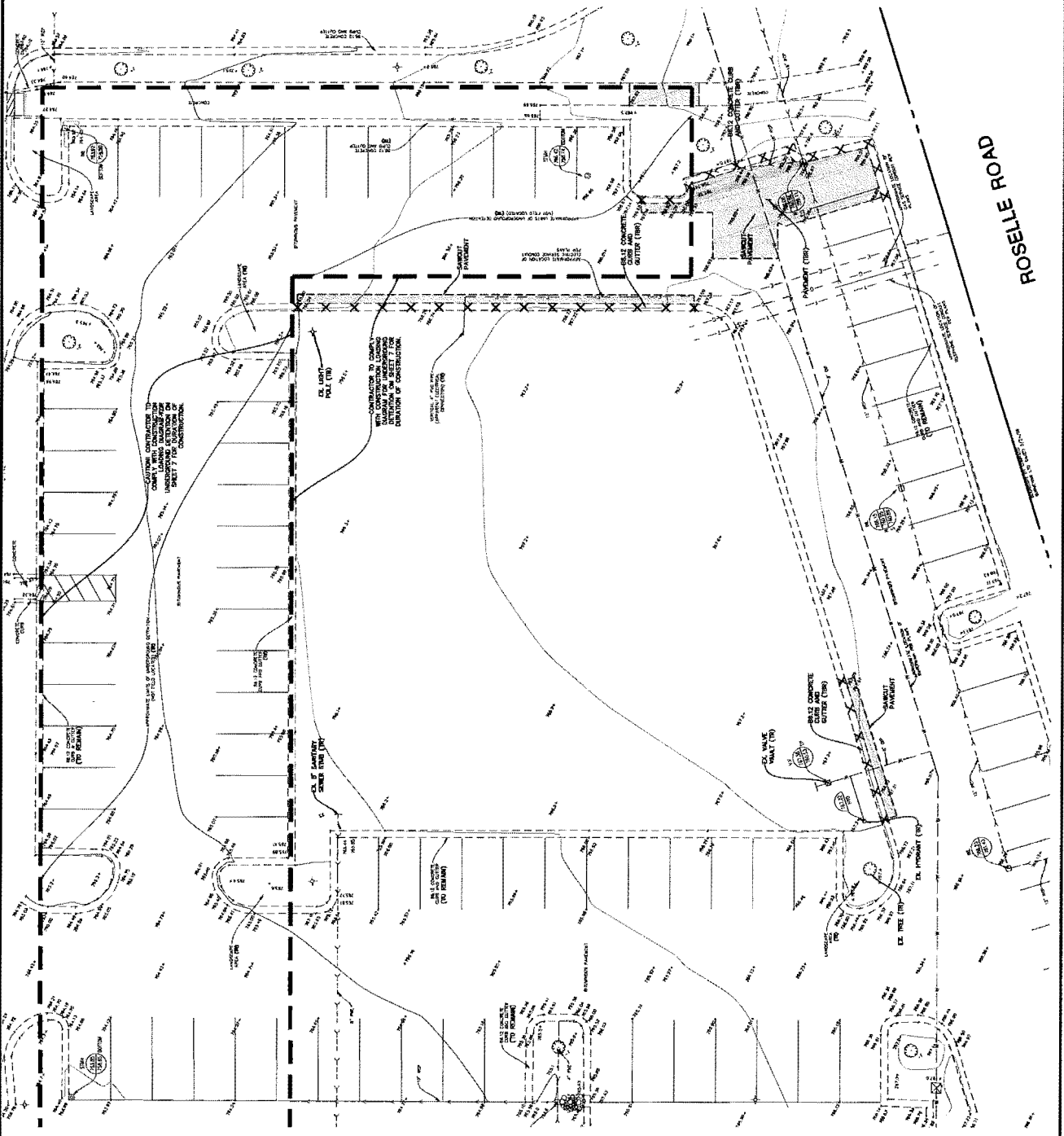
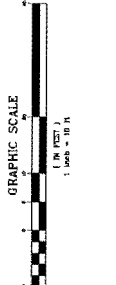
CONSTRUCTION MANAGEMENT & SUPERVISION SERVICES
 1000 W. WASHINGTON ST., SUITE 200, CHICAGO, IL 60606
 TEL: (773) 330-1100 FAX: (773) 330-1101
 WWW.MANHARD.COM

EXISTING CONDITIONS NOTES:

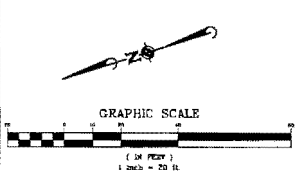
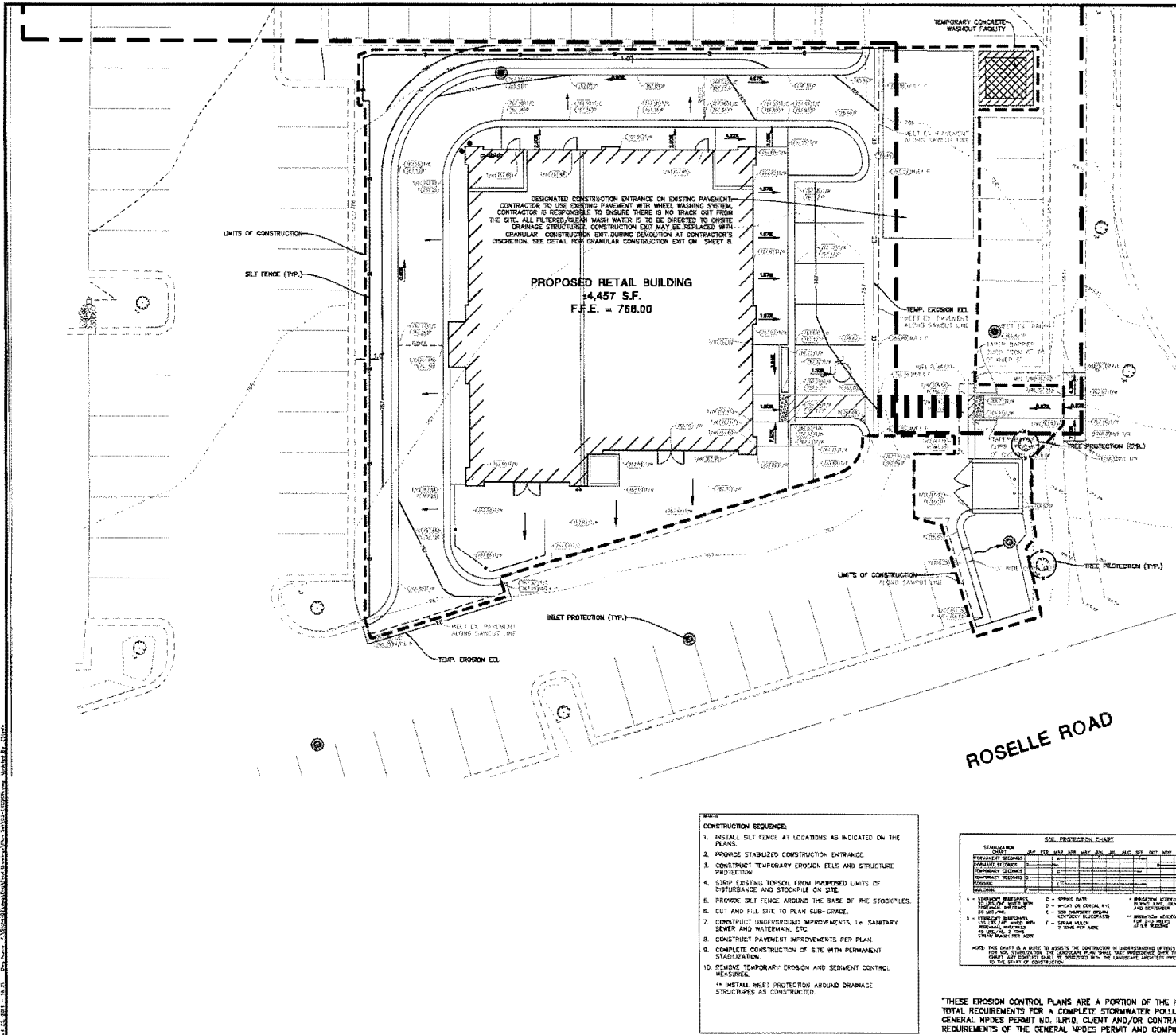
1. ALL EXISTING UTILITIES SHALL BE IDENTIFIED BY THE CONTRACTOR AND SHALL BE PROTECTED OR DELETED AS APPROPRIATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. ALL UTILITIES TO BE REMOVED SHALL BE IDENTIFIED AND DELETED AS APPROPRIATE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. ALL UTILITIES TO BE REMOVED SHALL BE IDENTIFIED AND DELETED AS APPROPRIATE.
4. REFER TO SPECIFICATIONS SHEET FOR DEMOLITION NOTES.

DEMOLITION LEGEND

[Symbol]	BITUMINOUS PAVEMENT AND BASE TO BE REMOVED
[Symbol]	SAWDEEP LINE
[Symbol]	FENCE, RETAINING WALL, RAILROAD TIES, DRIVEWAYS AND DRIVEWAYS, ETC. TO BE REMOVED
[Symbol]	UTILITY STRUCTURE TO BE REMOVED
[Symbol]	UTILITY LINE REMOVAL, TELL OR ABANDONMENT (REFER TO SPECIFICATIONS)
(TR)	TO REMAIN
(TR)	TO BE REMOVED



ROSELLE ROAD



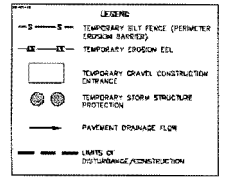
- SOIL EROSION AND SEDIMENTATION CONTROL GENERAL NOTES:**
- ALL VEGETATIVE AND STRUCTURAL EROSION CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE ILLINOIS URBAN MANUAL.
 - MAINTENANCE AND REPLACEMENT OF EROSION CONTROL MEASURES WHEN DIRECTED BY THE OWNER, SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT.
 - THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS SIX INCHES OR GREATER OF EQUIVALENT. SHOULD ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF SAID MEASURES SHALL BE MADE IMMEDIATELY.
 - INSTALL ALL PERMITTED SILT FENCING PRIOR TO ANY CLEARING OR GRADING. ON-SITE SEDIMENT CONTROL MEASURES AS SHOWN AND SPECIFIED BY THIS EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE CONSTRUCTED AND MAINTAINED PRIOR TO INITIATING CLEARING, GRADING, SHIPING, EXCAVATION OR PILING ACTIVITIES ON THE SITE.
 - STORM WATER RAINFALL ON THE ENTIRE SITE SHALL BE DIVERTED INTO THE UNDERGROUND DETENTION BASIN PRIOR TO BEGINNING EXCAVATION. THE CONTRACTOR SHALL CONSTRUCT DITCHES, SHALES, SEDIMENTATION TRAPS AND SEDIMENT CONTROL MEASURES AS REQUIRED TO INTERCEPT SURFACE WATERS BEFORE THEY FLOW INTO ADJACENT PROPERTY AND CONVEY THEM TO THE UNDERGROUND DETENTION BASIN.
 - IF STORMWATER DETENTION IS NOT REQUIRED THE CONTRACTOR SHALL CONSTRUCT DITCHES, SHALES, SEDIMENT TRAPS AND SEDIMENT CONTROL MEASURES AS REQUIRED TO INTERCEPT SURFACE WATERS BEFORE THEY FLOW ONTO ADJACENT PROPERTY.
 - DISTURBED AREA SHALL BE STABILIZED BY SEEDING AT A MINIMUM WITHIN SEVEN (7) DAYS OF COMPLETION OF CLEARANCE UNLESS THE AREA WILL BE DISTURBED WITHIN FIFTEEN (15) DAYS AND GRASS DOWN AS NECESSARY TO RE-ESTABLISH VEGETATION FOR CONTROL OF SILTATION AND SOIL EROSION.
 - TEMPORARY SEED MIXTURE SHALL BE APPLIED AT 64 LBS./ACRE.
 - INLET PROTECTION SHALL BE INSTALLED UNDER THE GRATING OF EACH DRAINAGE STRUCTURE.
 - TOPSOIL STOCKPILES SHALL BE SEEDED WITHIN SEVEN (7) CALENDAR DAYS OF COMPLETION FOR EROSION CONTROL. UNLESS THEY WILL BE RESTORED WITHIN FIFTEEN (15) CALENDAR DAYS. ALL SOIL STORAGE PILES SHALL BE PROTECTED FROM EROSION WITH SILT FENCE ON THE DOWN SLOPE SIDE OF THE PILES.
 - DURING DRAINAGE OPERATIONS, WATER WILL BE PUMPED INTO TANKS BROUGHT IN BY CONTRACTOR. DEWATERING DIRECTLY INTO FIELD TILES OR STORMWATER STRUCTURES IS PROHIBITED.
 - WATER PUMPED DURING CONSTRUCTION OPERATION SHALL BE FILTERED.
 - MUST CONTROL SHALL BE PERFORMED ON A DAILY BASIS USING WATER DISPENSED FROM A TRUCK MOUNTED TANK WITH STANDARD DISCHARGE HEADER TO PROVIDE A UNIFORM RATE OF APPLICATION.
 - TEMPORARY GRAVEL CONSTRUCTION ENTRANCES SHALL BE MAINTAINED ADDED OR RELOCATED AS NECESSARY TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC ROADWAYS. ANY SEDIMENT TRACKING A PUBLIC ROAD SHALL BE REMOVED BY SHOWERING OF STREET CLEANING BEFORE THE END OF EACH WORKING DAY.
 - ANY LOOSE MATERIAL THAT IS DEPOSITED IN THE FLOW LINE OF ANY DITCHES OR DRAINAGE STRUCTURES DURING CONSTRUCTION OPERATIONS SHALL BE REMOVED AT THE CLOSE OF EACH WORKING DAY.
 - THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE CLIENT OR OTHER APPLICABLE GOVERNMENTAL AGENCIES.
 - ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE REMOVED AND DISPOSAL OF IN ACCORDANCE WITH ALL APPLICABLE GOVERNMENTAL AGENCY REQUIREMENTS WITHIN 30 DAYS OF FINAL STABILIZATION.

- CONSTRUCTION SEQUENCE:**
- INSTALL SILT FENCE AT LOCATIONS AS INDICATED ON THE PLANS.
 - PROVIDE STABILIZED CONSTRUCTION ENTRANCE.
 - CONSTRUCT TEMPORARY EROSION EELS AND STRUCTURE PROTECTION.
 - STOP EXISTING TOPSOIL FROM PROPOSED LIMITS OF DISTURBANCE AND STOCKPILE ON SITE.
 - PROVIDE SILT FENCE AROUND THE BASE OF THE STOCKPILES.
 - CUT AND FILL SITE TO PLAN SUB-GRADE.
 - CONSTRUCT UNDERGROUND IMPROVEMENTS, I.e. SANITARY SEWER AND WATERMAIN, ETC.
 - CONSTRUCT PAVEMENT IMPROVEMENTS PER PLAN.
 - COMPLETE CONSTRUCTION OF SITE WITH PERMANENT STABILIZATION.
 - REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES.
 - INSTALL INLET PROTECTION AROUND DRAINAGE STRUCTURES AS CONSTRUCTED.

SOIL PROTECTION CHART

STANDARD	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
STABILIZED STOCKPILE	1	1	1	1	1	1	1	1	1	1	1	1
GRAVEL STOCKPILE	1	1	1	1	1	1	1	1	1	1	1	1
TOPSOIL STOCKPILE	1	1	1	1	1	1	1	1	1	1	1	1
TEMPORARY STOCKPILE	1	1	1	1	1	1	1	1	1	1	1	1
TEMPORARY STOCKPILE	1	1	1	1	1	1	1	1	1	1	1	1

1 - VEGETATION MAINTENANCE
 2 - SPRING DATE
 3 - TOPSOIL STOCKPILE
 4 - TOPSOIL STOCKPILE
 5 - TOPSOIL STOCKPILE
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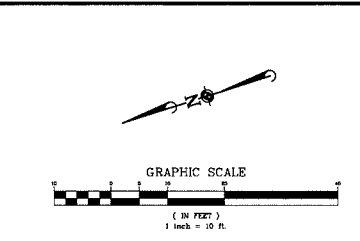
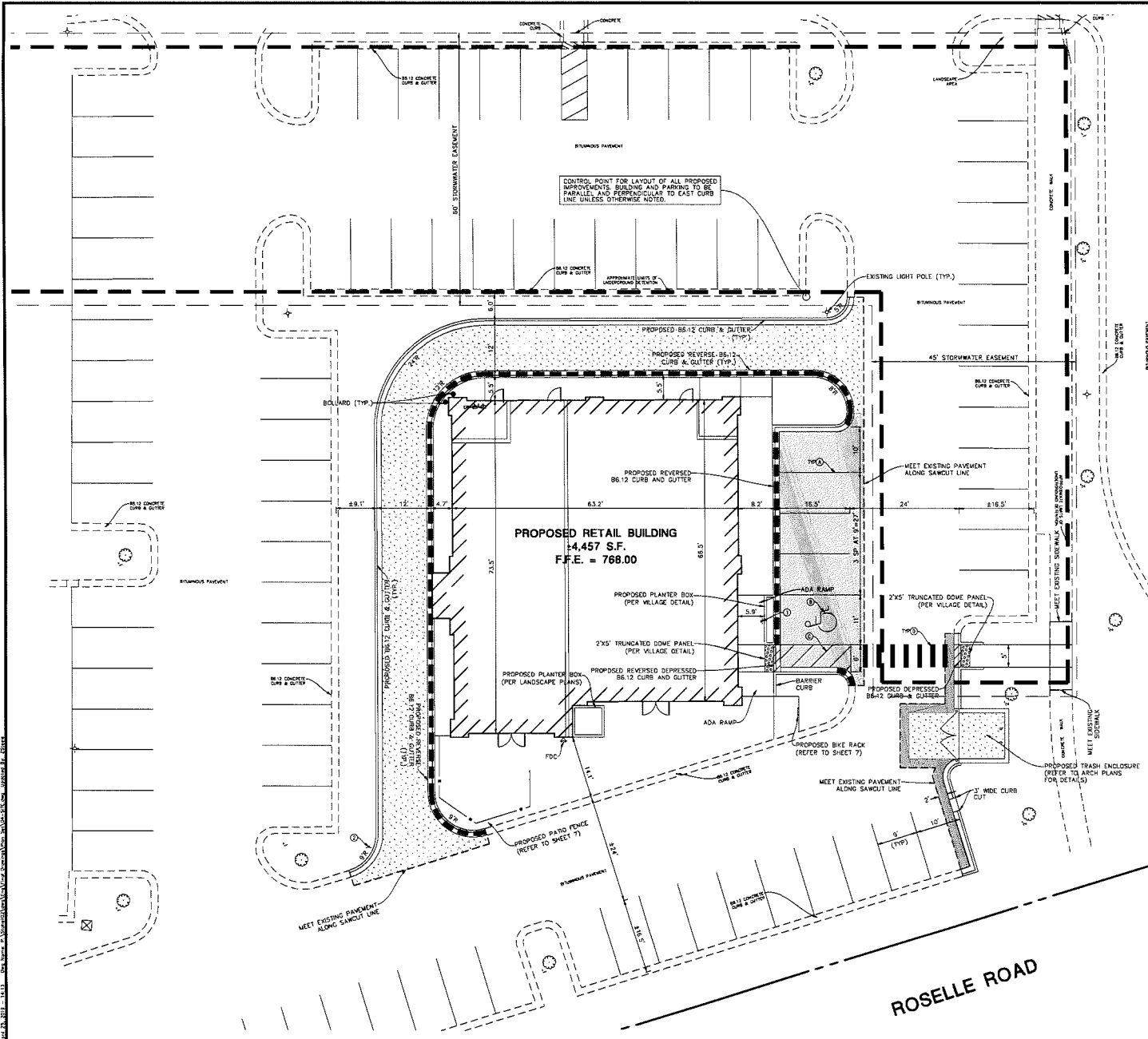


"THESE EROSION CONTROL PLANS ARE A PORTION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (IEPA) TOTAL REQUIREMENTS FOR A COMPLETE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AS REQUIRED BY THE GENERAL NPDES PERMIT NO. IURD. CLIENT AND/OR CONTRACTOR WILL BE RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE GENERAL NPDES PERMIT AND COMPILATION OF THE COMPLETE SWPPP."

Manhard CONSULTING

HOFFMAN PLAZA - OUTLOT 4
VILLAGE OF HOFFMAN ESTATES, ILLINOIS
SOIL EROSION AND SEDIMENT CONTROL PLAN

PROJECT NO. 2011-001
DATE: 12-21-18
SHEET: 1-27
SHEET 3 OF 9
STD.MDL02



PAVEMENT LEGEND

- STANDARD DUTY PAVEMENT
 - 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, NSD
 - 1 1/2" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, NSD
 - 10" AGGREGATE BASE COURSE, TYPE B
- HEAVY DUTY PAVEMENT
 - 1 1/2" BITUMINOUS SURFACE COURSE, HOT-MIX ASPHALT, MIX D, NSD
 - 3" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, NSD
 - 10" AGGREGATE BASE COURSE, TYPE B
- CONCRETE SIDEWALK
 - 5" PORTLAND CEMENT CONCRETE PAVEMENT
 - 4" COMPACTED AGGREGATE BASE, TYPE B
- CONCRETE PAVEMENT
 - 5" PORTLAND CEMENT CONCRETE PAVEMENT
 - 4" COMPACTED AGGREGATE BASE, TYPE B

- SITE DIMENSIONAL AND PAVING NOTES:**
- ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE.
 - ALL PROPOSED CURB AND CUTTER SHALL BE 86.12 UNLESS OTHERWISE NOTED.
 - ALL CURB RADI SHALL BE 3' MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - ALL PROPOSED CURB AND CUTTER TO EXISTING CURB AND CUTTER WITH 2" x 6" BARS x 18" LONG COMBLED INTO EXISTING CURB.
 - BUILDING DIMENSIONS AND ADJACENT PARKING HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PROPOSE BUILDING DIMENSIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. BUILDING DIMENSIONS SHOWN SHOULD NOT BE USED FOR CONSTRUCTION LAYOUT OF BUILDING.
 - IMPROVEMENTS ADJACENT TO BUILDING, IF SHOWN, SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBS, FENCES, CANALS, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL OR LANDSCAPE PLANS FOR EXACT LOCATIONS, SPECIFICATIONS AND DETAILS.
 - LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED SIDEWALK. CONTRACTOR TO VERIFY ACTUAL BUILDING PLAN LOCATIONS WITH ARCHITECT/DEVELOPER PRIOR TO CONSTRUCTING THE SIDEWALKS.
 - ALL ROADWAY AND PARKING LOT SIGNAGE, STRIPING, STRIBES ETC. SHALL BE IN ACCORDANCE WITH LATEST JURISDICTIONAL GOVERNMENTAL ENTRY DETAILS.
 - SOME EXISTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THIS PLAN FOR CLARITY. SEE DEMOLITION PLAN FOR ITEMS DELETED.
 - PROVIDE DEPRESSED CURB AND RAMP AT ALL HANDICAP ACCESSIBLE SIDEWALK AND PATH LOCATIONS PER FEDERAL AND STATE REQUIREMENTS.
 - THE CONTRACTOR SHALL CONTACT J.U.L.I.E. (1-800-892-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
 - ALL ROADWAY AND PARKING LOT IMPROVEMENTS SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, DEPARTMENT OF TRANSPORTATION, STATE OF ILLINOIS, LATEST EDITION.

PAVEMENT MARKING LEGEND

- 4" YELLOW LINE
- LETTERS AND SYMBOLS PAVEMENT MARKINGS
- 4" YELLOW DIAGONAL AT 45° SPACED 3' O.C.
- W/ 4" YELLOW BORDER
- 12" SOLID WHITE SPACED AT 3' O.C.

SIGN LEGEND

- COMBINATION R7-B & R7-101 HANDICAP PARKING & FINE SIGN
- R5-1 DO NOT ENTER SIGN

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION OF SIDEWALKS, SIDEWALK SCORING, BENCHES, BICYCLE RACKS, FLAG POLES, ETC. DIMENSIONS OF RESTRICTION BARRIERS AND TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.

Manhard CONSULTING
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 www.manhardconsulting.com

HOFFMAN PLAZA - OUTLOT 4
 VILLAGE OF HOFFMAN ESTATES, ILLINOIS
 SITE DIMENSIONAL AND PAVING PLAN

DATE: 12-21-18
 SHEET: 4 OF 9
 STO.HELO2

NO.	DATE	DESCRIPTION
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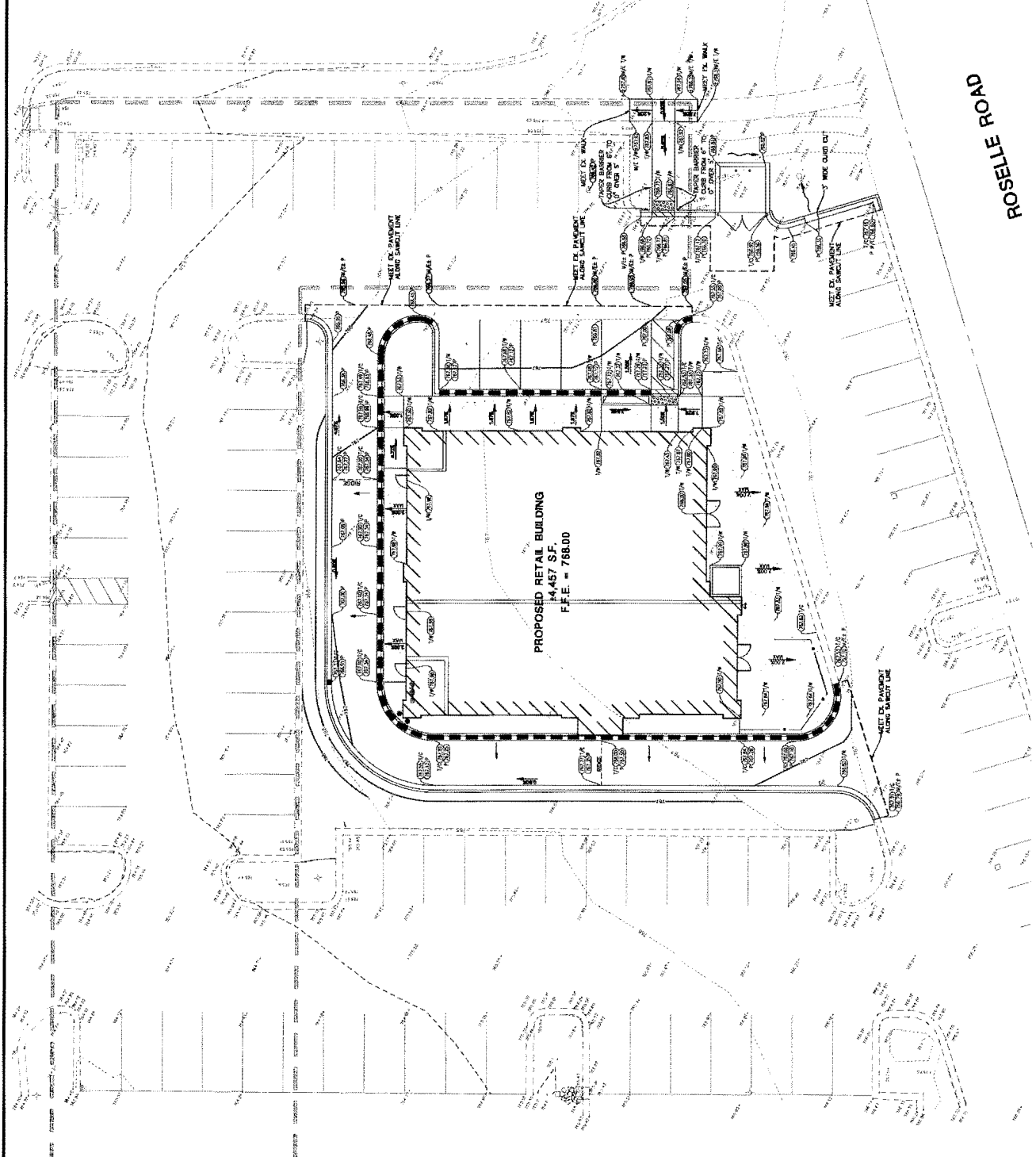
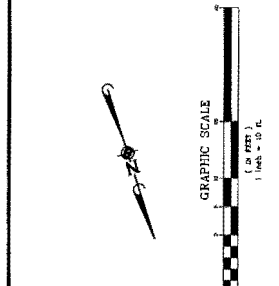
Manhard
 CONSULTING ENGINEERS
 1000 WEST WASHINGTON STREET, SUITE 1000
 CHICAGO, ILLINOIS 60607
 TEL: (312) 644-7000
 FAX: (312) 644-7001
 WWW.MANHARD.COM

HOFFMAN PLAZA - OUTLOT 4
VILLAGE OF HOFFMAN ESTATES, ILLINOIS
GRADING PLAN

SHEET **5** OF **9**
 STD. HELIQU
 PROJECT NO. 13-111
 DATE: 01-12-13
 DRAWN BY: J.S.
 CHECKED BY: J.S.
 APPROVED BY: J.S.

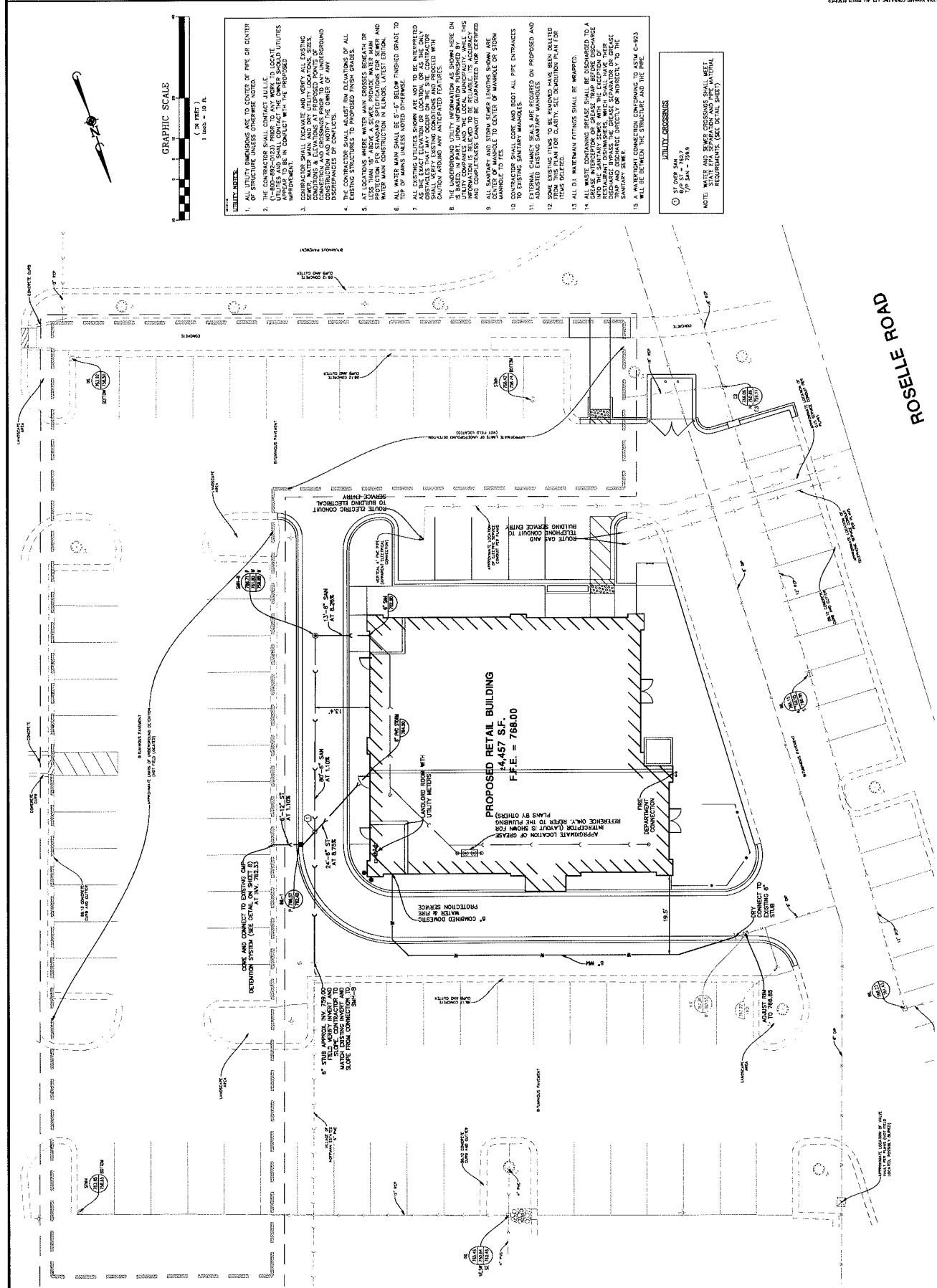
- GRADING NOTES:**
1. RETAINING WALL DESIGN TO BE PROVIDED BY OTHER.
 2. ALL EXISTING UTILITIES TO BE MAINTAINED AND PROTECTED.
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 11. ALL EXISTING UTILITIES TO BE MAINTAINED AND PROTECTED.

- GRADING PLAN LEGEND:**
- PROPOSED 1 FOOT CONTOURS
 - PROPOSED FLOOR ELEVATION
 - PROPOSED GRADE AT FOUNDATION
 - PROPOSED TOP OF CURB
 - PROPOSED TOP OF WALK
 - PROPOSED TOP OF WALL
 - PROPOSED ELEVATION OF GROUND
 - PROPOSED DITCH OR SWALE
 - PROPOSED DIRECTION OF FLOW
 - PROPOSED WALL
 - PROPOSED WALL
 - PROPOSED BOTTOM OF FOOTING



ROSELLE ROAD

PROPOSED RETAIL BUILDING
14,457 S.F.
F.F.E. = 758.00

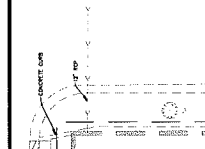


- UTILITY NOTES:**
1. ALL UTILITY DIMENSIONS ARE TO CENTER OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
 2. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES INTERFERE OR CONFLICT WITH THE PROPOSED IMPROVEMENTS.
 3. CONTRACTOR SHALL EXCAVATE AND VERIFY ALL EXISTING UTILITIES AND STRUCTURES AT PROPOSED POINTS OF INTERSECTION AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
 4. EXISTING UTILITIES SHALL BE PROTECTED FROM DAMAGE AT ALL LOCATIONS WHERE WATER MAIN CROSSINGS BENEATH OR LESS THAN 18" ABOVE A WATER MAIN CROSSING. WATER MAIN CROSSINGS SHALL BE PROTECTED BY CONSTRUCTION OF CONCRETE AND ELEVATIONS AT PROPOSED POINTS OF INTERSECTION SHALL BE VERIFIED BY THE CONTRACTOR.
 5. ALL LOCATIONS WHERE WATER MAIN CROSSINGS BENEATH OR LESS THAN 18" ABOVE A WATER MAIN CROSSING SHALL BE PROTECTED BY CONSTRUCTION OF CONCRETE AND ELEVATIONS AT PROPOSED POINTS OF INTERSECTION SHALL BE VERIFIED BY THE CONTRACTOR.
 6. ALL WATER MAIN SHALL BE 5'-4" BELOW FINISHED GRADE TO TOP OF MAIN UNLESS NOTED OTHERWISE.
 7. ALL EXISTING UTILITY DIMENSIONS SHALL NOT BE LESS THAN 18" ABOVE A WATER MAIN CROSSING. WATER MAIN CROSSINGS SHALL BE PROTECTED BY CONSTRUCTION OF CONCRETE AND ELEVATIONS AT PROPOSED POINTS OF INTERSECTION SHALL BE VERIFIED BY THE CONTRACTOR.
 8. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HERE ON THIS PLAN IS BASED ON THE RECORD DRAWINGS AND FIELD SURVEY DATA PROVIDED BY THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE ACCURATE, THE CONTRACTOR SHALL VERIFY ALL UTILITIES AND STRUCTURES AND COMPLETELY CANNOT BE GUARANTEED NOR CERTIFIED BY THE ENGINEER.
 9. ALL SANITARY AND STORM SEWER LINES SHALL BE PROTECTED BY CONSTRUCTION OF CONCRETE AND ELEVATIONS AT PROPOSED POINTS OF INTERSECTION SHALL BE VERIFIED BY THE CONTRACTOR.
 10. CONTRACTOR SHALL CORE AND BOLT ALL PIPE ENTRANCES TO EXISTING SANITARY MANHOLES.
 11. EXTERNAL CHIMNEY SEALS ARE REQUIRED ON PROPOSED AND EXISTING CHIMNEYS.
 12. FROM THIS PLAN FOR CLARITY, SET DIMENSION PLAN FOR ALL UTILITY DIMENSIONS SHALL BE SHOWN ON THE PLAN.
 13. ALL D.I. WATERMAIN FITTINGS SHALL BE WAPPED.
 14. ALL UTILITY CROSSINGS SHALL BE PROTECTED BY CONSTRUCTION OF CONCRETE AND ELEVATIONS AT PROPOSED POINTS OF INTERSECTION SHALL BE VERIFIED BY THE CONTRACTOR.
 15. A WATERBIGHT CONNECTION CONCERNING TO ASTM C-993 SHALL BE BETWEEN THE STRUCTURE AND THE PIPE.

UTILITY CROSSINGS

15' 0" MIN. CLEARANCE
 12" MIN. CLEARANCE
 12" MIN. CLEARANCE
 12" MIN. CLEARANCE

NOTE: WATER AND SEWER CROSSINGS SHALL MEET ALL APPLICABLE LOCAL AND STATE REGULATIONS (SEE DETAIL SHEET).



BUILDING PROPERTY
 (NOT ALL SHOWN)

PLANNING PROPERTY
 (NOT ALL SHOWN)

ROSELETT ROAD

PROPOSED RETAIL BUILDING
 14,457 S.F.
 F.F.E. = 768.00

APPROXIMATE LOCATION OF GREASE INTERCEPTOR (LAYOUT IS SHOWN FOR REFERENCE ONLY; REFER TO THE PLUMBERS PLANS BY OTHERS)

ROUTE GAS AND BUILDING SERVICE ENTRY

13'-6" SAN AT 8.00'
 13'-6" SAN AT 11.00'
 13'-6" SAN AT 8.75'

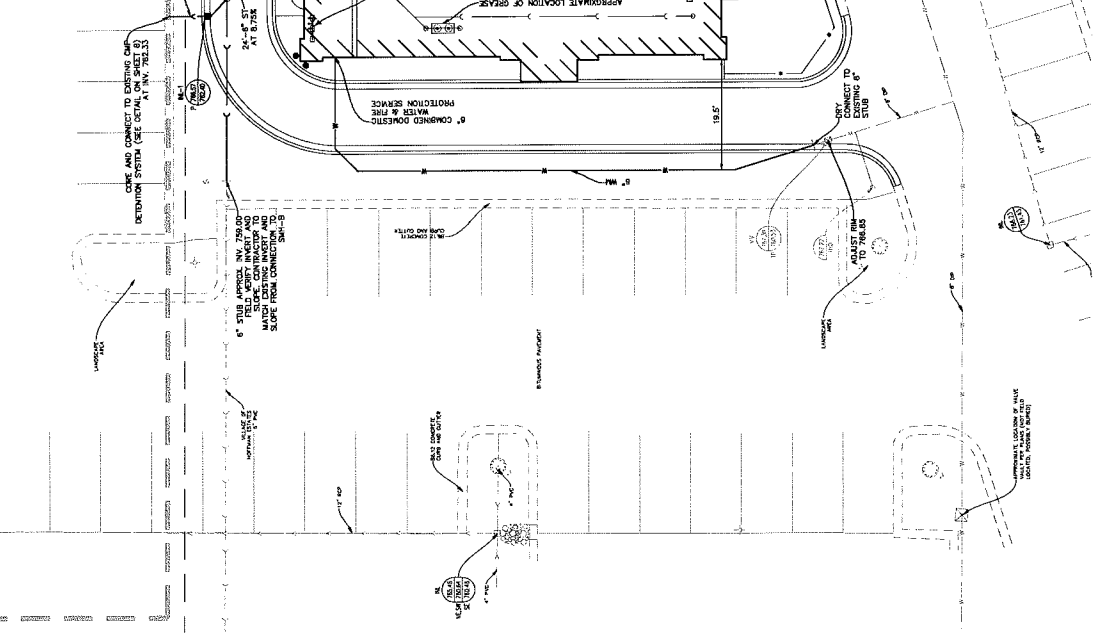
24'-8" ST AT 8.75'
 13'-12" ST AT 11.00'

6" CORNERED DOWNFLOW PROTECTION SERVICE

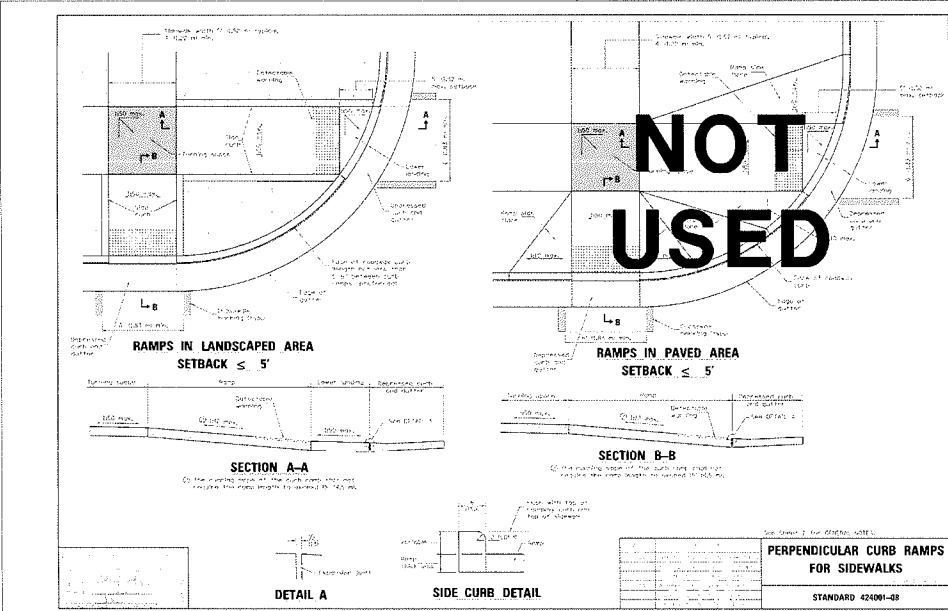
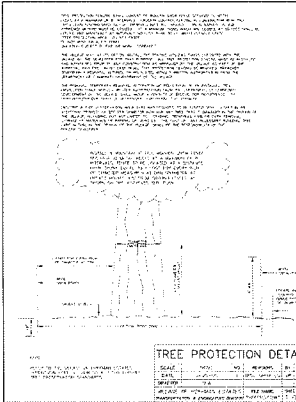
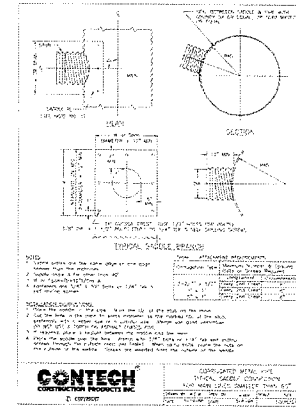
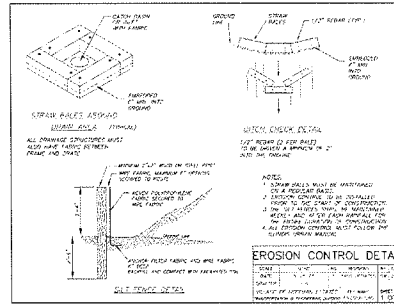
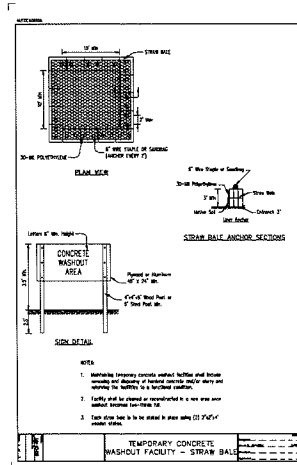
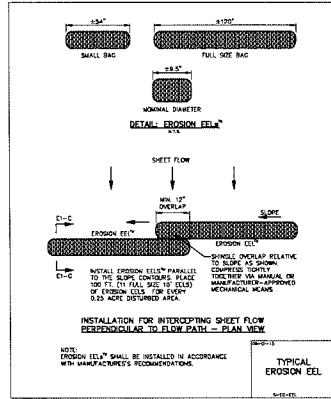
6" STUB APPROX. IN 20' TO ADJUST TO SLOPE. CONTRACTOR TO VERIFY SLOPE AND MAKE SURE SLOPE CONNECTION TO EXISTING STUB.

6" STUB APPROX. IN 20' TO ADJUST TO SLOPE. CONTRACTOR TO VERIFY SLOPE AND MAKE SURE SLOPE CONNECTION TO EXISTING STUB.

6" STUB APPROX. IN 20' TO ADJUST TO SLOPE. CONTRACTOR TO VERIFY SLOPE AND MAKE SURE SLOPE CONNECTION TO EXISTING STUB.



SHOULD A CONFLICT ARISE BETWEEN MANHARD DETAILS AND THE VILLAGE DETAILS, THE VILLAGE DETAILS SHALL TAKE PRECEDENCE.





TECHNICAL GUIDANCE MANUAL

MWRD GENERAL NOTES

A. REFERENCED SPECIFICATIONS

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING, EXCEPT AS NOTICED HEREON OR BY THIS PLAN:

B. NOTIFICATIONS

1. THE MWRD LOCAL SEWER SYSTEMS SECTION FIELD OFFICE MUST BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OF ANY WORK (CALL 708-583-4055).

C. GENERAL NOTES

1. ALL ELEVATIONS SHOWN ON PLANS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83). CONVERSION FACTOR IS .84.

PIPE MATERIAL

Table with columns: PIPE MATERIAL, PIPE SPECIFICATIONS, JOINT SPECIFICATIONS. Lists materials like Vitrified Clay Pipe, Reinforced Concrete Sewer Pipe, Cast Iron Soil Pipe, Ductile Iron Pipe, etc.

THE FOLLOWING MATERIALS ARE ALLOWED ON A QUALIFIED BASIS SUBJECT TO DISTRICT REVIEW AND APPROVAL PRIOR TO PERMIT ISSUANCE. A SPECIAL CONDITION WILL BE ADDED TO THE PERMIT WHEN THE PIPE MATERIAL BELOW IS USED FOR SEWER CONSTRUCTION OR A CONNECTION IS MADE.

PIPE MATERIAL

Table with columns: PIPE MATERIAL, PIPE SPECIFICATIONS, JOINT SPECIFICATIONS. Lists Polypropylene (PP) Pipe and Double/Triple Wall pipes.

8. ALL SANITARY SEWER CONSTRUCTION (AND STORM SEWER CONSTRUCTION IN COMBINED SEWER AREAS), REQUIRES SOFT BEDDING WITH STONE 1/2" TO 1" IN SIZE, WITH MINIMUM BEDDING THICKNESS EQUAL TO 1/4" THE OUTSIDE DIAMETER OF THE SEWER PIPE, BUT NOT LESS THAN FOUR (4) INCHES NOR MORE THAN EIGHT (8) INCHES. MATERIAL SHALL BE 10% CH-11 OR CH-13 AND SHALL BE EXTENDED AT LEAST 12" ABOVE THE TOP OF THE PIPE WHEN USING PVC.

10. ALL MANHOLES SHALL BE PROVIDED WITH BOLTED, WATER-TIGHT COVERS. SANITARY LIDS SHALL BE CONSTRUCTED WITH A CONCEALED PITCHER AND WATER-TIGHT GASKET WITH THE WORD "SANITARY" CAST INTO THE LID.

11. WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR AN EXISTING MANHOLE, ONE OF THE FOLLOWING METHODS SHALL BE USED:

a) A CIRCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOLS ("SEWER-TAP" MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HERVEY SHOULDER OR HURLEY SHOULDER.

12. WHENEVER A SANITARY/COMBINED SEWER CROSSES UNDER A WATERMAIN, THE MINIMUM VERTICAL DISTANCE FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATERMAIN SHALL BE 18 INCHES. FURTHERMORE, A MINIMUM HORIZONTAL DISTANCE OF 10 FEET BETWEEN SANITARY/COMBINED SEWERS AND WATERMANS SHALL BE MAINTAINED UNLESS THE SEWER IS LAID IN A SEPARATE TRENCH, KEEPING A MINIMUM 18" VERTICAL SEPARATION, OR THE SEWER IS LAID IN THE SAME TRENCH WITH THE WATERMAIN LOCATED AT THE OPPOSITE SIDE ON A BANK OF UNDISTURBED EARTH, KEEPING A MINIMUM 18" VERTICAL SEPARATION. IF EITHER THE VERTICAL OR HORIZONTAL DISTANCES DESCRIBED CANNOT BE MAINTAINED, OR THE SEWER CROSSES ABOVE THE WATER MAIN, THE SEWER SHALL BE CONSTRUCTED TO WATER MAIN STANDARDS OR IT SHALL BE ENCASED WITH A WATER MAIN QUALITY CASHEX PIPE WITH THE ENDS SALED.

13. ALL EXISTING SEWER SYSTEMS SHALL BE ABANDONED. ABANDONED TANKS SHALL BE FILLED WITH GRANULAR MATERIAL OR REMOVED.

14. ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES, AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE.

15. ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE PRECAST "RUBBER BOOTS" THAT CONFORM TO ASTM C-902 FOR ALL PIPE CONNECTIONS. PRECAST SECTIONS SHALL CONSIST OF MODIFIED GROOVE TONGUE AND RUBBER GASKET TIE JOINTS.

16. ALL ABANDONED SANITARY SEWERS SHALL BE PLUGGED AT BOTH ENDS WITH AT LEAST 2 FEET LONG NON-SHINKING CONCRETE OR PORTLAND PLUG.

17. EXCEPT FOR FOUNDATION/FOOTING DRAINS PROVIDED TO PROTECT BUILDINGS, OR PERFORATED PIPES ASSOCIATED WITH VOLUME CONTROL FACILITIES, DRAIN TILES/FIELD TILES/UNDERDRAINING/PERFORATED PIPES ARE NOT ALLOWED TO BE CONNECTED TO OR TRIBUTARY TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS IN COMBINED SEWER AREAS.

18. A BACKFLOW PREVENTER IS REQUIRED FOR ALL DETENTION BASINS TRIBUTARY TO COMBINED SEWERS. REQUIRED BACKFLOW PREVENTERS SHALL BE INSPECTED AND EXERCISED ANNUALLY BY THE PROPERTY OWNER TO ENSURE PROPER OPERATION, AND ANY NECESSARY MAINTENANCE SHALL BE PERFORMED TO ENSURE FUNCTIONALITY. IN THE EVENT OF A SEWER SURCHARGE INTO AN OPEN OF TRIBUTARY BASIN TRIBUTARY TO COMBINED SEWERS, THE PERMITTEE SHALL ENSURE THAT CLEAN UP AND WASH OUT OF SEWAGE TAKES PLACE WITHIN 48 HOURS OF THE STORM EVENT.

E. EROSION AND SEDIMENT CONTROL

1. THE CONTRACTOR SHALL INSTALL THE EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.

2. EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL PRIOR TO HYDROLOGIC DISTURBANCE OF THE SITE.

3. ALL DESIGN CRITERIA, SPECIFICATIONS, AND INSTALLATION OF EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL.

4. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.

5. INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM:

a) UPON COMPLETION OF INITIAL EROSION AND SEDIMENT CONTROL MEASURES, PRIOR TO ANY SOIL DISTURBANCE;

b) ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT WITH GREATER THAN 6.5 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION.

6. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE CD-PERMITTEE SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.

7. A STABILIZED MAT OF CRUSHED STONE MEETING THE STANDARDS OF THE ILLINOIS URBAN MANUAL SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE. SEDIMENT OR SOIL RESCHANG AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCOURING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.

8. CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL AND SHALL BE INSTALLED PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITIES INVOLVING CONCRETE.

9. MORTAR WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ADDITION TO CONCRETE WASHOUT FACILITIES FOR ANY BRICK AND MORTAR BUILDING ENVELOPE CONSTRUCTION ACTIVITIES.

10. TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN. VOLUME CONTROL FACILITIES SHALL NOT BE USED AS TEMPORARY SEDIMENT BASINS.

11. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CHANGED SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) DAYS.

13. ALL FLOOD PROTECTION AREAS AND VOLUME CONTROL FACILITIES SHALL, AT A MINIMUM, BE PROTECTED WITH A DOUBLE ROW OF SILT FENCE (OR EQUIVALENT).

14. VOLUME CONTROL FACILITIES SHALL NOT BE CONSTRUCTED UNTIL ALL OF THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.

15. SOIL STOCKPILES SHALL, AT A MINIMUM, BE PROTECTED WITH PERIMETER SEDIMENT CONTROL. SOIL STOCKPILES SHALL NOT BE PLACED IN FLOOD PROTECTION AREAS OR THEIR BUFFERZONES.

16. EARTHEN EMBANKMENT SIDE SLOPES SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL BLANKET.

17. STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY APPROPRIATE SEDIMENT CONTROL MEASURES.

18. THE CONTRACTOR SHALL EITHER REMOVE OR REPLACE ANY EXISTING DRAIN TILES AND INCORPORATE THEM INTO THE GRADING PLAN FOR THE DEVELOPMENT. DRAIN TILES CANNOT BE TRIBUTARY TO A SANITARY OR COMBINED SEWER. DRAIN TILES ALLOWED IN COMBINED SEWER AREA FOR GREEN INFRASTRUCTURE PRACTICES.

19. IF DEWATERING SERVICES ARE USED, ADDITIONAL PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DEWATERING SYSTEMS SHOULD BE USED DAILY DURING OPERATIONAL PERIODS. THE SITE INSPECTOR MUST BE PRESENT AT THE COMMENCEMENT OF DEWATERING ACTIVITIES.

20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH DEWATERING AND EXCAVATION FOR THE INSTALLATION OF SANITARY SEWERS, STORM SEWERS, WATERMANS AS WELL AS THEIR SERVICES AND OTHER ADJACENT ANY TRENCH DEWATERING. WHEN EXISTING SEDIMENT SHALL PASS THROUGH A SEDIMENT SETTLING POND OR EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE.

21. ALL DEWATERING SHALL BE DISCHARGING INTO A SUPPLY FILTER BAG OR INTO A VEGETATED UPSLOPE AREA. SEDIMENT LADEN WATERS SHALL NOT BE DISCHARGED TO WATERWAYS, FLOOD PROTECTION AREAS OR THE COMBINED SEWER SYSTEM.

22. ALL PERMANENT EROSION CONTROL PRACTICES SHALL BE INITIATED WITHIN SEVEN (7) DAYS FOLLOWING THE COMPLETION OF SOIL DISTURBING ACTIVITIES.

23. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED ON A YEAR-ROUND BASIS DURING CONSTRUCTION AND ANY PERIODS OF CONSTRUCTION SHUTDOWN UNTIL PERMANENT STABILIZATION IS ACHIEVED.

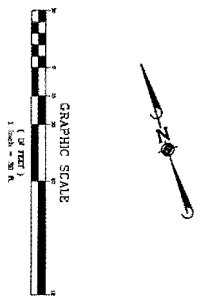
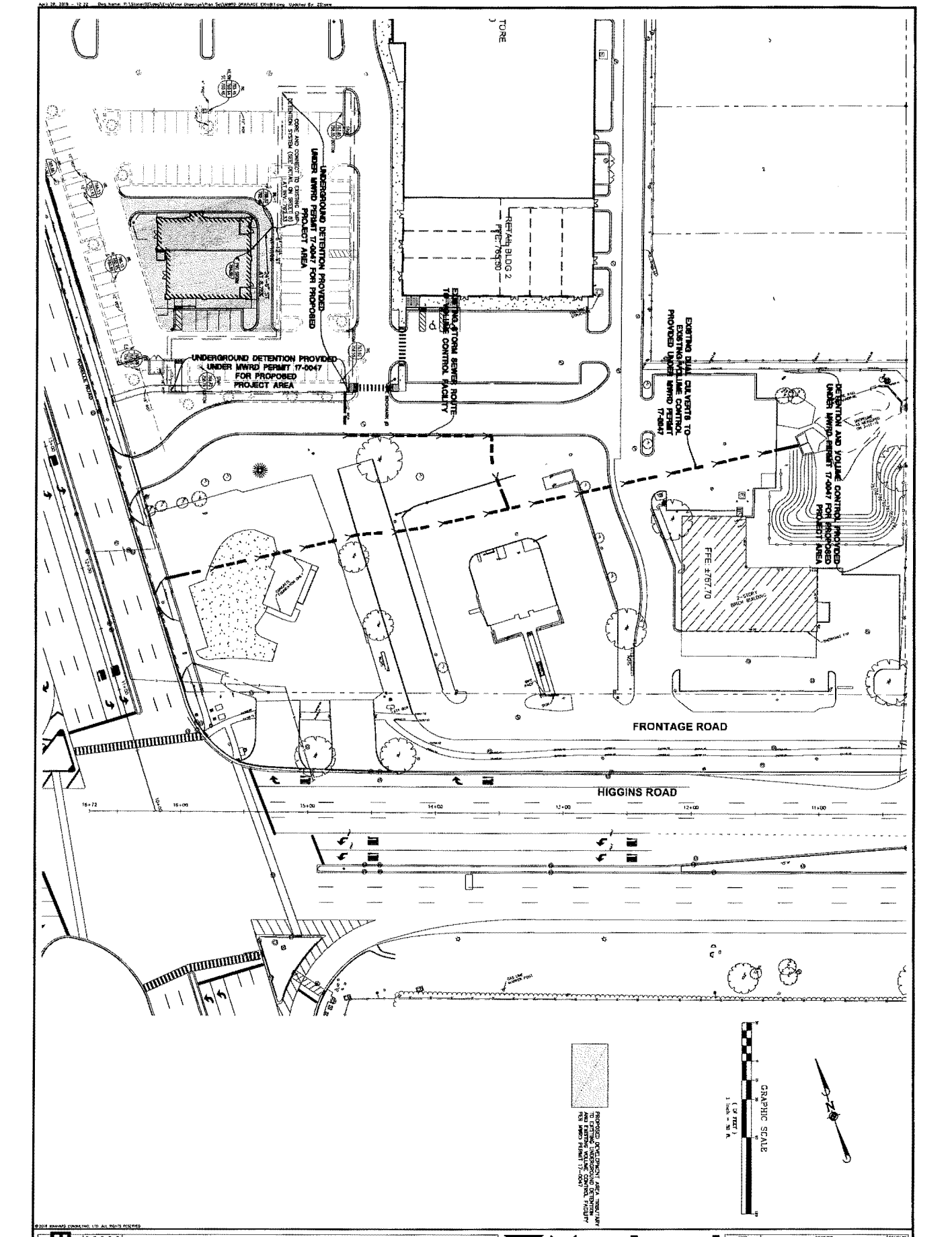
24. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER PERMANENT SITE STABILIZATION.

25. THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, SITE INSPECTOR, OR MWRD.

Revision table with columns: NO., DATE, DESCRIPTION.

Manhard CONSULTING logo and contact information.

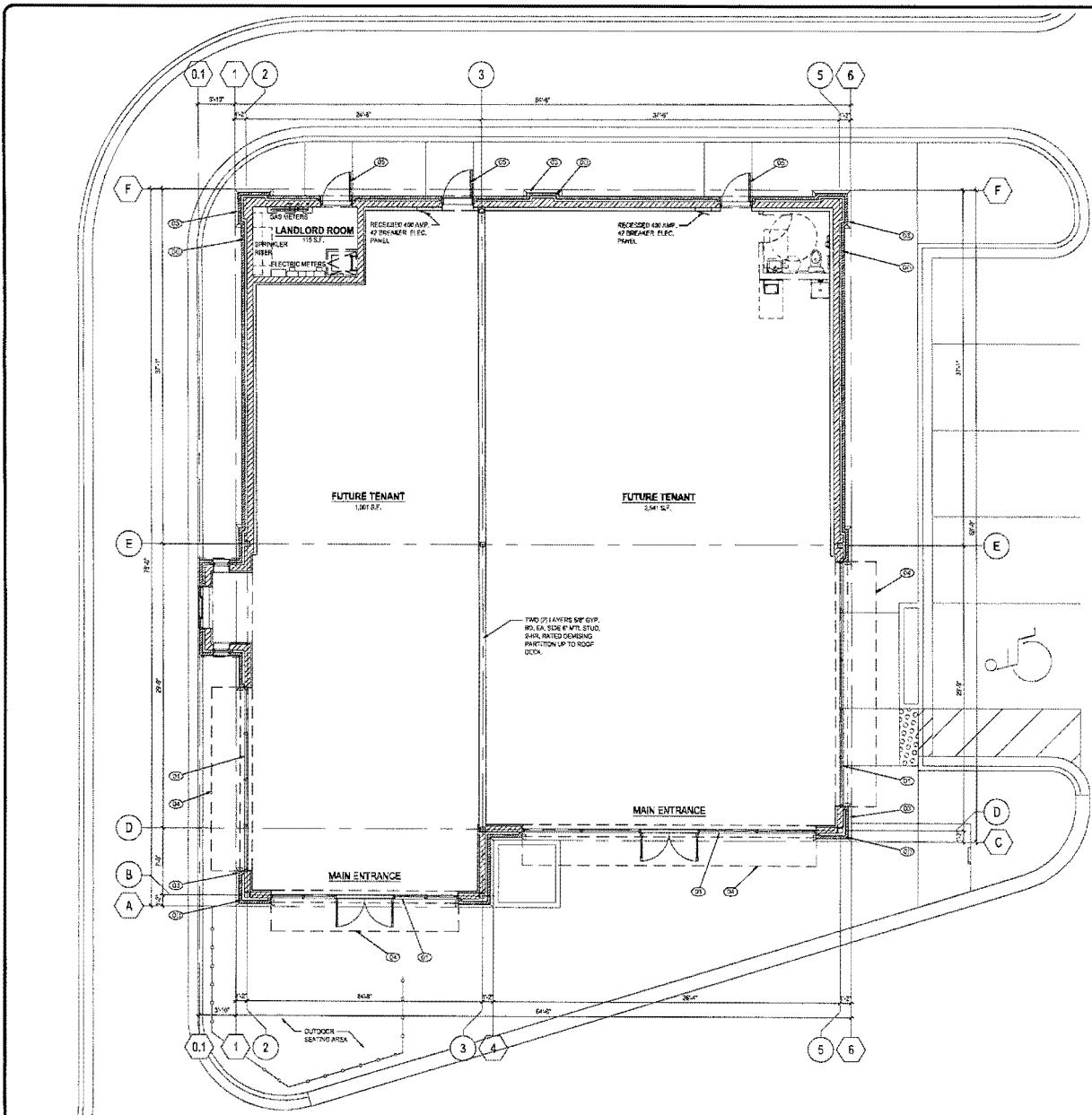
HOFFMAN PLAZA - OUTLOT 4
VILLAGE OF HOFFMAN ESTATES, ILLINOIS
MWRD GENERAL NOTES



PROPOSED DETENTION FACILITY TO EXISTING, UNDERGROUND SINK CONTROL FACILITY AND SINK CONTROL FACILITY

EX-19

DATE: 11/15/13
 SHEET: 10 OF 10
 SCALE: AS SHOWN
 DRAWN BY: K.M. [unclear]
 CHECKED BY: J.L. [unclear]



KEYNOTES	
(24)	CLEAR ANODIZED ALUMINUM STIFF-FRONT WITH INSULATED LOW E GLASS.
(25)	BRICK VENEER.
(26)	SPLIT FACE COURSETTE MASONRY UNIT BELOW.
(27)	FABRIC HANGING MOLDING.
(28)	PAINTED INSULATED METAL DOOR AND FRAME.

1 FLOOR PLAN
Scale: 3/32" = 1'-0"
NORTH

ISSUED FOR REVIEW 04-30-2019

Jensen & Jensen
Architects, P.C.

NEW RETAIL BUILDING FOR
Hoffman Plaza Outlet 4
1007 North Roselle Rd.
Hoffman Estates, IL

FLOOR AND CURB PLAN

DATE: 04/30/19
DRAWN BY: [Signature]
CHECKED BY: [Signature]

DATE: 04/30/19
DRAWN BY: [Signature]
CHECKED BY: [Signature]

DATE: 04/30/19
DRAWN BY: [Signature]
CHECKED BY: [Signature]

A1.0R



Gleditsia triacanthos inermis



Juniperus chinensis 'Fairview'



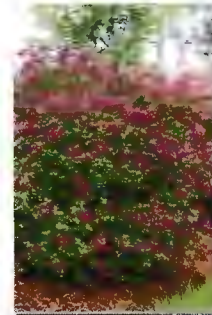
Buxus japonica 'Grip-Lock'



Rosa x 'Knockout'



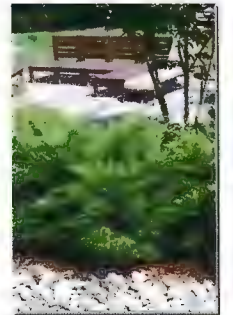
Sorbaria sorbifolia 'Sem'



Syringa x 'Bloomerang'



Viburnum dentatum



Juniperus chinensis 'Sea-Green'



Calamagrostis acutiflora 'Karl Foerster'



Miscanthus sinensis 'Purpurascens'



Panicum virgatum 'Prairie Fire'



Pennisetum alopecuroides 'Little Bunny'



Hemerocallis x 'Sonia de Oro'



Hesperis x 'Eucorexia'

VILLAGE OF HOFFMAN ESTATES

**AN ORDINANCE GRANTING A VARIATION TO PREMISES AT
3930 WHISPERING TRAILS DRIVE, HOFFMAN ESTATES, ILLINOIS**

WHEREAS, the Planning and Zoning Commission, at a public hearing duly called and held according to law on June 5, 2019, considered the request by Michele and Robert Shaw (owner), of the property commonly known as 3930 Whispering Trails Drive, and shown on Exhibit "A" attached hereto and made a part hereof, to consider the request for a variation from Section 9-3-3-C-2-b of the Zoning Code to allow for an open design fence on the property located at 3930 Whispering Trails Drive; and

WHEREAS, the Planning and Zoning Commission made certain Finding of Fact attached hereto and made a part hereof as Exhibit "B" and recommended approval of a setback variation to the Board of Trustees; and

WHEREAS, the Corporate Authorities have received and considered said recommendation; and

WHEREAS, the proposed variation has met the standards of Section 9-1-15 of the Zoning Code of the Hoffman Estates Municipal Code; and

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: The Corporate Authorities hereby find that the facts and statements contained in the preamble of this Ordinance are true.

Section 2: A variation authorized under Section 9-3-3-C-2-b of the Zoning Code is hereby granted to Michele and Robert Shaw (owner) to permit a corner side yard setback variation to allow a four foot (4') high open design fence to be zero feet (0') from the western property line instead of the minimum required five feet (5') and to encroach the fence in the required sight triangle on the property located at 3930 Whispering Trails Drive.

Section 3: The Village Clerk is hereby authorized to publish this Ordinance in pamphlet form.

Section 4: This Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2019

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Michael Gaeta	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

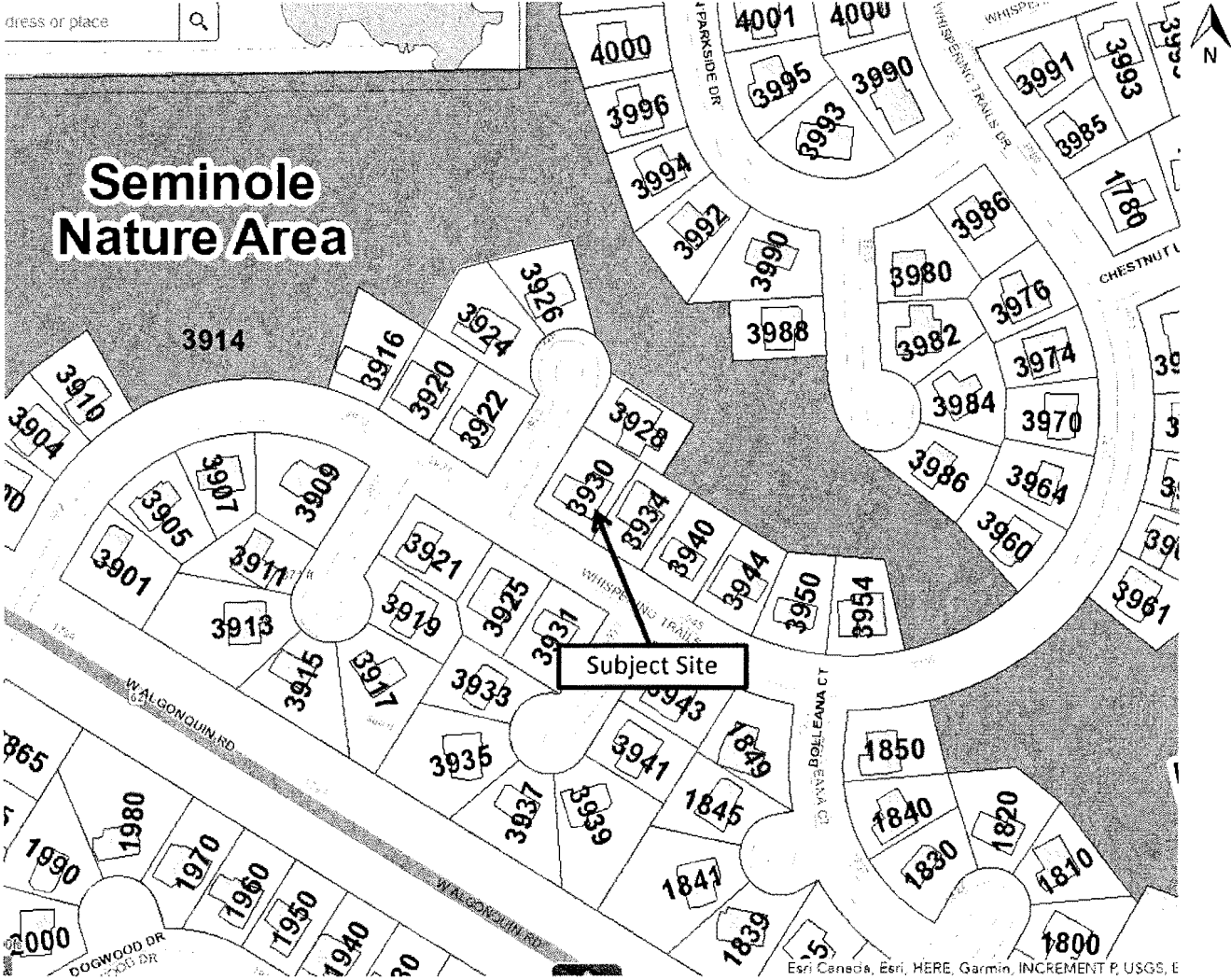
APPROVED THIS _____ DAY OF _____, 2019

Village President

ATTEST:

Village Clerk

Published in pamphlet form this _____ day of _____, 2019.



May 2019
 Village of Hoffman Estates
 Planning Division





VILLAGE OF HOFFMAN ESTATES
PLANNING AND ZONING COMMISSION
FINDING OF FACT

PROJECT NO.: 2019024R

VILLAGE BOARD MEETING DATE: JUNE 17, 2019

PETITIONER(S): MICHELE & ROBERT SHAW (OWNER)

PROJECT ADDRESS: 3930 WHISPERING TRAILS DR ZONING DISTRICT: R-5, ONE FAMILY RESIDENTIAL TRAILS DR

Does the Planning and Zoning Commission find that this request meets the Standards for a Variation (Section 9-1-15 of the Zoning Code)? YES NO

Recommendation: **APPROVAL**

Vote: 11 Ayes 0 Nays 0 Absent

PZC MEETING DATE: JUNE 05, 2019

STAFF ASSIGNED: **PARTH JOSHI**

Approval of a request by Michele & Robert Shaw (owner) for a five (5) feet corner side yard setback variation from Section 9-3-3-C-2-b to allow a four (4) feet high open design fence to be zero (0) foot from the western property line instead of the minimum required five (5) feet and to encroach the fence in the required sight triangle at 3930 Whispering Trails Dr.

AUDIENCE COMMENTS

None.

FINDING

The Commission heard from Robert Shaw (owner) who presented his request to replace the existing five (4') feet high fence with a new four (4') feet high, open design fence in the same location on their property due to wear and tear reasons. The subject property sits on a corner lot whose rear yard is adjacent to the neighbor's driveway, hence the petitioner requested for a variation to allow a four (4') feet high open design fence on their property to be built zero (0') foot from the lot line instead of being set back the required five (5') feet. The petitioner also presented his request for a variation to not meet the 'sight triangle' requirement due to numerous number of landscaping components within the 'sight triangle' encroachment which would make it difficult for the owner to loose matured landscaping. Mr. Shaw stated that the unique orientation of his lot, matured greenspace and concern of losing unused back yard space were the reasons for the request.

Section 9-1-15 of the Zoning Code (Standards for Variation) states that no variation shall be recommended by the Planning and Zoning Commission unless it finds that the Standards for Variation set forth in the Zoning Code are met.

The Planning & Zoning Commission considered the Standards for Variation as outlined in Section 9-1-15 of the Zoning Code, which state that the Planning and Zoning Commission shall not recommend the adoption of a proposed variation unless it finds that the variation meets the Standards for Variations as set forth in the Zoning Code.

1. The Planning and Zoning Commission shall not recommend the variation of the regulations of the Code unless it shall first make a finding based upon the evidence presented to it in each specific case that:

- a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located;
- b. The plight of the owner is due to unique circumstances;
- c. The variation, if granted, will not alter the essential character of the locality.

2. For the purpose of implementing the above rules, the Planning and Zoning Commission shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the applicant have been established by the evidence;

- a. The particular physical surroundings, shape of topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;
- b. The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning classification;
- c. The purpose of the variation is not based exclusively upon a desire to increase the value of the property;
- d. The alleged difficulty or hardship has not been based exclusively upon a desire to increase the value of property;
- e. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
- f. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood.

3. The Planning and Zoning Commission may recommend to the Village Board that such conditions and restrictions be imposed upon the premises benefited by a variation as may be necessary to comply with the standards set forth in this section to reduce or minimize the injurious effect of such variation upon other property in the neighborhood, and better to carry out the general intent of this Code.

The majority of the Commission did not have concerns about the fence in terms of its effect on visibility or appearance. Visibility at the location was considered acceptable due to Statement of Awareness forms which were signed by the immediate neighbors in support of the request and submitted by the petitioner. By a vote of 11-0, the Commission unanimously recommended approval of the request.

PLANNING AND ZONING COMMISSIONERS

Chairperson Eva Combs	Minerva Milford
Vice-Chairman Greg Ring	Tom Burnitz
Adam Bauske	Nancy Trieb
Lenard Henderson	Sohita Patel
Myrene Iozzo	Denise Wilson
Lon Harner	

ROLL CALL VOTE

11 Ayes
 0 Nays
 0 Absent

MOTION PASSED

The following attachments are hereby incorporated as part of this Finding of Fact:

- Petitioner Application & Submittals
- Legal Notice
- Location Map
- Staff Exhibit – Location Photos, Aerial Photo

VILLAGE OF HOFFMAN ESTATES

AN ORDINANCE AMENDING SECTION 8-3-22, NUMBER OF LICENSES OF ARTICLE 3, ALCOHOLIC LIQUORS, OF THE HOFFMAN ESTATES MUNICIPAL CODE (REDUCING NUMBER OF CLASS "A" LICENSES, REACT PRESENTS LLC SPRING AWAKENING, 5333 PRAIRIE STONE PARKWAY, AND PRAIRIE CREEK PROPERTIES, PIN 01-32-302-047-0000)

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: That Section 8-3-22, NUMBER OF LICENSES, of the Hoffman Estates Municipal Code be and the same is hereby amended to read as follows:

The number of licenses issued to persons for the sale of alcoholic liquors by the Village of Hoffman Estates shall be limited to sixty-three (63) Class "A" licenses, two (2) Class "AA" licenses, fifteen (15) Class "B" licenses, unlimited Class "C" licenses, four (4) Class "D" licenses, two (2) Class "DD" licenses, one (1) Class "F" license, one (1) Class "G" licenses, unlimited Class "H" licenses, one (1) Class "I" license, sixteen (16) Class "LC" licenses, one (1) Class "AC" license and eight (8) Class "J" licenses.

Section 2: That any person, firm or corporation violating any of the provisions of this Ordinance shall be subject to a fine of not less than Ten Dollars (\$10.00) nor more than Five Hundred Dollars (\$500.00) for each offense, and a separate offense shall be deemed committed on each day during or on which a violation occurs or continues.

Section 3: That the Village Clerk is hereby authorized to publish this ordinance in pamphlet form.

Section 4: That this Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS _____ day of _____, 2019

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Michael Gaeta	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS _____ DAY OF _____, 2019

Village President

ATTEST:

Village Clerk

Published in pamphlet form this _____ day of _____, 2019.



VILLAGE MANAGER'S OFFICE

Memo

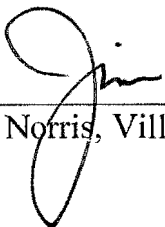
TO: President & Board of Trustees
FROM: James H. Norris, Village Manager
RE: **PLUM FARMS 16 ACRES - FIRST AMENDED AND RESTATED DEVELOPMENT AGREEMENT**
DATE: June 14, 2019

Urgent For Review Please Reply

On April 8, 2019, the Planning, Building & Zoning Committee recommended approval (4-2) of a three year extension for the existing uses to remain on the Plum Farms property at the northwest corner of Higgins and Old Sutton Roads, and directed staff to prepare an agreement for this extension.

Corporation Counsel has drafted the attached Amended and Restated Development Agreement and the owners have signed it. The amended text is within Section 5.D. on page 8.

If you have any questions, please let me know.



James H. Norris, Village Manager

JHN/ds

Attachment

Above Space for Recorder's Use Only

**FIRST AMENDED AND RESTATED
DEVELOPMENT AGREEMENT**

by and between

**PLUM FARMS OSR72 LLC,
RUBINA REALTY CORPORATION**

and

VILLAGE OF HOFFMAN ESTATES

**Dated as of May 1, 2017
And Amended as of June 17, 2019**

**(16-Acre Property at Northwest Corner of
State Route 72 and Old Sutton Road)**

Prepared by and, after recording, return to:

Matthew E. Norton, Esq.
Burke, Warren, MacKay & Serritella, P.C.
330 North Wabash, 21st Floor
Chicago, Illinois 60611
(312) 840-7085

Subsequently amended by:

Village of Hoffman Estates
1900 Hassell Road
Hoffman Estates, IL 60169
847-781-2603

DEVELOPMENT AGREEMENT

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DEVELOPMENT AGREEMENT
(16-Acre Property at Northwest Corner of
State Route 72 and Old Sutton Road)

THIS AGREEMENT is made and entered into as of the 1st day of May, 2017 (the "**Effective Date**") and is by and between the Village and Owner (collectively, the "**Parties**") and amended as of the 17th day of June, 2019.

Section 1. RECITALS.

A. Owner is the sole fee simple owner of certain real property, consisting of approximately 16 acres, currently located within the corporate boundaries of the Village, which property is legally described on **Exhibit A** attached hereto (the "**16-Acre Property**").

B. Owner's predecessor (Chicago Title and Land Trust Company, as Successor Trustee to Norstates Bank Under Trust No. 204559), the Village, and Plum Farms OSR72 LLC entered into that certain "Development Agreement by and between Chicago Title and Land Trust Company, as Successor Trustee to Norstates Bank Under Trust No. 204559, Plum Farms OSR72 LLC, and Village of Hoffman Estates," dated as of January 5, 2009 and recorded with the Cook County Recorder of Deeds as Document No. 0901455002 (the "**2009 Agreement**").

C. The 2009 Agreement governs the development of the 16-Acre Property. The Parties to this Agreement desire, upon approval of this Agreement, to terminate the 2009 Agreement.

D. The 16-Acre Property is contiguous to the 24-Acre Property and the 145-Acre Property. The 24-Acre Property was annexed to the Village pursuant to the 2004 Annexation Agreement. The 145-Acre Owner has requested that the Village annex the 145-Acre Property in accordance with the 145-Acre Annexation Agreement.

E. The Owner desires that the 16-Acre Property, the 24-Acre Property, and the 145-Acre Property (collectively, the "**185-Acre Property**"), be developed as a cohesive, comprehensive, approximately 185-acre master development, in general accordance with the Plum Farms Concept Plans attached hereto as **Exhibit G**. The 145-Acre Property, the 16-Acre Property, and the 24-Acre Property are generally depicted as Lot 1, Lot 2, and Lot 3, respectively, in the Final Plat of Subdivision.

F. In furtherance of the master development of the 185-Acre Property, Owner or its representative has applied for or requested certain development approvals for the 16-Acre Property, including the approval of this Agreement, which includes the Amended C-MU Design Guidelines and Standards, and the Zoning Text Amendment Ordinance. Owner, or Owner's affiliates, have also applied for or requested certain development approvals that will benefit the entire 185-Acre Property, including (1) the approval of the 145-Acre Annexation Agreement for the 145-Acre Property, (2) the approval of certain amendments to the Zoning Code and, specifically, the creation of the Traditional Neighborhood District, which would govern the 145-Acre Property, (3) the approval of a development agreement for the 24-Acre Property, and (4) the approval of the Final Plat of Subdivision for the 185-Acre Property.

42 G. The Parties acknowledge that (1) if the Village approves the 145-Acre
43 Annexation Agreement, the 145-Acre Property will be classified in the Traditional
44 Neighborhood District, a new zoning district created pursuant to the 145-Acre Annexation
45 Agreement, (2) the 24-Acre Property and the 16-Acre Property are already classified within
46 the C-MU District and, (3) Owner, in furtherance of the master development of the 185-Acre
47 Property, may seek to re-classify portions of the 16-Acre Property into the Traditional
48 Neighborhood District.

49 H. The Village has held all public meetings and hearings required for it to
50 consider and approve the matters approved herein.

51 I. This Agreement is entered into pursuant to all applicable authority, including
52 without limitation the Village's home rule powers and authorities under Article VII, Section
53 6 of the Illinois Constitution and the Village's powers and authorities under the Illinois
54 Municipal Code, 65 ILCS 5/1-1-1, *et seq.*

55 **Section 2. DEFINITIONS.**

56 All terms with initial capitalized letters in this Agreement shall have the meanings
57 ascribed to them (1) in the Recitals in Section 1 above, (2) in this Section 2, and (3) otherwise
58 in the body of this Agreement. Whenever used in this Agreement, the following terms shall
59 have the following meanings:

60 “145-Acre Annexation Agreement”: An annexation agreement between the Village
61 and the 145-Acre Owner in the form executed by the 145-Acre Owner, and, if approved by
62 the Corporate Authorities, applicable to the 145-Acre Property.

63 “145-Acre Owner”: All fee simple owners of the 145-Acre Property.

64 “145-Acre Property”: The real property legally described on **Exhibit B** to this
65 Agreement.

66 “2004 Annexation Agreement”: The “Annexation Agreement by and between
67 Hinsbrook Bank and Trust, as Trustee Under Trust No. 01-056, Hinsbrook Bank and Trust,
68 as Trustee Under Trust No. 01-057, Rubina Realty Corporation, Yamo's Enterprises L.L.C.
69 and Village of Hoffman Estates,” dated as of September 27, 2004 and recorded as Document
70 No. 0427339109.

71 “24-Acre Owner”: All fee simple owners of the 24-Acre Property.

72 “24-Acre Property”: The real property legally described on **Exhibit C** to this
73 Agreement.

74 “Agreement”: This Development Agreement for the 16-Acre Property.

75 “Amended C-MU Design Guidelines and Standards”: The architectural and
76 design guidelines and standards that apply to development on the 16-Acre Property and are
77 attached hereto and incorporated herein as **Exhibit E**.

78 “Applicant”: A person or entity seeking to develop a Development Parcel.

79 “**Application**”: An application submitted by an Applicant seeking approval of Plans
80 for development of a Development Parcel, in accordance with procedures established in the
81 Village Code.

82 “**Approved Documents**”: (1) This Agreement, including the Amended C-MU Design
83 Guidelines and Standards; (2) the C-MU Provisions; (3) the Approved Stormwater Plans; (4)
84 Final Plans; and (5) any other document relating to the development of the 16-Acre
85 Property that is lawfully approved by the Village.

86 “**Approved Stormwater Plans**”: The “Stormwater Improvement Plans for Plum
87 Farms”, prepared by Spaceco, Inc., dated April 17, 2015, stamped by Brett Duffy on April
88 22, 2015, including sheets 1 through 31, and approved by the Village on April 27, 2015, as
89 they may be further amended by Owner and approved by MWRD and the Village.

90 “**C-MU District**”: The Commercial/Mixed-Use Zoning District as defined in the
91 Village Code.

92 “**C-MU Provisions**”: The provisions of the Zoning Code governing the C-MU
93 District as of the Effective Date, as amended by the Zoning Text Amendment Ordinance
94 attached to this Agreement as **Exhibit D**.

95 “**Completion and Maintenance Guarantee**”: The completion and maintenance
96 bond for Public Improvements to be installed pursuant to this Agreement, which shall
97 equal one hundred ten percent (110%) of the costs for such Public Improvements, and which
98 shall be in the form (1) made generally applicable to public improvements pursuant to the
9 Village Code or (2) if the Village Code does not provide for such a form, in a form reasonably
100 acceptable to the Village.

101 “**Corporate Authorities**”: The President and Board of Trustees of the Village.

102 “**Creditable Road Improvement Costs**”: The (1) costs of constructing, designing,
103 surveying land and improvements for, and obtaining permits for, Creditable Road
104 Improvements and (2) the value of any land or easement rights dedicated or conveyed by
105 Owner to, and accepted by, any governmental agency for the construction of a Creditable
106 Road Improvement. The Parties agree that the Creditable Road Improvement Costs are
107 lawful credits under Village Ordinance No. 2741-1995, entitled, “An Ordinance Authorizing
108 the Village of Hoffman Estates’ Fair Share Road Improvement Impact Fee Ordinance.”

109 “**Creditable Road Improvements**”: The following improvements:

- 110 (1) installation of a new right turn lane on Illinois Route 72 for westbound traffic
111 turning north on Old Sutton Road,
- 112 (2) installation of a second left turn lane on Illinois Route 72 for eastbound
113 traffic turning north on Old Sutton Road,
- 114 (3) installation of a new right turn lane on Old Sutton Road for southbound
115 traffic turning west on Illinois Route 72,
- 3 (4) installation of any new through lanes along with the length of any tapers
117 along Old Sutton Road, and

118 (5) installation of a new right turn lane for southbound traffic on Illinois Route
119 59 turning west on Illinois Route 72,

120 and the following work associated with the above installations:

121 (1) earthwork, erosion control, landscaping, and similar work,

122 (2) the removal of any existing pavement,

123 (3) the installation of new pavement,

124 (4) the installation of curb and gutter,

125 (5) the installation, relocation, or modification of any light poles, conduit,
126 utilities, and

127 (6) the installation, relocation, or modification of traffic control signals, signs, or
128 devices.

129 **“Developer Owner”**: If all of the 16-Acre Property is owned by Owner or a single
130 Successor, then Owner or such Successor is the “Developer Owner”. If the 16-Acre Property
131 is owned by multiple owners, then the Developer Owner is each owner designated by
132 Owner, in a writing provided to the Village, as a “Developer Owner”. Owner’s right to
133 designate Developer Owners in writing is a personal right and does not run with the land.

134 **“Development Parcel”**: All or a portion of the 16-Acre Property proposed for
135 development by an Applicant.

136 **“Existing Uses”**: Storage and related uses on the 16-Acre Property, including the
137 sale of any existing material stored on the 16-Acre Property, permitted pursuant to an
138 August 2, 1993, “Development Understanding” (attached as **Exhibit F**) between the
139 previous owner of the 16-Acre Property and the Village.

140 **“Final Plans”**: Collectively, the final site plan, plat of subdivision, engineering
141 plans, landscape plans, lighting plans, building elevation plans, floor plans, and any other
142 plans or documents submitted in an Application for a Development Parcel that are required
143 by the Village Code to be approved prior to development of such Development Parcel and
144 that have been approved by the Village in accordance with the Village Code.

145 **“Final Plat of Subdivision”**: The Final Plat of Plum Farms Subdivision attached
146 to this Agreement as **Exhibit H**.

147 **“IDOT”**: Illinois Department of Transportation.

148 **“Impact Fee”**: A fee, payment, or dedication of land or improvements paid or made
149 to the Village or to any other governmental agency intended to pay or provide for public
150 facilities, property, services, programs, or activities that are, or could be, made necessary by
151 the development of the 16-Acre Property.

152 **“Initial Traffic Study”**: The traffic study dated September 14, 2016, prepared by
153 KLOA and titled “Traffic Impact and Site Access Analysis Plum Farms Conceptual Master
154 Plan Hoffman Estates, Illinois” and attached hereto as **Exhibit I**.

155 “**Maximum Number of Dwelling Units**”: The Maximum Number of Dwelling Units
156 is one thousand two hundred fifty (1,250).

157 “**MWRD**”: Metropolitan Water Reclamation District of Greater Chicago.

158 “**Neighborhood**”: Each of the areas identified on the “Concept Neighborhood Plan”
159 that is included within the Plum Farms Concept Plans (specifically, Area A, Area B, Area C,
160 Area D, Area E, Area F, and Area G) is a Neighborhood.

161 “**Owner**”: Plum Farms OSR72 LLC, an Illinois limited liability company and Rubina
162 Realty Corporation, an Illinois corporation, are the Owner.

163 “**Owners Association**”: An owners association, condominium association, or similar
164 entity that has the ability and obligation to maintain the Stormwater Improvements.

165 “**Phase**”: A phase of development for the 16-Acre Property in which one or more
166 Development Parcels is developed.

167 “**Plan**”: A preliminary or final site plan, plat of subdivision, engineering plan,
168 landscape plan, lighting plan, building elevation plan, or floor plan for a Development Parcel
169 that is required by the Village Code to be approved prior to development of such Development
170 Parcel.

171 “**Plum Farms Concept Plans**”: Conceptual plans for development of the 185-Acre
172 Property, which plans are titled “Concept Neighborhood Plan,” “Concept Utility Plan,”
173 “Concept Stormwater Plan,” and “Concept Transportation Plan,” and are attached hereto as
174 **Exhibit G**. The Plum Farms Concept Plans are not Approved Documents and are not
175 deemed to be Final Plans or approved preliminary site plans pursuant to Section 10-2-2-E of
176 the Village Code.

177 “**Public Improvements**”: Public Road Improvements and Public Sanitary Sewer and
178 Water Improvements.

179 “**Public Road Improvements**”: Road Improvements designated on a Final Plan as
180 public Village rights of way or improvements, which will include stormwater improvements
181 that serve roads and that are within either (1) a dedicated public road right of way or (2) a
182 maintenance easement, within which the Village has accepted primary maintenance
183 responsibility.

184 “**Public Sanitary Sewer and Water Improvements**”: Those portions of the
185 Sanitary Sewer Improvements and Water Improvements that are required by the Village to
186 be dedicated or conveyed to the Village in accordance with Village Code.

187 “**Requirements of Law**”: All applicable federal, state, and local laws, statutes, codes,
188 ordinances, resolutions, orders, rules, and regulations.

189 “**Road Improvements**”: All (1) roads, (2) stormwater improvements that serve roads,
190 and (3) related utilities, landscaping, sidewalks, traffic signals, and street lights, that are
191 necessary to serve the 16-Acre Property.

192 “Sanitary Sewer Improvements”: All sanitary sewer mains, collection lines, lift
193 stations, and all other improvements necessary or desirable for the collection of sanitary
194 sewage generated by the 16-Acre Property.

195 “Stormwater Improvements”: All storm sewers, detention systems, stormwater
196 detention or retention basins, and compensatory storage facilities that are necessary or
197 desirable to convey stormwater drainage from, or store stormwater drainage on, the 185-Acre
198 Property in accordance with this Agreement, the Approved Stormwater Plans, the Village
199 Code, and other Requirements of Law. Stormwater Improvements do not include stormwater
200 improvements that serve roads and that are within either (1) a dedicated public road right of
201 way or (2) a maintenance easement, within which the Village has accepted primary
202 maintenance responsibility.

203 “Subdivision Code”: Chapter 10 of the Village Code, as it has been and may in the
204 future be amended.

205 “Successor”: A future fee simple owner of any portion of the 16-Acre Property.

206 “Term”: The period during which this Agreement is effective, which shall commence
207 upon the Effective Date and shall terminate on the date that is fifteen (15) years after the
208 Effective Date.

209 “Village”: Village of Hoffman Estates, an Illinois home rule municipality located in
210 Cook and Kane Counties, Illinois.

211 “Village Code”: The Municipal Code of Hoffman Estates, Illinois, as it may in the
212 future be amended.

213 “Water Improvements”: All water mains, distribution lines, water booster pump
214 stations, and all other improvements that are necessary or desirable for the provision of
215 potable water to the 16-Acre Property.

216 “Zoning Code”: Chapter 9 of the Village Code, as it has been and may in the future
217 be amended.

218 “Zoning Text Amendment Ordinance”: An ordinance amending the Zoning Code
219 to amend the C-MU District in the form attached hereto as **Exhibit D**.

220 **Section 3. ZONING AND SUBDIVISION.**

221 **A. Zoning Text Amendment Ordinance.** On the Effective Date, the Corporate
222 Authorities shall adopt the Zoning Text Amendment Ordinance in the form attached
223 as Exhibit D amending the Zoning Code provisions governing the C-MU District.

224 **B. Final Plat of Subdivision.** On the Effective Date, the Village shall approve
225 the Final Plat of Subdivision (**Exhibit H**). Within three business days thereafter, the
226 Village shall file the Final Plat of Subdivision for recording in the office of the Cook
227 County Recorder of Deeds.

228 **Section 4. TERMINATION OF 2009 AGREEMENT.** Upon the Parties’ approval of this
229 Agreement, the 2009 Agreement will be terminated.

230 **Section 5. DEVELOPMENT OF 16-ACRE PROPERTY.**

1 **A. General Rights and Obligations.** Owner shall have the right to develop the
232 16-Acre Property only in accordance with the Approved Documents and Requirements of
233 Law. Without limiting the preceding sentence, the 16-Acre Property shall be developed in
234 accordance with the Amended C-MU Design Guidelines and Standards attached hereto as
235 **Exhibit E.** If there is a conflict between an Approved Document and the Village Code, the
236 Approved Document shall control.

237 **B. Limits on Residential Development.**

238
239 **1. Maximum Number of Dwelling Units.** At no time will more than
240 the Maximum Number of Dwelling Units be constructed on the 185-Acre Property. Subject
241 to the limit on the Maximum Number of Dwelling Units stated in the previous sentence,
242 there may be constructed (1) up to 625 dwelling units on Lot 1 in the Final Plat of Subdivision;
243 (2) up to 425 dwelling units on Lot 2 in the Final Plat of Subdivision; and (3) up to 450
244 dwelling units on Lot 3 in the Final Plat of Subdivision. This Section 5.B.1 may not be
245 amended without the express written approval of the 24-Acre Owner and the 145-Acre
246 Owner.

247 **2. Maximum Height.** No building constructed on the 185-Acre Property
248 will exceed the lesser of the maximum height allowed by the Zoning Code and:

- 249 (1) 58 feet, if the building is located in whole or in part within Neighborhood A or
250 B; or
251 (2) 90 feet, if the building is located in whole or in part within Neighborhood C or
252 D.

253 with such height measured from the mean grade elevation within five feet of the building to
254 the highest point of the building, including, but not limited to chimneys, mechanical
255 equipment, parapets, spires, penthouses and the like, but excluding antennas.

256 **3. Remaining Lots.** Owner acknowledges that, after the Maximum
257 Number of Dwelling Units has been approved by the Village on the 185-Acre Property, then,
258 for the remaining Term of this Agreement (1) the Village may re-zone any lot, within a
259 Development Parcel, for which a dwelling unit has not been approved, to the Village's R-3
260 zoning district, (2) such lot may be used only for open space, and (3) Owner will not object to
261 such re-zoning. However, the preceding sentence will not be deemed to limit Owner's right
262 to apply for re-zoning of such a lot upon expiration of this agreement.

263 **4. No Request for Redevelopment Project Area.** Owner shall not
264 submit a request to the Village that the Village create a redevelopment project area, pursuant
265 to the Tax Increment Allocation and Redevelopment Act, 65 ILCS 5/11-74.4-1, *et seq.*, that
266 includes any portion of the 16-Acre Property, unless it submits with its request a resolution
267 or other written statement from the corporate authorities (or a person duly authorized by the
268 corporate authorities) of each school district that, pursuant to such Act, would be a member
269 of the joint review board for such redevelopment project area, stating that the school district
270 does not object to the submission of such request. The Parties acknowledge that any such
1 statement from the school district will not be deemed to be a formal vote of such school district
272 in its capacity as a member of a joint review board, but only an indication that the school

273 district does not object to Owner submitting a request to the Village to commence the process
274 of considering a redevelopment project area.

275 **C. No Obligation to Commence Development.** Nothing in this Agreement
276 shall be deemed or construed to obligate the Owner to proceed with the development of the
277 16-Acre Property or construct the Public Improvements. However, if Owner actively
278 undertakes the development of the Property, it will be bound by the obligations of this
279 Agreement.

280 **D. Existing Uses of Property.** Owner may continue the Existing Uses on the
281 16-Acre Property, except that Owner shall cease, or cause to cease, any Existing Use on the
282 earlier of (1) the forty-fifth (45th) day after Owner either (a) sells the 16-Acre Property or any
283 portion thereof to a Successor or (b) obtains Final Plan approval for a Development Parcel
284 and (2) the date that is five (5) years after the Effective Date.

285 **E. Phasing of Development; Expiration of Plans and Plats.**

286 **1. General Phasing Rights and Obligations.** The Owner may develop
287 the entire 16-Acre Property in one single Phase or in multiple Phases, pursuant to the
288 Approved Documents and Requirements of Law. For each Phase, Owner shall apply for Final
289 Plan approval (as required by the Subdivision Code) for the Development Parcel. When
290 developing a Development Parcel, the Owner shall be required (at its cost) to install or
291 construct Public Improvements as required by Village Code.

292 **2. Expiration of Plans.** Notwithstanding Section 10-2-2 of the Village
293 Code, Owner will have (1) twenty-four (24) months after the date upon which a preliminary
294 site plan for a Development Parcel is approved to file an Application for a Final Plan for the
295 Development Parcel and (2) twenty-four (24) months after the date upon which a Final Plan
296 for a Development Parcel is approved to obtain a building permit for development within the
297 Development Parcel.

298 **Section 6. VILLAGE ASSISTANCE AND COOPERATION.**

299 **A. General.** The Village agrees to carry out the terms and objectives of this
300 Agreement, by (1) giving notices, holding hearings, and considering the enactment of
301 resolutions and ordinances and amendments thereto, (2) reasonably cooperating with Owner
302 in Owner's efforts to obtain federal, state, or local grants or funds to develop the 16-Acre
303 Property, including consideration of resolutions and other actions necessary or desirable to
304 support such requests by Owner for grants or funds, all at no cost to the Village, and (3)
305 reasonably cooperating with Owner in Owner's efforts to obtain approvals from other
306 governmental agencies, which may include the execution of applications, permit request, and
307 other documents, all at no cost to the Village.

308 **B. Disconnection.** The Village shall not disconnect or exclude the 16-Acre
309 Property or any portion thereof from its corporate boundaries. Owner shall not disconnect
310 the 16-Acre Property or any portion thereof from the Village.

230 Section 5. DEVELOPMENT OF 16-ACRE PROPERTY.

231 A. General Rights and Obligations. Owner shall have the right to develop
232 the 16-Acre Property only in accordance with the Approved Documents and Requirements
233 of Law. Without limiting the preceding sentence, the 16-Acre Property shall be developed
234 in accordance with the Amended C-MU Design Guidelines and Standards attached hereto
235 as **Exhibit E**. If there is a conflict between an Approved Document and the Village Code,
236 the Approved Document shall control.

237 B. Limits on Residential Development.

238
239 1. Maximum Number of Dwelling Units. At no time will more than
240 the Maximum Number of Dwelling Units be constructed on the 185-Acre Property. Subject
241 to the limit on the Maximum Number of Dwelling Units stated in the previous sentence,
242 there may be constructed (1) up to 625 dwelling units on Lot 1 in the Final Plat of
243 Subdivision; (2) up to 425 dwelling units on Lot 2 in the Final Plat of Subdivision; and (3)
244 up to 450 dwelling units on Lot 3 in the Final Plat of Subdivision. This Section 5.B.1 may
245 not be amended without the express written approval of the 24-Acre Owner and the 145-
246 Acre Owner.

247 2. Maximum Height. No building constructed on the 185-Acre
248 Property will exceed the lesser of the maximum height allowed by the Zoning Code and:

249 (1) 58 feet, if the building is located in whole or in part within Neighborhood A or
250 B; or

251 (2) 90 feet, if the building is located in whole or in part within Neighborhood C or
252 D;

253 with such height measured from the mean grade elevation within five feet of the building to
254 the highest point of the building, including, but not limited to chimneys, mechanical
255 equipment, parapets, spires, penthouses and the like, but excluding antennas.

256 3. Remaining Lots. Owner acknowledges that, after the Maximum
257 Number of Dwelling Units has been approved by the Village on the 185-Acre Property,
258 then, for the remaining Term of this Agreement (1) the Village may re-zone any lot, within
259 a Development Parcel, for which a dwelling unit has not been approved, to the Village's R-3
260 zoning district, (2) such lot may be used only for open space, and (3) Owner will not object to
261 such re-zoning. However, the preceding sentence will not be deemed to limit Owner's right
262 to apply for re-zoning of such a lot upon expiration of this agreement.

263 4. No Request for Redevelopment Project Area. Owner shall not
264 submit a request to the Village that the Village create a redevelopment project area,
265 pursuant to the Tax Increment Allocation and Redevelopment Act, 65 ILCS 5/11-74.4-1, *et*
266 *seq.*, that includes any portion of the 16-Acre Property, unless it submits with its request a
267 resolution or other written statement from the corporate authorities (or a person duly
268 authorized by the corporate authorities) of each school district that, pursuant to such Act,
269 would be a member of the joint review board for such redevelopment project area, stating
270 that the school district does not object to the submission of such request. The Parties
271 acknowledge that any such statement from the school district will not be deemed to be a
272 formal vote of such school district in its capacity as a member of a joint review board, but

273 only an indication that the school district does not object to Owner submitting a request to
274 the Village to commence the process of considering a redevelopment project area.

275 **C. No Obligation to Commence Development.** Nothing in this Agreement
276 shall be deemed or construed to obligate the Owner to proceed with the development of the
277 16-Acre Property or construct the Public Improvements. However, if Owner actively
278 undertakes the development of the Property, it will be bound by the obligations of this
279 Agreement.

280 **D. Existing Uses of Property.** Owner may continue the Existing Uses on the
281 16-Acre Property, except that Owner shall cease, or cause to cease, any Existing Use on the
282 earlier of (1) the forty-fifth (45th) day after Owner either (a) sells the 16-Acre Property or
283 any portion thereof to a Successor or (b) obtains Final Plan approval for a Development
284 Parcel and (2) the date that is two (2) year after the Effective Date.

285 **E. Phasing of Development; Expiration of Plans and Plats.**

286 **1. General Phasing Rights and Obligations.** The Owner may
287 develop the entire 16-Acre Property in one single Phase or in multiple Phases, pursuant to
288 the Approved Documents and Requirements of Law. For each Phase, Owner shall apply for
289 Final Plan approval (as required by the Subdivision Code) for the Development Parcel.
290 When developing a Development Parcel, the Owner shall be required (at its cost) to install
291 or construct Public Improvements as required by Village Code.

292 **2. Expiration of Plans.** Notwithstanding Section 10-2-2 of the Village
293 Code, Owner will have (1) twenty-four (24) months after the date upon which a preliminary
294 site plan for a Development Parcel is approved to file an Application for a Final Plan for the
295 Development Parcel and (2) twenty-four (24) months after the date upon which a Final Plan
296 for a Development Parcel is approved to obtain a building permit for development within
297 the Development Parcel.

298 **Section 6. VILLAGE ASSISTANCE AND COOPERATION.**

299 **A. General.** The Village agrees to carry out the terms and objectives of this
300 Agreement, by (1) giving notices, holding hearings, and considering the enactment of
301 resolutions and ordinances and amendments thereto, (2) reasonably cooperating with
302 Owner in Owner's efforts to obtain federal, state, or local grants or funds to develop the 16-
303 Acre Property, including consideration of resolutions and other actions necessary or
304 desirable to support such requests by Owner for grants or funds, all at no cost to the
305 Village, and (3) reasonably cooperating with Owner in Owner's efforts to obtain approvals
306 from other governmental agencies, which may include the execution of applications, permit
307 requests, and other documents, all at no cost to the Village.

308 **B. Disconnection.** The Village shall not disconnect or exclude the 16-Acre
309 Property or any portion thereof from its corporate boundaries. Owner shall not disconnect
310 the 16-Acre Property or any portion thereof from the Village.

311 **Section 7. APPLICABLE LAW AND PROCEDURES.**

312 **A. Approved Documents; Village Codes.** The 16-Acre Property shall be
313 developed and used in conformance with the Approved Documents and the Village Code,
314 except for those amendments or exemptions to the Village Code specifically provided for in
315 this Agreement, and except that, if any provision of the Village Code conflicts with any
316 portion of the Approved Documents, the Approved Documents shall control.

317 **B. Zoning and Subdivision Codes.**

318 **1. Zoning Amendments.** If the Village approves an amendment to the
319 CMU Provisions or takes any other action that has the effect of amending the CMU
320 Provisions (such as imposing a moratorium on uses that are permitted or special uses under
321 the CMU Provisions or amending other portions of the Village Code in a way that is
322 inconsistent with the CMU Provisions) (collectively, a "**Zoning Amendment**"), the Zoning
323 Amendment will not be applicable to the 16-Acre Property, if the Zoning Amendment would
324 limit or condition any of the rights under the CMU Provisions or under any other Approved
325 Document, without the prior, express, written consent of the Owner. Nothing in this
326 Agreement shall be deemed to relieve Owner from compliance with any applicable state or
327 federal law.

328 **2. Subdivision Code Amendments.** If the Village amends the
329 Subdivision Code (1) within nine (9) years after the Effective Date; and (2) in a manner that
330 limits or conditions any of Owner's rights under any Approved Document or under such
331 Subdivision Code as it exists on the Effective Date, such amendment shall not apply to the
332 16-Acre Property, unless Owner has expressly consented to it. If an amendment to the
333 Subdivision Code is not prohibited by this Agreement, it shall apply to the 16-Acre
334 Property, but only if it is generally applicable to other property within the Village.

335 **C. Less Restrictive Codes and Laws.** If Owner is required to comply with a
336 generally applicable provision of the Village Code and, during the Term of this Agreement,
337 such Village Code provision is generally amended so as to be less restrictive than the
338 Village Code as it existed on the Effective Date, then such less restrictive provision of the
339 Village Code shall inure to the benefit of Owner, and Owner may elect to develop the 16-
340 Acre Property pursuant to such less restrictive provision and submit amended documents
341 in an Application to the Village for approval to reflect such lesser restrictions. If, under
342 applicable law, a provision of the Village Code that has been validly enacted pursuant to
343 the Village's home rule authority controls over another less restrictive Requirement of Law
344 enacted by another governmental agency, then the provision of the Village Code will
345 control.

346 **D. Applications for Plans and Work.**

347 **1. Plans.** If an Applicant submits an Application that is in accordance
348 with procedures established in the Village Code, the Village shall review such Application
349 in accordance with the Village Code.

350 **2. Building Permits and Certificates of Occupancy.** Upon receipt
1 of a complete application for a building permit, any other permit for work, or request for
352 certificate of occupancy, the Village shall review such application or request and promptly

353 respond to such application. If the Village denies a requested permit or certificate, upon
354 Owner's request, the Village shall identify in writing the section or provision of any Village
355 Code or other Requirement of Law relied upon by the Village in denying such permit or
356 request.

357 **3. No Work Before Backup SSA.** Notwithstanding any other
358 provision of this Agreement (but subject to Section 8.C.2.b), Owner shall perform no work,
359 and the Village will not be obligated to issue a permit for any work, that will have any
360 impact on drainage on the 185-Acre Property, other than work within an existing road right
361 of way that is already improved with stormwater improvements, unless the Village has
362 approved a Backup SSA.

363 **E. No Appearance Review.** During the first ten (10) years of the Term of this
364 Agreement, the Village shall not impose any appearance review or architectural review
365 requirements on the 16-Acre Property, except to the extent such requirements may already
366 exist in this Agreement, the Zoning Code, or the Subdivision Code, as of the Effective Date.
367 Nothing in this Section shall be deemed to prevent the Village from reviewing an
368 Application to determine whether it complies with the Amended C-MU Design Guidelines
369 and Standards attached as **Exhibit E**.

370 **F. Traffic Study.** The Owner has elected to complete the Initial Traffic Study
371 to establish a framework for analyzing the anticipated combined traffic impacts of
372 development on the 185-Acre Property. Because the Initial Traffic Study is not fully
373 conclusive of all required traffic impacts and improvements, in conjunction with each first
374 Application for approval of a Plan for a Development Parcel, in addition to the Initial
375 Traffic Study, Owner shall prepare and submit to the Village a subsequent traffic study (a
376 "*Subsequent Traffic Study*") that includes:

- 377 (1) an analysis of turn lane design and length as a factor in determining
378 proposed intersection spacing,
- 379 (2) copies of correspondence with the Cook County Highway Department and
380 IDOT related to the Development Parcel,
- 381 (3) site specific road cross section design and information for local streets within
382 each Development Parcel, including but not limited to, on-street parking
383 areas, on-street/off-street bicycle accommodations, and sidewalks, and
- 384 (4) technical analysis and design to support any pedestrian, bicycle, transit, or
385 related improvement as part of any Development Parcel, including
386 connections to adjacent Development Parcels or planned or existing Village or
387 regional pedestrian/bicycle path networks.

388 Other than a Subsequent Traffic Study, Owner will not be required to provide any other
389 additional traffic study in conjunction with an Application for approval of a preliminary site
390 plan or Final Plan for a Development Parcel, unless any of the following occur: (1) the
391 effects of traffic resulting from Development Parcels that have been planned or constructed
392 are significantly greater or different than the effects anticipated in the Initial Traffic Study;
393 (2) the traffic and the distribution of trips expected to be generated by the use are
394 significantly greater or different than was expected to be generated from the Development

395 Parcel, as stated in the Initial Traffic Study; or (3) traffic on streets adjacent to or within
3 the 185-Acre Property are significantly greater than the traffic that was expected to be
397 generated, as stated in the Initial Traffic Study, in which case Owner shall prepare an
398 update to the Initial Traffic Study.

399 **Section 8. PUBLIC IMPROVEMENTS.**

400 **A. Public Road Improvements.**

401 **1. Owner's Obligation.** Owner shall construct or cause to be
402 constructed all Road Improvements at no cost to the Village in accordance with
403 Requirements of Law.

404 **2. Completion and Maintenance Guarantee.** Prior to the
405 commencement of construction of any Public Improvements, Owner shall post a
406 Performance and Maintenance Guarantee for the Public Improvements, as required by the
407 Village Code. The Performance and Maintenance Guarantee shall include amounts for the
408 Public Road Improvements, including any Traffic Signals then being constructed.

409 **3. Traffic Signals.** Owner shall install Traffic Signals at such time as
410 they are determined to meet warrants by the appropriate governmental agency at no cost to
411 the Village.

412 **4. Platting and Dedication.** Owner shall dedicate (1) to the Village,
413 the land within which the Public Road Improvements are to be included, (2) to Cook
4 County, the land that is necessary (as agreed by Cook County and Owner) for the Road
415 Improvements for Old Sutton Road, (3) to the State of Illinois, the land that is necessary (as
416 agreed by IDOT and Owner) for the Road Improvements for Routes 59 and 72, all as shown
417 on and pursuant to one or more final plats of subdivision approved by the Village for the 16-
418 Acre Property or a Development Parcel. The dimensions of any land dedicated as right of
419 way shall be determined according to (1) the Approved Documents and Village Code, for
420 Public Road Improvements, (2) Cook County's requirements, for Road Improvements for
421 Old Sutton Road, and (3) IDOT's requirements, for Road Improvements for Routes 59 and
422 72. Upon completion of construction or installation of any Public Road Improvements, (1)
423 the Owner shall quit claim to the Village, by bill of sale or deed, (a) all such improvements
424 and (b) (to address any potential defect in a statutory plat dedication) the land within
425 which the Public Road Improvements are to be included, as identified on an approved final
426 plat of subdivision and (2) after reviewing and approving the Public Road Improvements,
427 the Village shall accept the Public Road Improvements and thereafter shall assume
428 responsibility for all maintenance, repair, and replacement thereof, in accordance with the
429 Village Code.

430 **B. Sanitary Sewer and Water Improvements.**

431 **1. Owner's Obligation.** Owner shall construct or cause to be
432 constructed all Sanitary Sewer Improvements and all Water Improvements, at no cost to
433 the Village, in accordance with Requirements of Law.

4 **2. Conveyance.** Upon completion of construction or installation of the
435 Public Sanitary Sewer and Water Improvements, in accordance with the Village Code (1)

436 the Owner shall transfer to the Village, by bill of sale, the Public Sanitary Sewer and Water
437 Improvements, with such lien waivers, and other documents that the Village may
438 reasonably require prior to acceptance of such conveyance and (2) after reviewing and
439 approving the Public Sanitary Sewer and Water Improvements, the Village shall accept the
440 Public Sanitary Sewer and Water Improvements and thereafter shall assume responsibility
441 for all maintenance, repair, and replacement thereof.

442 **3. Village's Obligation.** The Village hereby represents and warrants
443 that it will provide adequate water and sanitary sewer service to the 16-Acre Property in
444 sufficient capacity to serve the development of the 16-Acre Property as authorized by this
445 Agreement; provided, however, that such obligation does not require the Village to
446 construct, or pay for the construction of, any Sewer Improvements and Water
447 Improvements.

448 **C. Stormwater Improvements.**

449 **1. Owner Obligation.** Owner shall construct or cause to be constructed
450 all Stormwater Improvements, at no cost to the Village, in accordance with Requirements of
451 Law. A Stormwater Improvement that serves a specific Development Parcel may be
452 provided in any location on the 185-Acre Property so long as such Stormwater Improvement
453 conforms to the Approved Stormwater Plans and provides the necessary capacities for such
454 development.

455 **2. Dedication and Maintenance.**

456 **a. Ownership and Maintenance Obligations.** All Stormwater
457 Improvements shall be (1) owned in fee simple and maintained within common areas by the
458 Owner or, pursuant to a recorded declaration (reasonably approved as to form by the
459 Village), an Owners Association, or (2) owned in fee simple by a governmental agency,
460 pursuant to an agreement that obligates the agency to perpetually maintain the
461 Stormwater Improvements. Owner or an Owners Association shall grant to the Village a
462 maintenance easement or easements allowing the Village to maintain the Stormwater
463 Improvements, if the Owner, Owners Association, or government agency fails to do so and
464 such an easement shall be granted prior to, or simultaneously with, any conveyance to any
465 such government agency of any fee simple interest in the Stormwater Improvements.

466 **b. Backup SSA.** Owner shall not object to the Village's proposed
467 creation of a special service area that includes the 185-Acre Property, if (1) such proposed
468 special service area is formed for the sole purpose of maintaining Stormwater
469 Improvements on the 185-Acre Property, (2) such proposed special service area is formed on
470 an *ad valorem* basis, (3) any tax to be levied by the Village within the special service area in
471 any year (the "**SSA Tax**") does not exceed a rate of 0.02% of the equalized assessed value of
472 the real property within the 185-Acre Property, and (4) the special service area will not
473 allow the Village to issue any bonds or other debt secured by the full faith and credit of the
474 185-Acre Property or any SSA Tax (a "**Backup SSA**"). If it creates a Backup SSA, the
475 Village may levy an SSA Tax, and expend any SSA Tax receipts, only as reasonably
476 necessary to abate any failure by Owner or an Owners Association to maintain the
477 Stormwater Improvements. If Owner, in accordance with Requirements of Law, submits a
478 petition to the Village requesting the creation of a Backup SSA that complies with this

479 Section, and the Village does not create the Backup SSA, then, notwithstanding Section
0 7.D.3, a Backup SSA will not be required prior to the Village's issuance of any permit.

481 **D. Installation of Utilities in State Rights of Way.** At Owner's request, and
482 upon submission of an Application and Plans depicting such installation, the Village shall
483 consider, as part of its review of such Application and Plans, any request by Owner to
484 install, at no cost to the Village, Sanitary Sewer Improvements, Water Improvements, or
485 Stormwater Improvements within the right of way of State Route 72. However, the Village
486 may elect not to support such installation if it determines that its maintenance and
487 replacement obligations with respect to such improvements would be greater than if such
488 improvements were not installed within the rights of way. The Village will not object to the
489 installation of utilities owned or controlled by other entities (such as electric, cable, and
490 natural gas) within such right of way, if such installation would not adversely impact
491 Sanitary Sewer Improvements, Water Improvements, or Stormwater Improvements.

492 **E. Easements and Rights of Way.** At Owner's request and at Owner's
493 expense, the Village shall offer such assistance as the Village determines is reasonable to
494 obtain any and all easements or other property rights, permits, or licenses necessary for the
495 installation of the Public Improvements or for trails or paths that are not located on the
496 185-Acre Property, but will connect to trails or paths within the 185-Acre Property.

497 **F. Tree Survey.** The Parties acknowledge that Owner has engaged a
498 professional landscape architect to conduct an investigation to ascertain whether high
499 quality trees are located within the 16-Acre Property and that such landscape architect
500 concluded that no such trees are located within the 16-Acre Property. In light of such
501 findings, Owner will not be required to prepare any tree surveys for the 16-Acre Property.

502 **Section 9. RECAPTURE FEES.**

503 The Village represents and warrants that there are no, and that there will be no,
504 recapture agreements, ordinances, or resolutions entered into or adopted by the Village
505 that apply to the 16-Acre Property or that require Owner to pay any recapture fee or
506 similar fee.

507 **Section 10. CONNECTION, IMPACT, BUILDING PERMIT, AND OTHER FEES.**

508 **A. Connection and Tap-On Fees.** The Village shall waive all sanitary sewer
509 and water connection production, and tap-on fees applicable to commercial and residential
510 development, including, without limitation, all fees provided for in Section 12-4-8 and
511 12-4-9 of the Village Code, and all similar fees.

512 **B. Impact Fees and Dedications.**

513 **1. Road Improvement Impact Fees.** With respect to impact fees
514 applicable to any dwelling units constructed on the 16-Acre Property pursuant to the Road
515 Improvement Impact Fee Law, 605 ILCS 5/5-901, *et seq.*, and the Village's Ordinance No.
516 2741-1995, entitled, "An Ordinance Authorizing the Village of Hoffman Estates' Fair Share
517 Road Improvement Impact Fee Ordinance," or their successor statutes or ordinances
8 ("**Road Improvement Impact Fees**"), the Owner shall pay all Road Improvement Impact

519 Fees, up to a maximum amount of three hundred and fifty thousand dollars (\$350,000), less
520 credits for Creditable Road Improvement Costs incurred by Owner.

521 **2. School Dedications and Fees.**

522 **a. School Construction.** The Village shall determine the
523 estimated population of students who will reside within the entire 185-Acre Property (the
524 "***Estimated Student Population***"), taking into consideration (1) Section 10-9-2 of the
525 Subdivision Code and (2) any demographic study submitted by Owner, as provided in
526 Section 10-9-2-A of the Subdivision Code. Owner shall pay cash for school construction
527 purposes based upon the Estimated Student Population determined by the Village.

528 **b. Land Donation.** Owner acknowledges that the Village
529 prefers that Owner donate land, rather than pay fees in lieu of a land donation, to satisfy
530 its obligations to make school donations pursuant to Section 10-9-2 of the Subdivision Code.
531 In furtherance thereof, Owner shall offer to donate to one or more school districts, within
532 which the 185-Property is located, a portion of the 185-Acre Property, that is at least 5.5
533 acres in size and that is in a location mutually acceptable to the Owner and the Village, to
534 be used for the construction and operation of a school building, related school facilities, and
535 public recreational uses (a "***School Site***"). Owner shall identify its proposed School Site in
536 its Application for the first Development Parcel that will be improved with dwelling
537 units. If a school district or school districts accept Owner's offer to donate the School Site,
538 then the donation of the School Site will be made by Owner through a final plat of
539 subdivision, although Owner may make its offer, and the school districts may accept or
540 reject such offer, through correspondence or other means. If a school district accepts the
541 donation of a School Site, then, notwithstanding the allocations of maximum dwelling units
542 per Lot in Section 6.B.1, Owner, the 24-Acre Owner, and the 145-Acre Owner, in a written
543 notice from all three owners to the Village, may reallocate dwelling units from any Lot or
544 Lots of the Final Plat of Subdivision upon which the School Site is located to any portion of
545 the 185-Acre Property; provided, however, that not more than fifty (50) total dwelling units
546 may be reallocated and such reallocation shall not increase the Maximum Number of
547 Dwelling Units allowed on the 185-Acre Property.

548 **c. Fees in Lieu of Land Donation.** If (1) prior to the school
549 district or school district's acceptance of Owner's offer to donate the School Site, the Village
550 sends the Owner written notice identifying reasons why Owner's proposed School Site is
551 insufficient in size and, after good faith negotiations, the Owner and the Village do not
552 agree on the final size of the School Site, (2) the Village and Owner, after good faith
553 negotiations, do not agree on the location of the School Site, or (3) the Village and Owner
554 agree on the size and location of the School Site, but the school district, or school districts,
555 to which the School Site would be dedicated either (a) state in writing that they will not
556 agree to accept the School Site or (b) fail to agree to accept such offer within ninety (90)
557 days after its receipt, then, in lieu of donating a School Site, Owner shall pay cash, in
558 accordance with Section 10-9-2 of the Subdivision Code, and, for purposes of calculating
559 such fees in lieu, the Parties will use the Estimated Student Population and the land shall
560 be valued at one hundred eight thousand and nine hundred dollars (\$108,900) per acre.

561 **d. Owner's Obligations.** If Owner satisfies its obligations
562 pursuant to this Section 10.B.2, it will be deemed to have satisfied all of its obligations to
563 make donations for school purposes under the Subdivision Code. Owner shall not be

564 required to make the additional donations provided for in Section 10-9-2-J of the
5 Subdivision Code. If Owner requests that the portion of the School Site to be used for
566 public recreational purpose be deemed a credit against its obligation to donate land for park
567 site purposes in accordance with Section 10-9-2 of the Subdivision Code, the Village shall
568 determine, in its reasonable discretion, whether such portion qualifies for a credit.

569 **3. Park and Recreation Dedications, Construction, and**
570 **Maintenance.** With respect to dwelling units constructed on the 16-Acre Property, Owner
571 shall dedicate land for park site purposes, all in accordance with Section 10-9-2 of the
572 Subdivision Code; provided however that, (1) with the Village's approval, Owner may pay
573 cash in lieu of certain of its land donation obligations; (2) Owner reserves the right to
574 propose its own demographic study, as provided in Section 10-9-2-A of the Subdivision
575 Code; and (3) if cash is paid in lieu of a land dedication, the land shall be valued at one
576 hundred eight thousand and nine hundred dollars (\$108,900) per acre.

577 **4. No New Impact Fees.** The Village represents and warrants that it
578 does not currently impose or require Impact Fees that apply to the 16-Acre Property, other
579 than those specifically identified in this Section 10.B. The Village shall impose no
580 additional Impact Fees that apply to the 16-Acre Property during the Term of this
581 Agreement.

582 **C. Building Permit Fees.** The Owner shall pay building permit fees as they
583 may be amended from time to time by the Village.

584 **D. Additional Fees; No Special Assessments.** Owner shall not be required
585 to pay any fees imposed by the Village, other than those provided for specifically in Section
586 10.B. of this Agreement, unless such fees are generally applicable throughout the Village;
587 however, in no event will Owner be required to pay or make any Impact Fee other than
588 those Owner has agreed to pay in Section 10.B. The Village represents and warrants that
589 there are no Village special assessments or Village special service area taxes or
590 assessments that currently affect the 16-Acre Property. If Owner files for bankruptcy or if
591 the sum of Owner's debts is greater than all of its property, at a fair valuation, the
592 provisions of this Section 10.D shall be null and void. Nothing in this Section 10.D shall
593 prevent establishment of a special service area with the consent of, or the absence of an
594 objection by, the Owner, including any Backup SSA that is established in accordance with
595 this Agreement.

596 **Section 11. MODEL HOMES; SALES OFFICE; PROJECT MARKETING**
597 **SIGNAGE.**

598 **A. Model Homes.** The Owner shall have the right to construct one model home
599 on the 16-Acre Property for each different type of dwelling unit intended to be sold to the
600 public, in accordance with a "Model Home Plan" approved by the Village in conjunction
601 with approval of a Final Plan, provided that (1) Owner has applied for and obtained a
602 building permit from the Village for each such model; (2) the street serving such model has
603 been installed and paved with the binder course; (3) Water Improvements, including
604 hydrants, sufficient for fire suppression services for the model have been installed; (4) the
605 Village has reasonably determined that such model can be served by adequate emergency
606 services; (5) the Village has reasonably determined that such model is adequately served by
607 temporary sanitary facilities, such as holding tanks, if permanent sanitary facilities are not

608 available; (6) each model shall be constructed on a lot created in a final plat of subdivision
609 and recorded; and (7) before any model home may be occupied as a residence, it shall be
610 connected to the Sanitary Sewer Improvements and Water Improvements constructed as
611 provided in this Agreement and the Village Code. Any model of a dwelling unit to be
612 developed in a multiple family building may be constructed in a temporary building
613 (including within a sales office or construction trailer authorized under Section 11.B), so
614 long as such temporary building otherwise conforms to this Section 11.A. The Model Home
615 Plan will depict sufficient parking for visitors to the models and identify the period of time
616 the models will be open to the public.

617 **B. Sales Office; Construction Trailers.** The Owner shall have the right to
618 locate and maintain temporary sales and construction offices and trailers on the 16-Acre
619 Property in connection with its marketing and construction activities, in accordance with a
620 "Sales Office and Construction Trailer Plan," as approved by the Village in conjunction with
621 approval of a Final Plan, provided that the Village has reasonably determined that such
622 structures are adequately served by temporary sanitary facilities, such as holding tanks, if
623 permanent sanitary facilities are not available.

624 **C. Signage.** The Owner shall have the right to erect and maintain temporary
625 marketing and directional signage, in accordance with a "Comprehensive Marketing Sign
626 Plan," as approved by the Village in accordance with Village Code for construction,
627 marketing, and sales activities related to the 16-Acre Property.

628 **D. Removal.** If more than twenty-four (24) months has elapsed since the
629 Village issued the most recent occupancy permit for a building on the 16-Acre Property and,
630 during that 24-month time period, the Owner has not applied for a building permit for a
631 building on the 16-Acre Property, then Owner shall (1) either remove, or convert to a
632 habitable dwelling in compliance with all Requirements of Law, such model homes and (2)
633 remove such sales office and project marketing signage.

634 **Section 12. ENFORCEMENT.**

635 **A. Remedies.** Unless specifically provided otherwise herein, upon a breach of
636 this Agreement, a Party to this Agreement may (1) secure in any court of competent
637 jurisdiction, by an appropriate suit, action, mandamus or other proceeding at law or in
638 equity, (a) specific performance of the covenants and agreements herein contained; (b)
639 damages for failure of performance; or (c) both; and (2) have such other relief as is, by law
640 or in equity, available to it. The Village waives any defense (against any claim filed by
641 Owner) that an adequate remedy at law exists for its failure to (1) adopt the Zoning Text
642 Amendment Ordinance, as required by Section 3.B, (2) approve and record the Final Plat of
643 Subdivision, as required by Section 3.C, or (3) comply with its obligations in Section 7.B of
644 this Agreement; however, the Village does not waive any such defense against any claim
645 brought by a Successor.

646 **B. Cure of Default.** Before any failure of any Party to this Agreement to
647 perform its obligations under this Agreement shall be deemed to be a breach of this
648 Agreement, the Party claiming such failure shall notify, in writing, the Party alleged to
649 have failed to perform of the alleged failure and shall demand performance. No breach of
650 this Agreement may be found to have occurred if the Party claimed to be in breach has,

651 within thirty (30) days after the receipt of such notice, completed the performance of its
652 obligation identified in such notice.

653 **C. No Waiver.** The failure of any Party to insist upon strict and prompt
654 performance of the terms, covenants, agreements and conditions herein contained, shall not
655 constitute a waiver or relinquishment of any Party's right thereafter to enforce any such
656 term, covenant, agreement, or condition.

657 **D. No Liability of Corporate Authorities.** The Parties acknowledge and
658 agree that each individual member of the Corporate Authorities, if liable for a breach of this
659 Agreement, will be liable in his or her official corporate capacity and will have no personal
660 liability whatsoever for any breach of this Agreement by the Village.

661 **Section 13. GENERAL PROVISIONS.**

662 **A. Term of Agreement.** This Agreement shall be effective for the Term.

663 **B. Notice.** Any notice or other communication required or permitted to be given
664 under this Agreement shall be in writing and shall be (1) personally delivered, (2) delivered
665 by a reputable overnight courier, (3) delivered by certified mail, return receipt requested,
666 and deposited in the U.S. Mail, postage prepaid, or (4) delivered by email. Email notices
667 shall be deemed valid only to the extent they are (a) actually received by the individual to
668 whom addressed, and (b) followed by delivery of actual notice in the manner described
669 herein within three (3) business days thereafter. Unless otherwise expressly provided in
670 this Agreement, notices shall be deemed received upon the earlier of (a) actual receipt; (b)
671 one (1) business day after deposit for next business day delivery with an overnight courier,
672 as evidenced by a receipt of deposit; or (c) three (3) business days following deposit in the
673 U.S. mail, as evidenced by a return receipt.

674 Notices and communications to the Owner shall be addressed to, and delivered at,
675 the following addresses:

676 Plum Farms OSR72 LLC
677 2385 Hammond Drive
678 Suite 14
679 Schaumburg, Illinois 6017322
680 Attention: Anthony Iatarola
681 Email: ai@5a7.net
682

683 with a copy to:

684
685 Burke, Warren, MacKay & Serritella, P.C.
686 330 North Wabash, 21st Floor
687 Chicago, Illinois 60611
688 Attention: Matthew E. Norton
689 Email: mnorton@burkelaw.com
690

691 Notices and communications to the Village shall be addressed to, and delivered at,
692 the following address:

693 Village of Hoffman Estates
694 1900 Hassell Road
695 Hoffman Estates, Illinois 60169
696 Attention: Village Manager
697 Email: jim.norris@hoffmanestates.org
698

699 with a copy to:

700
701 Village of Hoffman Estates
702 1900 Hassell Road
703 Hoffman Estates, Illinois 60169
704 Attention: Corporation Counsel Email:
705 arthur.janura@hoffmanestates.org
706

707 with copy to:

708
709 Village of Hoffman Estates
710 1900 Hassell Road
711 Hoffman Estates, Illinois 60169
712 Attention: Village Clerk
713 Email: bev.romanoff@hoffmanestates.org
714

715 By notice complying with the requirements of this Section, each Party shall have the right
716 to change the address or the addressee, or both, for all future notices and communications
717 to such Party, but no notice of a change of addressee or address shall be effective until
718 actually received.

719 **C. Time of the Essence.** Time is of the essence in the performance of all terms
720 and provisions of this Agreement.

721 **D. Covenants and Agreements Binding.**

722 **1. Binding Nature.** This Agreement and the agreements, covenants,
723 rights, and promises set forth herein shall run with the land and shall both bind and
724 benefit (1) Owner and (2) any Successor, which will have the same rights and obligations of
725 Owner with respect to any Development Parcel owned by such Successor; however, as
726 stated in Section 5.C, nothing in this Agreement shall be deemed or construed to obligate
727 the Owner or a Successor to proceed with the development of the 16-Acre Property or the
728 construction of public improvements. If Owner or a Successor actively undertakes to
729 develop a Development Parcel, it will be bound by the obligations of this Agreement.
730 Notwithstanding any other provision of this Agreement, if Owner or a Successor has
731 actively undertaken the development of a Development Parcel and commenced construction
732 of Public Improvements, but either (1) such Public Improvements have not yet been
733 completed as required by the Subdivision Code or (2) the guarantee period required by the
734 Subdivision Code has not yet expired, then a Completion and Maintenance Guarantee shall
735 be maintained, to the extent required by the Subdivision Code, until such Public
736 Improvements have been completed and the guarantee period required by the Subdivision
737 Code has expired, even if active development of the Development Parcel has ceased.
738 Nothing in this Agreement shall in any way be deemed to prevent the alienation,
739 encumbrance, or sale of the 16-Acre Property or any portion thereof.

740 **2. Release of Owner.** If Owner conveys all of its interest in a
741 Development Parcel, and, at the time of such conveyance, the Subdivision Code requires
742 that a Completion and Maintenance Guarantee be posted and maintained to secure the
743 construction and maintenance of Public Improvements for the Development Parcel being
744 conveyed by Owner, then Owner shall remain liable for its obligations under this
745 Agreement, unless the Successor to the Development Parcel conveyed by Owner files with
746 the Village a new Completion and Maintenance Guarantee, in which case, upon such filing,
747 Owner will be released of all liability under this Agreement with respect to the
748 Development Parcel that is so conveyed.

749 **E. Governing Law.** This Agreement shall be governed by, construed, and
750 enforced in accordance with the internal laws, but not the conflicts of laws rules, of the
751 State of Illinois.

752 **F. Severability.** It is hereby expressed to be the intent of the Parties to this
753 Agreement that, if any provision, covenant, agreement, or portion of this Agreement or its
754 application to any person or property is held invalid by a court of competent jurisdiction,
755 the remaining provisions of this Agreement will continue to be valid and enforceable, if they
756 can be interpreted, applied, and enforced, consistent with applicable law, to achieve the
757 purpose and intent of this Agreement, including the intent of any invalid provision.

758 **G. Interpretation.** This Agreement shall be construed without regard to the
759 identity of the Party who drafted the various provisions of this Agreement. Each and every
760 provision of this Agreement shall be construed as though all Parties to this Agreement
761 participated equally in the drafting of this Agreement. Any rule or construction that a
762 document is to be construed against the drafting Party shall not be applicable to this
763 Agreement.

764 **H. Exhibits.** Exhibits A through I attached hereto are, by this reference,
765 incorporated in and made a part of this Agreement. In the event of a conflict between an
766 exhibit and the text of this Agreement, the exhibit shall control.

767 **I. Amendments and Modifications.** No change to this Agreement shall be
768 effective unless and until such change is reduced to writing and approved by the Corporate
769 Authorities and executed by all Developer Owners at the time any modification is intended
770 to be effective, pursuant to all applicable statutory or other procedures. However, if the
771 subject matter of an amendment to this Agreement relates to a portion of the 16-Acre
772 Property only, such amendment may be approved by the Corporate Authorities and
773 executed only by the Developer Owner (or Developer Owners) that own such portion, and
774 need not be executed by any other then-owner of the 16-Acre Property. Notwithstanding
775 any other provision of this Agreement, if Owner no longer owns any portion of the 16-Acre
776 Property, but has failed to designate any Developer Owner, then this Agreement may be
777 amended in writing by the Corporate Authorities and each fee simple owner of each portion
778 of the 16-Acre Property that is directly affected by such amendment.

779 **J. Changes in Laws.** Unless otherwise explicitly provided in this Agreement,
780 any reference to any Requirements of Law shall be deemed to include any modifications of,
781 or amendments to such Requirements of Law as may, from time to time, hereafter occur.

782 **K. No Third Party Beneficiaries.** No claim as a third party beneficiary under
783 this Agreement by any person, firm, corporation, or other entity shall be made, or be valid,
784 against the Village or the Owner, and Village and Owner do not intend to confer any benefit
785 upon any such person, firm, corporation, or entity by this Agreement. This Section shall
786 not be deemed to limit the rights of and obligations of Successors.

787 **L. Real Estate Transfer Tax.** Owner or its Successors (1) shall pay the Real
788 Estate Transfer Tax, imposed by Section 13-5-2 of the Village Code, or any successor
789 provision, that applies to the initial sale of any dwelling unit on the 16-Acre Property, (2)
790 shall not assign this obligation to any purchaser of any dwelling unit on its initial sale, and
791 (3) shall not receive a credit for this obligation at any real estate closing.

792 **M. No Mortgage.** Owner affirmatively states and represents that currently
793 there is no mortgage or other security interest affecting title to the 16-Acre Property.

794 *(The remainder of this page intentionally left blank. Signature pages to follow.)*

795

796 IN WITNESS WHEREOF, the Parties hereto have caused this Agreement to be executed as
797 of the Effective Date.

VILLAGE OF HOFFMAN ESTATES
an Illinois home rule municipality

ATTEST:

By: _____
William D. McLeod
Village President

Bev Romanoff
Village Clerk

PLUM FARMS OSR72 LLC

By: 5a7, L.L.C., its Managing Member

By: _____
Anthony Iatarola
Manager, 5a7, L.L.C.

RUBINA REALTY CORPORATION

By: _____
Mark F. Iatarola
President

798

799 STATE OF ILLINOIS)
800) SS.
801 COUNTY OF COOK/KANE)

802 This instrument was acknowledged before me on _____, 2019, by
803 William D. McLeod, the Village President for the Board of Trustees of the VILLAGE OF
804 HOFFMAN ESTATES, an Illinois home rule municipality, and by _____,
805 the _____ of said municipality.

806 _____
807 Notary Public

808 My Commission expires: _____.

809
810 STATE OF ILLINOIS)
811) SS.
812 COUNTY OF COOK)

813 This instrument was acknowledged before me on May 6, 2019, by Anthony
814 Iatarola, the Manager of 5a7, L.L.C., which is the Managing Member of PLUM FARMS
815 OSR72 LLC, an Illinois limited liability company.

816 Ker L. Browne
817 Notary Public

818 My Commission expires: March 7, 2021



820
821
822 STATE OF ILLINOIS)
823) SS.
824 COUNTY OF COOK)

825 This instrument was acknowledged before me on May 6, 2019, by Mark F.
826 Iatarola, the President of RUBINA REALTY CORPORATION, an Illinois corporation

827 Ker L. Browne
828 Notary Public

829 My Commission expires: March 7, 2021




830
831
832
833

VILLAGE OF HOFFMAN ESTATES

MEMO

TO: President & Board of Trustees
FROM: James H. Norris, Village Manager
RE: **BERGMAN FARMHOUSE UPDATE**
DATE: June 14, 2019



At the May 13, 2019 Planning, Building & Zoning Committee meeting, the Committee directed staff to place the Bergman Farmhouse issue on the June 3rd Village Board agenda for reconsideration of the agreements related to the farmhouse project. On June 3rd, the Village Board continued this matter to June 17, 2019. After reviewing those documents, the original subdivision approval of Bergman Pointe includes a condition related to preservation of the farmhouse (Attachment A). Condition #11 outlines the process if it is determined that the farmhouse is not appropriate for preservation. The Village made a determination in 2015 that the farmhouse was appropriate for preservation; sought interest and proposals from potential builders/contractors; and entered into an agreement with M/I Homes and CASE Properties in 2017 to preserve and renovate the farmhouse.

After some inactivity and delays, in 2017 plans were submitted, and in 2019 a building permit was ready to be issued. However, CASE has not paid for the permit and no work has occurred to date. The deadline for completion of the work is August 31, 2019 (the original deadline of July 31, 2018 was extended by mutual agreement). In the intervening years, further deterioration has occurred and a determination could be made at this time that the farmhouse is no longer appropriate for preservation due to CASE's failure to perform and the current condition of the building. If that determination is made, M/I Homes is responsible for the costs of demolition and site restoration (as a passive park). Further, funds in the form of a \$50,000 letter of credit are available to the Village should M/I Homes not arrange for demolition. This action would be in accordance with Condition #11.

M/I Homes and CASE recently contacted the Village Manager and reaffirmed their intent to proceed with the original plan for renovation. They have stated that the escrow will be funded, if the Village is willing to extend the completion deadline from August 31, 2019 to November 30, 2019. See Attachment B for details.

On June 3, 2019, the Village Board indicated that CASE must fund the project before any further approvals are granted and set June 17, 2019 as the final date for consideration. As of Friday, June 14, the funding has not occurred.

Based on the above, and depending on the Board's desire, the Board may wish to direct staff in either one of two ways:

- a) Determine the farmhouse structure is not appropriate for preservation and direct staff to revoke the agreements related to the Bergman Farmhouse and initiate the demolition process pursuant to the Conditions of Approval of the Bergman Pointe subdivision; or
- b) Direct staff to further work with M/I Homes of Chicago, LLC and CASE Properties, LLC on an amendment to the Tri-Party Agreement and Final Amendment to Bergman Farmhouse Agreement to extend the completion date to November 30, 2019 and to schedule for consideration on a future Village Board meeting agenda.

Attachments

ATTACHMENT A



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION FINDING OF FACT

PROJECT NO.: 2015002P

VILLAGE BOARD MEETING DATE: JULY 6, 2015

PETITIONER(S): Highland Dairy Farm LLC (owner) and M/I Homes of Chicago LLC (contract purchaser)

PROJECT ADDRESS: NWC Algonquin & Ela Roads ZONING DISTRICT: R-4 - One Family Residential

Does the Planning and Zoning Commission find that this request meets the Standards for a Variation? YES NO

Recommendation: **APPROVAL**

Vote: 8 Ayes 0 Nays 3 Absent

PZC MEETING DATE: June 17, 2015

STAFF ASSIGNED: JAMES DONAHUE

Request by Highland Dairy Farm LLC (owner) and M/I Homes of Chicago LLC (contract purchaser) to consider a Final Plat of Subdivision for Unit 1, a Final Site Plan overall and variations to the Zoning Code for the development of an 81 lot single family subdivision located at the northwest corner of Algonquin Road and Ela Road. The following conditions shall apply:

1. Approval of Bergman Pointe is granted based on the proposal that M/I Homes Chicago LLC will construct all homes within this unit consistent with the home plans provided in the packet. Any proposed house construction by any other builder, or any significant change in the house models to be constructed, will require Village review and approval, in accordance with Village Code.
2. The Final Plat of Subdivision for Unit 1 shall be recorded within nine (9) months of Village Board action or prior to obtaining the first building permit, whichever occurs first.
3. No individual lot shall be subsequently re-subdivided within the subdivision.
4. The final plat for Unit 2 shall be reviewed by Planning & Zoning Commission and approved by the Village Board before the petitioner obtains any house construction permits in that area. This includes Lots 42-81.
5. A permit shall be secured from Cook County prior to commencing any work in the Ela Road right of way and from IDOT before commencing work in the Algonquin right of way.
6. The following Zoning Code variation is granted with this approval: *A variance from Section 9-3-8-K-2 to permit two temporary on-site construction signs with 60 square feet per face instead of the permitted two signs with 32 square feet total per sign.*

7. As shown on the landscape plan, the landscape buffer plantings behind Lots 18-41 shall be installed in entirety at one time and shall be in place prior to the issuance of the first Certificate of Occupancy for any house in this subdivision.
8. Parking for the model home on Lot 3 shall be located in the model's off-street parking lot located on Lot 2. Issuance of a building permit for Lot 4 shall not occur until the model home ceases to operate as such.
9. Erosion control seeding shall be established immediately after concluding mass grading work in Unit 2 and prior to winter or as directed by the Village.
10. The property is subject to the school donation requirements as mandated by Section 10, Article 9 of the Village's Municipal Code.
11. This final approval is granted based on the petitioner's proposal to preserve and dedicate to the Village (or an entity designated by the Village) the existing farmhouse. The dedication of land surrounding the farmhouse shall comply with all land donation criteria outlined in Section 10-9-2-D, which includes the provisions of services and ensures the property will be usable for its intended purpose. In the event the Village determines the farmhouse structure is not appropriate for preservation, the petitioner shall be responsible for the demolition and restoration of the property in a manner suitable for use as a park site, prior to subdivision acceptance. Based on the estimates provided by the petitioner, the petitioner shall post a performance deposit of \$50,000 in the form of a letter of credit or cash to cover the estimated cost of demolition and/or service extensions to the home until such time as the future of the home is determined by the Village. In order to determine if the farmhouse will be preserved, a portion of the deposit may be used by the Village to hire a consultant to further research costs necessary for possible renovation. Land transfer shall occur within 30 days of request by the Village or prior to subdivision acceptance, whichever occurs first.
12. At time of subdivision acceptance, Unit 1 may be accepted as a single unit. Acceptance shall be performed in accordance with the Village Code.
13. The Hoffman Estates Park District has agreed to accept ownership of the park dedication site and the stormwater management area identified as Outlots A & E on the plat. The park dedication site and stormwater basin shall be completed as designed on the final subdivision plans and shall be conveyed to the Park District in accordance with the Village Code.
14. Building permits for dwelling units shall not be issued by the Village prior to the paving and installation of streets with the binder course in place which meet Village requirements as reasonably determined by the Village, including but not limited to emergency vehicle needs. No building construction beyond the concrete foundation may occur without the installation of looped water mains and associated improvements which meet Village requirements for fire suppression as determined by the Village.
15. As part of recording the final plat of subdivision, a Statement of Awareness, provided by the Village, shall be recorded for the entire property. The statement shall be required to be signed by all prospective purchasers at time of contract prior to the closing signing. Copies of the signed

Statement of Awareness must be provided to the Code Enforcement Division of the Development Services Department prior to the issuance of a building permit. If no purchaser has been identified at the time of building permit, then the developer shall provide a copy when a contract is signed. In addition to the signed letter, a board with the Statement of Awareness enlarged to a size not less than 24x36 inches shall be posted in the sales office, and additional copies shall be available to be taken away by the customer with the other materials provided at the sales office. The posted notice and additional copies shall be located in a conspicuous area that is accessible to the public.

16. The property is subject to the Development and Easement Agreement between the developer and the Hoffman Estates Park District and the Intergovernmental Agreement between the Developer, the Hoffman Estates Park District and the Palatine Park District.
17. There are minor changes to the plans for Algonquin Road that IDOT has requested. Plans shall be revised per IDOT comments with copies of all final plans being submitted to the Village.

FINDING

The Planning & Zoning Commission considered the request at their June 17, 2015 meeting. The commission previously considered the preliminary plans in November 2014 and were brought up to speed on changes that were being incorporated as part of the final plans.

The commission learned that the site would still be developed with 81 single family units with one access to the site being from Ela Road and another being from Algonquin Road; however it was being platted in two phases with Unit 1 have 41 lots. Both subdivision entrances from Ela Road and Algonquin Road would be installed as part of the first phase. IDOT and Cook County, which have jurisdiction over Algonquin Road and Ela Road respectively; have approved the access and proposed improvements within their right of way.

The detention for the site would be provided in the center of the subdivision as a naturalized detention pond. The commission was updated on the plans to disconnect the property from the Palatine Park District in which it currently sits and annex it into the Hoffman Estates Park District. The petitioner explained that a tri-party agreement was in place with certain trigger dates that will annex the property into the Hoffman Estates Park District and will accept the pond as well as receive land at the southeast corner of the site for a neighborhood park. Outlots along Ela and Algonquin would be maintained by the homeowners association (HOA).

The commission learned that the developer has agreed to dedicate the farmhouse property to whomever the Village deems suitable. Discussion would occur at the Village Board to determine whether the house merits preservation and to whom it would be ultimately dedicated to. In the interim, the developer has obligations to fund infrastructure to service the house should it be preserved or demolition if it is to be removed.

The petitioner requested a variance from Section 9-3-8-K-2 of the Zoning Code to permit two temporary on-site construction signs with 60 square feet per face instead of the permitted two signs with 32 square feet total per sign.

Planning and Zoning Commission Finding of Fact
Bergman Pointe Subdivision – Final Plat for Unit 1, Final Site Plan overall & Variations
Village Board Meeting Date: July 6, 2015

Planning & Zoning Commission considered the Standards for Variation as outlined in Section 9-1-15 of the Zoning Code, which state that the Planning and Zoning Commission shall not recommend the adoption of a proposed variation unless it finds that the variation meets the Standards for Variations as set forth in the Zoning Code.

1. The Planning and Zoning Commission shall not recommend the variation of the regulations of the Code unless it shall first make a finding based upon the evidence presented to it in each specific case that:

- a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located;
- b. The plight of the owner is due to unique circumstances;
- c. The variation, if granted, will not alter the essential character of the locality.

2. For the purpose of implementing the above rules, the Planning and Zoning Commission shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the applicant have been established by the evidence;

- a. The particular physical surroundings, shape of topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;
- b. The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning classification;
- c. The purpose of the variation is not based exclusively upon a desire to increase the value of the property;
- d. The alleged difficulty or hardship has not been based exclusively upon a desire to increase the value of property;
- e. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
- f. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood.

3. The Planning and Zoning Commission may recommend to the Village Board that such conditions and restrictions be imposed upon the premises benefited by a variation as may be necessary to comply with the standards set forth in this section to reduce or minimize the injurious effect of such variation upon other property in the neighborhood, and better to carry out the general intent of this Code.

Commission questions included status of farmhouse, timing for Unit # 2, when they would be starting the project, landscape maintenance and verification of the access to and from the site. The chairperson wanted additional information regarding the HOA and library district added to the statement of awareness to which staff responded it would be added prior to recording.

The Commission felt that the standards for the requested variation were met and by a vote of 8-0 recommended approval of the variation, the Final Plat for Unit 1 and the Site Plan overall.

AUDIENCE COMMENTS

Two Hoffman Estates residents spoke at the meeting along with two residents from the Bonny Glen subdivision in Inverness that is north of the subject site. The Hoffman Estates resident's questions mainly dealt with drainage, utilities and access to and from the subdivision for both pedestrians and traffic. The Inverness residents mainly asked about drainage and landscaping and whether M/I Homes was seeing any interest in the subdivision already.

Planning and Zoning Commission Finding of Fact
Bergman Pointe Subdivision – Final Plat for Unit 1, Final Site Plan overall & Variations
Village Board Meeting Date: July 6, 2015

PLANNING AND ZONING COMMISSIONERS

Chairperson Eva Combs	Thomas Krettl
Vice-Chairman Steve Caramelli	Greg Ring
Sharron Boxenbaum	Nancy Trieb
Lenard Henderson	Steve Wehofer
Myrene Iozzo	Denise Wilson
Diane Lawrence	

ROLL CALL VOTE

8 Ayes
3 Absent (Wilson, Ring, Lawrence)

MOTION PASSED

The following attachments are hereby incorporated as part of this Finding of Fact:

Petitioner's Applications and Submittals
Final Plan Set
HOA Documents
Statement of Awareness
Staff Exhibit – Aerial Photo
Location Map

ATTACHMENT B

Mark Koplin

From: Jim Norris
Sent: Thursday, May 30, 2019 7:25 PM
To: Chad Evans
Cc: Peter Gugliotta; Matt Pagoria; Patricia Cross; Dan O'Malley; Mark Koplin
Subject: Re: Bergman Farmhouse

Chad/Matt

Both of you should be present Monday night, June 3rd at 7p.m. to explain the status to the Village Board.

Jim

Sent from my iPhone

On May 30, 2019, at 5:06 PM, Chad Evans <chadevansrealtor@comcast.net> wrote:

Jim,

Matt, myself and our legal counsel had a productive conference call in order for the the escrow account to be established and funded. We are ready to move full steam ahead, we will have to make an amendment to the tri-party agreement to make the dates coincide. On our side we will need the completion date changed to November 30th to give us a full 5 months for the construction, which we feel is reasonable and feasible. Once the revised amendment is executed we will place 290k in the escrow account within one business day. If this agreeable please let me know and we will put this into action immediately.

Sent from Xfinity Connect App