

# AGENDA

*Village of Hoffman Estates  
First Meeting of the Month  
Village Board of Trustees*

*1900 Hassell Road  
Hoffman Estates, IL 60169  
847/882-9100*

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<b>Board Room</b>	<b>7:00 p.m.</b>	<b>May 6, 2019</b>
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1. **CALL TO ORDER/ROLL CALL**
2. **PLEDGE OF ALLEGIANCE TO THE FLAG**
3. **RECOGNITION OF AUDIENCE**
4. **APPROVAL OF MINUTES** – April 15 and April 22, 2019
5. **CONSENT AGENDA/OMNIBUS VOTE (Roll Call Vote)**  
*(All items under the Consent Agenda are considered to be routine in nature and will be enacted by one motion. There will be no separate discussion of these items unless a Trustee so requests. In that event, the discussion will be the first item of business after approval of the Consent Agenda.)*
  - A. Approval of Agenda
  - B. Approval of the schedule of bills for May 6, 2019 - \$2,213,565.54
  - C. Request Board approval of an Ordinance authorizing amendments to the 2018 budget ordinance.
  - D. Request Board approval to re-appropriate funding for installation of a generator at the Sears Centre Arena.
  - E. Request Board approval of consolidated Sears Centre Arena agreements with:
    - 1) Spectra for arena management; and
    - 2) Front Row Marketing for sale of contractual rights.
  - F. Request Board approval of an application by React Presents, LLC for use of pyrotechnics and fireworks at the outdoor Spring Awakening Music Festival on June 7-9, 2019 subject to meeting the Village Code and National Fire Protection Association (NFPA) requirements.
  - G. Request Board approval of paint color selection and Village name orientation for Stonington Water Tower (T-2) and Huntington Water Tower (T-4).
  - H. Request Board authorization to extend the 2017 contract for the 2019 roadway pavement markings program to Preform Traffic Control Systems, Ltd., Elk Grove Village, IL, at a total cost not to exceed \$57,000.
  - I. Request Board authorization to extend the 2017 contract for 2019 street sweeping, inclusive of all associated costs including removal and hauling of debris, to Lakeshore Recycling Systems (formerly known as K. Hoving Clean Sweep), West Chicago, IL, in an amount not to exceed \$108,150.

**5. CONSENT AGENDA/OMNIBUS VOTE – Continued**

- J. Request Board authorization to award contract for design engineering for the Almond Lane and Audubon Street culvert replacement project to Chastain and Associates, LLC, Schaumburg, IL in an amount not to exceed \$31,004.
- K. Request Board authorization to award a two-year Police emergency vehicle equipment and installation/changeover contract to Ultra Strobe Communications, Crystal Lake, IL, in an amount not to exceed \$19,600 for FY 2019.
- L. Request Board authorization to:
  - 1) waive formal bidding; and
  - 2) purchase a 2019 Ford F-250, crew cab, 4X4 pickup truck for the Fire Department through the Northwest Municipal Conference Suburban Purchasing Cooperative Contract from Currie Motors Frankfort Inc., Frankfort, IL, in an amount not to exceed \$33,536.
- M. Request Board authorization to:
  - 1) waive formal bidding; and
  - 2) purchase an aluminum, 3/4 height truck service body for the Fire Department from Highway Products, Inc., White City, Oregon, in an amount not to exceed \$31,338.95.
- N. Request Board authorization to award contract for the 2019 street revitalization project to Arrow Road Construction, Elk Grove Village, IL (low bid), in an amount not to exceed \$6,479,463.
- O. Request Board authorization to award contract for materials testing for the 2019 street revitalization project to Applied GeoScience, Inc., Schaumburg, IL (low proposal estimate), in an amount not to exceed \$160,000.

**6. REPORTS (INFORMATION ONLY)**

- A. **President's Report**
  - ... Proclamation(s)
    - Mental Health Awareness Month
    - Municipal Clerks Week
    - National Economic Development Week
    - Public Service Awareness Week
  - ... Boards & Commissions Re-Appointments
- B. **Trustee Comments**
- C. **Village Manager's Report**
- D. **Village Clerk's Report**
- E. **Committee Reports**
  - Transportation & Road Improvement
  - Planning, Building & Zoning
  - General Administration & Personnel

**7. PLANNING & ZONING COMMISSION REPORTS**

- A. Request by Hoffman Village Station LLC (owner) and Wuebker Fitness, Inc. (tenant) for a special use under Section 9-8-2-C-9 to operate a health club for the property located at 2567 W. Golf Road.

Voting: 11 Ayes

Motion carried.

- B. Request by Kristopher Gillis (owner) and Jim Stumpf (applicant) for a Master Sign Plan amendment in accordance with Section 9-3-8-M-13 of the Zoning Code for the property located at 2559 Pratum Avenue.

Voting: 11 Ayes

Motion carried.

- C. Request by S&L Real Estate Properties LLC (owner) and MAPT Properties LLC (applicant) for a special use under Section 9-8-2-C-9 to operate a vehicle storage lot at 1260 W. Higgins Road, with 16 conditions (see packets).

Voting: 7 Ayes, 4 Nays

Motion carried.

- D. Request by Higgins & Golf, Ltd. (owner) and Scott Kozak (applicant) for a site plan amendment for the property located at 1000 W. Golf Road, with 2 conditions (see packets).

Voting: 7 Ayes, 4 Absent

Motion carried.

**8. ADDITIONAL BUSINESS** *(All other new business; those items not recommended unanimously by the Committee)*

- A. Request Board approval of an Ordinance amending Section 8-3-22, Number of Licenses, of Article 3, Alcoholic Liquors, of the Hoffman Estates Municipal Code (decrease in number of Class "A" licenses, Shanshan Corp. d/b/a House of Pho, and increase in number of Class "A" licenses, L&C Yu, Inc., d/b/a House of Pho, 1004 W. Golf Road).

- B. Request Board authorization to:

- 1) waive formal bidding; and
- 2) purchase a 2019 Ford F-150 4X4 super cab pickup truck for the Fire Department through the Northwest Municipal Conference Suburban Purchasing Cooperative Contract from Roesch Ford, Bensenville, IL, in an amount not to exceed \$31,207.

*(Amendment is requested – see packets)*

**9. ADJOURNMENT – Executive Session – Litigation (5 ILCS 120/2-(c)-(11)) & Collective Bargaining (5 ILCS 120/2-(c)-(2))**

*Further details and information can be found in the agenda packet attached hereto and incorporated herein and can also be viewed online at [www.hoffmanestates.org](http://www.hoffmanestates.org) and/or in person in the Village Clerk's office.*

*The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.*

**MEETING:**                   **HOFFMAN ESTATES VILLAGE BOARD**  
**DATE:**                     **APRIL 15, 2019**  
**PLACE:**                   **COUNCIL CHAMBERS**  
                                  **MUNICIPAL BUILDING COMPLEX**  
                                  **1900 HASSELL ROAD**  
                                  **HOFFMAN ESTATES, ILLINOIS**

**1. CALL TO ORDER:**

Village President William McLeod called the meeting to order at 7:00 p.m. The Village Clerk called the roll. Trustees present: Anna Newell, Gary Pilafas, Gary Stanton, Michael Gaeta, Karen Arnet, Karen Mills  
A quorum was present.

**ADMINISTRATIVE PERSONNEL PRESENT:**

J. Norris, Village Manager  
D. O'Malley, Deputy Village Manager  
P. Cross, Asst. Corporation Counsel  
T. Bos, Police Chief  
K. Cawley, Asst. Police Chief  
P. Fortunato, Fire Chief  
J. Nebel, Public Works Director  
P. Seger, HRM Director  
R. Musiala, Finance Director  
F. Besenhoffer, IS Director  
M. Saavedra, H&HS Director  
B. Anderson, CATV Director  
M. Hankey, Transportation & Engineering Director  
S. Ostrovsky, Asst. to the Village Manager  
M. Galloway, GG Intern

**2. PLEDGE OF ALLEGIANCE TO THE FLAG:**

The Pledge was led by Troop 290 G.

**3. RECOGNITION OF AUDIENCE:**

No one wished to be recognized.

**4. APPROVAL OF MINUTES:**

Motion by Trustee Gaeta, seconded by Trustee Arnet, to approve Item 4.

Approval of Minutes  
Minutes from April 1, 2019.

Roll Call:

Aye: Newell, Pilafas, Stanton, Gaeta, Arnet, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

**5. CONSENT AGENDA/OMNIBUS VOTE:**

Motion by Trustee Gaeta, seconded by Trustee Pilafas, to approve Item 5.A.

**5.A.** Approval of Agenda

Roll Call:

Aye: Newell, Pilafas, Stanton, Gaeta, Arnet, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Pilafas, to approve Item 5.B.

**5.B.** Approval of the schedule of bills for April 15, 2019 -\$3,499,672.69.

Roll Call:

Aye: Newell, Pilafas, Stanton, Gaeta, Arnet, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Pilafas, to approve Item 5.C.

**5.C.** Request Board approval of Ordinance No. 4722-2019 amending Section 9-3-3, Fences, Shrubs, Hedges and Decorative Structures, of the Hoffman Estates Municipal Code.

**Discussion**

Trustee Stanton reminded everyone that the reason that he's against this is because he thinks the fences should be allowed closer to the sidewalk without having to ask for a variance.

Roll Call:

Aye: Newell, Pilafas, Gaeta, Arnet, Mills

Nay: Stanton

Mayor McLeod voted nay.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Pilafas, to approve Item 5.D.

**5.D.** Request Board approval of Ordinance No. 4721-2019 amending Sections 6-2-1-HE-11-601, 6-2-1-HE-11-601-1, 6-2-1-HE-11-602-2, 6-2-1-HE-11-601-3, 6-2-1-HE-11-602 and 6-2-1-HE-11-603, of the Hoffman Estates Municipal Code (maximum limits).

Roll Call:

Aye: Newell, Pilafas, Stanton, Gaeta, Arnet, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Pilafas, to approve Item 5.E.

**5.E.** Request Board approval of Resolution No. 1679-2019 providing general guidelines and design, stealth, and concealment standards for small wireless facilities.

Roll Call:

Aye: Newell, Pilafas, Stanton, Gaeta, Arnet, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Pilafas, to approve Item 5.F.

**5.F.** Request Board approval of North West Housing Partnership as subrecipient to administer the Community Development Block Grant (CDBG) Single Family Rehabilitation Project and to approve execution of the proposed Subrecipient Agreement.

Roll Call:

Aye: Newell, Pilafas, Stanton, Gaeta, Arnet, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

## **6. REPORTS:**

### **6.A. President's Report**

#### **Presentation(s)**

Violetta Payne received the Great Citizen Award for the many acts of kindness that she has shown towards her neighbors and friends.

Champion of Community Awards will be given in June.

#### **Proclamation(s)**

Trustee Mills read the following proclamation. Voice vote taken. All ayes. Motion carried.

Motion by Trustee Stanton, seconded by Trustee Gaeta, to concur with the proclamation proclaiming Friday, April 26, 2019 as Arbor Day. Voice vote taken. All ayes. Motion carried.

Mr. Nebel accepted the proclamation.

Trustee Newell read the following proclamation.

Motion by Trustee Gaeta, seconded by Trustee Pilafas, to concur with the proclamation proclaiming Monday, April 22, 2019 as Earth Day. Voice vote taken. All ayes. Motion carried.

Mr. Nebel accepted the proclamation.

Mayor McLeod read the following proclamation.

Motion by Trustee Mills, seconded by Trustee Gaeta, to concur with the proclamation proclaiming May 5<sup>th</sup> through May 11<sup>th</sup>, 2019 as National Small Business Week. Voice vote taken. All ayes. Motion carried.

Mayor McLeod accepted the proclamation.

Motion by Trustee Arnet, seconded by Trustee Mills, to accept the resignation, with regrets, of Dick Zittler from the Police Pension Board.

Mayor McLeod stated that he attended the swearing in of three probationary firefighters, a Metro Mayors Caucus meeting, the Arts Commission. Presentation of Catherine the Great, the cupcake tasting for Bon Appetite, a NWMC meeting a SWANCC meeting, was a judge at MacArthur's science fair, the 4<sup>th</sup> of July meeting, the wake of Don Totten, the grand re-opening of Summit View Church and the reception for Troop 290G.

#### **6.B. Trustee Comments**

Trustee Arnet stated that she attended the active shooter training and she congratulated Troop 290G.

Trustee Gaeta stated that he attended the photo shoot at Bell Works, the Schaumburg Township Easter Bunny Breakfast, the firefighter swearing in, a Senior Commission meeting, and he congratulated Troop 290G.

Trustee Pilafas congratulated Troop 290G.

Trustee Mills stated that she attended the Bell Works photo shoot, a Northwest Mosquito Abatement meeting, the Easter Bunny Breakfast, the active shooter training, the grand re-opening at Summit View Church, she thanked Troop 290G for leading the Pledge of Allegiance and congratulated Mayor McLeod on receiving the Small business Award.

Trustee Stanton thanked Troop 290G for leading the Pledge of Allegiance and stated that he attended the Bell Works photo shoot and the grand re-opening of Summit View Church.

Trustee Newell stated that she attended the Easter Bunny Breakfast, the Transit Summit, the grand re-opening of Summit View Church, she congratulated Troop 290G and read a memo regarding sustainability and the solar power hour program that will be held on Saturday.

Mayor McLeod reminded everyone that there will be a Coffee with the Board on Saturday and that the swearing-in ceremony for the newly re-elected Trustees is Saturday, April 27<sup>th</sup> at 10:00 a.m.

#### **6.C. Village Manager's Report**

Mr. Norris had no report.

#### **6.D. Village Clerk's Report**

The Clerk had no report.

#### **6.E. Treasurer's Report**

Mrs. Musiala stated that during the month of February 2019, for Operating funds cash receipts and transfers-in exceeded cash disbursements and transfers-out by \$970,966, primarily due to general operating activity. After including these receipts and disbursements, the balance of cash and investments for the operating funds is \$41.6 million.

For the Operating, Debt Service and Capital Projects funds, cash receipts and transfers-in exceeded cash disbursements and transfers-out by \$1.69 million, primarily due to 2018 property tax receipts.

For the Trust Funds, cash receipts and transfers-in exceeded cash disbursements and transfers-out by \$8.80 million, primarily due to 2017 and 2018 property tax receipts and pension fund investment activity.

The total for cash and investments for all funds increased to \$221.1 million.

**6.F. Committee Reports****Public Health & Safety**

Trustee Gaeta stated that they would be meeting to request authorization to award a two (2) year Police Emergency Vehicle Equipment and Installation/Changeover contract to Ultra Strobe Communications, Crystal Lake, IL, in an amount not to exceed \$19,600.00 for FY2019; request authorization to waive formal bidding and purchase a 2019 Ford F-250, Crew cab, 4X4 pick-up truck for the Fire Department through the Northwest Municipal Conference Suburban Purchasing Cooperative Contract from Currie Motors Frankfort Inc., Frankfort IL, in the amount of \$33,536.00, request authorization to waive formal bidding and purchase an aluminum, ¾ height truck service body for the Fire Department from Highway Products, Inc. White City, Oregon in the amount of \$31, 338.95; request authorization to waive formal bidding and purchase a 2019 Ford F-150 4X4 Super cab pick-up truck for the Fire Department through the Northwest Municipal Conference Suburban Purchasing Cooperative Contract from Roesch Ford Bensenville IL in the amount of \$31,207; and to receive and file the Police Department Monthly Report, the Health & Human Services Monthly Report, the Emergency Management Coordinator Monthly Report and the Fire Department Monthly Report.

**Finance**

Trustee Pilafas stated that they would be meeting to request approval of an ordinance to amend the 2018 Budget as a result of the completed financial audit and to close out the fiscal year; request approval to move forward with the unbudgeted project for installation of a generator at the Sears Centre Arena; request approval of consolidated Sears Centre Arena agreements with Spectra for arena management and Front Row Marketing for sale of contractual rights; request approval of an application by React Presents, LLC for use of pyrotechnics and fireworks display at the outdoor Spring Awakening Music Festival on June 7-9, 2019 subject to meeting the Village Code and National Fire Protection Association (NFPA) requirements; and to receive and file the Finance Department Monthly Report; the Information System Department Monthly Report and the Sears Centre Monthly Report.

**Public Works & Utilities**

Trustee Newell stated that they would be meeting to have a discussion regarding Tree City USA recognition; have a discussion regarding paint color selection and Village Name Orientation for Stonington Water Tower (T-2) and Huntington Water Tower (T-4); request approval to utilize JOC using eziQC Lake County Cooperative for services to design/build a storage building on the Sears Centre site; request authorization to extend the 2017 contract for the 2019 roadway pavement markings program to Preform Traffic Control Systems, Ltd., Elk Grove Village, IL at a total cost not to exceed \$57,000; request authorization to extend the 2017 contract for 2019 Street Sweeping, inclusive of all associated costs including removal and hauling of debris, to Lakeshore Recycling Systems (formerly known as K. Hoving Clean Sweep), West Chicago, IL , in an amount not to exceed \$108,150; request authorization to award contract for design engineering for the Almond Lane-Audubon Street Culvert Replacement Project; and to receive and file the Department of Public Works Monthly Report, and the Department of Development Services Monthly Engineering Report of the Transportation and Engineering Division.

**7. ADDITIONAL BUSINESS:**

There was no Additional Business.

**8. ADJOURNMENT:**

Motion by Trustee Mills, seconded by Trustee Arnet, to recess the meeting into Executive Session to discuss Personnel-Compensation (5 ILCS 120/2-(c)-(1)). Time: 7:34 p.m.



Roll Call:

Aye: Newell, Pilafas, Stanton, Gaeta, Arnet, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Arnet, seconded by Trustee Gaeta, to adjourn the meeting. Time: 7:59 p.m.

Roll Call:

Aye: Newell, Pilafas, Stanton, Gaeta, Arnet, Mills

Nay:

Mayor McLeod voted aye.

Motion carried.

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Bev Romanoff  
Village Clerk

Date Approved

*The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.*

**MEETING:** SPECIAL HOFFMAN ESTATES VILLAGE BOARD  
**DATE:** APRIL 22, 2019  
**PLACE:** COUNCIL CHAMBERS  
MUNICIPAL BUILDING COMPLEX  
1900 HASSELL ROAD  
HOFFMAN ESTATES, ILLINOIS

**1. CALL TO ORDER:**

Village President William McLeod called the meeting to order at 7:59 p.m. The Village Clerk called the roll. Trustees present: Gary Pilafas, Gary Stanton, Michael Gaeta, Karen Arnet, Karen Mills, Anna Newell  
A quorum was present.

**ADMINISTRATIVE PERSONNEL PRESENT:**

J. Norris, Village Manager  
D. O'Malley, Deputy Village Manager  
A. Janura, Corporation Counsel  
P. Cross, Asst. Corporation Counsel  
M. Koplin, Asst. Village Manager  
P. Fortunato, Fire Chief  
T. Bos, Police Chief  
K. Cawley, Asst. Police Chief  
F. Besenhoffer, IS Director  
J. Nebel, Public Works Director  
A. Marks, Asst. H&HS Director  
R. Musiala, Finance Director  
A. Wenderski, Village Engineer  
M. Hankey, Transportation & Engineering Director  
R. Signorella, Production Asst.  
B. Gibbs, SCA General Manager

**2. PLEDGE OF ALLEGIANCE TO THE FLAG:**

The Pledge was led by Trustee Pilafas.

**3. ADDITIONAL BUSINESS:**

Motion by Trustee Mills, seconded by Trustee Pilafas, to defer action on this item until the court has made a decision.

**3.A.** Discussion regarding distribution of the \$9,661,977-33 developer allocation for tax levy year 2017 within the EDA Special Tax Allocation Fund, conditioned upon the Village's prior receipt of an order following the bankruptcy court hearing on April 18, 2019 on the Debtor's turnover motion (deferred from March 4, 2019 Finance Committee Meeting).

**Discussion**

Asst. Corporation Counsel Cross updates the board on what was happening with this case and stated that no decision has been handed down yet.

Roll Call:

Aye: Pilafas, Stanton, Gaeta, Arnet, Mills, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

#### **4. ADJOURNMENT:**

Motion by Trustee Mills, seconded by Trustee Pilafas, to adjourn the meeting into Executive Session to discuss Litigation (5 ILCS 120/2-(c)-(11)). Time: 8:02 p.m.

Roll Call:

Aye: Pilafas, Stanton, Gaeta, Arnet, Mills, Newell

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Stanton, to adjourn the meeting. Time: 8:31 p.m.

Roll Call:

Aye: Pilafas, Stanton, Gaeta, Arnet, Mills, Newell

Nay:

Mayor McLeod voted aye.

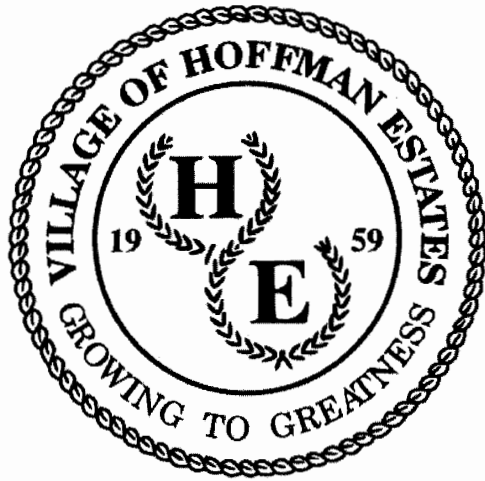
Motion carried.

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Bev Romanoff  
Village Clerk

Date Approved

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## BILL LIST SUMMARY

<b>BILL LIST AS OF 05/06/2019</b>	<b>\$</b>	<b>551,870.89</b>
<b>MANUAL CHECKS 04/12 - 05/02/2019</b>	<b>\$</b>	<b>33,961.89</b>
<b>CREDIT CARDS 03/06-04/05/2019</b>	<b>\$</b>	<b>227,425.57</b>
<b>PAYROLL 04/26/2019</b>	<b>\$</b>	<b>1,400,307.19</b>
<b>TOTAL</b>	<b>\$</b>	<b>2,213,565.54</b>

# VILLAGE OF HOFFMAN ESTATES

May 6, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
<b>GENERAL FUND</b>			
01 0301	GARVEY'S OFFICE PRODUCTS INC	OFFICE SUPPLIES	\$22.68
01 0301	NEOPOST INC.	VARIOUS SUPPLIES	\$243.00
01 0302	ACME TRUCK BRAKE & SUPPLY CO.	REPAIR PARTS	\$28.30
01 0302	ADVANCE AUTO PARTS	REPAIR PARTS	\$117.12
01 0302	ADVANCE AUTO PARTS	STOCK REPAIR PARTS	\$101.05
01 0302	CHICAGO PARTS & SOUND LLC	REPAIR PARTS	\$352.56
01 0302	CHICAGO PARTS & SOUND LLC	STOCK REPAIR PARTS	\$21.18
01 0302	FIRESTONE TRUCK & SERVICE CENTER	STOCK PARTS TIRES	\$933.38
01 0302	FIRESTONE TRUCK & SERVICE CENTER	VEHICLE TIRES	\$933.38
01 0302	FLEETPRIDE	REPAIR PARTS	\$120.10
01 0302	MYERS TIRE SUPPLY CO.	STOCK REPAIR PARTS	\$81.44
01 0302	O'REILLY AUTO PARTS	AIR FILTERS	\$19.54
01 0302	RUSH TRUCK CENTER OF ILLINOIS, INC	REPAIR PARTS	\$21.48
01 0302	RUSH TRUCK CENTER OF ILLINOIS, INC	THERMOSTAT	\$60.91
<b>CASH AND INVENTORIES</b>			<b>\$3,056.12</b>
01 1432	DIXON ENGINEERING, INC.	ENGINEERING SERVICES	\$1,450.00
01 1445	BETTER BEEF LTD	VIDEO GAMING LIC REFUND	\$1,600.00
01 1445	DLS CUSTOM EMBROIDERY	UNIFORMS	\$229.00
01 1445	SAUL EWING ARNSTEIN & LEHR LLP	PROFESSIONAL SERVICES	\$585.00
01 1459	SCOTT LAWRENCE	REIM FOR FOOD PURCHASES	\$61.13
<b>PAYMENTS FROM DEPOSITS ON HAND</b>			<b>\$3,925.13</b>
01 1214	NCPERS-IL IMRF	DED:2030 IMRF LIFE	\$768.00
01 1218	INT'L BROTHERHOOD TEAMSTERS LCL 700	DED:2029 ASSESSMENT	\$51.00
01 1218	INT'L BROTHERHOOD TEAMSTERS LCL 700	DED:2034 PW DUES	\$3,805.00
01 1218	METROPOLITAN ALLIANCE OF POLICE	DED:2033 MAP 96	\$2,624.00
01 1218	METROPOLITAN ALLIANCE OF POLICE	DED:2038 MAP 97	\$396.00
01 1222	AFLAC	DED:1027 AFLAC-INS	\$8,872.28
01 1223	AFLAC	DED:2027 AFL-AF TAX	\$1,910.36
01 1226	PRE PAID LEGAL SERVICE INC	DED:2035 LEGAL	\$1,107.14
01 1239	JOHN HANCOCK LIFE INSURANCE CO.	DED:2040 LTC INS	\$318.02
<b>PAYROLL DEDUCTION</b>			<b>\$19,851.80</b>

# VILLAGE OF HOFFMAN ESTATES

May 6, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01000011 3203	ILLINOIS STATE POLICE	LIQUOR CONTROL COMM 4365	\$113.00
01000014 3509	DIANE FRITCH	RFD OVER PYMT CITATION	\$90.00
01000014 3509	JACK EMMONS	RFD OVER PYMT CITATION	\$120.00
01000014 3509	STEVEN WELLS	OVER PYMT RED LIGHT	\$220.00
01000016 3701	MINUTEMAN PRESS	HOFFMAN CARE BOOKLET	\$150.00
<b>GENERAL-REVENUE ACCOUNTS</b>			<b>\$693.00</b>
01101122 4301	HOFFMAN ESTATES CHAMBER OF COMMERCE	TICKETS FOR BON APPETIT	\$150.00
01101124 4504	NATIONAL LEAGUE OF CITIES	DIRECT MEMBER DUES	\$4,601.01
01101124 4504	NORTHWEST MUNICIPAL CONFERENCE	YR 19-20 MEMBERSHIP DUES	\$25,528.00
<b>LEGISLATIVE</b>			<b>\$30,279.01</b>
01101324 4542	RICHARD A KAVITT ATTORNEY AT LAW	PROFESSIONAL SERVICES	\$2,300.00
<b>LEGAL</b>			<b>\$2,300.00</b>
01101423 4401	FEDERAL EXPRESS CORP	SHIPPING	\$359.24
01101423 4401	UPS SHIPPING CHARGES	SHIPPING	\$3.90
01101423 4402	DLS CUSTOM EMBROIDERY	UNIFORMS	\$71.50
01101423 4402	GARVEY'S OFFICE PRODUCTS INC	OFFICE SUPPLIES	\$12.69
01101423 4402	OFFICE DEPOT	OFFICE SUPPLIES	\$85.57
01101423 4402	WAREHOUSE DIRECT	OFFICE SUPPLIES	\$11.65
<b>FINANCE</b>			<b>\$544.55</b>
01101524 4546	PADDOCK PUBLICATIONS INC	NOTICES	\$165.60
<b>VILLAGE CLERK</b>			<b>\$165.60</b>
01101624 4579	ALEXIAN BROTHERS CORPORATE HEALTH	EMPLOYEE DRUG SCREENING	\$48.00
01101624 4579	ALEXIAN BROTHERS CORPORATE HEALTH	PHYSICAL & SCREENING	\$456.00
01101624 4580	EMPLOYMENT SCREENING ALLIANCE GROUP	EMPLOYEE SCREENING	\$75.00
<b>HUMAN RESOURCES</b>			<b>\$579.00</b>
01102524 4507	CITY OF LAKE FOREST	BENCHMARKING COOPERATIVE	\$2,916.67
<b>COMMUNICATIONS</b>			<b>\$2,916.67</b>

# VILLAGE OF HOFFMAN ESTATES

May 6, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01106223 4402	OFFICE DEPOT	OFFICE SUPPLIES	\$18.70
<b>CABLE TELEVISION</b>			<b>\$18.70</b>
01107124 4542	COMCAST BUSINESS	INTERNET SERVICES	\$27.37
<b>EMERGENCY OPERATIONS</b>			<b>\$27.37</b>
<b>TOTAL GENERAL GOVERNMENT DEPARTMENT</b>			<b>\$36,830.90</b>
 <b>POLICE DEPARTMENT</b>			
01201222 4301	FOX VALLEY TECHNICAL COLLEGE	TRAINING	\$249.00
01201223 4402	OFFICE DEPOT	COPIER PAPER	\$273.84
01201223 4402	OFFICE DEPOT	OFFICE SUPPLIES	\$102.81
01201223 4417	MCDONALDS BEAR ESTATES #1, LLC	INMATE MEALS	\$268.68
01201223 4422	CAMIC JOHNSON	PROFESSIONAL SERVICES	\$350.00
01201224 4507	CHERYL AXLEY	PROFESSIONAL SERVICES	\$900.00
<b>ADMINISTRATIVE</b>			<b>\$2,144.33</b>
01202023 4403	PLUM GROVE PRINTERS INC	BUSINESS CARDS	\$32.50
<b>TACTICAL</b>			<b>\$32.50</b>
01202122 4301	NORTH EAST MULTI-REGIONAL TRAINING	MEMBERSHIP DUES	\$9,405.00
01202122 4301	NORTHWESTERN UNIV CTR PUBLIC SAFETY	TRAINING	\$750.00
01202123 4403	RFS GRAPHICS	FORMS PROPERTY VEHICLES	\$616.00
01202123 4408	POLICE MD	TRAUMA KIT	\$261.92
01202123 4414	NORTHWESTERN UNIV CTR PUBLIC SAFETY	TRAINING	\$1,000.00
01202123 4414	ULINE	MEDICAL SUPPLIES	\$49.01
01202124 4510	CHICAGO COMMUNICATIONS,LLC	MAY MAINTENANCE	\$752.30
01202124 4510	ULTRA STROBE COMMUNICATIONS	COMPUTER DIAGNOSES	\$75.00
01202124 4542	BEST TECHNOLOGY SYSTEMS	VARIOUS SUPPLIES	\$1,830.00
01202124 4542	WESTERN FIRST AID & SAFETY	FIRST AID SUPPLIES	\$373.27
<b>PATROL &amp; RESPONSE</b>			<b>\$15,112.50</b>
01202224 4542	AMERICAN TRAFFIC SOLUTIONS	RED LIGHT CAMERA	\$28,000.00
<b>TRAFFIC CONTROL</b>			<b>\$28,000.00</b>

# VILLAGE OF HOFFMAN ESTATES

May 6, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01202322 4301	NORTHWESTERN UNIV CTR PUBLIC SAFETY	TRAINING	\$1,000.00
<b>INVESTIGATIONS</b>			<b>\$1,000.00</b>
01202524 4542	NORTHWEST CENTRAL DISPATCH SYSTEM	MAY MEMBERSHIP DUES	\$58,678.41
<b>COMMUNICATIONS</b>			<b>\$58,678.41</b>
01202924 4508	GOLF ROSE PET LODGE	ANIMAL CARE	\$588.00
<b>ADMINISTRATIVE SERVICES</b>			<b>\$588.00</b>
<b>TOTAL POLICE DEPARTMENT</b>			<b>\$105,555.74</b>
<b>FIRE DEPARTMENT</b>			
01301222 4305	MAJESTIC FLAG & BANNER CO.	FLAGS	\$115.92
<b>ADMINISTRATIVE</b>			<b>\$115.92</b>
01303122 4301.19	ON-TARGET SOLUTIONS GROUP INC	TRAINING	\$250.00
01303122 4301.19	UNIVERSITY OF ILLINOIS PYMT CENTER	TRAINING FOR 3	\$900.00
01303122 4304	DLS CUSTOM EMBROIDERY	UNIFORMS	\$214.75
01303122 4304	ON TIME INC	UNIFORMS	\$4,398.00
01303122 4304	TODAYS UNIFORMS	UNIFORMS	\$1,701.85
01303122 4304.16	AIR ONE EQUIPMENT INC	CAIRNS 1044 HELMETS	\$795.00
01303122 4304.16	AIR ONE EQUIPMENT INC	ESTIMATED SHIPPING/HANDLING	\$30.00
01303122 4304.16	AIR ONE EQUIPMENT INC	HELMET & EYESHIELDS	\$825.00
01303123 4408.13	AIR ONE EQUIPMENT INC	ESTIMATED SHIPPING/HANDLING	\$40.00
01303123 4408.13	AIR ONE EQUIPMENT INC	HYDRANT TOOL BAG	\$312.00
01303123 4408.13	AIR ONE EQUIPMENT INC	HYDRANT WRENCHES	\$552.00
01303123 4414.14	ANDAX INDUSTRIES LLC	VARIOUS SUPPLIES	\$245.97
01303124 4509.19	CAROL STREAM FIRE PROT.DISTRICT	BURN FULL DAY TOWER	\$1,400.00
01303124 4510.11	AIR ONE EQUIPMENT INC	AIR TEST	\$135.00
01303124 4510.11	AIR ONE EQUIPMENT INC	REPAIR PARTS	\$676.25
01303124 4510.14	JJS TECHNICAL SERVICES	REPLACEMENT PARTS	\$348.00
01303124 4515.10	B.S. KAMENEAR	VARIOUS SUPPLIES	\$405.00
01303124 4515.10	THE NEEDHAM SHOP	REPAIR PARTS	\$410.67
01303124 4542	LEAF	COPIER LEASING	\$197.00
01303125 4602.18	THE NEEDHAM SHOP	REPAIR PARTS	\$45.00
<b>SUPPRESSION</b>			<b>\$13,881.49</b>



# VILLAGE OF HOFFMAN ESTATES

May 6, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01303222 4301	DANIEL PEARSON	PARAMEDIC LIC RENEW	\$41.00
01303223 4419	AIRGAS USA, LLC	MEDICAL SUPPLIES	\$259.87
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	BEMIS 1 QUART SHARPS CONT	\$9.32
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	COVIDIEN LOCKING WALL BRA	\$26.99
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	CURAPLEX DISPOSABLE PENLI	\$21.92
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	KENDALL WEBCOL ALCOHOL PR	\$11.65
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	LA RESCUE ALS ATTACK PACK	\$170.21
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	LA RESCUE FIRST CALL IN B	\$29.00
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	LAERDAL V-VAC SUCTION STA	\$337.17
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	NITRILE EXAM GLOVES, LG	\$301.20
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	NITRILE EXAM GLOVES, SM	\$75.30
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	NITRILE EXAM GLOVES, X-LG	\$301.20
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	PEDIATAPE PEDIATRIC EMERG	\$86.12
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	PELICAN 1460 EMS CASE	\$245.99
01303223 4419	EMERGENCY MEDICAL PRODUCTS INC	SAGE 5QT IN ROOM CONTAINER	\$4.94

**EMERGENCY MEDICAL SERVICES**

**\$1,921.88**

01303323 4414	B & H PHOTO	CANON EOS 80D DIGITAL CAM	\$979.02
01303323 4414	B & H PHOTO	CANON LP-E6NBATTERY	\$61.00
01303323 4414	B & H PHOTO	DELTA GRAY CARD 8X10	\$8.77
01303323 4414	B & H PHOTO	GENARAY MONOBRIGHT 750 LE	\$529.69
01303323 4414	B & H PHOTO	IMPACT 10X12 BKGROUND	\$68.55
01303323 4414	B & H PHOTO	IMPACT BACKGROUND SUPPORT	\$220.45
01303323 4414	B & H PHOTO	SANDISK EXTREME PRO SDXC	\$37.22
01303323 4414	BEACH CAMERA	CAMERA EQUIPMENT CANON 24	\$1,199.00
01303324 4507	AT & T	LANDLINES	\$1,120.31
01303324 4507	CHGO METRO.FIRE PREVENTION CO	MARCH MONTHLY MAINTENANCE	\$1,801.00

**PREVENTION**

**\$6,025.01**

01303523 4412	FAST MRO SUPPLIES, INC	ALUMI-BRITE ALUMINUM BRIG	\$17.86
01303523 4412	FAST MRO SUPPLIES, INC	HEAVY-DUTY THREADED END H	\$88.96
01303523 4412	FAST MRO SUPPLIES, INC	PLASTIC LIFT STROKE PUMP	\$107.16
01303523 4412	FAST MRO SUPPLIES, INC	POLYSTYRENE VEHICLE BRUSH	\$281.92
01303523 4412	FAST MRO SUPPLIES, INC	SUPER POWER HEAVY DUTY DE	\$29.40
01303523 4412	FAST MRO SUPPLIES, INC	WASH AND WAX CONCENTRATE	\$500.04

**FIRE STATIONS**

**\$1,025.34**

**TOTAL FIRE DEPARTMENT**

**\$22,969.64**

# VILLAGE OF HOFFMAN ESTATES

May 6, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
<b>PUBLIC WORKS</b>			
01401223 4402	OFFICE DEPOT	OFFICE SUPPLIES	\$39.16
01401224 4507	ALEXIAN BROTHERS CORPORATE HEALTH	EMPLOYEE DRUG TEST	\$140.00
01401224 4509	XEROX CORP.	COPIER SERVICES	\$144.97
<b>ADMINISTRATIVE</b>			<b>\$324.13</b>
01404123 4414	JEREMY JAHNKE	REIM FOR CDL LICENSE	\$30.00
01404123 4414	MENARDS - HNVR PARK	REPAIR PARTS	\$136.00
01404123 4414	SPRING ALIGN	REPAIR PARTS	\$175.60
<b>SNOW &amp; ICE REMOVAL</b>			<b>\$341.60</b>
01404224 4521	HEALY ASPHALT CO., LLC.	UPM COLD MIX	\$395.93
01404224 4545	FULLIFE SAFETY CENTER	SAFETY SUPPLIES	\$557.31
<b>PAVEMENT MAINTENANCE</b>			<b>\$953.24</b>
01404323 4408	MENARDS - HNVR PARK	REPAIR PARTS	\$90.87
01404324 4507	WINKLER'S TREE SERVICE	CONTRACTED ASSISTED TREE	\$1,470.00
01404324 4510	ALEXANDER EQUIPMENT	CHIPPER KNIFE KIT	\$490.00
01404324 4510	ARLINGTON POWER EQUIPMENT	REPAIR PARTS	\$141.46
01404324 4510	ARLINGTON POWER EQUIPMENT	RTN REPAIR PARTS	(\$118.48)
01404324 4510	MENARDS - HNVR PARK	REPAIR PARTS	\$95.39
01404324 4537	CLEAN CUT TREE SERVICE INC.	MULCH	\$448.00
01404324 4545	FULLIFE SAFETY CENTER	SAFETY GLOVES	\$80.00
01404325 4610	THE GREEN WORLD PROJECT	TREE SERVICES	\$208.37
<b>FORESTRY</b>			<b>\$2,905.61</b>
01404423 4412	CASE LOTS	24X32 CAN LINERS	\$399.00
01404423 4412	CASE LOTS	33X39 CAN LINERS	\$114.00
01404423 4412	CASE LOTS	6 INCH FOAM PLATES	\$74.50
01404423 4412	CASE LOTS	9 INCH FOAM PLATES	\$114.50
01404423 4412	CASE LOTS	BROWN MULTI FOLD TOWELS 4	\$160.00
01404423 4412	CASE LOTS	BROWN ROLL TOWEL 6/800	\$329.25
01404423 4412	CASE LOTS	GREEN SEAL 2 PLY TOILET P	\$329.00
01404423 4412	CASE LOTS	KITCHEN ROLL TOWEL	\$76.00
01404423 4412	CASE LOTS	MEDIUM WEIGHT FORKS	\$19.90
01404423 4414	ARLINGTON POWER EQUIPMENT	SAFETY SALT	\$80.00
01404424 4501	AT & T	LANDLINES	\$255.25
01404424 4501	COMCAST BUSINESS	INTERNET SERVICES	\$121.61
01404424 4503	NICOR GAS	GAS 1775 VISTA LN	\$10.96

# VILLAGE OF HOFFMAN ESTATES

May 6, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01404424 4503	NICOR GAS	GAS 1900 HASSELL RD	\$30.73
01404424 4503	NICOR GAS	GAS 225 FLAGSTAFF	\$329.89
01404424 4503	NICOR GAS	GAS 2305 PEMBROKE	\$2,094.85
01404424 4503	NICOR GAS	GAS 2405 PEMBROKE	\$732.68
01404424 4503	NICOR GAS	GAS 2550 PRARIE STONE	\$28.96
01404424 4503	NICOR GAS	GAS 2601 PRATUM	\$738.44
01404424 4503	NICOR GAS	GAS 411 W HIGGINS	\$4,930.85
01404424 4503	NICOR GAS	GAS 5775 BEACON POINTE	\$512.54
01404424 4507	MCCLLOUD SERVICES	PEST MANAGEMENT	\$99.44
01404424 4507	MCCLLOUD SERVICES	PEST MANGEMENT	\$101.62
01404424 4507	SOUND INC.	BRIVO HOSTING FEES - VILL	\$3,035.61
01404424 4507	SOUND INC.	MONITORING	\$90.00
01404424 4507	STATE OF ILLINOIS - BOILER SAFETY	CERTIFICATIONS BOILER	\$280.00
01404424 4507	WEATHERGUARD ROOFING CO.	MAINTENANCE INSPECTION	\$1,450.00
01404424 4509	CINTAS #22	FLOOR MAT RENTAL AND CLEAN	\$33.16
01404424 4510	ACTION LOCK & KEY, INC	REPAIR PARTS	\$523.75
01404424 4510	ARCO MECHANICAL EQUIPMENT SALES	GAS DETECTION	\$2,270.00
01404424 4510	BATTERIES PLUS	BATTERIES	\$89.72
01404424 4510	DOORS DONE RIGHT INC	NEW STEEL DOOR AND FRAME	\$1,647.00
01404424 4510	DOORS DONE RIGHT INC	REPAIRS TO LOCK	\$385.00
01404424 4510	DOORS DONE RIGHT INC	STEEL DOOR AND FRAME REPLACE	\$1,647.00
01404424 4510	EJ EQUIPMENT	REPAIR PARTS	\$183.14
01404424 4510	FILTER SERVICES INC	AIR FILTERS	\$33.48
01404424 4510	GRAINGER INC	RTN PARTS	(\$5.00)
01404424 4510	GRAINGER INC	RTN REPAIR PARTS	(\$5.28)
01404424 4510	HAYES MECHANICAL INC	CLEAN CONDENSER AND EVAPO	\$1,480.00
01404424 4510	H-O-H WATER TECHNOLOGY INC	VARIOUS SUPPLIES	\$2,666.38
01404424 4510	NEUCO INC	REPAIR PARTS	\$280.12
01404424 4510	OAK BROOK MECHANICAL SERVICES, INC	MAINTENANCE	\$328.00
01404424 4510	SOUND INC.	EMERGENCY REPAIRS	\$426.00
01404424 4510	THE FINER LINE	NAME PLATES	\$39.78
01404424 4510	WOLF ELECTRIC SUPPLY CO	REPAIR PARTS	\$279.30
01404424 4516	WOLF ELECTRIC SUPPLY CO	VARIOUS SUPPLIES	\$137.70
01404424 4518	B & A PLUMBING,INC.	MAIN LINE ROD OUT	\$790.50
01404424 4518	CINTAS #22	FLOOR MAT RENTAL AND CLEAN	\$126.21
01404424 4518	CORNERSTONE APPLIANCE SERVICE	REPAIR PARTS	\$140.72
01404424 4518	FOX VALLEY FIRE & SAFETY	ANNUAL INSPECTION	\$500.00
01404424 4518	JENSEN'S PLUMBING & HEATING	BOILER SERVICES	\$1,800.00
01404424 4518	JENSEN'S PLUMBING & HEATING	REPAIRS TO BOILER	\$345.00
01404424 4518	MCMASTER CARR SUPPLY CO	RTN PARTS	(\$45.87)
01404424 4518	RAY'S PLUMBING HEATING	THIS IS TO REPLACE A BAD	\$1,489.00
01404424 4518	SOUND INC.	BRIVO HOSTING FEES - FIRE	\$702.33
01404424 4518	WEATHERGUARD ROOFING CO.	MAINTENANCE INSPECTION	\$1,235.00
01404424 4545	FULLIFE SAFETY CENTER	SAFETY GLOVES	\$60.00
<b>FACILITIES</b>			<b>\$36,121.72</b>

# VILLAGE OF HOFFMAN ESTATES

May 6, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01404522 4303	MUNICIPAL FLEET MANAGERS ASSOC	ASSOCIATION DUES	\$30.00
01404522 4304	CINTAS #22	CONTRACT PRICING THROUGH	\$120.66
01404523 4408	AMAZON CAPITAL SERVICES INC	BATTERIES	\$121.96
01404523 4411	GAS DEPOT OIL CO	FUEL	\$18,985.07
01404523 4414	MYERS TIRE SUPPLY CO.	STOCK REPAIR PARTS	\$146.39
01404523 4414	SERVICE COMPONENTS	REPAIR PARTS	\$99.06
01404523 4414	TERRACE SUPPLY CO	VARIOUS SUSPLIES	\$153.29
01404524 4507	VERIZON NETWORKFLEET	WIRELESS SERVICES	\$2,050.61
01404524 4509	AIRGAS USA, LLC	MEDICAL SUPPLIES	\$196.57
01404524 4510	K & K SALES & SERVICES,INC.	INSPECTIONS TO LIFTS	\$800.00
01404524 4513	BOB ROHRMAN'S SCHAUMBURG FORD	REPAIR PARTS	\$746.19
01404524 4513	BUMPER TO BUMPER/ LEE AUTO	REPAIR PARTS	\$164.28
01404524 4513	BUMPER TO BUMPER/ LEE AUTO	RTN REPAIR PARTS	(\$110.15)
01404524 4513	DUNDEE FORD	REPAIR PARTS	\$293.71
01404524 4513	DUNDEE FORD	RTN REPAIR PARTS	(\$175.70)
01404524 4513	FIRESTONE TRUCK & SERVICE CENTER	VEHICLE TIRES	\$239.72
01404524 4513	FIRESTONE TRUCK & SERVICE CENTER	WHEEL ALIGNMENT	\$50.00
01404524 4513	INTERSTATE BATTERY SYSTEMS	VEHICLE BATTERIES	\$106.67
01404524 4513	WHOLESALE DIRECT INC	RTN VARIOUS SUPPLIES	(\$14.23)
01404524 4513	WHOLESALE DIRECT INC	VARIOUS SUPPLIES	\$140.60
01404524 4514	ACME TRUCK BRAKE & SUPPLY CO.	VARIOUS SUPPLIES	\$181.72
01404524 4514	AEC FIRE-SAFETY & SECURITY INC	VARIOUS SUPPLIES	\$139.81
01404524 4514	BUMPER TO BUMPER/ LEE AUTO	AIR DRYER	\$357.99
01404524 4514	BUMPER TO BUMPER/ LEE AUTO	REPAIR PARS	\$57.56
01404524 4514	BUMPER TO BUMPER/ LEE AUTO	REPAIR PARTS	\$28.80
01404524 4514	BUMPER TO BUMPER/ LEE AUTO	RTN REPAIR PARTS	(\$323.28)
01404524 4514	FOSTER COACH SALES INC	REPAIR PARTS	\$86.12
01404524 4514	PETROCHOICE LLC	DIESEL FLUID	\$149.35
01404524 4514	PETROCHOICE LLC	REPAIR PARTS	\$151.00
01404524 4514	POMP'S TIRE	REPAIR PARTS	\$72.00
01404524 4514	POMP'S TIRE	VEHCILE TIRES	\$910.00
01404524 4514	POMP'S TIRE	VEHICLE TIRES	\$905.00
01404524 4514	WHOLESALE DIRECT INC	REPAIR PARTS	\$179.83
01404524 4534	ADVANCE AUTO PARTS	REPAIR PARTS	\$409.67
01404524 4534	AMAZON CAPITAL SERVICES INC	BACKUP CAMERA	\$279.57
01404524 4534	BUMPER TO BUMPER/ LEE AUTO	REPAIR PARTS	\$16.59
01404524 4534	CHICAGO PARTS & SOUND LLC	REPAIR PARTS	\$63.49
01404524 4534	DUNDEE FORD	REPAIR PARTS	\$560.50
01404524 4534	FIRESTONE TRUCK & SERVICE CENTER	VEHICLE TIRES	\$239.72
01404524 4534	INTERSTATE BATTERY SYSTEMS	VEHICLE BATTERIES	\$107.59
01404524 4534	LINDCO EQUIPMENT SALES INC	VARIOUS STREET SUPPLIES	\$350.02
01404524 4534	NAPCO STEEL INC	REPAIR PARTS	\$65.00
01404524 4534	POMP'S TIRE	REPAIR PARTS	\$928.08
01404524 4534	RUSH TRUCK CENTER OF ILLINOIS, INC	ENGINE REPAIRS	\$557.35
01404524 4534	RUSH TRUCK CENTER OF ILLINOIS, INC	REPAIR PARTS	\$1,073.19

# VILLAGE OF HOFFMAN ESTATES

May 6, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01404524 4534	RUSH TRUCK CENTER OF ILLINOIS, INC	SWITCHES	\$55.90
01404524 4545	AMAZON CAPITAL SERVICES INC	EAR PROTECTORS	\$27.97
<b>FLEET SERVICES</b>			<b>\$31,775.24</b>
01404623 4414	DIVINE SIGNS	FORMAT PRINTS	\$80.00
<b>F.A.S.T.</b>			<b>\$80.00</b>
01404723 4408	MENARDS - HNVN PARK	REPAIR PARTS	\$53.52
01404723 4414	MENARDS - HNVN PARK	REPAIR PARTS	\$120.84
01404724 4522	VCNA PRAIRIE LLC	MATERIALS	\$467.50
<b>STORM SEWERS</b>			<b>\$641.86</b>
01404823 4408	MCMASTER CARR SUPPLY CO	REPAIR PARTS	\$176.75
01404823 4414	MENARDS - HNVN PARK	REPAIR PARTS	\$46.84
01404824 4502	COMMONWEALTH EDISON	ELECTRC VARIOUS ST LIGHTS	\$535.01
01404824 4502	COMMONWEALTH EDISON	RED LIGHT CAMERA	\$13.37
01404824 4523	NEHER ELECTRIC SUPPLY, INC.	HPS 150W LU150/55/ECO	\$1,174.80
01404824 4523	NEHER ELECTRIC SUPPLY, INC.	HPS 250W LU250/ECO	\$213.60
01404824 4523	NEHER ELECTRIC SUPPLY, INC.	HPS 400W LU400/ECO	\$106.80
01404824 4523	NEHER ELECTRIC SUPPLY, INC.	MH 250W M250C/U (FROSTED	\$2,128.50
01404824 4523	NEHER ELECTRIC SUPPLY, INC.	MH 250W M250/U (CLEAR)	\$480.00
01404824 4523	NEHER ELECTRIC SUPPLY, INC.	MP 100/U/MED	\$504.00
01404824 4523	NEHER ELECTRIC SUPPLY, INC.	MP 150/C/U/MED	\$522.00
01404824 4544	3M HAK0206	STREET MARKING MATERIALS	\$225.54
01404824 4544	3M HAK0206	VARIOUS SUPPLIES	\$2,886.56
01404824 4544	MENARDS - HNVN PARK	TOOLS	\$599.00
01404824 4544	TRAFFIC CONTROL & PROTECTION	VARIOUS SUPPLIES	\$80.00
<b>TRAFFIC CONTROL</b>			<b>\$9,692.77</b>
<b>TOTAL PUBLIC WORKS DEPARTMENT</b>			<b>\$82,836.17</b>
<b>DEVLOPMENT SERVICES</b>			
01501222 4301	MARK KOPLIN	REIM FOR NATIONAL APA CON	\$2,130.24
01501223 4402	OFFICE DEPOT	OFFICE SUPPLIES	\$95.16
<b>ADMINISTRATIVE</b>			<b>\$2,225.40</b>
01505024 4507	THE LAKOTA GROUP INC	PROFESSIONAL SERVICES	\$9,131.60
01505024 4546	PADDOCK PUBLICATIONS INC	ZONING ADS	\$41.25
<b>PLANNING</b>			<b>\$9,172.85</b>

# VILLAGE OF HOFFMAN ESTATES

May 6, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01505122 4304	DLS CUSTOM EMBROIDERY	UNIFORMS	\$796.50
01505123 4403	B & L BLUEPRINT, INC	PRINTING SERVICES	\$15.00
<b>CODE ENFORCEMENT</b>			<b>\$811.50</b>
01505224 4510	TOPCON SOLUTIONS	PROFESSIONAL SERVICES	\$152.50
01505224 4542	AMERICAN CHARGE SERVICE	258 TRANSPORATION TRIPS	\$1,806.00
01505224 4542	CLASS PRINTING	TAXI COUPONS	\$435.00
<b>TRANSPORTATION AND ENGINEERING</b>			<b>\$2,393.50</b>
01505922 4301	ECONOMIC DEVELOP CORP OF DECATUR-	IEDA LUNCHEON	\$63.16
01505924 4542	MKM DISTRIBUTORS	LOGO SUPPLIES	\$2,542.50
<b>ECONOMIC DEVELOPMENT</b>			<b>\$2,605.66</b>
<b>TOTAL DEVELOPMENT SERVICES DEPARTMENT</b>			<b>\$17,208.91</b>
 <b>HEALTH &amp; HUMAN SERVICES DEPARTMENT</b>			
01556523 4405	CATHY DAGIAN STANTON	REIM FOR SUPPLIES	\$89.96
01556523 4413	CATHY DAGIAN STANTON	REIM FOR GIFT	\$110.67
01556523 4414	CHARLES TORPE	MENTAL HEALTH PERFORMANCE	\$150.00
01556523 4414	ERASING THE DISTANCE	MENTAL HEALTH PERFORMANCE	\$500.00
01556523 4414	MINUTEMAN PRESS	HOFFMAN CARE BOOKLET	\$313.27
<b>TOTAL HEALTH &amp; HUMAN SERVICES DEPARTMENT</b>			<b>\$1,163.90</b>
01605324 4563	KIDS KUSTOM PARTIES LLC	DEPOSIT 4TH JULY CHARACTER	\$150.00
<b>FOURTH OF JULY</b>			<b>\$150.00</b>
01605724 4507	ALEXIAN BROTHERS CORPORATE HEALTH	AUDIOGRAM	\$93.00
01605724 4507	ALEXIAN BROTHERS CORPORATE HEALTH	COMPLETE PHYSICAL	\$612.00
01605724 4507	ALEXIAN BROTHERS CORPORATE HEALTH	EMPLOYEE PHYSICALS	\$659.00
01605724 4507	STEPHEN A LASER ASSOC PC	FIREFIGHTER ASSESSMENT	\$550.00
01605724 4507	STEPHEN A LASER ASSOC PC	POLCE ASSESSMENT	\$550.00
01605724 4507	STEPHEN A LASER ASSOC PC	POLICE ASSESSMENT	\$2,200.00
<b>FIRE &amp; POLICE COMMISSION</b>			<b>\$4,664.00</b>

# VILLAGE OF HOFFMAN ESTATES

May 6, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
01605824 4559	MINUTEMAN PRESS	HOFFMAN CARE BOOKLET	\$300.00
01605824 4560	ERASING THE DISTANCE	MENTAL HEALTH PERFORMANCE	\$500.00
01605824 4575	BETH KALOPISIS	REIM FOR REFRESHMENTS	\$49.13
01605824 4598	BLINK TEES LLC	ANNIVERSARY GEAR	\$2,921.25
<b>MISCELLANEOUS B &amp; C</b>			<b>\$3,770.38</b>
<b>TOTAL BOARDS &amp; COMMISSIONS DEPARTMENT</b>			<b>\$8,584.38</b>
<b>TOTAL GENERAL FUND</b>			<b>\$302,675.69</b>
 <b>MFT FUND</b>			
03400024 4512	MEADE ELECTRIC CO., INC.	EMERGENCY SUPPLIES	\$388.99
03400024 4512	MEADE ELECTRIC CO., INC.	RELAMP STREET LIGHTS	\$544.00
<b>TOTAL MFT FUND</b>			<b>\$932.99</b>
 <b>COMMUNITY DEVELOPMENT BLOCK GRANT FUND</b>			
04000024 4542	NORTH WEST HOUSING PARTNERSHIP	CDBG REHAB PROJECT	\$4,948.38
04000028 4903	NORTH WEST HOUSING PARTNERSHIP	CDBG REHAB PROJECT	\$1,338.40
<b>TOTAL COMMUNITY DEVELOPMENT BLOCK GRANT FUND</b>			<b>\$6,286.78</b>
 <b>PRAIRIE STONE CAPITAL FUND</b>			
27000025 4621	V3 CONSULTANTS	TOPOGRAPHIC SURVEY	\$27,000.00
<b>TOTAL PRAIRIE STONE CAPITAL FUND</b>			<b>\$27,000.00</b>
 <b>ROAD IMPROVEMENT FUND</b>			
29000025 4606	CIVILTECH ENGINEERING, INC.	PROFESSIONAL SERVICES	\$15,969.83
29000025 4606	CIVILTECH ENGINEERING, INC.	PROFESSIONAL SERVICES	\$23,024.49
<b>TOTAL ROAD IMPROVEMENT FUND</b>			<b>\$38,994.32</b>

# VILLAGE OF HOFFMAN ESTATES

May 6, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
<b>CAPITAL IMPROVEMENTS FUND</b>			
36000025 4615	CIVILTECH ENGINEERING, INC.	PROFESSIONAL SERVICES	\$5,256.85
36000025 4615	TRANSYSTEMS CORP.	PROFESSIONAL SERVICES	\$3,808.36
<b>TOTAL CAPITAL IMPROVEMENTS FUND</b>			<b>\$9,065.21</b>
<b>WATERWORKS &amp; SEWERAGE FUND</b>			
40 0411	2014-3 IH BORROWER LP	UB REFUND	\$14.24
40 0411	ADAM & JILLIAN HOFFMAN	UB REFUND	\$116.39
40 0411	AJAY & NISHA PATEL	UB REFUND	\$6.06
40 0411	ANGELA HEMPLE-CARLIS	UB REFUND	\$42.85
40 0411	ARLENE WARD	UB REFUND	\$20.32
40 0411	DAVID TAHARA	UB REFUND	\$40.91
40 0411	EDWINA EDWARDS	UB REFUND	\$25.80
40 0411	FISCHER FAMILY INVESTMENTS LLC	UB REFUND	\$8.35
40 0411	HASAN DAMAR	UB REFUND	\$25.23
40 0411	HIROYUKI SAKATA	UB REFUND	\$13.25
40 0411	JLA ASSOCIATES	UB REFUND	\$24.96
40 0411	JOHN HATHWAY	UB REFUND	\$83.90
40 0411	JOSEPH & JEANETTE BARGIEL	UB REFUND	\$18.17
40 0411	JUAN CAJIGAS & MAGDELENA CAJIGAS	UB REFUND	\$86.18
40 0411	KAMLESH & MONALI THAKKAR	UB REFUND	\$177.34
40 0411	M/I HOMES OF CHICAGO LLC	UB REFUND	\$12.96
40 0411	MATINA KALOPISIS	UB REFUND	\$26.82
40 0411	MOHAMMAD BAHRAMIRAD	UB REFUND	\$217.61
40 0411	PATRICIA & EDWARD COLE JR	UB REFUND	\$117.38
40 0411	PRATIBHA DESAI	UB REFUND	\$285.70
40 0411	RALPH CHILDS	UB REFUND	\$171.06
40 0411	REBECCA & BENJAMIN MAUCH	UB REFUND	\$148.35
40 0411	SHIZEMI SEKINE	UB REFUND	\$77.27
40 0411	TONYA ALLISTON & MICHAEL JEWELL	UB REFUND	\$31.11
40 0411	UTSAV DESAI & NEHA N CHAVDA	UB REFUND	\$50.07
<b>WATER MISCELLANEOUS PAYMENT</b>			<b>\$1,842.28</b>
40400013 3425	AMBER REALTY INC	RFD OVER PYMT WATER	\$208.50
40400013 3425	FORESTVIEW PLAZA II PARTNERSHIP	RFD OVER PYMT WATER	\$83.18
<b>WATER REFUND</b>			<b>\$291.68</b>



# VILLAGE OF HOFFMAN ESTATES

May 6, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
40406722 4301	MIKE CONNOLLY	REIM FOR BACK FLOW	\$85.00
40406722 4303	IL ENVIRONMENTAL PROT AGENCY	CERTIFICATIONS	\$10.00
40406722 4303	IL ENVIRONMENTAL PROT AGENCY	CERTIFICATIONS/SCHWICHTEN	\$10.00
40406723 4408	BATTERIES PLUS	RTN REPAIR PARTS	(\$22.69)
40406723 4408	USA BLUE BOOK	VARIOUS SUPPLIES	\$99.95
40406723 4414	MENARDS - HNVR PARK	MULCH	\$4.00
40406723 4414	MENARDS - HNVR PARK	REPAIR PARTS	\$46.40
40406723 4414	OFFICE DEPOT	OFFICE SUPPLIES	\$18.28
40406723 4414	TEST GAUGE INC	REPAIRS TO WATER LEAK	\$7,199.44
40406723 4420	BATTERIES PLUS	REPAIR PARTS	\$46.08
40406724 4501	AT & T	LANDLINES	\$109.37
40406724 4503	NICOR GAS	GAS 1775 ABBEYWOOD	\$77.16
40406724 4503	NICOR GAS	GAS 95 ASTER LN	\$880.56
40406724 4507	SOUND INC.	BRIVO HOSTING FEES	\$1,299.28
40406724 4507	VERIZON NETWORKFLEET	WIRELESS SERVICES	\$878.84
40406724 4509	XEROX CORP.	COPIER SERVICES	\$144.96
40406724 4510	O'REILLY AUTO PARTS	TANK HEATER	\$87.81
40406724 4528	HYDRAFLO INC.	REPAIR PARTS	\$309.30
40406724 4528	USA BLUE BOOK	FURE HYDRANT METER	\$196.50
40406724 4529	BEVERLY MATERIALS, L.L.C.	CLEAN CONCRETE	\$35.00
40406724 4529	BEVERLY MATERIALS, L.L.C.	CLEAN FILL	\$50.00
40406724 4529	MUNICIPAL MARKING DISTRIBUTORS	MARKING MATERIALS	\$45.11
40406724 4529	OZINGA READY MIX, CONCRETE INC	READY MIX	\$496.75
40406724 4529	OZINGA READY MIX, CONCRETE INC	SEWER REPAIR MATERIALS	\$236.00
40406724 4529	UNDERGROUND PIPE & VALVE CO	REPAIR PARTS	\$259.00
40406724 4529	USA BLUE BOOK	WATERING PUMP	\$409.00
40406724 4529	WATER PRODUCTS CO.	VARIOUS SUPPLIES	\$385.00
40406724 4529	ZIEBELL WATER SERVICE	REPAIR PARTS	\$3,708.90
40406724 4531	ACTIVE ELECTRICAL SUPPLY CO. INC	REPAIR PARTS	\$96.17
40406724 4545	FULLIFE SAFETY CENTER	SAFETY WEAR	\$132.35
40406724 4545	MENARDS - HNVR PARK	VARIOUS SUPPLIES	\$73.08
40406724 4585	ADVANCE AUTO PARTS	REPAIR PARTS	\$112.47
40406724 4585	AMAZON CAPITAL SERVICES INC	VARIOUS SUPPLIES	\$117.13
40406724 4585	BOB ROHRMAN'S SCHAUMBURG FORD	RTN REPAIR PARTS	(\$153.90)
40406724 4585	FIRESTONE TRUCK & SERVICE CENTER	VEHICLE ALIGNMENT	\$100.00
<b>WATER DIVISION</b>			<b>\$17,582.30</b>

# VILLAGE OF HOFFMAN ESTATES

May 6, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
40406823 4408	MENARDS - HNVR PARK	VARIOUS SUPPLIES	\$29.76
40406824 4502	CONSTELLATION NEW ENERGY INC	ELECTRIC 5400 W GOLF	\$1,829.56
40406824 4510	GRAINGER INC	REPAIR PARTS	\$56.90
40406824 4510	MENARDS - HNVR PARK	BATTERIES	\$61.46
40406824 4510	SEWER EQUIPMENT CO OF AMERICA	VARIOUS SUPPLIES	\$443.97
40406824 4525	BENCHMARK SALES & SERVICE INC.	EMERGENCY PUMP REPAIR	\$7,900.00
40406824 4525	GRAINGER INC	RTN REPAIR PARTS	(\$5.64)
40406824 4525	GRAINGER INC	RTN SUPPLIES	(\$37.83)
40406824 4525	MENARDS - HNVR PARK	DEHUMIDIFIER	\$179.99
40406824 4525	PREMIER SPECIALTIES	REPAIRS	\$620.00
40406824 4525	PREMIER SPECIALTIES	REPAIRS TO VALVE	\$950.00
40406824 4530	BEVERLY MATERIALS, L.L.C.	BROKEN ASPHALT	\$35.00
40406824 4530	BEVERLY MATERIALS, L.L.C.	CLEAN FILL	\$50.00
40406824 4530	MUNICIPAL MARKING DISTRIBUTORS	MARKING MATERIALS	\$45.10
40406824 4530	OZINGA READY MIX, CONCRETE INC	READY MIX	\$496.75
40406824 4530	OZINGA READY MIX, CONCRETE INC	SEWER REPAIR MATERIALS	\$236.00
<b>SEWER DIVISION</b>			<b>\$12,891.02</b>

40407024 4542	FIRST BILLING SERVICES LLC	BILLING SERVICES	\$2,420.86
40407024 4542	SEBIS DIRECT, INC	BILLING SERVICES	\$1,580.08
<b>BILLING DIVISION</b>			<b>\$4,000.94</b>

40407324 4527	DIXON ENGINEERING, INC.	ENGINEERING SERVICES FOR	\$4,350.00
40407325 4609	ENGINEERING SYSTEMS INC	TO PROVIDE ENGINEERING SERVICE	\$8,002.92
40407424 4529	WATER RESOURCES INC	PERFORM WATER DISTRIBUTIO	\$25,900.00
40407425 4604	B P & T CO	PER THE CONTRACT AND THE	\$29,321.00
40407523 4420	WATER RESOURCES INC	WATER METERS AND VARIOUS	\$15,648.75
40407525 4608	BAXTER & WOODMAN, INC.	ENGINEERING SERVICES FOR	\$7,524.74
40407525 4608	ENGINEERING ENTERPRISES INC	PROVIDE ENGINEERING SERVICE	\$1,298.10
			<b>\$92,045.51</b>

**TOTAL WATERWORKS AND SEWERAGE FUND** **\$128,653.73**

## INSURANCE FUND

46 1101	MARK PETROVICH	REIM FROM SICK INCENTIVE	\$137.61
46700024 4552	B & A PLUMBING, INC.	SERVICE CALL LEAK	\$1,335.89
46700024 4552	MESIROW INSURANCE SERVICES	LIQUOR LIABILITY INSURANCE	\$1,700.00
<b>TOTAL INSURANCE FUND</b>			<b>\$3,173.50</b>

# VILLAGE OF HOFFMAN ESTATES

May 6, 2019

ACCOUNT	VENDOR	DESCRIPTION	AMOUNT
<b>INFORMATION SERVICES</b>			
47001222 4301	SUPERION LLC	FINANCEPLUS BENEFITS, DED	\$1,120.00
47001223 4402	OFFICE DEPOT	OFFICE SUPPLIES	\$3.47
47001223 4402	OFFICE DEPOT	REPAIR PARTS	\$65.76
47001223 4406	SOUTHERN COMPUTER WAREHOUSE	HEW-CE740A	\$136.62
47001223 4406	SOUTHERN COMPUTER WAREHOUSE	HEW-CE742A	\$240.66
47001223 4406	SOUTHERN COMPUTER WAREHOUSE	HEW-CE743A	\$240.66
47001223 4406	SOUTHERN COMPUTER WAREHOUSE	PCI-CF214X-PCI	\$75.45
<b>ADMINISTRATIVE</b>			<b>\$1,882.62</b>
47008524 4507	SUPERION LLC	PLUS - COMMUNITY DEV CUST	\$8,046.35
47008524 4507	SUPERION LLC	PLUS - FINANCE CUSTOM MOD	\$587.90
47008524 4510	BARRACUDA NETWORKS	BARRACUDA WEB SECURITY GA	\$3,461.70
47008524 4542	INFORMATION RESOURCE SYSTEMS	NETWORK REVIEW	\$750.00
47008524 4542	SUPERION LLC	PROJECT MANAGEMENT	\$320.00
47008524 4542	WALSH MEDIA	MESSAGE ON HOLD 1	\$450.00
47008524 4542	WALSH MEDIA	MOH DUPLICATES	\$500.00
47008525 4619	CDW-GOVERNMENT INC	MS EA OFF PRO PLUS LIC/SA	\$12,313.50
47008525 4619	CDW-GOVERNMENT INC	MS EA WIN ENT UPG/SA PLTF	\$4,005.60
47008525 4619	SUPERION LLC	COGNOS MIGRATION FROM 10.	\$1,800.00
<b>OPERATIONS</b>			<b>\$32,235.05</b>
<b>TOTAL INFORMATION SYSTEMS FUND</b>			<b>\$34,117.67</b>
<b>BARRINGTON-HIGGINS TIF FUND</b>			
63000024 4542	THE W-T GROUP, LLC	PROFESSIONAL SERVICES	\$971.00
<b>TOTAL BARRINGTON-HIGGINS TIF FUND</b>			<b>\$971.00</b>
<b>BILL LIST TOTAL</b>			<b>\$551,870.89</b>

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 ACCOUNTING PERIOD: 5/19

FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
0102	113127 V	03/19/19	19527	AMBER WARE	01000014	RFD OVER PYMT CITATION	0.00	-111.00
0102	113485	04/12/19	19229	JEWEL FOOD STORES	01301223	WATER	0.00	25.56
0102	113486	04/12/19	14550	CALL ONE	01404424	LANDLINES	0.00	5,581.32
0102	113486	04/12/19	14550	CALL ONE	40406724	LANDLINES	0.00	2,213.50
0102	113486	04/12/19	14550	CALL ONE	40406824	LANDLINES	0.00	46.78
0102	113486	04/12/19	14550	CALL ONE	01303324	LANDLINES	0.00	46.14
0102	113486	04/12/19	14550	CALL ONE	01556524	LANDLINES	0.00	43.58
TOTAL CHECK							0.00	7,931.32
0102	113487	04/16/19	2226	PETTY CASH	01404122	PETTY CASH	0.00	30.00
0102	113487	04/16/19	2226	PETTY CASH	01404322	PETTY CASH	0.00	46.75
0102	113487	04/16/19	2226	PETTY CASH	40406722	PETTY CASH	0.00	25.00
0102	113487	04/16/19	2226	PETTY CASH	40406724	PETTY CASH	0.00	7.99
TOTAL CHECK							0.00	109.74
0102	113488	04/16/19	4496	VERIZON WIRELESS	01101124	WIRELESS SERVICES	0.00	1,148.61
0102	113488	04/16/19	4496	VERIZON WIRELESS	01101224	WIRELESS SERVICES	0.00	159.73
0102	113488	04/16/19	4496	VERIZON WIRELESS	01101324	WIRELESS SERVICES	0.00	129.75
0102	113488	04/16/19	4496	VERIZON WIRELESS	01101424	WIRELESS SERVICES	0.00	175.53
0102	113488	04/16/19	4496	VERIZON WIRELESS	01101524	WIRELESS SERVICES	0.00	64.87
0102	113488	04/16/19	4496	VERIZON WIRELESS	01101624	WIRELESS SERVICES	0.00	129.75
0102	113488	04/16/19	4496	VERIZON WIRELESS	01102524	WIRELESS SERVICES	0.00	134.96
0102	113488	04/16/19	4496	VERIZON WIRELESS	01106224	WIRELESS SERVICES	0.00	64.87
0102	113488	04/16/19	4496	VERIZON WIRELESS	01107124	WIRELESS SERVICES	0.00	64.87
0102	113488	04/16/19	4496	VERIZON WIRELESS	01201224	WIRELESS SERVICES	0.00	732.31
0102	113488	04/16/19	4496	VERIZON WIRELESS	01301224	WIRELESS SERVICES	0.00	342.82
0102	113488	04/16/19	4496	VERIZON WIRELESS	01303124	WIRELESS SERVICES	0.00	194.62
0102	113488	04/16/19	4496	VERIZON WIRELESS	01303124	WIRELESS SERVICES	0.00	64.87
0102	113488	04/16/19	4496	VERIZON WIRELESS	01303224	WIRELESS SERVICES	0.00	815.74
0102	113488	04/16/19	4496	VERIZON WIRELESS	01303225	WIRELESS SERVICES	0.00	41.52
0102	113488	04/16/19	4496	VERIZON WIRELESS	01303324	WIRELESS SERVICES	0.00	64.87
0102	113488	04/16/19	4496	VERIZON WIRELESS	01401224	WIRELESS SERVICES	0.00	112.31
0102	113488	04/16/19	4496	VERIZON WIRELESS	01404124	WIRELESS SERVICES	0.00	68.60
0102	113488	04/16/19	4496	VERIZON WIRELESS	01404224	WIRELESS SERVICES	0.00	59.96
0102	113488	04/16/19	4496	VERIZON WIRELESS	01404324	WIRELESS SERVICES	0.00	342.53
0102	113488	04/16/19	4496	VERIZON WIRELESS	01404424	WIRELESS SERVICES	0.00	376.91
0102	113488	04/16/19	4496	VERIZON WIRELESS	01404524	WIRELESS SERVICES	0.00	64.87
0102	113488	04/16/19	4496	VERIZON WIRELESS	01404724	WIRELESS SERVICES	0.00	41.52
0102	113488	04/16/19	4496	VERIZON WIRELESS	01404824	WIRELESS SERVICES	0.00	210.17
0102	113488	04/16/19	4496	VERIZON WIRELESS	01501224	WIRELESS SERVICES	0.00	141.28
0102	113488	04/16/19	4496	VERIZON WIRELESS	01505024	WIRELESS SERVICES	0.00	64.87
0102	113488	04/16/19	4496	VERIZON WIRELESS	01505124	WIRELESS SERVICES	0.00	746.17
0102	113488	04/16/19	4496	VERIZON WIRELESS	01505224	WIRELESS SERVICES	0.00	584.73
0102	113488	04/16/19	4496	VERIZON WIRELESS	01505924	WIRELESS SERVICES	0.00	171.27
0102	113488	04/16/19	4496	VERIZON WIRELESS	01556524	WIRELESS SERVICES	0.00	129.75
0102	113488	04/16/19	4496	VERIZON WIRELESS	40406724	WIRELESS SERVICES	0.00	1,587.98
0102	113488	04/16/19	4496	VERIZON WIRELESS	47008524	WIRELESS SERVICES	0.00	87.65
0102	113488	04/16/19	4496	VERIZON WIRELESS	47001224	WIRELESS SERVICES	0.00	2,894.24
TOTAL CHECK							0.00	12,014.50

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 ACCOUNTING PERIOD: 5/19

FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
0102	113489	04/16/19	19578	WEX BANK	01101122	FUEL MAYORS OFFICE	0.00	17.66
0102	113490	04/16/19	8096	DELL COMPUTERS	47001224	DELL LATITUDE 5490	0.00	2,681.58
0102	113490	04/16/19	8096	DELL COMPUTERS	47001224	DELL BUSINESS DOCK - W	0.00	162.79
TOTAL CHECK							0.00	2,844.37
0102	113491	04/16/19	14330	SOUTHERN COMPUTER WAREHO	47001224	HP DESIGNJET T830 INKJ	0.00	5,230.55
0102	113491	04/16/19	14330	SOUTHERN COMPUTER WAREHO	47001224	HP CARE PACK - 5 YEAR	0.00	0.00
TOTAL CHECK							0.00	5,230.55
0102	113492	04/16/19	19424	MARLIN BUSINESS BANK	01201224	COPIER LEASING	0.00	344.00
0102	113492	04/16/19	19424	MARLIN BUSINESS BANK	01202324	COPIER LEASING	0.00	172.00
0102	113492	04/16/19	19424	MARLIN BUSINESS BANK	01202824	COPIER LEASING	0.00	172.00
0102	113492	04/16/19	19424	MARLIN BUSINESS BANK	01303124	COPIER LEASING	0.00	186.00
TOTAL CHECK							0.00	874.00
0102	113493	04/17/19	2226	PETTY CASH	01101123	PETTY CASH REIM	0.00	10.00
0102	113493	04/17/19	2226	PETTY CASH	01101222	PETTY CASH REIM	0.00	13.86
0102	113493	04/17/19	2226	PETTY CASH	01101322	PETTY CASH REIM	0.00	279.12
0102	113493	04/17/19	2226	PETTY CASH	01101522	PETTY CASH REIM	0.00	40.04
0102	113493	04/17/19	2226	PETTY CASH	01505222	PETTY CASH REIM	0.00	30.00
0102	113493	04/17/19	2226	PETTY CASH	01101323	PETTY CASH REIM	0.00	12.98
0102	113493	04/17/19	2226	PETTY CASH	01505222	PETTY CASH REIM	0.00	18.70
0102	113493	04/17/19	2226	PETTY CASH	01556522	PETTY CASH REIM	0.00	35.38
TOTAL CHECK							0.00	440.08
0102	113494	04/19/19	2648	JAMES NORRIS	01101222	PER DIEM REIM & TRANS	0.00	334.28
0102	113495	04/19/19	19370	ALTA ENTERPRISES LLC	01404124	RENTAL	0.00	60.45
0102	113495	04/19/19	19370	ALTA ENTERPRISES LLC	01404124	RENTAL	0.00	45.50
TOTAL CHECK							0.00	105.95
0102	113496	04/19/19	19580	JACK DRAKE	01202122	REIM FOR PARKING	0.00	82.00
0102	113497	04/22/19	19424	MARLIN BUSINESS BANK	37000025	COPIER LEASINGG	0.00	1,261.00
0102	113498	04/22/19	12346	SPRINT	40406724	WIRELESS SERVICES	0.00	43.24
0102	113499	04/23/19	10530	CHORAL-AIRES CHORUS	01101123	PERFORMANCE CEREMONY	0.00	200.00
0102	113500	04/24/19	19029	DOUG LASOTA	01	C-PAL	0.00	1,121.64
0102	113501	04/24/19	5060	MEADE ELECTRIC CO., INC.	03400024	REPAIRS	0.00	469.95
0102	113502	04/24/19	19584	RYAN WIZNEROWICZ	40400013	RFD OVER PYMT WATER	0.00	50.84
0102	113534	04/30/19	1123	KAREN MILLS	01101222	MEAL REIM FOR ACEC	0.00	60.00
0102	113535	04/30/19	2226	PETTY CASH	09000016	REFUSE STICKERS RFD	0.00	194.24
0102	113537	04/30/19	2439	WILLIAM MCLEOD	01101222	ACEC AWARDS REIM	0.00	60.00

SUPERION  
DATE: 05/02/2019  
TIME: 14:02:47

VILLAGE OF HOFFMAN ESTATES  
CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 3  
ACCTPA21

SELECTION CRITERIA: transact.t\_c='20' and transact.trans\_date between '20190412 00:00:00.000' and '20190502 00:00:00.000'  
ACCOUNTING PERIOD: 5/19

FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
0102	113538	04/30/19	3756	JILL WOOD/NAATZ	01605824	REIM FOR SISTER CITIE	0.00	601.97
TOTAL CASH ACCOUNT							0.00	33,961.89
TOTAL FUND							0.00	33,961.89
TOTAL REPORT							0.00	33,961.89

VILLAGE OF HOFFMAN ESTATES  
 Monthly Credit Card Activity

From: 03/06/2019

To: 4/5/2019

Account Name	Merchant Name	Transaction Date	Accounting Code	Accounting Code	Transaction Amount	Expense Description
ANTHONY FASHODA	GOVERNMENT FINANCE OFF	03/20/2019	01101424	4542	\$550.00	GFOA 19 BUDGET APPLC FEE
BEN GIBBS	AGENT FEE 89007644418910	03/23/2019	01	1445	\$30.00	SCA-TRAVEL FEE
BEN GIBBS	AMERICAN 00173428815055	03/23/2019	01	1445	\$706.28	SCA-FLIGHT
BEN GIBBS	AMZN MKTP US*MW1Q59E51	03/19/2019	01	1445	\$59.50	SCA-SUPPLIES
BEN GIBBS	AMZN MKTP US*MW2RF1HG1	03/28/2019	01	1445	\$23.75	SCA-SUPPLIES
BEN GIBBS	AMZN MKTP US*MW30E5600	04/03/2019	01	1445	\$130.05	SCA-SUPPLIES
BEN GIBBS	AMZN MKTP US*MW3U26EZ1	03/18/2019	01	1445	\$251.96	SCA-SUPPLIES
BEN GIBBS	AMZN MKTP US*MW51Y5452	03/19/2019	01	1445	\$45.26	SCA-SUPPLIES
BEN GIBBS	AMZN MKTP US*MW6C910P0	03/21/2019	01	1445	\$64.99	SCA-SUPPLIES
BEN GIBBS	AMZN MKTP US*MW6X290M2	03/26/2019	01	1445	\$353.40	SCA-SUPPLIES
BEN GIBBS	AMZN MKTP US*MW8IH43J1	03/14/2019	01	1445	\$528.00	SCA-SUPPLIES
BEN GIBBS	AMZN MKTP US*MW9AB2H01	03/28/2019	01	1445	\$162.94	SCA-SUPPLIES
BEN GIBBS	AMZN MKTP US*MW9TK35T2	03/31/2019	01	1445	\$28.90	SCA-SUPPLIES
BEN GIBBS	EIG*CONSTANTCONTACT.C	03/16/2019	01	1445	\$69.06	SCA-SUBSCRIPTION
BEN GIBBS	ENTERPRISE RENT-A-CAR	03/28/2019	01	1445	\$432.26	SCA-RENTAL
BEN GIBBS	ETSY.COM	03/20/2019	01	1445	\$94.00	SCA-SUPPLIES
BEN GIBBS	GRAFE AUCTION CO	03/21/2019	01	1445	\$234.17	SCA-ONLINE AUCTION
BEN GIBBS	JIMMY JOHNS - 650 - EC	03/28/2019	01	1445	\$120.10	SCA-LUNCH MEETING
BEN GIBBS	LOGMEIN*GOTOMYPC.COM	03/20/2019	01	1445	-\$199.35	SCA-SUBSCRIPTION CREDIT
BEN GIBBS	LOGMEIN*PRO2	03/20/2019	01	1445	\$1,154.99	SCA-SUBSCRIPTION
BEN GIBBS	LOGMEIN*PRO2	03/20/2019	01	1445	-\$55.00	SCA-SUBSCRIPTION CREDIT
BEN GIBBS	MAPLINE MEMBERSHIP	03/07/2019	01	1445	\$71.00	SCA-MEMBERSHIP
BEN GIBBS	ROOKIES BAR AND GRILL	03/22/2019	01	1445	\$49.01	SCA-LUNCH MEETING
BEN GIBBS	SPEEDWAY 07576 119	03/28/2019	01	1445	\$57.59	SCA-FUEL
BEN GIBBS	SQ *SQ *CHRIS KNIGHT C	03/10/2019	01	1445	\$800.00	SCA-MUSICIAN
BEN GIBBS	THE HOME DEPOT 1912	03/24/2019	01	1445	\$383.32	SCA-LUNCH MEETING
BEN GIBBS	THE WEBSTAUANT STORE	03/19/2019	01	1445	\$540.64	SCA-SUPPLIES
BEN GIBBS	WIX*WIX.COM, INC.	03/31/2019	01	1445	\$14.95	SCA-SUBSCRIPTION
BEN GIBBS	WIX.COM*402703121	03/06/2019	01	1445	\$4.99	SCA-SUBSCRIPTION
BEN GIBBS	WIX.COM*403308551	03/07/2019	01	1445	\$36.00	SCA-SUBSCRIPTION
BOB MARKKO	PITT AUTO ELECTRIC CO	03/12/2019	01	0302	\$43.92	MIT KA40059AA AIR FILTERS
BOB MARKKO	SP * ANTEA USA, INC.	03/18/2019	01404522	4301	\$150.00	UNDERGRND STOR TANK TRAINING
DAN OMALLEY	NIU ALUMNI ASSOC TRAVE	03/15/2019	01101222	4301	\$25.00	INTERN SUPERVISOR MTG
DEBRA SCHOOP	AMERICAN 00123407543276	03/04/2019	01505922	4301	\$587.60	ICSC FLIGHT-O'MALLEY
DEBRA SCHOOP	AMERICAN 00123407543280	03/04/2019	01505922	4301	\$587.60	ICSC FLIGHT-MCLEOD
DEBRA SCHOOP	AMERICAN 00123407669582	03/04/2019	01505922	4301	\$587.60	ICSC FLIGHT-NORRIS
DEBRA SCHOOP	CHICAGO TRIB SUBSCRIPT	04/01/2019	01101223	4404	\$283.70	SUBSCRIPTION
DEBRA SCHOOP	HE CHAMBER	03/21/2019	01605824	4555	\$225.00	BON APPETIT REG-SISTER CITIES
DEBRA SCHOOP	HE CHAMBER	03/29/2019	01605824	4555	\$50.00	BON APPETIT REG-SISTER CITIES
DEBRA SCHOOP	IICLE	03/13/2019	01101322	4303	\$325.00	ANN SUBSCRIPTION
DEBRA SCHOOP	ONYX ELECTRONICS	04/03/2019	01101323	4416	\$6.00	QUIT CLAIM DEED-LASOTA
DEBRA SCHOOP	SPIRIT AI 48702001384470	03/04/2019	01505922	4301	\$331.58	ICSC FLIGHT-STANTON
DR AUDRA MARKS	AMZN MKTP US*MW9FK83Q0	03/17/2019	01556523	4403	\$23.48	MEDICARE INS CLAIM FORMS
DR AUDRA MARKS	DAILYENDORP	03/25/2019	01556524	4564	\$608.00	EMPLOYEE WELLNESS CHALLENGE

VILLAGE OF HOFFMAN ESTATES  
 Monthly Credit Card Activity

From: 03/06/2019

To: 4/5/2019

Account Name	Merchant Name	Transaction Date	Accounting Code	Accounting Code	Transaction Amount	Expense Description
DR AUDRA MARKS	HOFFMAN ESTATES GARIBA	03/12/2019	01556522	4301	\$62.00	RANKING MEETING LUNCH
DR AUDRA MARKS	MARIANOS #506	03/06/2019	01605824	4560	\$40.65	SUPPLIES-AWARENESS MONTH
DR AUDRA MARKS	PAPA JOHN'S #3338	03/05/2019	01556524	4556	\$43.22	TEEN CENTER
DR AUDRA MARKS	PAPA JOHN'S #3338	03/12/2019	01556524	4556	\$35.23	TEEN CENTER
DR AUDRA MARKS	PAPA JOHN'S #3338	03/19/2019	01556524	4556	\$46.22	TEEN CENTER
DR AUDRA MARKS	PAPA JOHN'S #3338	04/02/2019	01556524	4556	\$44.22	TEEN CENTER
DR AUDRA MARKS	RED ROOF PLUS HOFFMAN	03/21/2019	01	1408	\$58.13	HOMELESS HE RESIDENT
FRED BESENHOFFER	AMAZON PRIME	03/24/2019	47001222	4303	\$12.99	PRIME MEMBERSHIP
FRED BESENHOFFER	AMZN MKTP US*MW9NF5580	03/28/2019	47008524	4510	\$267.46	UPS BATTERY
FRED BESENHOFFER	COMCAST CHICAGO	03/08/2019	47008524	4542	\$161.85	INTERNET SERVICE
FRED BESENHOFFER	COMCAST CHICAGO	03/09/2019	47008524	4542	\$143.89	INTERNET SERVICE
FRED BESENHOFFER	COMCAST CHICAGO	03/23/2019	47008524	4542	\$82.95	INTERNET SERVICE
FRED BESENHOFFER	COMCAST CHICAGO	03/29/2019	47008524	4542	\$79.90	INTERNET SERVICE
FRED BESENHOFFER	D & S COMMUNICATIONS I	03/18/2019	47008525	4602	-\$1.36	CHARGE CREDIT
FRED BESENHOFFER	DLS INTERNET SERVICES	03/23/2019	47008524	4542	\$350.00	INTERNET SERVICE
FRED BESENHOFFER	GMIS	04/02/2019	47001222	4303	\$200.00	MEMBERSHIP DUES
FRED BESENHOFFER	MESSAGEOPS.COM	03/24/2019	47008524	4542	\$19.95	EMAIL MGT SOFTWARE SUBSCRIP
JAMES H NORRIS	BANK OF SPRINGFIELD CE	03/21/2019	01101222	4301	\$14.00	NWMC LEGIS DAYS PARKING
JAMES H NORRIS	DOUBLETREE AB LINCOLN	03/21/2019	01101222	4301	\$360.02	NWMC LEGIS DAYS HOTEL
JENNIFER DJORDJEVIC	AMERICAN 00123448965802	03/25/2019	01101122	4301	\$358.60	ACEC AWARDS-MCLEOD
JENNIFER DJORDJEVIC	AMERICAN 00123448965813	03/25/2019	01101122	4301	\$358.60	ACEC AWARDS-MILLS
JENNIFER DJORDJEVIC	BUONA HOFFMAN #6	04/01/2019	01101123	4414	\$15.99	TRUSTEE DINNER
JENNIFER DJORDJEVIC	HOFFMAN ESTATES GARIBA	04/01/2019	01101123	4414	\$135.19	TRUSTEE DINNER
JENNIFER DJORDJEVIC	JEWEL-OSCO	03/25/2019	01101122	4301	\$62.03	TRUSTEE OFFICES
JENNIFER DJORDJEVIC	POPLAR CREEK BOWL	03/18/2019	01101123	4414	\$133.73	TRUSTEE DINNER
JENNIFER DJORDJEVIC	THE ASSEMBLY AMERICAN	03/18/2019	01101123	4414	\$25.83	MAYOR FOR A DAY
JENNIFER DJORDJEVIC	US CONF OF MAYORS	03/11/2019	01101122	4301	\$950.00	CONFERENCE
JENNIFER DJORDJEVIC	VOLGISTICS INC	03/29/2019	01101123	4404	\$48.00	VOLUNTEER DATABASE SUBSCRIP
JOHN JANICKI	ADOBE *CREATIVE CLOUD	03/20/2019	01	1445	\$599.88	SCA-WEBSITE BULDER
JOHN JANICKI	DLX FOR BUSINESS	03/30/2019	01	1445	\$393.65	SCA-PAYMENT MGT
JOHN JANICKI	FACEBK *Z2XQ9KSSB2	03/31/2019	01	1445	\$450.51	SCA-SUBSCRIPTION
JOHN JANICKI	GOOGLE *ADS6015163255	04/03/2019	01	1445	\$500.00	SCA-SUBSCRIPTION
JOHN JANICKI	IL TOLLWAY-AUTOREPLENI	03/27/2019	01	1445	\$40.00	SCA-TOLL REPLENISH
JOHN JANICKI	LOGMEIN*PRO2	03/20/2019	01	1445	-\$349.99	SCA-CHARGE CREDIT
JOHN JANICKI	MIDLAND HARDWARE	03/14/2019	01	1445	\$179.41	SCA-SUPPLIES
JOHN JANICKI	SEARS CENTRE ARENA	03/15/2019	01	1445	\$0.01	SCA-TEST CHARGE
JOHN JANICKI	TINT - TINTUP.COM SIGN	03/30/2019	01	1445	\$300.00	SCA-SOCIAL MEDIA MGT
JOHN JANICKI	USPS POSTAGE ENDICIA.C	03/15/2019	01	1445	\$400.00	SCA-POSTAGE
JOHN JANICKI	WOOBX	04/01/2019	01	1445	\$30.00	SCA-SUBSCRIPTION
JOSEPH NEBEL	APL*ITUNES.COM/BILL	04/03/2019	40406723	4408	\$0.99	ICLOUD STORAGE PLAN-NEBEL
JOSEPH NEBEL	COMCAST CHICAGO	03/15/2019	40406724	4501	\$106.85	BUSINESS INTERNET-XIAO
JOSEPH NEBEL	COUNTRY INN BY CARLSON	03/21/2019	40406722	4301	\$324.54	WATERCON CONFR LODGING
KATHRYN CAWLEY	AMZN MKTP US*MW8TS0BZ1	03/28/2019	001202123	4414	\$167.98	LED WHELEN LIGHT(RED/BLUE)
KATHRYN CAWLEY	BREAKERS RESORT SOUTH	03/14/2019	01202322	4301	\$84.44	VOOP INVESTIGATION TRAVEL EXP



VILLAGE OF HOFFMAN ESTATES  
Monthly Credit Card Activity

From: 03/06/2019

To: 4/5/2019

Account Name	Merchant Name	Transaction Date	Accounting Code	Accounting Code	Transaction Amount	Expense Description
KATHRYN CAWLEY	BREAKERS RESORT SOUTH	03/14/2019	01	1445	\$100.00	CHARGE TO BE REVERSED
KATHRYN CAWLEY	BREAKERS RESORT SOUTH	03/15/2019	01	1445	-\$100.00	CHARGE REVERSAL
KATHRYN CAWLEY	EUROOPTIC LTD	03/09/2019	01202323	4414	\$269.99	LEUPOLD 10X42 MM BINOCULARS
KATHRYN CAWLEY	HERTZ RENT-A-CAR	03/15/2019	01202322	4301	\$61.20	VOOP INVESTIGATION TRAVEL EXP
KATHRYN CAWLEY	HOFFMAN ESTATES GARIBA	03/27/2019	01202423	4414	\$43.31	EXPLORER DINNER
KATHRYN CAWLEY	HOLIDAY INN EXP MORTON	03/22/2019	01202322	4301	\$230.72	OPIOD EPIDEMIC CONFERENCE
KELLY KERR	AMZN MKTP US*MI0E07Y81	03/07/2019	40406724	4531	\$18.98	OIL LEVEL SIGHT GAUGES
KELLY KERR	AMZN MKTP US*MI0JZ39U0	03/05/2019	40406724	4531	\$114.95	FAN MOTOR 480 VOLTS
KELLY KERR	AMZN MKTP US*MI27M6S02	03/08/2019	01401223	4414	\$62.76	IPHONE CASE/OPTICAL MOUSE
KELLY KERR	AMZN MKTP US*MI2I27IT0	03/07/2019	40406723	4408	\$25.97	FIELD STAPLERS
KELLY KERR	AMZN MKTP US*MI6OI2SC2	03/08/2019	40406724	4526	\$103.93	NEODYMIUM MAGNETS
KELLY KERR	AMZN MKTP US*MI70K8WS1	03/06/2019	40406724	4526	\$34.99	NEODYMIUM MAGNETS
KELLY KERR	AMZN MKTP US*MW23T0TJ2	03/24/2019	40406724	4510	\$99.52	SPOT LITE/IPAD MOUNT/FILE HLDR
KELLY KERR	AMZN MKTP US*MW2J49TJ2	03/25/2019	40406823	4408	\$8.79	AUTOMEG INSULATION TESTER
KELLY KERR	AMZN MKTP US*MW4LP2NM1	03/13/2019	40406723	4414	\$11.49	6 FOOT USB TO FIREWIRE
KELLY KERR	APL*ITUNES.COM/BILL	04/02/2019	40406823	4408	\$0.99	ICODU STORAGE PLAN
KELLY KERR	DELTA LIGHTNING ARREST	03/29/2019	40406724	4526	\$120.44	LIGHTING ARRESTORS
KELLY KERR	GREEN SOIL	03/29/2019	014041223	4402	\$51.00	SOIL MATERIAL
KELLY KERR	ILLINOIS AWWA	04/01/2019	40406722	4301	\$110.00	WTR SUMMIT ATTENDENCE
KELLY KERR	ILLINOIS AWWA	04/03/2019	40406722	4301	\$230.00	WTR DIST CONFERENCE
KELLY KERR	ULINE *SHIP SUPPLIES	03/08/2019	01404324	4537	\$412.12	PLASTIC TREE TRUNK TAGS
KEVIN D KRAMER	51801 - CUMBERLAND GAR	03/25/2019	01505922	4301	\$6.00	PARKING CMAP EDC MTG
KEVIN D KRAMER	EB FOREIGN DIRECT INV	03/20/2019	01505922	4301	\$30.00	FOREIGN DIRECT INVEST WORKSP
KEVIN D KRAMER	GIGIS PLAYHOUSE CHICAG	03/20/2019	01505922	4301	\$2.80	BREAKFAST MTG
KEVIN D KRAMER	HYATT REGENCY O'HARE	03/14/2019	01505922	4301	\$15.00	PARKING-RETAIL RE FORUM
KEVIN D KRAMER	ICSC	03/07/2019	01505922	4301	\$60.00	REG CHIC NXT GEN PROGRAM
KEVIN D KRAMER	ICSC	03/08/2019	01505922	4301	\$25.00	CDO-CHAIR RECPT-RECON 19
KEVIN D KRAMER	IEDC ONLINE	03/15/2019	01505922	4301	\$100.00	19 IEDC SALARY SURVEY
KEVIN D KRAMER	ILLINOIS ECONOMIC DVLP	03/15/2019	01505922	4301	\$120.00	SITE SELECTOR FORUM/RECEPT
KEVIN D KRAMER	SPOTHERO 844-356-8054	04/04/2019	01505922	4301	\$14.00	PARKING-NEXTGEN EVENT
KEVIN D KRAMER	VENTRA VENDING 05503	03/25/2019	01505922	4301	\$6.00	PARKING CMAP EDC MTG
KEVIN D KRAMER	WWW.1AND1.COM	03/21/2019	01605924	4575	\$10.00	ARTS COMM WEBSITE
MARK A KOPLIN	HYATT REGENCY O'HARE	03/14/2019	01505922	4301	\$29.00	PARKING-RETAIL RE FORUM
MONICA SAAVEDRA	HOBBY-LOBBY #520	03/29/2019	01605824	4560	\$164.54	APRIL CHILDREN'S EVENT
MONICA SAAVEDRA	HUNAN BEIJING	03/19/2019	01605824	4559	\$918.00	SENIOR COMM LUNCHEON
MONICA SAAVEDRA	INT*IN *SECOND CHANCE	03/19/2019	01556523	4413	\$206.85	AED PADS & BATTERY
MONICA SAAVEDRA	MARIANOS #506	03/22/2019	01605824	4560	\$29.97	YOUTH COMM ALICE CLASS
MONICA SAAVEDRA	MIDWEST ROI, INC.	03/26/2019	01556523	4414	\$30.57	MEDICAL RECORDS REQUEST FEE
MONICA SAAVEDRA	USPS PO 1670640195	03/20/2019	01556523	4414	\$25.85	RECS OVERNIGHTED TO ATTORNY
PATRICK FORTUNATO	AVADLLC	04/01/2019	01303124	4510.15	\$1,600.83	EOC TECHNOLOGY
PATRICK FORTUNATO	CARBONLESS FORMS PRINT	03/25/2019	01301223	4403	\$84.00	PRINTING
PATRICK J SEGER	AMERICAN 00173399190565	03/15/2019	01101622	4301	\$346.71	NPELRA AIRFARE-SEGER
PATRICK J SEGER	BUONA HOFFMAN #6	03/08/2019	01101623	4405	\$20.00	ANNV GC-KUFFER
PATRICK J SEGER	CITYTECH	03/12/2019	01101624	4507	\$390.00	PUBLIC SALARY MEMBERSHIP

VILLAGE OF HOFFMAN ESTATES  
 Monthly Credit Card Activity

From: 03/06/2019

To: 4/5/2019

Account Name	Merchant Name	Transaction Date	Accounting Code	Accounting Code	Transaction Amount	Expense Description
PATRICK J SEGER	DT *DULUTH TRADING CO	03/19/2019	01101623	4405	\$100.00	ANNV GC-GESSERT
PATRICK J SEGER	DT *DULUTH TRADING CO	03/26/2019	01101623	4405	\$100.00	ANNV GC-LEVIN
PATRICK J SEGER	EGENFEE*27114353852	03/16/2019	01101622	4301	\$5.00	NPELRA AIRFARE-SEGER
PATRICK J SEGER	J J KELLER & ASSOCIATE	03/12/2019	01101623	4403	\$448.70	EMPLOYMENT LAW POSTERS
PATRICK J SEGER	J J KELLER & ASSOCIATE	03/12/2019	01101623	4403	\$11.22	EMPLOYMENT LAW POSTERS
PATRICK J SEGER	J J KELLER & ASSOCIATE	03/13/2019	01101623	4403	-\$26.39	EMPLOYMENT LAW POSTERS-CR
PATRICK J SEGER	JEWEL-OSCO	03/08/2019	01101623	4405	\$400.00	ANNV GIFT CARDS
PATRICK J SEGER	JEWEL-OSCO	03/10/2019	01101623	4405	\$47.99	ANNV CAKE-BEYER
PATRICK J SEGER	JEWEL-OSCO	03/22/2019	01101623	4405	\$47.99	ANNV CAKE-PENROD
PATRICK J SEGER	JEWEL-OSCO	04/02/2019	01101623	4405	\$31.69	ANNV CAKE-SALERNO
PATRICK J SEGER	KYOTO JAPANESE STEAK A	03/08/2019	01101613	4405	\$225.00	AANV GIFT CARDS
PATRICK J SEGER	PANERA BREAD #204022	03/29/2019	01101623	4405	\$45.98	ANNV BAGELS-BACKSTROM
PATRICK J SEGER	PANERA BREAD #204022	04/03/2019	01101623	4405	\$30.65	ANNV BAGELS-SALERNO
PATRICK J SEGER	PANERA BREAD #608013	03/27/2019	01101623	4405	\$42.91	ANNV BAGELS-BRAUN
PATRICK J SEGER	ROOKIES BAR AND GRILL	04/02/2019	01101623	4405	\$20.00	ANNV GC-KNUTH
PAUL W PETRENKO	AMZN MKTP US*MI2V77SI2	03/08/2019	01404424	4517	\$162.02	REPLACE LAMP MODULE-PD
PAUL W PETRENKO	DMI* DELL HLTHCR/PTR	03/14/2019	01404424	4510	\$1,835.09	LAPTOP-XPS 15
PAUL W PETRENKO	ENERGY AVENUE	04/01/2019	01404424	4510	\$48.14	SACO SOCKET EXTENSIONS
PAUL W PETRENKO	JMAC SUPPLY	03/18/2019	01404424	4510	\$292.55	ELECTRIC STRIKE
PAUL W PETRENKO	JMAC SUPPLY	03/20/2019	01404424	4510	-\$26.60	CHARGE CREDIT-ELECTRIC STRIKE
PAUL W PETRENKO	JMAC SUPPLY	03/21/2019	01404424	4510	\$247.94	ELECTRIC STRIKE
PAUL W PETRENKO	LIVEROOF LLC	03/23/2019	01404424	4517	\$159.85	FERTILIZER FOR LIVE ROOF
PAUL W PETRENKO	MICROSOFT*OFFICE	04/03/2019	01404424	4510	-\$4.37	SUBSCRIPTION CHARGE CREDIT
PAUL W PETRENKO	MICROSOFT*OFFICE 365 P	04/02/2019	01404424	4510	\$74.36	SUBSCRIPTION
PAUL W PETRENKO	PAYPAL *87GNAT	04/01/2019	01404424	4518	\$74.06	ALTRONIX USED WORKING UNITS
PAUL W PETRENKO	SP * VALUE CONTROLS	03/21/2019	01404424	4518	\$17.96	AUTO LOGIC STANDARD SENSOR
PETER GUGLIOTTA	AMAZON.COM*MW7VC4M41	03/26/2019	01505023	4414	\$503.10	SHOE COVERS-RENTAL INSPECT
PETER GUGLIOTTA	AMZN MKTP US	03/18/2019	01505123	4414	-\$5.99	DUPLICATE ORDER REVERSAL
PETER GUGLIOTTA	CARBONLESS FORMS PRINT	03/21/2019	01505123	4403	\$327.00	NCR RENTAL INSPECTION FORMS
PETER GUGLIOTTA	ENVELOPES.COM	03/21/2019	001505123	4403	\$1,297.95	BLDG PERMIT ENVELOPES
PETER GUGLIOTTA	ILLINOIS ENVIRONMENTAL	03/21/2019	01505122	4301	\$95.00	IEHA CONFERENCE
PETER GUGLIOTTA	SIGN RESEARCH FOUNDATI	03/06/2019	01505022	4301	\$50.00	PLANNING SEMINAR
RACHEL E MUSIALA	ILLINOIS GOVERNMENT FI	04/01/2019	01101422	4301	\$30.00	ACCTS PAYABLE WEBINAR
RACHEL E MUSIALA	PAYFLOW/PAYPAL	03/04/2019	01101424	4542	\$5.00	ONLINE PAY PROCESSING FEE
RACHEL E MUSIALA	PAYFLOW/PAYPAL	04/02/2019	01101424	4542	\$5.00	ONLINE PAY PROCESSING FEE
RACHEL E MUSIALA	SAMSClub.COM	03/23/2019	01404424	4510	\$44.46	BATTERIES
RACHEL E MUSIALA	WCI*GROOT EAST	03/18/2019	09000024	4542	\$97,000.00	VLG REFUSE SERVICE
RACHEL E MUSIALA	WCI*GROOT EAST	03/18/2019	09000024	4542	\$96,603.94	VLG REFUSE SERVICE
RICHARD D ENGLUND	AMAZON.COM*MW3H50VY0	03/27/2019	01301223	4402	\$77.58	SHEET PROTECTORS
RICHARD D ENGLUND	AMAZON.COM*MW6X10QW0	04/01/2019	01303124	4510.12	\$337.91	CAT 5 USB PORTS
RICHARD D ENGLUND	AMZN MKTP US*MI1E85Y40	03/10/2019	01303124	4510.15	\$19.97	CHARGING CABLES
RICHARD D ENGLUND	AMZN MKTP US*MW7TM21G0	03/22/2019	01301223	4402	\$8.66	INK
RICHARD D ENGLUND	AMZN MKTP US*MW8ZB4V61	03/25/2019	01301223	4402	\$39.08	SHEET PROTECTORS
RICHARD D ENGLUND	CAB STORE HOFFMAN ESTA	03/26/2019	01303223	4419	\$47.96	STOWAWAY BOXES

VILLAGE OF HOFFMAN ESTATES  
 Monthly Credit Card Activity

From: 03/06/2019

To: 4/5/2019

Account Name	Merchant Name	Transaction Date	Accounting Code	Accounting Code	Transaction Amount	Expense Description
RICHARD D ENGLUND	HALLORAN POWER EQUIPME	03/26/2019	01303124	4510.13	\$582.07	CHAIN SAW REPAIR
RICHARD D ENGLUND	JEWEL-OSCO	03/13/2019	01301223	4414	\$35.68	SUPPLIES-MABAS CHIEFS MTG
RICHARD D ENGLUND	PANERA BREAD #600913 P	03/13/2019	01301223	4414	\$29.61	SUPPLIES-MABAS CHIEFS MTG
RYAN N BEBE	DAILY HERALD/REFLEJOS	03/04/2019	01	1445	\$77.20	FFIB-SUBSCRIPTION
RYAN N BEBE	DAILY HERALD/REFLEJOS	03/11/2019	01	1445	\$77.20	FFIB-SUBSCRIPTION
RYAN N BEBE	DAILY HERALD/REFLEJOS	03/16/2019	01	1445	-\$79.35	FFIB-SUBSCRIPTION CREDIT
RYAN N BEBE	DAILY HERALD/REFLEJOS	03/31/2019	01	1445	-\$77.63	FFIB-SUBSCRIPTION CREDIT
RYAN N BEBE	DISPLAYS2GO	03/07/2019	01	1445	\$102.14	FFIB-DISPLAY RACK
RYAN N BEBE	THE HOME DEPOT #1921	03/06/2019	01	1445	\$11.88	FFIB-SUPPLIES
THOMAS MACKIE	MES/WARREN FIRE/LAWMEN	03/13/2019	01303122	4301.14	\$100.00	MONITORING CLASS
THOMAS MACKIE	PAYPAL *METROFIRECH	03/15/2019	01301222	4301	\$150.00	ADMIN PROFESS LUNCHEON
WILLIAM D MCLEOD	BANK OF SPRINGFIELD CE	03/21/2019	01101123	4301	\$14.00	LEGISLATIVE SESSION PARKING
WILLIAM D MCLEOD	DOUBLETREE AB LINCOLN	03/21/2019	01101123	4301	\$654.50	LEGISLATIVE SESSION
WILLIAM D MCLEOD	DOUBLETREE AB LINCOLN	03/21/2019	01101123	4301	\$654.50	LEGISLATIVE SESSION
WILLIAM D MCLEOD	MARATHON PETRO12385	03/21/2019	01101123	4301	\$34.34	LEGISLATIVE SESSION-FUEL
<b>Total</b>					<b>\$227,425.57</b>	

**ORDINANCE NO. \_\_\_\_\_ - 2019**

**VILLAGE OF HOFFMAN ESTATES**

**AN ORDINANCE AUTHORIZING  
AMENDMENTS TO THE 2018 BUDGET ORDINANCE**

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: That pursuant to authority granted by the statutes of the State of Illinois, there is hereby an amendment to the budget ordinance in an amount not in excess of the aggregate of additional revenues or fund reserves available to the Village. The sums of money hereinafter itemized for each of the respective corporate objects specified hereby increase or decrease the amounts included in the original budget ordinance, Ordinance No. 4623 dated December 4, 2017. The appropriate sums shall be received from sources other than the tax levy. The respective sums of money, together with the resulting adjustments and changes in the budget are set out in Section 2 of this Ordinance.

Section 2:

*Village of Hoffman Estates  
2018 Budget Amendment*

		<u>Current Budget</u>	<u>Change</u>	<u>Revised Budget</u>
<b><u>Revenue Budget Revisions</u></b>				
<i>General Fund</i>				
01000011-3205	Building Permits	710,000	70,000	780,000
01000018-3908	Transfer from Asset Seizure	-	154,000	154,000
Fund 01	Increase to Fund Balance		(44,550)	
<i>Asset Seizure Fund</i>				
08000014-3503	Federal Seizure Revenues	-	154,000	154,000

*Capital Vehicle & Equipment Fund*

37000012-3305	Grant Revenue	-	53,000	53,000
Fund 37	Decrease to Fund Balance		129,000	

*Water & Sewer Fund*

Fund 40	Decrease to Fund Balance		1,440,000	
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*Sears Centre Operating Fund*

Fund 41	Decrease to Fund Balance		2,402,000	
43000013-3455	Event Income	6,874,850	2,100,000	8,974,850

*Police Pension Fund*

50000015-3601	Interest Income	675,000	290,000	965,000
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*Firefighters' Pension Fund*

51000015-3601	Interest Income	850,000	300,000	1,150,000
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*2017 Capital Project Fund*

Fund 64	Decrease to Fund Balance		590,000	
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*Higgins/Hassell TIF Fund*

72000010-3101	Property Tax Revenue	98,400	272,000	370,400
Fund 72	Decrease to Fund Balance		95,000	

*2017 A & B GO Debt Service*

75000018-3901	Transfer from General	170,710	450	171,160
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*2018 GO Debt Service*

76000017-3803	Bond Proceeds	-	29,580,000	29,580,000
76000017-3804	Premium/Discount on Bonds	-	2,600,000	2,600,000
76000010-3107	Food & Beverage Taxes	-	236,000	236,000
76000018-3901	Transfer from General	-	109,000	109,000

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TOTAL REVENUES			40,529,900	
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**Expenditure Budget Revisions**

		<u>Current Budget</u>	<u>Change</u>	<u>Revised Budget</u>
<i>General Fund</i>				
01303120-4106	Overtime	424,600	70,000	494,600
01616427-4875	Transfer to 2017 GODS	170,710	450	171,160
01616427-4876	Transfer to 2018 GODS	-	109,000	109,000
<i>Asset Seizure Fund</i>				
08200827-4801	Transfer to General	-	154,000	154,000
<i>Capital Vehicle &amp; Equipment Fund</i>				
37000025-4602	Department Equipment	230,940	145,000	375,940
37000025-4612	Fire Apparatus	-	37,000	37,000
<i>Water &amp; Sewer Fund</i>				
40406724-4577	Depreciation Expense	-	1,440,000	1,440,000
<i>Sears Centre Operating Fund</i>				
41008024-4577	Depreciation Expense	-	2,402,000	2,402,000
43000024-4507.48	Professional Services - Ops	6,171,390	2,100,000	8,271,390
<i>Police Pension Fund</i>				
50000021-4207	Retirement Pensions	4,744,840	165,000	4,909,840
50000021-4208	Disability Pensions	608,590	18,000	626,590
50000021-4209	Separation Benefits	-	52,000	52,000
50000021-4217	Contribution Refunds	-	20,000	20,000
50000024-4574	Trustee Fees	70,000	35,000	105,000
<i>Firefighters' Pension Fund</i>				
51000021-4207	Retirement Pensions	3,439,550	300,000	3,739,550
<i>2017 Capital Project Fund</i>				
64000025-4612	Fire Apparatus	-	590,000	590,000

*Higgins/Hassell TIF Fund*

72000024-4507	Professional Services	3,690	185,000	188,690
72000026-4702	Principal Expense	-	182,000	182,000

*2017 A & B GO Debt Service*

75000024-4543	Paying Agent Fees	500	450	950
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*2018 GO Debt Service*

76000026-4703	Interest Expense	-	330,000	330,000
76000026-4705	Costs of Issuance	-	245,000	245,000
76000026-4706	Payment to Escrow	-	31,950,000	31,950,000

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TOTAL EXPENDITURES 40,529,900

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Section 3: That the Village Clerk is hereby authorized to publish this ordinance in pamphlet form.

Section 4: That this ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS \_\_\_\_\_ day of \_\_\_\_\_, 2019

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Michael Gaeta	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019

\_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk  
Published in pamphlet form this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

VILLAGE OF HOFFMAN ESTATES  
Office of the Mayor

# Memo

**TO:** Village Board of Trustees and the Village Clerk  
**FROM:** Mayor Bill McLeod  
**RE:** *Boards & Commissions Renewals for 2020 / 2021*  
**DATE:** Friday, May 3, 2019

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I would like to address the following items at the May 6, 2019 Village Board Meeting.

Attached to this memo, is a list of Boards and Commission volunteers with expired terms that I recommend for renewal with 5 exceptions:

**Not Re-appointed:**

- *Robert Steinberg – 4<sup>th</sup> of July Commission*
- *Johnny Pineda – Youth Commission*  
He has not attended any recent meetings
- *Jim Burns – Stormwater Management Committee*  
He has not attended any recent meetings
- *Ron Williams – Veterans Memorial Commission*  
He has not attended any recent meetings.
- *Gary Buczkowski – Stormwater Management Committee*  
He has retired from the HE Park District

**New Appointments as of May 6, 2019:**

- *Dustin Hugen – Stormwater Management Committee*  
The HE Park District has asked that he be appointed in lieu of Gary Buczkowski
- *Doris Harner – Celtic Fest Commission*



**These appointments have expired and are being re-appointed:**

**CAPITAL IMPROVEMENTS BOARD**

• <i>Dick Zittler</i>	08-20-01	12-31-21
• <i>Tony Varchetto</i>	10-20-03	12-31-21
• <i>Strother Hollingsworth</i>	03-05-01	12-31-20
• <i>Paul Schweet</i>	10-15-18	12-31-20
• <i>George Kalopisis</i>	10-15-18	12-31-21
• <i>Dan Jedrzejak</i>	11-03-03	12-31-20
• <i>Kenneth Griffith</i>	08-04-14	12-31-21

**FIRE AND POLICE COMMISSION**

• <i>Peter Mirkovich</i>	11-02-09	12-31-21
• <i>John Dennis</i>	01-08-18	12-31-20
• <i>Rebecca Darr</i>	04-21-14	12-31-21

If you do have any questions, comments or concerns, please *call* me. *No e-mails please.*

*Bill McLeod*

William D. McLeod

Mayor



# HOFFMAN ESTATES

## BOARDS & COMMISSIONS RE-APPOINTMENTS EXPIRING IN 2019

### ARTS COMMISSION – 19 Members

(10 members for 2-year term expiring on even year)

(9 members for 2-year term expiring on odd year)

	<u>APPOINTED</u>	<u>EXPIRES</u>
1. John Hathway	12-17-18	04-30-19
2. Michelle Pilafas, <i>Chair</i>	07-14-97	04-30-19
3. Tr. Gary Pilafas	10-07-13	04-30-19
4. Curtis Marquardt	01-08-18	04-30-19
5. Jerry Arntzen, <i>Vice Chair, eff 11-17-14</i>	08-17-05	04-30-19
6. Beth Kalopisis	01-07-19	04-30-19

### BICYCLE AND PEDESTRIAN ADVISORY COMMITTEE – 9 Members

(4 members for 2-year term expiring on even year)

(5 members for 2-year term expiring on odd year)

1. Keith Evans	09-21-09	04-30-19
2. Ron Searle	03-01-10	04-30-19
3. Patrick Lannen	04-19-10	04-30-19
4. Robert Pautsch	06-07-10	04-30-19

### CELEBRATIONS COMMISSION – 13 Members

(7 members for 2-year term expiring on even year)

(6 members for 2-year term expiring on odd year)

1. Carol Kral	07-06-10	04-30-19
2. Maria Brandt	05-05-03	04-30-19
3. Cynthia Oskroba	06-20-05	04-30-19

### CELTIC FEST COMMISSION – 9 Members

(5 members for 2-year term expiring on even year)

(4 members for 2-year term expiring on odd year)

1. Yousuf Ahmed	07-17-17	04-30-19
2. Ben Gibbs	01-09-12	04-30-19
3. Jennifer Djordjevic, <i>Chair eff 09-06-17</i>	11-03-14	04-30-19

### COMMISSION FOR PEOPLE WITH DISABILITIES – 13 Members

(7 members for 2-year term expiring on even year)

(6 members for 2-year term expiring on odd year)

3. Kim Franzen	11-07-16	04-30-19
6. Paula Jones	10-27-11	04-30-19
10. Lauren Perschon-Ewan	04-04-17	04-30-19

**COMMISSION FOR SENIOR CITIZENS – 9 Members**

(5 members for 2-year term expiring on even year)

(4 members for 2-year term expiring on odd year)

1. Kathy Ahlgrim	05-18-16	04-30-19
2. Lillian Clinton, <i>Chair, eff. 09-10-12</i>	02-01-99	04-30-19
3. June McCrory	08-21-17	04-30-19
4. Ross Morizzo	02-18-13	04-30-19

**CULTURAL AWARENESS COMMISSION – 13 Members**

(7 members for 2-year term expiring on even year)

(6 members for 2-year term expiring on odd year)

1. Bonnie Wurster	01-04-16	04-30-19
2. Claudia Baranowski	11-19-18	04-30-19
3. Susan Cooper	02-25-19	04-30-19
4. Arlene Montanez	01-09-12	04-30-19
5. Sandra Lahoz	04-20-09	04-30-19

**ECONOMIC DEVELOPMENT COMMISSION – 13 Members**

(7 members for 2-year term expiring on even year)

(6 members for 2-year term expiring on odd year)

1. Len Wilk	02-03-14	04-30-19
2. Georgeanna Mehr	05-03-04	04-30-19
3. Richmond Payne	05-03-04	04-30-19
4. Neil Khot	01-03-11	04-30-19

**ELECTRICAL COMMISSION – 6 Members**

(1-year term)

1. Les Montag	04-04-05	04-30-19
2. Todd M. Nesbitt	08-20-01	04-30-19
3. James O'Shea	06-05-00	04-30-19
4. Jim Santopadre	04-04-05	04-30-19

**EMERGING TECHNOLOGY ADVISORY COMMISSION – 11 Members**

(6 members for 2-year term expiring on even years)

(5 members for 2-year term expiring on odd years)

1. Deepak Verma	06-19-17	04-30-19
2. Gary Pilafas, <i>Chair eff 02-28-11</i>	08-13-07	04-30-19
3. Amir Haq	12-19-16	04-30-19
4. Balaji Padmanabhan	10-07-13	04-30-19
5. Robert J. Neel	04-17-13	04-30-19

**4<sup>th</sup> OF JULY COMMISSION – 15 Members**

(8 members for 2-year term expiring on even year)

(7 members for 2-year term expiring on odd year)

Rachel Musiala (Treasurer)

- |                 |          |          |
|-----------------|----------|----------|
| 1. Linda Scheck | 10-10-16 | 04-30-19 |
| 2. Ben Gibbs    | 02-03-14 | 04-30-19 |
| 3. Craig Kuehne | 04-17-13 | 04-30-19 |

**HISTORICAL SITES COMMISSION – 9 Members**

(5 members for 2-year term expiring on even year)

(4 members for 2-year term expiring on odd year)

- |                    |          |          |
|--------------------|----------|----------|
| 1. Robert Cernosek | 06-07-93 | 04-30-19 |
| 2. Nancy Lyons     | 08-20-01 | 04-30-19 |
| 3. Jane Davey      | 06-07-93 | 04-30-19 |

**PLATZKONZERT COMMISSION – 9 Members**

(5 members for 2-year term expiring on even year)

(4 members for 2-year term expiring on odd year)

- |                   |          |          |
|-------------------|----------|----------|
| 1. Samuel Jackson | 07-02-18 | 04-30-19 |
| 2. Jim O'Connor   | 12-19-16 | 04-30-19 |
| 3. Yousuf Ahmed   | 07-17-17 | 04-30-19 |

**ROAD IMPROVEMENT IMPACT FEE ADVISORY COMMITTEE – 10 Members**

(5 members for 2-year term expiring on even year)

(5 members for 2-year term expiring on odd year)

- |  |          |          |
|--|----------|----------|
| 1. Thomas Porzak Jr.                             | 08-21-00 | 04-30-19 |
| 2. Joane McLeod                                  | 05-04-15 | 04-30-19 |
| 3. Dan Jedrzejak                                 | 10-20-03 | 04-30-19 |
| 4. George A. Moser (Building Industry Community) | 06-07-93 | 04-30-19 |

**SISTER CITIES COMMISSION – 17 Members**

(9 members for 2-year term expiring on even year)

(8 members for 2-year term expiring on odd year)

- |                                 |          |          |
|---------------------------------|----------|----------|
| 1. Lillian Mosier, <i>Chair</i> | 06-07-93 | 04-30-19 |
| 2. David Rogan                  | 11-16-16 | 04-30-19 |
| 3. Jean-Marc Bartsch            | 03-04-96 | 04-30-19 |
| 4. Cheryl Rogan                 | 11-16-16 | 04-30-19 |
| 5. Cindy Ruzsay                 | 06-02-97 | 04-30-19 |
| 6. Jeff Howard                  | 12-01-08 | 04-30-19 |
| 7. Brianna Yarwood              | 04-06-15 | 04-30-19 |
| 8. Arnaud Monnier               | 04-23-18 | 04-30-19 |

**STORMWATER MANAGEMENT COMMITTEE – 9 Members**

(one-year term)

- |                  |          |          |
|------------------|----------|----------|
| 1. Eric Marscin  | 07-01-13 | 04-30-19 |
| 2. Paul Matthews | 06-18-97 | 04-30-19 |

**SUSTAINABILITY COMMISSION - 15 Members**

(8 members for 2-year term expiring on even year)

(7 members for 2-year term expiring on odd year)

1. Sheila Schwartz	12-17-12	04-30-19
2. Lon Harner	12-17-12	04-30-19
3. George Tuhowski III	12-17-12	04-30-19
4. Alfredo Izquierdo	12-17-12	04-30-19
5. Robert Ivey	12-17-12	04-30-19

**UTILITY COMMISSION – 7 Members**

(4 members for 2-year term expiring on even year)

(3 members for 2-year term expiring on odd year)

6. Brett Corrigan	09-18-17	04-30-19
7. Tricia O'Brien	01-18-16	04-30-19

**VETERANS MEMORIAL COMMISSION – 17 Members**

(9 members for 2-year term expiring on even year)

(8 members for 2-year term expiring on odd year)

1. Tr. Gary Pilafas	02-19-01	04-30-19
2. Jeff Camiliere	06-21-10	04-30-19
3. Mark Kwiatowski	01-04-16	04-30-19
4. Gerald Gold	12-02-13	04-30-19
5. Les Montag, <i>Chair eff. 02-19-01</i>	02-07-94	04-30-19
6. Cheryl Novas	07-01-13	04-30-19

**YOUTH COMMISSION – 9 Members**

(5 members for 2-year term expiring on even year)

(4 members for 2-year term expiring on odd year)

1. Mike Cooper, <i>Chair, eff. 1-2-07</i>	12-05-05	04-30-19
2. Steven Knutson	03-04-02	04-30-19

6:40 p.m. – Boards & Commission Interview – Regan Room

**AGENDA**  
**TRANSPORTATION AND ROAD IMPROVEMENT COMMITTEE**  
**Village of Hoffman Estates**  
**May 13, 2019**

**DRAFT**

7:00 p.m. – Helen Wozniak Council Chambers

<b>Members:</b>	<b>Karen Mills, Chairperson</b>	<b>Anna Newell, Trustee</b>
	<b>Gary Stanton, Vice Chairperson</b>	<b>Gary Pilafas, Trustee</b>
	<b>Karen Arnet, Trustee</b>	<b>Michael Gaeta, Trustee</b>
		<b>William McLeod, Mayor</b>

- I. Roll Call**
- II. Approval of Minutes** – April 8, 2019  
April 22, 2019 (Special Meeting)

**OLD BUSINESS**

- 1. Discussion of parking permit program in the Washington Blvd and Alcoa Lane area.

**NEW BUSINESS**

- 1. Request authorization to award a contract for Phase III construction engineering services for the Shoe Factory Road / I-90 bicycle and pedestrian project (*Request for Qualifications under review.*)

**REPORTS (INFORMATION ONLY)**

- 1. Transportation Division Monthly Report
- IV. President's Report**
  - V. Other**
  - VI. Items in Review**
  - VI. Adjournment**

*(Further details and information can be found in the agenda packet attached hereto and incorporated herein and can also be viewed online at [www.hoffmanestates.org](http://www.hoffmanestates.org) and/or in person in the Village Clerk's office).*

*The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.*

**AGENDA  
PLANNING, BUILDING AND ZONING COMMITTEE  
Village of Hoffman Estates  
May 13, 2019**

**Immediately Following the Transportation & Road Improvement Committee**

**Members:** Gary Stanton, Chairman  
Karen Arnet, Vice-Chairman  
Karen Mills, Trustee  
Anna Newell, Trustee  
Gary Pilafas, Trustee  
Michael Gaeta, Trustee  
William McLeod, Mayor

**I. Roll Call**

**II. Approval of Minutes - April 8, 2019**

**OLD BUSINESS**

1. Discussion regarding status of the proposal to remodel Bergman Farmhouse located at 2150 Algonquin Road.

**NEW BUSINESS**

1. Request by Aldi, Inc. (owner) for approval of a plat of easement for watermain at the Aldi grocery store located at 375 West Higgins Road.

**REPORTS (INFORMATION ONLY)**

1. Planning Division monthly report.
2. Code Enforcement Division monthly report.
3. Economic Development and Tourism monthly report.

**III. President's Report**

**IV. Other**

**V. Items in Review**

**VI. Adjournment**

*(Further details and information can be found in the agenda packet attached hereto and incorporated herein and can also be viewed online at [www.hoffmanestates.org](http://www.hoffmanestates.org) and/or in person in the Village Clerk's office).*

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**AGENDA**  
**GENERAL ADMINISTRATION & PERSONNEL COMMITTEE**  
**VILLAGE OF HOFFMAN ESTATES**  
**May 13, 2019**

**DRAFT**

*Immediately Following Planning, Building & Zoning Committee*

---

**Members:**    **Karen Arnet, Chairman**  
                  **Karen Mills, Vice-Chairman**  
                  **Gary Stanton, Trustee**  
                  **Anna Newell, Trustee**  
                  **Gary Pilafas, Trustee**  
                  **Michael Gaeta, Trustee**  
                  **Mayor William McLeod**

- I.     Roll Call**
- II.    Approval of Minutes – April 8, 2019**

**NEW BUSINESS**

- 1.     Request approval of an Ordinance naming Director and Alternate Director to the Northwest Suburban Municipal Joint Action Water Agency.
- 2.     Request approval of an Ordinance naming Director and Alternate Directors to the Solid Waste Agency of Northern Cook County.
- 3.     Request approval of an Ordinance amending Section 8-2-1, Fees, of Article 2, License Fees; Section 8-3-1, Definitions, and Section 8-3-21, License Classification, of Article 3, Alcoholic Liquors; and Section 8-5-13, Alcoholic Beverage Manufacturer, of Article 5, Foods and Beverages, of Chapter 8, Licenses, of the Hoffman Estates Municipal Code.

**REPORTS (INFORMATION ONLY)**

- 1.     Cable TV Monthly Report.
- 2.     Human Resources Management Monthly Report.
- 3.     Legislative Operations & Outreach Monthly Report.

- III.   President's Report**
- IV.   Other**
- V.    Items in Review**
- VI.   Adjournment**

*(Further details and information can be found in the agenda packet attached hereto and incorporated herein and can also be viewed online at [www.hoffmanestates.org](http://www.hoffmanestates.org) and/or in person in the Village Clerk's office).*

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VILLAGE OF HOFFMAN ESTATES  
PLANNING AND ZONING COMMISSION  
**FINDING OF FACT**

PROJECT NO.: 2018045P

VILLAGE BOARD MEETING DATE: May 6, 2019

PETITIONER(S): Wuebker Fitness Inc. (Applicant/Tenant)

PROJECT ADDRESS: 2567 W. Golf Rd.

ZONING DISTRICT: B-2, Community Business

Recommendation: **APPROVAL**

Vote: 11 Ayes 0 Nays 0 Absent

PZC MEETING DATE: April 17, 2019

STAFF ASSIGNED: MO KHAN

**A. Approval of a request by Wuebker Fitness Inc. (tenant) for a Special Use Permit in accordance with Sec. 9-8-2-C-9 to operate a Health Club at the property located at 2567 W. Golf Road.**

AUDIENCE COMMENTS

None

FINDING

The Planning & Zoning Commission heard from the petitioner who explained that they are the new owner of the business and plan to continue operating the business as it is currently.

Staff explained to the Commissioner that a new Special Use needs to be approved since the Special Use is granted specifically to the owner. Staff further added that they have not received any complaints regarding the business.

PLANNING AND ZONING COMMISSIONERS

Chairperson Eva Combs	Lenard Henderson
Vice Chairman Ring	Tom Burnitz
Adam Bauske	Nancy Trieb
Sohita Patel	Denise Wilson
Lon Harner	Minerva Milford
Myrene Iozzo	

ROLL CALL VOTE

11 Ayes  
0 Nays  
0 Absent

**MOTION PASSED**

The following attachments are hereby incorporated as part of this Finding of Fact:

- Staff's Report
- General Application
- Special Use Addendum
- Project Narrative
- Plat of Survey
- Legal Notice of Publication
- Aerial Location Map



# VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT NO.: 2018045P

PROJECT NAME: Wuebker Fitness Inc. (dba Cross Kicks)  
Special Use

PROJECT ADDRESS/LOCATION: 2567 W. Golf Road

PUBLIC HEARING    
YES NO

REZONING  MASTER SIGN PLAN  SPECIAL USE  VARIATION

PRELIMINARY & FINAL SITE PLAN  PRELIMINARY & FINAL PLAT

MEETING DATE: April 17, 2019

STAFF ASSIGNED: MO KHAN

## REQUESTED MOTION

A. Approval of a request by Wuebker Fitness Inc. (tenant) for a Special Use to operate a Health Club at the property located at 2567 W. Golf Road.

INCLUDES RECOMMENDED CONDITIONS    
YES NO

ACRES: 12.4 (APPROXIMATE)	ZONING DISTRICT: B-2, Community Business	
ADJACENT	NORTH: Retail Businesses, Zoned B-2 & RPD	SOUTH: Vacant Land & Apartments, Zoned B-2 & A1
PROPERTIES:	EAST: Retail Businesses, Zoned B-2	WEST: Forest Preserve, Zoned FP

## BACKGROUND

The subject property is located in the Hoffman Village Shopping Center located at the southeast corner of the intersection of Golf and Barrington Roads. The entire property is improved with a multi-tenant shopping center that is approximately 159,000 ft.<sup>2</sup> and surface parking lot. The subject property is approximately 2,000 ft.<sup>2</sup>.

The Village Board initially approved the original Special Use on July 20, 2015. Since that time, the original owner of the business has left and ownership has transferred.

## PROPOSAL

The petitioner is requesting an approval for a Special Use to operate a health club facility.

### **STANDARDS**

The Planning and Zoning Commission shall, in making its determination the potential impacts that the granting of the special use may or may not have on the surrounding neighborhood. Specifically, "Section 9-1-18-I of the Zoning Code (Standards for a Special Use) states: "No special use shall be recommended by the Planning and Zoning Commission unless said Planning and Zoning Commission shall find:

1. **That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;**
2. **That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;**
3. **That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;**
4. **That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;**
5. **That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets; and**
6. **That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Planning and Zoning Commission.**

### **ANALYSIS**

Special Use approvals are granted to the owner of the business and when ownership is transferred, the new owner is required to obtain a new Special Use approval. Since the initial approval in July 2015, Village Staff has not received any complaints from the operation of the health club facility. The new and current owner will continue operating the business as is and under the same dba of "Cross Kicks Fitness."

### **RECOMMENDATION**

**Approval of a request by Wuebker Fitness Inc. (tenant) for a Special Use to operate a Health Club at the property located at 2567 W. Golf Road.**

Attachments:    General Application  
                      Special Use Addendum  
                      Project Narrative  
                      Legal Notice Publication  
                      Aerial Location Map



**VILLAGE OF HOFFMAN ESTATES  
PLANNING AND ZONING  
GENERAL APPLICATION\***

- Special Use for Health & Fitness  Rezoning from \_\_\_\_\_ to \_\_\_\_\_
- Variation.  Commercial  Residential  Sign
- Plat (Subdivision & Others):  Preliminary  Final
- Site Plan:  Amendment  Concept  Preliminary  Final
- Master Sign Plan  Amendment
- Other: \_\_\_\_\_

\* ADDENDUM MATERIALS ARE REQUIRED FOR SPECIFIC REQUESTS  
Posting of Notification Sign(s) may be required.  
Specific requirements will be provided when your request is scheduled.

FOR VILLAGE USE ONLY		
Hearing Fee \$ <u>500<sup>00</sup></u>	Check No. <u>1025</u>	Date Paid <u>12-6-18</u>
Project Number: <u>2018045P</u>		
Staff Assigned: <u>MO ICHAW</u>		
Meeting Date: <del>APRIL</del> <u>MARCH 3RD, 2019</u>	Public Hearing: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
Sign Posting Required: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Date Sign Posted <u>April 5<sup>th</sup>, 2019</u>	

**PLEASE PRINT OR TYPE**

Date: 3/2/19

Project Name: Change of legal name

Project Description: Asset transfer to new licensee - new legal name

Project Address/Location: 1567 W. Golf Rd.

Property Index No. 07-18-100-013

Acres: 12.4 Zoning District: B-2

**I. Owner of Record**

Name: Hoffman Village Station LLC  
Company: \_\_\_\_\_  
Street Address: 11501 Northlake Drive City: Cincinnati  
State: OH Zip Code: 45249 Telephone Number: 513-554-1111

Fax Number

E-Mail Address

\* By: Grocery Retail Partners LLC  
By: PECO OPP I Managing member LLC

**II. Applicant (Contact Person/Project Manager)**

Name: Tony Warbur Company: Robert F. Myers Hoffman Estates, Inc  
Street Address: 6416 Maple Dr. City: Alger  
State: IL Zip Code: 61812 Telephone Number: 712-358-1370

Fax Number

E-Mail Address

tonywarbur@robertfmyers.com

Applicant's relationship to property: Tenant

**III. Owner Consent for Authorized Representative**

It is required that the property owner or his designated representative be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. If the owner cannot be present at the meeting, the following statement must be signed by the owner:

I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize Kathy Jemilo to act on my behalf and advise that he/she has full authority to act as my/our representative.

[Signature]  
Owner Signature

Robert F. Myers, VP  
Print Name

**IV. Acknowledgement(s)**

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

The Owner and Applicant, by signing this Application, certify to the correctness of the application and all submittals.

Hoffman Village Station LLC  
Owner's Signature: \_\_\_\_\_  
Owner's Name (Please Print): Robert F. Myers, VP  
Applicant's Signature: \_\_\_\_\_  
(If other than Owner)  
Applicant's Name (Please Print): Tony Vukobratovic  
Date: 1/22/14

All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.

Please contact the Planning Division (located in the Municipal Building) with any questions:

Email: [planning@hoffmanestates.org](mailto:planning@hoffmanestates.org)  
Address: 1900 Hassell Road  
Hoffman Estates, IL 60169  
Phone: (847) 781-2660  
Fax: (847) 781-2679

**Addendums Attached:**

- Special Use
- Rezoning
- Variation
- Plat
- Site Plan
- Master Sign Plan
- Other \_\_\_\_\_



# VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION SPECIAL USE ADDENDUM

## REQUIRED SUBMITTALS:

- General Application
- \$500 Special Use hearing fee/\$750 for "All Other Uses"
- Legal Description  
Typically found on a tax bill, survey, mortgage documents or deed
- Current Plat of Survey drawn to scale
- A scale drawing of the floor plan and elevations, including windows and door locations.
- A Project Narrative detailing the use, hours of operation, parking demand, etc. Provide relevant plans, studies, and any other documents to support the request.
- A written response to each of the Standards for a Special Use (see below).

*You are responsible for posting a notification sign(s) on your property 10 days before the Planning & Zoning Commission hearing and removing the sign(s) 10 days after final Village Board action. Specific requirements will be provided by Planning Staff.*

**No special use shall be recommended by the Planning and Zoning Commission unless said Commission finds that adequate evidence is provided to meet the Special Use Standards. (Respond to each standard as it applies to your request either below or address on a separate sheet)**

1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

**Our fitness center is safe, clean, welcoming and a  
friendly environment to work in and workout in. Our  
business is very relationship based, everyone has a  
voice.**

2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;

**Our use will not be injurious to the use of and enjoyment of our neighbors. We have good standing relationships with our neighbors and community of tenants in our plaza.**

3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;

**Our use will not impede the development in our neighborhood rather I could only see us better the community by offering the opportunity to better health through exercise and proper nutrition.**



4. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;

**All utilities are being provided.**

5. That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets; and

**I do not foresee traffic to ever be a problem with our limited number of customers/clinets seeing us in a broad time frame.**

6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Planning and Zoning Commission.

**We will agree to conduct in a manner which conforms**  

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**to the regulations set forth by the Village Board and**  

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**Planning and Zoning Commission.**  

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## **Village of Hoffman Estates special use addendum-**

Description: Cross Kicks Fitness is a Health and fitness center delivering semi private and personalized fitness services to their members and clients.

Use: Our mission at Cross Kicks Fitness: *"We at CKF are here to provide a high energy, positive, results based training program to empower our members and clients. We are passionate and committed to providing exceptional fitness coaching and motivation to enhance the lives we touch. We value our relationships, our integrity, and respect your dedication."* We deliver a 40-Minute workout routine that changes on a daily basis. Our members take advantage of unlimited training opportunities with no class times.

Hours of operation: M/W 6:30am-12p and 4p-8:30p, T/Th 4-8:30p, F 6:30a-12p, Sat 8a-12p by appointment only during other days of week and times of day.

We typically will service between 2-5 up to 10-12 people at peak training times. Parking requirements are minimal and in relation to our members serviced. Maybe up to 20 through the doors throughout a 24hr period. We will hope to grow this number to closer to 50 per day. Per this happening open hours would increase relatively.

Two unisex and handicap accessible restrooms are in club. Water fountains (one low, one high) are for member and staff use. Service area for cleaning supplies and service tubs are in use.

Standards of special use:

1. Our fitness center is safe, clean, welcoming, and a friendly environment to work in and workout in. Our business is very relationship based, everyone has a voice.
2. Our use will not be injurious to the use of and enjoyment of our neighbors. We have good standing relationships with our neighbors and community of tenants in our plaza.
3. Our use will not impede the development in our neighborhood rather I could only see us better the community by offering opportunity to better health through exercise and proper nutrition.
4. All utilities are being provided.
5. I do not foresee traffic to ever be a problem with our limited number of customers/clients seeing us in a broad time frame.
6. We will agree to conduct in a manor which conforms to the regulations set forth by the village board and planning and zoning commission.

Thank you,

Tony Wuebker



April 16, 2019

Mo Khan  
Associate Planner  
Development Services Department  
Village of Hoffman Estates  
1900 Hassell Road  
Hoffman Estates, IL 60169

Re: Lease agreement dated August 14, 2015, as amended and/or assigned ("Lease") between Hoffman Village Station LLC ("Landlord") and Wuebker Fitness Hoffman Estates, Inc. doing business as Cross Kicks Fitness ("Tenant") for approximately 2,000 square feet known as Unit 2567 ("Premises") located at Hoffman Village in Hoffman Estates, IL ("Shopping Center")

Dear Tenant:

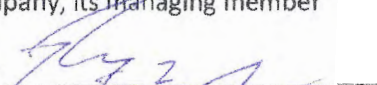
Please let this letter serve as confirmation that Wuebker Fitness Hoffman Estates, Inc. is the Tenant under the Lease referenced above and there is a signed Lease between Landlord and Tenant to use the Premises.

Please do not hesitate to contact Beth Hunt at [bethhunt@phillipsedison.com](mailto:bethhunt@phillipsedison.com) or 513-619-5039 with any additional questions. Thank you.

Sincerely,  
Hoffman Village Station LLC,  
A Delaware limited liability company

By: Grocery Retail Partners I LLC,  
a Delaware limited liability company,  
its sole member

By: PECO GRP I Managing Member  
LLC, a Delaware limited liability  
company, its managing member

By:   
Robert F. Myers, Vice President

cc. Kathy Lemilo  
Tony Wuebker

**NOTICE OF PUBLIC HEARING**  
Notice is hereby given that the Planning & Zoning Commission of the Village of Hoffman Estates will hold a public hearing at the request of Wuebker Fitness Hoffman Estates, Inc (tenant) for a Special Use Permit to operate a health and fitness club at 2567 W Golf Rd.

P.I.N.: 07-18-100-013  
The hearing will be held on Wednesday, February 6, 2019 at 7:00 p.m. in the Hoffman Estates Municipal Building, 1900 Hassell Road, Hoffman Estates, IL.  
Eva Combs, Chairperson  
Planning and Zoning Commission  
Published in Daily Herald  
January 22, 2019 (4516766).

## CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

# Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **DAILY HERALD**. That said **DAILY HERALD** is a secular newspaper and has been circulated daily in the Village(s) of Algonquin, Antioch, Arlington Heights, Aurora, North Aurora, Bannockburn, Barrington, Barrington Hills, Lake Barrington, North Barrington, South Barrington, Bartlett, Batavia, Buffalo Grove, Burlington, Campton Hills, Carpentersville, Cary, Crystal Lake, Deerfield, Deer Park, Des Plaines, Elmhurst, East Dundee, Elgin, South Elgin, Elk Grove Village, Fox Lake, Fox River Grove, Franklin Park, Geneva, Gilberts, Glenview, Grayslake, Green Oaks, Gurnee, Hainesville, Hampshire, Hanover Park, Hawthorn Wood, Highland Park, Highwood, Hoffman Estates, Huntley, Inverness, Island Lake, Kildeer, Lake Bluff, Lake Forest, Lake in the Hills, Lake Villa, Lake Zurich, Libertyville, Lincolnshire, Lindenhurst, Long Grove, Melrose Park, Montgomery, Morton Grove, Mt. Prospect, Mundelein, Niles, Northbrook, Northfield, North Palatine, Park Ridge, Prospect Heights, River Grove, Riverwoods, Rolling Meadows, Rosemont, Round Lake, Round Lake Beach, Round Lake Heights, Round Lake Park, Schaumburg, Schiller Park, Sleepy Hollow, St. Charles, Streamwood, Sugar Grove, Third Lake, Tower Lakes, Vernon Hills, Volo, Wadsworth, Wauconda, Waukegan, West Dundee, Wheeling, Wilmette

County(ies) of Cook, Kane, Lake, McHenry

and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the DAILY HERALD is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 22-JAN-19 in said DAILY HERALD.

IN WITNESS WHEREOF, the undersigned, the said PADDOCK PUBLICATIONS, Inc., has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

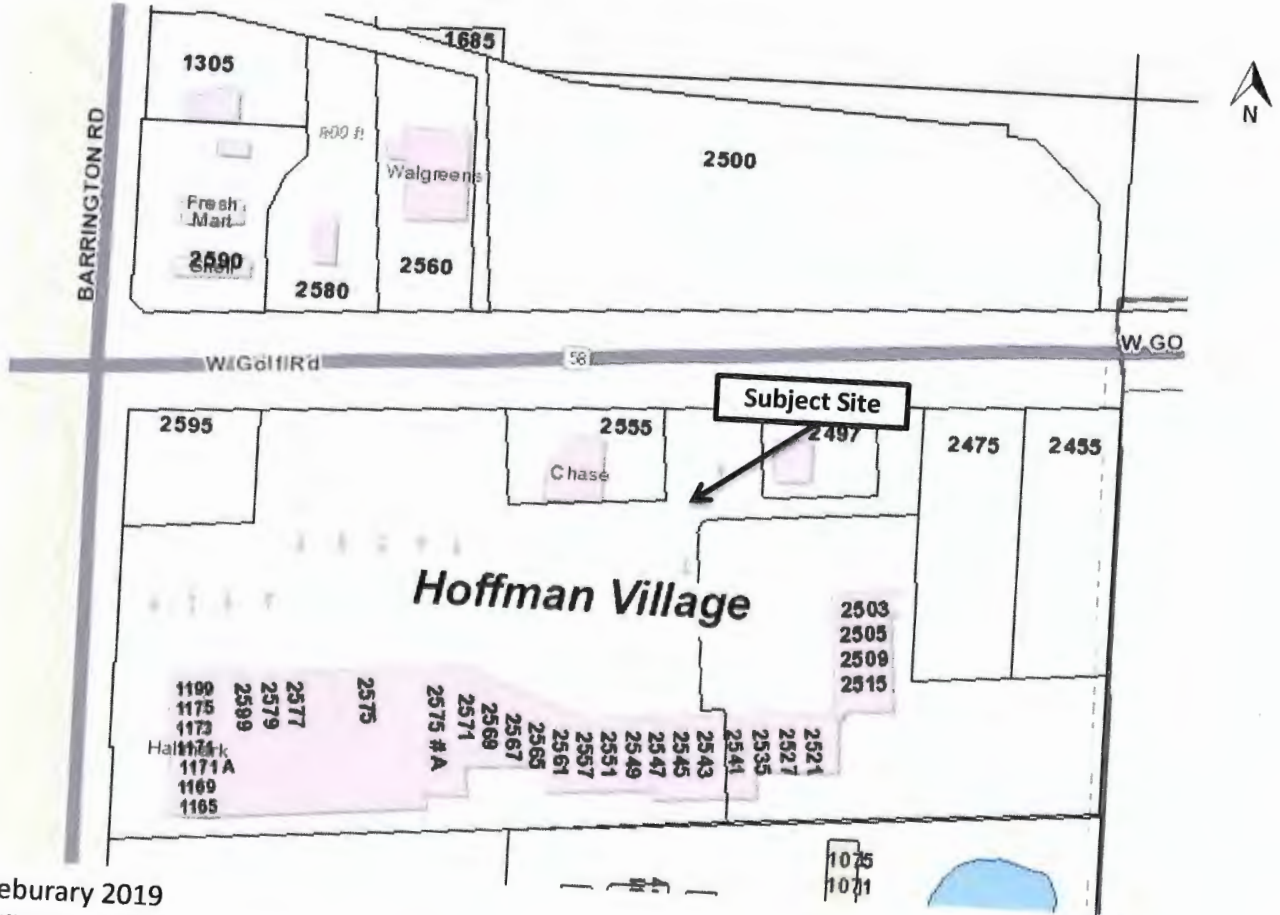
PADDOCK PUBLICATIONS, INC.  
DAILY HERALD NEWSPAPERS

BY *Danila Baltz*  
Authorized Agent

Control # 4516766

2567 W. Golf Rd.

P.I.N. 07-18-100-013



February 2019  
Village of Hoffman Estates  
Planning Division



2567 W Golf Rd  
Cross Kicks Fitness



0 70 140 280 Feet



Planning Division  
Village of Hoffman Estates  
January 2019



VILLAGE OF HOFFMAN ESTATES  
PLANNING AND ZONING COMMISSION  
**FINDING OF FACT**

PROJECT NO.: 2019020P

VILLAGE BOARD MEETING DATE: May 6, 2019

PETITIONER(S): Yavitski, LLC/Kristopher Gillis (Owner) & Jim Stumpf (Applicant)

PROJECT ADDRESS: 2559 Pratum Ave.

ZONING DISTRICT: B-3, Business District

Recommendation: **APPROVAL**

Vote: 11 Ayes 0 Nays 0 Absent

PZC MEETING DATE: April 17, 2019

STAFF ASSIGNED: PARTH JOSHI

**Approval of a request by Kristopher Gillis (Owner) and Jim Stumpf (Applicant) to consider a Master Sign Plan amendment in accordance with Section 9-3-8-M-13 of the Zoning Code for the property located at 2559 Pratum Ave.**

AUDIENCE COMMENTS

No audience comments.

FINDING

The Planning & Zoning Commission heard from Jim Stumpf from the OTB Facility located in the Saddle Room, who explained the reasoning on why they are wanting to install a new monument sign for their business. Mr. Stumpf stated it will make the betting facility easier to find as currently there are no signs which advertise their business on site. Mr. Stumpf further elaborated on the fact that the Saddle Room restaurant itself does not have a ground sign, which makes it tougher for the betting business, which is located inside the restaurant, to be identified.

Commissioners asked Mr. Stumpf to further elaborate on the sign design, location and materials. Mr. Stumpf described the general location of the sign which will be off Pratum Ave because it receives decent traffic count for business identification. Mr. Stumpf also described the sign materials are unique and aesthetically high quality with a solid brick base and landscaping, is preferred by them and the Prairie Stone POA.

The Commission learned that the site is part of the overall subdivision which includes Cabela's, Main Event and The Saddle Room. The Commission heard from Mr. Stumpf that the current Master Sign Plan, which was approved in 2006 did not include a ground/monument sign option for the lot and hence the request is to amend the sign plan to allow a monument sign option.

Section 9-3-8-M-13 of the Zoning Code requires that in instances where the Zoning Code cannot be strictly followed, that the owner may propose a Master Sign Plan to accommodate the signs on the property and to set standards and restrictions on the signs. The Village requires a Master Sign Plan in lieu of sign variations except where a Master Sign Plan is not feasible or warranted (for a very minor request where a variation is deemed acceptable to request). The Zoning Code lists the goals that a Master Sign Plan should achieve as follows:



- Result in architecture and graphics of a scale appropriate for the subject development and the surrounding area;
- Provide signage consistent with the site plan and architecture of the project;
- Avoid visual clutter;
- Allow visitors, employees, and consumers to readily identify the business entrances, while addressing the community's need for attractive, unobtrusive architecture and commercial graphics; and
- Result in a unified theme of signage for the project.

Petitioners are encouraged to take a comprehensive approach to each master sign plan proposal because the plan will provide guidelines for signs that are desired both today, and into the future. The Plan functions as a “mini-sign code” for the property. The creation of a Master Sign Plan involves merging and considering several perspectives, including:

- Current Code requirements.
- Prior variation history on the subject property, as well as similar properties.
- Existing signage on the property.
- Specific current signage requests by the property owner.
- Likely possible signage requests in the future (consider the type use of the property and its location).
- Unique characteristics of the subject property.

The Commission considered the Standards for a Master Sign Plan and felt that the proposed sign plan amendment met the standards. By a vote of 11-0, the Commission unanimously recommended approval of the request.

PLANNING AND ZONING COMMISSIONERS

Chairperson Eva Combs	Myrene Iozzo
Vice-Chairperson Greg Ring	Tom Burnitz
Adam Bauske	Nancy Trieb
Minerva Milfod	Sohita Patel
Lon Harner	Denise Wilson
Lenard Henderson	

ROLL CALL VOTE

11 Ayes  
0 Abstain  
0 Absent

**MOTION PASSED**

The following attachments are hereby incorporated as part of this Finding of Fact:

Petitioner's Applications and Submittals



# VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT NO.: 2019020P

PROJECT NAME: SADDLE ROOM MASTER SIGN PLAN  
AMENDMENT

PROJECT ADDRESS/LOCATION: 2559 PRATUM AVE

PUBLIC HEARING    
YES NO

REZONING  MASTER SIGN PLAN AMENDMENT  SPECIAL USE  VARIATION

PRELIMINARY & FINAL SITE PLAN AMENDMENT  PRELIMINARY & FINAL PLAT

MEETING DATE: APRIL 17, 2019

STAFF ASSIGNED: PARTH JOSHI

## REQUESTED MOTION

Approval of a request by Kristopher Gillis (Owner) and Jim Stumpf (Applicant) to consider a Master Sign Plan amendment in accordance with Section 9-3-8-M-13 of the Zoning Code for the property located at 2559 Pratum Ave.

INCLUDES RECOMMENDED CONDITIONS    
YES NO

ACRES: 5.6 (approximate)

ZONING DISTRICT: B-3, BUSINESS DISTRICT

ADJACENT

NORTH: Main Event, Zoned B-3

SOUTH: Vacant Parcel, ZONED B-3

PROPERTIES:

EAST: B-3. Business District

WEST: Sears Center, ZONED B-3

## BACKGROUND

The subject property was created as part of the Cabela's Subdivision in 2006. The Saddle Room is a restaurant which also offers off track betting (OTB) on site. The building was built in 2012. The restaurant is approximately 11,700 square foot. The original Master Sign Plan for the subdivision was approved in 2006.

## PROPOSAL

The Master Sign Plan includes the area located at the southeast corner of Prairie Stone Parkway and Pratum Avenue anchored by the Cabela's store and two other outlots, which include Main Event and Saddle Room.

The original Master Sign Plan did not include a ground/monument sign option for the subject outlot. Therefore, the petitioner is requesting approval of a Master Sign Plan amendment to direct motorists to the "Trackside" off track betting facility located inside the Saddle Room. The amended Master Sign Plan is

Meeting Date: April 17, 2019

intended to advertise the state licensed betting business. By amending the sign plan to allow more signage, the new plan will allow people to better locate the betting component of the Saddle Room, as the OTB facility is located in a separate room from the main restaurant dining area.

The amended text of the Plan will allow a one sided monument/ground sign option for the Saddle Room outlot. The proposed design of the sign includes fabrication of aluminum and wood, aged barn wood or new wood planks stained gray face, acrylic black finish letters, bare steel frame and posts, and stone masonry base. The new sign option will have a maximum of twenty five (25) square foot of ground sign area and can be ten (10) foot in height. The proposed sign would be installed on the northeast side of Pratum Avenue. It is important that the signs follow good traffic control practice to be effective, avoid traffic conflicts, and create a safe environment for vehicles and pedestrians; especially for accessory uses of a business like the OTB.

### **MASTER SIGN PLAN STANDARDS**

Section 9-3-8-M-13 of the Zoning Code requires that in instances where the Zoning Code cannot be strictly followed, that the owner may propose a Master Sign Plan to accommodate the signs on the property and to set standards and restrictions on the signs. The Village requires a Master Sign Plan in lieu of sign variations except where a Master Sign Plan is not feasible or warranted (for a very minor request where a variation is deemed acceptable to request). The Zoning Code lists the goals that a Master Sign Plan should achieve as follows:

- Result in architecture and graphics of a scale appropriate for the subject development and the surrounding area;
- Provide signage consistent with the site plan and architecture of the project;
- Avoid visual clutter;
- Allow visitors, employees, and consumers to readily identify the business entrances, while addressing the community's need for attractive, unobtrusive architecture and commercial graphics; and
- Result in a unified theme of signage for the project.

Petitioners are encouraged to take a comprehensive approach to each master sign plan proposal because the plan will provide guidelines for signs that are desired both today, and into the future. The Plan functions as a "mini-sign code" for the property. The creation of a Master Sign Plan involves merging and considering several perspectives, including:

- Current Code requirements.
- Prior variation history on the subject property, as well as similar properties.
- Existing signage on the property.
- Specific current signage requests by the property owner.
- Likely possible signage requests in the future (consider the type use of the property and its location).
- Unique characteristics of the subject property.

### **NOTIFICATION**

Standard notification letters have been sent to surrounding properties within 300 feet and no comments have been received.

Meeting Date: April 17, 2019

### **STAFF SUMMARY**

The Master Sign Plan process has allowed property owners to have signs than would otherwise not be permitted in the Zoning Code. As a trade-off for this, the Village has required that signs be of a higher quality design and to use elements and materials that complement the buildings in the area. This compromise has resulted in a higher quality of signs, which mutually benefits the property owner, tenants, and residents.

The Master Sign Plan amendment incorporates the Cabela's subdivision, which in size is vast. The Saddle Room currently has one wall sign, however, the OTB facility does not have any form of identification to attract patrons. Therefore the amendment will allow a new monument/ground sign option for the Saddle Room lot.

Attachments:      Petitioner's Applications and Submittals,  
                         Master Sign Plan  
                         Legal Notice  
                         Aerial Photo & Location Map



# VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING GENERAL APPLICATION\*

Special Use for \_\_\_\_\_  Rezoning from \_\_\_\_\_ to \_\_\_\_\_

Variation:  Commercial  Residential  Sign

Plat (Subdivision & Others):  Preliminary  Final

Site Plan:  Amendment  Concept  Preliminary  Final

Master Sign Plan:  Amendment

Other: \_\_\_\_\_

\* ADDENDUM MATERIALS ARE REQUIRED FOR SPECIFIC REQUESTS

Posting of Notification Sign(s) may be required.

Specific requirements will be provided when your request is scheduled.

### FOR VILLAGE USE ONLY

Hearing Fee 750.00 Check No. 2952 Date Paid 3/19/19

Project Number: 2019020P

Staff Assigned: Joshi

Meeting Date: 04/17/19

Public Hearing: Yes  No

Sign Posting Required: Yes  No

Date Sign Posted N/A

### PLEASE PRINT OR TYPE

Date: \_\_\_\_\_

Project Name: Trackside Sign

Project Description: Construction of extension sign for "Trackside"

Project Address/Location: 2559 Pratum Avenue, Hoffman Estates, IL 60192

Property Index No. 01-32-302-024-0000; 01-32-302-043-0000; 01-32-400-022-0000

Acres: 6.4 Zoning District: Commercial

**I. Owner of Record**

Kristopher Gillis		The Saddle Room
Name		Company
2559 Pratum Ave		Hoffman Estates
Street Address		City
IL	60192	847-645-7500
State	Zip Code	Telephone Number
847-645-6222		thesaddleroom@yahoo.com
Fax Number		E-Mail Address

**II. Applicant (Contact Person/Project Manager)**

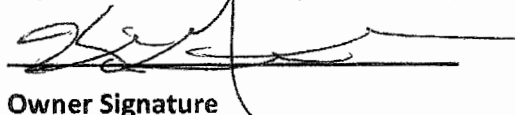
Jim Stumpf		Arlington International Racecourse
Name		Company
2200 W. Euclid Ave.		Arlington Heights
Street Address		City
IL	60005	847-385-7773
State	Zip Code	Telephone Number
847-385-7255		jim.stumpf@arlingtonpark.com
Fax Number		E-Mail Address

Applicant's relationship to property: Off Track Wagering Business Operator

**III. Owner Consent for Authorized Representative**

It is required that the property owner or his designated representative be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. **If the owner cannot be present at the meeting, the following statement must be signed by the owner:**

I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize Arlington International Racecourse to act on my behalf and advise that he/she has full authority to act as my/our representative.

 Owner Signature	<u>Kristopher Gillis</u> Print Name
--	--

#### IV. Acknowledgement(s)

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

**The Owner and Applicant**, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature: \_\_\_\_\_

Owner's Name (Please Print): Kristopher Gillis

Applicant's Signature: \_\_\_\_\_  
(If other than Owner)

Applicant's Name (Please Print): Jim Stumpf - Arlington International Racecourse

Date: 11/30/18

**All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.**

Please contact the Planning Division (located in the Municipal Building) with any questions:

Email: [planning@hoffmanestates.org](mailto:planning@hoffmanestates.org)

Address: 1900 Hassell Road  
Hoffman Estates, IL 60169

Phone: (847) 781-2660

Fax: (847) 781-2679

Addendums Attached:

- |   |  |
|---|--|
| <input type="checkbox"/> Special Use          | <input checked="" type="checkbox"/> Master Sign Plan |
| <input type="checkbox"/> Rezoning             | <input type="checkbox"/> Other _____                 |
| <input type="checkbox"/> Variation            |  |
| <input type="checkbox"/> Plat                 |  |
| <input checked="" type="checkbox"/> Site Plan |  |



# VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION MASTER SIGN PLAN ADDENDUM

*Amendment (Check if amending an Master Sign Plan)*

## **REQUIRED SUBMITTALS:**

- General Application
- The hearing fee of \$500.00 plus \$250.00 per sign type (Checks should be made payable to the Village of Hoffman Estates)
- Legal Description (Typically found on a tax bill, survey, mortgage documents or deed)
- Plat of Survey drawn to scale: ALL signs should be shown and labeled on the plat. Also show all existing improvements, e.g. buildings, etc., and distance between the property line, interior roadway(s) and the proposed sign(s). *(To be supplied)*
- A narrative and graphic explanation of the following:
  - ✓ Number, location, type and placement of signs on the property;
  - ✓ Sign materials and methods of illumination; and
  - ✓ Height and size of signs and sign band areas.
- A written response addressing the following Standards for a Master Sign Plan:

The Village Board of Trustees is authorized to approve the Master Sign Plan if it is determined that implementation of the Master Sign Plan will:

  1. Result in architecture and graphics of a scale appropriate for the subject development and the surrounding area;
  2. Provide signage consistent with the site plan and architecture of the project;
  3. Avoid visual clutter;
  4. Allow visitors, employees, and consumers to readily identify the business entrances, while addressing the community's need for attractive, unobtrusive architecture and commercial graphics; and
  5. Result in a unified theme of signage for the project.



## “Trackside” Sign Proposal

### Standards for a Master Plan Sign

Arlington International Racecourse proposes the construction and installation of a sign to direct motorists to the “Trackside” off track wagering business, located inside the Saddle Room. The proposed sign is a monument type sign that will be complimenting to other signage in the entertainment area and architecture of the Saddle Room. It will be a non-illuminated stand-alone sign and will not be a visual clutter. “Trackside” is a brand name of off track wagering business operating in Hoffman Estates and ten other Illinois communities, all of which advertise the “Trackside” brand. The Village benefits from this wagering activity as under state law, one cent out of every dollar wagered at this facility is paid as taxes to the Village. Assisting potential customers to the Trackside Saddle Room location financially benefits the Village.

# “Trackside” Sign Proposal

## Narration and Graphic Explanation

### 1. Name, location, type and replacement (see attached)

The proposed signage (1 Sign) would be located behind the concrete bench on the northeast side of Pratum Avenue, Hoffman Estates, before the right turn to the Main Event and other commercial stores.

### 2. Sign materials and illumination

- Non-Illuminated
- Fabrication and install sign of aluminum, wood and angle.
- Face to be aged bard wood or new wood planks stained gray.
- Copy to be CNC-Cut ½” acrylic with black finish.
- Frame and posts to be bare steel allowed to weather and rust.
- Copy to be on stand-offs.
- Base to be stone masonry.
- Scale ¾”=1”

### 3. Height and size of sign

Sign and base to equal 5’x5’

## “Trackside” Sign Proposal

### Legal Description of the Premises

The Premises consists of the land and improvements commonly known as 2559 Pratum Avenue, Hoffman Estates, Illinois 60169, which is legally described as follows:

Lot 4A5D2A2 in final Plat of Resubdivision of Lots 4A5D2A & 4A5D2C in Prairie Stone, being a Resubdivision of Part of Section 32, Township 42 North, Range 9 East of the Third Principal Meridian, according to the Plat thereof recorded March 21, 2012 as Document Number I208131024, in Cook County, Illinois.

#### Permanent Index Numbers:

01-32-302-024-0000; 01-32-302-043-0000; 01-32-400-022-0000.

**CABELA'S, SADDLE ROOM, & MAIN EVENT  
MASTER SIGN PLAN AMENDMENT  
04/17/19**

**Cabela's**<sup>®</sup>

**WORLD'S FOREMOST OUTFITTER<sup>®</sup>**

*Hunting • Fishing • Outdoor Gear*



# **Cabela's, Saddle Room, and Main Event Master Sign Plan Requirements Amended April 17, 2019**

## **Introduction**

This Master Sign Plan applies to the destination retail area located at the southeast corner of Prairie Stone Parkway and Pratum Avenue anchored by a Cabela's store and including two outlots (Lot 4A5D2C (Saddle Room) and Lot 4A5D2B (Main Event)).

The Master Sign Plan requirements for the large anchor store have been developed based on the signage that is unique to Cabela's. Cabela's is an approximately 185,000 square foot destination retail facility with a regional market area. This plan recognizes that the signage for this size and type of facility would not typically be permitted for other developments that do not have similar size or use characteristics. Two lots adjacent to the Cabela's property share common access drives and are designed for complementary retail uses to the anchor store. Sign requirements for these outlots are included in this Plan to promote cohesion among all signs on the three lots.

## **A. Area Included in Sign Plan**

This Master Sign Plan includes the Cabela's store at 5225 Prairie Stone Parkway (Lot 4A5D2A), the vacant land located within Lot 4A5D2A and two outlots located southwest of Cabela's (Lots 4A5D2B (Main Event) and 4A5D2C (Saddle Room)).

## **B. General Provisions** (applicable to all Lots – 4A5D2A, B and C)

1. Setbacks – All signs shall be set back a minimum of 5 feet from any paved driving surface.
2. Driver Sight Visibility – No sign shall be placed in a manner that will obstruct driver or pedestrian sight lines and create an unsafe condition based on analysis by the Village Transportation Division.
3. Landscaping – Landscaping shall be provided at the base of all signs, unless determined to be unsafe or not feasible by the Village Department of Development Services.
4. Illumination - Signs may be illuminated as shown in the approved Master Sign Plan documents or as otherwise expressly permitted herein.
5. Colors – Colors and letter graphic styles on the signs shall be determined by the owners of the property, however, signs on a parcel that are of a similar type shall be of a consistent color and graphic style (except for tenant/user wall signs and tenant/user panels on the monument signs provided below).

## **Cabela's, Saddle Room, and Main Event Master Sign Plan Requirements Amended April 17, 2019**

6. Calculation of Sign Area – The area of each sign shall be in accordance with the Village Sign Code requirements, except that the edges of ground/directional signs shall not be included in the total sign area if they do not contain text, logos or any other graphics.
7. Comprehensive – This document, including the approved plans attached hereto as Exhibits “A”, “B” and “C” and the maximum signage area table attached hereto as Exhibit “D”, represents the entire Master Sign Plan and all applicable conditions.

### **C. Monument Ground Signs**

1. Master Sign Site Plan. The locations of all monument ground signs for all areas governed by this Master Sign Plan are depicted on the Master Sign Site Plan attached hereto as Exhibit “A” and made a part hereof.
2. Cabela's Store (Lot 4A5D2A) Monument Sign (Sign Type “D”) – On Lot 4A5D2A only, one double-sided monument sign shall be permitted in accordance with the specific design, size and location as shown in the approved Cabela's Sign Program Drawings attached hereto as Exhibit “B” and made a part hereof. The location of this sign is also identified on attached Exhibit “A”.
3. Cabela's Vacant Parcel Within Store Lot (Lot 4A5D2A) Monument Sign – On Lot 4A5D2A only, one double-sided monument sign shall be permitted in accordance with the Zoning Code (Section 9-7-5-I.B) (4 feet wide and 4 feet in height). The location of this sign is also identified on attached Exhibit “A”.
4. Shared Monument Sign (Sign Type “E”) – On Lot 4A5D2B only, one double-sided monument sign shall be permitted in accordance with the specific design, size and location as shown in the approved Cabela's Sign Program drawings (sign to be shared by Lots 4A5D2A, 4A5D2B and 4A5D2C). The location of this sign is also identified on attached Exhibit “A”. The proportionate division of tenant signage within the overall sign area shall be determined by the property owner.
5. Main Event Outlot Monument Sign – On Lot 4A5D2B only (in addition to the monument sign described in Section 3 above), one double-sided monument sign shall be permitted in accordance with the specific design and size as shown in the approved Main Event Sign Drawings attached hereto as Exhibit “E” and made a part hereof. The location of this sign is identified on attached Exhibit “A”. The proportionate division of tenant signage within the overall sign area shall be determined by the property owner.

## **Cabela's, Saddle Room, and Main Event Master Sign Plan Requirements Amended April 17, 2019**

6. Saddle Room - "Trackside" Monument Sign - On lot 4A5D2C, one single sided monument sign shall be permitted in accordance with the specific design, sign and location as shown in the approved Saddle Room - "Trackside" drawing attached hereto as Exhibit "F" and made a part hereof. The location of this sign is also identified on the attached Exhibit "F". The sign shall not exceed Ten (10) foot in height and Twenty Five (25) square foot in sign area.

### **D. Building Wall Signs**

1. Cabela's Store (Lot 4A5D2A). Building wall signs shall be of the size, location and specifications as shown in the approved Cabela's Master Sign Plan Drawings attached as Exhibit "B". Changes to the wall signs shall conform to the approved area and location.
2. Freestanding Buildings (the vacant portion of Lot 4A5D2A and Lot 4A5D2C— all areas except the Cabela's Store). One building wall sign on each façade. The signs shall be of the size and specifications as shown in the approved Freestanding Building Sign Plan Drawings attached hereto as Exhibit "C". The allowable locations of the signs shall be as depicted on the building elevations approved as part of the Village site plan approval process. Changes to the wall signs shall conform to the approved area and location.
3. Freestanding Buildings (Lot 4A5D2B). Each building on the property shall be permitted wall signs, subject to the following:

Primary Wall Signs. These signs provide the primary business advertising and are intended to be visible from the surrounding public roadways and from customer accessible areas within the site. One primary wall sign shall be permitted on each building elevation and shall be mounted directly to the building wall surface. Primary wall signs shall not exceed 300 square feet per sign on the Main Event Building and 200 square feet on the future building and shall identify the primary business on the property.

Secondary Wall Signs. One secondary wall sign shall be permitted on two elevations, not to exceed 170 square feet per sign for the Main Event Building and 100 square feet on the future building. The secondary wall sign may display the company logo, services offered, tag lines, etc. The secondary wall sign must contain different text from the primary wall sign.

### **E. Temporary Signs (applicable to all Lots – 4A5D2A, B and C)**

1. Coordination with Zoning Code – All temporary and other exempt sign requirements shall apply to this property in accordance with the provisions

## **Cabela's, Saddle Room, and Main Event Master Sign Plan Requirements Amended April 17, 2019**

of the Zoning Code, except that temporary grand opening and special event signs shall be allowed either as provided in the Zoning Code (Section 9-3-8-K-5) or as otherwise approved by the Village.

2. Construction Signs – During construction on the sites, temporary signs may be permitted as determined necessary by the Village Department of Development Services. These signs shall be used to identify altered traffic routes, closed drives or parking lots, relocated building entrances, etc. Such signs shall not be subject to the requirements of Directional Signage as set forth herein.
3. Leasing and Marketing. Until buildings are completed and occupied, leasing and marketing signs shall be allowed as provided in the Zoning Code (Section 9-3-8-K-3). Thereafter, leasing and marketing signs shall be incorporated into the monument ground signs.

### **F. Amendments (applicable to all Lots – 4A5D2A, B and C)**

1. Changes – Changes to the text, colors, or graphic style of the signs shall not require a formal amendment to this plan, provided the size shall not exceed the maximum area for each sign type as set forth on Exhibit “D” attached hereto and made a part hereof and all other requirements of this plan are met and all signs of each type have identical design and colors.

New Signs; Relocations – The addition of new signs or relocation of existing signs shall not require a formal amendment to this plan, provided the signs meet all requirements of this plan. Any amendment to add additional signs or make substantial changes to the approved signs in this plan shall be subject to review by the Planning & Zoning Commission and approval by the Village Board.

### **G. Miscellaneous**

#### **1. Cabela's Store (Lot 4A5D2A)**

- A. Parking Lot Signs – Lot indicator signs may be affixed to light poles throughout the site. Such signs may include letters or numbers to designate each different section of the parking lot and shall be affixed securely to each light pole at least 8 feet above grade. Such signs may contain up to 4 sides, with the size as shown in the approved Cabela's Master Sign Plan Drawings on Exhibit “B”. These signs may include the Cabela's logo as shown in the drawings.
- B. Flagpole Signs – Three flagpoles shall be permitted up to 50 feet in height, with flags up to 100 square feet in area each and located within



**Cabela's, Saddle Room, and Main Event Master Sign Plan Requirements  
Amended April 17, 2019**

100 feet of the Cabela's Store. The flagpole signs shall otherwise meet the requirements of the Zoning Code.

- C. Directional/Instructional Signs (Non-Illuminated) – Directional and Instructional signs shall be permitted as follows: (i) located in the parking lot; (ii) shall meet the requirements of Section V.1.h (Exempt Signs) of the Prairie Stone Sign Requirements, except that such signs may contain the Cabela's logo as an ancillary component of the message of the sign; (iii) signs located at the entrance to the property shall meet the requirements of Section 9.3.8.L.2 (Parking Lot Entrance/Exit and Instructional Signs) of the Zoning Code; (iv) shall be on separate poles from traffic control signs; and (v) each sign shall be up to 12 square feet in area per side, except as depicted in the approved Cabela's Master Sign Plan Drawings attached as Exhibit "B".
  - D. Banner Signs. Banner signs up to 16 square feet in area each per side with a maximum of two double-faced banners shall be permitted to be affixed to each of the 14 foot high light poles shown on Exhibit "B" and located between the building and the parking areas and along the main entrance driveway off Prairie Stone Parkway. Such signs may contain product advertising from Cabela's vendors.
2. Freestanding Buildings (the vacant portion of Lot 4A5D2A and all of Lots 4A5D2B and C – all areas except the Cabela's Store)
- A. Directional/Instructional Signs (Illuminated and Non-Illuminated) – Directional and instructional signs shall be permitted as follows: (i) located in the parking lot;; (ii) signs located at an entrance to the property shall meet the requirements of Section 9.3.8.L.2 (Parking Lot Entrance/Exit and Instructional Signs) of the Zoning Code; (iii) signs that are commonly illuminated, such as for fast-food restaurants, may be illuminated; (iv) each sign located at an entrance to the Lot shall be up to 12 square feet in area per side and signs located elsewhere within the Lot shall be up to 4 square feet in area per side; (vi) signs located at an entrance to the Lot may contain one logo for each tenant or user as an ancillary component of the message of the sign; and (vii) up to two signs located at each restaurant drive-through area may contain one logo for the tenant or user as an ancillary component of the message of the signs.
  - B. Menu Board Signs. Restaurant menu board signs shall be permitted as provided in the Zoning Code (Section 9-3-8-M-10-e-1). Except that Lot 4A5D2B may have two menu boards of a size as allowed by the Zoning Code.

**Cabela's, Saddle Room, and Main Event Master Sign Plan Requirements  
Amended April 17, 2019**

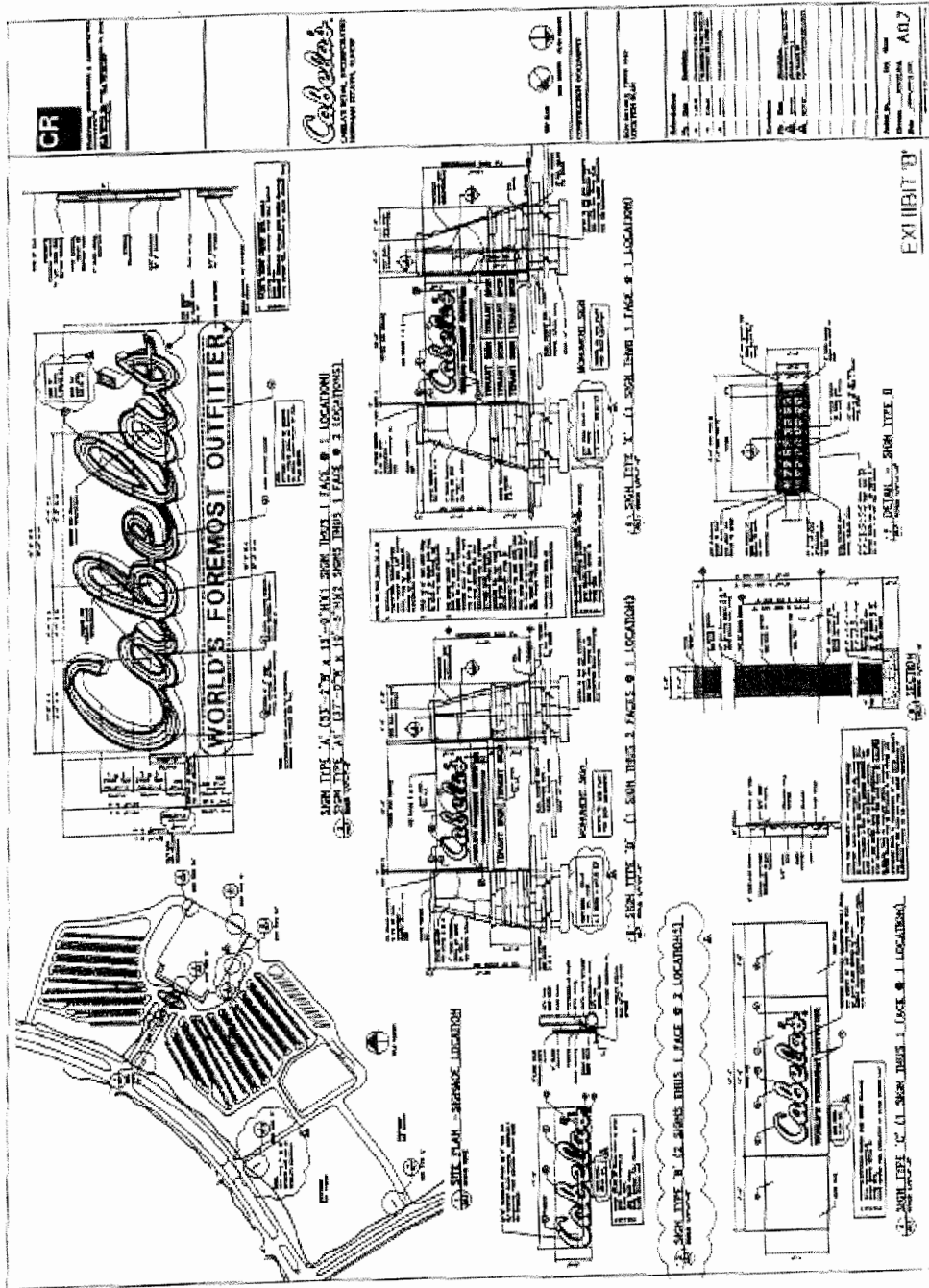
3. All Lots (4A5D2A, B and C): Directional/Instructional Signs – One such sign may be permitted proximate to each entrance, except that such signs shall not exceed eight (8) square feet in surface area. This provision applies only to directional and instructional signs located on the building.



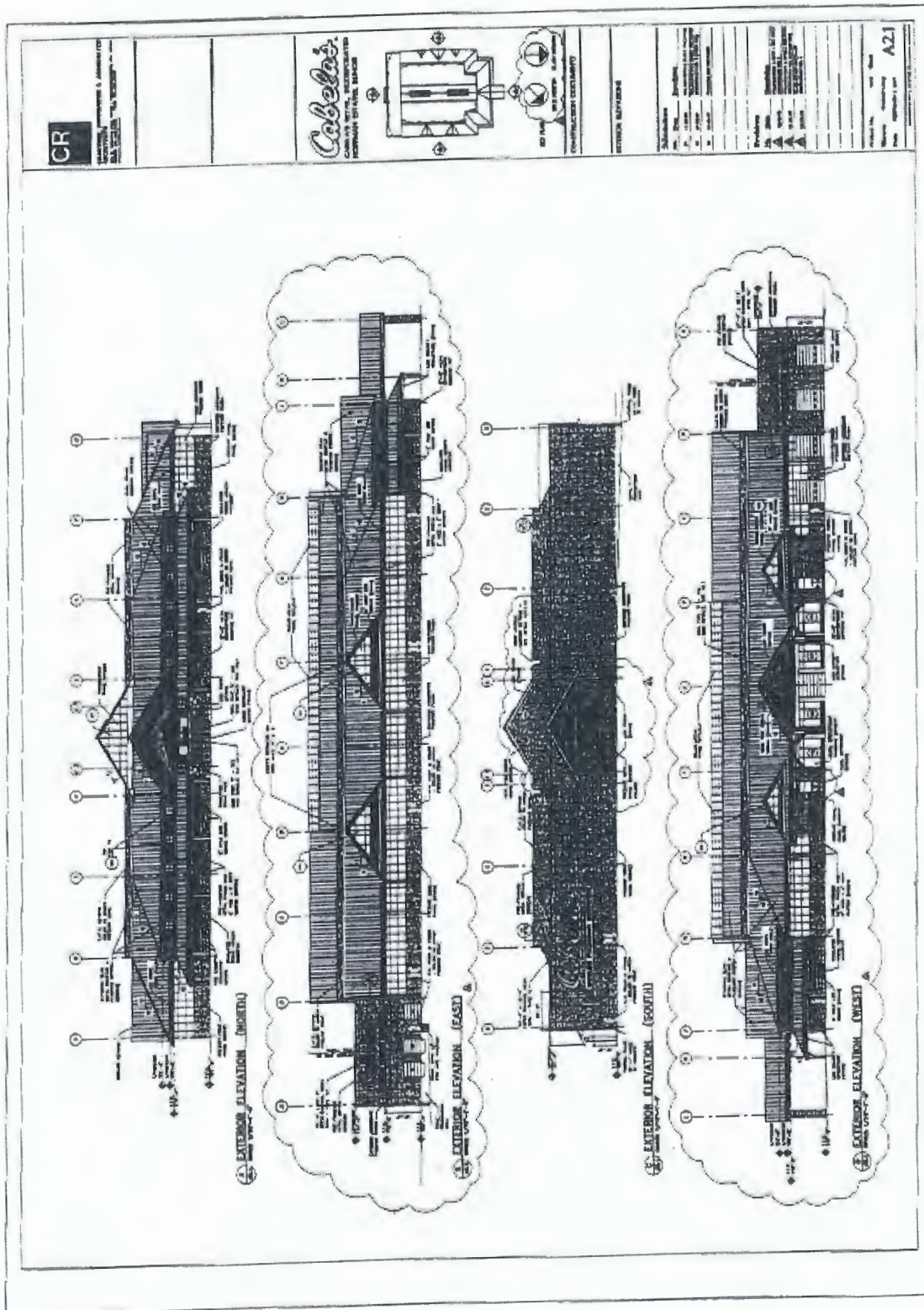
# Cabela's, Saddle Room, and Main Event Master Sign Plan Requirements Amended April 17, 2019

## Exhibit "B"

### CABELA'S SIGN PROGRAM DRAWINGS



# Cabela's, Saddle Room, and Main Event Master Sign Plan Requirements Amended April 17, 2019



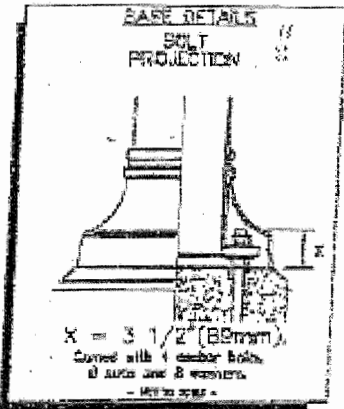
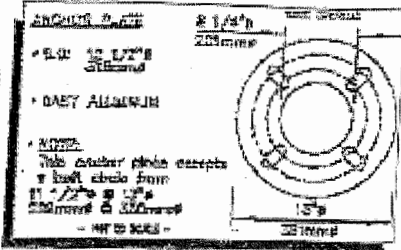
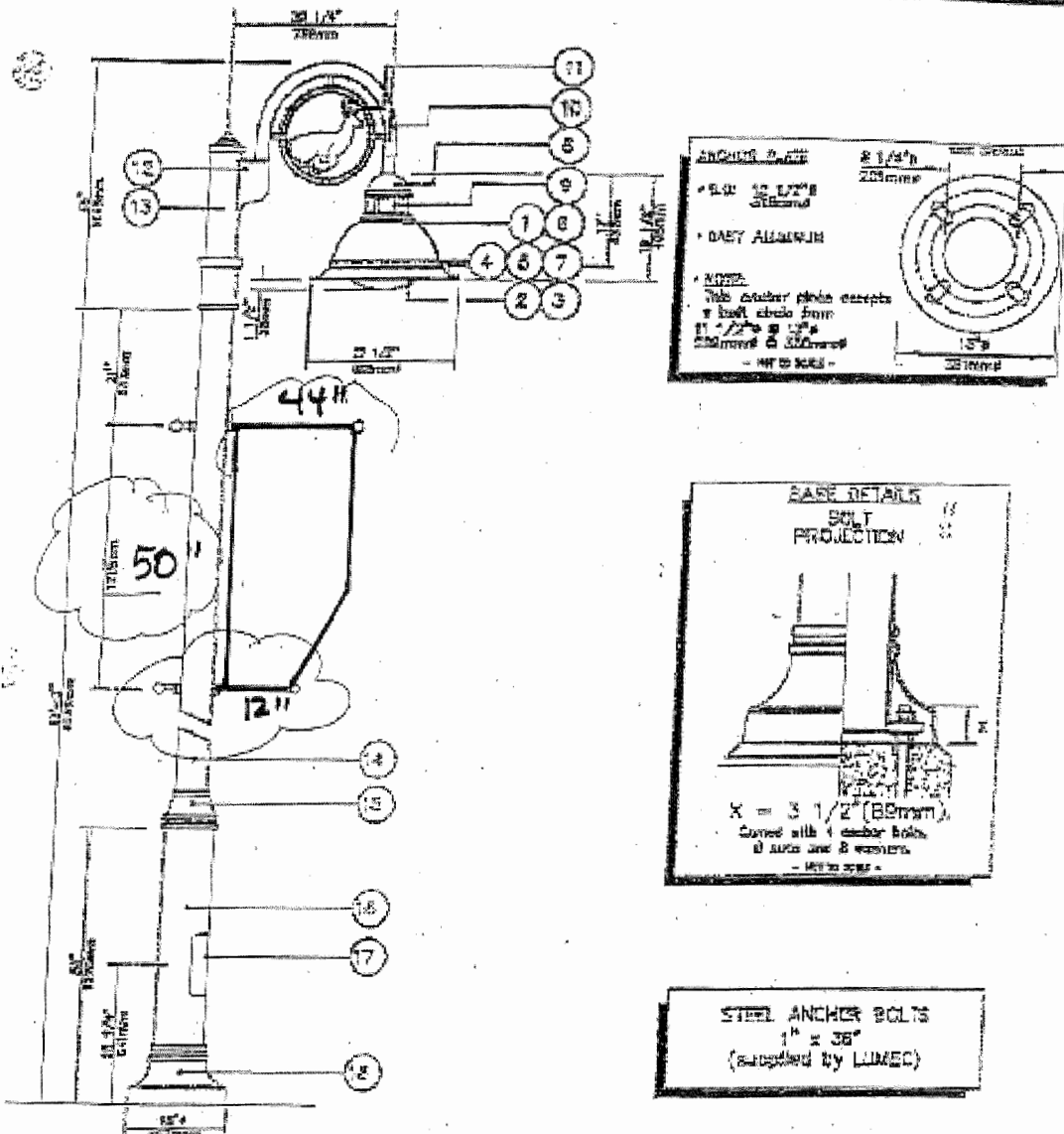


# Cabela's, Saddle Room, and Main Event Master Sign Plan Requirements Amended April 17, 2019

**LUMEC**

1000 West 10th Street  
Anchorage, Alaska 99501  
Tel: (907) 562-1234  
Fax: (907) 562-1234

FRONT FRONT



**STEEL ANCHOR BOLTS**  
 1" x 36"  
 (supplied by LUMEC)

NOTE: Pole height is: 14'-0" (4267mm)

<p>OTHER SIZE: <input type="checkbox"/> SIGNATURE: <input type="checkbox"/></p> <p>DATE: 1/2/19</p>		<p>Cabela's EXT. Lightpole Banners:</p>				<p>DMS50 LMS20184A</p> <p>37048</p>
#	REVISION	DATE	BY	CHK'D BY	BY NO. REVISED / DRAWING BY	PAGE
		02-01-19			DMS50 72270A	1/3

# Cabela's, Saddle Room, and Main Event Master Sign Plan Requirements Amended April 17, 2019

## Exhibit "C"

### FREESTANDING BUILDING SIGN PLAN DRAWINGS

<p><b>Practical Signs</b> 20161 Hammer Oaks Lake Forest, CA 92650 (949) 484-1999 Fx (949) 458-3148 Fax</p>	<p>Prairie Stone Pkwy At Esplanade Avenue Prairie Stone Lot 12</p>	<p><b>SIGN PROGRAM</b></p>	<p><b>DATE:</b> 01.31.07</p> <p><b>REVISIONS:</b> 1 - 02-01-07 2 - 02-09-07</p>
<p><b>UG-1</b></p>			
<p><b>Quantity:</b> 1 (42' maximum height) <b>Sign Area:</b> Maximum 120 sq ft <b>Sign Height:</b> Maximum 120 ft <b>Sign Location:</b> Maximum 100 ft from any building, structure or pedestrian walkway <b>Construction:</b> All signs shall be constructed of non-combustible materials with non-reflective finish. Signs shall be illuminated with LED lighting.</p>	<p><b>Site Type:</b> Freestanding Sign (Type F)</p>		
<p><b>Quantity:</b> 1 (42' maximum height) <b>Sign Area:</b> Maximum 120 sq ft <b>Sign Height:</b> Maximum 120 ft <b>Sign Location:</b> Maximum 100 ft from any building, structure or pedestrian walkway <b>Construction:</b> All signs shall be constructed of non-combustible materials with non-reflective finish. Signs shall be illuminated with LED lighting.</p>	<p><b>Site Type:</b> Freestanding Sign (Type F)</p>		
<p><b>Quantity:</b> 1 (42' maximum height) <b>Sign Area:</b> Maximum 120 sq ft <b>Sign Height:</b> Maximum 120 ft <b>Sign Location:</b> Maximum 100 ft from any building, structure or pedestrian walkway <b>Construction:</b> All signs shall be constructed of non-combustible materials with non-reflective finish. Signs shall be illuminated with LED lighting.</p>	<p><b>Site Type:</b> Freestanding Sign (Type F)</p>		



**Exhibit “D”: Maximum Signage Area Table:**

Reference on Drawing A0.7	Location	# of Sign Faces	Maximum Sign Area/Face	Maximum Total Sign Area
Sign Type ‘A’	Southeast Facade	1	1,170 sf	1,170 sf
Sign Type ‘A1’	Southwest Facade	1	560 sf	560 sf
Sign Type ‘A1’	Northeast Facade	1	560 sf	560 sf
Sign Type ‘B’	Southwest Facade	1	90 sf	90 sf
Sign Type ‘B’	Northwest Facade	1	90 sf	90 sf
Sign Type ‘C’	Northwest Facade	1	80 sf	80 sf
Sign Type ‘D’	Entrance Drive from Prairie Stone Parkway	2	140 sf	280 sf
Sign Type ‘E’	Entrance Drive from Pratum Avenue	2	190 sf	380 sf
Sign Type ‘F’	Secondary Entrance from Prairie Stone Pkwy	2	145 sf	290 sf
Sign Type ‘G’	Outparcel	2	16 sf	32 sf
<b>Total Sign Area</b>				<b>3,532 sf</b>

## EXTERIOR SIGNS

The proposed drawings (#14-2224R1) for Main Event Entertainment, 2559 Pratum Ave, Hoffman Estates, IL 60192 include four exterior wall signs, three exterior metal awnings, one exterior dual tenant monument, and one interior sign -viewable from the front exterior.

- Three sets of main identification signs reading "Main Event Entertainment" are located on the north, west, and south elevation located in the center of the elevation, towards the top of the fascia. The overall height of these signs is 8'-3 ¼" and the overall length is 34'-9", a total of 287 square feet of sign area (when calculated by taking the extreme outer limits of the sign area). All channel letters consist of acrylic faces and backs, 5" deep painted aluminum returns, mounted with a 2" standoff from the wall fascia. The letters are dual illuminated with GE LED's, white LED's shining through the face and blue LED halo illumination on the rear, lighting the perimeter of the letters on the fascia.
- Two sets of ancillary signs reading "Eat. Bowl. Play." are located on the west and south elevation. The letter set on the west elevation is mounted on the interior behind the glass curtainwall to be viewable from the exterior. The letter set on the south elevation is mounted on the exterior. Both signs measure 10'-11 ¾" in overall height and 15'-3" in overall length. Both sets of channel letters consist of 5" deep painted aluminum returns, painted aluminum fronts and backs with GE Contour LED inset on face for outlined letter illumination. The letters are mounted with a 2" standoff from the wall fascia.
- Three standing seam awnings are proposed for installation to the right of the main entrance on the west elevation. The awnings are standing seam aluminum with open ends, measuring 5'-0" in length and 12' in height, with a 3'-6" projection. No copy is included.
- All four elevations are lined with one row of blue GE Contour LED lighting, spanning the top border of each elevation, at various lengths totaling 709' linear feet. The LED fixture projects approximately two inches from the fascia and the LED's are fully encapsulated weatherproof hard plastic cover.
- One dual-tenant 12' tall monument sign is proposed to be located on the northeast corner of the site. The 50 square foot sign cabinet is a fabricated aluminum box with routed out faces, with ¾" pocket routed acrylic, projecting ½" from the face. Both tenant faces have the tenant copy only illuminating, lighted with LED's. The top cabinet is lighted with a blue GE Contour LED border and the overall sign length is 12'-3". The 3'-4" base consists of a ledgestone along with a 22" side ledgestone support, designed to be consistent with existing style and materials dictated in the original master sign plan.

The proposed signs are designed to be consistent with the existing Hoffman Estates architecture & high level of aesthetics, resulting in a tasteful, unified theme. The proposed signage aligns with neighboring businesses signage and is scaled to provide good readability and long viewing distances for approaching viewers and intended visitors.

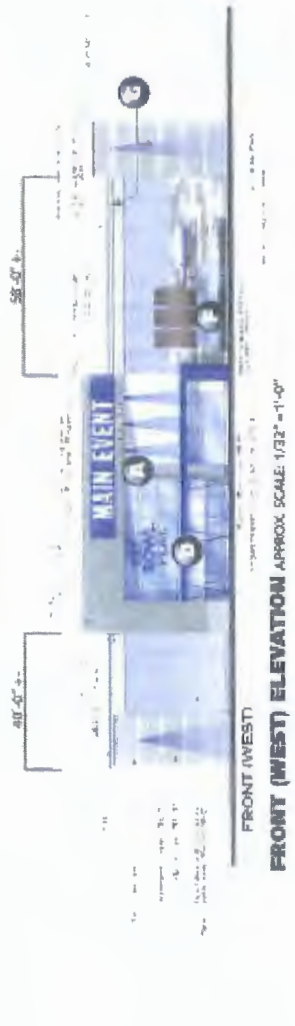
# Exhibit "E": Main Event Sign Drawings:

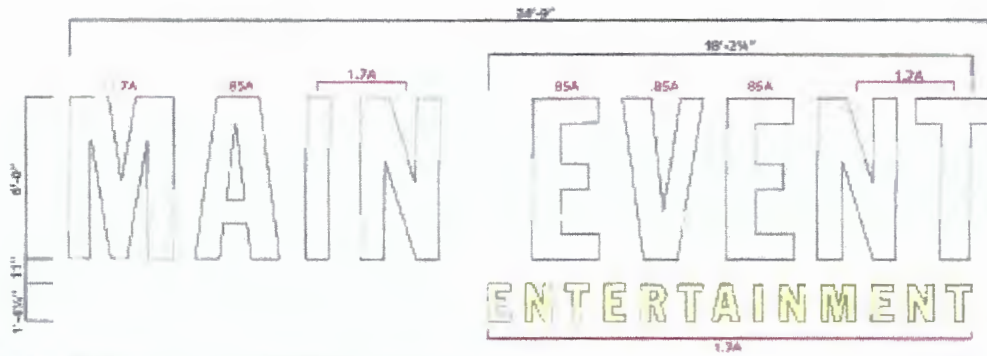
**MAIN EVENT**  
 14-222481  
 Proj. # S TO

**MAIN EVENT**  
 2500 RUSTLEWAVE AVE  
 NORTHMAN ESTATES, IL 60062  
 Account # M. WILSON  
 Designer JAG  
 Date 08/24/14

**Chandler Signs**  
 1225 W. 14TH ST. #100  
 CHICAGO, IL 60604  
 (773) 487-1100  
 www.chandler-signs.com

**FINAL ELECTION CONNECTION BY CUSTOMER**





10.2A - 120V  
4.4A - 277V



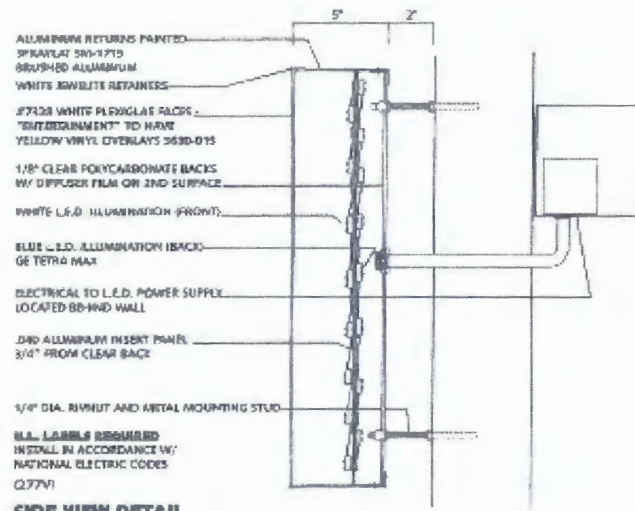
**CHANNEL LETTER DETAIL - SQ. FT. = 267**

(3) SETS REQUIRED - MANUFACTURE & INSTALL

Scale = 1/4" = 1'-0"



ISOMETRIC VIEW



SIDE VIEW DETAIL

**ALL LABELS REQUIRED  
INSTALL IN ACCORDANCE W/  
NATIONAL ELECTRIC CODES  
(NEC 277V)**

**MAIN EVENT**

14-222-0R1	
Sheet	3 of 16
MAIN EVENT	
2528 FRATLIN AVE NORTHMAN STATES, IL 60192	
Customer	M. WILSON
Design	RG
Date	08/24/14
APPROVALS:	
Client:	
Architect:	
Engineer:	
Electrician:	
Manufacturer:	
Installer:	
REVISIONS:	
BY	DATE
BY	DATE
BY	DATE

**Chandler Signs**

1200 Main St., Suite 100  
Chicago, IL 60607  
Tel: 773-326-1111  
Fax: 773-326-1112  
1800-326-1111  
1800-326-1112  
1800-326-1113  
1800-326-1114  
1800-326-1115  
1800-326-1116  
1800-326-1117  
1800-326-1118  
1800-326-1119  
1800-326-1120  
1800-326-1121  
1800-326-1122  
1800-326-1123  
1800-326-1124  
1800-326-1125  
1800-326-1126  
1800-326-1127  
1800-326-1128  
1800-326-1129  
1800-326-1130

**FINAL ELECTRICAL CONNECTION BY CUSTOMER**

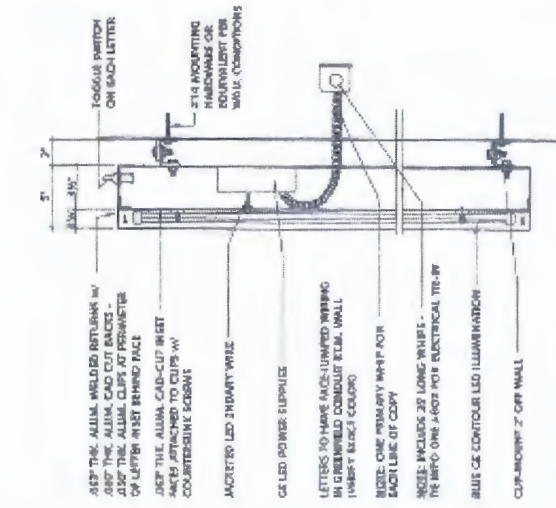




**WALL-MOUNTED LETTERS (INTERIOR)** SCALE: 3/8" = 1'-0"

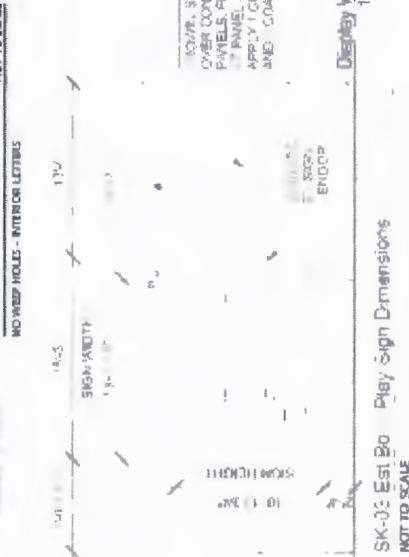
- (1) SET REQUIRED - MANUFACTURE & INSTALL
- 3" DEEP OPEN-FACE H-SHIELD CHANNEL LETTERS FLUSH-MOUNTED TO WALL AS REQ'D
- 0.063" THK. ALUM. RETURNS AND INSET FACE PAINTED TO MATCH 1600-87 ROYAL BLUE
- BLUE CE CONTOUR LED ILLUMINATION
- SELF-CONTAINED LED POWER SUPPLIES

**5.25 AMPS - (1) 277V 20 A CIRCUIT**



**SIDE VIEW**

**LETTER SECTION** NOT TO SCALE



**MAIN EVENT**  
ENTERTAINMENT

PROJECT NO. 14-232-051  
SHEET 4 OF 16

**MAIN EVENT**

3550 MAULANA AVE  
MAYHEW PARKS, A. 67022  
ADDRESS: M. WILSON  
REG. NO. RG  
DATE: 09/24/14

PROJECT: 010  
OWNER: 010  
DESIGNER: 010  
DATE: 010

FOR THE DESIGNER, SEE: 010  
ARCHITECT: 010

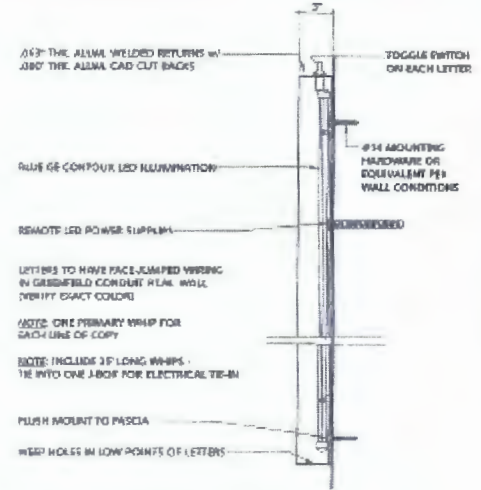
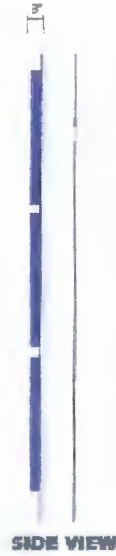
**Chamberlain Signs**

1100 S. 10TH ST. SUITE 100  
DENVER, CO 80202  
TEL: 303.733.1100  
WWW.CHAMBERLAINSIGNS.COM

FINAL ELECTRICAL CONNECTIONS BY CHAMBERLAIN



57'-0"  
70'-0"  
70'-0"



LETTER SECTION NOT TO SCALE

**WALL-MOUNTED LETTERS (EXTERIOR)** SCALE: 3/8"=1'-0"

(1) SET REQUIRED - MANUFACTURE & INSTALL  
 3" DEEP OPEN-FACE CHANNEL LETTERS FLUSH-MOUNTED TO WALL AS REQ'D  
 .015" THK. ALUMA RETURNS and INTERIORS PAINTED TO MATCH 9630-S7 ROYAL BLUE  
 BLUE GE CONTOUR LED ILLUMINATION  
 REMOTE LED POWER SUPPLIES

**5.25 AMPS - (1) 277V 20 A CIRCUIT**

**MAIN EVENT**  
CHANDLER SIGNS

---

14-2224R1  
 Item 5 of 10

---

**MAIN EVENT**

2508 PRULIN AVE  
 HOUSTON TEXAS 77058

Advertiser: M. WILSON  
 Designer: RC  
 Date: 05/24/14

---

Project Code: \_\_\_\_\_  
 Client: \_\_\_\_\_  
 Sales: \_\_\_\_\_  
 Estimating: \_\_\_\_\_  
 In Progress: \_\_\_\_\_  
 Location: \_\_\_\_\_

---

Project Code: \_\_\_\_\_  
 81 REC 16.26 13 update device  
 101.001.0.00.000

---

**Chandler Signs**  
Chandler Signs, Inc.

22400 Katy, Suite 200, Houston, TX 77058  
 281-491-2200 Fax 281-491-2200

6304 Midway, Houston, TX 77058  
 281-740-3888 Fax 281-740-3888

6200 Park Center Drive, Suite C, Houston, TX 77058  
 281-491-2200 Fax 281-491-2200

1600 Bay Area, Suite 200, Houston, TX 77058  
 281-491-2200 Fax 281-491-2200

22400 Katy, Suite 200, Houston, TX 77058  
 281-491-2200 Fax 281-491-2200

2700 Westinghouse, Suite 100, Houston, TX 77058  
 281-491-2200 Fax 281-491-2200

400 Westinghouse, Suite 100, Houston, TX 77058  
 281-491-2200 Fax 281-491-2200

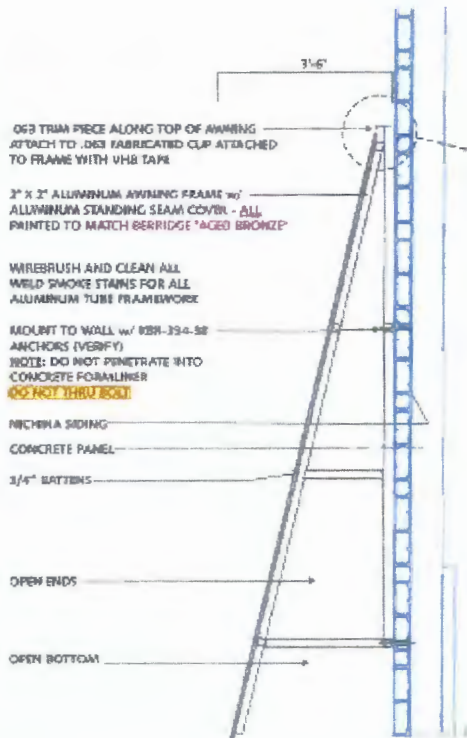
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**OTHER ELECTRICAL CONNECTION BY CUSTOMER**

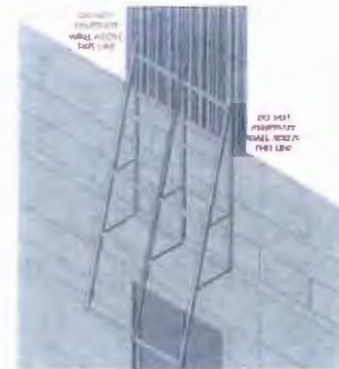
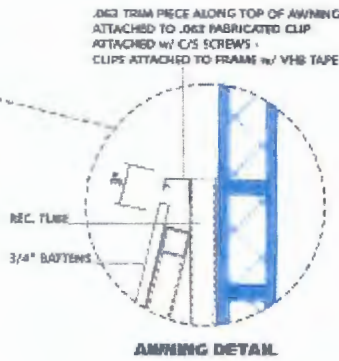


**AWNING DETAIL** SCALE: 1/2" = 1'-0"

1) REQUIRED - ACQUIRE & INSTALL  
 PAINT HARDWARE AND MOUNTING PLATES TO MATCH BRIDGE "AGED BRONZE"



**END VIEW**



**MAIN EVENT**

14-7224R.1  
 Sheet 6 of 16

**MAIN EVENT**

1559 PENTUM AVE  
 HOFFMAN ESTATES, IL 60139

Account Rep: AL WILSON  
 Designer: RG  
 Date: 09/24/14

Project Location: [Blank]

Client: [Blank]  
 Date: [Blank]  
 Architect: [Blank]  
 Engineer: [Blank]  
 Contractor: [Blank]

1) REQUIRED - ACQUIRE & INSTALL  
 PAINT HARDWARE AND MOUNTING PLATES TO MATCH BRIDGE "AGED BRONZE"

**Chandler Signs**  
 1200 West 17th Street, Suite 100  
 Chicago, IL 60608  
 Tel: 773-228-1111  
 Fax: 773-228-1112

1) REQUIRED - ACQUIRE & INSTALL  
 PAINT HARDWARE AND MOUNTING PLATES TO MATCH BRIDGE "AGED BRONZE"

**FINAL ELECTRICAL CONNECTION BY CUSTOMER**

**MAIN EVENT**  
ENTERTAINMENT

Project No.	14-2224R-1
Sheet	3 of 16
Project Name	MAIN EVENT
Address	3593 MAINWAY AVE NORTHMAN EDGE, IL 61822
Architect	J.A. WELLS & ASSOCIATES
Designer	RG
Date	09/24/14
Scale	AS SHOWN
Notes	1. SEE SHEET 14-2224R-1 FOR MATERIALS AND FINISHES.
Contractor	
Client	

**Chandler Signs**  
www.chandler-signs.com

200 West 10th Street, Suite 100  
Chandler, AZ 85224  
Phone: 480-944-2222  
Fax: 480-944-2222  
Email: info@chandler-signs.com  
Website: www.chandler-signs.com

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**TOP VIEW**



CABINET TO BE FABRICATED ALUMINUM PAINTED TO MATCH 3M 3630-87 ROYAL BLUE 90. PFS = 50

INTERNALLY ILLUMINATED WITH WHITE LED'S COPY TO BE ROUTED-OUT PUSH THRU WHITE ACRYLIC - BAND TO HAVE YELLOW TRANS. VINYL OVERLAY 3630-017

ALUMINUM CHANNEL BORDER WITH BLUE GE CONTIGUR LED LIGHTS

ALUMINUM SIGN CABINET PAINTED BLACK WITH ROUTED-OUT PUSH THRU WHITE ACRYLIC TENANT COPY - INTERNALLY ILLUMINATED WITH WHITE LED'S

LEDSTONE SIGN BASE STYLE AND COLOR TO BE DETERMINED. WITH CAST STONE ACCENT TOPPERS

INSTALL WITH STEEL SUPPORTS AND CONCRETE FOUNDATION TO MEET CITY CODE



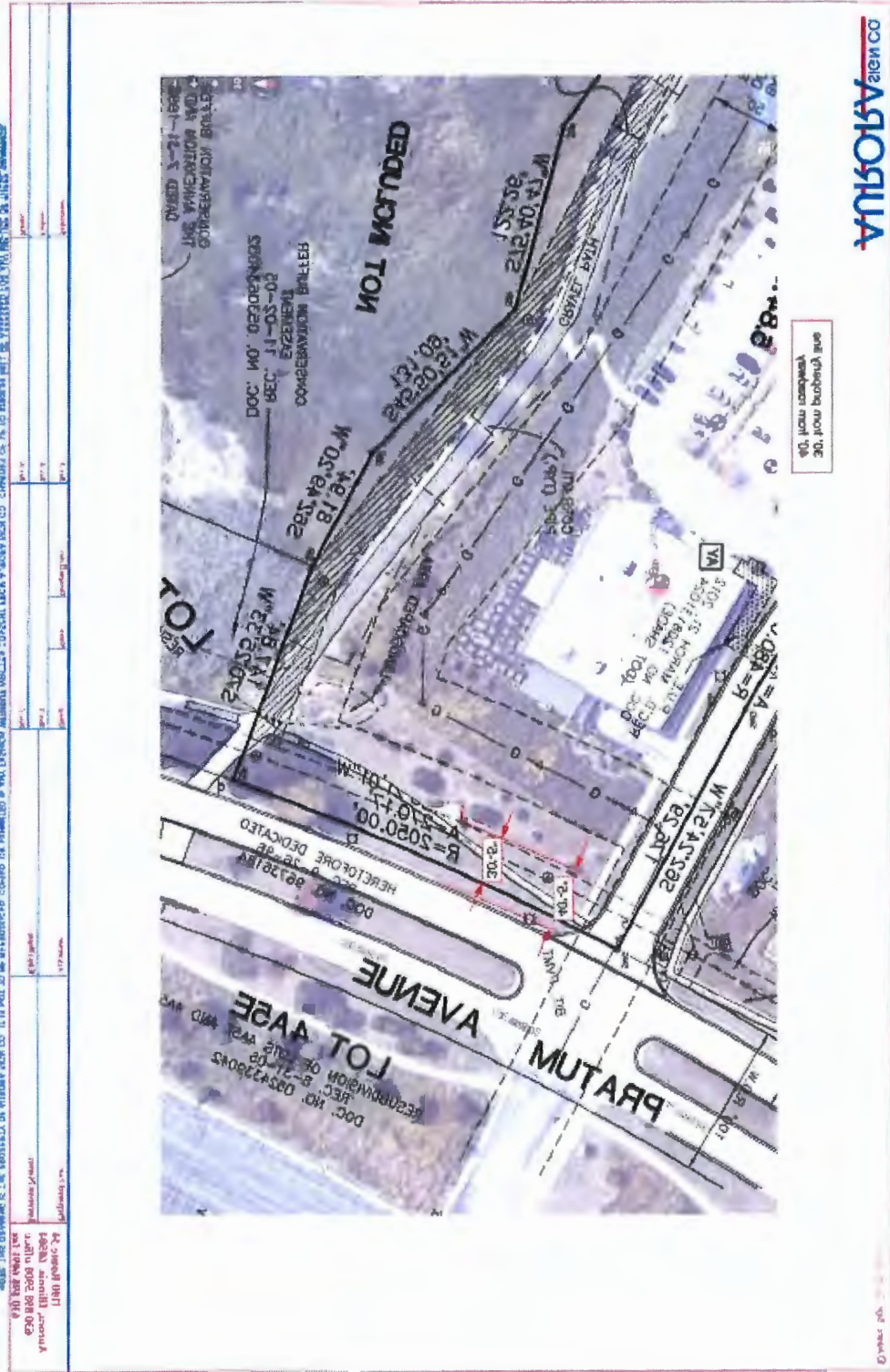
**SIDE VIEW**

**D/P MONUMENT SIGN**  
MFG. & INSTALL ONE (1) DOUBLE FACE MONUMENT SIGN

FOR ALL ELECTRICAL CONNECTIONS BY CUSTOMER



Exhibit "F": Saddle Room/OTB Sign Drawings:





**SINGLE-FACED NON-ILLUMINATED SIGN**

FABRICATE AND INSTALL SIGN OF ALUMINUM, WOOD AND ANGLE.  
 FACE TO BE AGED BARN WOOD OR NEW WOOD PLANKS STAINED GRAY.  
 COPY TO BE CNC-CUT 1/2" ACRYLIC WITH BLACK FINISH.  
 FRAME AND POSTS TO BE BARE STEEL ALLOWED TO WEATHER AND RUST.  
 COPY TO BE ON STAND-OFFS.  
 BASE TO BE CONSTRUCTED OF LANNON STONE.  
 SCALE 3/4"=1"



25' from property line  
 36' from roadway



**INSTALLATION INSTRUCTIONS**

SET POSTS IN CONCRETE TO DEPTH OF 42".  
 SIGN TO BE SETBACK 30' FROM PRATUM AVE.

1100 Route 34  
 Aurora, Illinois 60504  
 630 898 5900 office  
 630 898 6091 fax

Prepared For: THE SADDLE ROOM  
 Location Name:

Address: 2559 PRATUM AVE.  
 City/State: HOFFMAN ESTATES, IL

Drawn: 215204  
 Rev 1:  
 Rev 2:

Sheet: 8  
 Design Date: 4/16/16

Rev 3:  
 Rev 4:  
 Rev 5:

Salesman:  
 Color:  
 Notes:

PROPERTY  
OWNERS  
ASSOCIATION

March 8, 2019

VIA E-MAIL

Mr. Chris Gillis  
The Saddle Room  
2559 Pratum Ave,  
Hoffman Estates, IL 60192

**RE: THE SADDLE ROOM – GROUND SIGN PLAN – POA CONDITIONAL  
APPROVAL**

Dear Mr. Gillis,

The Prairie Stone Property Owners Association (“POA”) Design Review Committee has reviewed your Ground Sign Plan from Aurora Sign Company dated April 16, 2016 for review and final approval. POA Design Review Committee grants final conditional approval based on the following conditions:

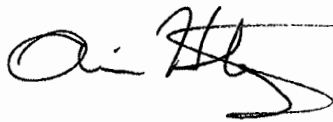
1. When I went to the proposed location to look, when this sign gets installed, I think much or a portion of the tall grass will be demolished to make room for the sign. The tall grass bed along with the grass shall be restored or expanded and installed behind the sign as your elevation indicates on this plan. For every existing grass plug demolished, if required, a newly installed grass plug shall be installed.
2. If additional tall grass to satisfy Condition #1, Petitioner/Sign Company shall use the same tall grass spec as the existing tall grass and use a licensed commercial landscaper to perform the work/restoration.
3. Before work is to begin, the Petitioner/sign company is to reach out to the POA and schedule an on-site meeting with its irrigation maintenance vendor to lay out the existing irrigation line. Any damage to the existing line as a result of the sign install will require Saddle Room to pay for the repairs.
4. Any rust from the paint or material that may weep onto the back and front face of the sign and stone base and that it may require regular cleaning by the petitioner shall be cleaned by Saddle Room/petitioner. In the future, if the weeping rust/material onto the sign/stone becomes a chronic condition even after cleaning, then the POA will require at a later time, a permanent solution with a material that will not decay/oxidize and weep so as not to degrade/affect the aesthetics of the wood sign and/or stone base.

5. Once the sign and landscaping restoration is completed, Petitioner shall initiate a final walk thru meeting with the POA for final sign off.
6. Please provide the POA the Village Permit for the sign
7. There is an existing irrigation main line that runs along Pratum Ave. Prior to the start of construction, the owner/petitioner's shall initiate the scheduling of a meeting with the POA and any of its vendors on-site to review and locate any existing POA infrastructure in the field.
8. The coordination of and cost of repair of any damaged or disturbed existing irrigation and/or landscape electrical lighting lines shall be the sole responsibility of the petitioner/owner. All repairs of these lines shall be performed by POA contractors to POA standards and billed directly to the developer/owner at POA's discretion if not coordinated with the POA and rectified by petitioner/owner prior to signage completion.
9. Any disturbed existing turf areas in the Pratum Avenue setback, if applicable, shall be fescue turf. See attached POA approved fescue mix and the POA turf restoration procedure to be used. Bluegrass seed or sod is not allowed in the setbacks.

Please note, that the POA and the POA's agents or representatives review of the aforementioned drawings, shall not constitute an implication, representation or certification by POA or POA's agents or representatives that said drawings are accurate, or in compliance with all applicable statutes, codes, ordinances and other regulations that govern or pertain to the above referenced project, the responsibility for which being solely that of the petitioner/owner. Also, the POA review and/or approval does not constitute an approval or waiver of any other conditions, covenants or restrictions that may encumber the property.

If you have any questions, please call me at (847) 645-5000. Thank you.

Sincerely,



Aris Hantgos  
POA Manager

cc: Jim Stumpf (via email)  
Design Review Committee (via email)



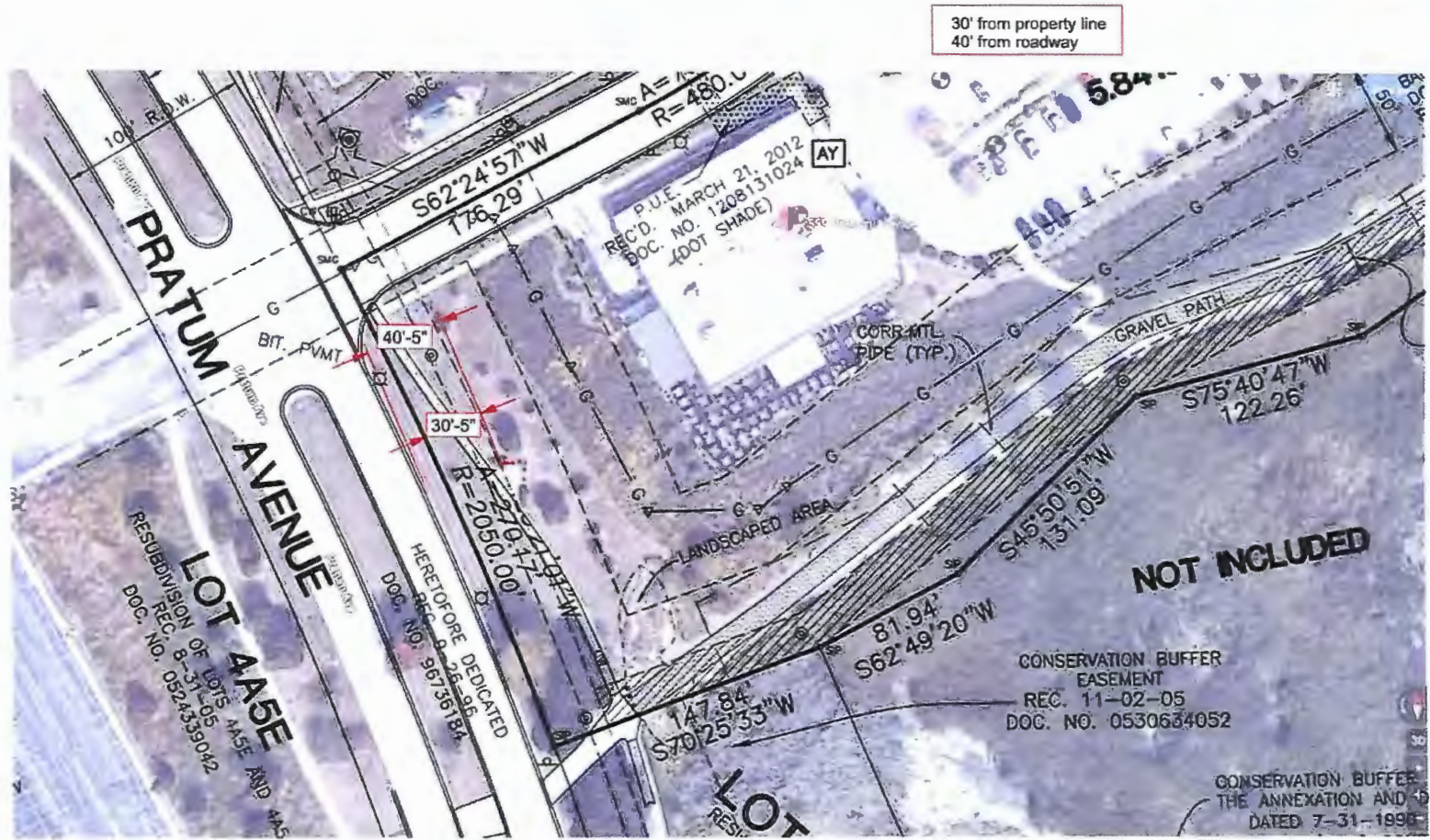
**West Shore Pipe Line**  
**12920 Bell Road**  
**Lemont, IL 60439**  
**630 / 257-7583**

December 20, 2018

Hi Kris,

Please present this confirmation to Hoffman Estates that West Shore Pipe Line is granting permission to install the sign along Pratum Blvd. I personally was on site and the sign presents no conflict with our operation. I appreciate your concern and respect for our pipeline and enjoy the relationship the Saddle Room has with West Shore. To whom this may concern with Hoffman Estates receiving this e-mail, Kris has been not only patient, but very accommodating and professional in every instance that we have needed since they have established themselves in Hoffman Estates.

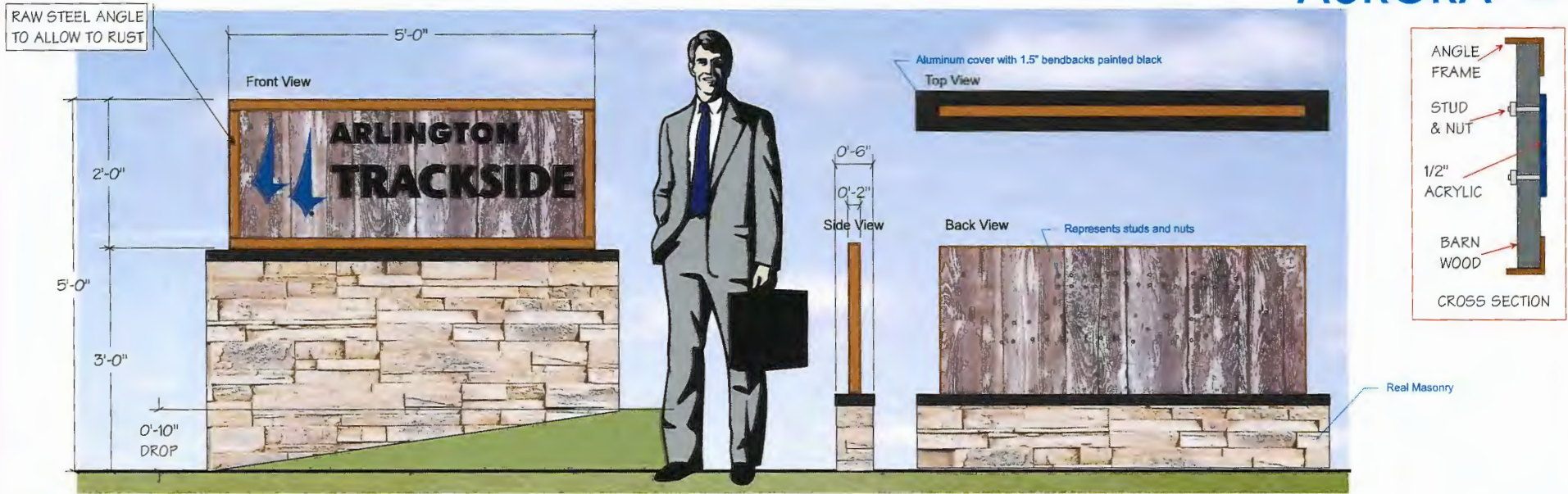
---Bill OMalley



30' from property line  
40' from roadway

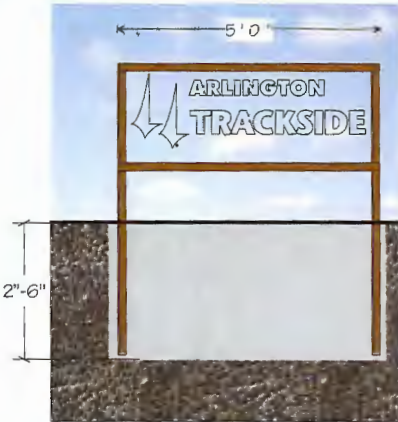
1100 Route 34 Aurora, Illinois 60504 630 898 5900 office 630 898 6091 fax	Prepared For:	Address:	Drawn:	Sheet:	Design Date:	Rev 3:	Submitted:
	Location Name:	City/State:	Rev 1:			Rev 4:	Checked:
			Rev 2:			Rev 5:	Notes:

NOTE: THIS DRAWING IS THE PROPERTY OF AURORA SIGN CO. IT IS NOT TO BE REPRODUCED, COPIED, OR EXHIBITED IN ANY FASHION WITHOUT WRITTEN CONSENT FROM AURORA SIGN CO. CHARGES OF UP TO \$2000.00 WILL BE ASSESSED FOR ANY MIS-USE OF THESE DRAWINGS.



**SINGLE-FACED NON-ILLUMINATED SIGN**

FABRICATE AND INSTALL SIGN OF ALUMINUM, WOOD AND ANGLE.  
 FACE TO BE AGED BARN WOOD OR NEW WOOD PLANKS STAINED GRAY.  
 COPY TO BE CNC-CUT 1/2" ACRYLIC WITH BLACK FINISH.  
 FRAME AND POSTS TO BE BARE STEEL ALLOWED TO WEATHER AND RUST.  
 COPY TO BE ON STAND-OFFS.  
 BASE TO BE CONSTRUCTED OF LANNON STONE.  
 SCALE 3/4"=1'



25' from property line  
 36' from roadway



**INSTALLATION INSTRUCTIONS**

SET POSTS IN CONCRETE TO DEPTH OF 42".  
 SIGN TO BE SETBACK 30' FROM PRATUM AVE.

1100 Route 34 Aurora, Illinois 60504 630 898 5900 office 630 898 6091 fax	Prepared For: THE SADDLE ROOM	Address: 2559 PRATUM AVE.	Drawn: 216204	Sheet: 8	Design Date: 4/16/16	Rev 3:	Salesman:	
	Location Name:	City/State: HOFFMAN ESTATES, IL	Rev 1:	Rev 2:	Rev 4:	Rev 5:	Colors:	
							Notes:	

NOTE: THIS DRAWING IS THE PROPERTY OF AURORA SIGN CO. IT IS NOT TO BE REPRODUCED, COPIED, OR EXHIBITED IN ANY FASHION WITHOUT WRITTEN CONSENT FROM AURORA SIGN CO. CHARGES OF UP TO \$2000.00 WILL BE ASSESSED FOR ANY MIS-USE OF THESE DRAWINGS.

**NOTICE OF PUBLIC HEARING**  
Notice is hereby given that the Planning and Zoning Commission of the Village of Hoffman Estates will hold a public hearing of the request of Yavitski LLC (Owner) and Jim Stumpf (Applicant) to consider a Master Sign Plan Amendment under the Zoning Code on the property located at 2559 Pratum Ave. P.I.N.: 01-32-302-051-0000 01-32-400-026-0000  
The hearing will be held on Wednesday, April 17, 2019 at 7:00 p.m. in the Hoffman Estates Municipal Building, 1900 Hassell Road, Hoffman Estates, IL.  
Eva Combs, Chairperson  
Planning and Zoning Commission  
Published in Daily Herald  
April 2, 2019 (4521748)

**CERTIFICATE OF PUBLICATION**  
**Paddock Publications, Inc.**

# Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **DAILY HERALD**. That said **DAILY HERALD** is a secular newspaper and has been circulated daily in the Village(s) of Algonquin, Antioch, Arlington Heights, Aurora, North Aurora, Bannockburn, Barrington, Barrington Hills, Lake Barrington, North Barrington, South Barrington, Bartlett, Batavia, Buffalo Grove, Burlington, Campton Hills, Carpentersville, Cary, Crystal Lake, Deerfield, Deer Park, Des Plaines, Elburn, East Dundee, Elgin, South Elgin, Elk Grove Village, Fox Lake, Fox River Grove, Franklin Park, Geneva, Gilberts, Glenview, Grayslake, Green Oaks, Gurnee, Hainesville, Hampshire, Hanover Park, Hawthorn Woods, Highland Park, Highwood, Hoffman Estates, Huntley, Inverness, Island Lake, Kildeer, Lake Bluff, Lake Forest, Lake in the Hills, Lake Villa, Lake Zurich, Libertyville, Lincolnshire, Lindenhurst, Long Grove, Melrose Park, Montgomery, Morton Grove, Mt. Prospect, Mundelein, Niles, Northbrook, Northfield, Northlake, Palatine, Park Ridge, Prospect Heights, River Grove, Riverwoods, Rolling Meadows, Rosemont, Round Lake, Round Lake Beach, Round Lake Heights, Round Lake Park, Schaumburg, Schiller Park, Sleepy Hollow, St. Charles, Streamwood, Sugar Grove, Third Lake, Tower Lakes, Vernon Hills, Volo, Wadsworth, Wauconda, Waukegan, West Dundee, Wheeling, Wildwood, Wilmette  
County(ies) of Cook, Kane, Lake, McHenry  
and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the DAILY HERALD is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 02-APR-19 in said DAILY HERALD.

IN WITNESS WHEREOF, the undersigned, the said PADDOCK PUBLICATIONS, Inc., has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

PADDOCK PUBLICATIONS, INC.  
DAILY HERALD NEWSPAPERS

BY Laula Baltz  
Authorized Agent

Control # 4521748



2559 Pratum Ave

P.I.N. 01-32-302-051-0000

01-32-400-026-0000



April 2019  
Village of Hoffman Estates  
Planning Division



2559 Pratum Ave - The Saddle Room



0 95 190 Feet





VILLAGE OF HOFFMAN ESTATES  
PLANNING AND ZONING COMMISSION  
**FINDING OF FACT**

PROJECT NO.: 2018055P

VILLAGE BOARD MEETING DATE: May 6, 2019

PETITIONER(S): MAPT Properties LLC (Applicant) and S&L Real Estate Properties LLC (Owner)

PROJECT ADDRESS: 1260 W. Higgins Rd.

ZONING DISTRICT: B-2, Community Business

Recommendation: **APPROVAL**

Vote: 7 Ayes 4 Nays 0 Absent

PZC MEETING DATE: April 17, 2019

STAFF ASSIGNED: MO KHAN

**A. Approval of a request by MAPT Properties LLC (Applicant) and S&L Real Estate Properties LLC (owner) for a Special Use Permit in accordance with 9-8-2-C-9 to operate a Vehicle Storage Lot at 1260 W. Higgins Road with the following conditions:**

**General Condition**

1. No occupancy of the building shall occur.

**Conditions to be met prior to Storing/Parking Cars On-Site**

2. Parking Lot shall be patched and seal coated.
  - a. Any potholes shall be repaired
  - b. Coordinate with property owner at 1220 W. Higgins to fix large potholes in the shared access drive aisle
3. Restripe Parking lot in accordance with code. Parking stalls must be 9' x 18' with 24' drive aisles
4. All site lighting shall be repaired in accordance with the Code if needed. If new lighting fixture will have to be installed, building permit must be submitted for approval.
5. Dumpster Enclosure must be repaired.
6. Remove any debris/garbage from the site
7. Remove medical drop off boxes at the rear of the building

**Conditions to be met within 6 Months of Approval Date**

8. Remove medical business signage from doors, windows and building
9. Remove "urgent care" sign
10. Fix the base of the pole sign or remove the entire sign structure
11. Remove and replace dead landscaping at the front of the building foundation
12. Provide landscaping along the north property line to provide screening for the residential properties adjacent to the north
13. Remove standalone metal post near the dumpster enclosure
14. Remove wood box sign frame from light post near dumpster enclosure
15. Provide a railing for the steps leading to the dumpster enclosure
16. Fence along the north property line must be repaired so that it does not require support from anchor bolts and cable to be upright.

### AUDIENCE COMMENTS

Dr. Zahrebelski, Ms. Zahrebelski, and Dr. Mack, 1220 W. Higgins Rd., stated the following:

1. The proposed use vehicles will cause crimes to increase as the vehicles will attract people to the site and will cause property crimes to occur to their building at 1220 W. Higgins Rd.
2. The proposed use will decrease the value of their property since when they bought the property it was part of a medical office setting.
3. The proposed use will deter patients who will not want to be bothered by the increased congestion created by the storage of vehicles and it poses a danger to their elderly patients.
4. The proposed use will cause stormwater and flooding problems for the adjacent properties due to the vehicles being stored in the parking lot.

Mr. Tayeb, 1260 W. Higgins Rd., stated the following:

1. They are the current owner of the property and are selling the property to Motor Werks. He stated as the existing owner that he is okay with the sale and proposed use.

Ms. Giglio, 1395 Fairmont Dr., stated the following:

1. Having a fence in the middle of buildings will not look right and that the lights from the property will be bothersome as she can see the lights from the high school from her backyard.

### FINDING

The Planning & Zoning Commission heard from the petitioner who explained that they are requesting a Special use to operate a Vehicle Storage Facility that will provide additional off-site parking for their multiple car dealership businesses located nearby in the Village.

Staff informed the Commission that the proposed special use would not have an adverse impact on adjacent properties nor the public way. Staff further added as part of the approval for the special use conditions have been suggested that will improve the site visually and bring the property into compliance with various code sections.

Staff informed the Commission that they received a letter of objection from Dr. Mack, 1220 W. Higgins Rd., and have consulted with various Village Staff based on the concerns stated in the letter:

1. In regards to concerns for higher traffic volume, the Petitioner stated that they do not plan to move more than 10 vehicles per day and they will not be receiving shipment of vehicles at this site.
2. Staff has reached out to the Police Department to gather data regarding property crimes but at this time, Staff is not aware of a prevalence of property crimes at car dealerships located within the Village.
3. Staff has consulted with the Village Engineer regarding stormwater and flooding concerns. Village Engineer stated the stormwater facility for 1260 W. Higgins is operating as it should and has not received any complaints about the property regarding stormwater or flooding. Staff further added that the vehicles being stored are newer vehicles so that the chance that they have leaking fuel or batteries is low.

The Commission asked if the Applicants would be installing any fencing or other security measures. The Petitioner stated they are planning to construct a six-foot chain-link fence and have had discussion regarding installing security cameras on the site. There will also be employees on the site during their business hours. The

Planning and Zoning Commission Finding of Fact  
Special Use- Vehicle Storage – 1260 W. Higgins  
Village Board Meeting Date: May 6, 2019

Applicant further stated they are working with their Security Consultants for recommendation on what type of fence and security measures to install.

The Commission asked the Applicants about their long-term plan for the site. The Applicant stated that they plan to demolish the existing building. Staff stated that the demolition of the building can occur without review by the Commission. Commissioner Harner stated he is uncomfortable approving the proposed use if cars will surround the building as it is currently.

The Commission asked if there would be a gate to the site. The Applicant stated that a gate would be installed for access to and from the site. Staff clarified that any gate or fence constructed cannot block or restrict access along the shared driveway/access easement.

Vice Chair Ring stated he has concerns about dual access driveways and stated he would prefer all access to the site be at the western part of the property to avoid the medical facility at 1220 W. Higgins. Vice Chair Ring also asked if the Applicants have looked at any other sites that may be more appropriate. The Applicant stated that they have looked at other locations. However, this site is the best option so far due to its close proximity to their dealerships.

Chairperson Combs stated that she would like to see full site plan regarding fencing and lighting. Chairperson Combs stated she is concerned lighting having a negative impact on the adjacent residential properties. The Applicant stated that the lights they plan to install full cut-off light fixtures that will be minimally visible from adjacent properties. The Applicant further stated that the lighting system would be computerized so that the lights dim at certain hours of the day. Staff further added that both the fence and lighting change would have to go through the Permit review process and be approved by Staff prior to installing the fence and lights.

PLANNING AND ZONING COMMISSIONERS

Chairperson Eva Combs	Lenard Henderson
Vice Chairman Ring	Tom Burnitz
Adam Bauske	Nancy Trieb
Sohita Patel	Denise Wilson
Lon Harner	Minerva Milford
Myrene Iozzo	

ROLL CALL VOTE

7 Ayes  
4 Nays [Combs, Ring, Harner, Milford]  
0 Absent

**MOTION PASSED**

The following attachments are hereby incorporated as part of this Finding of Fact:

Staff's Report  
General Application  
Special Use Addendum  
Project Narrative  
Plat of Survey  
Legal Notice of Publication

Planning and Zoning Commission Finding of Fact  
Special Use- Vehicle Storage – 1260 W. Higgins  
Village Board Meeting Date: May 6, 2019

Aerial Location Map

Letter of Opposition – Dr. Mack (1220 W. Higgins Rd.)

Letter from Existing Property Owner – Mr. Tayeb (1260 W. Higgins Rd.)



### **STANDARDS**

The Planning and Zoning Commission shall, in making its determination the potential impacts that the granting of the special use may or may not have on the surrounding neighborhood. Specifically, "Section 9-1-18-I of the Zoning Code (Standards for a Special Use) states: "No special use shall be recommended by the Planning and Zoning Commission unless said Planning and Zoning Commission shall find:

1. **That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;**
2. **That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;**
3. **That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;**
4. **That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;**
5. **That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets; and**
6. **That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Planning and Zoning Commission.**

### **ANALYSIS**

A vehicle storage facility is not listed as a permitted or specifically stated special use within the B-2, Community Business, Zoning District. The request for a special use is being made under the "all other uses" category stated in Sec. 9-8-2-C-9.

The purpose of the B-2, Community Business, Zoning District is *to provide areas for a broad range of business establishments which offer goods and services to residents of the entire community* [Sec. 9-8-2-A]. Though the proposed use itself does not offer goods and services directly to the entire community, it will be supporting a nearby automobile sales business that does offer goods and services to the entire community. The proposed use is to allow for nearby off-site storage of vehicles that are for sale and can be quickly be brought on-site.

Though, vehicle storage facility is not listed as a permitted or specially stated special use within the B-2 Zoning District, other automobile related uses are allowed. Automobile Sales & Service Shops and Automobile Service Repair are permitted and Automobile Service Stations are allowed by special use.

Based on the information provided by the applicant, the proposed use will not have an adverse impact on adjacent properties, including the adjacent residential area to the north. Based on the submitted information



Meeting Date: April 17, 2019

by the applicant, only a few vehicles will be moved on- and off-site at a time via porters and receiving of vehicle shipments will not occur at this site. The intensity of the use and the impact it will have on the adjacent properties will be less than the impact created by other permitted automobile uses in the B-2 Zoning District.

## **RECOMMENDATION**

**Approval of a request by MAPT Properties LLC (Applicant) and S&L Real Estate Properties LLC (owner) for a Special Use Permit to operate a Vehicle Storage Lot at 1260 W. Higgins Road with the following conditions:**

### **General Condition**

1. No occupancy of the building shall occur.

### **Conditions to be met prior to Storing/Parking Cars On-Site**

2. Parking Lot shall be patched and seal coated.
  - a. Any potholes shall be repaired
  - b. Coordinate with property owner at 1220 W. Higgins to fix large potholes in the shared access drive aisle
3. Restripe Parking lot in accordance with code. Parking stalls must be 9' x 18' with 24' drive aisles
4. All site lighting shall be repaired in accordance with the Code if needed. If new lighting fixture will have to be installed, building permit must be submitted for approval.
5. Dumpster Enclosure must be repaired.
6. Remove any debris/garbage from the site
7. Remove medical drop off boxes at the rear of the building

### **Conditions to be met within 6 Months of Approval Date**

8. Remove medical business signage from doors, windows and building
9. Remove "urgent care" sign
10. Fix the base of the pole sign or remove the entire sign structure
11. Remove and replace dead landscaping at the front of the building foundation
12. Provide landscaping along the north property line to provide screening for the residential properties adjacent to the north
13. Remove standalone metal post near the dumpster enclosure
14. Remove wood box sign frame from light post near dumpster enclosure
15. Provide a railing for the steps leading to the dumpster enclosure
16. Fence along the north property line must be repaired so that it does not require support from anchor bolts and cable to be upright.

Attachments:    General Application  
                      Special Use Addendum  
                      Project Narrative  
                      Plat of Survey  
                      Legal Notice Publication  
                      Aerial Location Map



# VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING GENERAL APPLICATION\*

Special Use for Motor Werks     Rezoning from \_\_\_\_\_ to \_\_\_\_\_

Variation:     Commercial     Residential     Sign

Plat (Subdivision & Others):     Preliminary     Final

Site Plan:     Amendment     Concept     Preliminary     Final

Master Sign Plan:     Amendment

Other: \_\_\_\_\_

**\* ADDENDUM MATERIALS ARE REQUIRED FOR SPECIFIC REQUESTS**

**Posting of Notification Sign(s) may be required.**

**Specific requirements will be provided when your request is scheduled.**

### FOR VILLAGE USE ONLY

Hearing Fee \$750<sup>00</sup>    Check No. 162236    Date Paid 3-19-19

Project Number: 2018-055P

Staff Assigned: MO KHAN

Meeting Date: APRIL 17<sup>TH</sup>, 2019

Public Hearing: Yes  No

Sign Posting Required: Yes  No

Date Sign Posted APRIL 3<sup>RD</sup>, 2019

### PLEASE PRINT OR TYPE

Date: 6 January 2019

Project Name: Motor Werks vehicle storage

Project Description: Vehicle storage permit

Project Address/Location: 1260 W. Higgins Road

Property Index No. 07-08-409-023-0000

Acres: 0.93    Zoning District: B-2

I. Owner of Record

Anwar S. Al-kunani S&L Real Estate Properties LLC

Name	1260 W. Higgins Road		Company	Hoffman Estates
Street Address			City	
State	IL	60169	Telephone Number	mmtayeb@sbcglobal.com
Zip Code			E-Mail Address	
Fax Number				

II. Applicant (Contact Person/Project Manager)

Deb Gammon MAPT Properties LLC

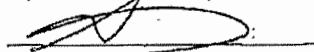
Name	1475 S. Barrington Road		Company	Barrington
Street Address			City	
State	IL	60010	Telephone Number	847.381.8900
Zip Code			E-Mail Address	dgammon@motorwerks.com
Fax Number				

Applicant's relationship to property: dealership and property CFO

III. Owner Consent for Authorized Representative

It is required that the property owner or his designated representative be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. If the owner cannot be present at the meeting, the following statement must be signed by the owner:

I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize Mick Austin/Marc Walk/Debra Gammon to act on my behalf and advise that he/she has full authority to act as my/our representative.



Owner Signature

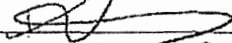
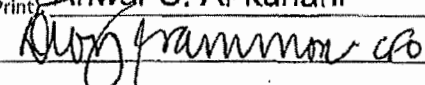
Anwar S. Al-kunani

Print Name

**IV. Acknowledgement(s)**

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village Identification cards that can be shown upon request.

The Owner and Applicant, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature:   
Owner's Name (Please Print): Anwar S. Al-kunani  
Applicant's Signature:   
(if other than Owner)  
Applicant's Name (Please Print): Debra J. Gammon on behalf of MAPT Properties LLC  
Date: 14 March 2019

All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.

Please contact the Planning Division (located in the Municipal Building) with any questions:

Email: [planning@hoffmanestates.org](mailto:planning@hoffmanestates.org)  
Address: 1900 Hassell Road  
Hoffman Estates, IL 60169  
Phone: (847) 781-2660  
Fax: (847) 781-2679

**Addendums Attached:**

- Special Use       Master Sign Plan  
 Rezoning       Other \_\_\_\_\_  
 Variation  
 Plat  
 Site Plan



# VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION SPECIAL USE ADDENDUM

## **REQUIRED SUBMITTALS:**

- General Application
- \$500 Special Use hearing fee/\$750 for "All Other Uses"
- Legal Description  
Typically found on a tax bill, survey, mortgage documents or deed
- Current Plat of Survey drawn to scale
- A scale drawing of the floor plan and elevations, including windows and door locations.
- A Project Narrative detailing the use, hours of operation, parking demand, etc. Provide relevant plans, studies, and any other documents to support the request.
- A written response to each of the Standards for a Special Use (see below).

*You are responsible for posting a notification sign(s) on your property 10 days before the Planning & Zoning Commission hearing and removing the sign(s) 10 days after final Village Board action. Specific requirements will be provided by Planning Staff.*

**No special use shall be recommended by the Planning and Zoning Commission unless said Commission finds that adequate evidence is provided to meet the Special Use Standards. (Respond to each standard as it applies to your request either below or address on a separate sheet)**

1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

Once the area is seal coated and stripped there is very  
 \_\_\_\_\_  
 little maintenance involved and all will be during  
 \_\_\_\_\_  
 normal working hours. All vehicle movement will be by  
 \_\_\_\_\_  
 qualified drivers during normal working hours.  
 \_\_\_\_\_

2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;

There are already parking lots on either side of the property. The property is already zoned commercial use with a tire repair shop to the east and a gas station to the west. The north side of the property is fenced to provide a visual blocker.

3. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;

Our intent is to eventually improve the look and appearance of the property. We will properly maintain the property to enhance the overall appearance. Our goal would be to acquire adjacent lots and create a business opportunity.

4. That adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided;

The lot already has lighting however, we will improve the lighting as a deterrent to intruders without impacting the surrounding neighbors. The lot already has adequate ingress/egress to Higgins Road.

5. That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in public streets; and

The property already has proper ingress/egress. The amount of traffic (1-2 vehicles at a time) will not significantly impede traffic. There will be no initial car deliveries at this location.

6. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except in each instance as such regulations may be modified by the Village Board pursuant to the recommendation of the Planning and Zoning Commission.

**As the property is zoned commercial, all of our uses will be commercial in nature. We have no intention of storing or using any hazardous materials and any repairs required to the vehicles will occur at the actual dealerships.**

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**Motor Werks Auto Group**

1475 S. Barrington Rd. Barrington, IL 60010  
(847) 381-8900 | www.motorwerks.com



Village of Hoffman Estates  
Attn: Planning and Zoning Commission

RE: Special use permit for 1260 W. Higgins Road, Hoffman Estates, IL

Motor Werks, through one of its real estate entities, MAPT Properties LLC, is in the process of purchasing this property. Such success is dependent on obtaining the proper permit from the Village.

This property would be used for excess vehicle storage. Due to the construction of our new Jaguar Land Rover building on Golf Road, we have run out of room to store vehicles. Even when construction is complete, we will have insufficient space to store vehicles needed to support our operations. We are currently renting space from the Rohrman organization on Higgins Road; however, that location mostly houses Infiniti vehicles. We still have need for Jaguar, Land Rover, Mercedes Benz and Sprinter who primarily used the space at 920 W. Golf.

In addition, our dealership business in Hoffman Estates has grown significantly over the last 3 years; especially our service business. Increased service dictates a need for increased space for the temporary storage of customer vehicles during the repair process. This puts considerable strain on space available for our new and used vehicle storage.

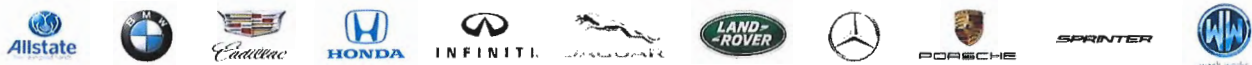
The addition of this property will allow us to store 70-100 vehicles. After the initial movement of vehicles, we would anticipate no more than 10 vehicles in or out on a daily basis, as we rotate vehicles onto the dealership lots or find a particular vehicle for a customer. There will be no car carrier deliveries on site. All activity will occur during our normal business operations hours of 6.30 a.m. until 8 p.m., Monday through Saturday.

Prior to moving vehicles onto the property, we intend on paving and re-stripping the lot, improving the lighting, and repairing the fencing. We will install security cameras to protect our inventory. There will be no loudspeakers or other noise generated, other than normal car operation noises. The existing building will not be used – our intent is to demolish the building to allow for more parking spaces.

We intend to be respectful of the surrounding neighbors. To the south of the property is Higgins Road. To the west, there is the Simply Stereo building and just past that the new gas station. Our intended use has no impact on Higgins Road other than nominal vehicle movement during normal business hours. We also feel there will be no impact on the business to the west of the property as they are zoned commercial use and have traffic throughout the day. Our vehicle movement through the shared drive with the property to the east should be less than their normal patient ingress and egress – resulting in little conflict and no additional noise.

The greatest impact could be to the residential neighborhood to the north. Their concerns would be noise, lighting and overall activity. As the property is already zoned commercial, they are accustomed to a certain amount of activity in the area during business hours. As our intended use is nothing more than vehicle storage with limited movement, there could be less activity than what was originally on the property. As for lighting, we are accustomed to providing lighting on all our properties which has minimal impact on the neighborhood (for example, our lot on Grove Avenue in Barrington.) As for noise, there will be normal vehicle noise – but only during normal working hours. We have no intention of car haulers on the property to either pick up or delivery vehicles. All of the activity at 1260 W. Higgins will be during normal working hours.

Our long-term plans would include acquiring more property to the west and/or east and creating a revenue generating activity on the properties in addition to vehicle storage.



## Moiez Khan

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**From:** Robert Mack <rrs1023@me.com>  
**Sent:** Monday, April 15, 2019 5:45 AM  
**To:** Moiez Khan  
**Cc:** donna@mackeycenter.com; George Zahrebelski  
**Subject:** April 17 meeting re 1260 W Higgins

Dear Mr. Khan,

Thank you for talking with me on the phone last week. As we discussed Dr. Zahrebelski and I object to the special use permit which is being considered.

Below is a letter about that fact which my attorney advised me to send you before the meeting.

Please let me know if you need more information.

Sincerely,

Robert Mack, MD

April 15, 2019

Dear Hoffman Estates Planning and Zoning Commission,

I write to express my objections to the proposed special use permit for 1260 West Higgins Rd by MAPT Properties and S&L Real Estate Properties in the strongest possible terms. The proposed special use permit would violate section 9-1-18-I-2 "No special use shall be recommended by the planning and zoning commission unless the planning and zoning commission shall find that the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood."

As an eye surgeon I serve an elderly, frail and frightened population with a variety of temporary and permanent vision problems. They are very sensitive to every aspect of their care and expect it to be delivered in within the context of a medical community, not the commercial environment which a car lot signifies. The building I purchased (1220 W. Higgins) and the one adjacent (1260) have been zoned for medical use for more than 20 years. I purchased 1220 from St. Alexius Medical Center as a prior medical arts building in order to be part of a medical community and would not have done so otherwise. Changing it in this way would be upsetting to my patients and therefore diminish the value of my property. I have queried over 100 patients recently and their opinion is unanimous about the adverse effect which an adjacent car storage lot would have on their experience with me. Competing with likely much higher traffic for ingress and egress through a shared driveway is also undesirable and even frightening for this vulnerable population. We worry that high traffic flow through a shared driveway would compromise their driving safety. I ask the commission to put seniors first.

Moreover, my practice has enjoyed referrals from the adjacent medical specialists and would see a practice revenue drop on that basis. This, too, lowers the value of my property for other subsequent doctors who might wish to acquire it. As baby boomers mature, we face an aging population and, personally, I feel that we need more medical real estate, not less.

We also worry that car storage would present an irresistible temptation for property crimes and that our adjacent building would likewise be vulnerable to the criminals cars attract.

I know that much of the rear of this property has been previously designated as a retention pond or similar use. I don't know when or under what circumstances the prior plug in the rear parking lot drain has been recently removed, but the rear of the lot has historically held a great deal of water for many days after heavy rains. Car storage in standing water seems unwise to me and I worry about leaking batteries, leaking fuel, and odor. If this is no longer a retention pond where do we now expect that water to go? Are the basements in the residential area to the rear now flooding? Was this concrete drain plug removed surreptitiously? As neighbors we were never notified about potential changes in the local water table. I myself am required to devote substantial surface area of my two adjacent properties (1220 and 1200 W. Higgins) to water retention, and have carefully avoided impinging on this space for the 8 years I have been here. There are many things I could do with that space otherwise, of course.

My medical colleague and co-owner George Zahrebelski, MD joins me in respectfully requesting that this special use permit be denied.

Sincerely,

Robert Mack MD  
1220 W. Higgins Rd.

Received after April 17 PZC meeting - Planning Division

From: Mahmoud Tayeb  
1260 Higgins Rd.  
Hoffman Estates, IL 60169

To: Village of Hoffman Estates  
Planning & Zoning Commission

22 April 2019

RE: Proposed sale of 1260 Higgins

Dear Ladies/ Gentleman's:

On the Public Hearing held on April 17, some people have objected to the proposed sale of our property. I would like to bring to your attention facts that you should be aware of.

1. Dr. Robert Mach, the owner of the next door ophthalmology business, brought with him his wife Julie, who is acting as his business manager, and another business partner.
2. I guess they wanted to be counted as 3 protesters, although they raised the same issues. I guess, they thought the number matters.
3. Julie, Dr. Mach's wife, has served as Village commissioner few years ago, and obviously she still has influence on some of the commissioners who agreed with her. She really presented lies and deception when she falsely stated that some of our patients leave our 70+ parking lot and goes and park in her small parking alley. The truth, as I stated at the meeting, that their practice is very busy 4 doctors working there, and they are very short on available parking spaces. They offered to pay us \$1 a month per car to use our parking lot, and we felt it was an insult, and we let them use it for FREE. She parks her personal car in our lot, and we have pictures to prove it.
4. THEY ARE FULLY AWARE, IF WE SELL OUR PROPERTY THEY WILL LOOSE THIS LUXURY.
5. There are Two (2) huge potholes in their driveway for the last 2 years, and your Village inspectors who always tour the area, never asked them to fix it. Actually, some of their patients came and complained to us about these potholes, and we always tell them to talk to the doctors next door.
6. I wonder how did they get away with this violation, unless Mrs. Julie Mach has strong influence in the Village!!. This is unfair.
7. Few years ago, one of their business partner who left their practice, told me that they have strong connection at the Village hall. I guess this explains it.
8. One work colleague told me years ago, it does not matter what you know, what matter is who you know. This is truly the case in this situation. Mrs. Julie Mach has great influence specially on those who strongly took her side. I do not know any of your board commissioners, and so whoever voted in favor of the sale, used their consciousness and wise judgment.
9. His business partner talked about his sick and vision impaired 88 year old father, would have problem coming and leaving his son's practice. Obviously, he is more

concerned about having our free available parking than to provide a ride to his old father who is an accident waiting to happen. With poor health and vision problems, his father is high risk to be on the road. There is a big chance his father might harm someone or himself driving at this age. His argument was just an insult to your intelligence. It has no meaning. But he kept talking about his 88 year old father. If he is truly concerned about his father that much, then he should have provided him with Uber or arranged for someone to bring his to the clinic.

10. For your information, our buyer has approached Dr. Mach at the same time approached us, to purchase his property, but he refused to sell because he was asking too high of a price that the buyer has declined to offer. This shows you how **GREEDY, AND SELFISH THIS GUY IS.**
11. To stand in front of your board and throw his false accusations and lies is not just unethical, but it is immoral, and does not go along with the oath of professional conduct that he clearly did not adhere to.
12. They have no legal ground to object. The buyer has offered to address all issues and will install cameras and lighting, and a fence with lock.
13. If someone wanted to break into anything, there is nothing can stop them, even if there is a security guard. As you know, it happens all the time. No cameras, fences, alarms or anything can stop a criminal. Even the armed police sometime can not stop them. So, Dr. Mach and his wife and partner argument and reasoning is absurd and is not valid.

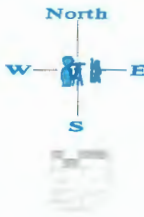
**I urge you to do the right thing and approve the proposed business transaction. Just remember, I do not have connection at the Village Board, Dr Mach does.**

Sincerely,



**Mahmoud Tayeb**

**PLAT OF SURVEY**  
**ALTA INSPS LAND TITLE SURVEY**  
 by  
**Michael J. Emmert Surveys, Inc.**



AS PER MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/INSPS LAND TITLE SURVEYS EFFECTIVE FEBRUARY 23, 2018 ITEM 7 CERTIFICATION THE PLAT OR MAP OF AN ALTA/INSPS LAND TITLE SURVEY SHALL BEAR ONLY THE FOLLOWING CERTIFICATION, UNALTERED, EXCEPT AS MAY BE REQUIRED PURSUANT TO SECTION 3.0

TO: MICKEY D. AUSTIN AND PAUL D. TAMMIZ  
 CHICAGO TITLE INSURANCE COMPANY  
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2018 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/INSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND INSPS, AND INCLUDES ITEMS 2, 3, 4, 7(A), 8, 9, 16 AND 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 12, 2019.  
 DATED THIS 12TH DAY OF MARCH, 2019

BY: MICHAEL J. EMMERT SURVEYS, INC.  
 MICHAEL J. EMMERT, PRESIDENT  
 PROFESSIONAL ILLINOIS LAND SURVEYOR NO. 2499



[mikeemj surveys.com](http://mikeemj surveys.com)

Michael J. Emmert Surveys, Inc.  
 183 East Vallarta Street  
 Elmhurst, IL 60126  
 Office: 630-516-0302  
 Fax: 630-516-0287

**FLOOD ZONE**

MICHAEL J. EMMERT SURVEYS, INC., DOES HEREBY CERTIFY THAT WE HAVE EXAMINED THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY OF THE FEDERAL INSURANCE ADMINISTRATION AND DETERMINED THE FOLLOWING:  
 PROPERTY IS LOCATED WITHIN COMMUNITY NUMBER 170107  
 CURRENT EFFECTIVE MAP DATE - AUGUST 18, 2008  
 ON MAP NUMBER 1703100186U  
 AND FIND THAT THE PROPERTY IS LOCATED WITHIN ZONE X  
 (AREA OF MINIMAL FLOOD HAZARD)

**BEARING BASIS**

THE NORTHERLY LINE OF SUBJECT PROPERTY IS ASSUMED TO BE SOUTH 71 DEGREES 58 MINUTES 52 SECONDS EAST

**PARKING**

AS BUILT PARKING SUMMARY  
 REGULAR SPACES - 68  
 HANDICAP SPACES - 4  
 TOTAL SPACES - 72

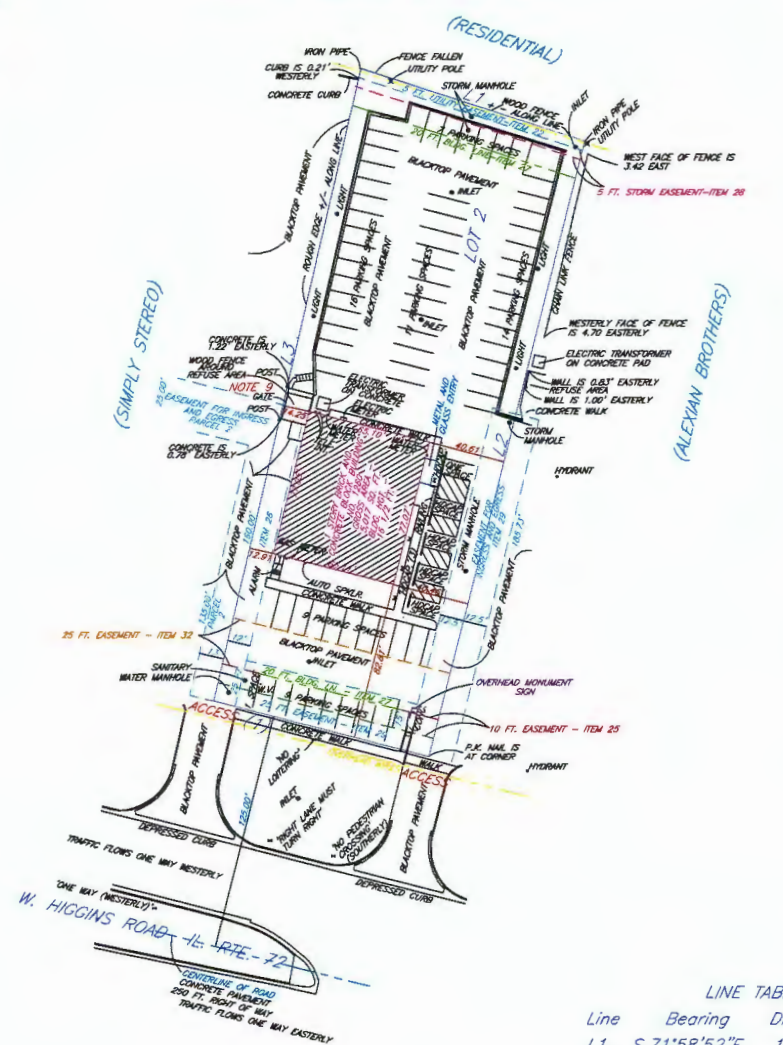
**LEGALLY DESCRIBED AS FOLLOWS:**

PARCEL 1: LOT 2 IN SOCIAL DYNAMICS HOFFMAN ESTATES SUBDIVISION OF PART OF LOT 13 IN BLOCK 192 IN THE HIGHLANDS WEST AT HOFFMAN ESTATES XIV, BEING A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 AND PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 41 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 2: EASEMENT FOR INGRESS AND EGRESS RECORDED OCTOBER 7, 1975 AS DOCUMENT 232479AS OVER THE NORTHERLY 25 FEET OF THE SOUTHERLY 160 FEET OF THE EASTERLY 85 FEET AND OVER THE EASTERLY 12 FEET OF THE SOUTHERLY 125 FEET OF THAT PART OF LOT 13, IN BLOCK 192 IN THE HIGHLANDS WEST AT HOFFMAN ESTATES XIV, BEING A PART OF A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 AND PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 41 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, LYING WESTERLY OF A LINE DRAWN FROM A POINT ON THE SOUTHERLY LINE OF SAID LOT 13, WHICH IS 245 FEET EASTERLY OF THE SOUTHWEST CORNER OF SAID LOT 13 TO A POINT ON THE NORTHERLY LINE OF SAID LOT 13 WHICH IS 252.83 FEET EASTERLY OF THE NORTHWEST CORNER OF LOT 13.

**NOTES:**

1. SURVEY SHOWN HEREON IS AN "AS-BUILT" SURVEY.
2. SURVEY SHOWN HEREON IS LIMITED TO ABOVE-GROUND VISIBLE IMPROVEMENTS AND NO UNDERGROUND INFORMATION IS INTENDED TO BE PROVIDED.
3. ALL UTILITIES APPEAR TO ENTER THE PROPERTY VIA A PUBLIC RIGHT OF WAY.
4. THE SUBJECT PROPERTY APPEARS TO DRAIN INTO A PUBLIC RIGHT OF WAY.
5. THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
6. THERE ARE NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION.
7. THERE IS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
8. THERE IS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.
9. NO EVIDENCE OF POTENTIAL WETLANDS WERE OBSERVED ON THE SUBJECT PROPERTY AT THE TIME THE SURVEY WAS CONDUCTED. NOR HAVE WE RECEIVED ANY DOCUMENTATION OF ANY WETLANDS BEING LOCATED ON THE SUBJECT PROPERTY.



CONTAINING 40,540 SQ. FT. OR 0.9306 ACRES  
 THE FOREGOING LEGAL DESCRIPTION DESCRIBES THE SAME PROPERTY AS SHOWN IN SCHEDULE A OF TITLE INSURANCE COMMITMENT NUMBER 196HW30058M BEARING AN EFFECTIVE DATE OF FEBRUARY 6, 2019 AS PREPARED BY CHICAGO TITLE INSURANCE COMPANY.

THE SUBJECT PROPERTY ALONGS HIGGINS ROAD (A PUBLIC STREET) ON THE SOUTHWEST. DIRECT ACCESS IS PROVIDED VIA THE AFORESAID STREET.

**SCHEDULE B SPECIAL EXCEPTIONS**

- ITEMS 1 THROUGH 7 - NOT SURVEY RELATED
- 8. PERMANENT INDEB. NUMBER: 07-08-405-003-0000
- ITEMS 9 THROUGH 21 - NOT SURVEY RELATED
- 22. 5 FT. UTILITY EASEMENT DOCUMENT 19483901 RECORDED MAY 14, 1965 - PLOTTED
- ITEMS 23 AND 24 - NOT SURVEY RELATED
- 25. EASEMENT DOCUMENT 20816358 RECORDED AUGUST 14, 1974 - PLOTTED
- 26. EASEMENT DOCUMENT 232479SE RECORDED OCTOBER 7, 1968 - PLOTTED
- 27. 20 FT. BUILDING LINE DOCUMENT 27301430 - PLOTTED
- 28. 5 FT. STORM EASEMENT DOCUMENT 27321430 RECORDED OCTOBER 18, 1984 - PLOTTED
- 29. EASEMENT FOR VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS - PLOTTED - AFFECTS EASTERLY 12.5 FEET OF THE SOUTHERLY 165.73 FEET OF LOT 2 AND THE SOUTHERLY 25 FEET OF LOT 2.
- 30. EASEMENT PROVISIONS DOCUMENT 27301430 - BLANKET IN NATURE
- 31. PUBLIC UTILITY EASEMENTS WITHIN AREAS SHOWN BY DOTTED LINES AND DEFINED "BASEMENTS FOR PUBLIC UTILITIES" - NONE SHOWN OR DEFINED ON SAID PLAT.
- 32. 25 FT. EASEMENT DOCUMENT 8542623 RECORDED MAY 16, 1985 - PLOTTED
- 33. NOT SURVEY RELATED
- ITEMS 34 AND 35 - REFERENCES THIS PRIOR DATED SURVEY
- ITEMS 36 AND 37 - NOT SURVEY RELATED
- END OF SCHEDULE B

**SYMBOLS**

- CONCRETE FILLED POST
- HYDRANT
- ⊙ MANHOLE
- ⊙ SIGN
- ⊙ LIGHT
- ⊙ G.L. GROUND LIGHT
- ⊙ UTILITY POLE
- CONCRETE CURB
- CONCRETE CURB AND GUTTER
- CONCRETE

A.C. - AIR CONDITIONER  
 W.M. - WATER METER  
 G.M. - GAS METER  
 T.I. - TELEPHONE INTERFACE  
 C.S. - CABLE SERVICE  
 E.M. - ELECTRIC METER

**LINE TABLE**

Line	Bearing	Distance	Measure
L1	S. 71° 58' 52" E.	123.67'	123.67'
L2	S. 14° 27' 32" W.	333.54'	333.54'
L3	N. 13° 21' 39" E.	341.58'	341.58'

**CURVE TABLE**

NO.	RADIUS	ARC	CHORD	CHORD BEARING
(1)	21579.94'	116.89'	116.89'	N. 75° 41' 06" W.

**1260 W. HIGGINS ROAD**  
**HOFFMAN ESTATES, IL**

SCALE: 1" = 30'	CHKD. / APP'D:
DATE: MARCH 12, 2019	APPROVED:
DWN. BY: MJE	
CHKD. BY: ABE	

**NOTICE OF PUBLIC HEARING**  
Notice is hereby given that the Planning & Zoning Commission of the Village of Hoffman Estates will hold a public hearing of the request of MAPT Properties LLC (Applicant) and S&L Real Estate Properties LLC (owner) for a Special Use Permit to operate a Vehicle Storage Lot at 1260 W. Higgins Road, P.I.N.: 07-08-409-023-0000. The hearing will be held on Wednesday, April 17, 2019 at 7:00 p.m. in the Hoffman Estates Municipal Building, 1900 Hassell Road, Hoffman Estates, IL. Eva Combs, Chairperson Planning and Zoning Commission  
Published in Daily Herald April 7, 2019 (4521746)

**CERTIFICATE OF PUBLICATION**  
**Paddock Publications, Inc.**

# Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **DAILY HERALD**. That said **DAILY HERALD** is a secular newspaper and has been circulated daily in the Village(s) of Algonquin, Antioch, Arlington Heights, Aurora, North Aurora, Bannockburn, Barrington, Barrington Hills, Lake Barrington, North Barrington, South Barrington, Bartlett, Batavia, Buffalo Grove, Burlington, Campton Hills, Carpentersville, Cary, Crystal Lake, Deerfield, Deer Park, Des Plaines, Elburn, East Dundee, Elgin, South Elgin, Elk Grove Village, Fox Lake, Fox River Grove, Franklin Park, Geneva, Gilberts, Glenview, Grayslake, Green Oaks, Gurnee, Hainesville, Hampshire, Hanover Park, Hawthorn Woods, Highland Park, Highwood, Hoffman Estates, Huntley, Inverness, Island Lake, Kildeer, Lake Bluff, Lake Forest, Lake in the Hills, Lake Villa, Lake Zurich, Libertyville, Lincolnshire, Lindenhurst, Long Grove, Melrose Park, Montgomery, Morton Grove, Mt. Prospect, Mundelein, Niles, Northbrook, Northfield, Northlake, Palatine, Park Ridge, Prospect Heights, River Grove, Riverwoods, Rolling Meadows, Rosemont, Round Lake, Round Lake Beach, Round Lake Heights, Round Lake Park, Schaumburg, Schiller Park, Sleepy Hollow, St. Charles, Streamwood, Sugar Grove, Third Lake, Tower Lakes, Vernon Hills, Volo, Wadsworth, Wauconda, Waukegan, West Dundee, Wheeling, Wildwood, Wilmette

County(ies) of Cook, Kane, Lake, McHenry  
and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the DAILY HERALD is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 02-APR-19 in said DAILY HERALD.

IN WITNESS WHEREOF, the undersigned, the said PADDOCK PUBLICATIONS, Inc., has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

PADDOCK PUBLICATIONS, INC.  
DAILY HERALD NEWSPAPERS

BY                     *Daula Baltz*                      
Authorized Agent

Control # 4521746

1260 W Higgins Rd

P.I.N. 07-08-409-023-0000

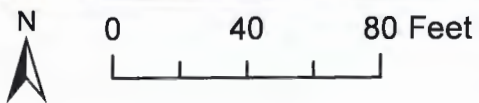


April 2019  
Village of Hoffman Estates  
Planning Division





# 1260 Higgins Rd



Planning Division  
Village of Hoffman Estates  
January 2019



VILLAGE OF HOFFMAN ESTATES  
PLANNING AND ZONING COMMISSION  
**FINDING OF FACT**

PROJECT NO.: 2018035P

VILLAGE BOARD MEETING DATE: May 6, 2019

PETITIONER(S): Higgins & Golf, Ltd. (Owner)

PROJECT ADDRESS: 1000 W. Golf Rd.

ZONING DISTRICT: B-2, Community Business

Recommendation: **APPROVAL**

Vote: 7 Ayes 0 Nays 4 Absent

PZC MEETING DATE: May 1, 2019

STAFF ASSIGNED: MO KHAN

**A. Approval of a request by Higgins & Golf, Ltd. (Owner) for a Site Plan Amendment for the property located at 1000 W. Golf Rd with the following conditions:**

1. The following deviations from the subdivision Code relating to landscaping:
  - a. A deviation from Section 10-4-4-B-2-a to allow for a site perimeter landscape buffer of eight and three-quarter feet (8.75') along the east property line whereas ten feet (10') is required by Code.
  - b. A deviation from Section 10-4-4-C-2-b to allow for zero (0) shade tree in the three parking islands in the parking row along the building whereas one (1) shade tree is required for each parking island by Code.
2. The following conditions relate to the site construction:
  - a. A pre-construction meeting shall be conducted with Village staff prior to construction commencing.
  - b. Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.
  - c. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.

AUDIENCE COMMENTS

None

FINDING

The Planning & Zoning Commission heard from the petitioner who explained that due to Manufacturer requirements and the construction of a new dealership at the adjacent property to the east they are looking to complete improvements to the site. The improvements include re-construction of a portion of the parking lot with permeable brick pavers, adding new parking stalls, constructing a cross-access connection to the adjacent property to the east and new landscaping.

Staff explained to the Commissioner that the cross-access connection is supported since it will limit the amount of traffic on the public way and keep vehicle movement related to the business on the private property. The petitioner is requesting two deviations from the Subdivision Code regarding landscaping. First deviation is to allow for an 8.75' landscape buffer setback whereas a minimum 10' landscape buffer setback is required. Staff explained that deviation is being requested to allow for a straight fire lane. Also, the petitioner owns the adjacent property to the east so reducing the landscape buffer setback is not having a negative impact on a different property owner. The second deviation is to allow for zero shade trees to be planted in three landscape parking islands located along the building. The deviation is being requested to allow for clear sightlines of the building. Staff explained that the three shade trees that would be required to be planted in the landscape parking island will be planted along the east and west property line so the total required number of trees are still being provided on-site but just in different locations.

Commissioner Henderson if Staff has received any responses regarding the project or complaint. Staff stated they have not received any responses or complaints regarding the project or the business in general.

Commissioner Bauske asked the petitioner questions regarding their project at the adjacent property to the east located in Schaumburg, IL. The petitioners provided a response to those questions.

Chairperson Combs shared concerns regarding the Landscaping Plan that more trees were being removed than being planted. Staff explained that seven trees are being removed and seven new trees are being planted. The seven new trees are not being planted in the same location as where the existing trees being removed are.

Chairperson Combs requested the Petitioner to submit an image sheet of the proposed plantings. Petitioner and Staff stated one will be provided for the Village Board meeting.

PLANNING AND ZONING COMMISSIONERS

Chairperson Eva Combs	Lenard Henderson
Tom Burnitz	Myrene Iozzo
Adam Bauske	Lon Harner
Sohita Patel	

ROLL CALL VOTE

7 Ayes  
0 Nays  
4 Absent (Ring, Milford, Trieb, Wilson)

**MOTION PASSED**

The following attachments are hereby incorporated as part of this Finding of Fact:

Staff's Report  
General Application  
Site Plan Addendum  
Project Narrative  
Plat of Survey  
Civil Site Plan  
Architecture Site Plan  
Landscape Plan  
Legal Notice of Publication  
Aerial Location Map



VILLAGE OF HOFFMAN ESTATES  
PLANNING AND ZONING COMMISSION  
STAFF REPORT

PROJECT NO.: 2018035P

PROJECT NAME: Mercedes-Benz Site Plan Amendment

PROJECT ADDRESS/LOCATION: 1000 W Golf

PUBLIC HEARING  YES  NO

REZONING  MASTER SIGN PLAN  SPECIAL USE  VARIATION   
PRELIMINARY & FINAL SITE PLAN  PRELIMINARY & FINAL PLAT

MEETING DATE: MAY 1, 2019

STAFF ASSIGNED: MO KHAN

**REQUESTED MOTIONS**

A. Approval of a request by Higgins & Golf, Ltd. (Owner) for a Site Plan Amendment for the property located at 1000 W. Golf Rd.

INCLUDES RECOMMENDED CONDITIONS  YES  NO

ACRES: 7.15 (APPROXIMATE)	ZONING DISTRICT: B-2, Community Business	
ADJACENT	NORTH: High School, Zoned O-1	SOUTH: Multi-Tenant Retail/Restaurant, Zoned B-2
PROPERTIES:	EAST: Car Dealership & Medical Office, Zoned B-4 (Schaumburg, IL)	WEST: Multi-Tenant Retail/Restaurant, Post Office, and Car Dealership, Zoned B-2

**BACKGROUND**

The subject property is located between Higgins and Golf Roads, approximately 520 feet east of Gannon Drive. The subject property is improved with a one-story building that is approximately 57,000 ft.<sup>2</sup> and surface parking lot. The subject property is currently being used as a car dealership and vehicle service center.

The Village Board approved the original Site Plan for the car dealership in 1998.

**PROPOSAL**

The petitioner is requesting an approval for a Site Plan Amendment to complete improvements to the site including constructing a cross-access connection with the adjacent property to the east, reconstructing portions of the parking lot, reconstructing the ADA and pedestrian pathways in front of the building, and site landscaping.

Meeting Date: May 1, 2019

The petitioner has also requested a deviation from two code sections from the Subdivision Code regarding Site Landscaping requirements. The petitioner is requesting deviations from the following code sections:

1. Sec. 10-4-4-B-2-a which requires a minimum site perimeter landscape buffer width of ten feet (10'), whereas the petitioner has proposed a buffer width of eight and three-quarter feet (8.75') along the east property line.
2. Sec. 10-4-4-C-2-b which requires each parking island to be landscaped with one (1) shade tree, whereas the petitioner has proposed three parking islands located along the front of the building without the required shade tree.

## **ANALYSIS**

The proposed improvements to the site are summarized as follows:

### ***Site Cross-Access Connection***

The petitioner is currently constructing a new car dealership at the adjacent property to the east of the subject property. The petitioner has proposed to construct a cross-access connection between the subject property and the adjacent property to the east. The purpose of the cross-access connection is to allow for employees and customers to move between the two-sites without having to constantly entering and exiting the two sites via Golf and Higgins Road. The Village of Schaumburg has previously approved the cross-access connection for the adjacent property to the east.

### ***Off-Street Parking***

The proposed improvements will add an additional nine (9) customer parking stalls providing a total of thirty-seven (37) customer parking stalls. Two (2) handicap accessible stalls are currently being provided on-site as required by Village Code and the Illinois Accessibility Code. Parking stalls are designed in accordance with Village Code requirements.

The parking row along the front of the building will be reconstructed using brick permeable pavers to provide a more aesthetically pleasing look to the site. The Planter Box Detail provided by the Village Engineering Division has been incorporated into the design of this parking row, including the handicap accessible stall.

Parking stalls will be removed to construct the new site cross-access connection in the southeast corner of the lot and these will be replaced with four (4) new parking stalls that will be constructed in the southeast corner along the south property line.

### ***ADA & Pedestrian Pathways***

As a result of the reconstruction of the parking stalls in front of the building, the ADA and pedestrian pathways will also have to be reconstructed. Village Engineering Staff have reviewed the plans and have found them to be compliant with code requirements.

### ***Site Landscaping***

As part of the proposed improvements to the site, existing landscaping will have to be removed due to the construction of the cross-access connection and new parking stalls. Replacement trees will be planted along the east and west property lines. The petitioner is requesting two deviations from landscaping requirement. The first deviation requested is from Sec. 10-4-4-B-2-a which requires a minimum ten feet (10') site perimeter landscaping buffer. In the southeastern corner of the subject property an eight and three-quarter feet (8.75')

Meeting Date: May 1, 2019

perimeter landscape buffer is being provided. The reduced width is due to the construction of the cross-access connection as well as to provide a straight fire access drive-aisle along the east property line. The second deviation requested is from Sec. 10-4-4-C-2-b which requires each parking landscape island to have one (1) shade tree. Three (3) parking islands in front of the building will not have the required shade tree. However, the petitioner has proposed to plant the three (3) shade trees along the west and east property lines. The petitioner is requesting this deviation to allow for increased visibility of the building from the public way.

***Building/Façade Design***

No changes are being made to the building or façade design.

**RECOMMENDATION**

**Approval of a request by Higgins & Golf, Ltd. (Owner) for a Site Plan Amendment for the property located at 1000 W. Golf Rd., subject to the following conditions:**

1. The following deviations from the subdivision Code relating to landscaping:
  - a) A deviation from Section 10-4-4-B-2-a to allow for a site perimeter landscape buffer of eight and three-quarter feet (8.75') along the east property line whereas ten feet (10') is required by Code.
  - b) A deviation from Section 10-4-4-C-2-b to allow for zero (0) shade tree in the three parking islands in the parking row along the building whereas one (1) shade tree is required for each parking island by Code.
2. The following conditions relate to the site construction:
  - a) A pre-construction meeting shall be conducted with Village staff prior to construction commencing.
  - b) Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.
  - c) In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.

Attachments:    General Application  
                      Site Plan Addendum  
                      Project Narrative  
                      Plat of Survey  
                      Civil Site Plan  
                      Architecture Site Plan  
                      Landscape Plan  
                      Vehicle Turning Diagram  
                      Site Aerial Map



**VILLAGE OF HOFFMAN ESTATES  
PLANNING AND ZONING  
GENERAL APPLICATION\***

**RECEIVED**  
SEP 12 2018  
PLANNING DIVISION

Special Use for \_\_\_\_\_  Rezoning from \_\_\_\_\_ to \_\_\_\_\_

Variation:  Commercial  Residential  Sign

Plat (Subdivision & Others):  Preliminary  Final

Site Plan:  Amendment  Concept  Preliminary  Final

Master Sign Plan:  Amendment

Other: \_\_\_\_\_

**\* ADDENDUM MATERIALS ARE REQUIRED FOR SPECIFIC REQUESTS**

**Posting of Notification Sign(s) may be required.**

**Specific requirements will be provided when your request is scheduled.**

**FOR VILLAGE USE ONLY**

Hearing Fee \$ 750<sup>00</sup> Check No. 155 310 Date Paid 9-12-18

Project Number: 2018035P

Staff Assigned: MO ICHAN

Meeting Date: 05/01/19

Public Hearing: Yes  No

Sign Posting Required: Yes  No

Date Sign Posted N/A

**PLEASE PRINT OR TYPE**

Date: 9/10/2018

Project Name: Mercedes Benz Entry Site Work

Project Description: Front parking & sidewalk renovations and new access drives on east side

Project Address/Location: 1000 W. Golf Road

Property Index No. 07-09-300-036-0000

Acres: 7.08 Zoning District: B2

**I. Owner of Record**

Name	Higgins & Golf LTD	
Street Address	1000 W. Golf Road	
City	Hoffman Estates	
State	60169	847-381-8900
Zip Code		Telephone Number
Fax Number	E-Mail Address % dgammon@motorwerks.com	

**II. Applicant (Contact Person/Project Manager)**

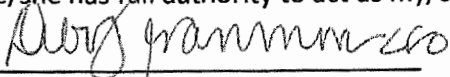
Name	Scott Kozak	
Street Address	3501 Algonquin Rd, Ste 190	
City	TMA Affinity Corp	
State	60008	847-364-8150
Zip Code		Telephone Number
Fax Number	E-Mail Address sk@theTMAgroup.com	

Applicant's relationship to property: Owner Rep

**III. Owner Consent for Authorized Representative**

It is required that the property owner or his designated representative be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. **If the owner cannot be present at the meeting, the following statement must be signed by the owner:**

I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize Scott Kozak to act on my behalf and advise that he/she has full authority to act as my/our representative.



**Owner Signature**

Debra J Gammon cfo

**Print Name**



#### IV. Acknowledgement(s)

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

**The Owner and Applicant**, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature: Debra J Grammon cfo

Owner's Name (Please Print): Debra J Grammon cfo

Applicant's Signature: Scott Kozak  
(If other than Owner)

Applicant's Name (Please Print): Scott Kozak

Date: 9/10/2018

**All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.**

Please contact the Planning Division (located in the Municipal Building) with any questions:

Email: planning@hoffmanestates.org  
Address: 1900 Hassell Road  
Hoffman Estates, IL 60169  
Phone: (847) 781-2660  
Fax: (847) 781-2679

Addendums Attached:

- |   |   |
|---|---|
| <input type="checkbox"/> Special Use          | <input type="checkbox"/> Master Sign Plan |
| <input type="checkbox"/> Rezoning             | <input type="checkbox"/> Other _____      |
| <input type="checkbox"/> Variation            |   |
| <input type="checkbox"/> Plat                 |   |
| <input checked="" type="checkbox"/> Site Plan |   |



VILLAGE OF HOFFMAN ESTATES  
PLANNING AND ZONING COMMISSION  
SITE PLAN ADDENDUM – NON-RESIDENTIAL



Amendment  Concept  Preliminary  Final

I. DESCRIPTION OF PROJECT:

A. ATTACH A NARRATIVE FOR THE PROPOSED PROJECT ON A SEPARATE SHEET

✓ Article 10-6 of the Subdivision Code details the application process and required submittal documents. For relevant items, provide detailed information as part of the project narrative.

B. Total Number of Buildings: 1

C. Total Gross Floor Area: 56,693 square feet

D. Height of tallest building (including antennas, hvac, etc.): 24'-4" feet

E. With respect to this project’s compatibility with adjacent land uses, address the following in the Project Narrative: Building Scale, architectural Materials, Coordinated Color Scheme, Existing and Planned Areas of Visual Interest, Design Concept and Relationship of Building Materials to one another.

F. Estimated start of construction: Immediately

G. Estimated time to complete development: 3 Weeks

Attach a phasing schedule, if applicable.

H. Does the property contain flood plain lands or wetlands? Yes  No   
If yes, please address as part of the narrative.

I. Is there any historical or archeological significance to the existing structures or features of this site or the surrounding sites? Yes  No   
If yes, please address as part of the narrative.

J. Are there any endangered, threatened, or unique plants or animals located in or near the area? Yes  No   
If yes, please address as part of the narrative.

II. OPERATIONAL CONSIDERATIONS

A. Anticipated hours of operation: No Change am/pm to \_\_\_\_\_ am/pm

- B. Anticipated number of employees: N/A total \_\_\_\_\_ per shift \_\_\_\_\_ number of shifts
- C. Estimated number of customers: N/A daily \_\_\_\_\_ peak hour
- D. If there is any additional information about the proposed development or its operation that may affect the site development, address as part of the narrative.

### III. FINANCIAL CONSIDERATIONS

- A. Estimated annual gross sales of general merchandise subject to sales tax for this project (includes 1% local share of state tax and 1% home rule tax):

Gross Sales (General)		Tax Rate		General Sales Tax
N/A	X	2%	=	\$

- B. Estimated annual gross sales subject to food and beverage (F & B) tax for this project (food prepared on premises and alcoholic beverages consumed on premises). See article 13-7 of the Hoffman Estates Municipal Code for detailed definition:

Gross Sales (F & B)		Tax Rate		F & B Tax
N/A	X	2%	=	\$

- C. Estimated Annual Hotel Tax: 365 Days X

Estimated Average Room Rate		Number of rooms		Occupancy Percentage		365 Days		Tax Rate		Hotel Tax
N/A	X		X		X		X	6%	=	\$

- D. Other tax/revenue:  
(Entertainment tax = 6%, etc.)

N/A		Rate		Tax
	X		=	\$

- E. Estimated Annual Telecommunications (TC) Tax:

Estimated Yearly Phone Bill		Tax Rate		TC tax
N/A	X	6%	=	\$

- F. Current assessment of the property: N/A

- G. Estimated value of Construction: \$120,000

H. Will this project result in any unusual expenditure of public funds or requirements for public services in anyway?  Yes  No

If yes, please address as part of the narrative.

#### IV. TRAFFIC CONSIDERATIONS

##### A. Parking

1. Total number of parking spaces to be provided:

Employees: 0 Customers/Visitors: 36 Handicapped: 2 Total: 38

2. When is the peak parking period for this project?

Saturdays 3-5pm

3. Will this project share parking spaces with other businesses?  Yes  No

If yes, please address as part of the narrative.

##### B. Traffic

1. Estimated number of vehicles entering and exiting this site during the peak one hour period between 4:00 p.m. and 6:00 p.m. 30 per hour

2. Will there be any other peak traffic times for this project?  Yes  No

If yes, give the time(s) of day and traffic volume: Saturdays 3-5pm, 30 per hour

3. Will this project contain a drive through?  Yes  No

If yes, the project narrative should address order processing time, projected stacking demand, and other details to explain the operation.

##### C. Deliveries

1. The project plan submittal should include turning templates to show all routes to be used for making deliveries to and from site. Is this plan included?  Yes  No

2. How often will deliveries be made on site? N/A (delivery area outside of project area)

2. What is the frequency and time period expected for deliveries? N/A

3. What is the largest delivery vehicle to be used and its size?

Vehicle Type	Size	check	
Single Unit truck	30 ft.	<input type="checkbox"/>	<input type="checkbox"/>
Intermediate Semitrailer	50 ft.	<input type="checkbox"/>	<input type="checkbox"/>
Large Semitrailer	55 ft.	<input type="checkbox"/>	<input type="checkbox"/>
Other		<input type="checkbox"/>	<input type="checkbox"/>

If the delivery truck used fits into the "Other" category, please specify type, size and turning radius: N/A

---

- D. Any additional site related traffic information not covered above?  Yes  No  
If yes, please address as part of the narrative.

**V. RECYCLING AND GREEN INITIATIVES**

- A. Article 9 of The Municipal Code of the Village of Hoffman Estates requires that businesses maintain an effective recycling program. Address any unique recycling plans as part of the project narrative.
- B. The Village supports and promotes sustainability. Please address any planned green or sustainability initiatives as part of the narrative.
- C. Do you anticipate submitting this project for LEED certification (or any other similar certifications)?  Yes  No  
If yes, please address as part of the narrative.

**VI. GENERAL CONSIDERATIONS**

- A. Please list examples of similar uses (including name and location) in the area that can be used for comparison by the Village:

1. N/A
2. \_\_\_\_\_
3. \_\_\_\_\_

- B. Will this project contain any noise generators that will adversely affect surrounding areas?

Yes  No

If yes, please address as part of the narrative.

**C.** Is there anything included in this project that may be sensitive to surrounding noise generators?

Yes  No

If yes, please address as part of the narrative.

**D.** Do you intend to apply for a liquor license?  Yes  No

If yes, please contact the Village Clerk's Office at 847.781.2625

**E.** Will this project contain a cafeteria or food service area (in order to determine applicability of a sewer and water surcharge)? Yes  No

If yes, please address as part of the narrative.

**F.** In the project narrative, please list and explain anything involved in this project that is not covered in this application that should be brought to the Village's attention. Also address any rare or unusual circumstances or needs related to this project.

Please contact the Planning Division with any questions:

Email: [planning@hoffmanestates.org](mailto:planning@hoffmanestates.org)

Address: 1900 Hassell Road  
Hoffman Estates, IL 60169

Phone: 847.781.2660

Fax: 847.781.2679

**Motor Werks Auto Group**

1475 S. Barrington Rd. Barrington, IL 60010  
(847) 381-8900 | www.motorwerks.com



April 10, 2019

Mr. Peter Gugliotta  
Director of Planning, Building and Code Enforcement  
Village of Hoffman Estates

Via email

RE: Owner Narrative Concerning Modifications to Mercedes Benz of Hoffman Estates Site

Mr. Gugliotta,

As you know, we just completed the implementation of the latest Mercedes Benz design concept to the building and site signage. In order to compliment that design and give the building and site an updated and refreshed look, we wish to enhance the front parking lot area between our building and Golf Road.

This enhancement includes additional parking for customers adjacent to the main entrance to the showroom. The new parking layout incorporates aesthetic permeable brick pavers as well as the Village's planter design around the accessible parking. Also included are new colored-stamped concrete sidewalks to provide easy access to the entrances.

The design includes one (1) vehicular pass-through location along the east property line connecting directly to the new Motor Werks Jaguar Land Rover Dealership. This proposed pass-through location provides two key benefits:

- Additional safety for our customers and guests as vehicles will not need to access Golf or Higgins Road to travel between our dealerships.
- Operational efficiency for our employees. Our employees constantly move vehicles for service between the two locations and deliver and retrieve new and used inventory. Plus, there are a number of employees who perform services for both locations.

Our plan does not allow outside stacking of vehicles in the front of the passenger vehicle service entrance. Motor Werks prides itself on making a customer service experience as efficient as possible and movement through service reception is critical. Stacking has not been an issue in the past nor will it be in the future.

Along with the additional parking spaces proposed on site, the pass-through location also provides access to additional parking near the service entrance. This will help to prevent customers from parking along the fire lane to the east side of the building.

This plan requires that the existing emergency access drive along the east property line extend south about 30' to the new pass-through location. The existing emergency access drive does not meet the current landscape buffer yard requirement so we are requesting a deviation from Section 10-4-4-B-2-a to allow the existing landscape buffer of 8.75 feet to extend south as shown on the proposed site plan where a minimum 10 foot landscape buffer is required. Also, to keep the front of the building as visible from the street as possible we are requesting a deviation to provide new trees along the East and



**Motor Werks Auto Group**

1475 S. Barrington Rd. Barrington, IL 60010  
(847) 381-8900 | [www.motorwerks.com](http://www.motorwerks.com)



West property lines instead of in 3 new parking islands in front of the building.

In summary, we firmly believe this plan:

- Enhances our customer experience by making visits to the dealership more convenient and pleasurable from both an esthetic and functional point of view.
- Increases the efficiency of our business operations.
- Creates a safer environment for customers and employees by providing easy access between the two dealerships.
- Reduces traffic on Golf Road and Higgins Road.
- Should reduce storm water runoff by reducing the impervious area and providing permeable pavers.

Should you require additional information, please contact our architects, Marc Walk and Scott Kozak.

Thank you for your consideration of our request.

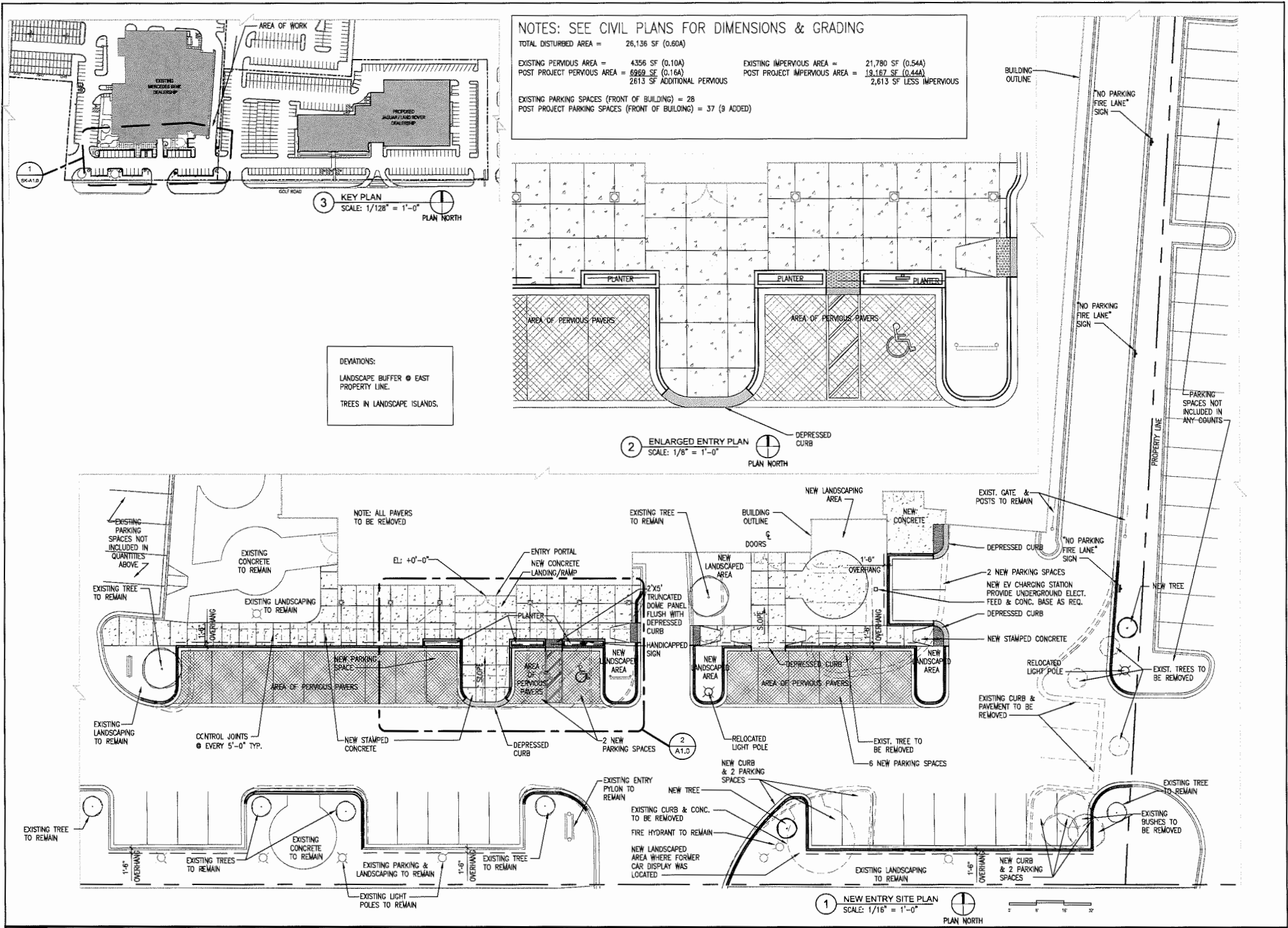
Respectfully,

Debra J. Gammon  
Chief Financial Officer  
[dgammon@motorwerks.com](mailto:dgammon@motorwerks.com)  
D: 847.304.3090

Cc: Marc Walk [mw@thetmagroup.com](mailto:mw@thetmagroup.com)  
Scott Kozak [sk@thetmagroup.com](mailto:sk@thetmagroup.com)







NOTES: SEE CIVIL PLANS FOR DIMENSIONS & GRADING

TOTAL DISTURBED AREA = 26,136 SF (0.60A)

EXISTING PERVIOUS AREA = 4,356 SF (0.10A)  
 POST PROJECT PERVIOUS AREA = 6,869 SF (0.16A)  
 2,613 SF ADDITIONAL PERVIOUS

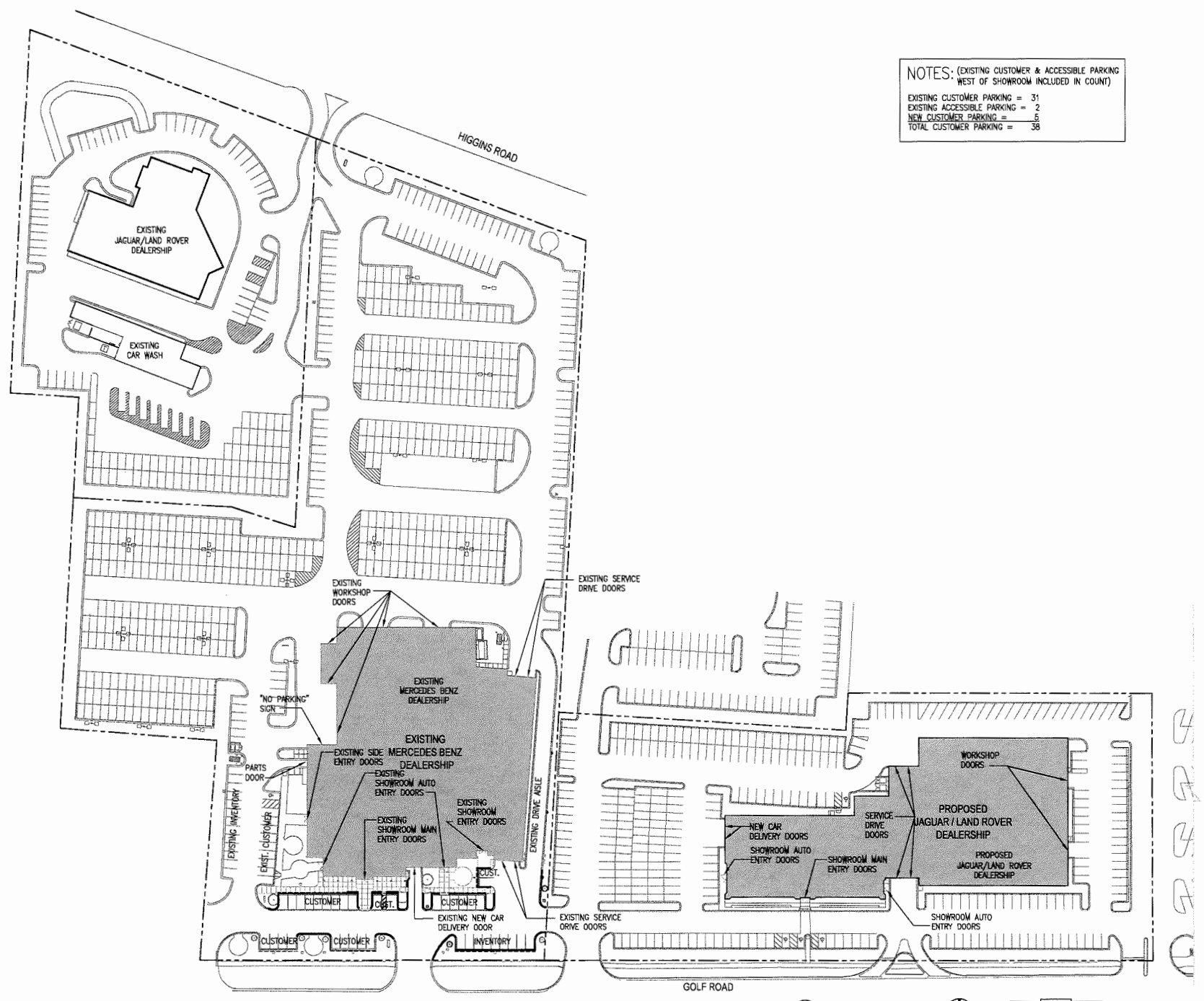
EXISTING IMPERVIOUS AREA = 21,780 SF (0.54A)  
 POST PROJECT IMPERVIOUS AREA = 19,167 SF (0.44A)  
 2,613 SF LESS IMPERVIOUS

EXISTING PARKING SPACES (FRONT OF BUILDING) = 28  
 POST PROJECT PARKING SPACES (FRONT OF BUILDING) = 37 (9 ADDED)

DEVIATIONS:  
 LANDSCAPE BUFFER @ EAST PROPERTY LINE.  
 TREES IN LANDSCAPE ISLANDS.

NOTES: (EXISTING CUSTOMER & ACCESSIBLE PARKING WEST OF SHOWROOM INCLUDED IN COUNT)

EXISTING CUSTOMER PARKING = 31  
 EXISTING ACCESSIBLE PARKING = 2  
 NEW CUSTOMER PARKING = 5  
 TOTAL CUSTOMER PARKING = 38



1 PROPOSED SITE PLAN  
 SCALE: 1/64" = 1'-0"  
 PLAN NORTH

Mercedes Benz 1000 West Golf Road, Hoffman Estates  
 Front Entry Site plan







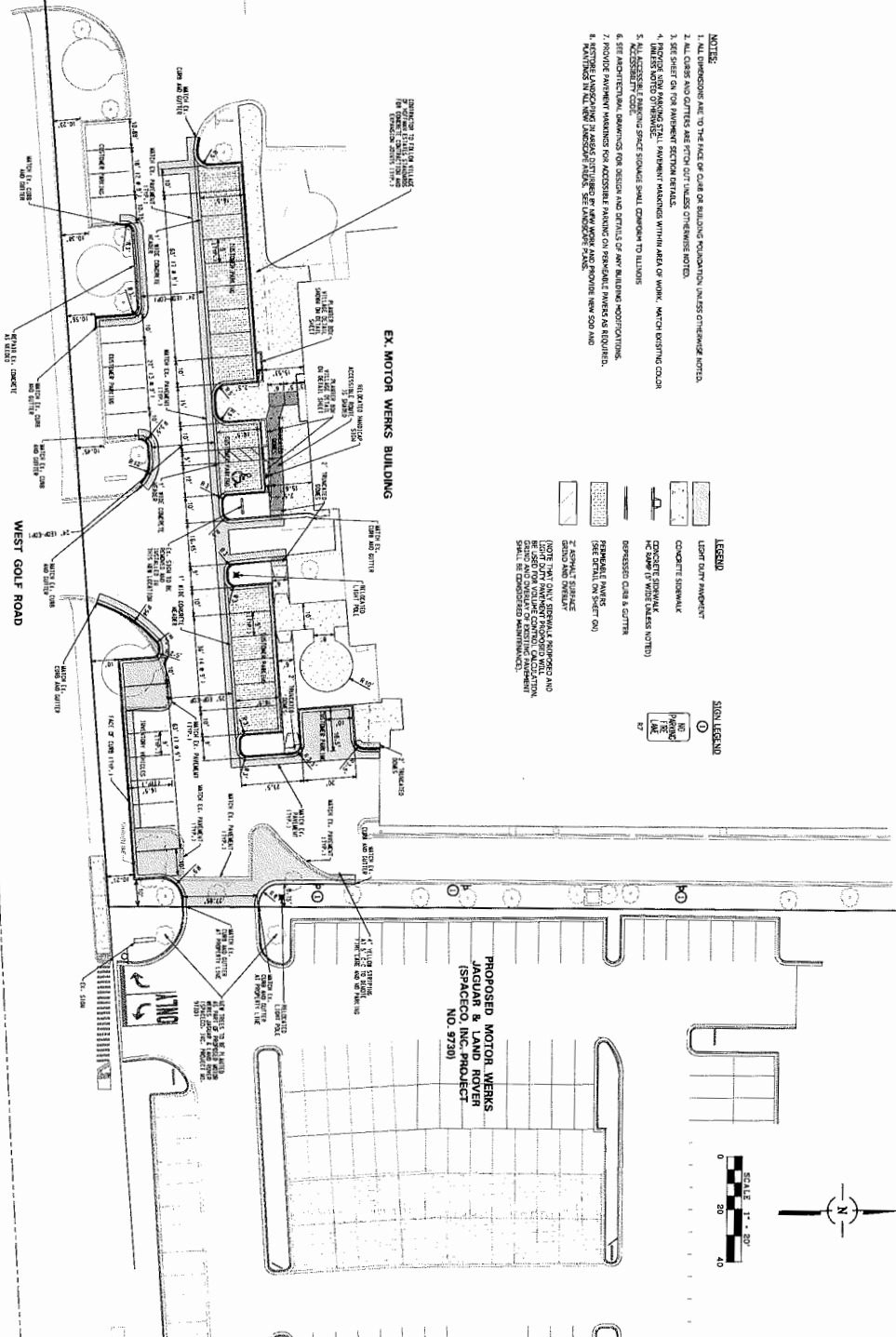
- NOTES:**
1. ALL DIMENSIONS ARE TO THE FACE OF CURB OR BUILDING FOOTING, UNLESS OTHERWISE NOTED.
  2. ALL CURBS AND CUTTERS ARE FROM CUT UNLESS OTHERWISE NOTED.
  3. SEE SHEET FOR PAVEMENT SECTION DETAILS.
  4. THE DISTANCE FROM THE FACE OF THE PAVEMENT MARKING WITHIN AREA OF WORK, MATCH EXISTING COLOR AND FINISH TO THE EXISTING PAVEMENT SHALL BE MAINTAINED.
  5. ALL EXISTING PAVEMENT SHALL BE MAINTAINED WITHIN AREA OF WORK, MATCH EXISTING COLOR AND FINISH TO THE EXISTING PAVEMENT.
  6. SEE ARCHITECTURAL DRAWINGS FOR DESIGN AND DETAILS OF ANY BUILDING RECONSTRUCTION.
  7. PROVIDE PAVEMENT MARKINGS FOR ACCESSIBLE PARKING ON PROPOSED PARKING AS SHOWN.
  8. RESTORE LANDSCAPING IN AREAS DISTURBED BY NEW WORK AND PROVIDE NEW SOIL AND PLANTINGS IN ALL NEW LANDSCAPE AREAS. SEE LANDSCAPE PLAN.

**LEGEND**

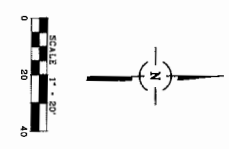
- Light Duty Pavement
- Concrete Sidewalk
- Concrete Sidewalk (No Slope or Minor Cuts/Notes)
- Depressed Curb & Cutter
- Pavement Markings (See Detail on Sheet 04)
- Asphalt Concrete
- Gravel and Drainage

**SIGN LEGEND**

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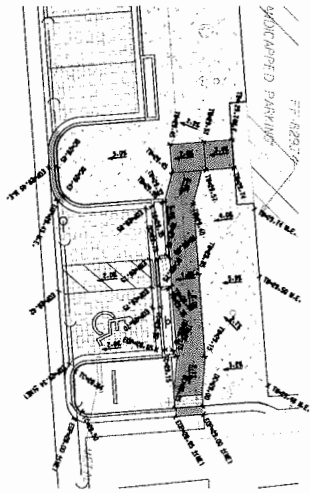


PROPOSED MOTOR WERKS  
JAGUAR & LAND ROVER  
(SPACCO INC. PROJECT  
NO. 9730)



<p>SPACCO INC. CONSULTING ENGINEERS SITE DEVELOPMENT ENGINEERS LAND SURVEYORS</p> <p>1975 W. Juggins Road, Suite 300 Hoffman Estates, Illinois 60162 Phone: (847) 494-2500 Fax: (847) 494-7545</p>	<p><b>GEOMETRIC PLAN</b> <b>MOTOR WERKS</b> <b>MERCEDES BENZ</b> <b>HOFFMAN ESTATES, ILLINOIS</b></p>		<p>4 04/08/18 PER VILLAGE REVIEW</p> <p>3 05/11/19 PER VILLAGE</p> <p>2 02/20/19 REVISED SITE PLAN</p> <p>1 08/27/18 PER ARCHITECT</p>	<p>NO DATE REMARKS</p>
	<p>4 OF 8</p> <p><b>GM</b></p>			<p>NO DATE REMARKS</p>

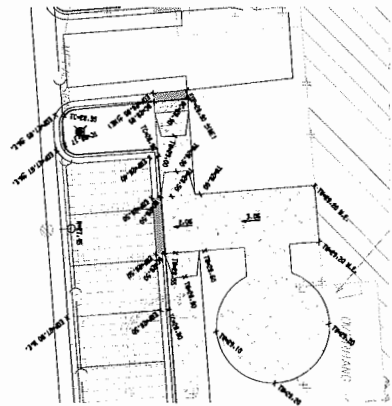
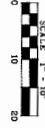




ADA BLOWUP DETAIL-3

EXISTING LEGEND

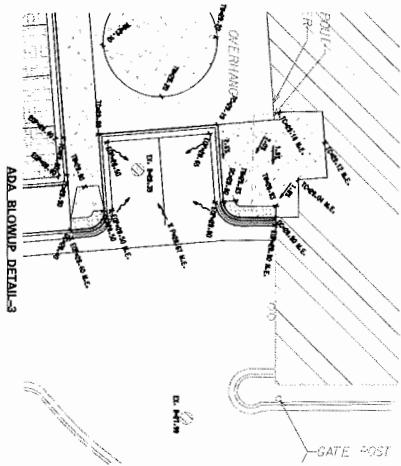
- TC TOP OF CURB
- DC DIMENSION CURB
- TI TOP OF PLANTER BOX
- TM SURFACE OF SIDEWALK (INCLUDING SLOPE)
- PC ASPHALT OR CONCRETE PAVEMENT
- MC MATCH EXISTING
- EP EDGE OF PAVED
- RM RIM ELEVATION
- EX EXISTING SINK ELEVATION



ADA BLOWUP DETAIL-2

EXISTING LEGEND

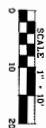
- TC TOP OF CURB
- DC DIMENSION CURB
- TI TOP OF PLANTER BOX
- TM SURFACE OF SIDEWALK (INCLUDING SLOPE)
- PC ASPHALT OR CONCRETE PAVEMENT
- MC MATCH EXISTING
- EP EDGE OF PAVED
- RM RIM ELEVATION
- EX EXISTING SINK ELEVATION



ADA BLOWUP DETAIL-3

EXISTING LEGEND

- TC TOP OF CURB
- DC DIMENSION CURB
- TI TOP OF PLANTER BOX
- TM SURFACE OF SIDEWALK (INCLUDING SLOPE)
- PC ASPHALT OR CONCRETE PAVEMENT
- MC MATCH EXISTING
- EP EDGE OF PAVED
- RM RIM ELEVATION
- EX EXISTING SINK ELEVATION



NO.	DATE	REMARKS
4	04/08/19	PER VILLAGE REVIEW
3	03/19/19	PER VILLAGE
1	08/27/18	PER ARCHITECT

ADA DETAILS  
**MOTOR WERKS**  
**MERCEDES BENZ**  
 HOFFMAN ESTATES, ILLINOIS

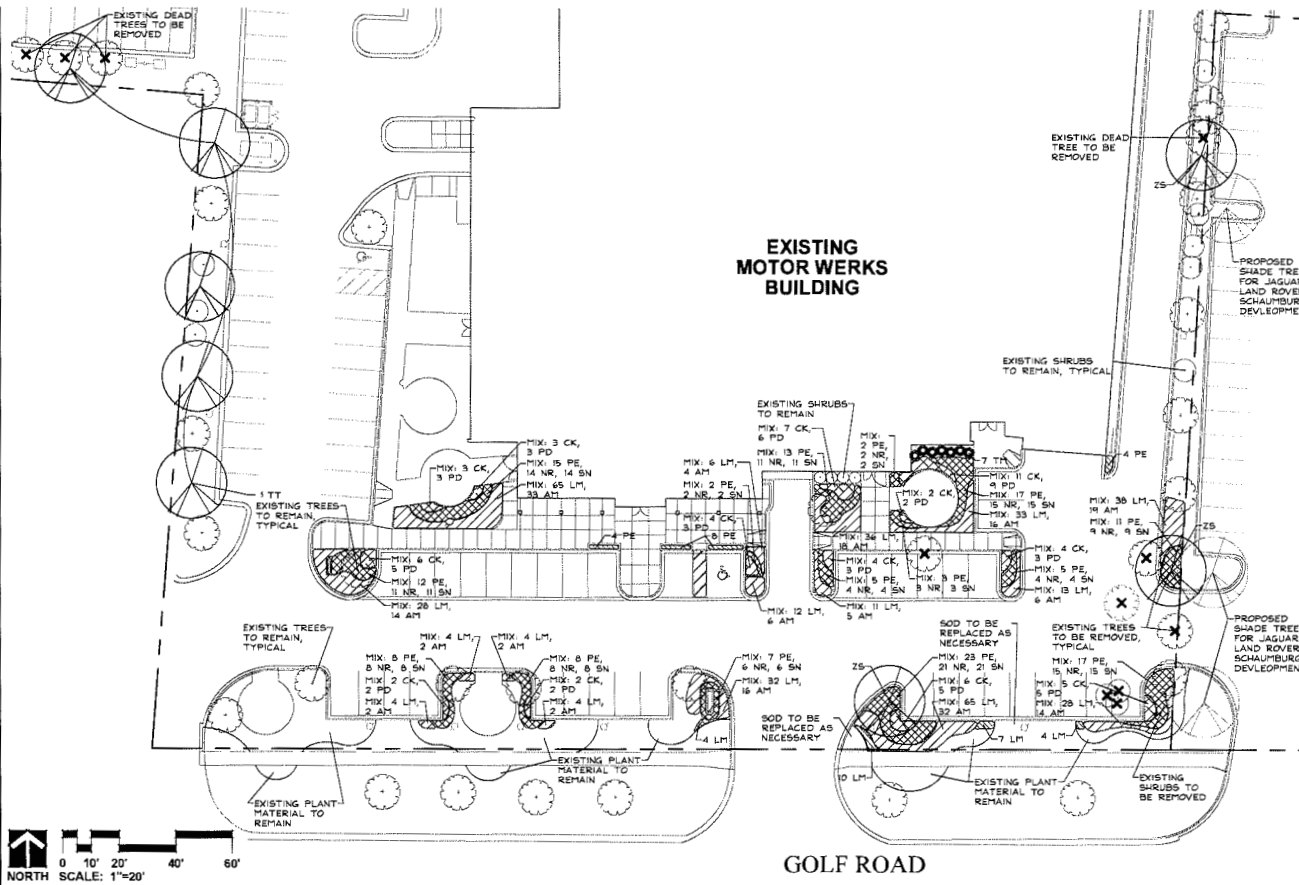
CONSULTING ENGINEERS  
 SITE DEVELOPMENT ENGINEERS  
 LAND SURVEYORS



SPERRICO INC.  
 5925 W. Higgins Road, Suite 703  
 Skokie, Illinois 60076  
 Phone: (847) 696-4260 Fax: (847) 696-7649

PROJECT: MERCEDES BENZ MOTOR WERKS  
 SHEET: DET01  
 5 OF 5





**PLANT LIST**

Key	Qty	Botanical/Common Name	Size	Remarks
<b>SHADE TREES</b>				
TT	4	Tilia lanata 'Sterling' STERLING SILVER LINDEN	4' Cal.	
ZS	3	Zelkova serrata 'Green Vase' GREEN VASE JAPANESE ZELKOVA	2 1/2' Cal.	
<b>EVERGREEN SHRUBS</b>				
TM	7	Taxus x media 'Densiformis' DENSE YEW	36" Hd.	4' O.C.
<b>PERENNIALS</b>				
AM	141	Achillea millefolium 'Belvedere' NEW VINTAGE WHITE YARROW	#1	8' O.C.
NR	133	Nasturtium officinale 'Walker's Leaf' WALKER'S LON CATHYNT	#1	8' O.C.
PD	51	Panicleum digitata FONGLOVE BEARDTONGUE	#1	8' O.C.
LM	406	Limonium 'Big Blue' BIG BLUE LITTON	#1	8' O.C.
SN	133	Salvia nemorosa 'Violet Riot' VIOLET RIOT SALVIA	#1	8' O.C.
<b>ORNAMENTAL GRASSES</b>				
CK	54	Calamagrostis canadensis 'Karl Foerster' FEATHER REED GRASS	#1	24' O.C.
PE	164	Pennisetum alopecuroides 'Hammer' HAMMER FOUNTAIN GRASS	#1	24' O.C.
<b>MISC. MATERIALS</b>				
ZS		SHREDDED HARDWOOD MULCH	C.Y.	
SO		SOIL	S.Y.	

**EXISTING PLANT LEGEND**

- EXISTING SHADE TREE TO BE REMOVED
- EXISTING SHADE TREE TO REMAIN
- EXISTING SHRUB TO BE REMOVED
- EXISTING SHRUB TO REMAIN
- EXISTING PLANTING BED TO REMAIN

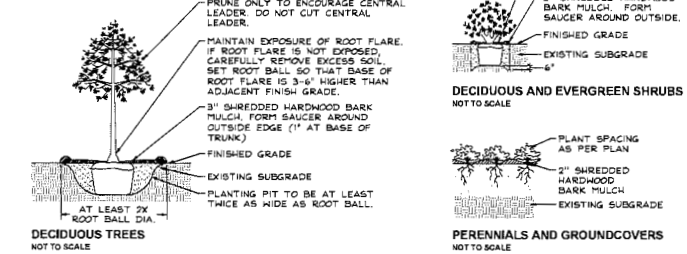
**GENERAL NOTES**

- Contractor shall verify underground utility lines and is responsible for any damage.
- Contractor shall verify all existing conditions in the field prior to construction and shall notify landscape architect of any variance.
- Material quantities shown are for contractor's convenience only. The contractor must verify all material and supply sufficient materials to complete the job per plan.
- The landscape architect reserves the right to inspect trees and shrubs either at place of growth or at site before planting, for compliance with requirements of variety, size and quality.
- Work shall conform to American Standard for Nursery Stock, State of Illinois Horticultural Standards, and Local Municipal requirements.
- Contractor shall secure and pay for all permits, fees, and inspections necessary for the proper execution of this work and comply with all codes applicable to this work.
- See General Conditions and Specifications for landscape work for additional requirements.



**LOCATION MAP**  
SCALE: 1"=400'

**PLANTING DETAILS**



**GRWA**  
GARY R. WEBER  
ASSOCIATES, INC.  
LAND PLANNING  
ECOLOGICAL CONSULTING  
LANDSCAPE ARCHITECTURE  
401 WEST LIBERTY DRIVE  
WHEATON, ILLINOIS 60187  
PHONE: 630.668.7197

**MOTOR WERKS MERCEDES BENZ**  
GOLF ROAD  
HOFFMAN ESTATES, ILLINOIS  
**LANDSCAPE PLAN**

Rev 2 4.10.2019  
Rev 1 4.01.2019  
REVISIONS

DATE 3.15.2019  
PROJECT NO. TMA1901  
DRAWN JOK  
CHECKED JOK  
SHEET NO.

LANDSCAPE WORK PART 1 - GENERAL

1.1 DESCRIPTION OF WORK

The work shall consist of furnishing, transporting and installing all seeds, plants and other materials required for:

1. The establishment of trees, shrubs, perennial, annual and lawn areas as shown on Landscape Plan;
2. The provision of post-planting management as specified herein;
3. Any remedial operations necessary in conformance with the plans as specified in this document;
4. Permits which may be required.

1.2 QUALITY ASSURANCE

- A. Work shall conform to State of Illinois Horticultural Standards and local municipal requirements.
- B. Quality Control Procedures:
  1. Ship landscape materials with certificates of inspection as required by governmental authorities. Comply with governing regulations applicable to landscape materials.
  2. Do not make substitutions. If specified landscape material is not obtainable, submit to Landscape Architect proof of non-availability and proposal for use of equivalent material.
  3. Analysis and Standards: Package standard products with manufacturer's certified analysis.

1.3 SUBMITTALS

- A. Planting Schedule
 

Submit three (3) copies of the proposed planting schedule showing dates for each type of planting.
- B. Maintenance Instruction - Landscape Work
 

Submit two (2) copies of typewritten instructions recommending procedures to be established by the Owner for the maintenance of landscape work for one full year. Submit prior to expiration of required maintenance periods.

Instructions shall include: watering, fertilizing, spraying, mulching and pruning for plant material and trimming groundcover. Instructions for watering, fertilizing and mowing grass areas shall be provided ten (10) days prior to request for inspection for final acceptance. Landscape Architect shall receive copies of all instructions when issued.
- C. Submit two (2) copies of soil test of existing topsoil with recommendations for soil additive requirement to Landscape Architect for review and written approval.
- D. Submit two (2) samples of shredded hardwood bark mulch, erosion control blankets, and all other products and materials as specified on plans to Landscape Architect for review and written approval.
- E. Nursery packing lists indicating the species and quantities of material installed must be provided to the Owner and/or City upon request.

1.4 JOB CONDITIONS

- A. Examine and evaluate grades, soils and water levels. Observe the conditions under which work is to be performed and notify Landscape Architect of unsatisfactory conditions. Do not proceed with the work until unsatisfactory conditions have been corrected in an acceptable manner.
- B. Utilities: Review underground utility location maps and plans; notify local utility location service; demonstrate an awareness of utility locations; and certify acceptance of liability for the protection of utilities during course of work. Contractor shall be responsible for any damage to utilities or property.
- C. Excavation: When conditions detrimental to plant growth are encountered such as rubble fill, adverse drainage conditions or obstructions, notify Landscape Architect before planting.

1.5 GUARANTEES

- A. Guarantee seeded and sodded areas through the specified maintenance period and until final acceptance.
- B. Guarantee trees, shrubs, groundcover and perennials for a period of one year after date of acceptance against defects including death and unsatisfactory growth, except for defects resulting from neglect by Owner, abuse or damage by others or unusual phenomena or incidents which are beyond Landscape Installer's control.

LANDSCAPE WORK PART 2 - PLANT MATERIALS

2.1 LAWN SOD

Provide strongly rooted sod, not less than two (2) years old and free of weeds and undesirable native grasses. Provide only sod capable of growth and development when planted (viable, not dormant) and in strips not more than 18" wide x 4' long. Provide sod composed of a 5-way blend of Kentucky Bluegrass such as: Midnight, Allure, Viva, Washington, Liberty.

2.2 LAWN SEED MIXTURE

Grass Seed: Provide fresh, clean, new crop seed complying with the tolerance for purity and germination established by the Official Seed Analysis of North America. Provide seed of the grass species, proportions and maximum percentage of weed seed, as specified.

- A. Lawn Seed Mixture - 5 lbs./1,000 sq. ft.
  - 50% Kentucky Bluegrass #B/B5
  - 15% Custer Perennial Ryegrass
  - 10% Spartan Hard Fescue
  - 10% Edge Perennial Ryegrass
  - 10% Express Perennial Ryegrass
  - 5% Pennlawn Creeping Red Fescue
- B. Temporary Lawn Seed Mixture - 5 lbs./1,000 sq.ft.
  - 40% Kentucky Bluegrass #B/B5
  - 40% Perennial Ryegrass
  - 20% Annual Ryegrass

2.3 GROUNDCOVERS, PERENNIALS AND ANNUALS

Provide plants established and well-rooted in removable containers or integral pot pots and with not less than the minimum number and length of runners required by ANSI Z60.1 for the pot size shown or listed.

2.4 TREES AND SHRUBS

- A. Name and Variety: Provide nursery grown plant material true to name and variety.
- B. Quality: Provide trees, shrubs and other plants complying with the recommendations and requirements of ANSI Z60.1 "Standard for Nursery Stock" and as further specified.
- C. Deciduous Trees: Provide trees of height and caliper listed or shown and with branching configuration recommended by ANSI Z60.1 for type and species required. Provide single stem trees except where special forms are shown or listed. Provide balled and burlapped (BBB) deciduous trees.
- D. Deciduous Shrubs: Provide shrubs of the height shown or listed and with not less than the minimum number of canes required by ANSI Z60.1 for the type and height of shrub required. Provide balled and burlapped (BBB) deciduous shrubs.
- E. Coniferous Evergreen: Provide evergreens of the sizes shown or listed. Dimensions indicate minimum spread for spreading and semi-spreading type evergreens and height for other types. Provide quality evergreens with well-balanced form complying with requirements for other size relationships to the primary dimension shown. Provide balled and burlapped (BBB) evergreen trees and containerized shrubs.
- F. Inspection: All plants shall be subject to inspection and review at the place of growth or upon delivery and conformity to specification requirements as to quality, right of inspection and rejection upon delivery at the site or during the progress of the work for size and condition of balls or roots, diseases, insects and latent defects or injuries. Rejected plants shall be removed immediately from the site.

2.5 PLANTING SOIL MIXTURE

Provide planting soil mixture consisting of clean uncompacted topsoil (blacktop at site) for all planting pits, perennial, annual and groundcover areas. Topsoil shall be conditioned based on any recommendations resulting from the soil test in 1.3.C.

2.6 EROSION CONTROL

- A. Lawn Seed Areas Erosion Control Blanket: North American Green DST5, or equivalent approved equal.
- B. Native Areas Erosion Control Blanket: North American Green S150, or equivalent approved equal.

2.7 MULCH

Provide mulch consisting of shredded hardwood. Provide sample to Landscape Architect for approval prior to ordering materials.

LANDSCAPE WORK PART 3 - EXECUTION

3.1 PLANTING SCHEDULE

At least thirty (30) days prior to the beginning of work in each area, submit a planting schedule for approval by the Landscape Architect.

3.2 PLANTINGS

- A. Seeding New Lawns
  1. Remove existing grass, vegetation and turf. Dispose of such material legally off-site, do not turn over into soil being prepared for lawns.
  2. Till to a depth of not less than 6"; apply soil amendments as needed; remove high areas and fill in depressions; till soil to a homogeneous mixture of fine texture, remove lumps, clods, stones over 1" diameter, roots and other extraneous matter. Dispose of such material legally off-site.
  3. Seeded areas shall receive an application of commercial fertilizer at the rate of 10 lbs. per 1,000 sq. ft. and shall have an analysis of 16-8-8.
  4. Lay sod within 24 hours from time of striping.
  5. Lay sod to form a solid mass with tightly fitted joints. Butt ends and sides of sod strips; do not overlap. Slagger strips to offset joints in adjacent courses. Work from boards to avoid damage to subgrade or soil. Tamp or roll lightly to ensure contact with subgrade. Work sifted soil into minor cracks between pieces of sod; remove excess to avoid smothering of adjacent grass.
  6. Water sod thoroughly with a fine spray immediately after planting.
- B. Seeding New Lawns
  1. Remove existing grass, vegetation and turf. Dispose of such material legally off-site. Do not turn over into soil being prepared for lawns.
  2. Till to a depth of not less than 6"; apply soil amendments; remove high areas and fill in depressions; till soil to a homogeneous mixture of fine texture, remove lumps, clods, stones over 1" diameter, roots and other extraneous matter. Dispose of such material legally off-site.
  3. Seeded lawn areas shall receive an application of commercial fertilizer at the rate of 8 lbs. per 1,000 sq. ft. and shall be 6-24-24. Fertilizer shall be uniformly spread and mixed into the soil to a depth of 1" inches.
  4. Do not use wet seed or seed which is moldy or otherwise damaged in transit or storage.

5. Sow seed using a spreader or seeding machine. Do not seed when wind velocity exceeds five (5) miles per hour. Distribute seed evenly over entire area by sowing equal quantity in two directions at right angles to each other.
6. Sow not less than specified rate.
7. Rake lawn seed lightly into top 1" of soil, roll lightly and water with a fine spray.

3.3 GROUNDCOVER AND PERENNIAL BEDS

Groundcover, perennials, and annuals shall be planted in continuous beds of planting soil mixture a minimum of 8" deep. Install per spacing indicated on plan.

- D. Trees and Shrubs
  1. Set balled and burlapped (BBB) stock plumb and in center of pit or trench with top of ball at an elevation that will keep the root flare exposed upon backfill and mulching. Remove burlap from top and sides of balls; retain on bottoms. When set, place additional topsoil backfill around base and sides of ball and work each layer to settle backfill and eliminate voids and air pockets. When excavation is approximately 2/3 full, water thoroughly before placing remainder of backfill. Repeat watering until no more is absorbed. Water again after placing final layer of backfill.
  2. Dish top of backfill to allow for mulching. Provide additional backfill berm around edge of excavations to form shallow saucer to collect water.
  3. Mulch pits, trenches and planted areas. Provide not less than 2" thickness of mulch and work into top of backfill and finish level with adjacent finish grades. Maintain exposed root flare at all times.
  4. Prune only injured or dead branches from flowering trees, if any. Protect or remove leader of tree during shaping and pruning operations. Prune shrubs to retain natural character in accordance with standard horticultural practices.
  5. Remove and replace excessively pruned or ill-formed stock resulting from improper pruning.
  6. The Contractor shall be wholly responsible for assuring that all trees are planted in a vertical and plumb position and remain so throughout the life of this contract and guarantee period. Trees may or may not be staked and gayed depending upon the individual preference of the Contractor; however, any bracing procedure(s) must be approved by the Owner prior to its installation.

3.3 INITIAL MAINTENANCE

- A. Begin maintenance immediately after planting, continuing until final acceptance. A minimum of thirty (30) days.
- B. Maintain planted and seeded areas by watering, rolling/grading, replanting and implementing erosion control as required to establish vegetation free of erodes or bare areas.

3.4 CLEAN UP AND PROTECTION

- A. During landscape work, store materials and equipment where directed. Keep pavements clean and work areas and adjoining areas in an orderly condition.
- B. Protect landscape work and materials from damage due to landscape operations, operations by other trades and trespassers. Maintain protection during installation and maintenance periods. Treat, repair or replace damaged landscape work as directed by Landscape Architect.

3.5 INSPECTION AND ACCEPTANCE

- A. The Landscape Architect reserves the right to inspect seeds, plants, trees and shrubs either at place of growth or at site before planting for compliance with requirements for name, variety, size, quantity, quality and mix proportion.
- B. Supply written affidavit certifying composition of seed mixtures and integrity of plant materials with respect to species, variety and source.
- C. Notify the Landscape Architect within five (5) days after completing initial and/or supplemental plantings in each area.
- D. When the landscape work is completed, including maintenance, the Landscape Architect will, upon request, make a final inspection to determine acceptability. After final acceptance, the Owner will be responsible for maintenance.



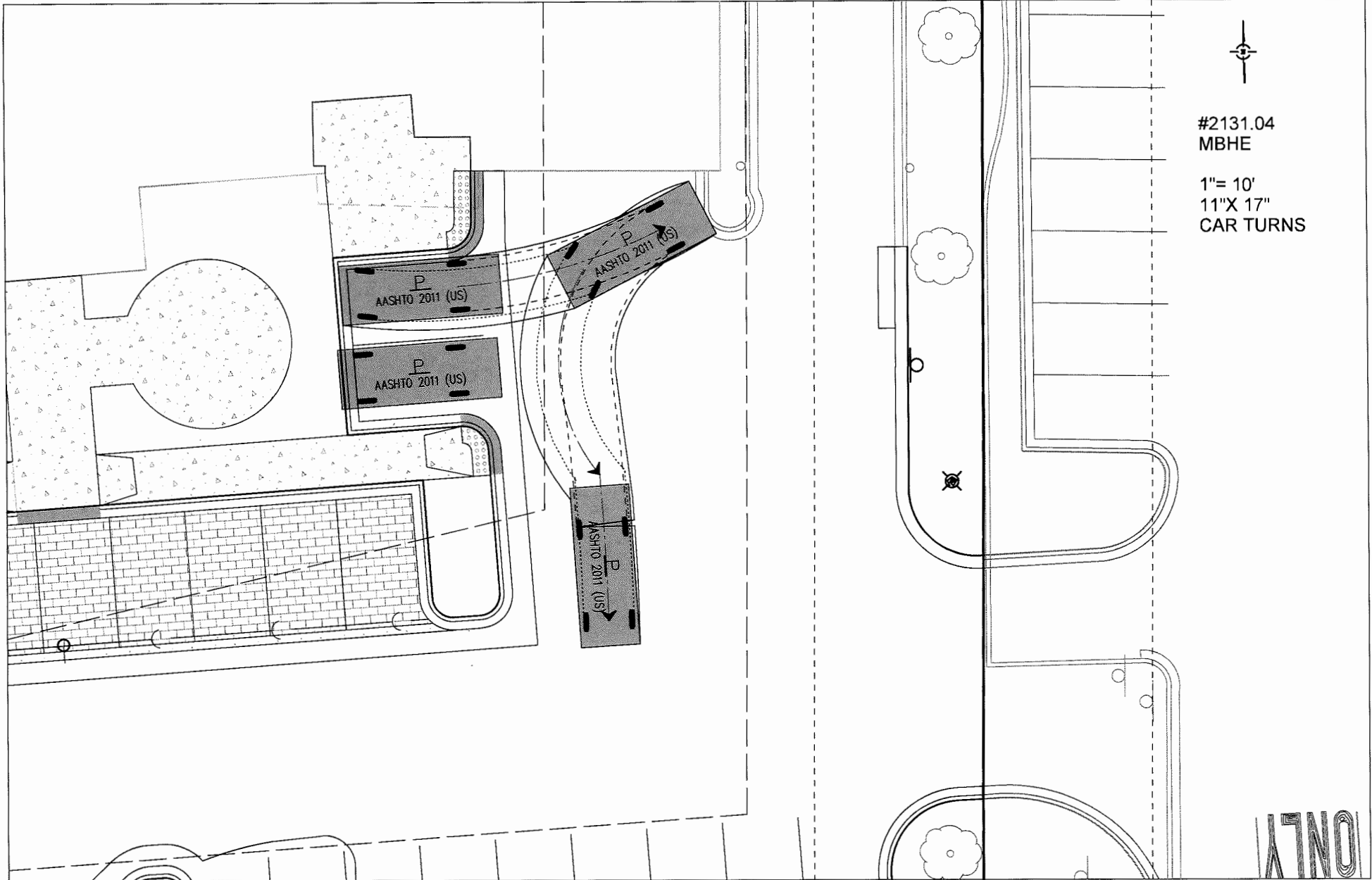
GARY R. WEBER  
ASSOCIATES, INC.  
LAND PLANNING  
ECOLOGICAL CONSULTING  
LANDSCAPE ARCHITECTURE  
402 WEST LIBERTY DRIVE  
WHITATION, ILLINOIS 60187  
PHONE: 630-668-1797

MOTOR WERKS MERCEDES BENZ  
GOLF ROAD  
HOFFMAN ESTATES, ILLINOIS  
LANDSCAPE SPECIFICATIONS

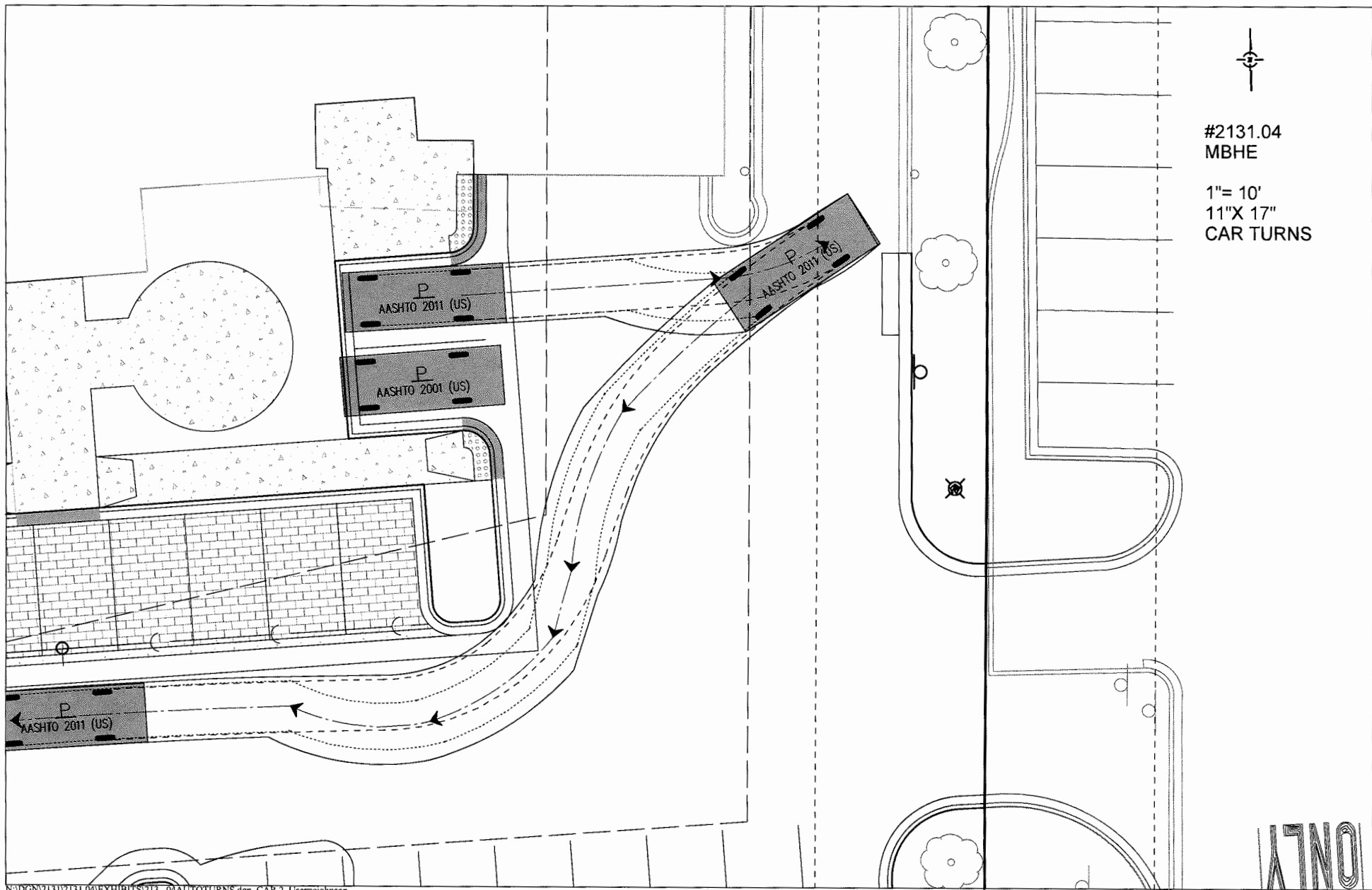
Rev 2 4.10.2019  
Rev 1 4.05.2016  
REVIEWS

DATE 3.15.2019  
PROJECT NO. TMA1901  
DRAWN KK  
CHECKED JCT  
SHEET NO.



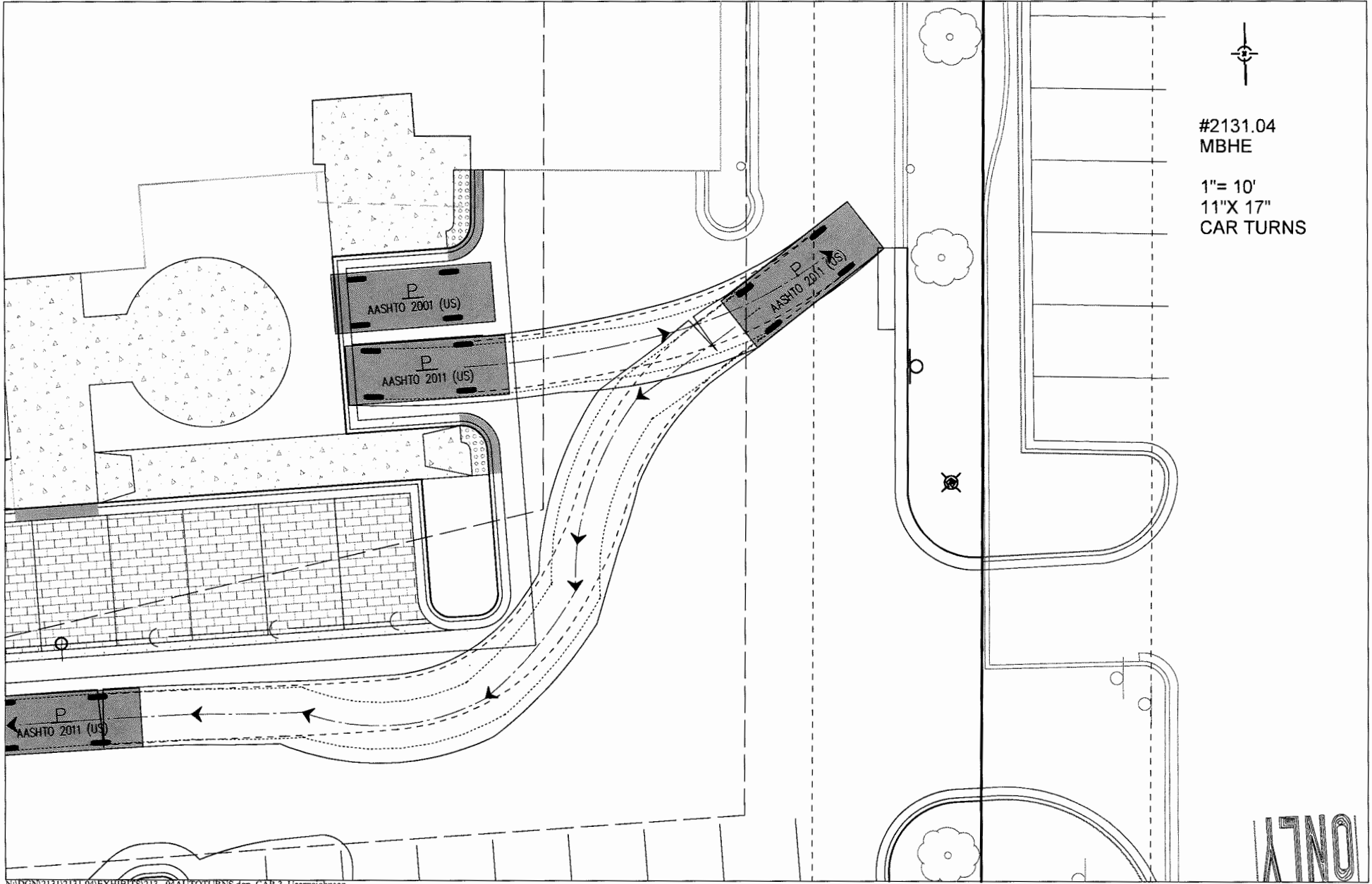


ONLY



#2131.04  
MBHE  
1"= 10'  
11"X 17"  
CAR TURNS

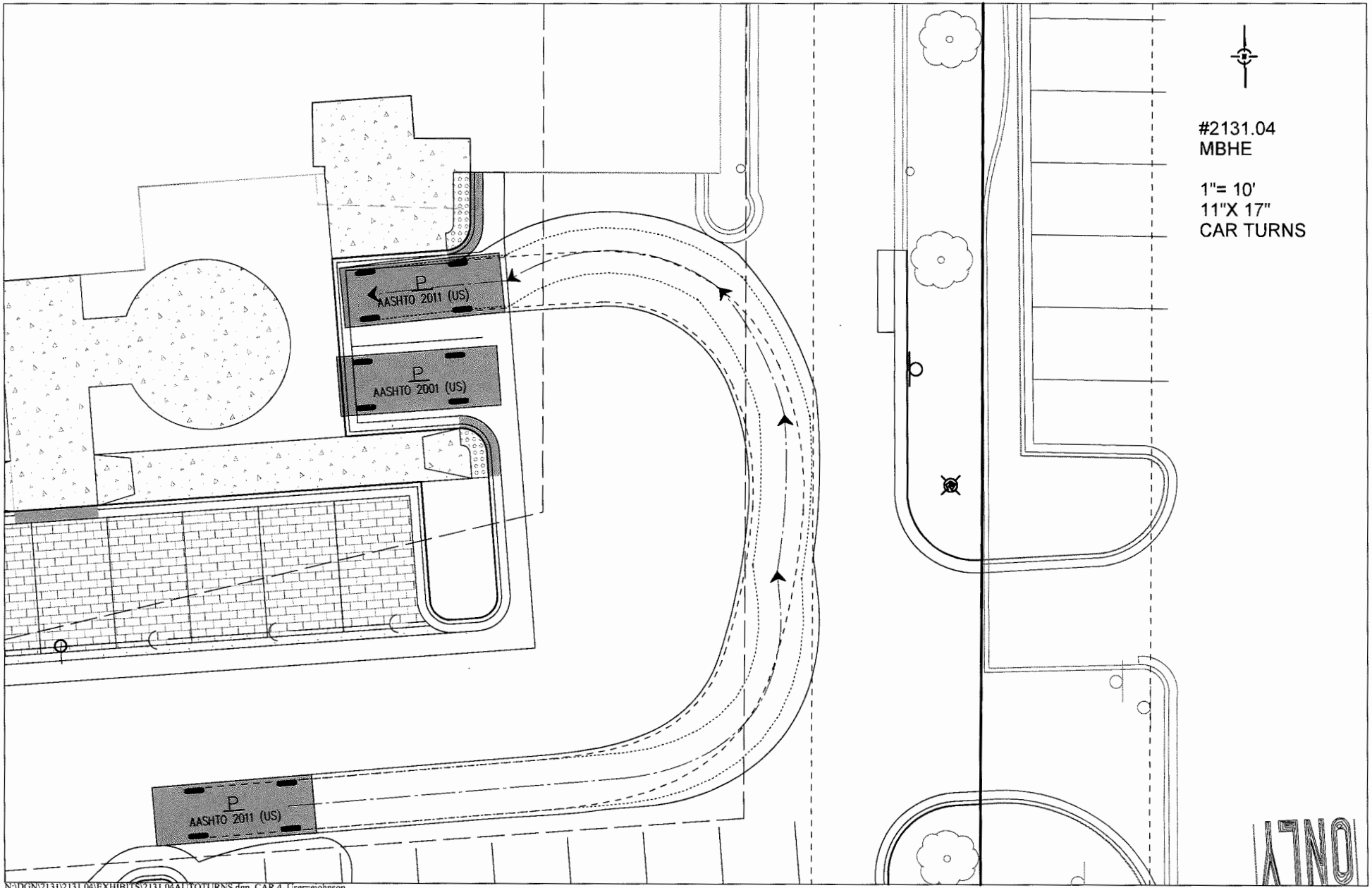
ONLY



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MBHE

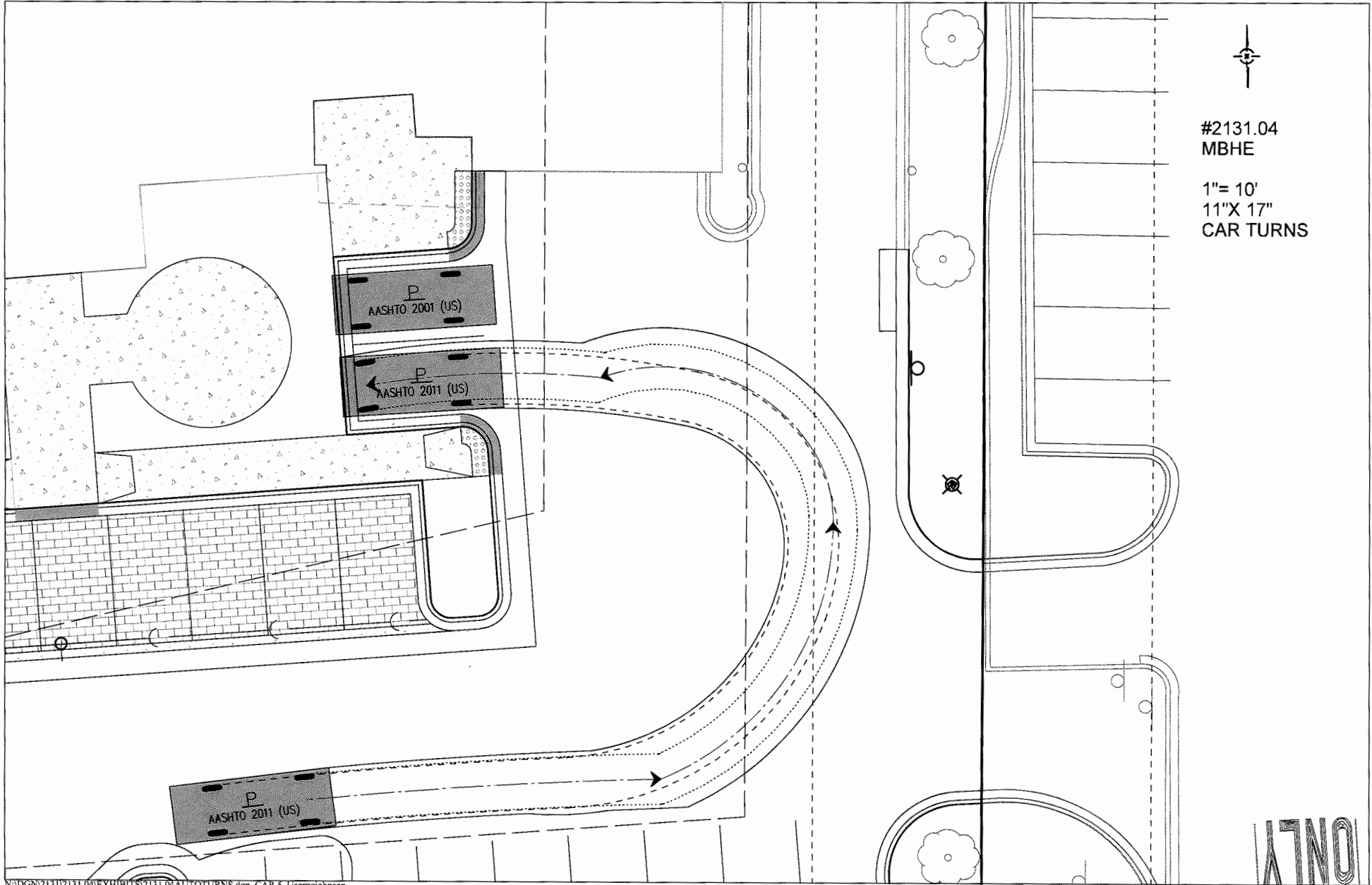
1"= 10'  
11"X 17"  
CAR TURNS

NO LEFT TURN



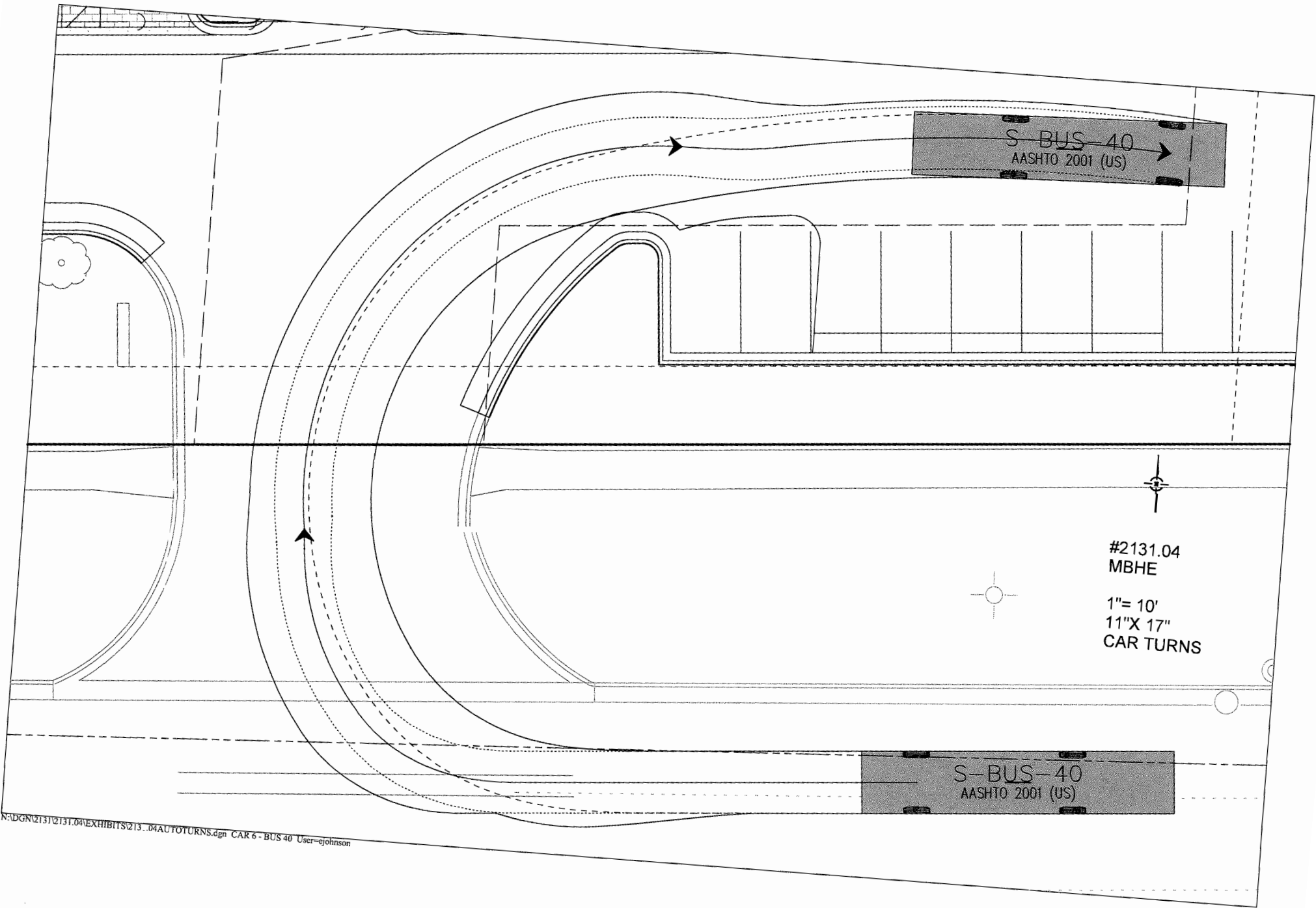
#2131.04  
MBHE

1"= 10'  
11"X 17"  
CAR TURNS



#2131.04  
MBHE  
1"= 10'  
11"X 17"  
CAR TURNS

ONLY



S-BUS-40  
AASHTO 2001 (US)

#2131.04  
MBHE  
1"= 10'  
11"X 17"  
CAR TURNS

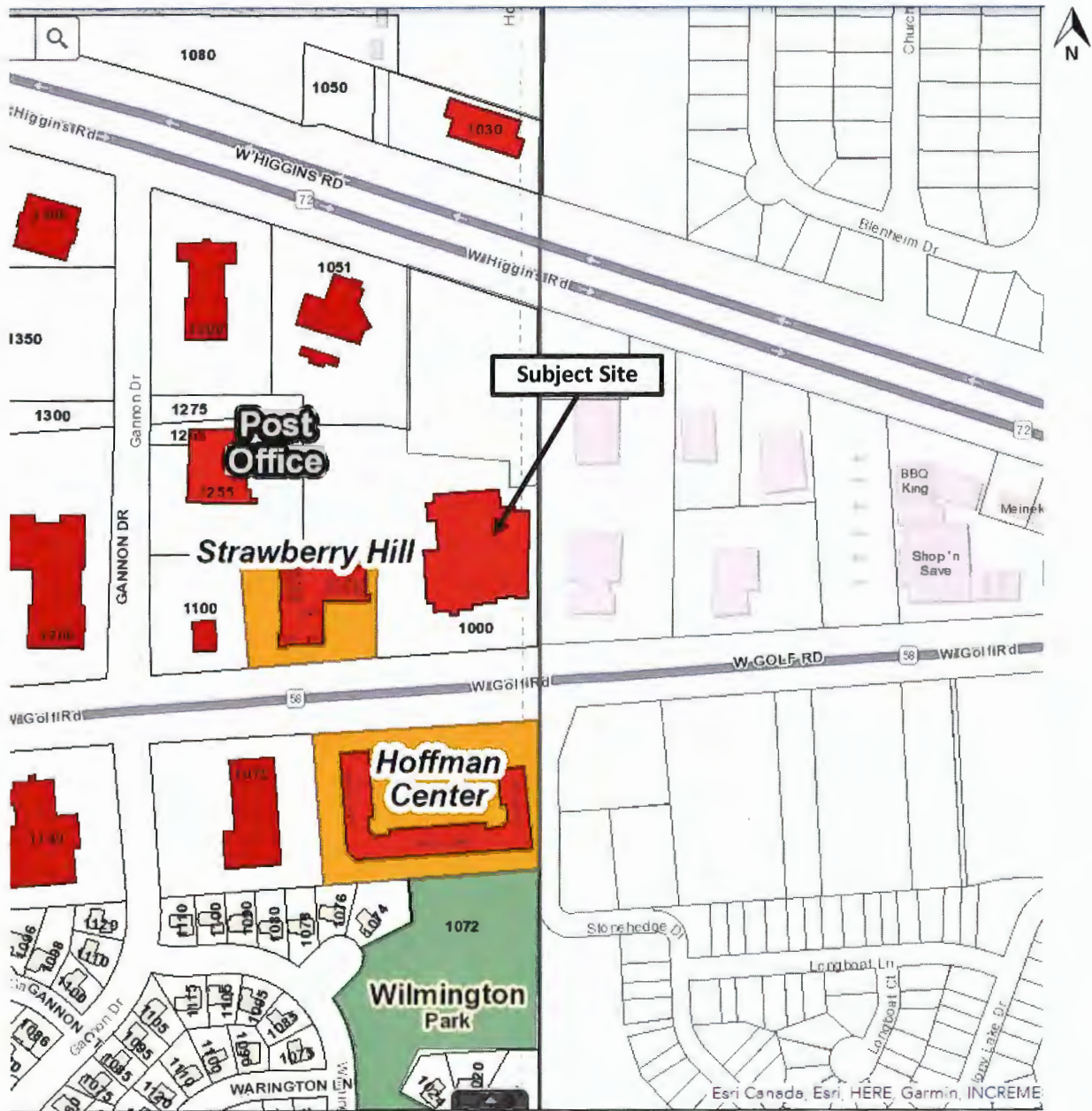
S-BUS-40  
AASHTO 2001 (US)





1000 W Golf Rd

P.I.N. 07-09-300-036-0000

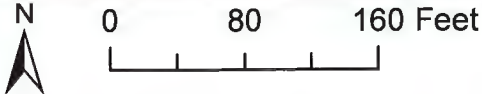


April 2019

Village of Hoffman Estates  
Planning Division



# 1000 W Golf Rd



Planning Division  
Village of Hoffman Estates  
April 2019

VILLAGE OF HOFFMAN ESTATES

AN ORDINANCE AMENDING SECTION 8-3-22, NUMBER OF LICENSES OF ARTICLE 3, ALCOHOLIC LIQUORS, OF THE HOFFMAN ESTATES MUNICIPAL CODE (DECREASE IN NUMBER OF NUMBER OF CLASS "A" LICENSES, SHANSHAN CORP. D/B/A HOUSE OF PHO, AND INCREASE IN NUMBER OF CLASS "A" LICENSES, L&C YU, INC., D/B/A HOUSE OF PHO, 1004 W. GOLF ROAD)

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: That Section 8-3-22, NUMBER OF LICENSES, of the Hoffman Estates Municipal Code be and the same is hereby amended to read as follows:

The number of licenses issued to persons for the sale of alcoholic liquors by the Village of Hoffman Estates shall be limited to sixty-two (62) Class "A" licenses, two (2) Class "AA" licenses, fifteen (15) Class "B" licenses, unlimited Class "C" licenses, four (4) Class "D" licenses, two (2) Class "DD" licenses, one (1) Class "F" license, one (1) Class "G" licenses, unlimited Class "H" licenses, one (1) Class "I" license, eighteen (18) Class "LC" licenses, one (1) Class "AC" license and eight (8) Class "J" licenses.

Section 2: That any person, firm or corporation violating any of the provisions of this Ordinance shall be subject to a fine of not less than Ten Dollars (\$10.00) nor more than Five Hundred Dollars (\$500.00) for each offense, and a separate offense shall be deemed committed on each day during or on which a violation occurs or continues.

Section 3: That the Village Clerk is hereby authorized to publish this ordinance in pamphlet form.

Section 4: That this Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS \_\_\_\_\_ day of \_\_\_\_\_, 2019

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Michael Gaeta	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019

\_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk  
Published in pamphlet form this \_\_\_\_\_ day of \_\_\_\_\_, 2019.



# Hoffman Estates Fire Department

To: James Norris, Village Manager  
From: Patrick Fortunato, Fire Chief  
Date: April 30, 2019  
Subject: Fire Department Agenda Item – May 6, 2019 Board Meeting

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At the April 22, 2019 Public Health and Safety Meeting, the Fire Department requested authorization to waive formal bidding and purchase a 2019 Ford F-150 4x4 Super Cab pick-up truck through the Northwest Municipal Conference Suburban Purchasing Cooperative from Roesch Ford, Bensenville, IL, in the amount of \$31,207.

In the days after this committee meeting, Fire Administrative staff re-examined the Cooperative contracts and found that Ford F-150 chassis contract had a higher base price than the Ford F-250 contract. Each contract is held by a different dealership. We re-calculated the price for this pick-up truck using both contracts and found that the Ford F-250 pick-up truck equipped the same as the Ford F-150 was less expensive (\$209).

We spoke to Public Works, Fleet Services staff and our Fire Department apparatus personnel regarding the two vehicles. Because the Ford, F-250 has a greater payload, heavy duty suspension and slightly better towing capabilities, all thought that the F-250 would provide better service to the Village long term than the lighter duty Ford F-150.

The Fire Department is requesting the following:

Request authorization to waive formal bidding and purchase a 2019 Ford F-250 4x4 Super Cab pick-up truck for the Fire Department through the Northwest Municipal Conference Suburban Purchasing Cooperative from Currie Motors Frankfort Inc., Frankfort, IL, in the amount of \$30,998.

A handwritten signature in black ink, appearing to read "Patrick S. Fortunato", is written over a horizontal line.

Patrick S. Fortunato  
Fire Chief