

## AGENDA

*Village of Hoffman Estates  
Second Meeting of the Month  
Village Board of Trustees*

*1900 Hassell Road  
Hoffman Estates, IL 60169  
847/882-9100*

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<b>Board Room</b>	<b>7:00 p.m.</b>	<b>February 18, 2019</b>
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1. **CALL TO ORDER/ROLL CALL**
2. **PLEDGE OF ALLEGIANCE TO THE FLAG**
3. **RECOGNITION OF AUDIENCE**
4. **APPROVAL OF MINUTES** – February 4, 2019
5. **CONSENT AGENDA/OMNIBUS VOTE (Roll Call Vote)**  
*(All items under the Consent Agenda are considered to be routine in nature and will be enacted by one motion. There will be no separate discussion of these items unless a Trustee so requests. In that event, the discussion will be the first item of business after approval of the Consent Agenda.)*
  - A. Approval of Agenda
  - B. Approval of the schedule of bills for February 18, 2019 - \$5,207,550.49
  - C. Request Board approval of an Ordinance amending Section 6-2-1-HE-11-801.1, Right Turns Prohibited, of the Hoffman Estates Municipal Code (Eisenhower Junior High School).
  - D. Request Board approval of a Resolution supporting the Northwest Municipal Conference 2019 Legislative Program and the 2019 Illinois Municipal League State/Federal Legislative Agendas.
  - E. Request Board approval of a supplement to the engineering contract with TranSystems, Inc., for additional Phase I and II services on the Shoe Factory Road/I-90 bicycle and pedestrian project in an amount not to exceed \$60,831.
6. **REPORTS (INFORMATION ONLY)**
  - A. **President's Report**
    - . . . Presentation(s)
      - Board of Commissioners, Cook County, IL (Veterans Commission)
    - . . . Proclamation(s)
      - National Engineers Week
    - . . . Boards & Commissions Appointment(s)
  - B. **Trustee Comments**
  - C. **Village Manager's Report**
  - D. **Village Clerk's Report**
  - E. **Treasurer's Report (Deferral requested)**
  - F. **Committee Reports**
    - Finance
    - Public Works & Utilities
    - Public Health & Safety

**7. PLANNING & ZONING COMMISSION REPORTS**

A. Request by James Crocilla (owner) for a variation from Section 9-3-3-C-2-c to allow for a setback distance of one foot (1') for a privacy-style fence instead of the minimum setback distance of fifteen feet (15'), on the property located at 340 Navajo Lane.

Voting: 9 Ayes, 2 Absent

Motion carried.

B. Request by Benjamin Lake (owner) for a variation from Section 9-3-6-E to allow for a setback distance of nineteen feet (19') for a patio instead of the minimum setback distance of thirty feet (30') on the property located at 805 Heather Lane.

Voting: 9 Ayes, 2 Absent

Motion carried.

C. Request by Cabela's Wholesale LLC (owner) for a preliminary and final plat of resubdivision of Lot 4A5D2A1A in Prairie Stone located at 5225 Prairie Stone Parkway, with 1 condition (see packets).

Voting: 9 Ayes, 2 Absent

Motion carried.

D. Request by Cabela's Wholesale LLC (owner) for a preliminary concept site plan amendment for Cabela's located at 5225 Prairie Stone Parkway, with 2 conditions (see packets).

Voting: 9 Ayes, 2 Absent

Motion carried.

E. Request by DeSchouw BSM LLC (owner) of a Preliminary and Final Plat of Resubdivision of Barrington Square Resubdivision No. 3 located at 2250-2360 W. Higgins Road, with 1 condition (see packets).

Voting: 9 Ayes, 2 Absent

Motion carried.

F. Request by DeSchouw BSM LLC (owner) of a Preliminary and Final Site Plan Amendment for parking lot and site changes at 2250-2360 W. Higgins Road (Barrington Square Town Center), with 5 conditions (see packets).

Voting: 9 Ayes, 2 Absent

Motion carried.

G. Request by DeSchouw BSM LLC (owner) and Buona Beef (applicant) of a Preliminary and Final Site Plan for a restaurant on the newly proposed Lot 4 in Barrington Square Resubdivision No. 3 located at 2250-2360 W. Higgins Road., with 3 conditions (see packets).

Voting: 9 Ayes, 2 Absent

Motion carried.

H. Request by DeSchouw BSM LLC (owner) of a Master Sign Plan Amendment for the property located at 2552 W. Higgins Road in Barrington Square Town Center dated February 6, 2019.

Voting: 9 Ayes, 2 Absent

Motion carried.

8. **ADDITIONAL BUSINESS** *(All other new business; those items not recommended unanimously by the Committee)*
9. **ADJOURNMENT**

*Further details and information can be found in the agenda packet attached hereto and incorporated herein and can also be viewed online at [www.hoffmanestates.org](http://www.hoffmanestates.org) and/or in person in the Village Clerk's office).*

*The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.*

**MEETING:**                               **HOFFMAN ESTATES VILLAGE BOARD**  
**DATE:**                                   **FEBRUARY 4, 2019**  
**PLACE:**                               **COUNCIL CHAMBERS**  
   **MUNICIPAL BUILDING COMPLEX**  
   **1900 HASSELL ROAD**  
   **HOFFMAN ESTATES, ILLINOIS**

**1. CALL TO ORDER:**

Village President William McLeod called the meeting to order at 7:00 p.m. The Village Clerk called the roll. Trustees present: Karen Mills, Anna Newell, Gary Pilafas, Gary Stanton, Michael Gaeta, Karen Arnet  
A quorum was present.

**ADMINISTRATIVE PERSONNEL PRESENT:**

J. Norris, Village Manager  
D. O'Malley, Deputy Village Manager  
A. Janura, Corporation Counsel  
M. Koplín, Asst. Village Manager-Development Services  
P. Fortunato, Acting Fire Chief  
T. Bos, Police Chief  
G. Poulos, Asst. Police Chief  
K. Cawley Asst. Police Chief  
J. Nebel, Public Works Director  
F. Besenhoffer, IS Director  
R. Musiala, Finance Director  
M. Saavedra, H&HS Director  
B. Anderson, CATV Coordinator  
S. Ostrovsky, Asst. to the Village Manager  
M. Galloway, GG Intern

**2. PLEDGE OF ALLEGIANCE TO THE FLAG:**

The Pledge was led by Trustee Mills.

**3. RECOGNITION OF AUDIENCE:**

No one wished to be recognized.

**6. REPORTS:**

**6.A. President's Report**

**Proclamation(s)**

Trustee Newell read the following proclamation.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to concur with the proclamation proclaiming Friday, February 15, 2019 as Timothy Beyer Day. Voice vote taken. All ayes. Motion carried.



Chief Fortunato accepted the proclamation for FF Beyer.

Trustee Arnet read the following proclamation.

Motion by Trustee Gaeta, seconded by Trustee Mills, to concur with the proclamation proclaiming Friday, February 15, 2019 as Anthony Butler Day. Voice vote taken. All ayes. Motion carried.

Chief Fortunato accepted the proclamation for Lt. Butler.

Trustee Pilafas read the following proclamation.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to concur with the proclamation proclaiming Friday, February 15, 2019 as Alan O'Brien Day. Voice vote taken. All ayes. Motion carried.

Chief Fortunato accepted the proclamation for FF O'Brien.

Trustee Mills read the following proclamation.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to concur with the proclamation proclaiming Friday, February 15, 2019 as Brian Raymond Day. Voice vote taken. All ayes. Motion carried.

Chief Fortunato accepted the proclamation for Lt. Raymond.

Trustee Gaeta read the following proclamation.

Motion by Trustee Mills, seconded by Trustee Arnet, to concur with the proclamation proclaiming February 2019 as National Heart Month. Voice vote taken. All ayes. Motion carried.

Dr. Saavedra accepted the proclamation.

#### **Swearing-In**

Officer John Bending introduced his family, Mayor McLeod swore Officer Bending into the office of Police Sergeant, Sergeant Bending was congratulated by the Board.

#### **4. APPROVAL OF MINUTES:**

Motion by Trustee Gaeta, seconded by Trustee Arnet, to approve Item 4. Voice vote taken. All ayes. Motion carried.

Approval of Minutes  
Minutes from January 21, 2019.

Motion by Trustee Gaeta, seconded by Trustee Stanton, to approve Item 4. Voice vote taken. All ayes. Motion carried.

Approval of Minutes  
Minutes from January 28, 2019.

#### **5. CONSENT AGENDA/OMNIBUS VOTE:**

Motion by Trustee Mills, seconded by Trustee Arnet, to approve Item 5.A.

**5.A.** Approval of Agenda

Roll Call:

Aye: Mills, Newell, Pilafas, Stanton, Gaeta, Arnet

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Arnet, to approve Item 5.B.

**5.B.** Approval of the schedule of bills for February 4, 2019: \$9,478,948.33.

Roll Call:

Aye: Mills, Newell, Pilafas, Stanton, Gaeta, Arnet

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Arnet, to approve Item 5.C.

**5.C.** Request Board approval of Ordinance No. 4708-2019 granting a Master Sign Plan under Section 9-3-8-M-12 of the Zoning Code for the property located at 2353 and 2357 Hassell Road, Hoffman Estates.

Roll Call:

Aye: Mills, Newell, Pilafas, Stanton, Gaeta, Arnet

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Arnet, to approve Item 5.D.

**5.D.** Request Board approval of Ordinance No. 4709-2019 authorizing the sale of personal property owned by the Village of Hoffman Estates (Pierce Arrow Fire Engine).

Roll Call:

Aye: Mills, Newell, Pilafas, Stanton, Gaeta, Arnet

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Arnet, to approve Item 5.E.

**5.E.** Request Board approval of Ordinance No. 4710-2019 authorizing the sale of personal property owned by the Village of Hoffman Estates (Drager breathing apparatus and disposal of all compressed air cylinder equipment).

Roll Call:

Aye: Mills, Newell, Pilafas, Stanton, Gaeta, Arnet

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Arnet, to approve Item 5.F.

**5.F.** Request Board approval of Resolution No. 1673-2019 for construction on State highways.

Roll Call:

Aye: Mills, Newell, Pilafas, Stanton, Gaeta, Arnet

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Arnet, to approve Item 5.G.

**5.G.** Request Board authorization to award contract for Public Works Aster Lane storage building roofing and fascia to Select Roofing and Gutters, Elgin, IL (low bid), in an amount not to exceed \$72,000.

Roll Call:

Aye: Mills, Newell, Pilafas, Stanton, Gaeta, Arnet

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Arnet, to approve Item 5.H.

**5.H.** Request Board authorization to award contract for Public Works Aster Lane storage building siding replacement to BP&T Co., Mount Prospect, IL (low bid), in an amount not to exceed \$39,700.

Roll Call:

Aye: Mills, Newell, Pilafas, Stanton, Gaeta, Arnet

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Arnet, to approve Item 5.I.

**5.I.** Request Board authorization to waive formal bidding; and purchase one (1) Aquascan 610 Water Leak Noise Correlator from Gutermann Inc., Newmarket, NH, in an amount not to exceed \$25,525.

Roll Call:

Aye: Mills, Newell, Pilafas, Stanton, Gaeta, Arnet

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Arnet, to approve Item 5.J.

**5.J.** Request Board authorization to waive formal bidding; and purchase Neptune meters from Water Resources, Inc., Elgin, IL (sole supplier), at 2019 unit prices, in an amount not to exceed \$225,000.

Roll Call:

Aye: Mills, Newell, Pilafas, Stanton, Gaeta, Arnet

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Arnet, to approve Item 5.K.

**5.K.** Request Board authorization to waive formal bidding; and purchase two (2) replacement heavy-duty dump truck chassis through Sourcewell (formerly NJPA) contract discount from Rush Truck Center of Illinois, Inc., Chicago, IL, in an amount not to exceed \$176,002.

**Roll Call:**

Aye: Mills, Newell, Pilafas, Stanton, Gaeta, Arnet

Nay:

Mayor McLeod voted aye.

Motion carried.

**6. REPORTS:****6.A. President's Report**

Motion by Trustee Gaeta, seconded by Trustee Arnet, to approve the resignation, with regrets, of Michelle Pilafas from the Commission for People with Disabilities. Voice vote taken. All ayes. Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to approve the resignation, with regrets, of Jean Carlson from the Commission for People with Disabilities. Voice vote taken. All ayes. Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Arnet, to approve the resignation, with regrets, of Myra Khan from the Arts Commission. Voice vote taken. All ayes. Motion carried.

Mayor McLeod reminded everyone of the upcoming Senior Commission lunch and the Cultural Awareness Commission Black History Month event. He stated the he attended the Chamber of Excellence Awards Dinner and the reception for Sergeant Bending.

**6.B. Trustee Comments**

Trustee Mills stated that she attended the NWMC Legislative Brunch, the Chamber Dinner, a 60<sup>th</sup> Anniversary meeting and she congratulated Sergeant Bending.

Trustee Stanton stated that he attended a ribbon cutting for Pita House, a meeting with Winston Knolls School to discuss a playground, the Legislative Brunch, the Chamber Dinner and he congratulated Sergeant Bending.

Trustee Arnet stated that she attended the Legislative Brunch, the Chamber Dinner and she congratulated all the winners, a 60<sup>th</sup> Anniversary meeting and she congratulated Sergeant Bending.

Trustee Pilafas congratulated Sergeant Bending.

Trustee Newell congratulated Sergeant Bending.

Trustee Gaeta stated that he attended a ribbon cutting at Pita House, a Fire and Police Commission meeting, Wine Wednesday, the Legislative Brunch and he congratulated Sergeant Bending.

**6.C. Village Manager's Report**

Mr. Norris had no comments.

**6. D. Village Clerk's Report**

The Village Clerk stated that during the month of January 142 FOIA requests were received and 63 passports were processed.

**6.E. Committee Reports**

**Transportation & Road Improvement**

Trustee Mills stated that they would be meeting request approval of a resolution with ... for regional funding needs; request approval of a supplement to the Village Phase II engineering services contract with TranSystems, Inc. for the Shoe Factory Road / I-90 bicycle and pedestrian project in an amount not to exceed \$\_\_\_\_; review a request for turn restrictions on Rosedale Lane at Eisenhower Junior High School and for information purposes only the Transportation Division Monthly Report and an item in review a discussion of parking permit program in the Washington Blvd and Alcoa Lane area (May, 2019).

**Planning, Building & Zoning**

Trustee Stanton stated that they would be meeting for information purposes only the Planning Division, the Code Enforcement Division and the Economic Development and Tourism monthly reports

**General Administration & Personnel**

Trustee Mills stated that they would be meeting to have a presentation on the Cook County Forest Preserve Strategic Plan; to have a discussion regarding Legislative Update and for information purposes only the Cable TV, Human Resources Management and Legislative Operations & Outreach Monthly Reports.

**7. ADDITIONAL BUSINESS:**

Motion by Trustee Gaeta, seconded by Trustee Arnet, to approve Item 8.A.

**7.A.** Request Board approval of Ordinance No. 4711-2019 amending Section 8-3-22, Number of Licenses, of Article 3, Alcoholic Liquors of the Hoffman Estates Municipal Code (increase in number of Class "A" licenses, Elsa Restaurant Group Hoffman Estates LLC dba Elsa's, 711 W. Golf Road, Hoffman Estates).

Roll Call:

Aye: Mills, Newell, Pilafas, Stanton, Gaeta, Arnet

Nay:

Mayor McLeod voted aye.

Motion carried.

**8. ADJOURNMENT:**

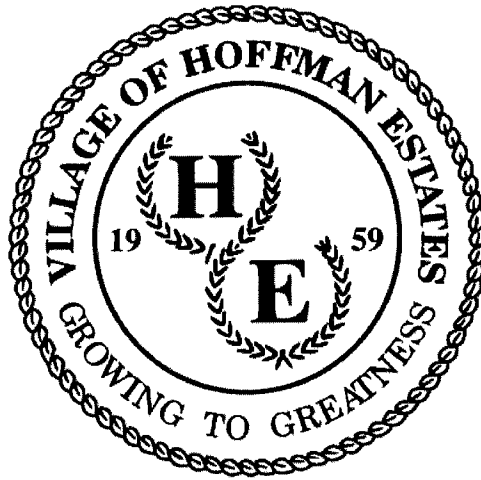
Motion by Trustee Stanton, seconded by Trustee Arnet, to adjourn the meeting. Time: 7:29 p.m. Voice vote taken. All ayes. Motion carried.

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Bev Romanoff  
Village Clerk

Date Approved

The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.



## BILL LIST SUMMARY

<b>BILL LIST AS OF 02/18/2019</b>	<b>\$</b>	<b>752,607.77</b>
<b>MANUAL CHECKS 02/01 - 02/15/2019</b>	<b>\$</b>	<b>91,227.52</b>
<b>WIRE TRANSFERS 01/09 - 01/31/2019</b>	<b>\$</b>	<b>1,527,553.39</b>
<b>CREDIT CARDS 12/06 - 01/05/2019</b>	<b>\$</b>	<b>233,649.49</b>
<b>PAYROLL 02/01/2019</b>	<b>\$</b>	<b>1,323,355.73</b>
<b>PAYROLL 02/15/2019</b>	<b>\$</b>	<b><u>1,279,156.59</u></b>
<b>TOTAL</b>	<b>\$</b>	<b>5,207,550.49</b>

# VILLAGE OF HOFFMAN ESTATES

## February 18, 2019

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT	
<b>GENERAL FUND</b>					
01	0302	19	ADVANCE AUTO PARTS	REPAIR PARTS	\$116.13
01	0302	19	BRISTOL HOSE & FITTING	REPAIR PARTS	\$559.47
01	0302	19	BRISTOL HOSE & FITTING	STOCK REPAIR PARTS	\$4.29
01	0302	19	BUMPER TO BUMPER/ LEE AUTO	RTN STOCK REPAIR PARTS	(\$12.99)
01	0302	19	BUMPER TO BUMPER/ LEE AUTO	STOCK REPAIR PARTS	\$18.87
01	0302	19	CHICAGO PARTS & SOUND LLC	VARIOUS SUPPLIES	\$26.76
01	0302	19	FACTORY MOTOR PARTS CO	STOCK REPAIR PARTS	\$29.34
01	0302	19	FACTORY MOTOR PARTS CO	WIPER BLADES	\$90.00
01	0302	19	FIRESTONE TRUCK & SERVICE CENTER	STOCK REPAIR PARTS	\$933.38
01	0302	19	GLOBAL EMERGENCY PRODUCTS	STOCK REPAIR PARTS	\$21.06
01	0302	19	MCMASTER CARR SUPPLY CO	REPAIR PARTS	\$176.90
01	0302	19	MCMASTER CARR SUPPLY CO	STOCK REPAIR PARTS	\$82.33
01	0302	19	MENARDS - HNV R PARK	STOCK REPAIR PARTS	\$101.34
01	0302	19	MONROE TRUCK EQUIPMENT	REPAIR PARTS	\$108.46
01	0302	19	MONROE TRUCK EQUIPMENT	STOCK REPAIR PARTS	\$18.64
01	0302	19	O'REILLY AUTO PARTS	REPAIR PARTS	\$13.18
01	0303	19	PROVEN IT	COPIER SERVICES	\$513.83
<b>CASH AND INVENTORIES</b>					<b>\$2,800.99</b>
01	1445.1	19	ORO STONE LANDSCAPING	RFD REISSUE CHECK	\$750.00
<b>PAYMENTS FROM DEPOSITS ON HAND</b>					<b>\$750.00</b>
01	1214	19	NCPERS-IL IMRF	DED:2030 IMRF LIFE	\$768.00
01	1218	19	INT'L BROTHERHOOD TEAMSTERS LCL 700	DED:2029 ASSESSMENT	\$50.00
01	1218	19	INT'L BROTHERHOOD TEAMSTERS LCL 700	DED:2034 PW DUES	\$3,742.00
01	1218	19	METROPOLITAN ALLIANCE OF POLICE	DED:2033 MAP 96	\$2,706.00
01	1218	19	METROPOLITAN ALLIANCE OF POLICE	DED:2038 MAP 97	\$324.00
01	1222	19	AFLAC	DED:1027 AFLAC-INS	\$9,006.80
01	1223	19	AFLAC	DED:2027 AFL-AF TAX	\$1,865.48
01	1226	19	PRE PAID LEGAL SERVICE INC	DED:2035 LEGAL	\$1,107.14
01	1239	19	JOHN HANCOCK LIFE INSURANCE CO.	DED:2040 LTC INS	\$318.02
<b>PAYROLL DEDUCTION</b>					<b>\$19,887.44</b>
01000010	3104	19	JIM DORSCH	REFUND TRANSFER STAMP	\$960.00
01000011	3203	19	ILLINOIS STATE POLICE	LIQUOR CONTROL COMM	\$56.50
01000013	3405	19	EDGAR SMITH	RFD PARAMEDIC FEE	\$988.91
01000013	3413	19	BERNICE KATHREIN	REFUND LOCK BOX	\$55.00
<b>GENERAL-REVENUE ACCOUNTS</b>					<b>\$2,060.41</b>

# VILLAGE OF HOFFMAN ESTATES

February 18, 2019

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT	
01101122	4301	19	HOFFMAN ESTATES CHAMBER OF COMMERCE	LUNCHEON FOR 2	\$30.00
01101122	4301	19	NORTHWEST MUNICIPAL CONFERENCE	LEGISLATIVE BRUNCH	\$360.00
01101124	4507	19	ALFRED G RONAN LTD	FEB 2019 LEGAL FEES	\$5,000.00
<b>LEGISLATIVE</b>					<b>\$5,390.00</b>
01101224	4542	18	LANGUAGE LINE SERVICES	PROFESSIONAL SERVICES	\$51.75
<b>ADMINISTRATIVE</b>					<b>\$51.75</b>
01101324	4542	19	RICHARD A KAVITT ATTORNEY AT LAW	PROFESSIONAL SERVICES	\$1,300.00
01101324	4567	18	ARTHUR L JANURA JR	LEGAL SERVICE DEC 2018	\$250.00
01101324	4567	18	ARTHUR L JANURA JR	LEGAL SVC OCT-DEC TIF	\$10,237.50
01101324	4567	19	CLARK BAIRD SMITH LLP	PROFESSIONAL SERVICES	\$1,785.00
01101324	4567	19	HYDRO EXC INC	HEARING OFFICER	\$400.00
<b>LEGAL</b>					<b>\$13,972.50</b>
01101423	4402	19	WAREHOUSE DIRECT	OFFICE SUPPLIES	\$66.52
<b>FINANCE</b>					<b>\$66.52</b>
01101523	4403	19	P F PETTIBONE & CO	500 SHEETS 28# XEROGRAPHI	\$168.00
01101523	4403	19	P F PETTIBONE & CO	ESTIMATED SHIPPING/HANDLI	\$11.95
01101523	4403	19	P F PETTIBONE & CO	PMB 312-C MINUTE BOOK COV	\$512.73
<b>VILLAGE CLERK</b>					<b>\$692.68</b>
01101623	4402	18	WAREHOUSE DIRECT	OFFICE SUPPLIES	\$22.00
01101623	4416	18	XEROX CORP.	MAINT 11/21-12/30/18	\$140.20
01101623	4416	19	PROVEN IT	COPIER SERVICES	\$19.61
01101624	4507	19	DISCOVERY BENEFITS	JANUARY FSA MONTHLY	\$627.20
01101624	4507	19	ICMA RETIREMENT CORPORATION	TRUST AGREEMENT FEE	\$850.00
<b>HUMAN RESOURCES</b>					<b>\$1,659.01</b>
01102522	4301	18	SUZANNE OSTROVSKY	PER DIEM/MILEAGE IPELRA	\$297.40
01102522	4301	19	SUZANNE OSTROVSKY	PER DIEM REIM TRAVEL	\$242.06
01102523	4403	19	PRESSTECH INC.	JANUARY CITIZENS	\$2,530.00
01102524	4507	18	VISION TECHNOLOGY SOLUTIONS, LLC DB	GOV ACCESS	\$5,753.05
<b>COMMUNICATIONS</b>					<b>\$8,822.51</b>
<b>TOTAL GENERAL GOVERNMENT DEPARTMENT</b>					<b>\$30,654.97</b>



# VILLAGE OF HOFFMAN ESTATES

February 18, 2019

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
01201223	4402	19 OFFICE DEPOT	OFFICE SUPPLIES	\$42.15
01201223	4422	19 CAMIC JOHNSON	PROFESSIONAL SERVICES	\$350.00
01201224	4507	19 AFTERMATH INC	BIO HAZARD CLEAN UP	\$105.00
01201224	4510	19 MARLIN BUSINESS BANK	COPIER LEASE	\$344.00
<b>ADMINISTRATIVE</b>				<b>\$841.15</b>
01202122	4301	19 PHILIP GIACONE	PER DIEM TRAINING	\$193.00
01202122	4301	19 SCOTT MELZER	PER DIEM REIM FOR FIREARM	\$193.00
01202122	4301	19 THE SAFARILAND TRAINING GROUP	TRAINING	\$200.00
01202122	4301	19 TOWNE PLACE SUITES CHAMPAIGN URBANA	LODGING FOR TRAINING	\$531.10
01202122	4304	19 GALLS, LLC	HELMET	\$367.00
01202122	4304	19 J.G. UNIFORMS, INC.	NEW HIRE UNIFORM	\$5,306.75
01202123	4414	19 DASH MEDICAL	EXAM GLOVES	\$548.10
<b>PATROL &amp; RESPONSE</b>				<b>\$7,338.95</b>
01202322	4301	19 IAFCI	TRAINING SEMINAR	\$100.00
01202324	4509	19 MARLIN BUSINESS BANK	COPIER LEASE	\$172.00
01202324	4542	19 TRANSUNION RISK & ALTERNATIVE	PROFESSIONAL SERVICES	\$50.00
<b>INVESTIGATIONS</b>				<b>\$322.00</b>
01202423	4403	19 THE FINER LINE	NAME PLATES	\$25.00
<b>COMMUNITY RELATIONS</b>				<b>\$25.00</b>
01202524	4542	19 NORTHWEST CENTRAL DISPATCH SYSTEM	MARCH SERVICES	\$58,678.41
<b>COMMUNICATIONS</b>				<b>\$58,678.41</b>
01202824	4509	19 MARLIN BUSINESS BANK	COPIER LEASE	\$172.00
<b>RECORDS</b>				<b>\$172.00</b>
<b>TOTAL POLICE DEPARTMENT</b>				<b>\$67,377.51</b>

# VILLAGE OF HOFFMAN ESTATES

February 18, 2019

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
<b>FIRE DEPARTMENT</b>				
01301223 4402	19	OFFICE DEPOT	OFFICE SUPPLIES	\$51.60
<b>ADMINISTRATIVE</b>				<b>\$51.60</b>
01303122	19	CHRIS KUNDER	FUEL REIMBURSEMENT	\$83.62
01303122	19	UNIVERSITY OF ILLINOIS PYMT CENTER	TRAINING	\$600.00
01303122	18	MUNICIPAL EMERGENCY SERVICES	HIRESPPARKA 12'X12' CENTE	\$46.00
01303122	18	MUNICIPAL EMERGENCY SERVICES	HI-VISRESPPARKA EMBROIDER	\$75.91
01303122	18	MUNICIPAL EMERGENCY SERVICES	HIVISRESPPARKA EMBROIDERY	\$142.00
01303122	18	MUNICIPAL EMERGENCY SERVICES	HIVISRESPPARKA SEAMSEAL R	\$18.00
01303122	18	MUNICIPAL EMERGENCY SERVICES	RESPONDER HI-VIS PARKA	\$864.00
01303123	19	MR ACE LLC	VARIOUS SUPPLIES	\$21.98
01303123	19	MR ACE LLC	PROFESSIONAL SERVICES	\$55.95
01303124	19	AIR ONE EQUIPMENT INC	UNIVERSAL MASKS	\$117.00
01303124	19	EQUIPMENT MANAGEMENT CO.	BATTERY & TOOLS	\$1,580.00
01303124	19	MR ACE LLC	PROFESSIONAL SERVICES	\$21.96
01303124	19	THE NEEDHAM SHOP	VARIOUS SUPPLIES	\$465.09
01303124 4542	19	MARLIN BUSINESS BANK	COPIER LEASE	\$186.00
<b>SUPPRESSION</b>				<b>\$4,277.51</b>
01303222 4301	19	MICHAEL CLARKE	PARAMEDIC LICENSE RENEW	\$41.00
01303222 4301	19	NORTHWEST COMMUNITY EMS DEPT.	ANNUAL LICENSES/KEYS	\$940.00
01303222 4301	19	NORTHWEST COMMUNITY HOSPITAL	SYSTEM FEE ENTRY	\$75.00
01303223 4419	19	AIRGAS USA, LLC	MEDICAL SUPPLIES	\$321.32
01303223 4419	19	EMERGENCY MEDICAL PRODUCTS INC	1/8" OXYGEN FITTING	\$19.22
01303223 4419	19	EMERGENCY MEDICAL PRODUCTS INC	NITRIL EXAM GLOVES, LG	\$295.60
01303223 4419	19	EMERGENCY MEDICAL PRODUCTS INC	NITRILE EXAM GLOVES, X-LG	\$295.60
01303223 4419	19	EMERGENCY MEDICAL PRODUCTS INC	OXYGEN FLOW METER	\$33.26
01303223 4419	19	EMERGENCY MEDICAL PRODUCTS INC	SOFT STRETCHER	\$76.50
01303224 4510	19	BATTERY SHIP	DEWALT 24V BATTERY REPLAC	\$566.24
01303224 4510	19	ESSC INC	12V DC VEHICLE POWER ADAP	\$150.00
01303224 4510	19	ESSC INC	ESTIMATED SHIPPING/HANDLI	\$15.00
01303224 4510	19	PHYSIO-CONTROL INC.	PRINTER	\$1,210.00
<b>EMERGENCY MEDICAL SERVICES</b>				<b>\$4,038.74</b>
01303323 4403	19	PLUM GROVE PRINTERS INC	BUSINESS CARDS	\$65.00
01303324 4507	18	JOHNSON CONTROLS SECURITY SOLUTIONS	SERVICE CALL	\$39.95
01303324 4507	19	CHGO METRO.FIRE PREVENTION CO	JANUARY MAINTENANCE	\$1,592.00
<b>PREVENTION</b>				<b>\$1,696.95</b>

# VILLAGE OF HOFFMAN ESTATES

February 18, 2019

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT	
01303523	4412	19	MR ACE LLC	PROFESSIONAL SERVICES	\$24.17
01303523	4412	19	SEAN JOYCE	REIM FOR REPAIRS	\$53.32
01303524	4510	19	MIDWEST AIR PRO, INC.	REPAIR PARTS	\$142.25
<b>FIRE STATIONS</b>				<b>\$219.74</b>	
<b>TOTAL FIRE DEPARTMENT</b>				<b>\$10,284.54</b>	
 <b>PUBLIC WORKS</b>					
01401223	4402	19	OFFICE DEPOT	OFFICE SUPPLIES	\$131.55
01401223	4414	19	OFFICE DEPOT	OFFICE SUPPLIES	\$472.08
01401224	4509	18	XEROX CORP.	MAINT 11/20-12/30/18	\$144.97
<b>ADMINISTRATIVE</b>				<b>\$748.60</b>	
01404123	4409	19	MORTON SALT, INC	ROCK SALT	\$50,849.71
01404123	4410	19	FACTORY MOTOR PARTS CO	55 GAL DRUM	\$195.98
01404123	4410	19	FACTORY MOTOR PARTS CO	REPAIR PARTS	\$285.00
01404123	4410	19	SICALCO LTD	LIQUID CALCIUM CHLORIDE	\$5,734.69
01404123	4414	19	MENARDS - HNVK PARK	REPAIR PARTS	\$19.98
01404124	4507	19	MURRAY & TRETTEL INC/ WEATHER COMMA	WEATHER FORECAST	\$400.00
01404124	4509	19	ALTA ENTERPRISES LLC	3 - 3 MONTH RENTAL OF (3)	\$8,985.00
<b>SNOW &amp; ICE REMOVAL</b>				<b>\$66,470.36</b>	
01404324	4510	19	ARLINGTON POWER EQUIPMENT	AIR FILTERS	\$23.96
01404324	4510	19	ARLINGTON POWER EQUIPMENT	FUEL FILTERS	\$34.70
01404324	4510	19	ARLINGTON POWER EQUIPMENT	FUEL FILTERS	\$100.34
01404324	4510	19	VERMEER MIDWESTVERMEER-IL	BLADE SHARPENING	\$174.78
<b>FORESTRY</b>				<b>\$333.78</b>	
01404423	4412	19	GRAINGER INC	VARIOUS SUPPLIES	\$262.26
01404423	4414	19	ARLINGTON POWER EQUIPMENT	DELIVERY CHARGE FOUR PALL	\$80.00
01404423	4414	19	ARLINGTON POWER EQUIPMENT	FORK LIFT SERVICE/TRUCK C	\$50.00
01404423	4414	19	ARLINGTON POWER EQUIPMENT	PREMIUM MELTCO ICE MELT	\$1,648.36
01404424	4501	19	AT & T	LANDLINES	\$230.56
01404424	4507	19	ACCURATE DOCUMENT DESTRUCTION INC	PROFESSIONAL SERVICES	\$415.63
01404424	4509	19	CINTAS #22	FLOOR MAT RENTAL AND CLEA	\$14.24
01404424	4509	19	CINTAS #22	RENTAL SUPPLIES	\$14.24
01404424	4510	19	ACME TRUCK BRAKE & SUPPLY CO.	VARIOUS SUPPLIES	\$174.60
01404424	4510	19	ARLINGTON POWER EQUIPMENT	REPAIR PARTS	\$63.34
01404424	4510	19	MR ACE LLC	PROFESSIONAL SERVICES	\$1.96
01404424	4510	19	TRANE U.S. INC.	REPAIR PARTS	\$449.99

# VILLAGE OF HOFFMAN ESTATES

February 18, 2019

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT	
01404424	4510	19	WEBMARC DOORS	DOOR REPAIRS	\$1,279.93
01404424	4516	19	AMLINGS INTERIOR LANDSCAPE	LANDSCAPING	\$423.12
01404424	4516	19	ECO CLEAN MAINTENANCE INC	VILLAGE HALL - \$2,737.00	\$2,737.00
01404424	4517	19	ECO CLEAN MAINTENANCE INC	POLICE DEPT. - \$1025.00 B	\$1,025.00
01404424	4518	19	CINTAS #22	FLOOR MAT RENTAL AND CLEA	\$56.33
01404424	4518	19	FOX VALLEY FIRE & SAFETY	ANNUAL INSP FIRE SPRINKLE	\$450.00
01404424	4518	19	MR ACE LLC	PROFESSIONAL SERVICES	\$115.63
01404424	4518	19	MR ACE LLC	VARIOUS SUPPLIES	\$7.98
01404424	4520	19	ECO CLEAN MAINTENANCE INC	PWC \$ VEHICLE MAINTENANCE	\$1,179.00
01404424	4545	19	GRAINGER INC	VARIOUS SUPPLIES	\$35.36
<b>FACILITIES</b>					<b>\$10,714.53</b>

01404522	4304	19	CINTAS #22	RENTAL SUPPLIES	\$34.77
01404523	4411	19	ACME TRUCK BRAKE & SUPPLY CO.	GEAR OIL	\$292.77
01404523	4411	19	GAS DEPOT OIL CO	FUEL	\$16,019.85
01404523	4414	19	SERVICE COMPONENTS	REPAIR PARTS	\$154.07
01404523	4414	19	SERVICE COMPONENTS	RTN REPAIR PARTS	(\$12.31)
01404523	4414	19	TERRACE SUPPLY CO	REPAIR PARTS	\$19.20
01404523	4414	19	THE STANDARD COMPANIES	WIPERS	\$197.50
01404524	4507	19	VERIZON NETWORKFLEET	WIRELESS SERVICES	\$1,860.20
01404524	4509	19	AIRGAS USA, LLC	MEDICAL SUPPLIES	\$196.57
01404524	4510	19	ADVANCE AUTO PARTS	REPAIR PARTS	\$153.63
01404524	4510	19	HERITAGE-CRYSTAL CLEAN	USED OIL PICK UP	\$195.00
01404524	4513	19	ADVANCE AUTO PARTS	REPAIR PARTS	\$23.94
01404524	4513	19	AMAZON CAPITAL SERVICES INC	REPAIR PARTS	\$36.95
01404524	4513	19	BUMPER TO BUMPER/ LEE AUTO	REPAIR PARTS	\$54.42
01404524	4513	19	FIRESTONE TRUCK & SERVICE CENTER	WHEEL ALIGNMENT	\$50.00
01404524	4513	19	R.A. ADAMS	VARIOUS SUPPLIES	\$7.94
01404524	4513	19	REX RADIATOR SALES	REPAIR PARTS	\$169.00
01404524	4514	19	ACME TRUCK BRAKE & SUPPLY CO.	REPAIR PARTS	\$22.91
01404524	4514	19	ACME TRUCK BRAKE & SUPPLY CO.	VARIOUS SUPPLIES	\$16.17
01404524	4514	19	ADVANCE AUTO PARTS	REPAIR PARTS	\$26.90
01404524	4514	19	CERTIFIED FLEET SERVICES	REPAIR PARTS	\$69.61
01404524	4514	19	GLOBAL EMERGENCY PRODUCTS	HANDLE VALVE	\$29.73
01404524	4514	19	GLOBAL EMERGENCY PRODUCTS	REPAIR PARTS	\$1,040.42
01404524	4514	19	GLOBAL EMERGENCY PRODUCTS	VALVE	\$279.39
01404524	4514	19	KAMMES AUTO & TRUCK REPAIR INC	STATE INSPECTIONS	\$70.00
01404524	4514	19	LEACH ENTERPRISES INC	REPAIR PARTS	\$60.14
01404524	4514	19	POMP'S TIRE	4 HANKOOK AM09 TIRES SIZ	\$1,515.00
01404524	4514	19	RUSH TRUCK CENTER OF ILLINOIS, INC	SENSOR CAMERA	\$160.00
01404524	4514	19	SERVICE COMPONENTS	REPAIR PARTS	\$22.47
01404524	4534	18	BOB ROHRMAN'S SCHAUMBURG FORD	REPAIR PARTS UNIT 91	\$85.89
01404524	4534	19	ACME TRUCK BRAKE & SUPPLY CO.	REPAIR PARTS	\$80.79
01404524	4534	19	ADVANCE AUTO PARTS	REPAIR PARTS	\$23.77
01404524	4534	19	BUMPER TO BUMPER/ LEE AUTO	REPAIR PARTS	\$135.50
01404524	4534	19	BUMPER TO BUMPER/ LEE AUTO	RTN REPAIR PARTS	(\$53.89)

# VILLAGE OF HOFFMAN ESTATES

February 18, 2019

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT	
01404524	4534	19	KAMMES AUTO & TRUCK REPAIR INC	STATE INSPECTIONS	\$332.00
01404524	4534	19	MCMASTER CARR SUPPLY CO	REPAIR PARTS	\$28.81
01404524	4534	19	O'REILLY AUTO PARTS	REPAIR PARTS	\$40.99
01404524	4534	19	PETROCHOICE LLC	DIESEL EXHAUST	\$274.20
01404524	4534	19	PETROCHOICE LLC	VEHICLE PARTS	\$274.20
01404524	4534	19	POMP'S TIRE	REPAIR PARTS	\$432.90
01404524	4534	19	RUSH TRUCK CENTER OF ILLINOIS, INC	REPAIR PARTS	\$882.19
01404524	4534	19	RUSH TRUCK CENTER OF ILLINOIS, INC	SHOE KITS	\$363.36
01404524	4534	19	WELLER TRUCK PARTS	MODEL: 23080S SERIES: R	\$2,857.51
<b>FLEET SERVICES</b>					<b>\$28,524.46</b>

01404623	4408	19	MR ACE LLC	PROFESSIONAL SERVICES	\$8.99
<b>F.A.S.T.</b>					<b>\$8.99</b>

01404723	4414	19	MENARDS - HNVR PARK	REPAIR PARTS	\$102.60
<b>STORM SEWERS</b>					<b>\$102.60</b>

01404824	4502	19	COMMONWEALTH EDISON	ELECTRIC GRAND CANYON	\$2,751.67
01404824	4502	19	CONSTELLATION NEW ENERGY INC	ELECTRIC 5510 PRAIRIESTON	\$40.73
01404824	4542	18	MEADE ELECTRIC CO., INC.	STREET LIGHT REPLACEMENT	\$11,787.83
01404824	4544	18	GRIMCO INC	PLOTTER SUPPLIES	\$810.00
<b>TRAFFIC CONTROL</b>					<b>\$15,390.23</b>

**TOTAL PUBLIC WORKS DEPARTMENT** **\$122,293.55**

## DEVELOPMENT SERVICES

01505024	4507	19	STRATEGIA DEVELOPMENT PARTNERS	LAKEWOOD TIF	\$4,001.25
01505024	4546	19	PADDOCK PUBLICATIONS INC	NOTICES	\$99.75
<b>PLANNING</b>					<b>\$4,101.00</b>

01505122	4301	19	FOX VALLEY IPIA	MEETING FEES	\$120.00
01505122	4301	19	SUBURBAN BUILDING OFFICIALS CONF	SPRING TRAINING	\$1,250.00
01505122	4303	19	FOX VALLEY IPIA	IPIA ANNUAL DUES	\$30.00
01505123	4404	19	EDM PUBLISHING INC	LEGAL BRIEFINGS	\$99.00
01505124	4507	19	THOMPSON ELEVATOR INSPECTION INC	ELEVATOR INSPECTIONS	\$324.00
<b>CODE ENFORCEMENT</b>					<b>\$1,823.00</b>

# VILLAGE OF HOFFMAN ESTATES

February 18, 2019

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
01505223 4414	19	MR ACE LLC	PROFESSIONAL SERVICES	\$3.99
01505224 4542	18	UNITED DISPATCH	SENIOR TRANS COUPONS	\$14.00
01505224 4542	19	UNITED DISPATCH	TRANSPORTATION COUPONS	\$168.00
<b>TRANSPORTATION AND ENGINEERING</b>				<b>\$185.99</b>
<b>TOTAL DEVELOPMENT SERVICES DEPARTMENT</b>				<b>\$6,109.99</b>
<b>HEALTH &amp; HUMAN SERVICES DEPARTMENT</b>				
01556523 4402	19	OFFICE DEPOT	OFFICE SUPPLIES	\$109.28
01556523 4416	19	PROVEN IT	COPIER SERVICES	\$71.41
<b>TOTAL HEALTH &amp; HUMAN SERVICES DEPARTMENT</b>				<b>\$180.69</b>
<b>TOTAL GENERAL FUND</b>				<b>\$262,400.09</b>
<b>MFT FUND</b>				
03400024 4512	18	ILLINOIS DEPT OF TRANSPORTATION	TRAFFIC SIGNAL MAINTENANCE	\$13,747.50
03400024 4512	19	MEADE ELECTRIC CO., INC.	TRAFFIC SIGNAL MAINTENANCE	\$525.00
<b>TOTAL MFT FUND</b>				<b>\$14,272.50</b>
<b>PRAIRIE STONE CAPITAL FUND</b>				
27000025 4621	18	V3 CONSULTANTS	TOPOGRAPHIC SURVEY	\$14,800.00
<b>TOTAL PRAIRIE STONE CAPITAL FUND</b>				<b>\$14,800.00</b>
<b>ROAD IMPROVEMENT FUND</b>				
29000025 4606	18	APPLIED GEOSCIENCE INC.	2018 SREET REVITAL TESTING	\$6,600.00
29000025 4606	18	BROTHERS ASPHALT PAVING INC.	2018 SUFACE PATCHING	\$201,242.00
29000025 4606	18	CIORBA GROUP, INC.	BODE & HARMON STP RESURF	\$250.73
29000025 4606	18	ENGINEERING RESOURCES ASSOCIATES IN	HILLCREST&MOONLAKE STP RE	\$1,969.32
29000025 4606	19	CIVILTECH ENGINEERING, INC.	PROFESSIONAL SERVICES	\$4,542.47
29000025 4610	18	IL DEPT OF TRANSPORTATION	BODE RD STP IMPROVEMENTS	\$107,101.30
<b>TOTAL ROAD IMPROVEMENT FUND</b>				<b>\$321,705.82</b>
<b>CAPITAL VEHICLE AND EQUIPMENT FUND</b>				
37000025 4602	19	MARLIN BUSINESS BANK	COPIER LEASE	\$1,261.00
<b>TOTAL CAPITAL VEHICLE AND EQUIPMENT FUND</b>				<b>\$1,261.00</b>

# VILLAGE OF HOFFMAN ESTATES

February 18, 2019

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
<b>CAPITAL REPLACEMENT FUND</b>				
38000025 4603	18	MONROE TRUCK EQUIPMENT	BUYERS 55X24X55 MILD STEEL	\$3,077.00
38000025 4603	18	MONROE TRUCK EQUIPMENT	ITEMS FROM QUOTE #9SB0007	\$10,400.00
<b>TOTAL CAPITAL REPLACEMENT FUND</b>				<b>\$13,477.00</b>
<b>WATERWORKS FUND</b>				
40 1445	19	AMERICAN UNDERGROUND INC	METER DEPOSIT REFUND	\$750.00
<b>WATER MISCELLANEOUS PAYMENT</b>				<b>\$750.00</b>
40406723 4408	19	MENARDS - HNVN PARK	REPAIR PARTS	\$218.62
40406723 4414	19	MENARDS - HNVN PARK	REPAIR PARTS	\$18.93
40406723 4414	19	MR ACE LLC	PROFESSIONAL SERVICES	\$11.99
40406723 4420	19	MR ACE LLC	VARIOUS SUPPLIES	\$5.58
40406724 4501	19	AT & T	LANDLINES	\$98.81
40406724 4502	19	CONSTELLATION NEW ENERGY INC	ELECTRIC 1355 WESTBURY	\$176.64
40406724 4502	19	CONSTELLATION NEW ENERGY INC	ELECTRIC 1775 ABBEYWOOD	\$1,908.70
40406724 4502	19	CONSTELLATION NEW ENERGY INC	ELECTRIC 1790 CHIPPENDALE	\$811.00
40406724 4502	19	CONSTELLATION NEW ENERGY INC	ELECTRIC 2 N HILLCREST	\$166.56
40406724 4502	19	CONSTELLATION NEW ENERGY INC	ELECTRIC 2002 PARKVIEW	\$248.21
40406724 4502	19	CONSTELLATION NEW ENERGY INC	ELECTRIC 2150 STONINGTON	\$458.69
40406724 4502	19	CONSTELLATION NEW ENERGY INC	ELECTRIC 2550 BEVERLY RD	\$427.95
40406724 4502	19	CONSTELLATION NEW ENERGY INC	ELECTRIC 3451 N WILSHIRE	\$725.26
40406724 4502	19	CONSTELLATION NEW ENERGY INC	ELECTRIC 3990 HUNTINGTON	\$162.14
40406724 4502	19	CONSTELLATION NEW ENERGY INC	ELECTRIC 4140 CRIMSON	\$792.63
40406724 4502	19	CONSTELLATION NEW ENERGY INC	ELECTRIC 4690 OLMSTEAD	\$228.56
40406724 4502	19	CONSTELLATION NEW ENERGY INC	ELECTRIC 720 CHARLESTON	\$207.06
40406724 4502	19	CONSTELLATION NEW ENERGY INC	ELECTRIC 780 HASSELL RD	\$269.85
40406724 4502	19	CONSTELLATION NEW ENERGY INC	ELECTRIC 95 ASTER LN	\$666.25
40406724 4502	19	CONSTELLATION NEW ENERGY INC	ELECTRIC S/HIGGINS, W OLD	\$829.57
40406724 4502	19	CONSTELLATION NEW ENERGY INC	ELECTRIC S/S HIGGINS, 1W	\$412.50
40406724 4507	18	PDC LABORATORIES INC	UCMR 4 DRINKING WATER SAM	\$1,275.00
40406724 4507	19	VERIZON NETWORKFLEET	WIRELESS SERVICES	\$797.23
40406724 4507	19	WATER SERVICES CO.	LEAK DETECTIONS	\$315.00
40406724 4509	18	XEROX CORP.	MAINT 11/20-12/30/18	\$144.96
40406724 4510	19	MENARDS - HNVN PARK	VARIOUS SUPPLIES	\$142.72
40406724 4528	19	ZIEBELL WATER SERVICE	REPAIR PARTS	\$584.31
40406724 4529	19	ALAMP CONCRETE CONTRACTORS,INC.	WATER MAIN REPAIRS	\$19,500.00
40406724 4529	19	BEVERLY MATERIALS, L.L.C.	CLEAN FILL	\$405.00
40406724 4529	19	BEVERLY MATERIALS, L.L.C.	STONE	\$1,009.69
40406724 4529	19	EWING-DOHERTY MECHANICAL INC	WATER MAIN LABOR&EQUIPMEN	\$7,467.00

# VILLAGE OF HOFFMAN ESTATES

February 18, 2019

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
40406724	4529	19 ZIEBELL WATER SERVICE	REPAIR PARTS	\$2,934.99
40406724	4585	19 ADVANCE AUTO PARTS	REPAIR PARTS	\$3.25
40406724	4585	19 BOB ROHRMAN'S SCHAUMBURG FORD	REPAIR PARTS	\$323.31
40406724	4585	19 BUMPER TO BUMPER/ LEE AUTO	REPAIR PARTS	\$126.69
40406724	4585	19 FIRESTONE TRUCK & SERVICE CENTER	VEHICLE TIRES	\$128.46
40406724	4585	19 KAMMES AUTO & TRUCK REPAIR INC	STATE INSPECTIONS	\$105.00
40406724	4585	19 MCMASTER CARR SUPPLY CO	REPAIR PARTS	\$41.55
40406724	4585	19 MEINEKE	REPAIR PARTS	\$104.96
40406724	4585	19 O'REILLY AUTO PARTS	AC COMPRESSOR	\$313.35
40406724	4585	19 O'REILLY AUTO PARTS	REPAIR PARTS	\$131.79
40406724	4585	19 RUSH TRUCK CENTER OF ILLINOIS, INC	REPAIR PARTS	\$339.80

**WATER DIVISION**

**\$45,039.56**

40406824	4502	19 CONSTELLATION NEW ENERGY INC	ELECTRIC 1101 WESTBURY	\$979.07
40406824	4502	19 CONSTELLATION NEW ENERGY INC	ELECTRIC 1200 KINGSDALE	\$164.87
40406824	4502	19 CONSTELLATION NEW ENERGY INC	ELECTRIC 1215 MOON LAKE	\$674.23
40406824	4502	19 CONSTELLATION NEW ENERGY INC	ELECTRIC 1513 GOLD RD	\$1,041.86
40406824	4502	19 CONSTELLATION NEW ENERGY INC	ELECTRIC 1629 CROWFOOT CI	\$167.78
40406824	4502	19 CONSTELLATION NEW ENERGY INC	ELECTRIC 1775 HUNTINGTON	\$200.01
40406824	4502	19 CONSTELLATION NEW ENERGY INC	ELECTRIC 1790 CHIPPENDALE	\$1,216.51
40406824	4502	19 CONSTELLATION NEW ENERGY INC	ELECTRIC 1869 HAMPTON	\$127.82
40406824	4502	19 CONSTELLATION NEW ENERGY INC	ELECTRIC 2090 CENTRAL	\$100.00
40406824	4502	19 CONSTELLATION NEW ENERGY INC	ELECTRIC 2094 CARLING	\$60.76
40406824	4502	19 CONSTELLATION NEW ENERGY INC	ELECTRIC 2364 HIGIGNS	\$1,220.81
40406824	4502	19 CONSTELLATION NEW ENERGY INC	ELECTRIC 2380 GOLF	\$302.40
40406824	4502	19 CONSTELLATION NEW ENERGY INC	ELECTRIC 515 CENTRAL	\$38.88
40406824	4502	19 CONSTELLATION NEW ENERGY INC	ELECTRIC 6100 SHOEFACORY	\$665.67
40406824	4502	19 CONSTELLATION NEW ENERGY INC	ELECTRIC 897 PARK LN	\$100.49
40406824	4530	19 BEVERLY MATERIALS, L.L.C.	CLEAN FILL	\$405.00
40406824	4530	19 BEVERLY MATERIALS, L.L.C.	STONE	\$1,009.69
40406824	4530	19 MENARDS - HNVR PARK	REPAIR PARTS	\$14.78

**SEWER DIVISION**

**\$8,490.63**

40407024	4542	19 FIRST BILLING SERVICES LLC	BILLING SERVICES	\$1,809.35
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**BILLING DIVISION**

**\$1,809.35**

40407325	4609	18 IL DEPT OF TRANSPORTATION	BODE RD STP IMPROVEMENTS	\$2,250.00
40407425	4609	18 BAXTER & WOODMAN, INC.	PROVIDE ENGINEERING SERVI	\$2,183.75
40407525	4608	18 BAXTER & WOODMAN, INC.	ENGINEERING SERVICES FOR	\$6,407.50
40407525	4609	18 CONCENTRIC INTEGRATION	SCADA RETAINED SERVICES &	\$5,904.00

**BOND CAPITAL PROJECTS**

**\$16,745.25**

**TOTAL WATERWORKS AND SEWERAGE FUND**

**\$72,834.79**



# VILLAGE OF HOFFMAN ESTATES

February 18, 2019

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT	
<b>INSURANCE FUND</b>					
46	1101	19	MICHAEL RAUCCI	REIM FROM SICK TIME	\$525.94
<b>TOTAL INSURANCE FUND</b>				<b>\$525.94</b>	
 <b>INFORMATION SERVICES</b>					
47008524	4507	19	COMPUTER SERVICES, INC	ANNUAL SUMMLT.N'L-N" SOI	\$2,250.00
47008524	4507	19	IN TIME SOLUTIONS	INTIME@ EMPLOYEE SELF SER	\$1,452.00
47008524	4507	19	IN TIME SOLUTIONS	INTIME@ SCHEDULING SERVIC	\$7,508.00
47008524	4542	19	DROPBOX INC	USER LICENSE(S)	\$3,600.00
<b>OPERATIONS</b>				<b>\$14,810.00</b>	
 <b>CAPITAL ASSETS</b>					
47008625	4602	19	PACE SYSTEMS	177652	\$13,345.93
47008625	4602	19	PACE SYSTEMS	ASTER TOWER - POINT TO PO	\$7,393.00
47008625	4602	19	SOUTHERN COMPUTER WAREHOUSE	APPLE MACBOOK PRO MR972LL	\$2,619.20
<b>TOTAL INFORMATION SYSTEMS FUND</b>				<b>\$38,168.13</b>	
 <b>EDA SPECIAL TAX ALLOCATION</b>					
60	1403.1	18	ARTHUR L JANURA JR	LEGAL SVC OCT-DEC EDA	\$12,187.50
<b>TOTAL EDA SPECIAL TAX ALLOCATION</b>				<b>\$12,187.50</b>	
 <b>ROSELLE ROAD TIF FUND</b>					
62000024	4507	18	ARTHUR L JANURA JR	LEGAL SERVICES OCT 2018	\$390.00
<b>TOTAL ROSELLE ROAD TIF FUND</b>				<b>\$390.00</b>	
 <b>BARRINGTON-HIGGINS TIF FUND</b>					
63000024	4507	18	ARTHUR L JANURA JR	LEGAL SVC NOV TIF	\$585.00
<b>TOTAL BARRINGTON-HIGGINS TIF FUND</b>				<b>\$585.00</b>	
 <b>BILL LIST TOTAL</b>				 <b>\$752,607.77</b>	

SUPERION  
DATE: 02/15/2019  
TIME: 10:17:14

VILLAGE OF HOFFMAN ESTATES  
CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 1  
ACCTPA21

SELECTION CRITERIA: transact.t\_c='20' and transact.trans\_date between '20190201 00:00:00.000' and '20190215 00:00:00.000'  
ACCOUNTING PERIOD: 2/19

FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
0102	112049 V	12/21/18	5975	TARGET	01201823	GIFT CARDS FOR JURY	0.00	-400.00
0102	112584	02/01/19	19480	LEADING NEUROLOGIC OPINI	01401224	DEPOSIT MEDICAL EXAM	0.00	2,500.00
0102	112585	02/05/19	19424	MARLIN BUSINESS BANK	37000025	COPIER LEASE 16654802	0.00	1,261.00
0102	112585	02/05/19	19424	MARLIN BUSINESS BANK	01201224	COPIER LEASE 16625334	0.00	469.00
0102	112585	02/05/19	19424	MARLIN BUSINESS BANK	01202324	COPIER LEASE 16625334	0.00	172.00
0102	112585	02/05/19	19424	MARLIN BUSINESS BANK	01202824	COPIER LEASE 16625334	0.00	172.00
0102	112585	02/05/19	19424	MARLIN BUSINESS BANK	01303124	COPIER LEASE 16625334	0.00	186.00
TOTAL CHECK							0.00	2,260.00
0102	112586	02/07/19	14072	BRIAN RAYMOND	01	C-PAL	0.00	1,304.39
0102	112587	02/07/19	11390	EVAN VON QUALEN	01	C-PAL LOAN	0.00	1,300.00
0102	112588	02/07/19	14010	ROBERT MELHUISH	01	C-PAL	0.00	1,473.11
0102	112589	02/08/19	19483	ALAN PEDERSEN, KAREN PED	46	PEDERSEN SETTLEMENT	0.00	78,820.32
0102	112590	02/11/19	12802	LEAF	01303124	COPIER LEASING	0.00	197.00
0102	112591	02/11/19	18039	WEX BANK	01404524	FUEL	0.00	751.23
0102	112592	02/11/19	19229	JEWEL FOOD STORES	01101123	BEVERAGES	0.00	73.94
0102	112593	02/11/19	12802	LEAF	01202324	COPIER LEASING	0.00	187.00
0102	112594	02/11/19	4065	THE HOME DEPOT #1904	40406723	VARIOUS SUPPLIES	0.00	4.72
0102	112594	02/11/19	4065	THE HOME DEPOT #1904	40406723	VARIOUS SUPPLIES	0.00	180.07
0102	112594	02/11/19	4065	THE HOME DEPOT #1904	40406724	VARIOUS SUPPLIES	0.00	314.83
0102	112594	02/11/19	4065	THE HOME DEPOT #1904	40406724	VARIOUS SUPPLIES	0.00	192.37
0102	112594	02/11/19	4065	THE HOME DEPOT #1904	40406824	VARIOUS SUPPLIES	0.00	192.38
0102	112594	02/11/19	4065	THE HOME DEPOT #1904	01303123	VARIOUS SUPPLIES	0.00	21.12
0102	112594	02/11/19	4065	THE HOME DEPOT #1904	01303123	VARIOUS SUPPLIES	0.00	340.83
0102	112594	02/11/19	4065	THE HOME DEPOT #1904	01303523	VARIOUS SUPPLIES	0.00	35.92
0102	112594	02/11/19	4065	THE HOME DEPOT #1904	01303524	VARIOUS SUPPLIES	0.00	211.92
0102	112594	02/11/19	4065	THE HOME DEPOT #1904	01404123	VARIOUS SUPPLIES	0.00	69.80
0102	112594	02/11/19	4065	THE HOME DEPOT #1904	01404424	VARIOUS SUPPLIES	0.00	181.88
0102	112594	02/11/19	4065	THE HOME DEPOT #1904	01404424	VARIOUS SUPPLIES	0.00	65.74
0102	112594	02/11/19	4065	THE HOME DEPOT #1904	01404824	VARIOUS SUPPLIES	0.00	156.39
0102	112594	02/11/19	4065	THE HOME DEPOT #1904	37000025	VARIOUS SUPPLIES	0.00	549.72
0102	112594	02/11/19	4065	THE HOME DEPOT #1904	40406723	VARIOUS SUPPLIES	0.00	242.84
TOTAL CHECK							0.00	2,760.53
TOTAL CASH ACCOUNT							0.00	91,227.52
TOTAL FUND							0.00	91,227.52
TOTAL REPORT							0.00	91,227.52

Detail of Wire/ACH Activity  
For the Period 01/01/19 - 01/31/19

<u>Date</u>	<u>Vendor</u>	<u>Description</u>	<u>Source of Funds</u>	<u>Amount</u>
01/02/19	IPBC	Insurance Premium	General	\$ 574,429.51
01/02/19	Payment Express	Credit Card Merchant Fees 12/18	General, Water & Sewer	\$ 36.50
01/04/19	CCMSI	General Liability Claims	Insurance	\$ 5,000.00
01/07/19	Neopost	Replenish Postage Machine	General, Water & Sewer	\$ 1,600.00
01/09/19	Employer's Claim Service	Workers Comp Claims	Insurance	\$ 9,335.33
01/09/19	Northwest Central 9-1-1 System	Monthly Radio Lease Obligation 01/19	Capital Vehicle & Equipment	\$ 15,656.79
01/10/19	IMRF	IMRF December 2018 Payroll Costs	Various	\$ 133,832.26
01/15/19	Dr. Marc Reynolds	Services for 60th Anniversary Book	General	\$ 803.00
01/16/19	CCMSI	General Liability Claims	Insurance	\$ 11,020.00
01/18/19	JAWA	Monthly Water Usage	Water & Sewer	\$ 709,116.00
01/18/19	SWANCC	Monthly Tipping Fees	Municipal Waste System	\$ 49,234.23
01/18/19	Paymentus	IVR System Merchant Fees Misc 12/18	General	\$ 9.25
01/18/19	Paymentus	IVR System Merchant Fees Water 12/18	Water & Sewer	\$ 793.70
01/24/19	Sebis	Postage Deposit for Water Bills	Water & Sewer	\$ 6,000.00
01/24/19	IMRF	IMRF Accelerated Payment	Water & Sewer	\$ 8,283.82
01/30/19	Neopost	Replenish Postage Machine	General	\$ 1,600.00
01/31/19	Dr. Marc Reynolds	Services for 60th Anniversary Book	General	\$ 803.00
	TOTAL			\$ 1,527,553.39

VILLAGE OF HOFFMAN ESTATES  
 Monthly Credit Card Activity

From: 12/06/2018

To: 1/5/2019

Account Name	Merchant Name	Transaction Date	Accounting Code	Accounting Code	Transaction Amount	Expense Description
ANTHONY FASHODA	AMER SOC CIVIL ENGINEE	12/27/2018	01505222	4303	\$275.00	MEMBERSHIP DUES-WEESNER
ANTHONY FASHODA	PAYPAL *SKASH	12/26/2018	01106224	4510	\$90.72	REPLACE BRD RM CONTROLLER
ANTHONY FASHODA	SOUTHWES 5262422729997	01/02/2019	47	0703	\$36.98	FLIGHT-SUPERION CONFER
ANTHONY FASHODA	SUPERION, LLC	12/12/2018	47	0703	\$699.00	ANNUAL SUPERION CONFERENCE
ANTHONY FASHODA	USPS PO 1670640195	12/26/2018	01605824	4555	\$276.00	POSTAGE-BOOKS TO FRANCE
BEN GIBBS	ACCESS CASTERS INC	12/20/2018	01	1445	\$911.64	SCA-HEAVY DUTY CASTERS
BEN GIBBS	ADOBE *ACROPRO SUBS	12/26/2018	01	1445	\$15.93	SCA-SUBSCRIPTION
BEN GIBBS	AMZN MKTP US*M22QA6WQ0	12/31/2018	01	1445	\$99.99	SCA-SUPPLIES
BEN GIBBS	AMZN MKTP US*M24GQ0EC2	12/21/2018	01	1445	\$2,032.00	SCA-SUPPLIES
BEN GIBBS	AMZN MKTP US*MB2L57C40	01/02/2019	01	1445	\$20.06	SCA-SUPPLIES
BEN GIBBS	CABELA'S RETAIL 021	12/05/2018	01	1445	\$83.00	SCA-SUPPLIES
BEN GIBBS	DNH*GODADDY.COM	12/20/2018	01	1445	\$32.01	SCA-SUBSCRIPTION
BEN GIBBS	EIG*CONSTANTCONTACT.C	12/16/2018	01	1445	\$69.06	SCA-SUBSCRIPTION
BEN GIBBS	ETSY.COM	12/17/2018	01	1445	\$392.80	SCA-SUPPLIES
BEN GIBBS	ETSY.COM	12/22/2018	01	1445	\$282.78	SCA-SUPPLIES
BEN GIBBS	ETSY.COM	12/25/2018	01	1445	-\$43.48	SCA-SUPPLY PURCHASE CREDIT
BEN GIBBS	ETSY.COM	12/26/2018	01	1445	-\$95.00	SCA-SUPPLY PURCHASE CREDIT
BEN GIBBS	ETSY.COM	12/26/2018	01	1445	\$45.00	SCA-SUPPLIES
BEN GIBBS	MICROSOFT *BING ADS	12/17/2018	01	1445	\$137.56	SCA-SUBSCRIPTION
BEN GIBBS	PAINTBALL EXPLOSION	12/07/2018	01	1445	\$150.00	SCA-EVENT
BEN GIBBS	PAYPAL *DAWNUNGERER	12/29/2018	01	1445	\$102.98	SCA-SUPPLIES
BEN GIBBS	PAYPAL *EMART	12/31/2018	01	1445	\$25.00	SCA-SUPPLIES
BEN GIBBS	WIX.COM*351253001	12/06/2018	01	1445	\$4.99	SCA-SUBSCRIPTION
BEN GIBBS	WIX.COM*351764711	12/07/2018	01	1445	\$36.00	SCA-SUBSCRIPTION
BEN GIBBS	YA YA E FAVORMART	12/20/2018	01	1445	\$192.93	SCA-EVENT SUPPLIES
BEVERLY ROMANOFF	CORNHOLEGAM	12/06/2018	01605824	4593	\$354.93	BEAN BAGS FOR 60TH ANNIV
BOB MARKKO	HELM-FORD DIAG SOFTWARE	12/19/2018	01404525	4602	\$849.00	SCAN TOOL LICENSE
BOB MARKKO	THE ASSEMBLY AMERICAN	12/20/2018	01404522	4301	\$119.28	APPRECIATION LUNCH F/S STAFF
DARIN W FELGENHAUER	1 800 PETMEDS	12/07/2018	01202623	4414	\$39.76	CANINE SUPPLEMENTS
DARIN W FELGENHAUER	AMZN MKTP US*M285R5DC2	01/02/2019	01201223	4405	\$79.98	DOCUMENTS FRAMES
DARIN W FELGENHAUER	BSA - NWSC - 751	01/03/2019	01	1442	\$40.00	EXPLORER CHAPTER DUES
DARIN W FELGENHAUER	RAYALLEN.COM JJDOG.C	12/07/2018	01202623	4408	\$252.93	CANINE HANDLER EQUIP
DARIN W FELGENHAUER	RAYALLEN.COM JJDOG.C	12/17/2018	01202623	4408	\$333.97	HANDS FREE COLLAR
DEBRA SCHOOP	NIU OUTREACH	12/18/2018	01101222	4301	\$225.00	ILCMA WINTER CONF-NORRIS
DR AUDRA MARKS	PAPA JOHN'S #3338	12/07/2018	01556524	4556	\$136.14	TEEN CENTER
DR AUDRA MARKS	PAPA JOHN'S #3338	12/11/2018	01556524	4556	\$37.25	TEEN CENTER
DR AUDRA MARKS	PAPA JOHN'S #3338	12/18/2018	01556524	4556	\$64.70	TEEN CENTER
DR AUDRA MARKS	PARK ONE 525 S WABASH	12/07/2018	01556522	4301	\$12.00	ACEPT FAIR PARKING
FRED BESENHOFFER	AMAZON PRIME	12/24/2018	47001222	4303	\$12.99	PRIME MEMBERSHIP FEE
FRED BESENHOFFER	AMAZON.COM*M04HC6QI0	12/05/2018	47001222	4301	\$50.99	TRAINING BOOK
FRED BESENHOFFER	AMZN MKTP US*M00CM5911	12/09/2018	47008525	4602	\$186.25	CABLES
FRED BESENHOFFER	AMZN MKTP US*M21P36OE1	12/12/2018	47008525	4602	\$181.49	TOOLS
FRED BESENHOFFER	AMZN MKTP US*M28TY7HP1	12/21/2018	47008525	4602	\$110.60	CABLES
FRED BESENHOFFER	CABLE WHOLESAL.COM	12/19/2018	47008525	4602	\$18.66	TOOLS

VILLAGE OF HOFFMAN ESTATES  
 Monthly Credit Card Activity

From: 12/06/2018

To: 1/5/2019

Account Name	Merchant Name	Transaction Date	Accounting Code	Accounting Code	Transaction Amount	Expense Description
FRED BESENHOFFER	COMCAST CHICAGO	12/08/2018	47008524	4542	\$159.85	INTERNET SERVICE
FRED BESENHOFFER	COMCAST CHICAGO	12/09/2018	47008524	4542	\$139.55	INTERNET SERVICE
FRED BESENHOFFER	COMCAST CHICAGO	12/23/2018	47008524	4542	\$80.95	INTERNET SERVICE
FRED BESENHOFFER	COMCAST CHICAGO	12/29/2018	47008524	4542	\$79.90	INTERNET SERVICE
FRED BESENHOFFER	DLS INTERNET SERVICES	12/23/2018	47008524	4542	\$350.00	INTERNET SERVICE
FRED BESENHOFFER	MESSAGEOPS.COM	12/26/2018	47008524	4542	\$19.95	EMAIL MGT SOFTWARE SUBSCRIP
FRED BESENHOFFER	MONOPRICE, INC.	12/06/2018	47008525	4602	-\$3.73	CREDIT FROM CABLE PURCHASE
FRED BESENHOFFER	MSFT * E060079RG6	12/22/2018	47008524	4542	\$768.00	EMAIL MGT SOFTWARE SUBSCRIP
FRED BESENHOFFER	SHI INTERNATIONAL CORP	12/21/2018	47008524	4507	\$299.22	SOFTWARE
GREGORY POULOS	AMERICAN LEGION EMBLEM	12/17/2018	01201223	4421	\$37.65	VETS COMM PARADE GLOVES
GREGORY POULOS	AMZN MKTP US*M03JA6ILO	12/11/2018	01202123	4414	\$75.25	WELDING LEAD-ET CAR BATTERY
GREGORY POULOS	AMZN MKTP US*M09169R51	12/10/2018	01202123	4414	\$31.99	400 AMP FUSE-ET EQUIP
GREGORY POULOS	MENARDS HANOVER PARK I	12/10/2018	01202123	4414	\$16.05	ELECTICAL EQUIP-ET EQUIP
GREGORY POULOS	TEAM PRINT	12/28/2018	01202122	4304	\$499.67	EXPLORER PATCHES
JENNIFER DJORDJEVIC	AMERICAN 00123254079642	12/10/2018	01101122	4301	\$355.39	US CONFRENCE OF MAYORS
JENNIFER DJORDJEVIC	DOLLAR TREE	12/05/2018	01101124	4542	\$47.00	VOLUNTEER DINNER
JENNIFER DJORDJEVIC	FIVE BELOW 732	12/13/2018	01101123	4414	\$10.00	SKATE WITH SANTA
JENNIFER DJORDJEVIC	HOO*HOOTSUITE INC	12/08/2018	01101123	4404	\$5.99	SUBSCRIPTION
JENNIFER DJORDJEVIC	JIMMY JOHNS - 424 - EC	12/05/2018	01101124	4542	\$21.30	VOLUNTEER DINNER
JENNIFER DJORDJEVIC	LANDS END BUS OUTFITTE	01/03/2019	01101123	4414	\$72.85	MAYOR FOR A DAY
JENNIFER DJORDJEVIC	PARTY CITY 5256	12/05/2018	01101124	4542	\$98.52	VOLUNTEER DINNER
JENNIFER DJORDJEVIC	ROSATIS PIZZA - HOFFMA	12/06/2018	01101124	4542	\$1,164.65	VOLUNTEER DINNER
JENNIFER DJORDJEVIC	TARGET 00021220	12/19/2018	01101122	4301	\$46.58	WINE WEDNESDAY
JENNIFER DJORDJEVIC	THE SADDLE ROOM LLC	12/18/2018	01605324	4563	\$73.98	4TH OF JULY MEETING
JENNIFER DJORDJEVIC	UNITED 01624317254000	12/31/2018	01101122	4301	\$386.40	BELL WORKS MEETING
JENNIFER DJORDJEVIC	UNITED 01624317254011	12/31/2018	01101122	4301	\$386.40	BELL WORKS MEETING
JENNIFER DJORDJEVIC	UNITED 01624317254022	12/31/2018	01101122	4301	\$386.40	BELL WORKS MEETING
JENNIFER DJORDJEVIC	VOLGISTICS INC	12/29/2018	01101123	4404	\$48.00	VOLUNTR DATABASE SUBSCRIPT
JOHN JANICKI	ACT*PACNET 19 CONF.	12/07/2018	01	1445	\$299.50	SCA-CONFERENCE-TEXAS
JOHN JANICKI	AMAZON.COM*M04BK4DT1	12/05/2018	01	1445	\$86.25	SCA-SUPPLIES
JOHN JANICKI	AMERICAN 00123266726170	12/19/2018	01	1445	\$452.40	SCA-AIRFARE FOR CONFERENCE
JOHN JANICKI	AMZN MKTP US*M05AD0UK1	12/09/2018	01	1445	\$125.72	SCA-SUPPLIES
JOHN JANICKI	FACEBK *56UQ9JNTB2	12/31/2018	01	1445	\$344.71	SCA-SUBSCRIPTION
JOHN JANICKI	GOOGLE *ADS6015163255	12/06/2018	01	1445	\$500.00	SCA-SUBSCRIPTION
JOHN JANICKI	JOTFORM INC.	12/19/2018	01	1445	\$234.00	SCA-ONLINE FORM BUILDER
JOHN JANICKI	PAYPAL *BEERGARDENF	12/21/2018	01	1445	\$4,657.54	SCA-TBLS/CHAIRS BEER GARDEN
JOHN JANICKI	TARGET 00021220	12/17/2018	01	1445	\$27.45	SCA-OFFICE SUPPLIES
JOHN JANICKI	TARGET 00021220	12/21/2018	01	1445	\$212.00	SCA-OFFICE SUPPLIES
JOHN JANICKI	TARGET 00021220	12/21/2018	01	1445	\$530.00	SCA-SUPPLIES
JOHN JANICKI	TINT - TINTUP.COM SIGN	12/30/2018	01	1445	\$300.00	SCA-EVENT SCREEN
JOHN JANICKI	WOOBX	01/01/2019	01	1445	\$30.00	SCA-SUBSCRIPTION
JOHN JANICKI	WRISTBANDEXPRESSCOM	12/19/2018	01	1445	\$597.90	SCA-CUSTOM WRISTBAND
JOSEPH NEBEL	APL*ITUNES.COM/BILL	01/03/2019	40406723	4408	\$0.99	ICLOUD 50GB STOR PLAN-NEBEL
JOSEPH NEBEL	COMCAST CHICAGO	12/15/2018	40406724	4501	\$104.85	BUSINESS INTERNET-XIAO

VILLAGE OF HOFFMAN ESTATES  
 Monthly Credit Card Activity

From: 12/06/2018

To: 1/5/2019

Account Name	Merchant Name	Transaction Date	Accounting Code	Accounting Code	Transaction Amount	Expense Description
JOSEPH NEBEL	ROSATIS PIZZA - HOFFMA	12/07/2018	40406723	4414	\$20.00	PW FOR A DAY PARTICIPANT
KELLY KERR	AMAZON.COM*M23LY5CD2	12/17/2018	01404424	4510	\$57.99	CIRCULATING TANK HEATER
KELLY KERR	APL*ITUNES.COM/BILL	01/03/2019	40406723	4408	\$0.99	ICLOUD:50 GB STOR PLAN-KERR
KELLY KERR	CONTAINERSTORESHAUMBUR	01/02/2019	01404824	4523	\$299.95	BANNER STORAGE CONTAINERS
KELLY KERR	INTL SOC ARBORICULTURE	12/27/2018	01404322	4301	\$120.00	3 YR RECERTIFICTN-PLOCINSKI
KELLY KERR	INTL SOC ARBORICULTURE	12/27/2018	01404322	4303	\$180.00	ANNUAL MEMBERSHIP
KELLY KERR	INTL SOC ARBORICULTURE	12/27/2018	01404322	4303	\$180.00	ANNUAL MEMBERSHIP
KELLY KERR	INTL SOC ARBORICULTURE	12/28/2018	01404322	4303	\$180.00	ANNUAL MEMBERSHIP
KELLY KERR	INTL SOC ARBORICULTURE	12/28/2018	01404322	4303	\$180.00	ANNUAL MEMBERSHIP
KELLY KERR	INTL SOC ARBORICULTURE	12/28/2018	01404322	4303	\$180.00	ANNUAL MEMBERSHIP
KELLY KERR	INTL SOC ARBORICULTURE	12/28/2018	01404322	4303	\$180.00	ANNUAL MEMBERSHIP
KELLY KERR	INTL SOC ARBORICULTURE	12/29/2018	01404322	4303	\$180.00	ANNUAL MEMBERSHIP
KELLY KERR	OFFICEMAX/DEPOT 6749	01/02/2019	01404223	4414	\$85.86	CALENDAR DESK PADS
KELLY KERR	WAL-MART #1897	12/28/2018	01404123	4414	\$38.47	128 GB FLASH DRIVE-SCALE
KELLY KERR	WM SUPERCENTER #1420	12/19/2018	01404123	4414	\$29.92	PICTURE FRAMES-EOC
KEVIN D KRAMER	CRBA CHICAGO	12/10/2018	01505922	4303	\$400.00	ANNUAL MEMBERSHIP
KEVIN D KRAMER	ICSC	12/14/2018	01505922	4303	\$100.00	ANNUAL MEMBERSHIP
KEVIN D KRAMER	MARRIOTT CHICAGO NORTH	12/13/2018	01505922	4301	\$1,252.99	CONFERENCE
KEVIN D KRAMER	STARBUCKS STORE 02826	12/06/2018	01505922	4301	\$3.78	MEETING
KEVIN D KRAMER	WWW.1AND1.COM	12/21/2018	01605824	4575	\$10.00	ARTS COMM WEBSITE
MARK A KOPLIN	AMZN MKTP US*M05463IV0	12/11/2018	01505922	4301	\$271.50	SCREEN PROJECTOR
MARK A KOPLIN	AMZN MKTP US*M21HI44Q1	12/14/2018	01505922	4301	\$244.14	SCREEN PROJECTOR
MARK A KOPLIN	AMZN MKTP US*M28CX81V1	12/19/2018	01505922	4301	\$9.99	SCREEN PROJECTOR
MONICA SAAVEDRA	DOLLAR TREE, INC.	12/05/2018	01556524	4556	\$32.36	JARS- GIVING TREE SPONSORS
MONICA SAAVEDRA	GFS STORE #1913	12/12/2018	01556524	4564	\$183.59	BLOOD DRIVE
MONICA SAAVEDRA	GFS STORE #1913	12/12/2018	01556524	4556	\$59.94	CHOCOLATES FOR GIVING TREE
MONICA SAAVEDRA	HOBBY-LOBBY #520	12/08/2018	01556524	4556	\$25.10	CRAFT ITEMS-GIVING TREE PROG
MONICA SAAVEDRA	HOBBY-LOBBY #520	12/31/2018	01605824	4560	\$88.41	AWARENESS MTH EVENT SUPPL
MONICA SAAVEDRA	JEWEL-OSCO	12/20/2018	01556524	4556	\$66.07	GIVING TREE RECEPTION
MONICA SAAVEDRA	MALNATIS TASTE OF CHIC	12/10/2018	01605824	4559	\$163.98	SENIOR COMM DEC EVENT
MONICA SAAVEDRA	NCS PEARSON	12/29/2018	01556523	4414	\$780.68	TEST KITS
MONICA SAAVEDRA	OTC BRANDS, INC.	12/05/2018	01605824	4559	-\$3.85	SALES TAX CREDIT
MONICA SAAVEDRA	PARK ONE 525 S WABASH	12/07/2018	01556522	4301	\$12.00	ACCEPT FAIR PARKING
MONICA SAAVEDRA	RED ROOF PLUS HOFFMAN	12/20/2018	01	1408	\$49.99	HOMELESS HE RESIDENT
MONICA SAAVEDRA	RED ROOF PLUS HOFFMAN	12/20/2018	01	1408	\$49.99	HOMELESS HE RESIDENT
MONICA SAAVEDRA	RED ROOF PLUS HOFFMAN	12/21/2018	01	1408	\$49.99	HOMELESS HE RESIDENT
MONICA SAAVEDRA	TARGET 00021220	12/17/2018	01605824	4559	\$120.00	SENIOR COMM BINGO
MONICA SAAVEDRA	TARGET 00021220	12/31/2018	01556523	4402	\$89.99	TV MOUNT-CONFERENCE ROOM
MONICA SAAVEDRA	USPS PO 1600960105	12/21/2018	01556524	4507	\$25.39	APA MATERIALS SHIPPING
PATRICK FORTUNATO	BEST BUY MHT 00003053	12/28/2018	01303223	4419	\$719.96	APPLE TV
PATRICK FORTUNATO	BEST BUY MHT 00006478	12/28/2018	01207124	4510	\$2,399.96	TVS FOR EMA-EOC
PATRICK FORTUNATO	CENTER FOR PUBLIC SAFE	12/04/2018	01301223	4404	\$58.95	STANDARDS MANUAL
PATRICK FORTUNATO	SONANCE	12/08/2018	01303223	4419	\$522.40	B/C IPAD CASE & MOUNTING
PATRICK FORTUNATO	SONANCE	12/15/2018	01303223	4419	\$80.00	B/C IPAD CHARGING STATION

VILLAGE OF HOFFMAN ESTATES  
 Monthly Credit Card Activity

From: 12/06/2018

To: 1/5/2019

Account Name	Merchant Name	Transaction Date	Accounting Code	Accounting Code	Transaction Amount	Expense Description
PATRICK J SEGER	CABELA'S PROMOTIONS	12/19/2018	01101623	4405	\$180.00	RETIREMENT GIFT-DORNBOS
PATRICK J SEGER	CLAIM JUMPER HOFFMANES	12/20/2018	01101623	4405	\$200.00	ANNV GC-DORNBOS
PATRICK J SEGER	JEWEL-OSCO	12/10/2018	01101624	4568	\$27.58	FMLA/ADA TRAINING SNACKS
PATRICK J SEGER	KROGERONLINEGIFTCARD#8	12/08/2018	01101623	4405	\$100.50	ANNV GC-JONES
PATRICK J SEGER	PANERA BREAD #204022	12/12/2018	01101623	4405	\$45.98	ANNV GC-PEDERSON
PATRICK J SEGER	PERSONALIZATION MALL	12/20/2018	01101623	4405	\$46.78	RETIREMENT GIFT-DORNBOS
PATRICK J SEGER	SMK*SURVEYMONKEY.COM	12/17/2018	01101614	4507	\$384.00	MEMBERSHIP RENEWAL
PATRICK J SEGER	WALGREENS #3433	12/20/2018	01101623	4405	\$145.00	ANNV GC-STOY/MEYER
PAUL W PETRENKO	INT*IN *TEMCO CONTROLS	12/31/2018	01404424	4510	\$67.40	USB CONVERTER
PAUL W PETRENKO	JET.COM	12/13/2018	01404424	4510	\$212.21	BOGEN DIGITAL TUNER
PAUL W PETRENKO	JMAC SUPPLY	12/18/2018	01404424	4510	\$254.95	UNIVERSAL ELECTRIC STRIKE
PAUL W PETRENKO	JMAC SUPPLY	01/03/2019	01404424	4510	\$265.95	UNIVERSAL ELECTRIC STRIKE
PAUL W PETRENKO	ONLINECOMPONENTS.COM	12/07/2018	01404424	4518	\$30.61	DC FAN AXIAL BALL BEARINGS
PETER GUGLIOTTA	AMERICAN PLANNING A	12/05/2018	01505022	4301	\$30.00	PLANNER ETHICS WEBINAR-PETE
PETER GUGLIOTTA	BLUEBEAM INC	12/26/2018	01505124	4507	\$636.44	PLAN REVIEW SOFTWARE-RAY
PETER GUGLIOTTA	BLUEBEAM INC	01/03/2019	01505124	4507	\$599.00	PRICE CORRECTION
PETER GUGLIOTTA	BLUEBEAM INC	01/03/2019	01505124	4507	-\$636.44	PRICE CORRECTION
PETER GUGLIOTTA	ILLINOIS ENVIRONMENTAL	01/03/2019	01505022	4303	\$55.00	MEMBERSHIP RENEWAL-DAVE
PETER GUGLIOTTA	NATIONAL ENVIRONMENTAL	01/02/2019	01505022	4303	\$100.00	MEMBERSHIP RENEWAL-DAVE
RACHEL E MUSIALA	AMAZON.COM*M26FW44W0	12/14/2018	01202122	4304	\$654.56	GUN SAFES FOR POLICE
RACHEL E MUSIALA	AMZN MKTP US*M218J81M2	12/21/2018	01505223	4414	\$292.33	LEVELS FOR ENGINEERING
RACHEL E MUSIALA	ILLINOIS GOVERNMENT FI	12/19/2018	01101422	4303	\$500.00	3-2019 MEMBERSHIP
RACHEL E MUSIALA	NEOPOST USA	12/15/2018	01101423	4414	\$264.99	POSTAGE MACHINE SUPPLIES
RACHEL E MUSIALA	PAYFLOW/PAYPAL	01/02/2019	01101424	4542	\$5.00	MTHLY FEE-ONINE PAY PROCESG
RACHEL E MUSIALA	PAYPAL *ANGSELECTRO	12/13/2018	01101423	4402	\$499.98	TAPE RECORDER
RACHEL E MUSIALA	WCI*GROOT EAST	12/17/2018	09000024	4542	\$97,000.00	VILLAGE REFUSE SERVICE
RACHEL E MUSIALA	WCI*GROOT EAST	12/17/2018	09000024	4542	\$96,523.94	VILLAGE REFUSE SERVICE
RICHARD D ENGLUND	AMZN MKTP US*M22CG9Y91	01/02/2019	01303124	4515.10	\$81.95	APPARATUS NETTING
RICHARD D ENGLUND	AMZN MKTP US*M26RM2GR2	12/23/2018	01303124	4510.11	\$11.99	KEY RINGS
RICHARD D ENGLUND	NIU OUTREACH	12/14/2018	01301222	4301	\$225.00	IL CMA CONFERENCE
RICHARD D ENGLUND	NIU OUTREACH	12/15/2018	01301222	4301	-\$225.00	IL CMA CONFERENCE CREDIT
RICHARD D ENGLUND	PAYPAL *METROFIRECH	12/05/2018	01301222	4303	\$40.00	ANNUAL DUES
RICHARD D ENGLUND	VERIZON WRLS M7225-01	12/20/2018	01303124	4510.15	\$89.10	PHONE PROTECTORS
RICHARD D ENGLUND	VERIZON WRLS M7225-01	12/20/2018	01303124	4510.15	\$89.13	PHONE PROTECTORS
RICHARD D ENGLUND	VERIZON WRLS M7225-01	12/20/2018	01303124	4510.15	\$89.12	PHONE PROTECTORS
RICHARD D ENGLUND	VERIZON WRLS M7225-01	12/20/2018	01303124	4510.15	\$89.16	PHONE PROTECTORS
RYAN N BEBE	CHICAGO TRIB SUBSCRIPT	12/06/2018	01	1445	\$62.00	FFIB-SUBSCRIPTION
RYAN N BEBE	CHICAGO TRIB SUBSCRIPT	12/17/2018	01	1445	\$121.90	FFIB-SUBSCRIPTION
RYAN N BEBE	CHICAGO TRIB SUBSCRIPT	12/31/2018	01	1445	\$59.86	FFIB-SUBSCRIPTION
RYAN N BEBE	DAILY HERALD/REFLEJOS	12/10/2018	01	1445	\$54.80	FFIB-SUBSCRIPTION
RYAN N BEBE	DAILY HERALD/REFLEJOS	12/10/2018	01	1445	\$54.00	FFIB-SUBSCRIPTION
RYAN N BEBE	DAILY HERALD/REFLEJOS	12/10/2018	01	1445	\$64.40	FFIB-SUBSCRIPTION
RYAN N BEBE	DAILY HERALD/REFLEJOS	12/24/2018	01	1445	\$58.00	FFIB-SUBSCRIPTION
RYAN N BEBE	DAILY HERALD/REFLEJOS	12/31/2018	01	1445	\$54.80	FFIB-SUBSCRIPTION

VILLAGE OF HOFFMAN ESTATES  
 Monthly Credit Card Activity

From: 12/06/2018

To: 1/5/2019

Account Name	Merchant Name	Transaction Date	Accounting Code	Accounting Code	Transaction Amount	Expense Description
TED BOS	GUN DOG SUPPLY	12/26/2018	01202123	4407	\$119.80	TRAINING AMMUNITION
TED BOS	I.T.E.A	12/12/2018	01202222	4303	\$100.00	ANNUAL MEMBERSHIP RENEWAL
TED BOS	JERSEY'S PIZZA & GRILL	12/05/2018	01201223	4414	\$78.50	A/C ASSESSMENT LUNCH
TED BOS	RESCUE ESSENTIALS	12/11/2018	01202123	4408	\$234.55	USE OF FORCE SUPPLIES
THOMAS MACKIE	GRAINGER	12/28/2018	01303123	4414.19	\$237.66	TRAINING MATERIALS
THOMAS MACKIE	JONES & BARTLETT LEARN	12/17/2018	01303122	4301.19	\$213.48	TEXT BOOKS-FIRE ACADEMY
THOMAS MACKIE	THE TRUCK STOP OF SCHA	12/31/2018	01303124	4515.10	\$109.95	WEATHER TECH FLR MATS-CAR 5
WILLIAM D MCLEOD	CLAIM JUMPER HOFFMANES	12/07/2018	01605324	4563	\$44.10	4TH OF JULY MEETING
WILLIAM D MCLEOD	THE ASSEMBLY AMERICAN	12/11/2018	01101123	4301	\$42.03	STATE CENSUS MEETING
WILLIAM D MCLEOD	THE ASSEMBLY AMERICAN	12/26/2018	01605824	5501	\$43.03	CELTIC FEST MEETING
<b>Total</b>					<b>\$233,649.49</b>	



VILLAGE OF HOFFMAN ESTATES

AN ORDINANCE AMENDING  
SECTION 6-2-1-HE-11-801.1, RIGHT TURNS PROHIBITED,  
OF THE HOFFMAN ESTATES MUNICIPAL CODE

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: That Section 6-2-1-HE-11-801.1, RIGHT TURNS PROHIBITED, of the Hoffman Estates Municipal Code be amended to add sub-section 12 to read as follows:

HE-11-801.1 RIGHT TURNS PROHIBITED. Right turns are prohibited at the following locations:

12. At the Rosedale Lane entrance to the parking lot on the west side of Dwight D. Eisenhower Junior High School on school days from 7:00 a.m. to 8:00 a.m. and from 1:30 p.m. to 3:00 p.m.

Section 2: That any person, firm or corporation guilty of violating any of the provisions of this Ordinance shall be fined not less than Ten Dollars (\$10.00) nor more than Five Hundred Dollars (\$500.00) for each offense.

Section 3: That the Village Clerk is hereby authorized to publish this ordinance in pamphlet form.

Section 4: That this Ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS \_\_\_\_\_ day of \_\_\_\_\_, 2019

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Michael Gaeta	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
President William D. McLeod	_____	_____	_____	_____

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019

\_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk

Published in pamphlet form this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

**RESOLUTION NO. \_\_\_\_\_ - 2019**

**VILLAGE OF HOFFMAN ESTATES**

**A RESOLUTION SUPPORTING THE  
NORTHWEST MUNICIPAL CONFERENCE  
2019 LEGISLATIVE PROGRAM AND THE 2019 ILLINOIS  
MUNICIPAL LEAGUE STATE/FEDERAL LEGISLATIVE AGENDAS**

WHEREAS, the Village of Hoffman Estates is a member of the Northwest Municipal Conference and Illinois Municipal League; and

WHEREAS, the Northwest Municipal Conference and the Illinois Municipal League work with its members to develop their annual Legislative Programs that serve as a comprehensive platform on legislative issues in order to protect and benefit the interests of their member municipalities, residents and businesses in our communities and the region; and

WHEREAS, the Northwest Municipal Conference's 2019 Legislative Program and the 2019 Illinois Municipal League State/Federal Legislative Agendas focus on issues vital to the Village of Hoffman Estates, which include ensuring a pro-growth environment that reduces the burden on local taxpayers; ensuring local governments have sufficient revenues to provide quality public services; and, ensuring the sustainability of critical infrastructure through strategic investment; and

WHEREAS, the Northwest Municipal Conference and Illinois Municipal League will actively pursue these legislative priorities to the benefit of the Village of Hoffman Estates and all members of the Northwest Municipal Conference and Illinois Municipal League.

NOW, THEREFORE, BE IT RESOLVED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: That the Village of Hoffman Estates hereby pledges our support for the Northwest Municipal Conference's 2019 Legislative Program and the 2019 Illinois Municipal League State/Federal Legislative Agendas; and

Section 2: That the Village of Hoffman Estates will actively work to pursue the objectives of the 2019 Legislative Program and the 2019 State/Federal Legislative Agendas, both locally and in our federal and state capitols; and

Section 3: That a copy of this Resolution be forwarded to the Northwest Municipal Conference and Illinois Municipal League, to all state and federal legislators representing the Village of Hoffman Estates, to the Office of the Governor, and to Department Heads in the Village of Hoffman Estates.

Section 4: That this Resolution shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS \_\_\_\_\_ day of \_\_\_\_\_, 2019

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Michael Gaeta	_____	_____	_____	_____
Trustee Karen Arnet	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019

\_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk

VILLAGE OF HOFFMAN ESTATES  
Office of the Mayor

# Memo

**TO:** Village Board of Trustees and the Village Clerk  
**FROM:** Mayor Bill McLeod  
**RE:** *Boards & Commissions Appointment/s*  
**DATE:** Tuesday, February 11, 2019

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At the February 18, 2019 Village Board meeting, the following person will be appointed:

- Dr. Monica Saavedra – Chair, Complete Count Census Committee

Thank you.



---

William D. McLeod  
Mayor

/sl

**AGENDA  
FINANCE COMMITTEE  
Village of Hoffman Estates  
February 25, 2019**

***DRAFT***

***7:00 p.m. – Board Room***

<b>Members:</b>	Gary Pilafas, Chairperson	Karen Mills, Trustee
	Anna Newell, Vice Chairperson	Gary Stanton, Trustee
	Michael Gaeta, Trustee	Karen Arnet, Trustee
		William McLeod, Mayor

- I. Roll Call**
- II. Approval of Minutes – January 28, 2019**

**NEW BUSINESS**

- 1. Discussion regarding use of Village Hall meeting rooms.

**REPORTS (INFORMATION ONLY)**

- 1. Finance Department Monthly Report.
- 2. Information System Department Monthly Report.
- 3. Sears Centre Monthly Report.

- III. President's Report**
- IV. Other**
- V. Items in Review**
- VI. Adjournment**

*Further details and information can be found in the agenda packet attached hereto and incorporated herein and can also be viewed online at [www.hoffmanestates.org](http://www.hoffmanestates.org) and/or in person in the Village Clerk's office.*

*The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.*

**AGENDA**  
**PUBLIC WORKS & UTILITIES COMMITTEE**  
**Village of Hoffman Estates**  
**February 25, 2019**

**DRAFT**

***Immediately Following Finance Committee***

Members:	Anna Newell, Chairperson	Gary G. Stanton, Trustee
	Michael Gaeta, Vice Chairperson	Karen J. Arnet, Trustee
	Gary Pilafas, Trustee	William McLeod, Mayor
	Karen V. Mills, Trustee	

- I. Roll Call**
- II. Approval of Minutes – January 28, 2019**

**NEW BUSINESS**

1. Request approval for the Historical Sites Commission to proceed with 2019 budgeted activities and events, in an amount not to exceed \$800.
2. Request authorization to waive bidding and award contract for Village Hall HVAC Automation System Upgrade to Automated Logic Chicago, Lisle, IL, in an amount not to exceed \$36,555.
3. Request authorization to extend 2017 contracts for 2019 season Parkway Tree Planting Program (low bids), to:
  - a. Acres Group, Wauconda, IL; and
  - b. St. Aubin Nursery, Kirkland, ILin a total amount not to exceed \$119,750.
4. Request authorization to close the existing contract and approve proposed new contract for engineering services for rehabilitation of Chippendale Sanitary Sewer Lift Station with Baxter & Woodman Engineers (B&W), Crystal Lake, IL in an amount not to exceed \$56,300.
5. Request authorization to waive bidding and purchase two (2) new Crysteel stainless steel select dump bodies, Monroe underbody plow, Monroe spreader box, pre-wet system, controls and fabrication/installation using Sourcewell contract discount from Monroe Truck Equipment, Monroe, WI, in an amount not to exceed \$158,640.

**REPORTS (INFORMATION ONLY)**

1. Department of Public Works Monthly Report
  2. Department of Development Services Monthly Engineering Report of the Transportation and Engineering Division
- III. President's Report**
  - IV. Other**
  - V. Items in Review**
  - VI. Adjournment**

**AGENDA**  
**PUBLIC HEALTH AND SAFETY COMMITTEE**  
**Village of Hoffman Estates**  
**February 25, 2019**

*Immediately Following Public Works & Utilities Committee*

**Members:**    **Michael Gaeta, Chairman**  
                  **Gary Pilafas, Vice Chairman**  
                  **Anna Newell, Trustee**  
                  **Karen Mills, Trustee**  
                  **Gary Stanton, Trustee**  
                  **Karen Arnet, Trustee**  
                  **William McLeod, Mayor**

- I.     Roll Call**
- II.    Approval of Minutes – January 28, 2019 Committee Meeting**

**NEW BUSINESS**

- 1. Request approval of an ordinance declaring (37) pairs of turnout pants and (46) turnout coats as surplus and authorize the sale and disposal of this equipment.
- 2. Request authorization to award the 2019 contract for Fire Department uniforms to Today's Uniform, Crystal Lake, IL, in an amount not to exceed the current 2019 budgeted amount of \$86,000.00.

**REPORTS (INFORMATION ONLY)**

- 1. Police Department Monthly Report.
- 2. Health & Human Services Monthly Report.
- 3. Emergency Management Coordinator Monthly Report.
- 4. Fire Department Monthly Report.

- III.   President's Report**
- IV.   Other**
- V.    Items in Review**
- VI.   Adjournment**

*(Further details and information can be found in the agenda packet attached hereto and incorporated herein and can also be viewed online at [www.hoffmanestates.org](http://www.hoffmanestates.org) and/or in person in the Village Clerk's office).*

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VILLAGE OF HOFFMAN ESTATES  
PLANNING AND ZONING COMMISSION  
**FINDING OF FACT**

PROJECT NO.: 2018001R

VILLAGE BOARD MEETING DATE: February 18, 2019

PETITIONER(S): James Crocilla (owner)

PROJECT ADDRESS: 340 Navajo Ln.

ZONING DISTRICT: R-3, One Family Residential

Recommendation: **APPROVAL**

Vote: 9 Ayes 0 Nays 2 Absent

PZC MEETING DATE: February 6, 2019

STAFF ASSIGNED: MO KHAN

- A. Approval of a request by James Crocilla (owner) for a Variation to Sec. 9-3-3-C-2-c to allow for a setback distance of one foot (1') for a privacy-style fence, versus the minimum setback distance of fifteen feet (15') required, at the property located at 340 Navajo Lane.**

AUDIENCE COMMENTS

No audience comments.

FINDING

The Planning & Zoning Commission heard from the petitioner who explained that he is requesting a variation to construct a six feet (6') tall privacy-style fence setback one foot (1') from the corner side and rear lot lines as opposed to the minimum of fifteen feet (15') required. The petitioner stated they removed buck thorn bushes that were eight to ten feet in height (8-10') and existing wire that were located along their corner side and rear lot lines due to them overgrowing and the continuous upkeep they required. The petitioner stated that after removing the bushes they were left with no privacy and were visible from adjacent properties and roadways and are requesting the variation to allow them to construct a fence that will provide them with privacy.

Staff informed the Commission that the purpose of the setback requirement for privacy-style fences is to create a streetscape which allows for greenspace on both sides of the sidewalk when one is present and also to prevent visual impairment for pedestrians and vehicles. Staff stated that the petitioner's request would continue to allow for greenspace on both sides of the sidewalk since there is approximately five feet (5') between the property line and the edge of the sidewalk. Staff further stated that the proposed location of the fence would not cause a visual impairment at either the intersection of the Navajo Lane and Newton Street nor for the driveway at the adjacent property to the north since the fence would not be encroaching into the sight triangle area for either locations.

Staff also added that the proposed fence will bring the property into compliance with the one foot (1') setback requirement as the existing fence in the corner side-yard was located in the right-of-way along Newton Street.

Chairperson Combs asked if the resident at the adjacent property to the north would be impacted when they are trying to back out of their driveway. Staff responded that the proposed location of the fence is not within the sight



Planning and Zoning Commission Finding of Fact  
Fence Variation – 340 Navajo Lane  
Village Board Meeting Date: February 18, 2019

triangle for that specific driveway and Staff also did not receive any complaints or concerns from that property owner.

Chairperson Combs stated a concern regarding the proposed location of the fence in the front-yard is not consistent with code requirements. Staff assured the Commission that during time of permit issuance that all Code requirements will be met and specifically the fence located in the front-yard (which will be on both sides of the residential structure) must meet the front building line requirement.

PLANNING AND ZONING COMMISSIONERS

Chairperson Eva Combs	Lenard Henderson
Minerva Milford	Tom Burnitz
Adam Bauske	Nancy Trieb
Sohita Patel	Denise Wilson
Lon Harner	

ROLL CALL VOTE

9 Ayes  
0 Abstain  
2 Absent (Ring, Iozzo)

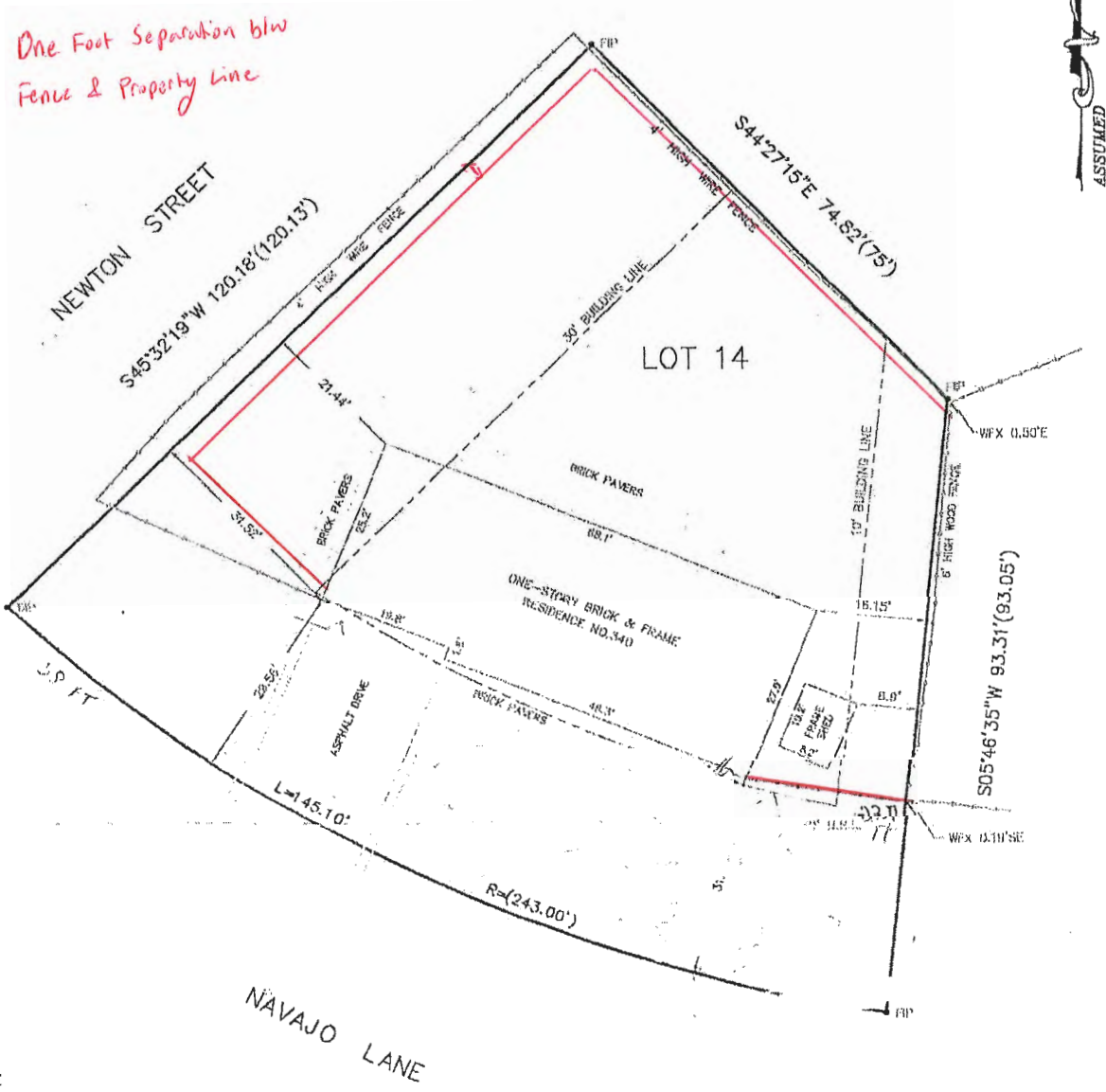
**MOTION PASSED**

The following attachments are hereby incorporated as part of this Finding of Fact:

Staff's Memo  
General Application  
Variation Addendum  
Project Narrative  
Plat of Survey  
Statement of Awareness  
Legal Notice Publication  
Aerial Location Map  
Proposed Location of Fence

# PLAT OF SURVEY

LOT 14 IN BLOCK 65 IN HOFFMAN ESTATES V, BEING A SUBDIVISION OF PART OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 22, AND THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 41 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF REGISTERED IN THE OFFICE OF TITLES OF COOK COUNTY, ILLINOIS ON JULY 24, 1957 AS DOCUMENT LR1750156, IN COOK COUNTY, ILLINOIS.



ASSUMED

**ABBREVIATIONS**

R=RADIUS  
L=ARC LENGTH  
B.S.L.=BUILDING SETBACK LINE

● FIP=FOUND IRON PIPE  
(150.00')=RECORD INFORMATION  
150.00'=MEASURED INFORMATION

**SURVEYORS NOTES**

THE BASIS OF BEARINGS SHOWN HEREON IS ASSUMED AND ARE SHOWN FOR ANGULAR REFERENCE ONLY.

PROPERTY ADDRESS: 340 NAVAJO LANE HOFFMAN ESTATES II GREEN



VILLAGE OF HOFFMAN ESTATES  
PLANNING AND ZONING COMMISSION  
STAFF REPORT

PROJECT NO.: 2019001R

PROJECT NAME: 340 Navajo – Fence Setback Variation

PROJECT ADDRESS/LOCATION: 340 Navajo Lane

PUBLIC HEARING    
YES NO

REZONING  MASTER SIGN PLAN  SPECIAL USE  VARIATION

PRELIMINARY & FINAL SITE PLAN  PRELIMINARY & FINAL PLAT

MEETING DATE: FEBRUARY 6, 2019

STAFF ASSIGNED: MO KHAN

**REQUESTED MOTIONS**

- A. Approval of a request by James Crocilla (owner) for a Variation to Sec. 9-3-3-C-2-c to allow for a setback distance of one foot (1') for a privacy-style fence, versus the minimum setback distance of fifteen feet (15') required, at the property located at 340 Navajo Lane.

INCLUDES RECOMMENDED CONDITIONS    
YES NO

ACRES: 0.28 (APPROXIMATE)	ZONING DISTRICT: R-3, One Family Residential	
ADJACENT	NORTH: Single Family Home, Zoned R-3	SOUTH: Single Family Home, Zoned R-3
PROPERTIES:	EAST: Single Family Home, Zoned R-3	WEST: Single Family Home, Zoned R-3

**BACKGROUND**

The subject property is located at the northeast corner of the intersection of Navajo Lane and Newton Street. The subject property is improved with a one-story single family structure that is approximately 1,296 ft.<sup>2</sup>. The property is also improved a brick paver patio, a shed, and a four feet (4') tall fence along the north and west property lines and as well as along the front building line. The single-family residential structure at 340 Navajo was originally constructed in 1959 and is located within Parcel C. Since the subject property is a corner lot, the location of the front door dictates what is considered the front-yard and corner-side yard. The front door to the single-family residential structure is faces Navajo Lane, which would make the yard adjacent to Navajo Lane the front-yard and the yard adjacent to Newton Street the corner-side yard.

**PROPOSAL**

The petitioner is requesting a variation from Section 9-3-3-C-2-c of the Zoning Code to allow for a construction of a privacy-style fence setback a distance of one foot (1') from the property line whereas the minimum

Meeting Date: February 6, 2019

setback required for a privacy-style fence is fifteen feet (15'). This request is being made so that the petitioner can enclose a larger area of their yard with a privacy-style fence, which the zoning code prevents due to minimum setback requirements for corner lots.

### **STANDARDS**

The Planning and Zoning Commission shall, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the applicant have been established by the evidence.

- 1. The particular physical surroundings, shape of topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.**
- 2. The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning classification.**
- 3. The purpose of the variation is not based exclusively upon a desire to increase the value of the property.**
- 4. The alleged difficulty or hardship has not be based exclusively upon a desire to increase the value of the property.**
- 5. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.**
- 6. The proposed variation will not impair adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood.**

### **ANALYSIS**

The purpose of the fifteen feet (15') setback requirement for privacy-style fences is to create a streetscape that is not enclosed by private fences and as well as to allow for greenspace on both sides of the sidewalk where they do exist. The second reason for the setback requirement is to prevent visual impairment for pedestrians and vehicles. If not regulated privacy-style fences may have an adverse impact on public safety if motorists cannot see around obstructions, such as a fence.

In the case of the subject property if the variation is granted there would still be greenspace on both sides of the sidewalk along Newton Street since the property line does not extend all the way to the sidewalk. There is approximately five feet (5') of greenspace between the sidewalk and the property line.

Furthermore the proposed location of the fence, which would still have to meet the one foot (1') requirement stated in Sec. 9-3-3-C-2-a, would not be a visual impairment for vehicles at the intersection of Navajo Lane and Newton Street nor for the driveway located at 391 Newton Street, which is the adjacent property to the

Meeting Date: February 6, 2019

north of the subject property. The location of the fence would not encroach into the sight triangle of either of those two areas.

Lastly, the proposed fence improvement will bring the property into compliance with Sec. 9-3-3-C-2-a, which requires all fences, regardless of its style, to be setback one foot (1') from the corner-side property line. The existing four feet (4') tall fence along Newton St. is located in the right-of-way and will be removed in order for the new privacy-style fence to be constructed.

It is in Staff's opinion that the request meets the standards of granting a variation, as the request meets the intent and goals of the code, it will not have an adverse impact on adjacent properties nor on public streets, and it is not solely being requested on the basis of convenience or the desire to increase the value of the property.

### **RECOMMENDATION**

**Approval of a request by James Crocilla (owner) for a Variation to Sec. 9-3-3-C-2-c to allow for a setback distance of one foot (1') for a privacy-style fence, versus the minimum setback distance of fifteen feet (15') required, at the property located at 340 Navajo Lane.**

Attachments:   General Application  
                      Variation Addendum  
                      Project Narrative  
                      Plat of Survey  
                      Statement of Awareness  
                      Legal Notice Publication  
                      Aerial Location Map



# VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING GENERAL APPLICATION\*

Special Use for \_\_\_\_\_  Rezoning from \_\_\_\_\_ to \_\_\_\_\_

Variation:  Commercial  Residential  Sign

Plat (Subdivision & Others):  Preliminary  Final

Site Plan:  Amendment  Concept  Preliminary  Final

Master Sign Plan:  Amendment

Other: \_\_\_\_\_

**\* ADDENDUM MATERIALS ARE REQUIRED FOR SPECIFIC REQUESTS**

Posting of Notification Sign(s) may be required.

Specific requirements will be provided when your request is scheduled.

### FOR VILLAGE USE ONLY

Hearing Fee \$175.00 Check No. 7440 Date Paid 1/4/19

Project Number: 2019001R

Staff Assigned: Mo Khayr

Meeting Date: Feb. 6th, 2019

Public Hearing: Yes  No

Sign Posting Required: Yes  No

Date Sign Posted Na

### PLEASE PRINT OR TYPE

Date: 1-4-19

Project Name: Crecilla Fence - 340 Navajo Lane Hoffman Estates

Project Description: 6' Solid Fence

Project Address/Location: 340 Navajo Ln Hoffman Estates

Property Index No. 07-22-108-007-0000

Acres: 0.27 approx Zoning District: R-3

**I. Owner of Record**

JAMES J CROCIKLA  
 Name Company  
340 NAVAJO LANE HOTTMAN ESTATES  
 Street Address City  
FL 60169 630-567-0769  
 State Zip Code Telephone Number  
 \_\_\_\_\_  
 Fax Number E-Mail Address JAMESCROCIKLA@YAHOO.COM

**II. Applicant (Contact Person/Project Manager)**

JAMES J CROCIKLA  
 Name Company  
340 NAVAJO LANE HOTTMAN ESTATES  
 Street Address City  
FL 60169 630-567-0769  
 State Zip Code Telephone Number  
 \_\_\_\_\_  
 Fax Number E-Mail Address JAMESCROCIKLA@YAHOO.COM

Applicant's relationship to property: OWNER

**III. Owner Consent for Authorized Representative**

It is required that the property owner or his designated representative be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. **If the owner cannot be present at the meeting, the following statement must be signed by the owner:**

I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize \_\_\_\_\_ to act on my behalf and advise that he/she has full authority to act as my/our representative.

\_\_\_\_\_  
**Owner Signature** **Print Name**

**IV. Acknowledgement(s)**

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

The Owner and Applicant, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature: James J Crocilla

Owner's Name (Please Print): JAMES J CROCIALLA

Applicant's Signature: \_\_\_\_\_  
(If other than Owner)

Applicant's Name (Please Print): \_\_\_\_\_

Date: 1-4-19

**All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.**

Please contact the Planning Division (located in the Municipal Building) with any questions:

Email: planning@hoffmanestates.org  
Address: 1900 Hassell Road  
Hoffman Estates, IL 60169  
Phone: (847) 781-2660  
Fax: (847) 781-2679

**Addendums Attached:**

- Special Use
- Rezoning
- Variation
- Plat
- Site Plan
- Master Sign Plan
- Other \_\_\_\_\_





# VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION VARIATION ADDENDUM

Commercial  Residential  Sign

## REQUIRED SUBMITTALS

- General Application
- Variation Hearing Fee: (Checks payable to the Village of Hoffman Estates)  
Commercial: \$ 500.00 per Variation\*  
Residential: \$ 175.00  
Sign: \$ 500.00 per Sign
- Legal Description  
(Typically found on a tax bill, survey, mortgage documents or deed)
- Current Plat of Survey drawn to scale showing the proposed improvement(s) and distance(s) from existing structures and property lines. For sign variations, ALL signs should be shown and labeled on the plat including the sign(s) for which the variation is being requested.
- A scale drawing of the floor plan and elevations, including windows and door locations.
- A Project Narrative detailing the variation request including whether there are other options that would not require a variation, proposed construction materials, whether removal/relocation of trees, utilities will be required and the estimated total project cost. Include any relevant plans, documents, photos to support the request.
- If any part of your existing and/or proposed use is located in any part of a utility easement, written release(s) from the Village or utility company may be required; contact the Planning Division for information.
- For residential variations only: You are encouraged to discuss your variation request with your neighbors and have them a Statement of Awareness acknowledging their awareness of your proposal. Statement of Awareness forms can be found on the Village's Planning Documents & Applications webpage or can be provided by Staff.

\* *Some commercial requests require the posting of a notification sign(s) on the property 10 days before the Planning & Zoning Commission hearing and removal of the sign(s) 10 days after final Village Board action. Should your request require a notification sign, the specific requirements will be provided by Planning Staff.*

Zoning Code Section 9-1-15-C-2 of the Municipal Code requires that the Planning and Zoning Commission shall, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the applicant have been established by the evidence. (Respond to each standard as it applies to your request either below or address on a separate sheet)

1. The particular physical surroundings, shape or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.

We need a 6' fence for our dog  
4' ft was recommended, but our dog would jump  
over it

2. The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning classification.

The fence will provide safety for our family  
including our dog

3. The purpose of the variation is not based exclusively upon a desire to increase the value of the property.

It is necessary to maintain safety  
for dog

4. The alleged difficulty or hardship has not been based exclusively upon a desire to increase the value of property.

A 6' foot solid ~~black~~ fence would  
provide us w/ privacy esp since we are  
a ~~new~~ corner lot.

5. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.

Attached is a letter provided by our  
neighbors that states how the fence also  
will provide them w/ privacy to -

6. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood.

No - See neighbors letter

To Whom It May Concern

The following is the "Project Narrative" requested by the Village of Hoffman Estates due to our need to request a variation to the current ordinances re: fencing in our area.

We are requesting this variation to put up a 6 foot fence at the back of our property, (see letter provided by our neighbors who be directly effected by our new fence) on the west side of our property (Newton Street), and the south side of our property (Navajo Lane).

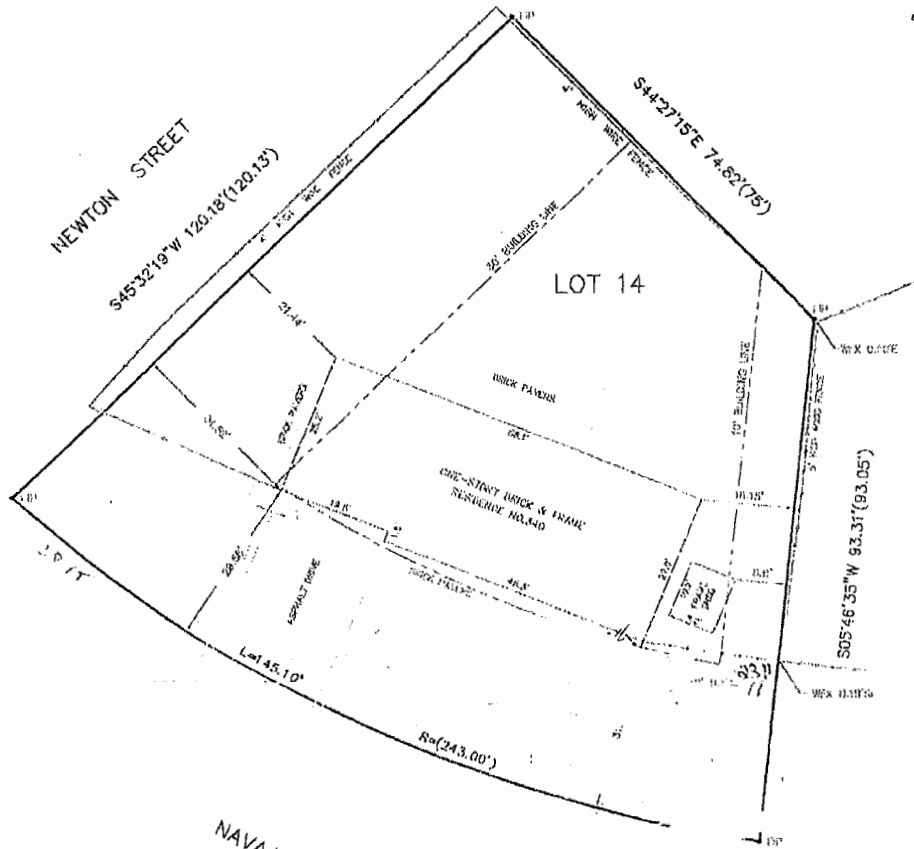
We removed evasive bushes (buckthorn) that were 8-10 feet high (please refer to the pictures provided by our neighbors) and want to replace with a 6 foot solid fence. We need this fence so our dog will be safe. In addition, this fence would provide privacy for our family. The village recommended a 4 foot fence that would allow our dog to jump over, hence we would be responsible for her actions outside of our property.

Thank you for your time in reviewing our request.

James and Mary Crocilla

# PLAT OF SURVEY

LOT 14 IN BLOCK 65 IN HOFFMAN ESTATES V, BEING A SUBDIVISION OF PART OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 22, AND THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 41 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF REGISTERED IN THE OFFICE OF TITLES OF COOK COUNTY, ILLINOIS ON JULY 24, 1957 AS DOCUMENT LR1750156, IN COOK COUNTY, ILLINOIS.



ASSUMED

**ABBREVIATIONS**  
 R=RADIUS  
 L=ARC LENGTH  
 D.S.L.=BUILDING SETBACK LINE  
 ● FIP=FOUND IRON PIPE  
 (150.00')=RECORD INFORMATION  
 150.00'=MEASURED INFORMATION

**SURVEYORS NOTES**

THE BASIS OF BEARINGS SHOWN HEREON IS ASSUMED AND ARE SHOWN FOR ANGULAR REFERENCE ONLY.  
 THE AREA CONTAINED IN THE SURVEY SHOWN HEREON IS: 11,701 SQUARE FEET MORE OR LESS.  
 THE BUILDING LINES SHOWN HEREON WERE SHOWN ON A PREVIOUS SURVEY BY OTHERS AND WERE PER DECLARATION RECORDED JULY 24, 1957 AS DOC. NO.11750157.  
 THERE ARE 2 GRANTS SHOWN ON THE TITLE REPORT AS DOC. NO. 11750154 AND 11750155 BOTH GRANTS MAY BE EXCEPTIONS TO TITLE AND BURDEN LOT 14, SEE DOCUMENTS FOR PARTICULARS.

**GENERAL NOTES**

- 1) COMPARE ALL POINTS PRIOR TO ANY CONSTRUCTION AND REPORT ANY DIFFERENCES TO SURVEYOR AT ONCE.
- 2) FOR BUILDING RESTRICTIONS ESTABLISHED BY LOCAL ORDINANCES, CONSULT YOUR LOCAL MUNICIPAL AUTHORITIES.
- 3) CALL 311.U.C. @ 1-800-392-0123 FOR LOCATIONS OF UNDERGROUND UTILITIES, 48 HOURS PRIOR TO ANY DIGGING OR CONSTRUCTION.
- 4) THIS SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

PROPERTY ADDRESS: 340 NAVAJO LANE, HOFFMAN ESTATES, IL. 60169  
 PERMANENT INDEX NUMBER: 07-22-108-007-0000

TITLE REPORT NO. 17025600808 WAS REVIEWED IN THE PREPARATION OF THIS SURVEY, HOWEVER EASEMENTS, LIMITATIONS, RIGHTS AND RESTRICTIONS MAY STILL EXIST THAT ARE NOT SHOWN HEREON, PLEASE CONSULT LEGAL COUNSEL OR YOUR LOCAL MUNICIPAL AUTHORITIES FOR CLARIFICATION.

I, BRADLEY E. HATTENDORF, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PLAT CONFORMS TO OR EXCEEDS THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF, CORRECTED TO A TEMPERATURE OF 60 DEGREES FAHRENHEIT.

DATED THIS 10TH DAY OF JUNE, 2017

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 38-3372  
 MY PROFESSIONAL LAND SURVEYORS LICENSE EXPIRES NOVEMBER 30, 2018.

SCALE: 1"=20'

SURVEY PREPARED AT THE REQUEST OF:  MEYERS & FLOWERS, LLC 3 N. SECOND STREET, SUITE 300 ST. CHARLES, ILLINOIS 60174	SURVEY PREPARED BY: HATTENDORF LAND SURVEYING, P.C. PROFESSIONAL DESIGN FIRM NO. 181007846  P.O. BOX 1070 ELGIN, ILLINOIS 60121 TEL. (847) 717-3140 FAX. (847) 717-3158 bhattendorf@chcglobal.net	FIELD WORK COMPLETED: JUNE 03, 2017
		DRAFTING COMPLETED: JUNE 12, 2017
		FIELD WORK: BEH, MRS DRAWN BY: BEH  CHECKED BY: BEH

# STATEMENT OF AWARENESS

TO: THE VILLAGE OF HOFFMAN ESTATES  
PLANNING AND ZONING COMMISSION

DATE: 1-3-19

**THIS IS TO CERTIFY THAT THE UNDERSIGNED, BEING A PROPERTY OWNER DIRECTLY AFFECTED, IS AWARE OF THE INTENTIONS OF:**

James + Terri Crocilla  
Petitioner Name

340 Navajo Lane Hoffman Estates  
Petitioner Address

**TO INSTALL/ERECT/CONSTRUCT A:**

6 foot solid fence

**ON PROPERTY LOCATED AT:**

340 Navajo Lane Hoffman Estates  
Address

**HOFFMAN ESTATES, ILLINOIS, AS SO STATED IN THIS PETITION FOR A ZONING VARIATION.**

Jamie J. Sibley  
Signature of Property Owner Directly Affected

391 Newton Street, Hoffman Estates, IL 60169  
Address of Property Owner Directly Affected

This form is to be completed by the property owner directly affected by the petitioner before the Planning and Zoning Commission and submitted with the Residential Variation Application.

The "property owner affected by the petition" may appear and testify for or against the petition. The date and time of the hearing will be mailed to said property owner.

Should assistance be required in determining property owners affected or in obtaining signatures, contact the Planning Division, 847/781-2660.

**Jamie Sihler**

391 Newton Street, Hoffman Estates, IL 60169, (P) 630.408.2665, [Teddy97Ball@Yahoo.com](mailto:Teddy97Ball@Yahoo.com)

January 3, 2019

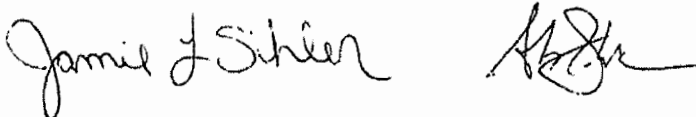
To Whom it may concern,

Mr. & Mrs. Crocilla of 340 Navajo Ln have reached out to my husband and I regarding any concerns we may have with them installing a 6' high privacy fence around their back property. I am aware that the Village is reviewing their request for permit and there are concerns regarding obstruction of view from our driveway. We have no concerns regarding this as we are used to carefully backing out of our drive to see beyond the view of 8-10' tall buckthorn bushes that grew along between our homes up and to the sidewalk.

Mr. & Mrs. Crocilla have recently removed the buckthorn bushes which we appreciate immensely due to the invasiveness of their growth and debris they leave in the fall. However, we have also lost a nice amount of privacy from the street and home views of about one third of Newton Street heading southwest. We welcome their plan of a 6' tall privacy fence as this benefits us by providing the privacy for our own home.

I would be happy to discuss this further if need be. I can be reached by phone or email listed above.

Kind Regards,

The image shows two handwritten signatures in black ink. The signature on the left is 'Jamie J. Sihler' and the signature on the right is 'Alan Sihler'. Both are written in a cursive, flowing style.

Jamie and Alan Sihler

**NOTICE OF PUBLIC HEARING**  
Notice is hereby given that the Planning & Zoning Commission of the Village of Hoffman Estates will hold a public hearing of the request of James Cracilla (owner) for a Variation to Section 9-3-3-C-2-c to allow construction of a fence at 340 Navajo Lane.  
P.I.N.: 07-22-108-007  
The hearing will be held on Wednesday, February 6, 2019 at 7:00 p.m. in the Hoffman Estates Municipal Building, 1900 Hassell Road, Hoffman Estates, IL.  
Eva Combs, Chairperson  
Planning and Zoning Commission  
Published in Daily Herald January 22, 2019 (4516767).

**CERTIFICATE OF PUBLICATION**  
**Paddock Publications, Inc.**

# Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **DAILY HERALD**. That said **DAILY HERALD** is a secular newspaper and has been circulated daily in the Village(s) of Algonquin, Antioch, Arlington Heights, Aurora, North Aurora, Bannockburn, Barrington, Barrington Hills, Lake Barrington, North Barrington, South Barrington, Bartlett, Batavia, Buffalo Grove, Burlington, Campton Hills, Carpentersville, Cary, Crystal Lake, Deerfield, Deer Park, Des Plaines, Elmhurst, East Dundee, Elgin, South Elgin, Elk Grove Village, Fox Lake, Fox River Grove, Franklin Park, Geneva, Gilberts, Glenview, Grayslake, Green Oaks, Gurnee, Hainesville, Hampshire, Hanover Park, Hawthorn Wood, Highland Park, Highwood, Hoffman Estates, Huntley, Inverness, Island Lake, Kildeer, Lake Bluff, Lake Forest, Lake in the Hills, Lake Villa, Lake Zurich, Libertyville, Lincolnshire, Lindenhurst, Long Grove, Melrose Park, Montgomery, Morton Grove, Mt. Prospect, Mundelein, Niles, Northbrook, Northfield, North Palatine, Park Ridge, Prospect Heights, River Grove, Riverwoods, Rolling Meadows, Rosemont, Round Lake, Round Lake Beach, Round Lake Heights, Round Lake Park, Schaumburg, Schiller Park, Sleepy Hollow, St. Charles, Streamwood, Sugar Grove, Third Lake, Tower Lakes, Vernon Hills, Volo, Wadsworth, Wauconda, Waukegan, West Dundee, Wheeling, Wildwood, Wilmette

County(ies) of Cook, Kane, Lake, McHenry  
and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the **DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 22-JAN-19 in said **DAILY HERALD**.

IN WITNESS WHEREOF, the undersigned, the said **PADDOCK PUBLICATIONS, Inc.**, has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

**PADDOCK PUBLICATIONS, INC.**  
**DAILY HERALD NEWSPAPERS**

BY *Danila Baltz*  
Authorized Agent

Control # 4516767



340 Navajo Lane

P.I.N. 07-22-108-007



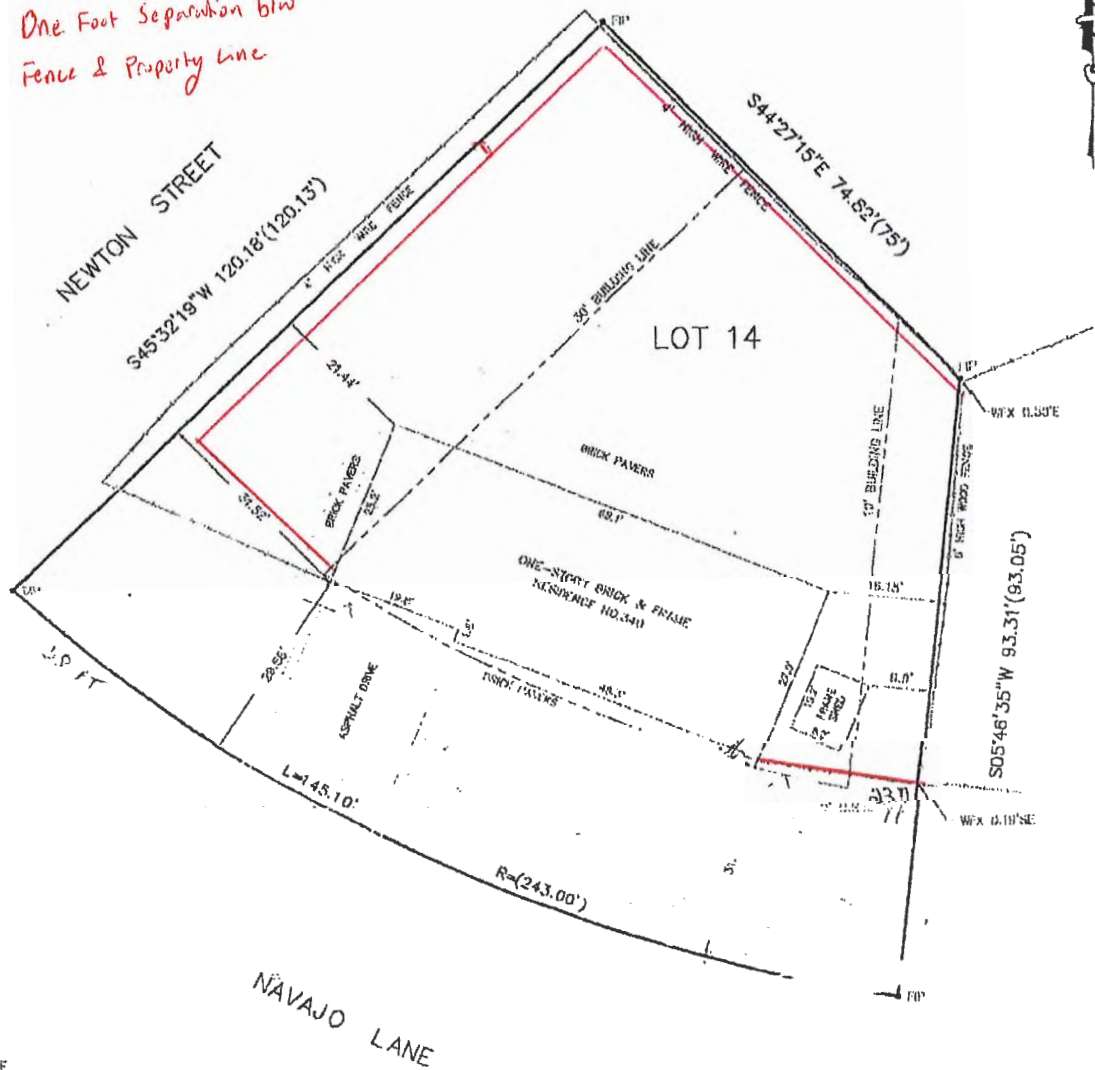
February 2019  
Village of Hoffman Estates  
Planning Division



# PLAT OF SURVEY

LOT 14 IN BLOCK 65 IN HOFFMAN ESTATES V, BEING A SUBDIVISION OF PART OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 22, AND THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 41 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF REGISTERED IN THE OFFICE OF TITLES OF COOK COUNTY, ILLINOIS ON JULY 24, 1957 AS DOCUMENT LR1750158, IN COOK COUNTY, ILLINOIS.

*One Foot Separation b/w Fence & Property Line*



ASSUMED

**ABBREVIATIONS**  
 R=RADIUS  
 L=ARC LENGTH  
 B.S.L.=BUILDING SETBACK LINE

● FIP=FOUND IRON PIPE  
 (150.00')=RECORD INFORMATION  
 150.00'=MEASURED INFORMATION

**SURVEYORS NOTES**  
 THE BASIS OF BEARINGS SHOWN HEREON IS ASSUMED AND ARE SHOWN FOR ANGULAR REFERENCE ONLY.

PROPERTY ADDRESS: 340 NAVAJO LANE HOFFMAN ESTATES II, CHICAGO, ILLINOIS



VILLAGE OF HOFFMAN ESTATES  
PLANNING AND ZONING COMMISSION  
**FINDING OF FACT**

PROJECT NO.: 2019002R

VILLAGE BOARD MEETING DATE: February 18, 2019

PETITIONER(S): Benjamin Lake (owner)

PROJECT ADDRESS: 805 Heather Ln.

ZONING DISTRICT: R-4, One Family Residential

Recommendation: **APPROVAL**

Vote: 9 Ayes 0 Nays 2 Absent

PZC MEETING DATE: February 6, 2019

STAFF ASSIGNED: MO KHAN

- A. Approval of a request by Benjamin Lake (owner) for a Variation to Sec. 9-3-6-E to allow for a setback distance of nineteen feet (19') for a patio, versus the minimum setback distance of thirty feet (30') required, at the property located at 805 Heather Lane.**

AUDIENCE COMMENTS

No audience comments.

FINDING

The Planning & Zoning Commission heard from the petitioner who explained that he is requesting a variation to allow for the new patio to be in the required corner side-yard. The petitioner stated the patio was relocated from the rear of the house to the side of the house when they recently constructed an addition on the rear of the house. The petitioner further stated that constructing a patio in the rear of the house is difficult due to the grade change in their rear yard and that with the new addition the sliding door is on the east façade of the building facing Jones Road.

Staff informed the Commission that the purpose of the corner-side setback requirement for accessory structure is to create a visually aesthetic streetscape and to prevent visual impairments for pedestrian and vehicles. Staff stated in the case of the subject property locating the patio in the corner side-yard will not have a negative impact on the aesthetics of the streetscape nor will it cause visual impairment. Staff stated that there would be significant separation distance between the edge of the patio and the roadway and that the patio itself would not be visible from the roadway since the subject property is at a lower elevation than the adjacent roadway and is screened by fencing.

One Commissioner asked if there will be other structures located on the patio such as a hammock. The petitioner answered stating that they only plan on having outdoor furniture on the patio.

Chairperson Combs asked what material the patio is constructed with and the Petitioner answered stating it is constructed with stamped concrete.

Planning and Zoning Commission Finding of Fact  
Patio Setback Variation – 805 Heather Lane  
Village Board Meeting Date: February 18, 2019

PLANNING AND ZONING COMMISSIONERS

Chairperson Eva Combs	Lenard Henderson
Minerva Milford	Tom Burnitz
Adam Bauske	Nancy Trieb
Sohita Patel	Denise Wilson
Lon Harner	

ROLL CALL VOTE

9 Ayes  
0 Abstain  
2 Absent (Ring, Iozzo)

**MOTION PASSED**

The following attachments are hereby incorporated as part of this Finding of Fact:

Staff's Memo  
General Application  
Variation Addendum  
Project Narrative  
Plat of Survey  
Legal Notice Publication  
Aerial Location Map



# VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT NO.: 2019002R

PROJECT NAME: 805 Heather – Patio Setback Variation

PROJECT ADDRESS/LOCATION: 805 Heather Lane

PUBLIC HEARING  YES  NO

REZONING  MASTER SIGN PLAN  SPECIAL USE  VARIATION   
PRELIMINARY & FINAL SITE PLAN  PRELIMINARY & FINAL PLAT

MEETING DATE: FEBRUARY 6, 2019

STAFF ASSIGNED: MO KHAN

## REQUESTED MOTIONS

- A. Approval of a request by Benjamin Lake (owner) for a Variation to Sec. 9-3-6-E to allow for a setback distance of nineteen feet (19') for a patio, versus the minimum setback distance of thirty feet (30') required, at the property located at 805 Heather Lane.

INCLUDES RECOMMENDED CONDITIONS  YES  NO

ACRES: 0.25 (APPROXIMATE)	ZONING DISTRICT: R-4, One Family Residential	
ADJACENT PROPERTIES:	NORTH: Single Family Home, Zoned R-4	SOUTH: Community Park, Zoned R-6 (Schaumburg)
	EAST: Single Family Home, Zoned R-3	WEST: Single Family Home, Zoned R-4

## BACKGROUND

The subject property is located at the southwest corner of Heather Lane and Jones Road. The subject property is improved with a two-story single family structure that is approximately 1,812 ft.<sup>2</sup> and was originally built in 1971. An addition approximately 700 ft.<sup>2</sup> in size was built in 2018. The property is also improved with a concrete stamped patio, for which the variation is being requested for, located in the corner-side yard and is approximately 320 ft.<sup>2</sup> in size. Since the subject property is a corner lot, setback distances for accessory structures are dictated by the setback requirements for the principal structure.

## PROPOSAL

The petitioner is requesting a variation from Section 9-3-6-E of the Zoning Code to allow for the new patio to be setback a distance of nineteen feet (19') from the east property line whereas the minimum setback required for an accessory structure located in the corner-side yard is thirty feet (30'). The petitioner has stated

that there is difficulty in constructing the patio in the rear yard due to grade changes and that with the new addition built the new sliding door is located on the east façade of the building facing Jones Road.

### **STANDARDS**

The Planning and Zoning Commission shall, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the applicant have been established by the evidence.

1. **The particular physical surroundings, shape of topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.**
2. **The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning classification.**
3. **The purpose of the variation is not based exclusively upon a desire to increase the value of the property.**
4. **The alleged difficulty or hardship has not be based exclusively upon a desire to increase the value of the property.**
5. **The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.**
6. **The proposed variation will not impair adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood.**

### **ANALYSIS**

The purpose of the corner-side setback requirement for accessory structures is to create a visually aesthetic streetscapes by preventing the accumulation of accessory structures along roadways. Also by not allowing accessory structures in the corner-side yard it prevents those structures from being a visual impairment for pedestrians and vehicles.

In the case of the subject property if the variation is granted there would not be an adverse impact on the streetscape nor will it be create a visual impairment for motorists. An ample amount of greenspace between the edge of the patio and the roadway will be maintained. The parkway along Jones Road is approximately thirty-two feet (32') which is significantly larger than most typical parkways and between the parkway size and the greenspace on the subject property itself there would be approximately fifty-one feet (51') between the edge of the patio and the roadway. The patio itself would not be visible from the public right-of-way as the subject property is at a lower elevation than the roadway and there is also a fence that provides screening of the property.

Meeting Date: February 6, 2019

Furthermore, since the roadway is at a higher elevation than the subject property, clear sightlines will be maintained for pedestrians and vehicles.

It is in Staff's opinion that the request meets the standards of granting a variation, as the request meets the intent and goals of the code, it will not have an adverse impact on adjacent properties nor on public streets, and it is not solely being requested on the basis of convenience or the desire to increase the value of the property.

**RECOMMENDATION**

**Approval of a request by Benjamin Lake (owner) for a Variation to Sec. 9-3-6-E to allow for a setback distance of nineteen feet (19') for a patio, versus the minimum setback distance of thirty feet (30') required, at the property located at 805 Heather Lane.**

Attachments:    General Application  
                      Variation Addendum  
                      Project Narrative  
                      Plat of Survey  
                      Legal Notice Publication  
                      Aerial Location Map



# VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING GENERAL APPLICATION\*

Special Use for \_\_\_\_\_  Rezoning from \_\_\_\_\_ to \_\_\_\_\_

Variation:  Commercial  Residential  Sign

Plat (Subdivision & Others):  Preliminary  Final

Site Plan:  Amendment  Concept  Preliminary  Final

Master Sign Plan:  Amendment

Other: \_\_\_\_\_

**\* ADDENDUM MATERIALS ARE REQUIRED FOR SPECIFIC REQUESTS**

**Posting of Notification Sign(s) may be required.**

**Specific requirements will be provided when your request is scheduled.**

### FOR VILLAGE USE ONLY

Hearing Fee 175<sup>00</sup> Check No. \_\_\_\_\_ Date Paid 1-14-19

Project Number: 2019-002R

Staff Assigned: Mo Khan

Meeting Date: Feb. 6<sup>th</sup>, 2019

Public Hearing: Yes  No

Sign Posting Required: Yes  No

Date Sign Posted N/A

### PLEASE PRINT OR TYPE

Date: January 13, 2019

Project Name: 805 Heather Lane (Residential)

Project Description: Concrete Patio

Project Address/Location: 805 Heather Lane

Property Index No. 07-09-115-001

Acres: ~0.25

Zoning District: R-4; One-Family Residential



**I. Owner of Record**

Benjamin Lake  
 Name Company  
805 Heather Ln. Hoffman Estates  
 Street Address City  
IL 60169 (847) 621-2874  
 State Zip Code Telephone Number  
 Fax Number E-Mail Address  
blakemep@gmail.com  
the\_pilates\_girl@hotmail.com

**II. Applicant (Contact Person/Project Manager)**

Joaquin De La Torre De La Torre Concrete  
 Name Company  
751 Rappalo Ave Elk Grove Village  
 Street Address City  
IL 60007 (847) 293-6284  
 State Zip Code Telephone Number  
(847) 640-7491  
 Fax Number E-Mail Address

Applicant's relationship to property: Concrete (laid patio/ foundation)

**III. Owner Consent for Authorized Representative**

It is required that the property owner or his designated representative be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. **If the owner cannot be present at the meeting, the following statement must be signed by the owner:**

I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize \_\_\_\_\_ to act on my behalf and advise that he/she has full authority to act as my/our representative.

\_\_\_\_\_  
Owner Signature

\_\_\_\_\_  
Print Name

#### IV. Acknowledgement(s)

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

The Owner and Applicant, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature: 

Owner's Name (Please Print): Benjamin Lake

Applicant's Signature: \_\_\_\_\_  
(If other than Owner)

Applicant's Name (Please Print): Toaquin De La Torre

Date: January 13, 2019

All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.

Please contact the Planning Division (located in the Municipal Building) with any questions:

Email: [planning@hoffmanestates.org](mailto:planning@hoffmanestates.org)  
Address: 1900 Hassell Road  
Hoffman Estates, IL 60169  
Phone: (847) 781-2660  
Fax: (847) 781-2679

#### Addendums Attached:

- Special Use       Master Sign Plan  
 Rezoning       Other \_\_\_\_\_  
 Variation  
 Plat  
 Site Plan



# VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION VARIATION ADDENDUM

Commercial  Residential  Sign

## REQUIRED SUBMITTALS

- General Application
- Variation Hearing Fee: (Checks payable to the Village of Hoffman Estates)  
Commercial: \$500.00 per Variation\*  
Residential: \$175.00  
Sign: \$500.00 per Sign
- Legal Description  
(Typically found on a tax bill, survey, mortgage documents or deed)
- Current Plat of Survey drawn to scale showing the proposed improvement(s) and distance(s) from existing structures and property lines. For sign variations, ALL signs should be shown and labeled on the plat including the sign(s) for which the variation is being requested.
- A scale drawing of the floor plan and elevations, including windows and door locations.
- A Project Narrative detailing the variation request including whether there are other options that would not require a variation, proposed construction materials, whether removal/relocation of trees, utilities will be required and the estimated total project cost. Include any relevant plans, documents, photos to support the request.
- If any part of your existing and/or proposed use is located in any part of a utility easement, written release(s) from the Village or utility company may be required; contact the Planning Division for information.
- For residential variations only: You are encouraged to discuss your variation request with your neighbors and have them a Statement of Awareness acknowledging their awareness of your proposal. Statement of Awareness forms can be found on the Village's Planning Documents & Applications webpage or can be provided by Staff.

MK

\* ***Some commercial requests require the posting of a notification sign(s) on the property 10 days before the Planning & Zoning Commission hearing and removal of the sign(s) 10 days after final Village Board action. Should your request require a notification sign, the specific requirements will be provided by Planning Staff.***



**Zoning Code Section 9-1-15-C-2 of the Municipal Code requires that the Planning and Zoning Commission shall, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the applicant have been established by the evidence. (Respond to each standard as it applies to your request either below or address on a separate sheet)**

1. The particular physical surroundings, shape of topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.

Based on the shape of the addition, location of the side/sliding door and size of the yard moving the patio to the back of the house (digging up the patio etc) causes financial hardship to our family up to \$7500 in cost.

2. The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning classification.

To the best of our knowledge, limited as it may be, would not be applicable to other properties within the same zoning classification.

3. The purpose of the variation is not based exclusively upon a desire to increase the value of the property.

Our decision to place the patio on the side of the house, as opposed to the back, was not based on a desire to increase property value. Our sliding door is on the side of the addition giving greater space to the yard. If the patio had been placed on the back of the house it would dominate the space and our children would lose their yard.

4. The alleged difficulty or hardship has not been based exclusively upon a desire to increase the value of property.

The hardship was in no way a desire to increase the value of the property and was based solely on the practicality of location and safety to our children.

5. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.

The variation is not detrimental to public welfare  
nor is injurious to other properties or neighborhood  
improvements.

6. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood.

The variation/patio does not encroach on village  
property or affect public village land in anyway.  
It is not a danger to public safety nor does it  
diminish property values in and around the neighborhood.

## Benjamin & Gretchen Lake

805 Heather Ln  
Hoffman Estates, IL 60169  
(224)795-2117  
blakemep@gmail.com

January 14, 2019

Department of Developmental Services  
1900 Hassell Road  
Hoffman Estates, IL 60169

To the Village of Hoffman Estates,

We are requesting a variance for our patio located to the side of our property. It has come to our attention that our patio is in violation of a village code that states that the edge of the patio may not encroach more than 30ft to village property.

Until 3 days ago, we had no idea we were in violation of any kind. The placement of the patio was to align itself with our sliding glass door which is off to the side of our addition. It was also placed to the side of the house because the fence gate to the front of the house is directly to the left of the sliding door and allows us to monitor the comings and goings of all three of our children. As you know, Jones Rd. is a higher traffic street and we wanted to make sure we had a sight line at all times on our children while we enjoy our beautiful backyard.

The placement of our patio to the side of our house was in no way predicated on increasing the value of our property and to the best of our knowledge does not pose a danger to the public nor does it overlap or directly affect the village property now or in the future.

We request the variance for the safety of our children as well as the heavy financial burden this would place on our family. To demolish the patio, have it relaid and landscaped would amount to \$7500. This is a huge burden on our family of 5 while we are still recovering financially from the added cost of the addition to our home.

We apologize for an inconvenience this has caused the Village of Hoffman Estates. If we had known prior we were in violation of code, we would have never had the patio laid. We love our home and love living in Hoffman Estates. Our only intention was to create a beautiful and comfortable forever home to raise our children in.

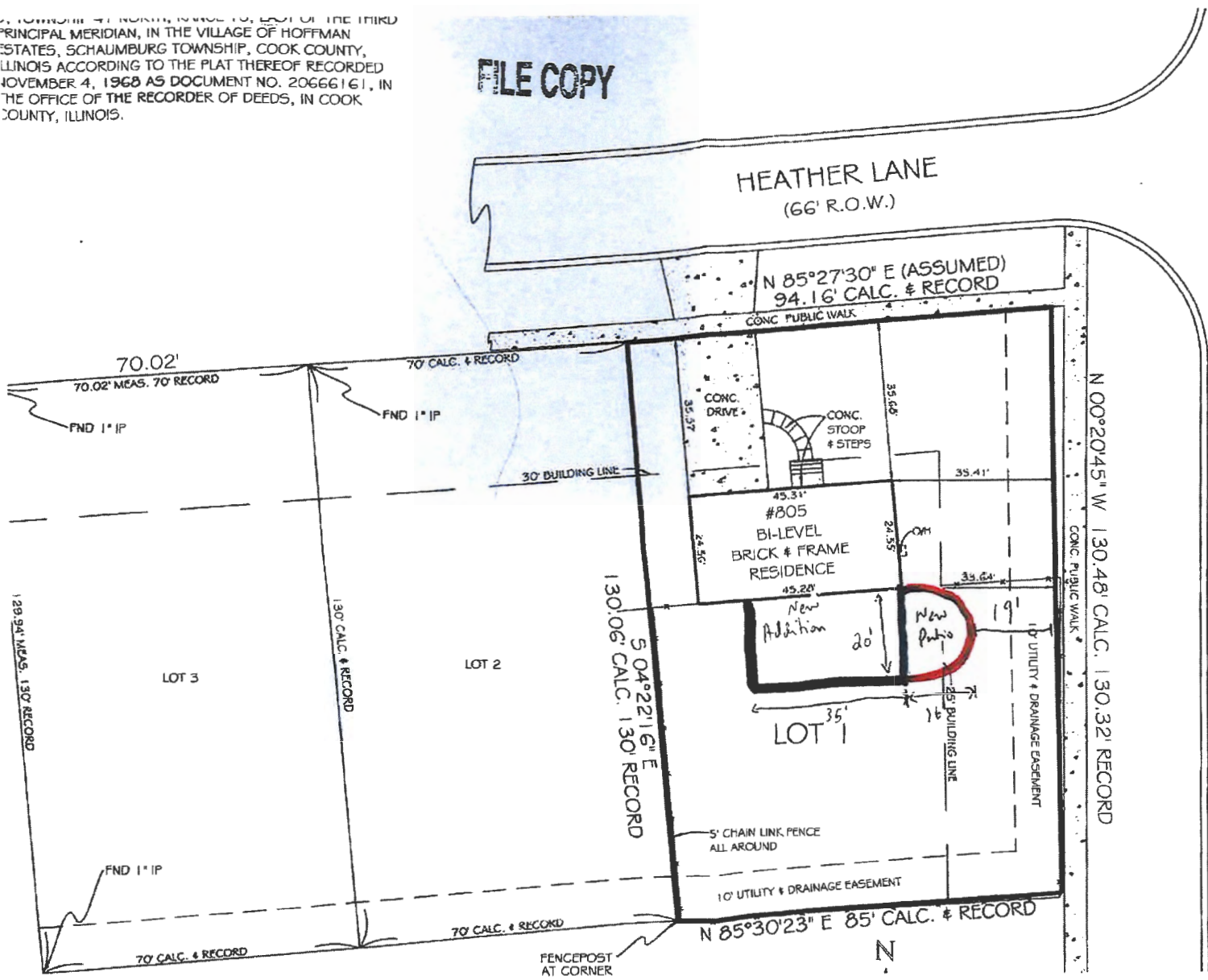
Sincerely yours,



Benjamin & Gretchen Lake

2, TOWNSHIP 4 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE VILLAGE OF HOFFMAN STATES, SCHAUMBURG TOWNSHIP, COOK COUNTY, ILLINOIS ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 4, 1968 AS DOCUMENT NO. 20666161, IN THE OFFICE OF THE RECORDER OF DEEDS, IN COOK COUNTY, ILLINOIS.

FILE COPY



JONES ROAD

New Patio - 20' x 16'



**NOTICE OF PUBLIC HEARING**  
Notice is hereby given that the Planning & Zoning Commission of the Village of Hoffman Estates will hold a public hearing at the request of Benjamin Lake (owner) for a Variation to Section 9-3-6-E to allow construction of a patio within the required corner sidewalk of 805 Heather Lane.  
P.I.N. : 07-09-115-001  
The hearing will be held on Wednesday, February 6, 2019 at 7:00 p.m. in the Hoffman Estates Municipal Building, 1900 Hossell Road, Hoffman Estates, IL.  
Eva Combs, Chairperson  
Planning and Zoning Commission  
Published in Daily Herald January 22, 2019 (4516769).

**CERTIFICATE OF PUBLICATION**  
**Paddock Publications, Inc.**

# Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **DAILY HERALD**. That said **DAILY HERALD** is a secular newspaper and has been circulated daily in the Village(s) of Algonquin, Antioch, Arlington Heights, Aurora, North Aurora, Bannockburn, Barrington, Barrington Hills, Lake Barrington, North Barrington, South Barrington, Bartlett, Batavia, Buffalo Grove, Burlington, Campton Hills, Carpentersville, Cary, Crystal Lake, Deerfield, Deer Park, Des Plaines, Elmhurst, East Dundee, Elgin, South Elgin, Elk Grove Village, Fox Lake, Fox River Grove, Franklin Park, Geneva, Gilberts, Glenview, Grayslake, Green Oaks, Gurnee, Hainesville, Hampshire, Hanover Park, Hawthorn Wood, Highland Park, Highwood, Hoffman Estates, Huntley, Inverness, Island Lake, Kildeer, Lake Bluff, Lake Forest, Lake in the Hills, Lake Villa, Lake Zurich, Libertyville, Lincolnshire, Lindenhurst, Long Grove, Melrose Park, Montgomery, Morton Grove, Mt. Prospect, Mundelein, Niles, Northbrook, Northfield, Nor Palatine, Park Ridge, Prospect Heights, River Grove, Riverwoods, Rolling Meadows, Rosemont, Round Lake, Round Lake Beach, Round Lake Heights, Round Lake Park, Schaumburg, Schiller Park, Sleepy Hollow, St. Charles, Streamwood, Sugar Grove, Third Lake, Tower Lakes, Vernon Hills, Volo, Wadsworth, Wauconda, Waukegan, West Dundee, Wheeling, Wildwood, Wilmette

County(ies) of Cook, Kane, Lake, McHenry  
and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the **DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 22-JAN-19 in said **DAILY HERALD**.

IN WITNESS WHEREOF, the undersigned, the said **PADDOCK PUBLICATIONS, Inc.**, has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

**PADDOCK PUBLICATIONS, INC.**  
**DAILY HERALD NEWSPAPERS**

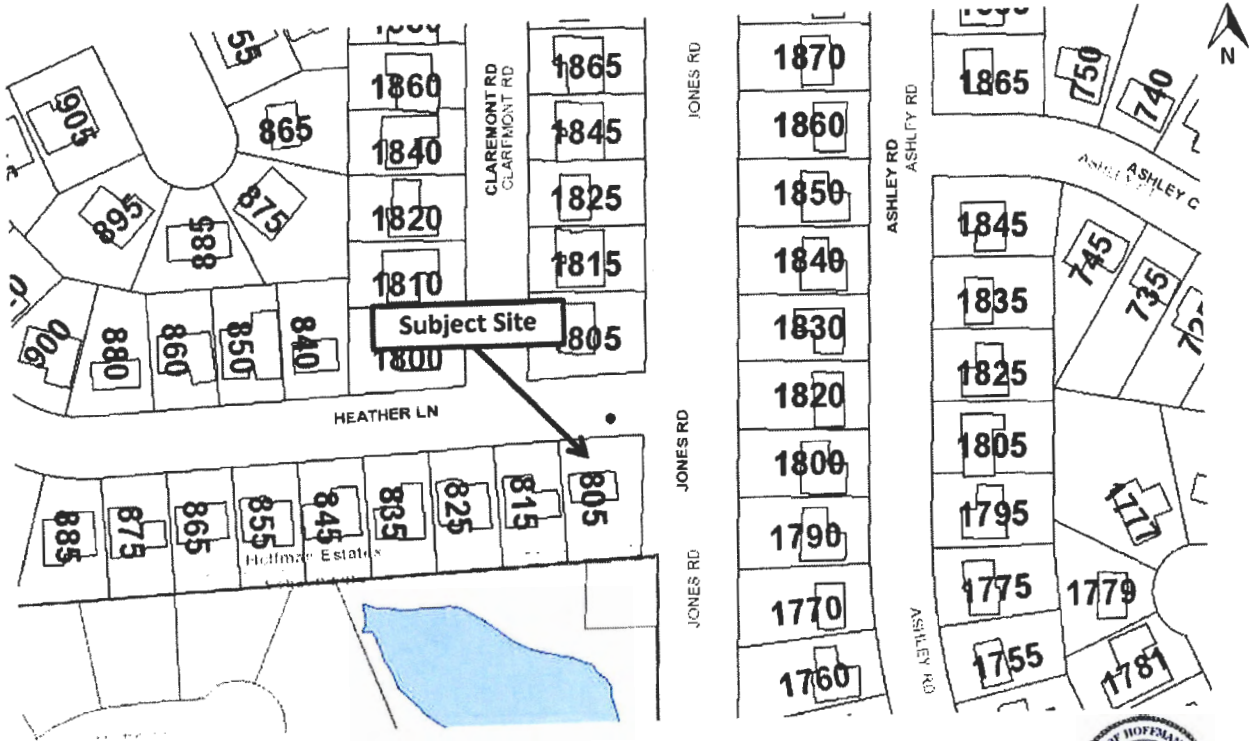
BY Daula Baltz  
Authorized Agent

Control # 4516769



805 Heather Ln

P.I.N. 07-09-115-002



February 2019  
Village of Hoffman Estates  
Planning Division





VILLAGE OF HOFFMAN ESTATES  
PLANNING AND ZONING COMMISSION  
**FINDING OF FACT**

PROJECT NO.: 2018036P

VILLAGE BOARD MEETING DATE: February 18, 2019

PETITIONER(S): Cabela's Wholesale LLC. (Owner)

PROJECT ADDRESS: 5225 Prairie Stone Pkwy

ZONING DISTRICT: B3 – Business District

Recommendation: **APPROVAL (All Motions)**

Roll Call Vote: **9 AYES, 2 ABSENT (All Motions)**

PZC MEETING DATE: February 6, 2019

STAFF ASSIGNED: JIM DONAHUE

**MOTION #1**

**Approval of a request by Cabela's Wholesale LLC (Owner) for a preliminary and final plat of resubdivision of Lot 4A5D2A1A in Prairie Stone located at 5225 Prairie Stone Parkway.**

1. The ownership indicated on the signature block needs to be changed to reflect the current LLC company name. This shall be corrected on the mylar prior to Village Board consideration.

**MOTION #2**

**Approval of a request by Cabela's Wholesale LLC (Owner) for a preliminary concept site plan amendment for Cabela's located at 5225 Prairie Stone Parkway, subject to the following conditions:**

1. No formal Site Plan approvals are granted for Lots 4A5D2A1A2, 4A5D2A1A3, 4A5D2A1A4, 4A5D2A1A5. At time of development of any of these lots, said lot shall meet all village codes and access shall be limited to cross access easements as shown on the concept plan. Two points of access shall be required for each lot to facilitate proper circulation. Direct access to Prairie Stone parkway will not be permitted.
2. At the time development is proposed for each outlot, the owner of the Cabela's lot (Lot 4A5D2A1A1) shall be required to obtain final site plan approval for physical changes to allow the cross access to occur. This may likely require modification of one-way drive aisles to accommodate cross access, as well as other changes.

**FINDING**

The property owner is proposing to resubdivide the property into 5 lots and make the four newly created smaller lots nearest to Prairie Stone Parkway available for sale. There are no known buyers for these smaller outlots which are envisioned to likely be fast food type restaurants. The largest portion of the property would remain as Cabela's. Cabela's will likely sell their main store lot to an investment trust and then lease it back as a tenant. Cabela's will market the vacant lots created by this plat to other users.

The Commission learned that the property owner is proposing to resubdivide Lot 4A5D2A1A into 5 lots. The newly created lots would be relatively small in size and likely for sale to future fast food or coffee type users. As an interim condition, some of the lots will continue to have parking areas that will be used as parking for Cabela's.

The lot sizes would be as follows:

- Lot 4A5D2A1A1 – 21.4406 acres (Cabela's)
- Lot 4A5D2A1A2 – 1.2249 acres (outlot)
- Lot 4A5D2A1A3 – 1.1994 acres (outlot)
- Lot 4A5D2A1A4 – 1.2531 acres (outlot)
- Lot 4A5D2A1A5 – 1.2522 acres (outlot)

The Commission heard from staff that although no work is proposed in conjunction with this plat, the petitioner has shown that when the lots do develop; the existing parking on the new lots will be lost as part of any development. Cabela's did parking counts via drones and airplanes to determine that the site is over parked even on its most busy days. The data showed that of the available 1005 parking spaces, only 357 spaces were being utilized on the busiest days. With the outlot parking eventually removed, the concept plan demonstrates there will still be 855 parking spaces available on the main Cabela's lot which is sufficient for store demand.

Staff stated that as each individual lot develops, the accompanying parking space reduction and parking lot realignment would occur at that time. Development of the lots, including the main Cabela's lot, would be subject to the Village's Site plan approval process.

The Commission questions mainly dealt with parking on the remaining Cabela's lot, the elimination of the boat storage and whether the legal name for Cabela's was an LLC or an Inc. The petitioner explained that the amount of parking on the site now and in the future will be more than enough for Cabela's as documented through counts on their busiest days. With respect to boat storage, the petitioner stated that a new area would be designated as boat storage if the lots do develop, and clarified that the company is an LLC

AUDIENCE COMMENTS

None.

PLANNING AND ZONING COMMISSIONERS  
Chairperson Eva Combs            Adam Bauske  
Vice-Chairman Greg Ring        Nancy Trieb  
Tom Burnitz                        Sohita Patel  
Lenard Henderson                Denise Wilson  
Myrene Iozzo                        Lon Harner  
Minerva Milford

ROLL CALL VOTE (All Motions)  
9 Ayes  
0 Nays  
2 Absent (Ring, Iozzo)

The following attachments are hereby incorporated as part of this Finding of Fact:

- Applications
- Preliminary & Final Plat
- Aerial Map



# VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT NO.: 2018036P

PROJECT NAME: Cabela's Plat of Subdivision

PROJECT ADDRESS/LOCATION: 5225 Prairie Stone Pkwy

PUBLIC HEARING  YES  NO

REZONING  MASTER SIGN PLAN  SPECIAL USE  VARIATION

PRELIMINARY CONCEPT SITE PLAN  PRELIMINARY & FINAL PLAT

MEETING DATE: February 6, 2019

STAFF ASSIGNED: JIM DONAHUE

## REQUESTED MOTIONS

- A. Approval of a request by Cabela's Wholesale LLC (Owner) for a preliminary and final plat of resubdivision of Lot 4A5D2A1A in Prairie Stone located at 5225 Prairie Stone Parkway.
- B. Approval of a request by Cabela's Wholesale LLC (Owner) for preliminary concept site plan amendment for Cabela's located at 5225 Prairie Stone Parkway.

INCLUDES RECOMMENDED CONDITIONS  YES  NO

ACRES: 26.4 (APPROXIMATE)	ZONING DISTRICT: B-3, Business District
ADJACENT PROPERTIES: NORTH: Sensient Flavoring, Zoned O-5 EAST: Central Wetland, Zoned B-3	SOUTH: Saddle Room & Main Event, Zoned B-3 WEST: Leopardo Construction, Zoned O-5

## BACKGROUND

The subject property is the Cabela's store property that was approved in 2006. When approved, the 185,000 square foot Cabela's store included space for outdoor goods and products, a conservation mountain with museum taxidermy, a wildlife museum, laser shooting gallery, indoor archery range, periodic tent and other outdoor sales, aquarium, a conference facility, a deli and other complementary uses. The store has scaled back on many of the initial offerings at this location.

The property was subdivided in 2017 to allow a portion of the property to be sold to a hotel developer. The Holiday Inn Express is currently under construction.

## **PROPOSAL**

The property owner is proposing to resubdivide the property into 5 lots and make the four newly created smaller lots nearest to Prairie Stone Parkway available for sale. There are no known buyers for these smaller outlots which are envisioned to likely be fast food type restaurants. The largest portion of the property would remain as Cabela's.

Cabela's will likely sell their main store lot to an investment trust and then lease it back as a tenant. Cabela's will market the vacant lots created by this plat to other users.

## **PRELIMINARY AND FINAL PLAT OF RESUBDIVISION**

The existing property (Lot 4A5D2A1A) is an approximately 26.4 acre lot that was created 2017. At that time, the property owner resubdivided their property into two new lots to sell a portion of the property to the Holiday Inn Express developer.

The property owner is now proposing to resubdivide Lot 4A5D2A1A into 5 lots. The newly created lots would be relatively small in size and likely for sale to future fast food or coffee type users. As an interim condition, some of the lots will continue to have parking areas that will be used as parking for Cabela's.

The lot sizes would be as follows:

Lot 4A5D2A1A1 – 21.4406 acres (Cabela's)

Lot 4A5D2A1A2 – 1.2249 acres (outlot)

Lot 4A5D2A1A3 – 1.1994 acres (outlot)

Lot 4A5D2A1A4 – 1.2531 acres (outlot)

Lot 4A5D2A1A5 – 1.2522 acres (outlot)

Access and utility easements are included as part of the plat for future development of the individual lots. Exact utility connection locations will be determined at the time each lot is proposed to be developed.

## **CABELA'S - PRELIMINARY CONCEPT SITE PLAN**

Although no work is proposed in conjunction with this plat, the petitioner has shown that when the lots do develop; the existing parking on the new lots will be lost as part of any development. Cabela's did parking counts via drones and airplanes to determine that the site is over parked even on its most busy days. The data showed that of the available 1005 parking spaces, only 357 spaces were being utilized on the busiest days. With the outlot parking eventually removed, the concept plan demonstrates there will still be 855 parking spaces available on the main Cabela's lot which is sufficient for store demand.

As each individual lot develops, the accompanying parking space reduction and parking lot realignment would occur at that time. Development of the lots, including the main Cabela's lot, would be subject to the Village's Site plan approval process.

**RECOMMENDATIONS**

- A. **Approval of a request by Cabela's Wholesale LLC (Owner) for a preliminary and final plat of resubdivision of Lot 4A5D2A1A in Prairie Stone located at 5225 Prairie Stone Parkway.**
  - 1. The ownership indicated on the signature block needs to be changed to reflect the current LLC company name. This shall be corrected on the mylar prior to Village Board consideration.
  
- B. **Approval of a request by Cabela's Wholesale LLC (Owner) for a preliminary concept site plan amendment for Cabela's located at 5225 Prairie Stone Parkway, subject to the following condition:**
  - 1. No formal Site Plan approvals are granted for Lots 4A5D2A1A2, 4A5D2A1A3, 4A5D2A1A4, 4A5D2A1A5. At time of development of any of these lots, said lot shall meet all village codes and access shall be limited to cross access easements as shown on the concept plan. Two points of access shall be required for each lot to facilitate proper circulation. Direct access to Prairie Stone parkway will not be permitted.
  
  - 2. At the time development is proposed for each outlot, the owner of the Cabela's lot (Lot 4A5D2A1A1) shall be required to obtain final site plan approval for physical changes to allow the cross access to occur. This may likely require modification of one-way drive aisles to accommodate cross access, as well as other changes.

Attachments:            General Application  
                              Petitioners Submittals  
                              Aerial Location Map



# VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING GENERAL APPLICATION\*

Special Use for \_\_\_\_\_  Rezoning from \_\_\_\_\_ to \_\_\_\_\_

Variation:  Commercial  Residential  Sign

Plat (Subdivision & Others):  Preliminary  Final

Site Plan:  Amendment  Concept  Preliminary  Final

Master Sign Plan:  Amendment

Other: \_\_\_\_\_

**\* ADDENDUM MATERIALS ARE REQUIRED FOR SPECIFIC REQUESTS**

**Posting of Notification Sign(s) may be required.**

**Specific requirements will be provided when your request is scheduled.**

FOR VILLAGE USE ONLY		
Hearing Fee	\$1500	Check No. 014424 Date Paid 1/18/19
Project Number:	2018036 P	
Staff Assigned:	J. DONAHUE	
Meeting Date:	Feb 6, 2019	Public Hearing: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Sign Posting Required:	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Date Sign Posted N/A

**PLEASE PRINT OR TYPE**

Date: 10/30/2018

Project Name: Cabela's Subdivision

Project Description: Cabela's Subdivision

Project Address/Location: 5225 Prairie Stone Pkwy

Property Index No. Parts of 4A5D2A1A

Acres: 1.252 & 1.253 Zoning District: B-3

**I. Owner of Record**

Steven Krajewski

Cabela's Wholesale Inc.

Name

Company

1 Cabela Drive

Sidney

Street Address

City

NE 69162

(308)255-2562

State

Zip Code

Telephone Number

Steven.Krajewski@cabelas.com

Fax Number

E-Mail Address

**II. Applicant (Contact Person/Project Manager)**

Steven Krajewski

Cabela's Wholesale Inc.

Name

Company

1 Cabela Drive

Sidney

Street Address

City

NE 69162

(308)255-2562

State

Zip Code

Telephone Number

Steven.Krajewski@cabelas.com

Fax Number

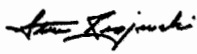
E-Mail Address

Applicant's relationship to property: Owner

**III. Owner Consent for Authorized Representative**

It is required that the property owner or his designated representative be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. **If the owner cannot be present at the meeting, the following statement must be signed by the owner:**

I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize \_\_\_\_\_ to act on my behalf and advise that he/she has full authority to act as my/our representative.



Steven Krajewski

Owner Signature

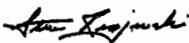
Print Name



#### IV. Acknowledgement(s)

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

**The Owner and Applicant**, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature: 

Owner's Name (Please Print): Steven Krajewski

Applicant's Signature: \_\_\_\_\_  
(If other than Owner)

Applicant's Name (Please Print): \_\_\_\_\_

Date: \_\_\_\_\_

**All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.**

Please contact the Planning Division (located in the Municipal Building) with any questions:

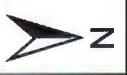
Email: [planning@hoffmanestates.org](mailto:planning@hoffmanestates.org)  
Address: 1900 Hassell Road  
Hoffman Estates, IL 60169  
Phone: (847) 781-2660  
Fax: (847) 781-2679

Addendums Attached:

- Special Use
- Rezoning
- Variation
- Plat
- Site Plan
- Master Sign Plan
- Other \_\_\_\_\_



Approximate Area of Lost Parking



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

## James Donahue

---

**From:** Steven Krajewski <Steven.Krajewski@cabelas.com>  
**Sent:** Thursday, January 31, 2019 12:21 PM  
**To:** James Donahue  
**Cc:** Casucci, John; Lancour, Ryan; Nicole Berger  
**Subject:** Hoffman Estates, IL - Cabela's Subdivision

Jim,

I authorizes Ryan Lancour, R. A. Smith, to speak on behalf of Bass Pro / Cabela's in regards to the pending subdivision.

Steve

Steven Krajewski  
Director of Real Estate  
Cabela's, Inc.  
Two Cabela Drive  
Sidney, NE 69160  
Direct: 308.255.2562  
[Steven.Krajewski@Cabelas.com](mailto:Steven.Krajewski@Cabelas.com)



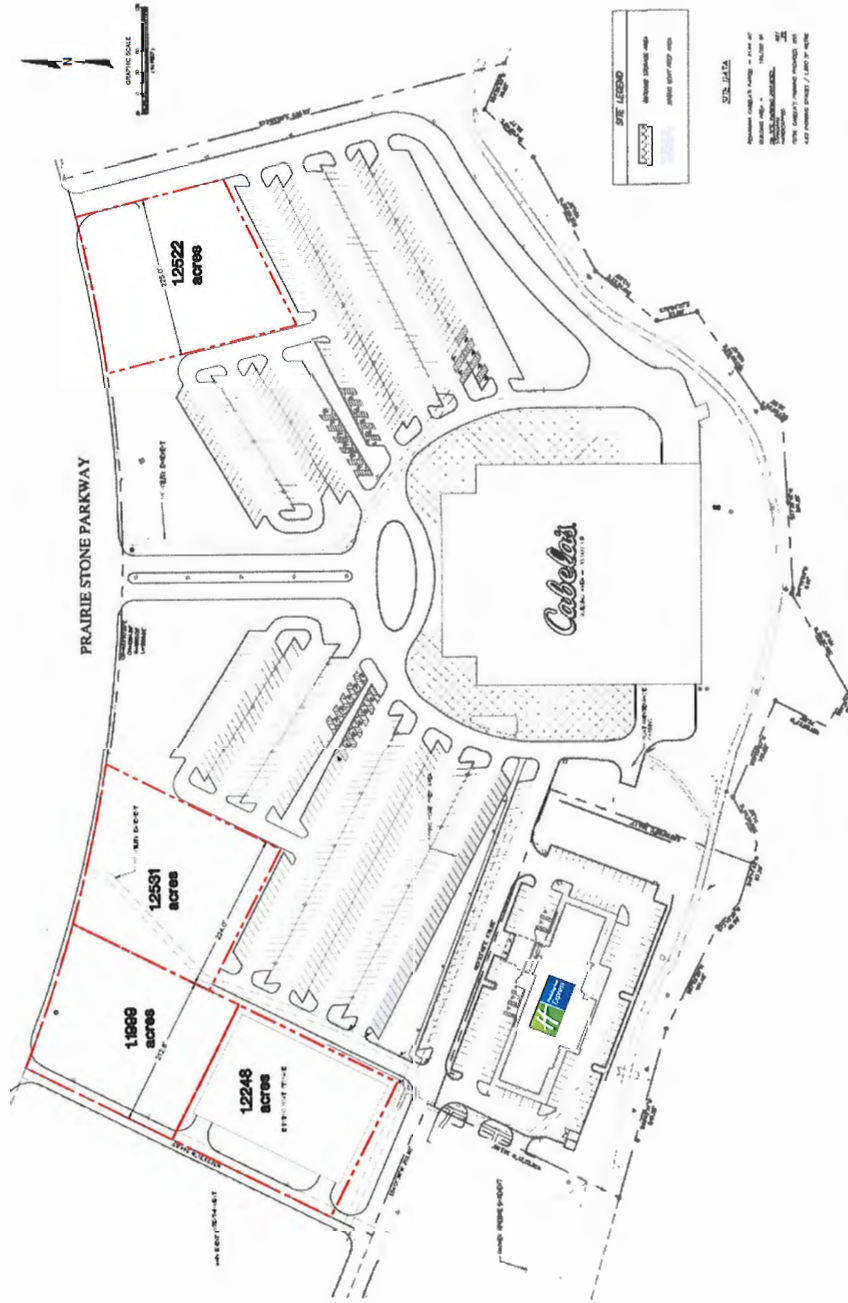


# Cabela's Hoffman Estates



Existing Site Plan





## Preliminary Site Plan



VILLAGE OF HOFFMAN ESTATES  
PLANNING AND ZONING COMMISSION  
**FINDING OF FACT**

PROJECT NO.: 2013038P

VILLAGE BOARD MEETING DATE: February 18, 2019

PETITIONER(S): DeSchouw BSM LLC (Owner) & Buona Beef (Applicant)

PROJECT ADDRESS: 2250-2360 W. Higgins Rd.

ZONING DISTRICT: B2 – Community Business District

Does the Planning and Zoning Commission find that this request meets the Standards for a Master Sign Plan (Section 9-3-8-M-13)?



YES

NO

Recommendation: **APPROVAL (All Motions)**

Vote: **9 Ayes, 2 Absent (All Motions)**

PZC MEETING DATE: February 6, 2019

STAFF ASSIGNED: JAMES DONAHUE

**MOTION #1**

**Approval of a request by DeSchouw BSM LLC (Owner) of a Preliminary and Final Plat of Resubdivision of Barrington Square Resubdivision No. 3 located at 2250-2360 W. Higgins Road, subject to the following condition:**

1. The Covenants, Restrictions, and Easements for the Barrington Square Town Center property shall remain in place and shall stipulate that the overall property including new lots will function as a common unified center.

**MOTION #2**

**Approval of a request by DeSchouw BSM LLC (Owner) of a Preliminary and Final Site Plan Amendment for parking lot and site changes at 2250-2360 W. Higgins Road (Barrington Square Town Center), subject to the following conditions:**

1. The Covenants, Restrictions, and Easements for the Barrington Square Town Center property shall remain in place and shall stipulate that the overall property including new lots will function as a common unified center.
2. Final site acceptance for the Buona Beef development shall include an acceptable stand of grass (as determined by the Village) established on the adjacent Lot 4 area as shown on the plans.
3. Any trees removed from the parking lot islands as part of the parking lot and site changes shall be replaced as required by code.
4. All work must be finished and approved by the Village prior to any certificate of occupancy is issued for Buona Beef.

5. The following conditions relate to the site construction:
  - a. A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
  - b. Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.
  - c. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.

### **MOTION #3**

**Approval of a request by DeSchouw BSM LLC (Owner) and Buona Beef (applicant) of a Preliminary and Final Site Plan for a restaurant on the newly proposed Lot 4 in Barrington Square Resubdivision No. 3 located at 2250-2360 W. Higgins Road., subject to the following conditions:**

1. The following waivers from the Subdivision Code relate to landscaping:
  - a) A waiver from Section 10-4-4-B-2-a to allow a setback of 0' instead of the 10' required by the Subdivision Code for the east side yard setback.
  - b) A waiver from Section 10-4-4-B-2-a to allow a setback of 7.6' instead of the 10' required by the Subdivision Code for the west side yard setback.
2. The following conditions relate to the site construction:
  - a. A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
  - b. Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.
  - c. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.
3. All rooftop mechanicals shall be screened through the use of parapet walls, as approved by the Village. At time of building permit submittal, the building plans shall show compliance with this requirement. Upon final occupancy inspection, if the Village determines that the roof top units are visible from the adjacent properties; they will be required to be screened from view as approved by the Village.



#### **MOTION #4**

**Approval of a request by DeSchouw BSM LLC (Owner) of a Master Sign Plan Amendment for the property located at 2552 W. Higgins Road in Barrington Square Town Center dated 02/06/19.**

#### **FINDING**

The petitioners are proposing to subdivide the existing 28.10 acre site for the purpose of establishing lots of record for various existing and future developments. Additionally, Buona Beef is proposing to raze their current restaurant and construct a new restaurant immediately adjacent to the existing one. The current property owner will retain ownership of the land and lease it to Buona Beef. The balance of the property would remain under the ownership of the current landowner. A Master Sign Plan Amendment is under consideration as well for the proposed Buona Beef signs.

The proposed final plat of resubdivision proposes to subdivide the existing overall property into nine lots. Lot 1 (.77 acres) would be the former McDonald's site that is vacant on the corner of Higgins Road & Governor's Lane, Lot 2 (1.12 acres) would be the current McDonald's site, Lot 3 (.66 acres) would be for future development, Lot 4 (.92 acres) is new Buona Beef site, Lot 5 (1.21 acres) is a future retail site, Lot 6 (11.17 acres) would be main shopping center and entrance roads, Lot 7 ((2.01 acres) would be the existing DuPage Medical Building, Lot 8 (7.24 acres) would be the old Menards property and a portion of the associated parking, and Lot 9 (3 acres) is the existing detention basin along Hassell Road.

As part of the proposed Buona Beef site development, improvements will be required for the overall Barrington Square Town Center site. These include modifying the entrance west of the Buona Beef site and realigning the drive aisle north of the Buona Beef site and installing new landscaped islands for directional site flow as well as storm sewer work on the adjacent lot (Lot 3) to accommodate the new development.

The Commission also learned that the plans show a dual drive through, adequate parking and additional landscape being installed as part of the plan. In order to accomplish the proposed plan, the petitioner is asking for waivers from the Subdivision Code for the landscape setbacks. The Commission felt that they seemed reasonable to accommodate the plan and should not negatively impact the development.

The petitioner stated that the building is proposed to be mainly face brick on all four elevations. The east and south elevations will include barn wood and metal awnings in the new Buona Beef colors and design. As per code, all roof top mechanicals will be required to be screened by means of a raised parapet. The material and architectural design meets the requirements of the Subdivision Code.

The petitioner also presented a Master Sign Plan for consideration, which included wall signage and two menu boards for the Buona Beef site. The Commission considered the standards for a Master Sign Plan listed in Section 9-3-8.M.12 and found the standards were met.

The Commission had questions about the Master Sign Plan changes which staff explained, the location of hydrants which the petitioner showed on the plans, whether the site can still function while under construction which the petitioner showed and explained how it will work. One commissioner asked about interior building code issues with the building like bathrooms and changing tables as well as exterior snow removal. These were addressed by the petitioner and staff. One commissioner asked about the size of the building and the drive through stacking which was addressed by the petitioner.

AUDIENCE COMMENTS

None.

PLANNING AND ZONING COMMISSIONERS

Chairperson Eva Combs	Adam Bauske
Vice-Chairman Greg Ring	Nancy Trieb
Tom Burnitz	Sohita Patel
Lenard Henderson	Denise Wilson
Myrene Iozzo	Lon Harner
Minerva Milford	

ROLL CALL VOTE (All Motions)

9 Ayes  
0 Nays  
2 Absent (Ring, Iozzo)

The following attachments are hereby incorporated as part of this Finding of Fact:

- Applications
- Engineering Plans
- Landscape Plan
- Preliminary & Final Plat
- Master Sign Plan (Draft)



# VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT NO.: 2018038P

PROJECT NAME: Buona Beef Restaurant & Barrington Square Town Center

PROJECT ADDRESS/LOCATION: 2552 W. HIGGINS ROAD

PUBLIC HEARING  YES  NO

REZONING  MASTER SIGN PLAN AMENDMENT  SPECIAL USE  VARIATION   
PRELIMINARY & FINAL SITE PLAN  PRELIMINARY & FINAL PLAT

MEETING DATE: FEBRUARY 6, 2019

STAFF ASSIGNED: JIM DONAHUE

## REQUESTED MOTIONS

- A. Approval of a request by DeSchouw BSM LLC (Owner) of a Preliminary and Final Plat of Resubdivision of Barrington Square Resubdivision No. 3 located at 2250-2360 W. Higgins Road.
- B. Approval of a request by DeSchouw BSM LLC (Owner) of a Preliminary and Final Site Plan Amendment for parking lot and site changes at 2250-2360 W. Higgins Road (Barrington Square Town Center).
- C. Approval of a request by DeSchouw BSM LLC (Owner) and Buona Beef (applicant) of a Preliminary and Final Site Plan for a restaurant on the newly proposed Lot 4 in Barrington Square Resubdivision No. 3 located at 2250-2360 W. Higgins Road.
- D. Approval of a request by DeSchouw BSM LLC (Owner) of a Master Sign Plan Amendment for the property located at 2250-2360 W. Higgins Road in Barrington Square Town Center.

INCLUDES RECOMMENDED CONDITIONS

YES  NO

ACRES: 28.10 (APPROXIMATE)

ZONING DISTRICT: B-2, Community Business District

ADJACENT

NORTH: Poplar Creek Commons, Zoned B-2

SOUTH: Medical Offices, Zoned RPD

PROPERTIES:

EAST: Barrington Square Quads, Zoned A-1

WEST: Northwest Corporate Center, Zoned B2 & M1

## BACKGROUND

The Barrington Square Town Center originally opened in the early 1970's and has gone through numerous changes as the owners work to keep the center viable and occupied. In 2009 the property owners demolished the Menards building and in 2011 the former Burger King was demolished. They made various

Meeting Date: February 6, 2019

site improvements in 2012-13 in anticipation of future development, which included a new McDonald's built in 2016 at 2270 W. Higgins (immediately east of this site).

## **PROPOSAL**

The petitioners are proposing to subdivide the existing 28.10 acre site for the purpose of establishing lots of record for various existing and future developments. Additionally, Buona Beef is proposing to raze their current restaurant and construct a new restaurant immediately adjacent to the existing one. The current property owner will retain ownership of the land and lease it to Buona Beef. The balance of the property would remain under the ownership of the current landowner. A Master Sign Plan Amendment is under consideration as well for the proposed Buona Beef signs.

## **PRELIMINARY AND FINAL PLAT OF RESUBDIVISION**

The proposed final plat of resubdivision proposes to subdivide the existing overall property into nine lots. Lot 1 (.77 acres) would be the former McDonald's site that is vacant on the corner of Higgins Road & Governor's Lane, Lot 2 (1.12 acres) would be the current McDonald's site, Lot 3 (.66 acres) would be for future development, Lot 4 (.92 acres) is new Buona Beef site, Lot 5 (1.21 acres) is a future retail site, Lot 6 (11.17 acres) would be main shopping center and entrance roads, Lot 7 ((2.01 acres) would be the existing DuPage Medical Building, Lot 8 (7.24 acres) would be the old Menards property and a portion of the associated parking, and Lot 9 (3 acres) is the existing detention basin along Hassell Road.

Many existing public easements exist on the overall site and are noted as such on the plat. Newly dedicated public utility and stormwater easements for the Buona Beef site are included on the plat.

Cross access, ingress/egress, and parking easements are provided over the entire site for the benefit of all lots. This is noted on the plat and further defined in the Declaration of Easements, Covenants, and Restrictions for the Barrington Square Town Center. A condition of approval for the plat is included requiring that this document remain in place to ensure the site functions as cohesive center.

## **PRELIMINARY AND FINAL SITE PLAN**

### **Barrington Square Town Center**

As part of the proposed Buona Beef site development, improvements were required for the overall Barrington Square Town Center site. These include modifying the entrance west of the Buona Beef site and realigning the drive aisle north of the Buona Beef site and installing new landscaped islands for directional site flow as well as storm sewer work on the adjacent lot (Lot 3) to accommodate the new development.

### **Buona Beef**

The proposed Buona Beef would be located immediately west of the existing store. The existing store is in need of updating and the petitioner decided to pursue the new building and site design as proposed.

Meeting Date: February 6, 2019

The new restaurant would be accessed off the east/west aisle on the Barrington Square Town Center property. Additionally, another access point is proposed along the east side of the site from the future retail site. The restaurant proposes dual drive-throughs and menu boards for quicker turnaround on orders.

As part of the site redevelopment, the petitioner plans on keeping the existing store open as long as possible. The new store will be adjacent to the existing one and will be fenced off as work is done on it. Drive-thru and pedestrian access will remain available to the existing restaurant as the building is constructed. Once the balance of the site is ready to be completed, the restaurant will cease operations. The petitioner has said this crucial to their operations to keep employees working as long as possible without lost wages. Planning staff along with Transportation, Engineering, Building and Fire staff have reviewed this and worked with the petitioner to make the site functional and safe during this process.

### ***Engineering – Subdivision Code Section 10-3***

Existing utilities are located nearby and are being extended to serve the site. The Engineering Division has reviewed the proposal and found it meets code.

### ***Landscaping – Subdivision Code Section 10-4***

The proposed landscape plan incorporates a variety of trees, shrubs and perennials into the site design. Numerous shrubs and perennials are proposed to provide visual interest and a number of trees are being provided on the site.

In order to accomplish the proposed plan, the petitioner is asking for waivers from the Subdivision Code for the landscape setbacks. As such, the following landscape setbacks are requested:

*Side Yard Setback (west)* – Requested setback of 7.6' instead of the 10' required by the Subdivision Code.

*Side Yard Setback (east)* – Requested setback of 0' instead of the 10' required by the Subdivision Code. This is due to the Buona Beef property and the future retail site to the east sharing a parking field.

Previously, as part of the McDonald's proposal, waivers were granted to forgo planting of the required shade trees in the front yard setback for the whole property. The petitioner provided landscape (including shade trees) in the right of way that were planted in lieu of the required frontage trees. That landscape was installed as per plan in 2016.

### ***Parking Analysis - Subdivision Code Section 10-5-2***

The site plan proposes 35 parking spaces for this building. Additionally, 23 spaces are available for use on the adjacent site that will be for future retail. As part of the staff review of the proposal, the petitioner provided information on the number of drive-thru vehicles that can be expected. Based on the fact that most business is done through the drive-thru, and based on existing parking provided for the current store; the Traffic Division for the Village has determined that sufficient parking is provided with the site plan.

Meeting Date: February 6, 2019

***Exterior Lighting – Subdivision Code Section 10-5-3-G***

The parking lot lighting meets the standards set forth in Section 10-5-3-G of the Subdivision Code. Lighting is designed to adequately illuminate the site and light fixtures are downcast to prevent glare onto adjacent roadways and properties.

***Building Design – Subdivision Code Section 10-5-3-H***

The building is proposed to be mainly face brick on all four elevations. The east and south elevations will include barn wood and metal awnings in the new Buona Beef colors and design. As per code, all roof top mechanicals will be required to be screened by means of a raised parapet. A condition has been added to this effect. The material and architectural design meets the requirements of the Subdivision Code.

**MASTER SIGN PLAN AMENDMENT**

The Barrington Square Town Center Master Sign Plan (MSP) for the overall property was approved in 2010 and subsequently updated in 2013 and 2018. It includes various sign types including monument signs, wall signs, and temporary signs and notes their general location.

The property owner is proposing changes to the Master Sign Plan as part of this proposal. The wall signage section is being amended to allow free standing single tenant building to have more than one sign per elevation provided the total signage doesn't exceed 200 square feet. Also, given that most restaurants are going to a two menu board system, the petitioner is amending the Master Sign Plan to allow more than one menu board with the number, size and location of all menu board signs approved through the site plan process on the site plan.

A copy of the revised Master Sign Plan identifying the proposed changes and corresponding attachments is attached for review.

**RECOMMENDATIONS**

- A. Approval of a request by DeSchouw BSM LLC (Owner) of a Preliminary and Final Plat of Resubdivision of Barrington Square Resubdivision No. 3 located at 2250-2360 W. Higgins Road, subject to the following condition:**
  - 1. The Covenants, Restrictions, and Easements for the Barrington Square Town Center property shall remain in place and shall stipulate that the overall property including new lots will function as a common unified center.
  
- B. Approval of a request by DeSchouw BSM LLC (Owner) of a Preliminary and Final Site Plan Amendment for parking lot and site changes at 2250-2360 W. Higgins Road (Barrington Square Town Center), subject to the following conditions:**
  - 1. The Covenants, Restrictions, and Easements for the Barrington Square Town Center property shall remain in place and shall stipulate that the overall property including new lots will function as a common unified center.

Meeting Date: February 6, 2019

2. Final site acceptance for the Buona Beef development shall include an acceptable stand of grass (as determined by the Village) established on the adjacent Lot 4 area as shown on the plans.
3. Any trees removed from the parking lot islands as part of the parking lot and site changes shall be replaced as required by code.
4. All work must be finished and approved by the Village prior to any certificate of occupancy is issued for Buona Beef.
5. The following conditions relate to the site construction:
  - a. A pre-construction meeting shall be conducted with the Village staff prior to construction commencing.
  - b. Fire Department and emergency access to the property shall be maintained at all times. Petitioner shall make any adjustments on the site as needed for access as per direction by the Village.
  - c. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.

**C. Approval of a request by DeSchouw BSM LLC (Owner) and Buona Beef (applicant) of a Preliminary and Final Site Plan for a restaurant on the newly proposed Lot 4 in Barrington Square Resubdivision No. 3 located at 2250-2360 W. Higgins Road., subject to the following conditions:**

1. The following waivers from the Subdivision Code relate to landscaping:
  - a) A waiver from Section 10-4-4-B-2-a to allow a setback of 0' instead of the 10' required by the Subdivision Code for the east side yard setback.
  - b) A waiver from Section 10-4-4-B-2-a to allow a setback of 7.6' instead of the 10' required by the Subdivision Code for the west side yard setback.
2. The following conditions relate to the site construction:
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  - c. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 7 p.m. Monday through Friday, and 8 a.m. to 6 p.m. Saturday and Sunday.

Meeting Date: February 6, 2019

3. All rooftop mechanicals shall be screened through the use of parapet walls, as approved by the Village. At time of building permit submittal, the building plans shall show compliance with this requirement. Upon final occupancy inspection, if the Village determines that the roof top units are visible from the adjacent properties; they will be required to be screened from view as approved by the Village.
- D. Approval of a request by DeSchouw BSM LLC (Owner) of a Master Sign Plan Amendment for the property located at 2552 W. Higgins Road in Barrington Square Town Center dated 02/06/19.**

Attachments: Project Narratives, Applications, Engineering Plans, Landscape Plan Preliminary & Final Plat, Master Sign Plan



NOV 07 2018



# VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING GENERAL APPLICATION\*

HOFFMAN ESTATES DIV.  
OF CODE ENFORCEMENT

Special Use for \_\_\_\_\_  Rezoning from \_\_\_\_\_ to \_\_\_\_\_

Variation:  Commercial  Residential  Sign

Plat (Subdivision & Others):  Preliminary  Final

Site Plan:  Amendment  Concept  Preliminary  Final

Master Sign Plan:  Amendment

Other: \_\_\_\_\_

**\* ADDENDUM MATERIALS ARE REQUIRED FOR SPECIFIC REQUESTS**

**Posting of Notification Sign(s) may be required.**

**Specific requirements will be provided when your request is scheduled.**

FOR VILLAGE USE ONLY			
Hearing Fee	<u>2500<sup>00</sup></u>	Check No. <u>1731 + 065757</u>	Date Paid <u>11/7/18</u>
Project Number:	<u>2018038 P</u>		
Staff Assigned:	<u>J. DONAHUE</u>		
Meeting Date:	<u>2/6/19</u>	Public Hearing: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
Sign Posting Required:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Date Sign Posted	<u>1/23/19</u>

**PLEASE PRINT OR TYPE**

Date: November 5, 2018

Project Name: Barrington Square Plat of Subdivision

Project Description: Buona Beef Project

Project Address/Location: 2360 W Higgins Rd, Hoffman Estates, IL

Property Index No. 07-07-205-003-0000

Acres: 2 Zoning District: B-2

**I. Owner of Record**

**DeSchouw BSM LLC**

Name		Company
2314 W Higgins Rd.Hoffman Estates		
Street Address		City
Illinois	60169	847-885-4160 X-204
State	Zip Code	Telephone Number
		joe@carusodevelopment.com
Fax Number		E-Mail Address

**II. Applicant (Contact Person/Project Manager)**

**John Sigalos**

**Buona Beef**

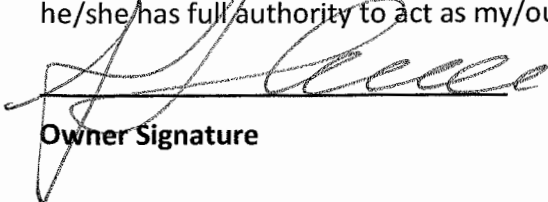
Name		Company
6801 W. ROOSEVELT RD.		BERWYN
Street Address		City
ILLINOIS	60402	630-774-4253
State	Zip Code	Telephone Number
		j.sigalos23@gmail.com
Fax Number		E-Mail Address

Applicant's relationship to property: Project Manager

**III. Owner Consent for Authorized Representative**

It is required that the property owner or his designated representative be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. **If the owner cannot be present at the meeting, the following statement must be signed by the owner:**

I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize John Sigalos to act on my behalf and advise that he/she has full authority to act as my/our representative.



**Owner Signature**

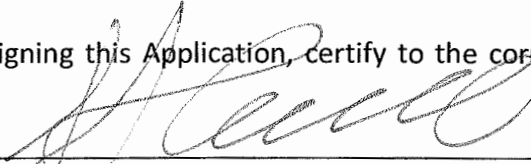
Joseph Caruso as Attorney in Fact for Owner

**Print Name**

**IV. Acknowledgement(s)**

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

The Owner and Applicant, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature: 

Owner's Name (Please Print): Joseph A Caruso as Attorney in Fact for Owner

Applicant's Signature: \_\_\_\_\_  
(If other than Owner)

Applicant's Name (Please Print): Joseph A Caruso

Date: November 5, 2018

**All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.**

Please contact the Planning Division (located in the Municipal Building) with any questions:

Email: [planning@hoffmanestates.org](mailto:planning@hoffmanestates.org)  
 Address: 1900 Hassell Road  
 Hoffman Estates, IL 60169  
 Phone: (847) 781-2660  
 Fax: (847) 781-2679

Addendums Attached:

- Special Use
- Rezoning
- Variation
- Plat
- Site Plan
- Master Sign Plan
- Other \_\_\_\_\_

NOV 07 2018

HOFFMAN ESTATES DIV.  
OF CODE ENFORCEMENT

## VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION SITE PLAN ADDENDUM – NON-RESIDENTIAL

Amendment    Concept    Preliminary    Final

### I. DESCRIPTION OF PROJECT:

#### A. ATTACH A NARRATIVE FOR THE PROPOSED PROJECT ON A SEPARATE SHEET

- ✓ Article 10-6 of the Subdivision Code details the application process and required submittal documents. For relevant items, provide detailed information as part of the project narrative.

B. Total Number of Buildings: 1

C. Total Gross Floor Area: 4,135 square feet

D. Height of tallest building (including antennas, hvac, etc.): 25 feet

E. With respect to this project's compatibility with adjacent land uses, address the following in the Project Narrative: Building Scale, architectural Materials, Coordinated Color Scheme, Existing and Planned Areas of Visual Interest, Design Concept and Relationship of Building Materials to one another.

F. Estimated start of construction: JANUARY 8, 2019

G. Estimated time to complete development: 140 days  
Attach a phasing schedule, if applicable.

H. Does the property contain flood plain lands or wetlands? Yes  No   
If yes, please address as part of the narrative.

I. Is there any historical or archeological significance to the existing structures or features of this site or the surrounding sites? Yes  No   
If yes, please address as part of the narrative.

J. Are there any endangered, threatened, or unique plants or animals located in or near the area? Yes  No   
If yes, please address as part of the narrative.

### II. OPERATIONAL CONSIDERATIONS

A. Anticipated hours of operation: 10:30 am/pm to 10 am/pm

- B. Anticipated number of employees: 45 total 12 per shift 2 number of shifts
- C. Estimated number of customers: 500 daily 110 peak hour
- D. If there is any additional information about the proposed development or its operation that may affect the site development, address as part of the narrative.

**III. FINANCIAL CONSIDERATIONS**

- A. Estimated annual gross sales of general merchandise subject to sales tax for this project (includes 1% local share of state tax and 1% home rule tax):

Gross Sales (General)		Tax Rate		General Sales Tax
0	X	2%	=	\$ 0

- B. Estimated annual gross sales subject to food and beverage (F & B) tax for this project (food prepared on premises and alcoholic beverages consumed on premises). See article 13-7 of the Hoffman Estates Municipal Code for detailed definition:

Gross Sales (F & B)		Tax Rate		F & B Tax
2,100,000	X	2%	=	\$ 42,000

- C. Estimated Annual Hotel Tax: 365 Days X

Estimated Average Room Rate		Number of rooms		Occupancy Percentage		365 Days		Tax Rate		Hotel Tax
0	X	0	X	0	X	0	X	6%	=	\$ 0

- D. Other tax/revenue:  
(Entertainment tax = 6%, etc.)

		Rate		Tax
0	X	0	=	\$ 0

- E. Estimated Annual Telecommunications (TC) Tax:

Estimated Yearly Phone Bill		Tax Rate		TC tax
0	X	6%	=	\$ 0

- F. Current assessment of the property: \_\_\_\_\_

- G. Estimated value of Construction: 1,300,000

- H. Will this project result in any unusual expenditure of public funds or requirements for public services in anyway?  Yes  No  
If yes, please address as part of the narrative.

#### IV. TRAFFIC CONSIDERATIONS

##### A. Parking

1. Total number of parking spaces to be provided:

Employees: offsite Customers/Visitors: 47 Handicapped: 2 Total: 49  
↳ North of site

2. When is the peak parking period for this project?

12 PM - 1 PM

3. Will this project share parking spaces with other businesses?  Yes  No

If yes, please address as part of the narrative.

##### B. Traffic

1. Estimated number of vehicles entering and exiting this site during the peak one hour period between 4:00 p.m. and 6:00 p.m. 50

2. Will there be any other peak traffic times for this project?  Yes  No

If yes, give the time(s) of day and traffic volume: 12 PM - 1 PM 60 vehicles

3. Will this project contain a drive through?  Yes  No

If yes, the project narrative should address order processing time, projected stacking demand, and other details to explain the operation.

##### C. Deliveries

1. The project plan submittal should include turning templates to show all routes to be used for making deliveries to and from site. Is this plan included?  Yes  No

2. How often will deliveries be made on site? 3 times Per week prior to open

2. What is the frequency and time period expected for deliveries? 8am - 10:30 AM  
3 times Per week

3. What is the largest delivery vehicle to be used and its size?

Vehicle Type	Size	check
Single Unit truck	30 ft.	<input type="checkbox"/>
Intermediate Semitrailer	50 ft.	<input checked="" type="checkbox"/>
Large Semitrailer	55 ft.	<input type="checkbox"/>
Other		<input type="checkbox"/>

If the delivery truck used fits into the "Other" category, please specify type, size and turning radius: \_\_\_\_\_  
 \_\_\_\_\_

- D. Any additional site related traffic information not covered above?  Yes  No  
 If yes, please address as part of the narrative.

**V. RECYCLING AND GREEN INITIATIVES**

- A. Article 9 of The Municipal Code of the Village of Hoffman Estates requires that businesses maintain an effective recycling program. Address any unique recycling plans as part of the project narrative.
- B. The Village supports and promotes sustainability. Please address any planned green or sustainability initiatives as part of the narrative.
- C. Do you anticipate submitting this project for LEED certification (or any other similar certifications)?  Yes  No  
 If yes, please address as part of the narrative.

**VI. GENERAL CONSIDERATIONS**

- A. Please list examples of similar uses (including name and location) in the area that can be used for comparison by the Village:

1. Buona Beef - 2352 W. Higgins Rd, Hoffman Estates
2. McDonalds - 2270 W Higgins Rd, Hoffman Estates
3. Steak 'n Shake - 1825 Barrington Rd, Hoffman Estates

- B. Will this project contain any noise generators that will adversely affect surrounding areas?  
 Yes  No   
 If yes, please address as part of the narrative.

C. Is there anything included in this project that may be sensitive to surrounding noise generators?

Yes  No

If yes, please address as part of the narrative.

D. Do you intend to apply for a liquor license?  Yes  No *Can we transfer existing?*

If yes, please contact the Village Clerk's Office at 847.781.2625

E. Will this project contain a cafeteria or food service area (in order to determine applicability of a sewer and water surcharge)? Yes  No

if yes, please address as part of the narrative.

F. In the project narrative, please list and explain anything involved in this project that is not covered in this application that should be brought to the Village's attention. Also address any rare or unusual circumstances or needs related to this project.

Please contact the Planning Division with any questions:

Email: [planning@hoffmanestates.org](mailto:planning@hoffmanestates.org)

Address: 1900 Hassell Road  
Hoffman Estates, IL 60169

Phone: 847.781.2660

Fax: 847.781.2679



# BUONA COMPANIES

To: Hoffman Estates Planning and Commission

The Buona Restaurant in Hoffman Estates has been in operation since 1999 until present. Throughout this timeframe the menu has changed and the speed of service has as well. Our drive thru became very popular to our customers which forced us to be as efficient as possible when getting the orders out. We knew that if a customer waited too long it would cause an unpleasant experience and they would not come back. Execution and Efficiency became our main focus in the drive thru. When the customer gets to the pickup window, they pick up their order, or if it isn't ready, we pull them up to one of our designated drive thru waiting spots. Once the order is ready someone from the restaurant will bring out their order and then the customer will be on their way. We do this specifically to keep cars moving so we can get as many orders complete in as little time as possible.

We plan to make the drive thru, along with our operations, more efficient with the new construction of our building. We have learned a lot about our operations in the past 18 years since opening up in Hoffman Estates and we believe the new store will make our operations that much better. As you can see in the site plan and drawings, we will be implementing a new Double Lane Drive Thru to help take orders more expeditiously and create a larger stacking pool. Currently at our Hoffman Estates Buona restaurant, we experience a maximum of 45 cars per hour, primarily for lunch in the summer months. You can find our average cars per meal time below for our current, proposed and recently opened restaurant (Algonquin – No Double D.T.):

	Current Hoffman Estates	Proposed Hoffman Estates	Algonquin
Open to 12PM	25 Cars	27 Cars	27 Cars
12PM- 1PM	45 Cars	50 Cars	50 Cars
1PM – 2PM	35 Cars	38 Cars	38 Cars
2PM – 5PM	30 Cars	33 Cars	33 Cars
5PM – 6PM	27 Cars	30 Cars	30 Cars
6PM – 7PM	25 Cars	28 Cars	28 Cars
7PM – 8PM	17 Cars	20 Cars	20 Cars
8PM – Close	23 Cars	25 Cars	25 Cars

All of our newer stores will be implementing the double lane drive thru. We currently have 4 stores with the double lane drive thru and it is working great for us and keeps the cars moving. We look forward to our approval and showing Hoffman Estates our updated look!

 Sincerely  
Carlo Buonavolanto, Manager Buona Beef

# BARRINGTON SQUARE TOWN CENTER MASTER SIGN PLAN

Amended 2/6/19

## ***Introduction***

The Master Sign Plan requirements have been developed based on the signage that is unique to Barrington Square Town Center. The mall contains approximately 23.4 acres and a total building(s) square footage of 108,500 plus vacant areas available for development. This plan has been designed with signage for this development that maintains consistency with other similar developments, yet takes into account certain unique characteristics of this development. Sign requirements for all buildings and parcels are included in this Plan to promote cohesion among all signs.

## ***A. Area Included in Master Sign Plan***

This Master Sign Plan applies to the existing Barrington Square Town Center (including the vacant lot north of the bowling alley and the former Menard's space), freestanding restaurant buildings, any additions to the existing buildings, or any new buildings constructed on the Barrington Square Town Center property.

## ***B. General Provisions (applicable to all property governed by this plan)***

1. Setbacks. The Higgins Road monument sign and the Hassell Road monument sign shall be setback from the property lines as indicated on exhibits O and P. There shall be no setback required for any monument signs adjacent to Higgins Road and there shall also be no pavement setback required for signs adjacent to Higgins Road.
2. Driver Sight Visibility. No sign shall be placed in a manner that will obstruct driver or pedestrian sight lines and create an unsafe condition based on analysis by the Village Transportation Division.
3. Landscaping. Landscaping shall be provided at the base of all signs, unless determined to be unsafe or not feasible by the Village Department of Development Services.
4. Illumination. All signs permitted by this Master Sign Plan may be illuminated in accordance with Section 9-3-8-F of the Zoning Code unless otherwise indicated in the approved Master Sign Plan documents.
5. Sign Design. Colors and letter graphic styles on the signs shall be determined by the owners of the property, however, the two primary monument signs for the site shall be of a consistent color and graphic style.
6. Calculation of Sign Area. All signs shall meet the requirements of Section 9-3-8-D, except that the architectural base and support structure of a monument sign

# BARRINGTON SQUARE TOWN CENTER MASTER SIGN PLAN

Amended 2/6/19

shall not be included in the total sign area if these areas do not contain text, logos or any other graphics.

7. Permits. Sign permits shall be required in accordance with Section 9-3-8-A of the Zoning Code.
8. Coordination with Village Sign Code. All regulations of the Zoning Code shall apply unless specifically stated otherwise in this master sign plan. In the event of a conflict between this Master Sign Plan and the Zoning Code, the Master Sign Plan regulations shall apply.
9. Wall Signs on Rear of Building. Tenants with storefronts that face the north are allowed primary wall signs on the "rear" elevation of the building, provided that the elevation has an architectural design consistent with the building front. Tenants with leased space that have rear elevations are allowed a rear wall sign in addition to their front/primary display. Tenants that are corner units will be allowed side wall signage in addition to their front/primary wall sign.
10. Prior Variations. All pre-existing sign variations on the Barrington Square Town Center property are hereby incorporated as part of this Master Sign Plan. Any new signage on the property shall conform to this Master Sign Plan.
11. Master Sign Plan. This document, along with Exhibits A through U, represents the entire Master Sign Plan.

## ***C. Primary Monument Signs***

The locations of primary monument ground signs for Barrington Square Town Center are depicted on the Master Sign Site Plans attached hereto as Exhibits O and P and made part hereof.

1. Higgins Road Monument Sign. Primary monument sign located on south property line along Higgins Road. This sign shall be permitted for Barrington Square Town Center in accordance with the specific design and size as shown on Exhibit L. In addition to the primary Higgins Road Monument Sign, two additional monument style masonry signs are permitted along Higgins Road with the specific design and size as shown on Exhibit L2 in the locations shown on the exhibit.
2. Hassell Road Monument Sign. Primary monument sign located at north entrance along Hassell Road. This sign shall be permitted for Barrington Square Town Center in accordance with the specific design and size as shown on Exhibit M.

# BARRINGTON SQUARE TOWN CENTER MASTER SIGN PLAN

Amended 2/6/19

## **D. Wall Signs**

For Retail, Service, or, Restaurant uses:

1. Primary Anchor(s) – For anchor tenant spaces equal to or larger than 15,000 square feet, the following shall apply:
  - a) Type. Wall signs for anchor stores shall be individually mounted, internally lighted channel letters or logos mounted directly to the building wall surface.
  - b) Number and Size. One primary wall sign shall be permitted per wall. Each primary wall sign shall not exceed 300 square feet in area. In addition, anchor tenants shall be permitted a secondary wall sign per wall not to exceed 100 square feet per sign per separate and distinct section of the façade designated as an acceptable sign location, or sign-able area, corresponding with the façade design of the Site Plan for Barrington Square Town Center, or as said Site Plan is modified with Village approval.
  - c) Third Sign Option. Primary Anchor tenants as defined above shall have the opportunity for a third sign not to exceed 100 square feet per sign per separate and distinct sections of the façade designated as an acceptable sign location, or sign-able area, corresponding with the façade design of the Site Plan for Barrington Square Town Center, or as said Site Plan is modified with Village approval.
  - d) Location. Anchor wall signs shall be located as depicted in the façade plans approved through the Site Plan process. Each primary wall sign shall be centered horizontally within the front façade of the portion of the building leased by the tenant; or over an architectural entry feature of such front façade.
2. Individual Tenant Spaces. For individual tenant spaces less than 15,000 square feet, the following shall apply:
  - a) Type. Tenant wall signs shall be individually mounted, internally lighted channel letters or logos mounted directly to the building wall surface.
  - b) Number and Size. One wall sign shall be permitted for each exterior wall per tenant per separate and distinct section of the façade designated as an acceptable sign location, or sign-able area, corresponding with the façade design of the Site Plan for Barrington Square Town Center, or as said Site Plan is modified with Village approval. Each wall sign shall not exceed 3 square feet per 1 foot of lineal tenant storefront, or a maximum of 200 square feet per sign.

# BARRINGTON SQUARE TOWN CENTER MASTER SIGN PLAN

Amended 2/6/19

- c) Location. Individual tenant wall signs shall be located as depicted in the façade plans approved through the Site Plan process. Each wall sign shall be centered horizontally within the front façade of the portion of the building leased by the tenant; or over an architectural entry feature of such front façade; provided, however, that if there are multiple tenant wall signs on the same façade, then they shall be located on the façade so that they are visually proportional in relation to each other and in relation to the architectural features of the building.
- d) For the two corner tenant spaces at the south entrance to the main courtyard, two wall signs shall be permitted per exterior elevation. One wall sign shall be centered horizontally on the tower structure. The primary wall sign shall identify the name of the business, while the secondary wall sign may display the tenant's logo, menu items, services offered, tag lines, etc. The secondary sign must contain different text from the Primary Sign.

## E. Freestanding Office, Retail or Restaurant Buildings

1. Freestanding signs. Any freestanding building shall be permitted one monument style ground sign. The sign shall be no larger than 100 square feet per side and no taller than 10 feet in height. For freestanding buildings along Higgins Road, the maximum height shall be measured from the Higgins Road street elevation. The base of the monument sign shall be designed to match the base of the primary monument signs on the property for a cohesive look throughout the development.
2. Wall Signs. Buildings occupied by a single tenant shall be permitted a total of 200 square feet of wall sign(s) on each building elevation. Signs shall be placed in a cohesive manner so as to integrate into the building architecture. ~~one wall sign on each building elevation. Four wall signs shall be permitted per building. Awning signs shall be permitted as a wall sign. The size shall be limited to a maximum of 200 square feet per sign.~~ Any changes to the existing wall signs shall conform to this Master Sign Plan. Buildings occupied by multiple tenants shall be permitted one wall sign per tenant, per elevation in accordance with the standards set forth in Section D of this Master Sign Plan.
3. Existing Signs. The existing freestanding restaurants have existing wall and freestanding signs that were previously approved by sign permit or variation. These signs are depicted on exhibits R and S and are hereby incorporated into this Master Sign Plan; however, changes to those signs shall be according to this Master Sign Plan, except that face changes to existing signs shall be permitted without conforming to this Master Sign Plan.



# BARRINGTON SQUARE TOWN CENTER MASTER SIGN PLAN

Amended 2/6/19

4. In addition to the foregoing signage for Freestanding Office, Retail, or Restaurant Buildings; the proposed Lot 2 (as shown on Barrington Square Resubdivision No. 2 Final Plat) is being improved with a McDonald's Restaurant. As such, signage specific to the site operations is proposed. The following signage allowances shall be specific to Lot 2 (as shown on Barrington Square Resubdivision No. 2 Final Plat). One monument style sign not exceeding 15.5' in height and 117 square feet in area including an electronic message board and the base shall be permitted. Additionally, two menu boards, two drive-thru clearance signs, and two drive-thru pole canopy signs, and three directional signs will be allowed with the specific design and size as shown on Exhibit U. Wall signage will be allowed as shown on Exhibit U1 with the combined wall signage per elevation being less than the aforementioned 200 square feet.

## **F. Vacant Lot North of Bowling Alley**

Identification signs for the vacant lot north of the bowling alley shall be incorporated into the primary monument signs. A separate freestanding sign may be permitted on the lot itself according to the requirements of section E above. Any leasing signs for this lot shall also be incorporated into the primary monument signs along Hassell Road and/or Higgins Road. Wall signs for any building constructed on this lot shall meet the requirements of this master sign plan for freestanding office, retail or restaurant buildings. Any deviation from those requirements shall require an amendment to this Master Sign Plan.

## **G. Courtyard Signs**

1. Trellis Sign – the tenant space that utilizes the trellis area for outdoor seating shall be permitted a sign on top of the trellis that faces south. The sign shall be constructed of individual illuminated letters on a raceway and shall be 2.5' x 18' maximum size See exhibit D.
2. South Elevation Signs – Each tenant space in the main courtyard with an exterior south facing wall may install a secondary wall sign on such wall. This sign shall be permitted in addition to the primary wall sign that faces toward the courtyard area. An example of the location of such a sign is shown on exhibit K.
3. Directional Display Signs – Two Courtyard tenant directional display signs are permitted at the south and north ends of the courtyard as detailed in Exhibit Q. These signs shall be 12' tall, non-illuminated aluminum panel display on twin decorative stanchions.

# BARRINGTON SQUARE TOWN CENTER MASTER SIGN PLAN

Amended 2/6/19

## H. Miscellaneous Signs

1. Directional or Instructional Signs. Such signs shall meet the requirements of Section 9-3-8-B-8. All signs shall be of a consistent design throughout the entire property and shall be separate from traffic control signs.
2. Menu Board Signs. Menu Board Signs. Menu order board signs shall be allowed. The number, size and location of all menu board signs shall be approved through the site plan process.
3. Drive thru Clearance Signs. Drive thru clearance signs shall be permitted at the entrance to drive thru lanes. Such signs shall not exceed 10 square feet in size; except as noted in E.4 above

## I. Temporary Signs

1. Future Development Signs. Three future development signs shall be permitted on the property to promote the vision for the future of the Barrington Square Town Center property. Such signs shall not be considered leasing signs and are permitted in addition to leasing signs, as permitted by this master sign plan. Future development signs shall not exceed 150 square feet in size and 16 feet in height.
2. Construction Signs. During construction of any portion of this development, temporary signs may be permitted as determined necessary by the Village Department of Development Services. These signs shall be used to identify altered traffic routes, closed drives or parking lots, relocated building entrances, etc. Such signs shall not be subject to the requirements of the Directional Signage Section of this plan.
3. Blackberry Falls Leasing Sign. A Blackberry Falls leasing sign shall be permitted along Hassell Road and shall identify leasing space available in the Blackberry Falls office building. By March 15, 2011, the design of this leasing sign shall be improved with a border around the edges and a skirt added to the bottom of the sign, concealing the support posts. The redesign of all leasing signs shall be of an identical design and shall be approved by the Village Department of Development Services.
4. Future Leasing Signs. Any future leasing signs planned for any portion of the property governed by this master sign plan shall be incorporated into the permanent monument signs on the property, except that for the outlots along Higgins Road, a freestanding marketing/leasing sign shall be permitted, not to exceed 32 square feet in size per sign face and 10 feet in height if there is no building located on that specific outlot. Marketing/leasing signs shall include a border around the edges and skirting to conceal the support posts matching the

# BARRINGTON SQUARE TOWN CENTER MASTER SIGN PLAN

Amended 2/6/19

design of the upgrade to the Blackberry Falls II sign. The design of such signs shall be as depicted on the attached drawing. No additional freestanding leasing signs shall be permitted on the site. This section shall not apply to existing leasing signs on the site, which are specifically addressed in Section I-3.

Special Event Signs. Such signs shall meet the requirements of Section 9-3-8-K of the Zoning Code, except that one freestanding temporary sign advertising a permitted special event on the Barrington Square Town Center property may be erected on the property. Such sign shall not exceed 50 square feet in size and 10 feet in height and may be installed no earlier than one week before the event and removed one day after the conclusion of the event. This allowance for a freestanding special event sign is intended for property-wide events that receive a special use or special event license and shall not be permitted for individual businesses to advertise specials or sales.

## ***K. Amendments***

1. Changes. Changes to the text, colors, or graphic style of the signs shall not require a formal amendment to this plan, provided the size and all other requirements of this plan are met.
2. Interpretations. Signs that are not explicitly addressed in the provisions of this plan, but that meet the intent of the plan may be permitted through administrative approval.
3. New Signs. The addition of new signs or relocation of existing signs shall not require a formal amendment to this plan, provided the signs meet all requirements of this plan. Any amendment to add additional signs or make substantial changes to the approved signs in this plan shall be subject to review by the Planning and Zoning Commission and approval by the Village Board through the process outlined in the Zoning Code for variations.



CUSTOMER  
Buona Beef

LOCATION  
Hoffman Estates, IL

SITE NUMBER  
N/A

ACCOUNT REP  
Mike Shelly

DRAWN BY  
MH

DATE  
8/9/17

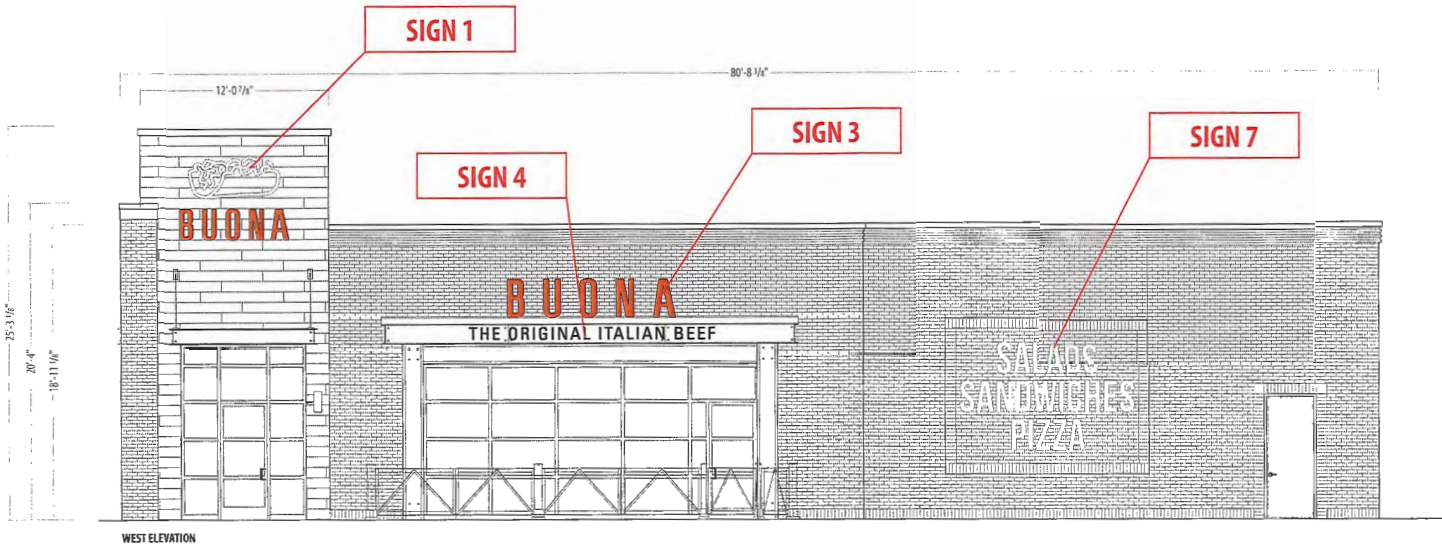
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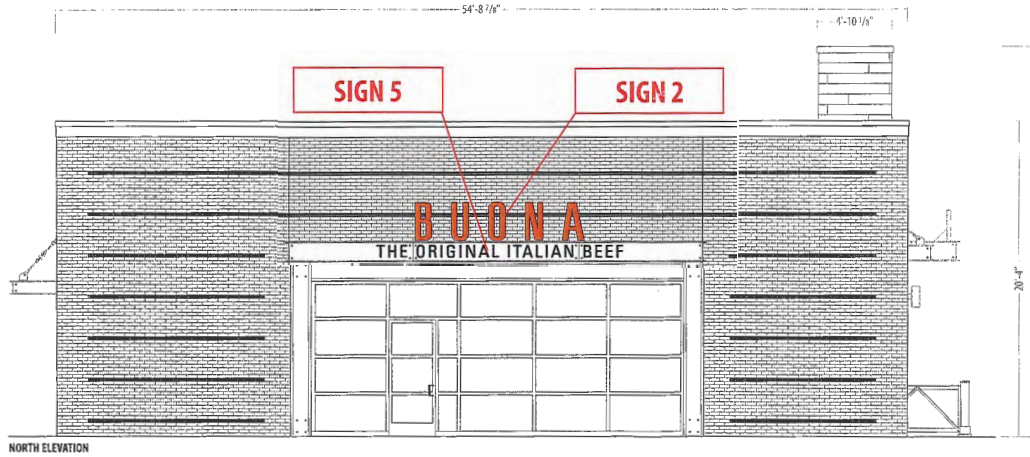
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SCALE  
NTS

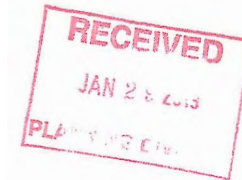
**CORPORATE ID SOLUTIONS**  
5563 N Elston Ave.  
Chicago, IL 60630  
P: 773-763-9600  
F: 773-763-9606  
CorporateIDSolutions.com



WEST ELEVATION



NORTH ELEVATION



CUSTOMER  
Buona Beef

LOCATION  
Hoffman Estates, IL

SITE NUMBER  
N/A

ACCOUNT REP  
Mike Shelly

DRAWN BY  
MH

DATE  
8/9/17

REVISED

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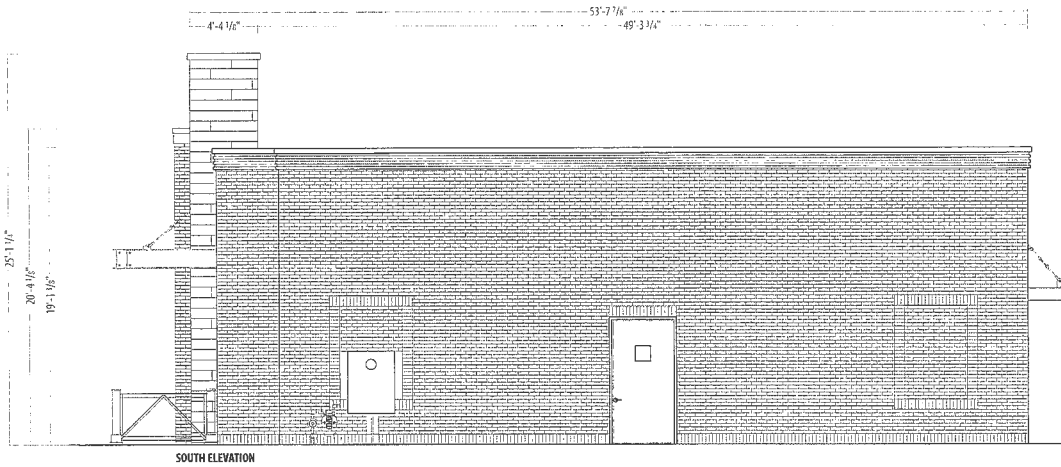
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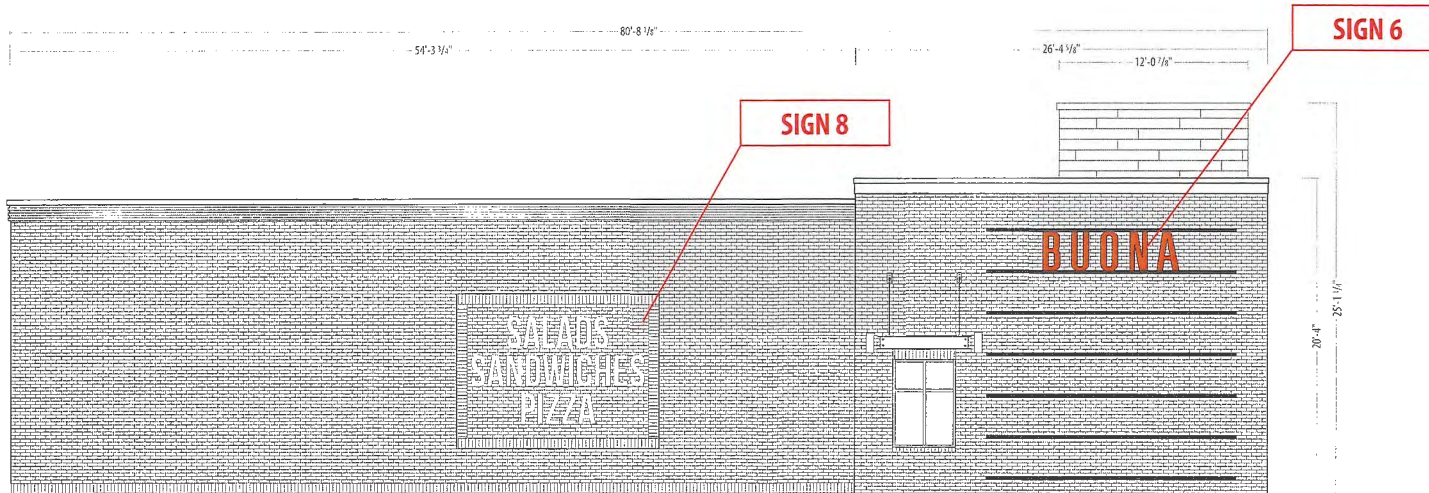
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CORPORATE IDENTIFICATION SOLUTIONS



SOUTH ELEVATION



EAST ELEVATION



**SIGN 1**

- FABRICATED ALUMINUM CHANNEL LETTERS & LOGO
- REVERSE (HALO) ILLUMINATION
- STANDOFF MOUNTED
- BEEF - WHITE FACES
- LETTERS - WHITE ACRYLIC FACES WITH 3630-44 ORANGE VINYL DECORATION
- PMS 425 C RETURNS & TRIM CAPS
- QTY (2) SETS

CUSTOMER  
Buona Beef

LOCATION  
Hoffman Estates, IL

SITE NUMBER  
N/A

ACCOUNT REP  
Mike Shelly

DRAWN BY  
MH

DATE  
8/9/17

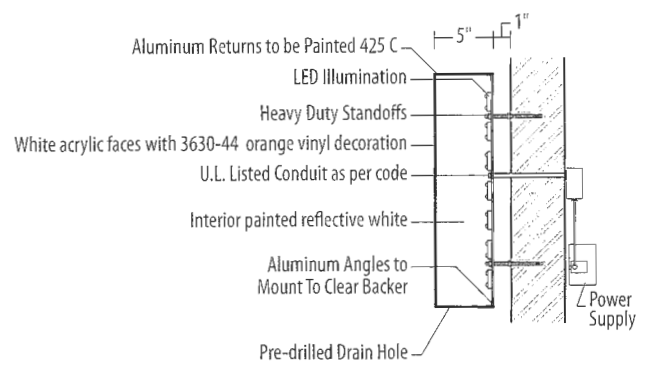
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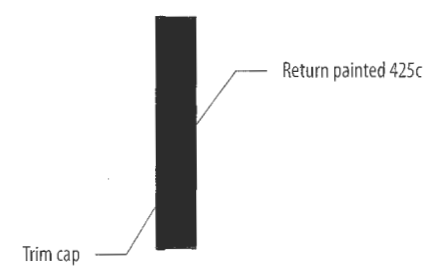
NOTES

SCALE  
NTS

**CORPORATE ID SOLUTIONS**  
5563 N Elston Ave.  
Chicago, IL 60630  
P: 773-763-9600  
F: 773-763-9606  
CorporateIDSolutions.com



**BUONA LETTERS SIDE VIEW**



**BUONA LETTERS SIDE VIEW**

**SIGN 2**

- ILLUMINATED CHANNEL LETTERS
- STUD MOUNTED
- WHITE ACRYLIC FACES WITH 3630-44 ORANGE VINYL DECORATION
- PMS 425 C RETURNS & TRIM CAPS
- QTY (1) SET

CUSTOMER  
Buona Beef

LOCATION  
Hoffman Estates, IL

SITE NUMBER  
N/A

ACCOUNT REP  
Mike Shelly

DRAWN BY  
MH

DATE  
8/9/17

REVISED

X	_____
X	_____
X	_____
X	_____
X	_____
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X	_____
X	_____
X	_____

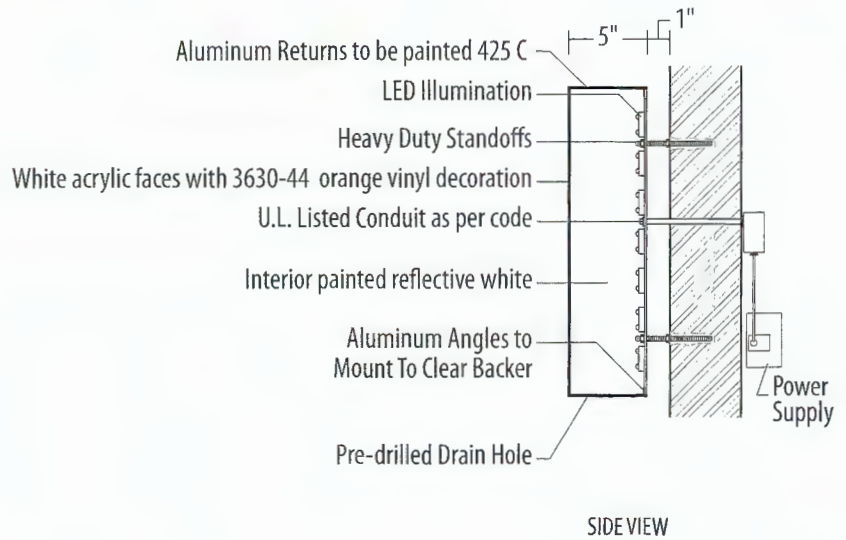
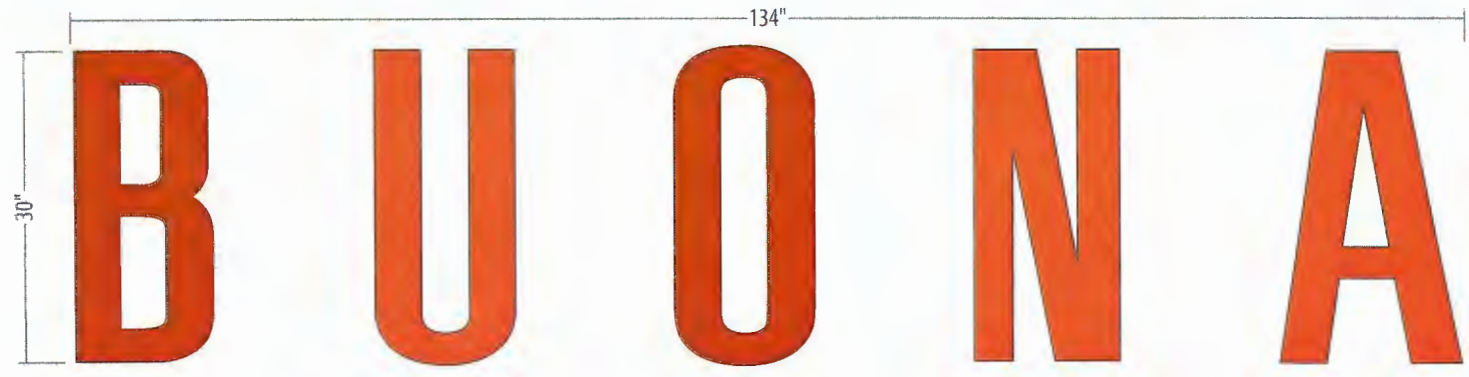
NOTES

SCALE  
NTS

**CORPORATE ID SOLUTIONS**  
5563 N Elston Ave.  
Chicago, IL 60630  
P: 773-763-9600  
F: 773-763-9606  
CorporateIDSolutions.com



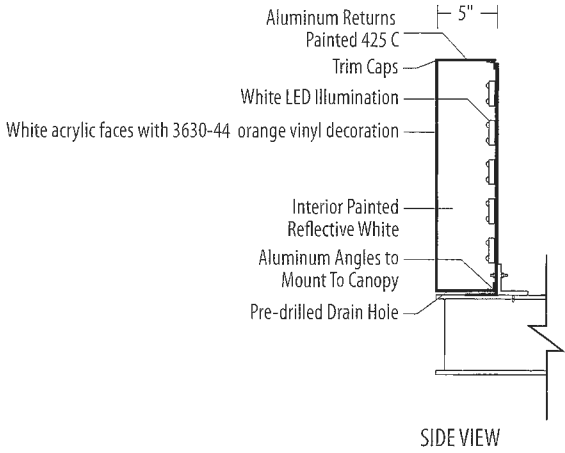
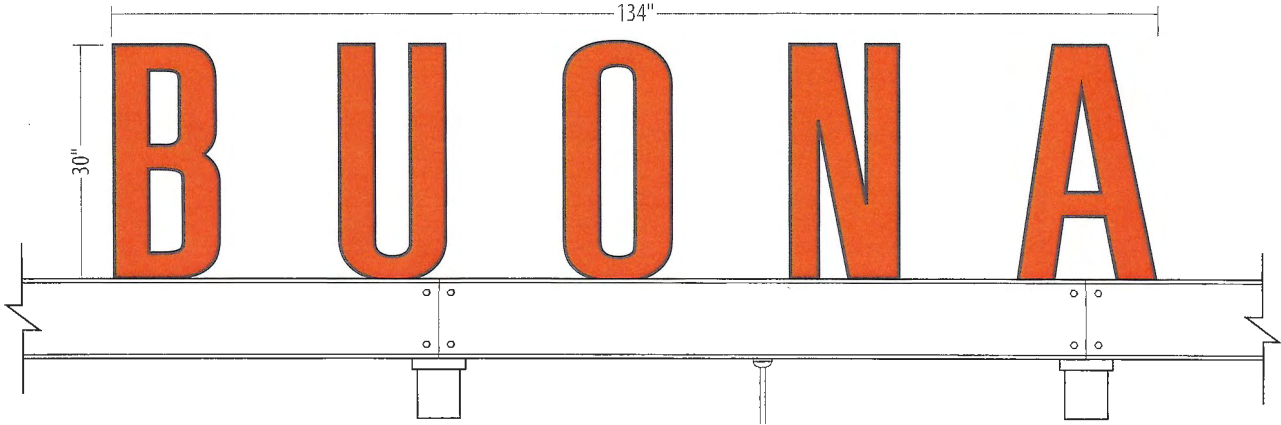
CORPORATE IDENTIFICATION SOLUTIONS





**SIGN 3**

- ILLUMINATED CHANNEL LETTERS
- WHITE ACRYLIC FACES WITH 3630-44 ORANGE VINYL DECORATION
- PMS 425 C RETURNS & TRIM CAPS



CUSTOMER  
Buona Beef

LOCATION  
Hoffman Estates, IL

SITE NUMBER  
N/A

ACCOUNT REP  
Mike Shelly

DRAWN BY  
MH

DATE  
8/9/17

REVISED

X
X
X
X
X
X
X
X
X
X

NOTES

SCALE  
NTS

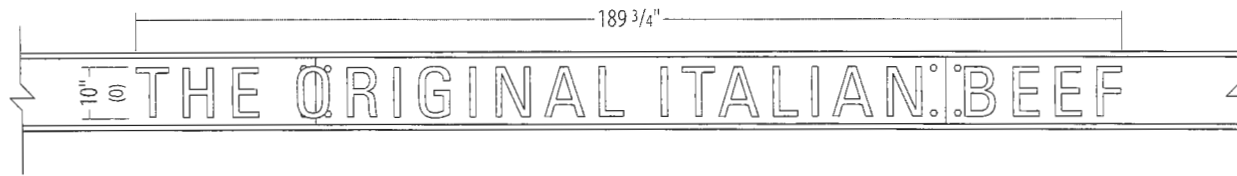
**CORPORATE ID SOLUTIONS**  
5563 N Elston Ave.  
Chicago, IL 60630  
P: 773-763-9600  
F: 773-763-9606  
CorporateIDSolutions.com



CORPORATE IDENTIFICATION SOLUTIONS

**SIGN 4 & 5**

- 1/2" THICK FLAT CUT OUT ALUMINUM LETTERS
- STUD MOUNTED
- PAINTED TO MATCH PMS 425 C
- QTY (2) SETS



FRONT VIEW



SIDE VIEW

CUSTOMER  
Buona Beef

LOCATION  
Hoffman Estates, IL

SITE NUMBER  
N/A

ACCOUNT REP  
Mike Shelly

DRAWN BY  
MH

DATE  
8/9/17

REVISED

X	_____
X	_____
X	_____
X	_____
X	_____
X	_____
X	_____
X	_____
X	_____
X	_____

NOTES

SCALE  
NTS

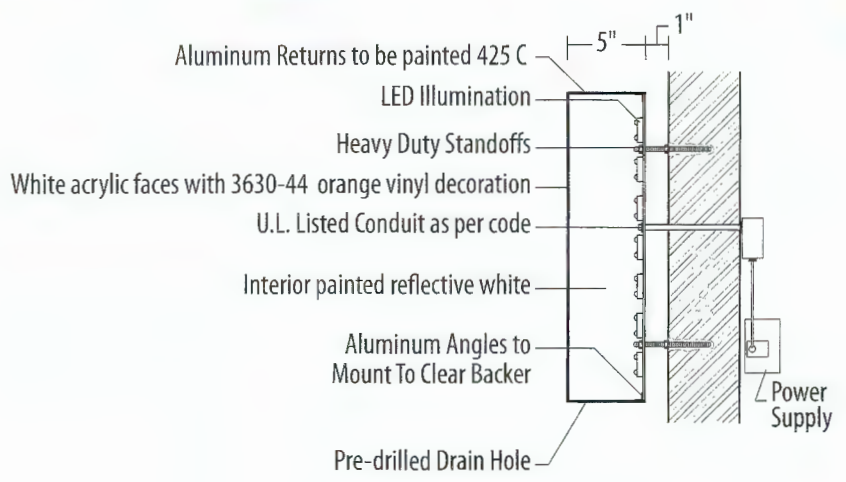
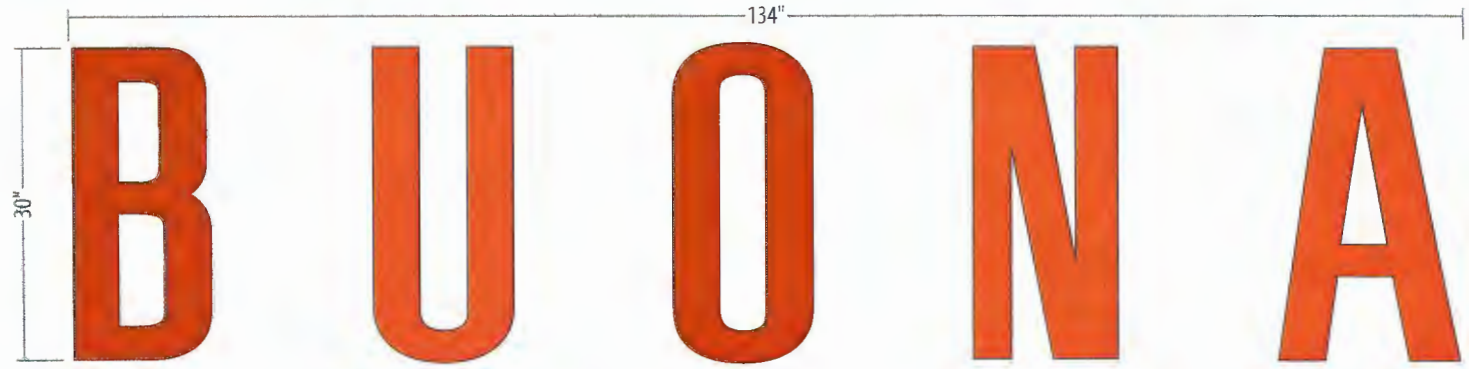
**CORPORATE ID SOLUTIONS**  
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Chicago, IL 60630  
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F: 773-763-9606  
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INTEGRATE IDENTIFICATION SOLUTIONS

**SIGN 6**

- ILLUMINATED CHANNEL LETTERS
- STUD MOUNTED
- WHITE ACRYLIC FACES WITH 3630-44 ORANGE VINYL DECORATION
- PAINTED TO MATCH PMS 425 C
- QTY (1) SET



PG 7 / 8

CUSTOMER  
Buona Beef

LOCATION  
Hoffman Estates, IL

SITE NUMBER  
N/A

ACCOUNT REP  
Mike Shelly

DRAWN BY  
MH

DATE  
8/9/17

REVISED

x	_____
x	_____
x	_____
x	_____
x	_____
x	_____
x	_____
x	_____
x	_____

NOTES

SCALE  
NTS

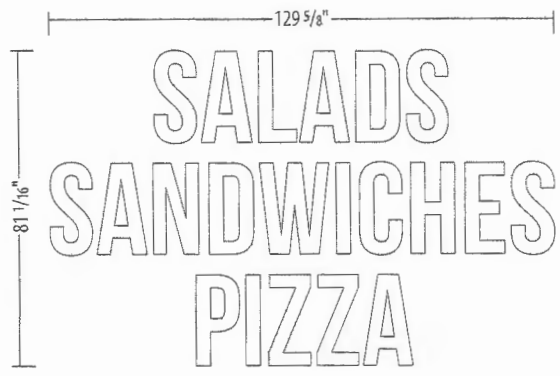
**CORPORATE ID SOLUTIONS**  
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Chicago, IL 60630  
P: 773-763-9600  
F: 773-763-9606  
CorporateIDSolutions.com



CORPORATE IDENTIFICATION SOLUTIONS

**SIGN 7 & 8**

- DISTRESSED PAINTED WALL SIGNS
- WHITE PAINTED LETTERS
- QTY (1)



PG 8 / 8

CUSTOMER  
Buona Beef

LOCATION  
Hoffman Estates, IL

SITE NUMBER  
N/A

ACCOUNT REP  
Mike Shelly

DRAWN BY  
MH

DATE  
8/9/17

REVISED

X	_____
X	_____
X	_____
X	_____
X	_____
X	_____
X	_____
X	_____
X	_____
X	_____
X	_____

NOTES

SCALE  
NTS

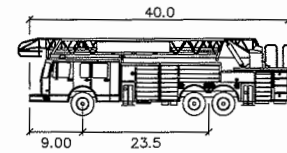
**CORPORATE ID SOLUTIONS**  
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Chicago, IL 60630  
P: 773-763-9600  
F: 773-763-9606  
CorporateIDSolutions.com





**GENERAL NOTES:**

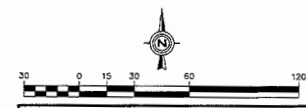
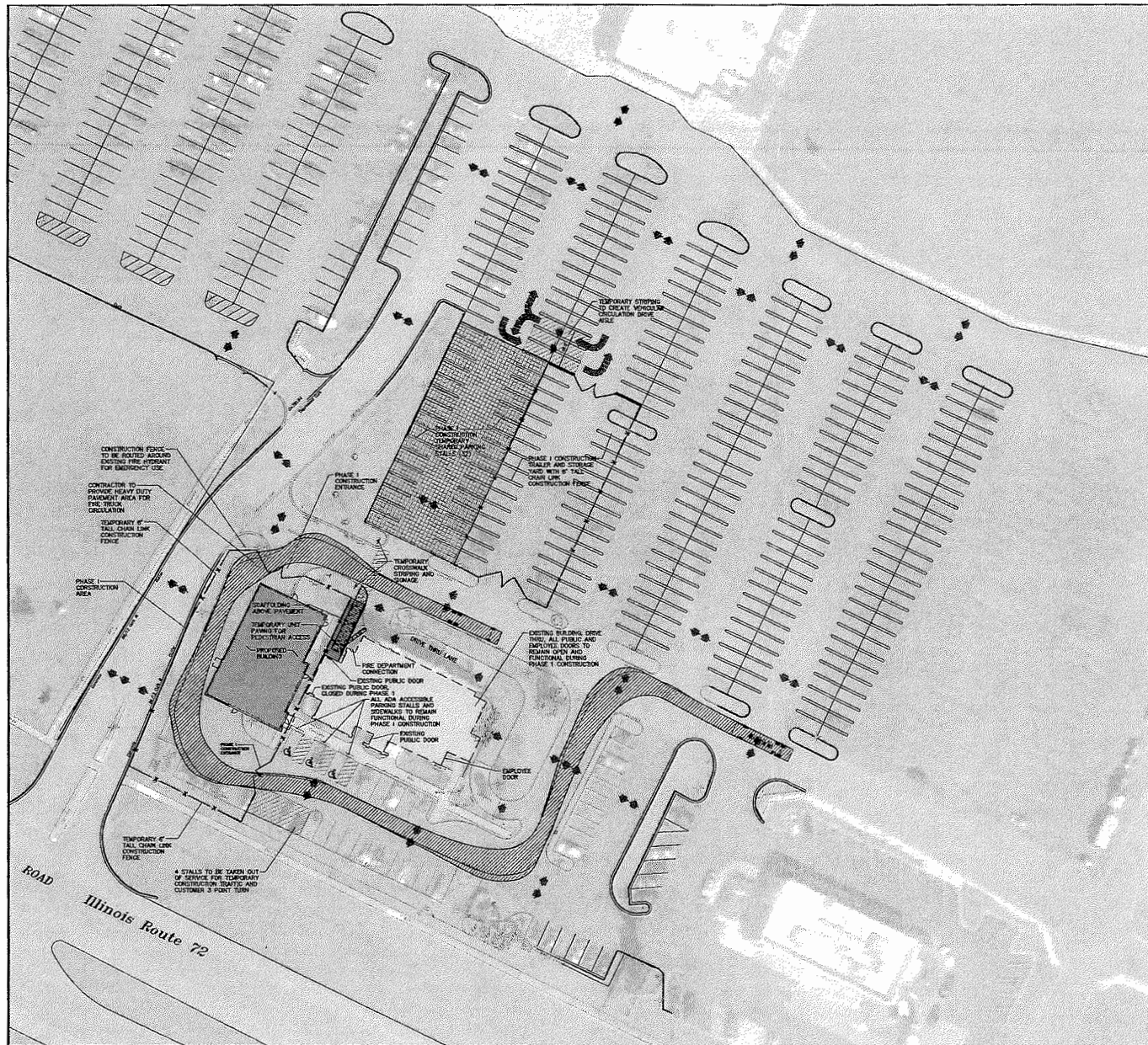
1. THESE PLANS ARE BASED ON THE TOPOGRAPHIC SURVEY (SURVEY PROJECT #183-2349.3 DATED 07/30/16) PREPARED BY: SURVEY SYSTEMS OF AMERICA P.O. BOX 8174, GLEN, IL 60121-6174 (647) 428-5775
2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.



B-40 FIRE TRUCK feet

Width	: 8.00
Track	: 7.00
Lock to Lock Time	: 6.0
Steering Angle	: 32.0

**RECEIVED**  
 JAN 11 2018  
 PLANNING DIVISION



**CIRCULATION EXHIBIT**  
**PHASE I**

DATE 12/27/18 01/20/18
REVISION PER CLIENT REVIEW PER CLIENT REVIEW
NO. 1 2
Prepared For:  J. & P. Properties, LLC 6801 West Roosevelt Road Barrington, IL 60015 <b>BUONA BEEF RESTAURANT</b> 2352 West Higgins Road Hoffman Estates, Illinois
Prepared By:  <b>Worm Engineering Resources, Ltd.</b> 3911 Clear Lake Way, Suite 838-212-003 phone: 815-315-0800 fax: 815-315-0030 www.wormeng.com
CHECKED BY: AMELIE DESIGN BY: JHANSEN DRAWN BY: D.JOLSON DATE: DECEMBER 18, 2018 SCALE: 1" = 30' PROJECT NO.: 18-008
<b>1 of 1</b>

# AIRO LED SERIES AREA/SITE/ROAD LIGHTER

Cat.#	
Job	Type



Approvals

## SPECIFICATIONS

### Construction:

- Stylish vertically finned die-cast and extruded aluminum for maximum heat dissipation
- Separate optical and electrical compartment for improved thermal management and optimum component operation
- EPA: 8L - .50ft<sup>2</sup>  
16L - .62ft<sup>2</sup>  
24L - .74ft<sup>2</sup>

### Optics:

- Premium engineered individual acrylic lenses deliver IES Type II, III, IV and V distributions
- Lens distributions are field rotatable (in 90° increments) or exchangeable for job site fine-tuning
- 3000K, 4000K, or 5000K (70 CRI) CCT
- Zero uplight

### Electrical:

- Configured with 8, 16, or 24 high current and high output LEDs to replace 150, 250 and 400wHID respectively
- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature -40° C to 40° C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 10KA and 10KV protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is consumed

### Controls:

- Photo control, occupancy sensor and wireless available for complete on/off and dimming control

- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- 0-10V dimming leads available for use with control devices (provided by others)
- In addition, AIRO can be specified with SiteSync™ wireless control system for reduction in energy and maintenance cost while optimizing light quality 24/7. See ordering information or visit [www.hubbellighting.com/sitesync](http://www.hubbellighting.com/sitesync) for more details.

### Installation:

- Tool-less entry to wiring/driver compartment
- Universal mounting block works with #2 drill pattern (See page 4 illustration)
- Fixture ships with slotted mounting block to accommodate wide range of drill patterns for easy retrofit opportunities (See page 4 illustration for dimensions)
- Mast arm fitter accessory or option available for 2-3/8" OD brackets

### Finish:

- TGIC thermoset polyester powder paint finish applied at nominal 2.5 mil thickness

### Warranty:

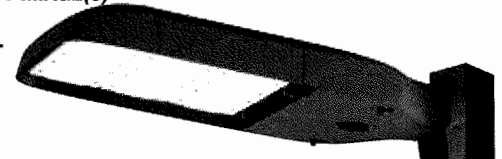
Five year limited warranty (for more information visit: <http://www.hubbelloutdoor.com/resources/warranty/>)

### Listings:

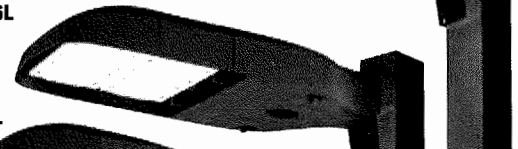
- DesignLights Consortium (DLC) qualified, consult DLC website for more details: <http://www.designlights.org/QPL>
- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- 3G rated for ANSI C136.31 high vibration applications
- IP65 optical assembly
- IDA approved

## PRODUCT IMAGE(S)

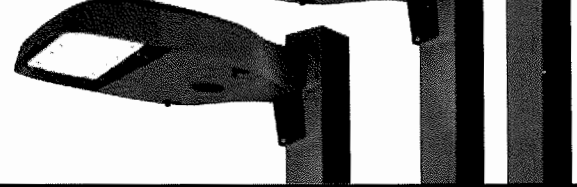
ASL-24L



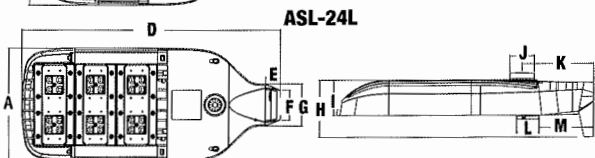
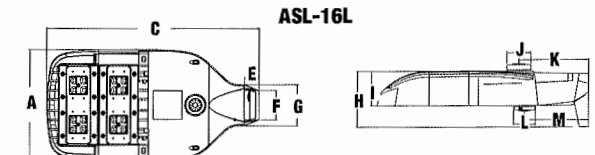
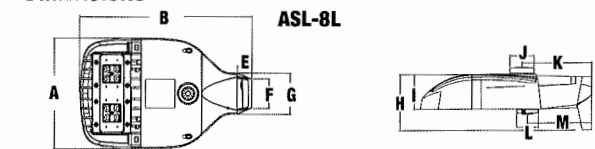
ASL-16L



ASL-8L



## DIMENSIONS



A	B	C	D	E	F	G
11.7"	17.25"	22.4"	26.6"	1.5"	3.1"	4.3"
297 mm	438 mm	569 mm	675 mm	38 mm	78 mm	109 mm
H	I	J	K	L	M	
5.9"	3.6"	2.5"	7.4"	2.3"	6.7"	
150 mm	91 mm	63 mm	188 mm	58 mm	170 mm	

## SHIPPING INFORMATION

Catalog Number	G.W(kg)/CTN	Carton Dimensions		
		Length Inch (cm)	Width Inch (cm)	Height Inch (cm)
ASL-8L	15 (6.8)	20.75 (52.7)	15.125 (38.4)	6.9375 (17.6)
ASL-16L	19 (8.6)	25 (63.5)	15.125 (38.4)	6.9375 (17.6)
ASL-24L	24 (10.8)	25 (63.5)	15.125 (38.4)	6.9375 (17.6)

## CERTIFICATIONS/LISTINGS



## ORDERING INFORMATION - STOCK CONFIGURATIONS

Catalog Number	Description	Mtg.	Distribution	Wattage	# Drivers	Drive Current	Voltage	CCT	Lumens	LPW	Weight lbs. (kg)
ASL-16L-3	Medium size 16 LED configuration, Dark Bronze	Arm	Type III	123	1@2100mA		120V-277V	4000K	11,153	91	18 (8.16)
ASL-16L-4	Medium size 16 LED configuration, Dark Bronze	Arm	Type IV	123	1@2100mA		120V-277V	4000K	11,417	93	18 (8.16)
ASL-24L-3	Large size 24 LED configuration, Dark Bronze	Arm	Type III	181	1@2100mA		120V-277V	4000K	16,364	91	20 (9.07)
ASL-24L-4	Large size 24 LED configuration, Dark Bronze	Arm	Type IV	181	1@2100mA		120V-277V	4000K	16,752	93	20 (9.07)
ASL-24L-3-HO	Large size 24 LED configuration, Dark Bronze	Arm	Type III	225	1@700mA		120V-277V	4000K	20,927	93	20 (9.07)
ASL-24L-4-HO	Large size 24 LED configuration, Dark Bronze	Arm	Type IV	225	1@700mA		120V-277V	4000K	21,073	93	20 (9.07)

## CONFIGURABLE ORDERING INFORMATION NEXT PAGE



Hubbell Outdoor Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000

Due to our continued efforts to improve our products, product specifications are subject to change without notice.

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ASLED-SPEC 3/17



# ORDERING INFORMATION

ORDERING EXAMPLE: ASL-A-24L4K-210-4-U-DB

ASL		-	-	-	-	-	-	-	-	-	
FAMILY	MOUNTING	CCT	DISTRIBUTION	COLOR	OPTIONS						
ASL <sup>1</sup> ASL Series	A Arm MAF Mast Arm Fitter	3K 3000K, 70 CRI 4K 4000K, 70 CRI 5K 5000K, 70 CRI	2 IES TYPE II 3 IES TYPE III 4 IES TYPE IV 5 IES TYPE V	BL Black DB Dark Bronze GR Gray PS Platinum Silver WH White CC <sup>5</sup> Custom Color	F Fusing (voltage specified and determined by voltage field) 7PR <sup>2</sup> 7-pin ANSI twist-lock photocell receptacle RPA(X) Round pole adapter (Replace X with 3, 4, 5 or 6 indicating pole diameter) SWP <sup>7,8</sup> SiteSync pre-commissioned	SCPW <sup>6</sup> Programmable motion sensor with dimming control (line voltage device not for use with 7PR receptacle option and external wireless control devices); A minimum of one SCP-REMOTE accessory remote control required for configuration; Wide lens with motion detection radius equal to 1.3 X luminaire mounting height (approx. distance) TB Terminal block					
# LEADS	DRIVE CURRENT	VOLTAGE									
8L 8 High brightness LEDs	210 <sup>4</sup> 2100mA	U Universal									
16L 16 High brightness LEDs	070 <sup>3</sup> 700mA	1 120									
24L 24 High brightness LEDs		2 208									
		3 240									
		4 277									
		5 <sup>4</sup> 480									
		F <sup>4</sup> 347									

1 - Order poles with #2 drill pattern  
 2 - 7-pin ANSI C136.41—2013 receptacle for use with standard Twist-Lock® photo controls, shorting caps, and ANSI C136.41 external wireless control devices with and without motion/occupancy override  
 3 - For 24L configurations only  
 4 - 347V-480V not for 24L, 210 - 2100mA option  
 5 - Contact factory for minimum order quantities  
 6 - Not available with 347V or 480V  
 7 - Not available with 208, 240 or 480V  
 8 - Not available with Occupancy/Motion Sensors

### Accessories and Services (Ordered Separately)

Catalog Number	Description
SWUSB*	SiteSync loaded on USB flash drive (Windows based only)
SWTAB*	SiteSync Windows Tablet
SWBRG*	SiteSync Wireless Bridge Node

\* When ordering with SiteSync, one of the following interface options must be chosen and ordered separately. Each option contains the SiteSync License, GUI and Bridge Node.  
 + If needed, an additional Bridge Node can be ordered.

### ACCESSORIES - Order Separately

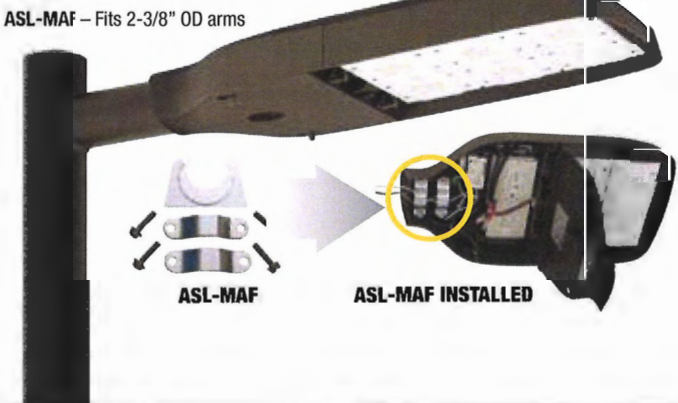
Catalog Number	Description
ASL-MAF	Mast arm kit with wildlife shield for mounting on 2 3/8" OD arms
SETA2-XX <sup>1</sup>	Square pole tenon adapter (4 at 90 degrees) (2 3/8" OD tenon)
RETA2-XX <sup>1</sup>	Round pole tenon adapter (4 at 90 degrees) (2 3/8" OD tenon), requires CL1S-RPA4-ACC-XX for each luminaire
TETA2-XX <sup>1</sup>	Hexagonal pole tenon adapter (3 at 120 degrees) (2 3/8" OD tenon)
ASL-EHS-BL	External house side shield (Kit Qty. ASL8L - 1, ASL16L - 2, ASL24L - 3)
ASL-ESS-BL	External side shield (Kit Qty. ASL8L - 1, ASL16L - 2, ASL24L - 3)
ASL-ARMMTG-XX <sup>1</sup>	Arm mounting kit for side of pole attachment
RATA-XX <sup>1</sup>	Single round arm tenon fits 2 3/8" OD, requires ASL-MAF accessory kit for stocked configurations
SCP-REMOTE	Remote control for SCPW option. Order at least one per project to program and control
CL1S-RPA(*)-ACC-XX <sup>1</sup>	Round Pole Adapter (* denotes pole diameter; 3 = 3 1/4" - 3 3/4"; 4 = 3 7/8" - 6")
WB-AREA-XX <sup>1</sup>	Wall bracket. Requires universal mounting block option.
PTL-1	Photocontrol - twist-lock cell (120V) - Requires 7PR option
PTL-8	Photocontrol - twist-lock cell (120-277V) - Requires 7PR option
PSC	Shorting cap - twist-lock - Requires 7PR option
ASL8L2LENS	Type II, 2 lenses included (see table to right for kit quantities)
ASL8L3LENS	Type III, 2 lenses included (see table to right for kit quantities)
ASL8L4LENS	Type IV, 2 lenses included (see table to right for kit quantities)
ASL8L5LENS	Type V, 2 lenses included (see table to right for kit quantities)

1 - Replace XX with color choice, eg.: DB for Dark Bronze

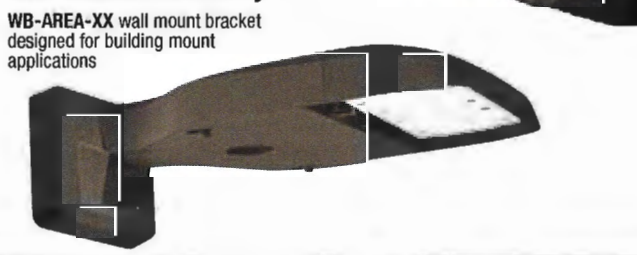


Product	Number of Kits	Number of Lenses
ASL8L	1	2
ASL16L	2	4
ASL24L	3	6

### ASL-MAF installed



### Wall Mount Accessory



## PERFORMANCE DATA

# OF LEDS	DRIVE CURRENT	SYSTEM WATTS	DIST. TYPE	5K (5000K nominal, 70 CRI)					4K (4000K nominal, 70 CRI)					3K (3000K nominal, 70 CRI)				
				LUMENS	LPW <sup>1</sup>	B	U	G	LUMENS	LPW <sup>1</sup>	B	U	G	LUMENS	LPW <sup>1</sup>	B	U	G
8	2100	62	2	6304	102	1	0	1	5775	93	1	0	1	5068	82	1	0	1
			3	6139	99	1	0	1	5624	91	1	0	1	4935	80	1	0	1
			4	6285	101	1	0	1	5757	93	1	0	1	5149	83	1	0	1
			5	6194	100	3	0	1	5674	92	3	0	1	4979	80	3	0	1
16		123	2	12502	102	2	0	2	11453	93	2	0	2	10441	85	2	0	2
			3	12175	99	2	0	2	11153	91	2	0	2	10168	83	2	0	2
			4	12463	101	2	0	2	11417	93	2	0	2	10409	85	2	0	2
			5	12283	100	4	0	2	11253	91	4	0	2	10259	83	4	0	2
24		181	2	18343	101	3	0	3	16804	93	3	0	3	15437	85	3	0	3
			3	17863	99	3	0	3	16364	90	3	0	3	15033	83	3	0	3
			4	18287	101	2	0	2	16752	93	2	0	2	15389	85	2	0	2
			5	18022	100	4	0	2	16510	91	4	0	2	15167	84	4	0	2
24	700	225	2	21063	94	3	0	3	20880	93	3	0	3	18474	82	3	0	3
			3	21111	94	3	0	3	20927	93	3	0	3	18516	82	3	0	3
			4	21258	94	3	0	2	21073	94	3	0	2	18645	83	3	0	2
			5	21331	95	4	0	2	21145	94	4	0	2	18709	83	4	0	2

1 - Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.

## ELECTRICAL DATA

# OF LEDS	DRIVE CURRENT (mA)	INPUT VOLTAGE (V)	SYSTEM POWER (w)	CURRENT (Amps)
8	1@(2100mA)	120	62	0.52
		208	62	0.30
		240	62	0.26
		277	62	0.22
16		120	123	1.03
		208	123	0.60
		240	123	0.52
		277	123	0.45
24		120	181	1.49
		208	181	0.86
		240	181	0.74
		277	181	0.64
24	1@(700mA)	120	225	1.88
		208	225	1.08
		240	225	0.94
		277	225	0.81

## LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

AMBIENT TEMPERATURE	LUMEN MULTIPLIER	
0° C	32° F	1.06
10° C	50° F	1.03
20° C	68° F	1.01
25° C	77° F	1.00
30° C	86° F	0.99
40° C	104° F	0.97
50° C	122° F	0.94


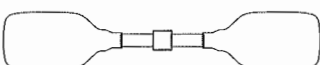
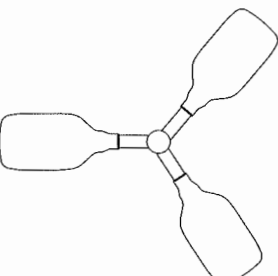
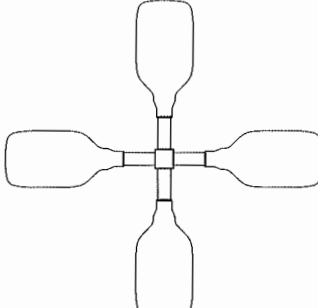
Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

## PROJECTED LUMEN MAINTENANCE

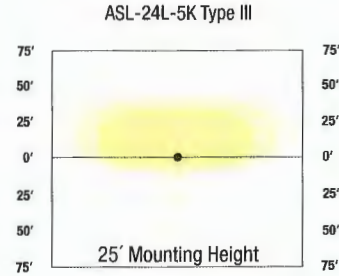
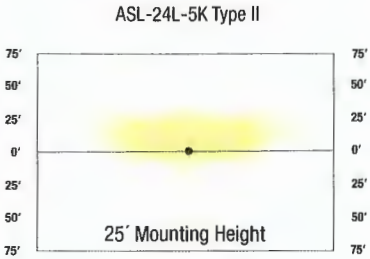
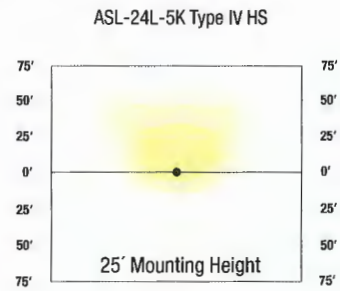
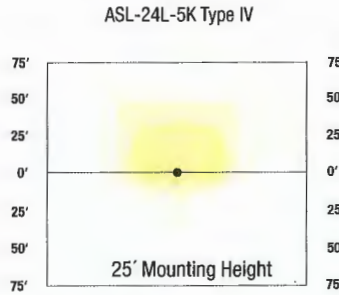
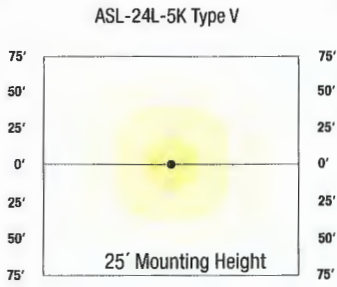
Ambient Temp.	OPERATING HOURS					L70 (hours)
	0	25,000	TM-21-11 <sup>1</sup> L90 36,000	50,000	100,000	
25°C / 77°F	1.00	0.93	0.90	0.86	0.75	>125,000
40°C / 104°F	0.99	0.90	0.86	0.81	0.67	>88,000

1. Projected per IESNA TM-21-11 (\* Cree XP-L, 2100mA, 105°C Ts, 6,000hrs)

## EPA

	<table border="1"> <thead> <tr> <th>Config.</th> <th>Luminaire</th> <th>EPA</th> </tr> </thead> <tbody> <tr> <td rowspan="3">1 @ 90°</td> <td>ASL8L</td> <td>.50</td> </tr> <tr> <td>ASL16L</td> <td>.62</td> </tr> <tr> <td>ASL24L</td> <td>.74</td> </tr> </tbody> </table>	Config.	Luminaire	EPA	1 @ 90°	ASL8L	.50	ASL16L	.62	ASL24L	.74		<table border="1"> <thead> <tr> <th>Config.</th> <th>Luminaire</th> <th>EPA</th> </tr> </thead> <tbody> <tr> <td rowspan="3">2 @ 180°</td> <td>ASL8L</td> <td>1.00</td> </tr> <tr> <td>ASL16L</td> <td>1.24</td> </tr> <tr> <td>ASL24L</td> <td>1.48</td> </tr> </tbody> </table>	Config.	Luminaire	EPA	2 @ 180°	ASL8L	1.00	ASL16L	1.24	ASL24L	1.48
Config.	Luminaire	EPA																					
1 @ 90°	ASL8L	.50																					
	ASL16L	.62																					
	ASL24L	.74																					
Config.	Luminaire	EPA																					
2 @ 180°	ASL8L	1.00																					
	ASL16L	1.24																					
	ASL24L	1.48																					
	<table border="1"> <thead> <tr> <th>Config.</th> <th>Luminaire</th> <th>EPA</th> </tr> </thead> <tbody> <tr> <td rowspan="3">3 @ 120°</td> <td>ASL8L</td> <td>.88</td> </tr> <tr> <td>ASL16L</td> <td>.99</td> </tr> <tr> <td>ASL24L</td> <td>1.11</td> </tr> </tbody> </table>	Config.	Luminaire	EPA	3 @ 120°	ASL8L	.88	ASL16L	.99	ASL24L	1.11		<table border="1"> <thead> <tr> <th>Config.</th> <th>Luminaire</th> <th>EPA</th> </tr> </thead> <tbody> <tr> <td rowspan="3">4 @ 90°</td> <td>ASL8L</td> <td>1.42</td> </tr> <tr> <td>ASL16L</td> <td>1.66</td> </tr> <tr> <td>ASL24L</td> <td>1.90</td> </tr> </tbody> </table>	Config.	Luminaire	EPA	4 @ 90°	ASL8L	1.42	ASL16L	1.66	ASL24L	1.90
Config.	Luminaire	EPA																					
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	ASL16L	1.66																					
	ASL24L	1.90																					

**PHOTOMETRICS** For additional photometric information and IES downloads, visit our web site at [www.hubbelloutdoor.com](http://www.hubbelloutdoor.com)



**ARM/MOUNTING BLOCK**

Fixture ships with universal mounting block for ease of installation. Compatible with #2 drill pattern.



**SWP & SWPM - SiteSync™**



SiteSync Lighting Control is available from our most popular brands in a broad range of award-winning product families.



# BUONA

THE ORIGINAL ITALIAN BEEF



KEYSTONE VENTURES

REAL ESTATE DEVELOPMENT

Watermark  
Engineering  
RESOURCES, LTD.



HAGUE ARCHITECTURE

## BUONA RESTAURANT – HOFFMAN ESTATES

AERIAL SITE PLAN









**Final Plat of Subdivision**  
**Barrington Square Resubdivision No. 2**  
 BEING A SUBDIVISION OF LOT 1 IN BARRINGTON SQUARE RESUBDIVISION AND OF PART OF THE NORTHWEST QUARTER SECTION 7, TOWNSHIP 41 NORTH, RANGE 12 EAST, COOK COUNTY, ILLINOIS.

**LEGEND**  
 Boundary of Property  
 Boundary of Block  
 Boundary of Subdivision  
 Survey Lines  
 Easements  
 Easement  
 Easement

**Barrington Square**  
 Unit No. 1

Course	Bearing	Distance
1-2	S 86°22'11.7" E	25.00
2-3	S 89°05'30.1" E	50.00
3-4	S 89°05'30.1" E	50.00
4-5	N 88°51'54.7" E	25.00

Course	Bearing	Distance
1-2	S 86°22'11.7" E	25.00
2-3	S 89°05'30.1" E	50.00
3-4	S 89°05'30.1" E	50.00
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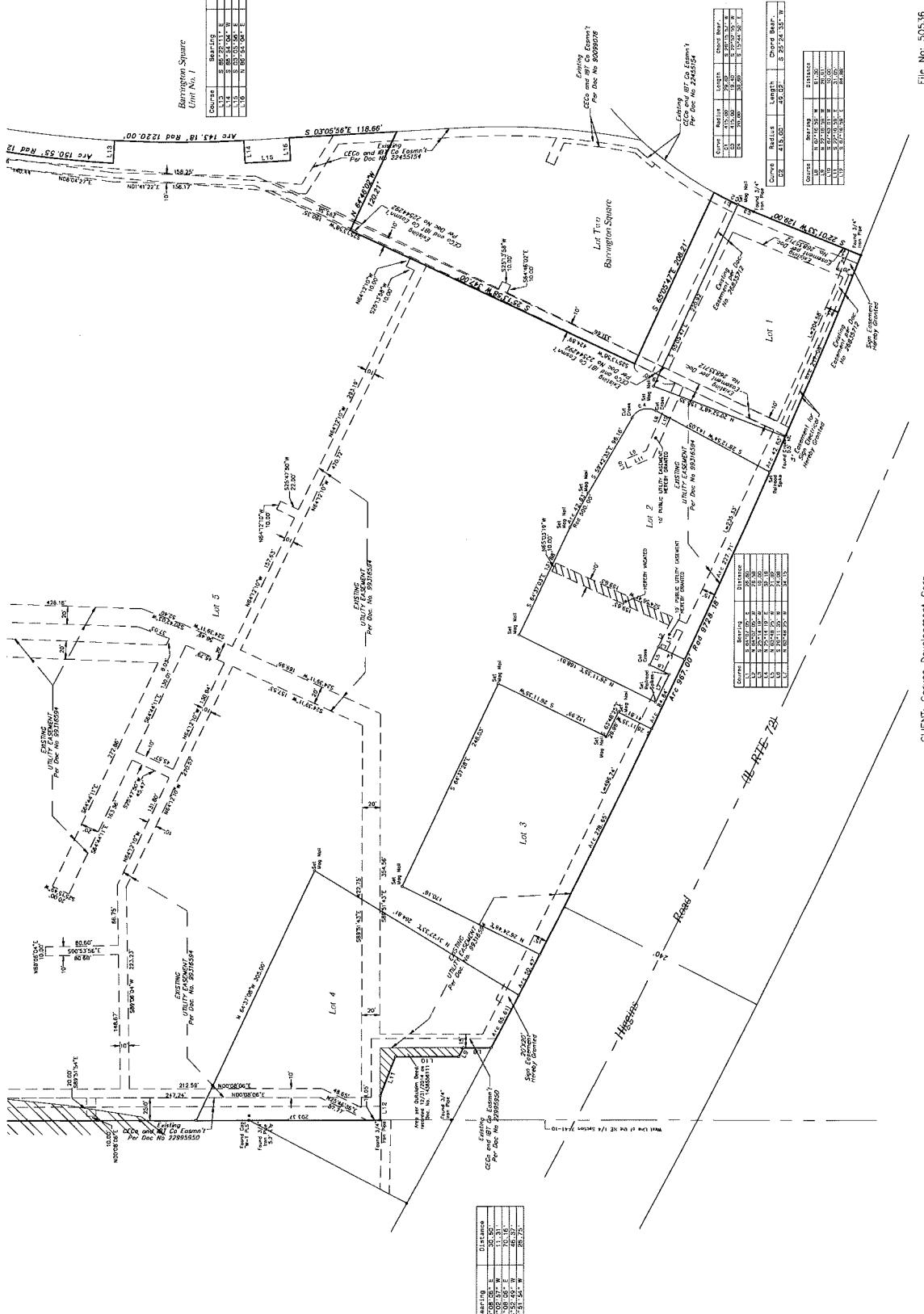
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 Unit No. 1

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**Barrington Square**  
 Unit No. 1

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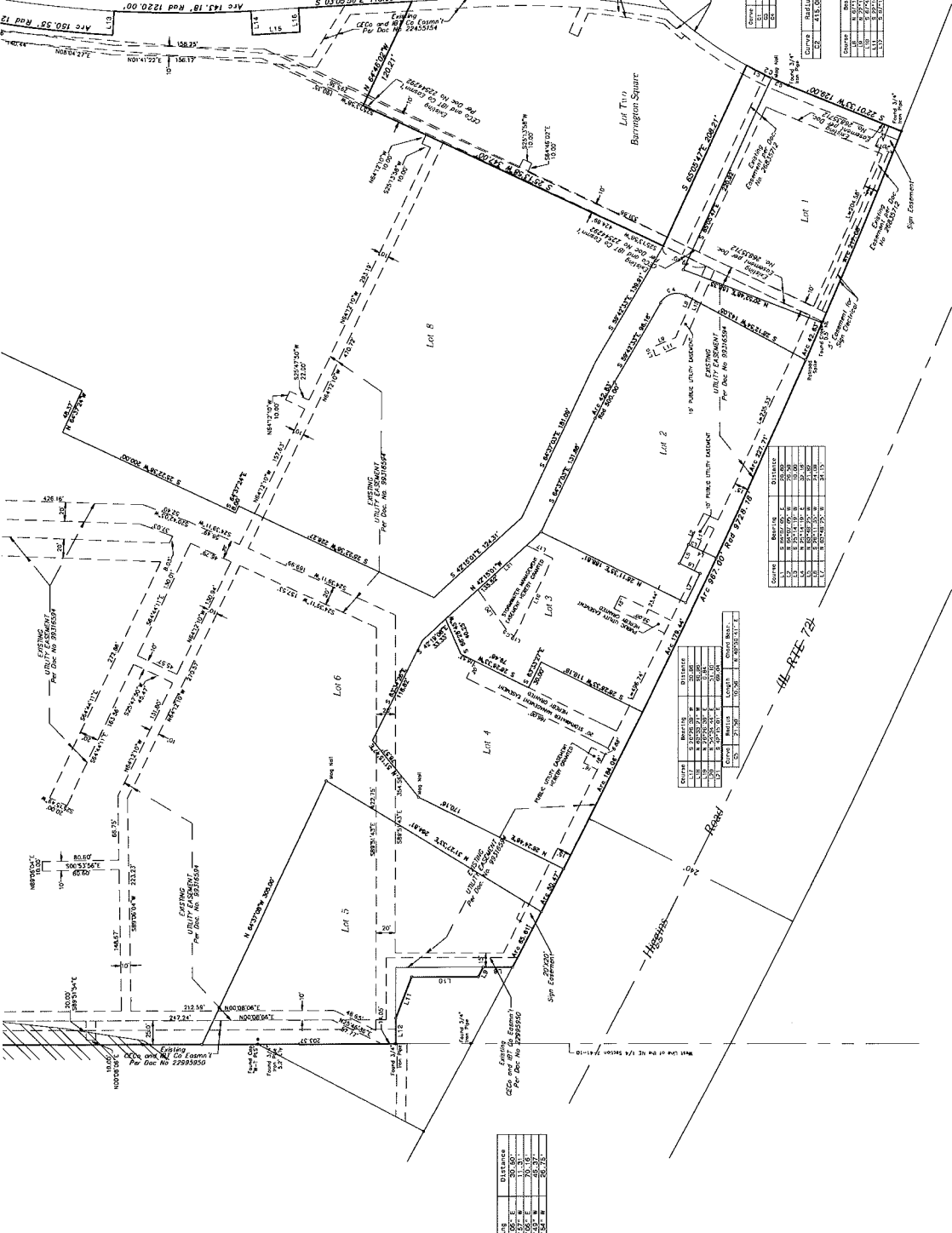
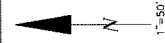
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4-5	N 88°51'54.7" E	25.00

**JADE SURVEYORS, LLC**  
 Survey No. 24-006622  
 304 Technical  
 Oswego, IL 60543  
 (630)-986-7230

**CLIENT:** Corso Development Corp

**Barrington Square Resubdivision No. 3**

Final Plat of Subdivision  
 BEING A SUBDIVISION OF LOTS 1-5 IN  
 LOT 4 IN BARRINGTON SQUARE RESUBDIVISION  
 AND OF PART OF THE NORTHEAST QUARTER  
 SECTION 7, TOWNSHIP 41 NORTH, RANGE 10,  
 COUNTY, ILLINOIS. FRANCIS ALBERTA, CLERK



LEGEND

- Boundary of property
- Boundary of lots
- Existing Survey Marker
- Iron Nail
- Iron Pipe

Barrington Square  
 Unit No. 1

COURSE	BEARING	DISTANCE
L13	S. 89° 27' 11" E	25.00'
L14	S. 89° 27' 11" E	25.00'
L15	S. 89° 27' 11" E	25.00'
L16	S. 89° 27' 11" E	25.00'

COURSE	BEARING	DISTANCE
L13	S. 89° 27' 11" E	25.00'
L14	S. 89° 27' 11" E	25.00'
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L16	S. 89° 27' 11" E	25.00'

JADE SURVEYORS, LLC  
 License No. 184.006622  
 1000 N. Wacker Drive, Suite 1000  
 Chicago, IL 60606  
 (630) 986-7230

CLIENT: Corvus Development Corp



SITE PLAN



1 of 1

CHECKED BY: J. MILLER  
 DESIGN BY: M. HANSEN  
 DRAWN BY: D. OLSON  
 DATE: FEBRUARY 6, 2019  
 SCALE: 1" = 20'  
 PROJECT NO.: 18-068

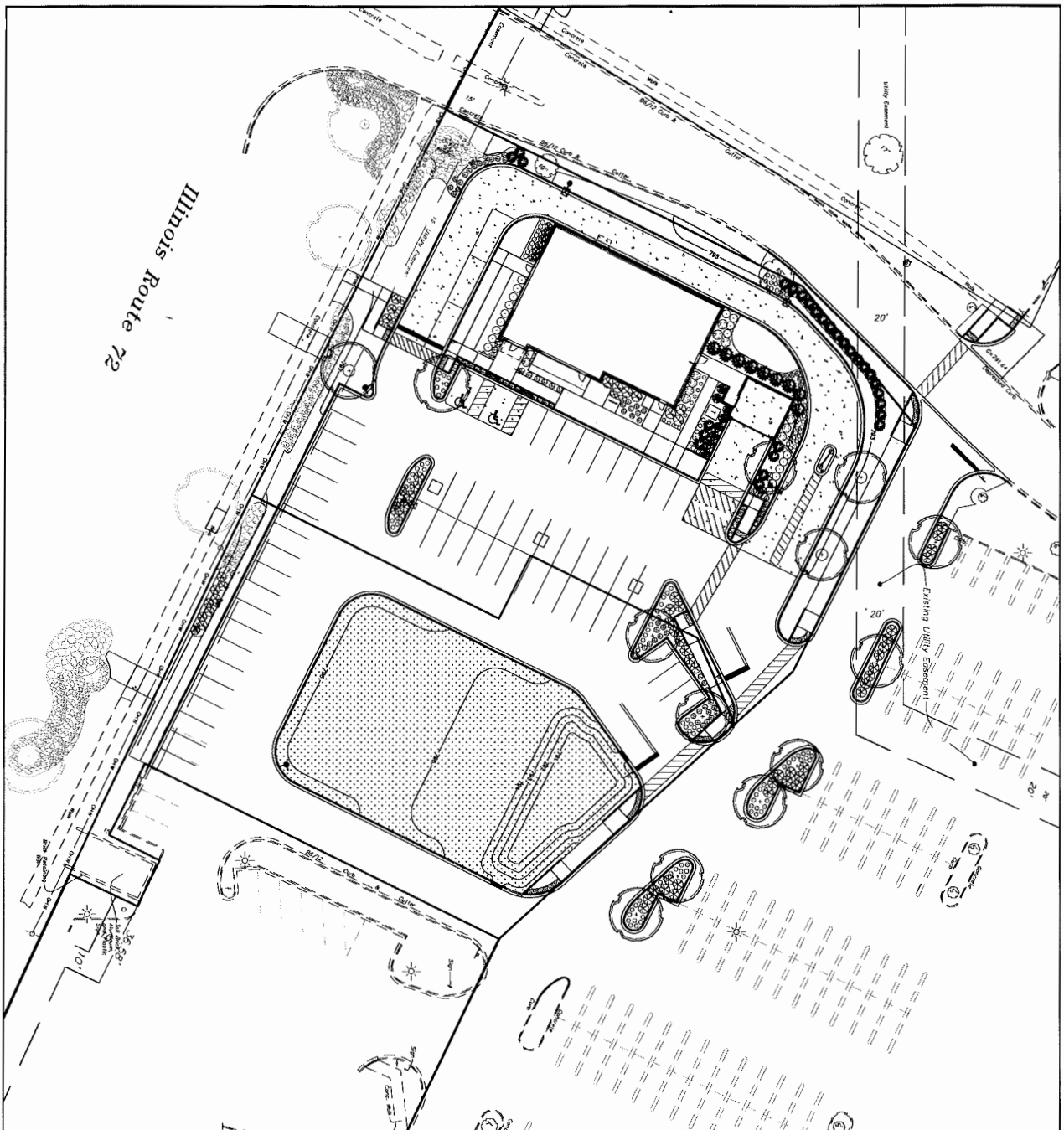


Prepared BY:

J & P Properties, LLC  
 6801 West Roosevelt Road  
 Berwyn, IL, 60402  
**BUONA BEEF RESTAURANT**  
 2352 West Higgins Road  
 Hoffman Estates, Illinois

Prepared FOR:

NO.	REVISIONS	DATE



**PLANT LIST**

QTY.	ASBY.	BOTANICAL NAME	COMMON NAME	SIZE
8	P50	Quercus alba 'Prinoscent'	Prinoscent White Oak	2 1/2" Cal
2	KCT	Gymnocladia dioica (Male Only)	Kentucky Coffee Tree	2 1/2" Cal
3	FTL	Thuja x frontalis	Frontalis Tree	2 1/2" Cal
9	FOA	Thuja occidentalis 'Sprenger'	Emerald Green Arboresc	6'
<b>FLOWERING AND EVERGREEN SHRUBS</b>				
QTY.	ASBY.	BOTANICAL NAME	COMMON NAME	SIZE
3	HTL	Hydrangea arborescens 'Vendula'	Endless Summer Hydrangea	5 Gal.
3	HTL	Hydrangea arborescens 'Savoy'	Endless Summer Hydrangea	5 Gal.
4	QAC	Quercus alba 'Green Leaf'	Green Leaf White Oak	5 Gal.
10	RAC	Rosa 'Marsella'	Rose	3 Gal.
9	DRS	Dracaena 'Marsella'	Dracaena	3 Gal.
12	MKS	Malva sylvestris 'Marsella'	Malva	3 Gal.
7	VAB	Viburnum 'Marsella'	Viburnum	3 Gal.
5	QAC	Quercus alba 'Green Vase'	Green Vase White Oak	5 Gal.
28	QAC	Quercus alba 'Green Vase'	Green Vase White Oak	5 Gal.
<b>PERENNIALS, ORNAMENTAL GRASSES AND CROUCHCOVERS</b>				
QTY.	ASBY.	BOTANICAL NAME	COMMON NAME	SIZE
15	HTL	Hydrangea arborescens 'Vendula'	Endless Summer Hydrangea	1 Gal.
15	JTC	Juncus tenuis 'Vendula'	Juncus	1 Gal.
13	GRD	Geranium 'Vendula'	Geranium	1 Gal.
118	SDO	Sedum 'Vendula'	Sedum	1 Gal.
4	ALS	Alchemilla 'Vendula'	Alchemilla	1 Gal.
13	PHL	Phlox 'Vendula'	Phlox	1 Gal.
9	NES	Nepenthes 'Vendula'	Nepenthes	1 Gal.
63	PHO	Phlox 'Vendula'	Phlox	1 Gal.
3	VAT	Viburnum 'Vendula'	Viburnum	1 Gal.

**LANDSCAPE PLAN**

Checked by: J. MILLER  
 Design by: M. HANSEN  
 Drawn by: D. OLSON  
 Date: SEPT. 28, 2018  
 Scale: 1" = 20'  
 Project No.: 18-088

**Watermark Engineering Resources, Ltd.**  
 2631 Gigger Woods Parkway, Suite 100, Aurora, IL 60202  
 phone 630-375-1800 fax 630-235-9880 www.watermark-engineering.com

**J & P Properties, LLC**  
 6801 West Roosevelt Road  
 Berwyn, IL 60402

**Buona Beef Restaurant**  
 2352 West Higgins Road  
 Hoffman Estates, Illinois

NO. REVISIONS DATE  
 1 01/25/18  
 2 01/25/18  
 3 01/25/18  
 4 01/25/18

PER CITY COMMENTS

Prepared by: \_\_\_\_\_



# LANDSCAPE MATERIALS



Providence Society Landscape - 2006



Kendall's Collieries



Truman Park



Stone Columns



Plains Chrysanthemum



Youngland Linum



Marion Feather Reed Grass



Thornhill Hybrid Forsythia Garden



Hillman, Newark - Newark Ridge



Madison's Cornerstone



Madison's The Liberty



Madison's Hill Country



Everfield Green Adventure



Sweet Perry Rose



Red Viburnum



Green Low Spine



Double Knock Out Rose



Black Hole Hydrangea



Blue Star Elm



Green Island Japan Lilac



Green Island Japonica



Green Pine



Imperial Spire Hydrangea



# RENDERING BUONA RESTAURANT



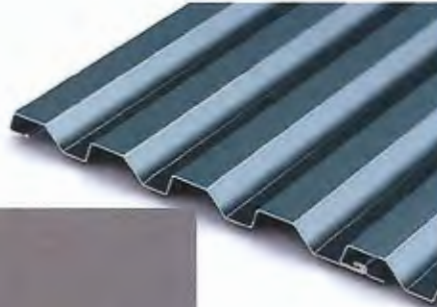
# EXTERIOR MATERIALS



EXTERIOR WOOD PANEL:  
CREATIVE MINES  
BARNWOOD



BRICK:  
BORAL BRICK - ALAMO  
MODULAR - RUNNING BOND



METAL CORNICE:  
PAC CLAD  
WEATHERED ZINC



STOREFRONT:  
VISTAWALL OR EQUAL  
CLEAR ALUMINUM



BUILDING SCONCE:  
SLV  
ENOLA UP DOWN



BUILDING SCONCE:  
WALL PACK



PARKING LOT LIGHTING:  
MCGRAW EDISON  
GLEON



# EXTERIOR ELEVATIONS



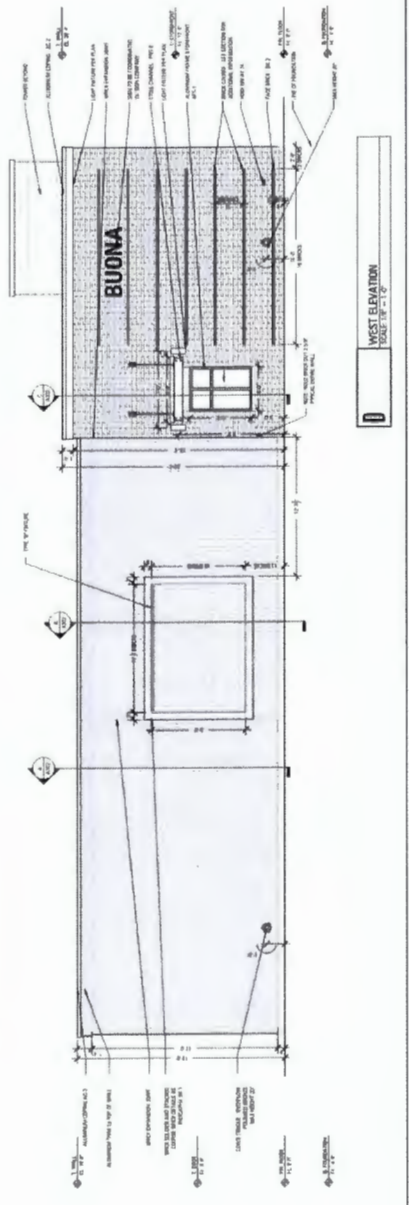
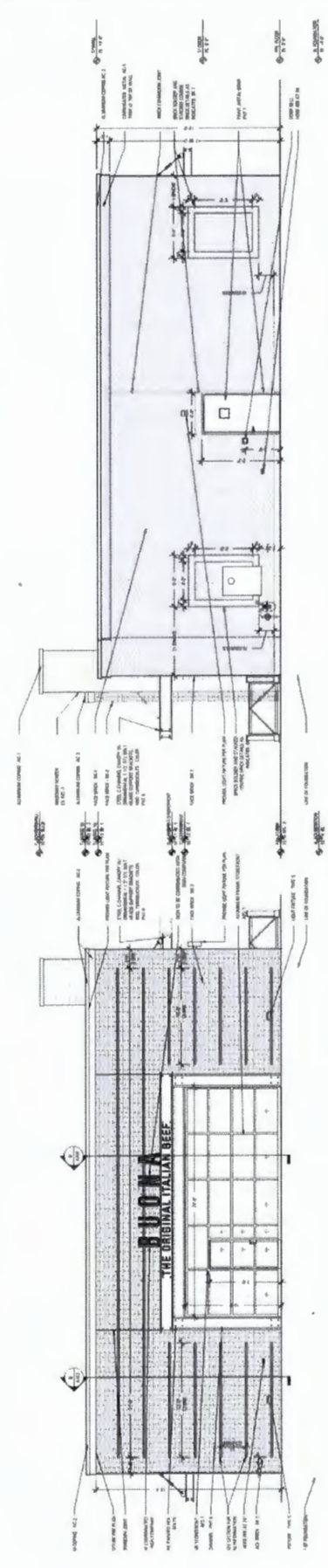
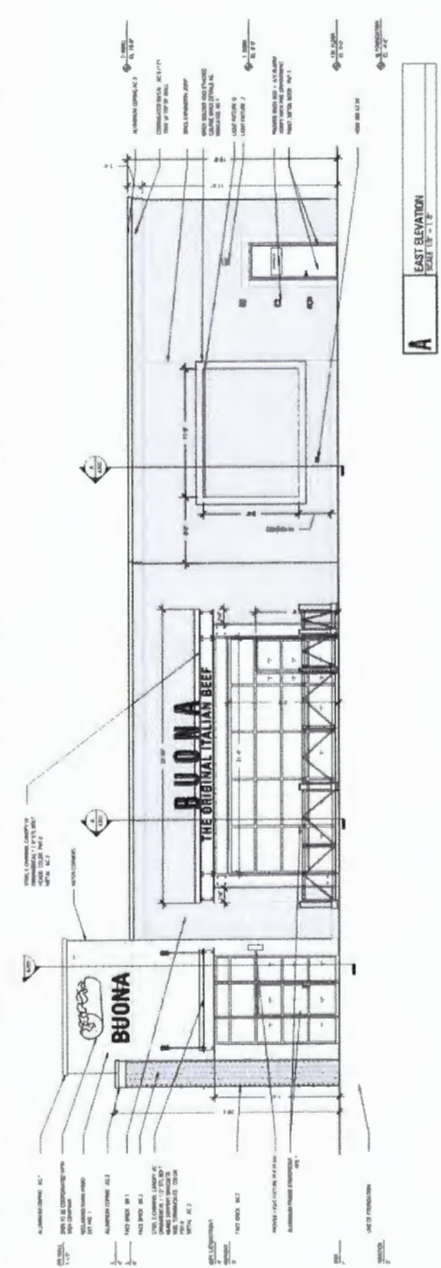
**BUONA**  
THE ORIGINAL ITALIAN BEEF

**NEW CONSTRUCTION**  
**BUONA RESTAURANT**  
2322 W. HOOKS ROAD  
NORTHMAN SPRINGS, ILLINOIS  
PROTOTYPE No.

DATE	NO. 1	SCALE	1/8" = 1'-0"
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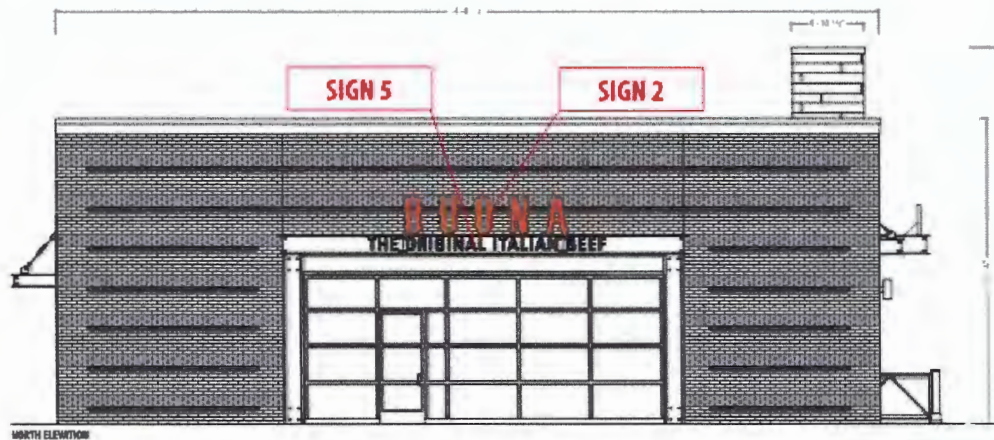
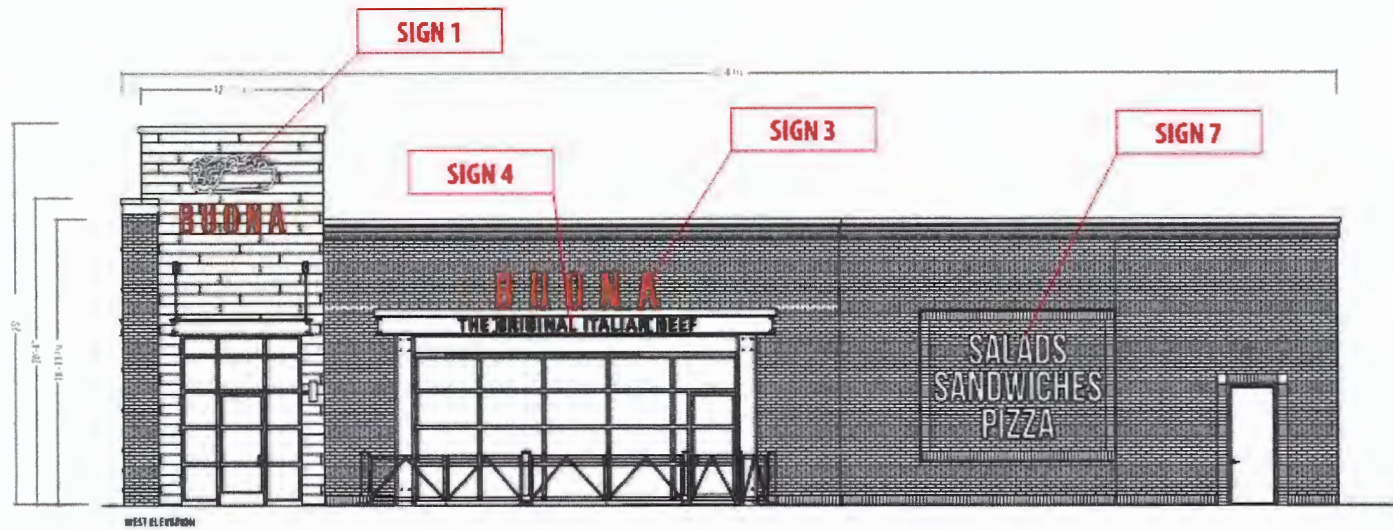
EXT ELEVATIONS

A 004





# SIGNAGE



PG 1 / 8

CUSTOMER  
Buona Beef

LOCATION  
Hoffman Estates, IL

SITE NUMBER  
N/A

ACCOUNT REP  
Mike Shelly

DRAWN BY  
MH

DATE  
8/9/17

REVISED

X
X
X
X
X
X
X
X
X
X

NOTES

SCALE  
NTS

**CORPORATE ID SOLUTIONS**  
5563 N Elston Ave  
Chicago, IL 60630  
P- 773-763-9600  
F- 773-763-9606  
CorporateIDSolutions.com



CORPORATE IDENTIFICATION SOLUTIONS

# SIGNAGE

PG 2 / 8

**CUSTOMER**  
Buena Beef

**LOCATION**  
Hoffman Estates, IL

**SITE NUMBER**  
N/A

**ACCOUNT REP**  
Mike Shelly

**DRAWN BY**  
NIH

**DATE**  
8/9/17

**REVISED**

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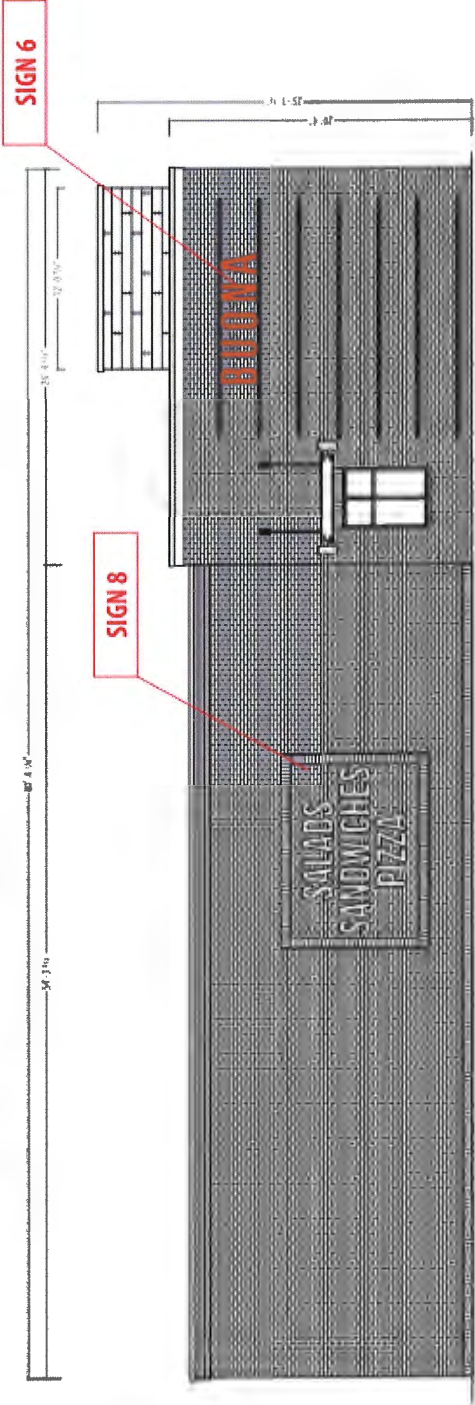
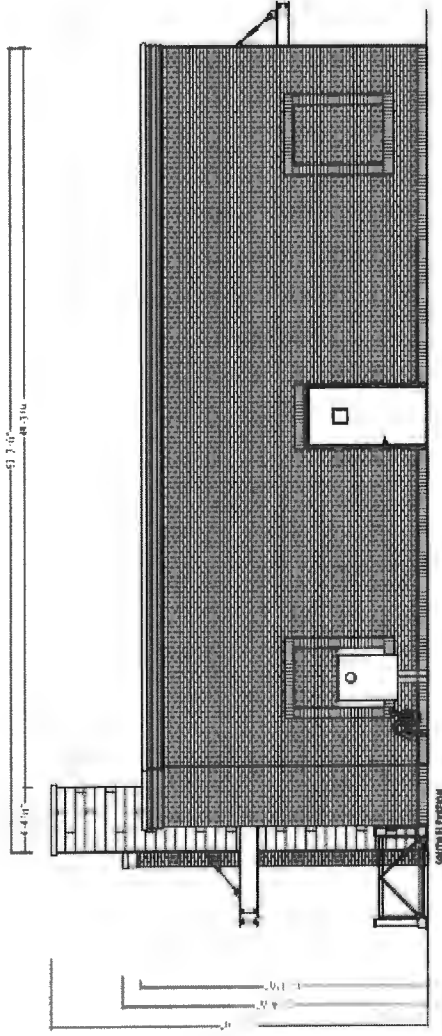
**NOTES**

**SCALE**  
INTS

**CORPORATE ID SOLUTIONS**  
5563 N. Elston Ave  
Chicago, IL 60631  
P: 773-763-9600  
F: 773-763-9606  
CorporateIDSolutions.com



CORPORATE IDENTIFICATION SOLUTIONS



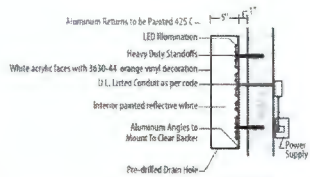


# SIGNAGE



### SIGN 1

- FABRICATED ALUMINUM CHANNEL LETTERS & LOGO
- REVERSE (HALO) ILLUMINATION
- STANDOFF MOUNTED
- BEEF - WHITE FACES
- LETTERS - WHITE ACRYLIC FACES WITH 3630-44
- ORANGE VINYL DECORATION
- PMS 425 C RETURNS & TRIM CAPS
- QTY (2) SETS



BUONA LETTERS SIDE VIEW



BUONA LETTERS SIDE VIEW

PG 2 / 8

CUSTOMER  
Buona Beef

LOCATION  
Huffman Station, IL

SITE NUMBER  
N/A

ACCOUNT REP  
Mike Shelly

DRAWN BY  
MSP

DATE  
8/9/17

REVISED

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SCALE  
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CORPORATE ID SOLUTIONS

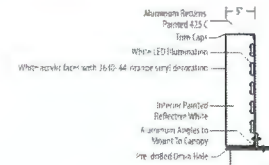
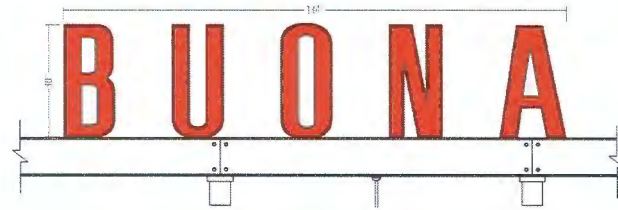
1563 N Elston Ave  
Chicago, IL 60642  
P 773 763 9900  
F 773 763 9900  
C corp@idsolutions.com



CORPORATE IDENTIFICATION SOLUTIONS

### SIGN 3

- ILLUMINATED CHANNEL LETTERS
- WHITE ACRYLIC FACES WITH 3630-44
- ORANGE VINYL DECORATION
- PMS 425 C RETURNS & TRIM CAPS



SIDE VIEW

PG 3 / 8

CUSTOMER  
Buona Beef

LOCATION  
Huffman Station, IL

SITE NUMBER  
N/A

ACCOUNT REP  
Mike Shelly

DRAWN BY  
MSP

DATE  
8/9/17

REVISED

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CORPORATE ID SOLUTIONS

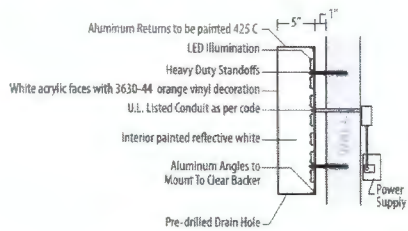
1563 N Elston Ave  
Chicago, IL 60642  
P 773 763 9900  
F 773 763 9900  
C corp@idsolutions.com



CORPORATE IDENTIFICATION SOLUTIONS

### SIGN 2

- ILLUMINATED CHANNEL LETTERS
- STUD MOUNTED
- WHITE ACRYLIC FACES WITH 3630-44
- ORANGE VINYL DECORATION
- PMS 425 C RETURNS & TRIM CAPS
- QTY (1) SET



SIDE VIEW

PG 4 / 8

CUSTOMER  
Buona Beef

LOCATION  
Huffman Station, IL

SITE NUMBER  
N/A

ACCOUNT REP  
Mike Shelly

DRAWN BY  
MSP

DATE  
8/9/17

REVISED

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SCALE  
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CORPORATE ID SOLUTIONS

1563 N Elston Ave  
Chicago, IL 60642  
P 773 763 9900  
F 773 763 9900  
C corp@idsolutions.com



CORPORATE IDENTIFICATION SOLUTIONS

### SIGN 4 B.S

- 1/2" THICK FLAT CUT OUT ALUMINUM LETTERS
- STUD MOUNTED
- PAINTED TO MATCH PMS 425 C
- QTY (2) SETS



FRONT VIEW



SIDE VIEW

PG 6 / 8

CUSTOMER  
Buona Beef

LOCATION  
Huffman Station, IL

SITE NUMBER  
N/A

ACCOUNT REP  
Mike Shelly

DRAWN BY  
MSP

DATE  
8/9/17

REVISED

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SCALE  
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CORPORATE ID SOLUTIONS

1563 N Elston Ave  
Chicago, IL 60642  
P 773 763 9900  
F 773 763 9900  
C corp@idsolutions.com



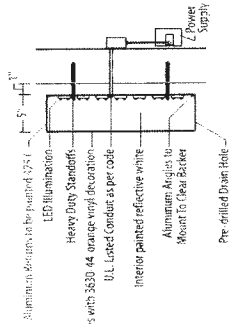
CORPORATE IDENTIFICATION SOLUTIONS

# SIGNAGE

## SIGN 6

- ILLUMINATED CHANNEL LETTERS
- STD. MOUNTED
- WHITE ACRYLIC FACES WITH 3630-44
- ORANGE VINYL DECORATION
- PAINTED TO MATCH PMS 425 C
- QTY (1) SET

BUONA



White acrylic faces with 3630-44 orange vinyl decoration

## SIGN 7 & 8

- DISTRESSED PAINTED WALL SIGNS
- WHITE PAINTED LETTERS
- QTY (1)

SALADS  
SANDWICHES  
PIZZA

## SIGN 6

- OUTDOOR
- ALUMINUM
- 3630-44
- PMS 425 C
- QTY (1) SET

BUONA



White acrylic faces with 3630-44 orange vinyl decoration

## SIGN 7 & 8

- DISTRESSED PAINTED WALL SIGNS
- WHITE PAINTED LETTERS
- QTY (1)

SALADS  
SANDWICHES  
PIZZA

## SIGN 6

- OUTDOOR
- ALUMINUM
- 3630-44
- PMS 425 C
- QTY (1) SET

BUONA



White acrylic faces with 3630-44 orange vinyl decoration





# BUONA RESTAURANT – INTERIOR





# FLOOR PLAN



**BUONA**  
THE ORIGINAL ITALIAN BEEF

**NEW CONSTRUCTION**  
**BUONA RESTAURANT**  
2952 W. HOBBS ROAD  
HOVEAN ESTATES, BIRMINGHAM  
PROJTYPE 04

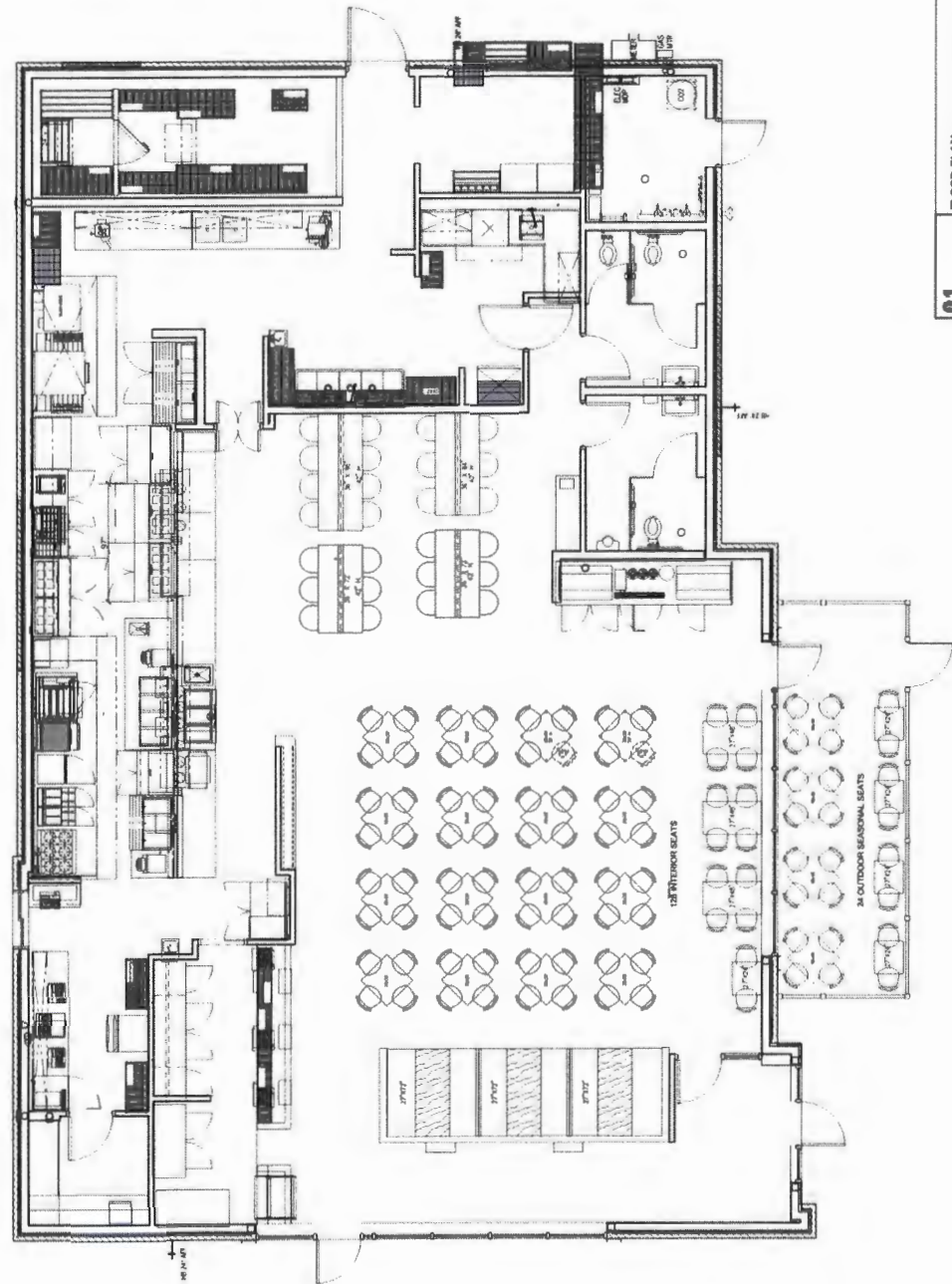
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12/06/08	99
01/07/09	100

ISSUE DATE: 08.27.01  
PROJECT NUMBER: 00000

DRAWN BY: J  
CHECKED BY: J

INTERIOR

A 005



01 FLOOR PLAN  
SCALE: 1/8" = 1'-0"



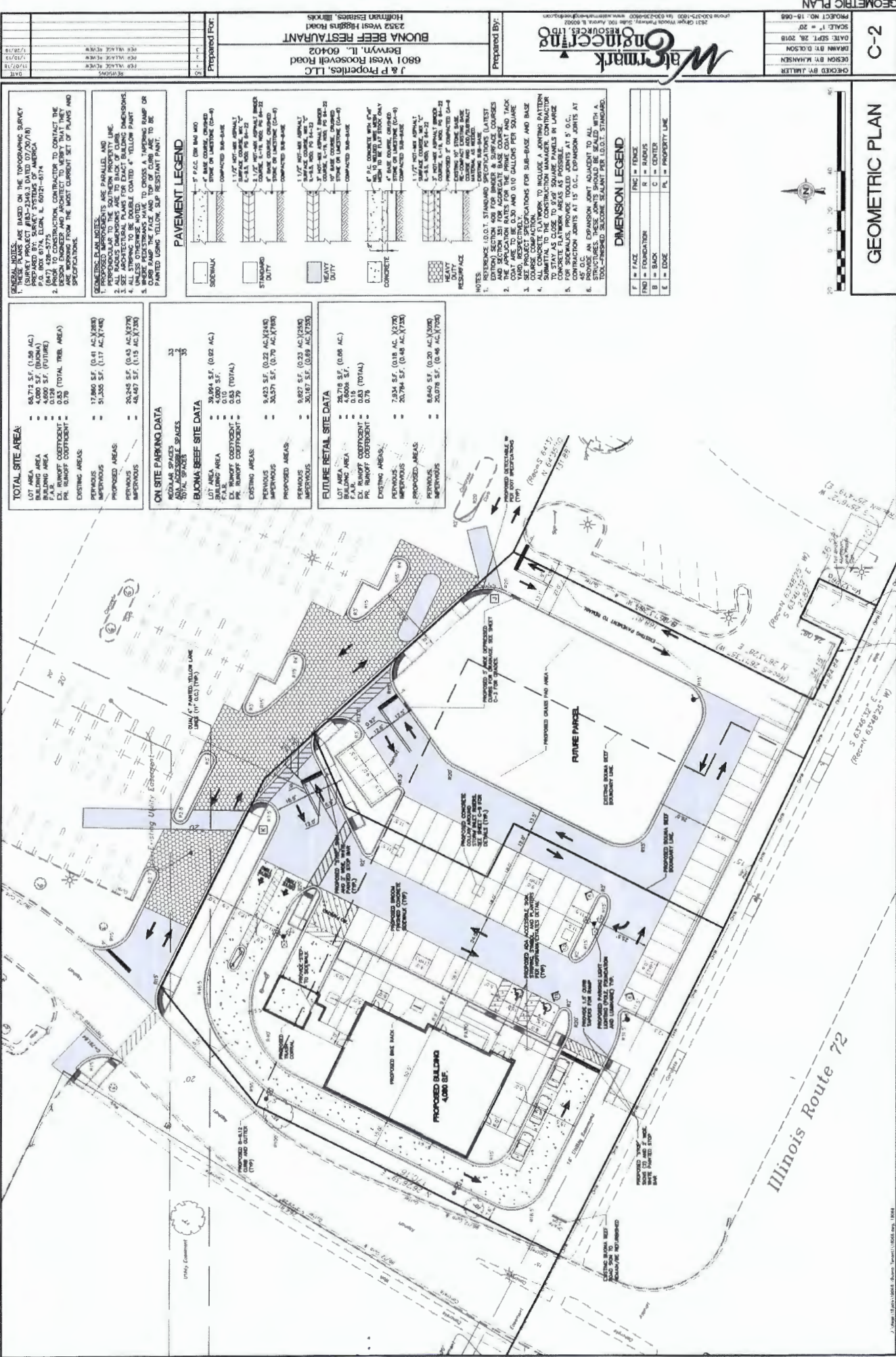
**BUONA**

THE ORIGINAL ITALIAN BEEF





# GEOMETRIC PLAN



**TOTAL SITE AREA:**

- LOT AREA = 64,713 S.F. (1.50 AC.)
- BUILDING AREA = 4,000 S.F. (0.09 AC.)
- P.A.R. AREA = 1,020 S.F. (0.02 AC.)
- D.L. BUFFER COEFFICIENT = 0.33 (TOTAL TREE AREA)
- P.L. BUFFER COEFFICIENT = 0.78

**EXISTING AREAS:**

- PERVIOUS = 17,860 S.F. (0.41 AC.) (25%)
- IMPERVIOUS = 51,305 S.F. (1.17 AC.) (79%)

**PROPOSED AREAS:**

- PERVIOUS = 24,245 S.F. (0.55 AC.) (37%)
- IMPERVIOUS = 48,467 S.F. (1.11 AC.) (75%)

**ON SITE PARKING DATA:**

- MODULAR SPACES = 33
- STANDARD SPACES = 35
- TOTAL SPACES = 68

**BUONA BEEF SITE DATA:**

- LOT AREA = 39,094 S.F. (0.89 AC.)
- P.A.R. = 1,020 S.F. (0.02 AC.)
- D.L. BUFFER COEFFICIENT = 0.33 (TOTAL)
- P.L. BUFFER COEFFICIENT = 0.78

**EXISTING AREAS:**

- PERVIOUS = 9,423 S.F. (0.22 AC.) (24%)
- IMPERVIOUS = 30,571 S.F. (0.70 AC.) (78%)

**PROPOSED AREAS:**

- PERVIOUS = 9,827 S.F. (0.23 AC.) (25%)
- IMPERVIOUS = 30,167 S.F. (0.69 AC.) (75%)

**FUTURE RETAIL SITE DATA:**

- LOT AREA = 20,278 S.F. (0.46 AC.)
- P.A.R. = 1,020 S.F. (0.02 AC.)
- D.L. BUFFER COEFFICIENT = 0.33 (TOTAL)
- P.L. BUFFER COEFFICIENT = 0.78

**EXISTING AREAS:**

- PERVIOUS = 7,334 S.F. (0.18 AC.) (27%)
- IMPERVIOUS = 20,794 S.F. (0.48 AC.) (72%)

**PROPOSED AREAS:**

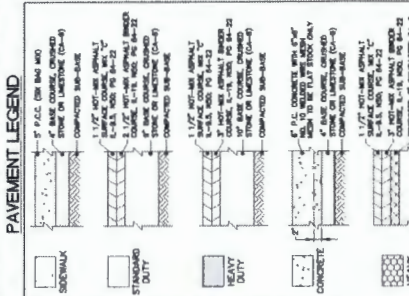
- PERVIOUS = 8,640 S.F. (0.20 AC.) (30%)
- IMPERVIOUS = 20,278 S.F. (0.46 AC.) (70%)

**GENERAL NOTES:**

- THESE PLANS ARE BASED ON THE TOPOGRAPHIC SURVEY (SURVEY PROJECT #18-21463) DATED 07/20/18.
- CONTRACTOR TO VERIFY ALL DIMENSIONS WITH THE SURVEY.
- SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY HAVE OBTAINED ALL NECESSARY PERMITS FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

**GEOMETRIC PLAN NOTES:**

- PROPOSED IMPROVEMENTS ARE PARALLEL AND PERPENDICULAR TO EXISTING CURBS.
- ALL BASIS DIMENSIONS ARE TO BACK OF CURB.
- SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- UNLESS OTHERWISE NOTED, CURBS TO BE CONCRETE, 4" YELLOW PAINT ON TOP OF CURB.
- PAINTED USING YELLOW, SLP RESISTANT PAINT.



**NOTES:**

- REFERENCE I.O.G.T. STANDARD SPECIFICATIONS (LATEST EDITION) SECTION 408 FOR BINDER & SURFACE COURSES.
- THE APPLICATION RATES FOR THE PRIME COAT AND TACK COAT MUST BE 0.20 AND 0.10 GALLONS PER SQUARE YARD, RESPECTIVELY.
- SEE PROJECT SPECIFICATIONS FOR SUB-BASE AND BASE.
- ALL CONCRETE FLATWORK TO INCLUDE A JOINTING PATTERN SUBMITTAL TO THE CONSTRUCTION MANAGER, CONTRACTOR FOR JOINTING PATTERN AND JOINTING MATERIAL AS NECESSARY.
- FOR SIDEWALKS, PROVIDE TOLDED JOINTS AT 5' O.C. FOR JOINTS AT 12' O.C. EXPANSION JOINTS AT 5' O.C. AN EXPANSION JOINT SHALL BE ADJACENT TO AN EXISTING JOINT.
- TOP-FINISHED SOLAR SEALANT PER I.O.G.T. STANDARD.

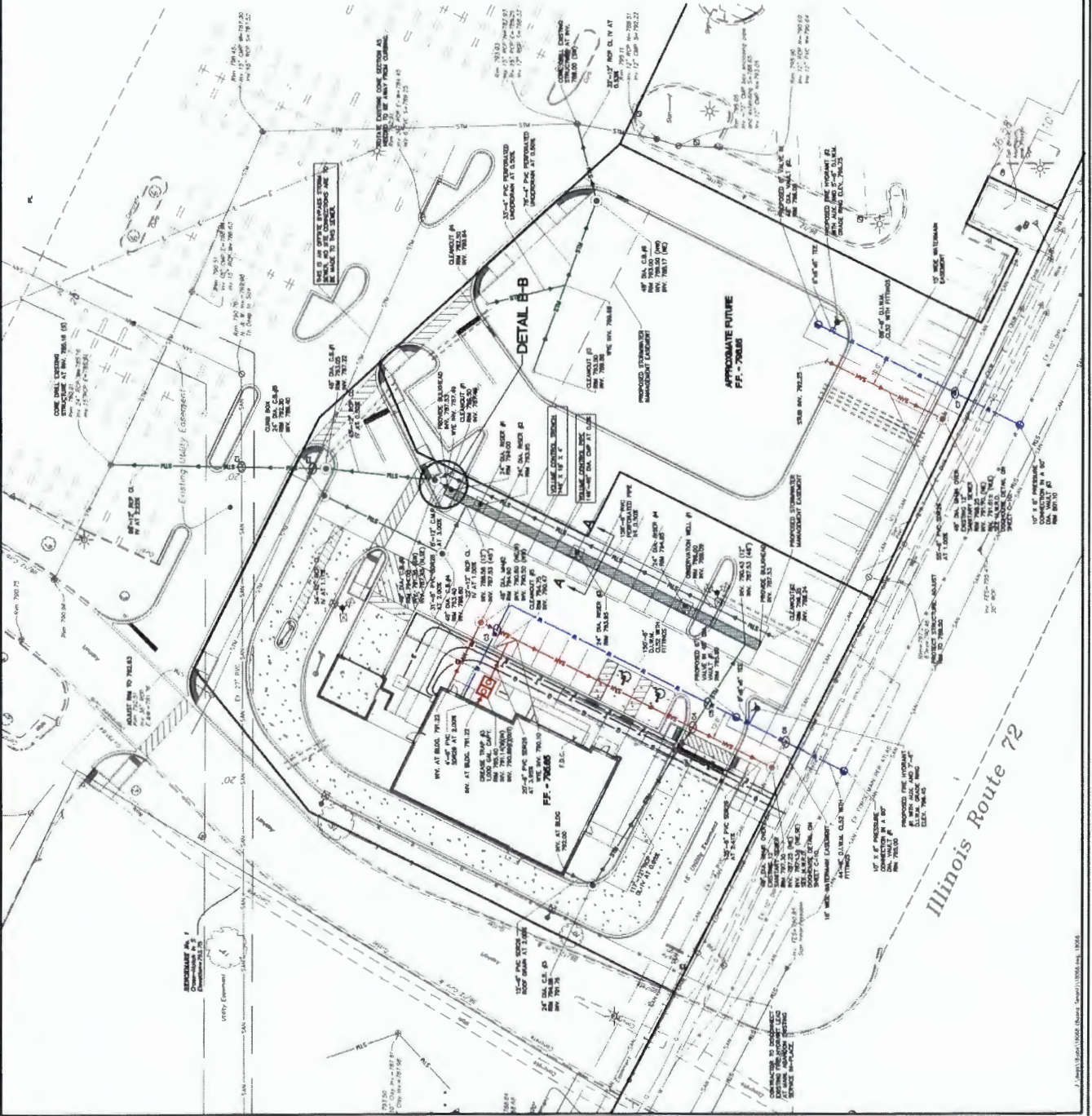
**DIMENSION LEGEND:**

- F = FACE
- INT = INTERIOR
- EXT = EXTERIOR
- FOUNDATION
- R = RADIIUS
- B = BACK
- C = CENTER
- E = EDGE
- PL = PROPERTY LINE

PROJECT NO. 18-006  
 SCALE: 1" = 20'  
 DATE: SEPT. 26, 2018  
 DRAWN BY: D. OLSON  
 DESIGN BY: M. HANSEN  
 CHECKED BY: J. MILLER  
 PROJECT: BUONA BEEF RESTAURANT  
 6801 WEST ROOSEVELT ROAD  
 BORYM, IL 60402  
 J & P PROPERTIES, LLC  
 2332 WEST HIGGINS ROAD  
 HOMER ESTATES, ILLINOIS  
 Prepared By: **WSP | Paragon**  
 2831 Ogden Avenue, Suite 100, Aurora, IL 60019  
 Phone: 630-575-1000 | Fax: 630-575-0000 | www.wsp-paragon.com



# UTILITY PLAN



**GENERAL NOTES:**  
 1. THESE PLANS ARE BASED ON THE TOPOGRAPHIC SURVEY (SURVEY PROJECT #18-23483) DATED 07/20/18 (P.O. BOX 6174, DUNN, LA. 70229-8174).  
 2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.  
**REFERENCE BENCHMARK:**  
 BENCHMARKS ARE BASED ON GPS OBSERVATION REFERENCED TO NAD 83. ELEVATIONS SHOWN HEREON WERE ESTABLISHED BY RTK GPS OBSERVATIONS MAY 1998.  
**SITE BENCHMARKS:**  
 1. CROSS-HATCH IN SIDEWALK. ELEVATION = 703.75  
 2. CROSS-HATCH IN CURB. ELEVATION = 701.39  
**UTILITY PLAN NOTES:**  
 1. PRIOR TO CONSTRUCTION OF ANY UTILITIES, CONTRACTOR IS TO VERIFY THAT THE PROPOSED UTILITIES SHOWN ON THIS PLAN ARE NOT IN CONFLICT WITH ANY EXISTING UTILITIES WITH THE UTILITIES ON THE PLUMBING PLANS AS THEY EXIST WITHIN THE BUILDING. CONTRACTOR TO REPORT IN WRITING ANY CONFLICTS TO THE DESIGN ENGINEER IMMEDIATELY.  
 2. CONTRACTOR TO COORDINATE WITH THE INSTALLATION AND PERMITTING OF THE PUBLIC UTILITIES, SUCH AS GAS, WATER, AND SEWER, THROUGH THE DESIGN ENGINEER AND ARCHITECT PRIOR TO THE CONSTRUCTION OF THE UTILITIES. CONTRACTOR TO VERIFY THAT THE UTILITIES SHOWN ON THIS PLAN ARE NOT IN CONFLICT WITH ANY EXISTING UTILITIES WITHIN THE BUILDING. CONTRACTOR TO REPORT IN WRITING ANY CONFLICTS TO THE DESIGN ENGINEER IMMEDIATELY.  
 3. CONTRACTOR TO COORDINATE WITH THE INSTALLATION AND PERMITTING OF THE PUBLIC UTILITIES, SUCH AS GAS, WATER, AND SEWER, THROUGH THE DESIGN ENGINEER AND ARCHITECT PRIOR TO THE CONSTRUCTION OF THE UTILITIES.  
 4. CONTRACTOR TO VERIFY THAT THE UTILITIES SHOWN ON THIS PLAN ARE NOT IN CONFLICT WITH ANY EXISTING UTILITIES WITHIN THE BUILDING. CONTRACTOR TO REPORT IN WRITING ANY CONFLICTS TO THE DESIGN ENGINEER IMMEDIATELY.  
 5. CONTRACTOR TO COORDINATE WITH THE INSTALLATION AND PERMITTING OF THE PUBLIC UTILITIES, SUCH AS GAS, WATER, AND SEWER, THROUGH THE DESIGN ENGINEER AND ARCHITECT PRIOR TO THE CONSTRUCTION OF THE UTILITIES.  
 6. CONTRACTOR TO VERIFY THAT THE UTILITIES SHOWN ON THIS PLAN ARE NOT IN CONFLICT WITH ANY EXISTING UTILITIES WITHIN THE BUILDING. CONTRACTOR TO REPORT IN WRITING ANY CONFLICTS TO THE DESIGN ENGINEER IMMEDIATELY.  
 7. CONTRACTOR TO COORDINATE WITH THE INSTALLATION AND PERMITTING OF THE PUBLIC UTILITIES, SUCH AS GAS, WATER, AND SEWER, THROUGH THE DESIGN ENGINEER AND ARCHITECT PRIOR TO THE CONSTRUCTION OF THE UTILITIES.

**UTILITY CROSSINGS**

NO.	DESCRIPTION	ELEVATION
01	TOP OF 12" PVC WATER	703.84
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100	TOP OF 12" PVC WATER	703.84

SEE SHEET C-10 FOR VOLUME CONTROL CALCULATIONS FOR BOTH THE BUONA BEEF AND FUTURE PARCEL.



## UTILITY PLAN

**Wickmark Engineering**  
 2611 Oak Grove Parkway, Suite 100, Metairie, LA 70002  
 Phone: 504.885.1000 Fax: 504.885.1001 www.wickmark-engineering.com

**Prepared For:**  
 J & P Properties, LLC  
 6801 West Roosevelt Road  
 Berwyn, IL 60402

**BUONA BEEF RESTAURANT**  
 2352 West Higgins Road  
 Hoffman Estates, Illinois

**Prepared By:**  
 DATE: 12/15/18  
 PER: [redacted]  
 PER: [redacted]  
 PER: [redacted]  
 PER: [redacted]

**PROJECT NO.:** 18-098  
**SCALE:** 1" = 20'  
**DATE:** SEPT. 28, 2018  
**DESIGN BY:** D. OLSON  
**CHECKED BY:** J. MILLER

**C-5**

**Watermark Engineering**  
 2931 Chicago Express Parkway, Suite 100, Aurora, IL 60009  
 phone: 630-375-1800 fax: 630-250-8800 www.watermark-engineering.com

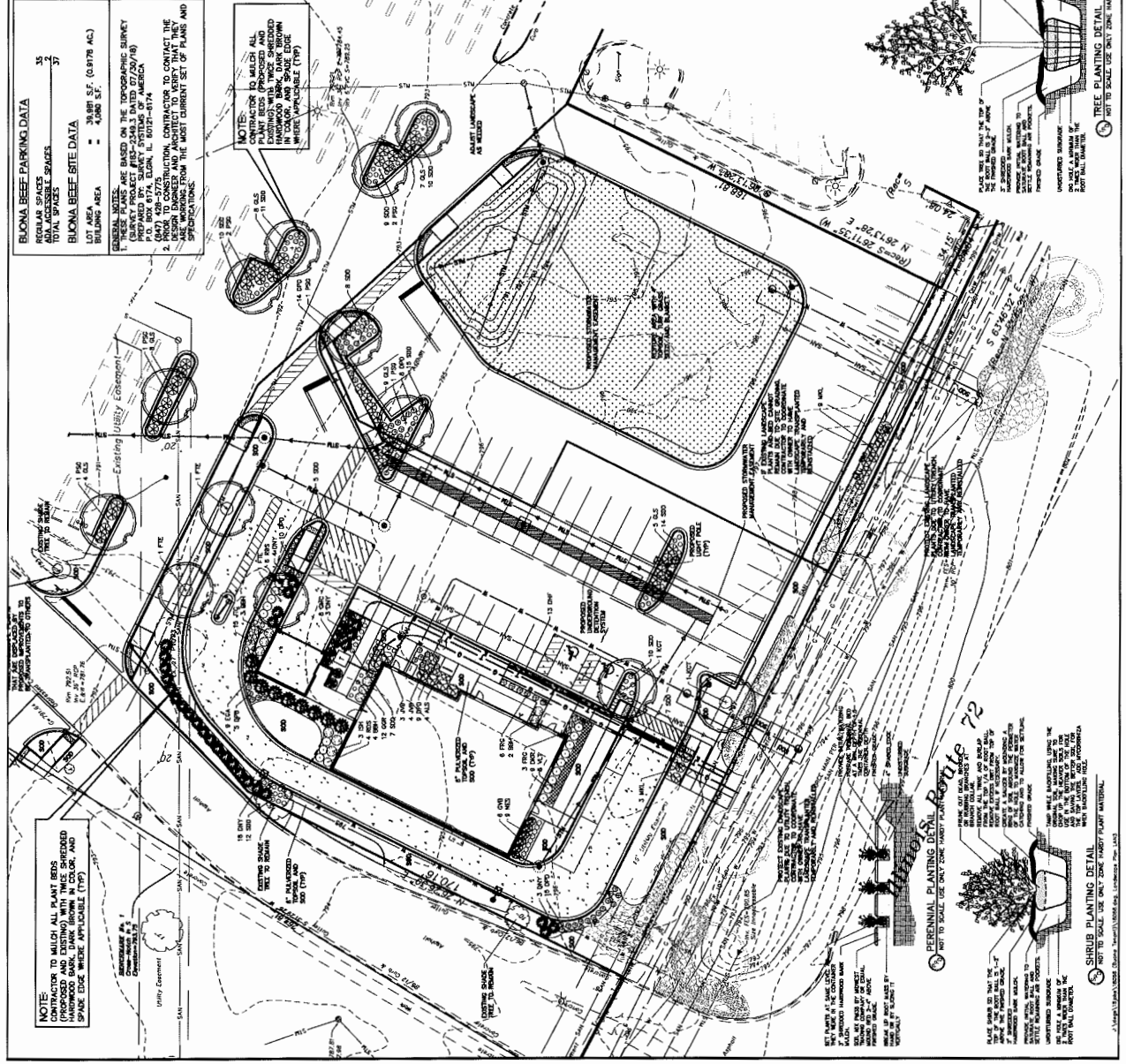
Prepared By:  
 J & P Properties, LLC  
 6901 West Roosevelt Road  
 Bryn Mawr, IL 60402  
 2352 West Higgins Road  
 Hoffman Estates, Illinois

DATE	REV	DESCRIPTION
11/07/18	01	PER CITY REVIEW
07/19/18	02	PER CITY COMMENTS

- LANDSCAPE NOTES:**
1. ALL PLANT MATERIAL SHALL BE HARDY TO THE ZONE IT IS BEING PLANTED IN. ALL TREES AND SHRUBS ARE TO BE PLANTED IN ACCORDANCE WITH THE STANDARDS SET FORTH BY THE CITY OF AURORA, ILLINOIS. PLANTING SHALL BE IN ACCORDANCE WITH THE STANDARDS SET FORTH BY THE ILLINOIS PLANTING AND LANDSCAPE CODE.
  2. PLANT BEDS SHALL BE 18" DEEP AND 12" WIDE UNLESS OTHERWISE NOTED.
  3. PLANT BEDS SHALL BE 18" DEEP AND 12" WIDE UNLESS OTHERWISE NOTED.
  4. PLANT BEDS SHALL BE 18" DEEP AND 12" WIDE UNLESS OTHERWISE NOTED.
  5. ALL PLANTING SHALL BE DONE BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AURORA AND THE ILLINOIS DEPARTMENT OF TRANSPORTATION.
  6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE EXISTING PLANT MATERIAL THROUGHOUT THE CONSTRUCTION PERIOD.
  7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY PLANT MATERIAL THAT IS DAMAGED OR DESTROYED DURING THE CONSTRUCTION PERIOD.
  8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY IRRIGATION AND FERTILIZATION FOR THE PLANTING.
  9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY MULCH AND SOIL AMENDMENTS FOR THE PLANTING.
  10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY SIGNAGE AND MARKING FOR THE PLANTING.
  11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY PROTECTION FOR EXISTING UTILITIES AND STRUCTURES.
  12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY PROTECTION FOR EXISTING PLANT MATERIAL.
  13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY PROTECTION FOR EXISTING CURBS AND DRIVEWAYS.
  14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY PROTECTION FOR EXISTING SIDEWALKS AND STAIRS.
  15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY PROTECTION FOR EXISTING LIGHT FIXTURES AND ELECTRICAL SERVICES.
  16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY PROTECTION FOR EXISTING WATER AND SEWER LINES.
  17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY PROTECTION FOR EXISTING GAS LINES.
  18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY PROTECTION FOR EXISTING TELEPHONE AND CABLE LINES.
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  26. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY PROTECTION FOR EXISTING TELEPHONE AND CABLE LINES.
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  47. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY PROTECTION FOR EXISTING LIGHT FIXTURES AND ELECTRICAL SERVICES.
  48. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY PROTECTION FOR EXISTING WATER AND SEWER LINES.
  49. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY PROTECTION FOR EXISTING GAS LINES.
  50. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY PROTECTION FOR EXISTING TELEPHONE AND CABLE LINES.

**PLANT LIST**

QTY.	ABRV.	BOTANICAL NAME	SIZE
2	177	Princeton Juniper	6
8	178	Female Tree	6
3	179	Female Tree	6
9	180	Female Tree	6
1	181	Female Tree	6
1	182	Female Tree	6
1	183	Female Tree	6
1	184	Female Tree	6
1	185	Female Tree	6
1	186	Female Tree	6
1	187	Female Tree	6
1	188	Female Tree	6
1	189	Female Tree	6
1	190	Female Tree	6
1	191	Female Tree	6
1	192	Female Tree	6
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1	294	Female Tree	6
1	295	Female Tree	6
1	296	Female Tree	6
1	297	Female Tree	6
1	298	Female Tree	6
1	299	Female Tree	6
1	300	Female Tree	6



**LANDSCAPE PLAN**

KENNETH M. PRICE, P.E.  
 LANDSCAPE ARCHITECT  
 1500 W. 35TH ST. #100  
 CHICAGO, IL 60612  
 (773) 376-1100  
 WWW.KMPRICE.COM

**SHRUB PLANTING DETAIL**  
 NOT TO SCALE. USE ONLY ONE HURDY PLANT MATERIAL.

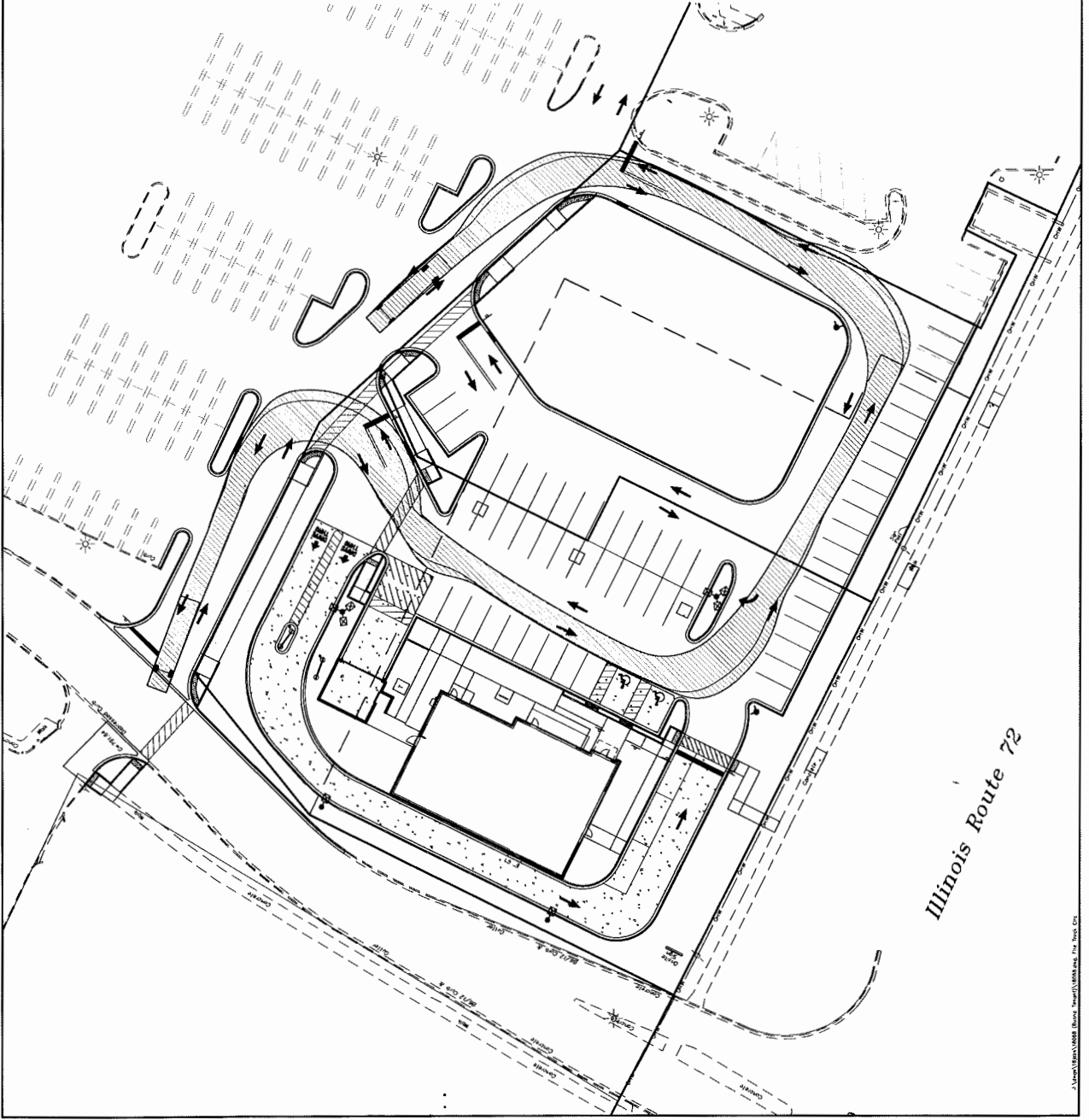
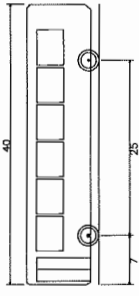
**TREE PLANTING DETAIL**  
 NOT TO SCALE. USE ONLY ONE HURDY PLANT MATERIAL.



**FIRE TRUCK CIRCULATION PLAN**



- CITY-BUS - City Transit Bus
- Overall Length 40,000ft
- Overall Width 8,500ft
- Overall Body Height 10,728ft
- Min Body Ground Clearance 1,156ft
- Track Width 8,500ft
- Lock-to-lock time 5,008
- Curb to Curb turning Radius 42,000ft

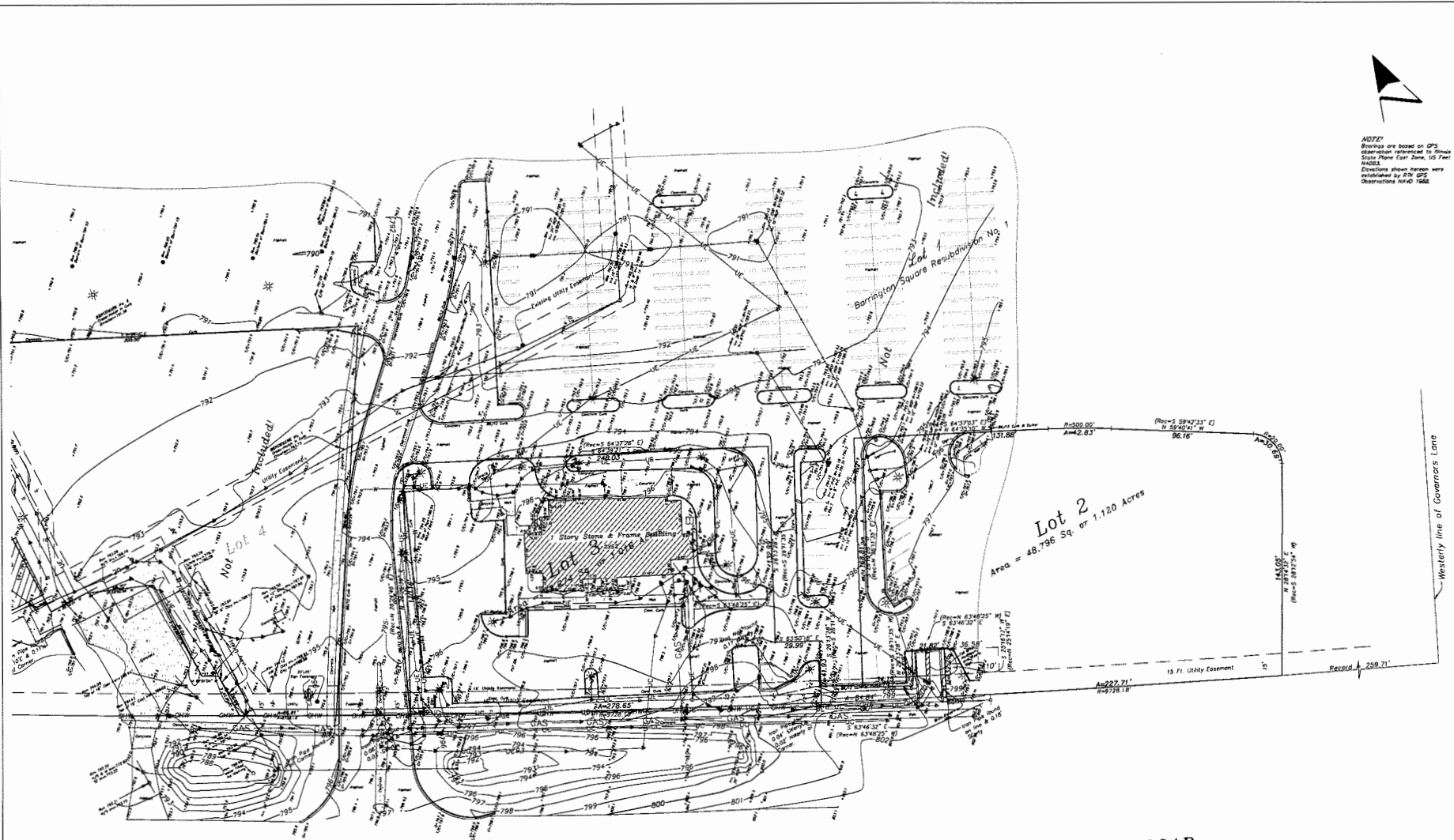


Illinois Route 72

Autodesk® AutoCAD®, Microsoft® Word®, Adobe® Photoshop® are the Property of their respective owners.



AD721  
 Readings are based on GPS  
 observation referenced to Illinois  
 State Plane East Zone, US Feet  
 NAD83.  
 Elevations shown herein were  
 determined by RTK GPS  
 Observations NAD 1983.



HIGGINS

Asphalt  
 Illinois Route 72

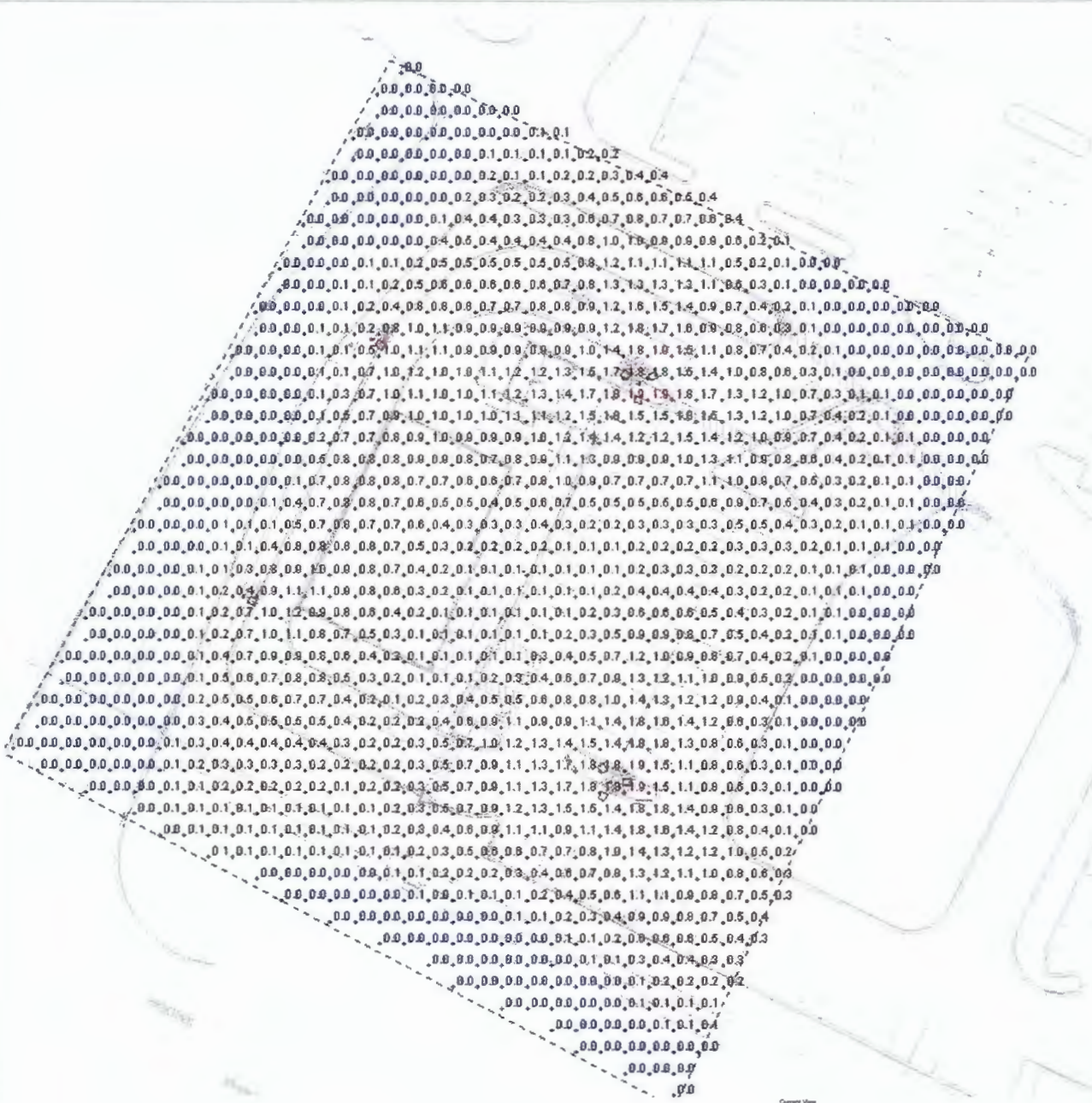
ROAD

<b>Composite Drawing</b>	
Barrington Square Resubdivision No. 2	
HOFFMAN ESTATES ILLINOIS	
FOR: Watermark Engineering Resources, Ltd. DATE: 8/14/2018	
<b>SURVEY SYSTEMS OF AMERICA, INC.</b>	
Subdivision, Land & Construction Surveys	P.O. BOX 6174 ELGIN, ILLINOIS 60121-6174 PHONE: (815) 438-3775
SCALE: 1" = 30 FT	DATE: 8/14/2018
BY: [Signature]	CHECKED: [Signature]
DRAWN: [Signature]	DATE: 8/14/2018

Elevation reference added and  
 Drawing last revised: 9/21/2018

11/15/18 2:41 PM  
 © 2018 - SURVEY SYSTEMS OF AMERICA, INC.

# PHOTOMETRIC PLAN



Symbol	Label	City	Fixture Name	Description	Units	Height	Beam	LP	Notes
⊙	B		REAR LIGHT FIXTURE	REAR LIGHT FIXTURE ON EXTERIOR WALL	LED	1	60°	1.0	SEE IT
⊙	B		REAR LIGHT FIXTURE	REAR LIGHT FIXTURE ON EXTERIOR WALL	LED	1	60°	1.0	SEE IT
⊙	C		REAR LIGHT FIXTURE	REAR LIGHT FIXTURE ON EXTERIOR WALL	LED	1	60°	1.0	SEE IT

Dimension	Value	Unit	Min	Max	Avg
Footcandle	0.00	fc	0.00	0.00	0.00



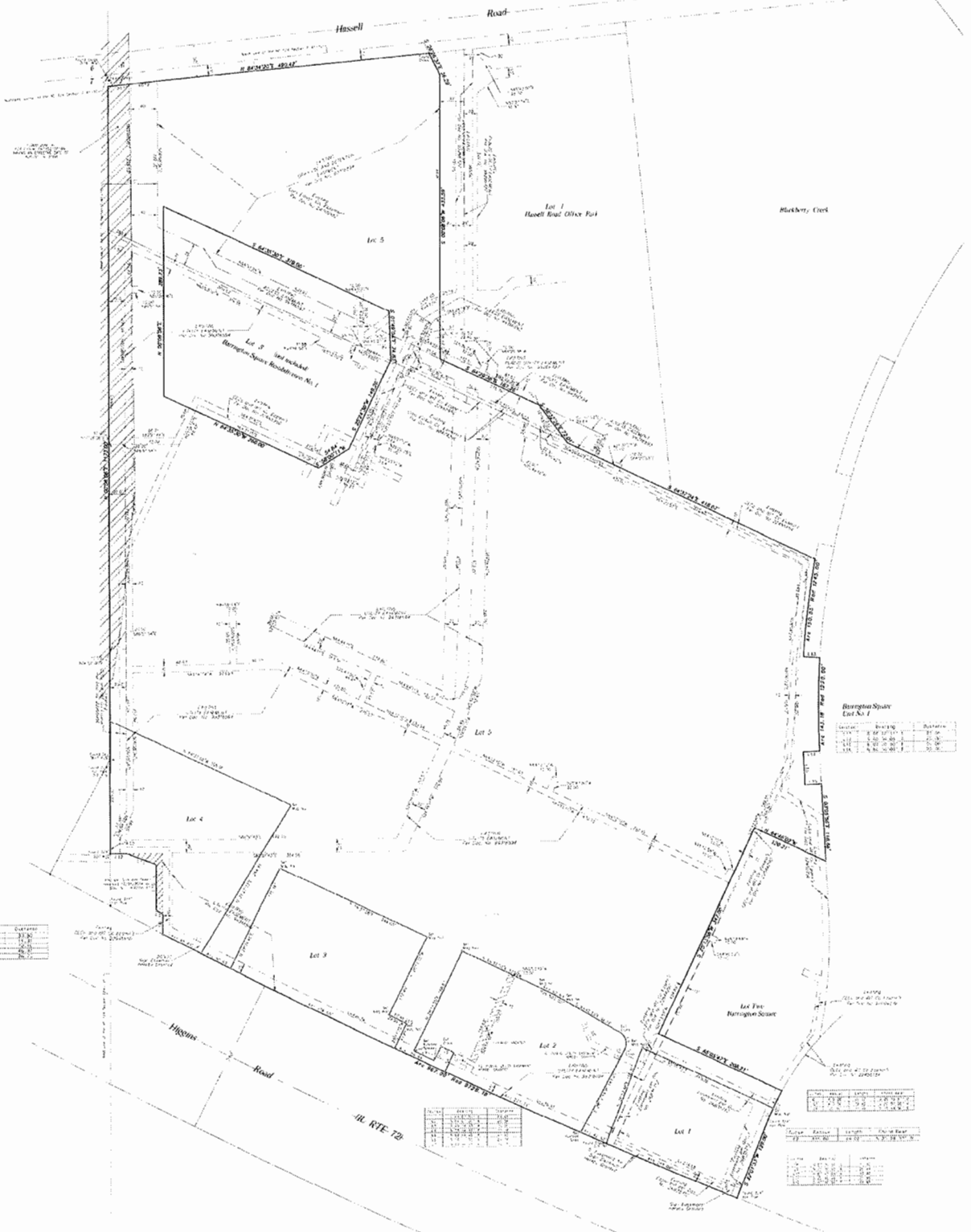
BUONAI - HOFFMAN ESTATES

Designer  
 Date  
 Project  
 Rev to Scale  
 Drawing No.  
 Summary

Final Plan of Subdivision  
Barrington Square Resubdivision No. 2

BOOK 288, PART 1 OF 1, 4th EDITION  
SOUTH CAROLINA RECORDS, IN THE 2d DEPT. OF LAND  
AND WATER CONTROL, CHAS. COUNTY, S.C.  
DATE: APRIL 22, 1970, BY THE REGISTER  
ANDREW W. WOODS, FOR 459086, 459225

Legend  
 --- Property Lines  
 --- Easements  
 --- Utility Lines  
 --- Survey Lines



Lot	Area	Volume	Quarters
1	1.23	1.23	1.23
2	1.23	1.23	1.23
3	1.23	1.23	1.23
4	1.23	1.23	1.23
5	1.23	1.23	1.23

Area	Volume	Quarters
1.23	1.23	1.23
1.23	1.23	1.23
1.23	1.23	1.23

Area	Volume	Quarters
1.23	1.23	1.23
1.23	1.23	1.23
1.23	1.23	1.23

Area	Volume	Quarters
1.23	1.23	1.23
1.23	1.23	1.23
1.23	1.23	1.23

3-14-1970  
 20' Lot 123-248-250  
 20' Highways  
 1' 248 7530

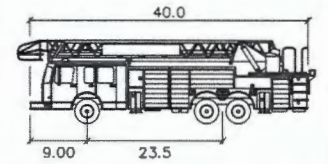




# PHASE 1



**GENERAL NOTES:**  
 1. THESE PLANS ARE BASED ON THE TOPOGRAPHIC SURVEY (SURVEY PROJECT #183-2349.3 DATED 07/30/18) PREPARED BY: SURVEY SYSTEMS OF AMERICA P.O. BOX 6174, ELGIN, IL 60121-0174 (847) 426-5775  
 2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.



**B-40 FIRE TRUCK** feet  
 Width : 8.00  
 Track : 7.00  
 Lock to Lock Time : 6.0  
 Steering Angle : 32.0



**CIRCULATION EXHIBIT  
 PHASE I**

DATE	12/15/18
BY	D.O.
REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR PERMIT

Prepared For:  
**J & P Properties, LLC**  
 6801 West Roosevelt Road  
 Berwyn, IL, 60402  
**BUONA BEEF RESTAURANT**  
 2452 West Higgins Road  
 Hoffman Estates, Illinois

Prepared By:  
**Watermark Engineering Resources, Inc.**  
 1811 S. 1st St.  
 Suite 200  
 Normal, IL 61764  
 Phone: 815.251.1800 Fax: 815.251.1800  
 www.watermark-engineering.com

CHECKED BY: J. MILLER  
 DESIGN BY: M. HANSEN  
 DRAWN BY: D. OLSON  
 DATE: DECEMBER 15, 2018  
 SCALE: 1" = 30'  
 PROJECT NO.: 18-068





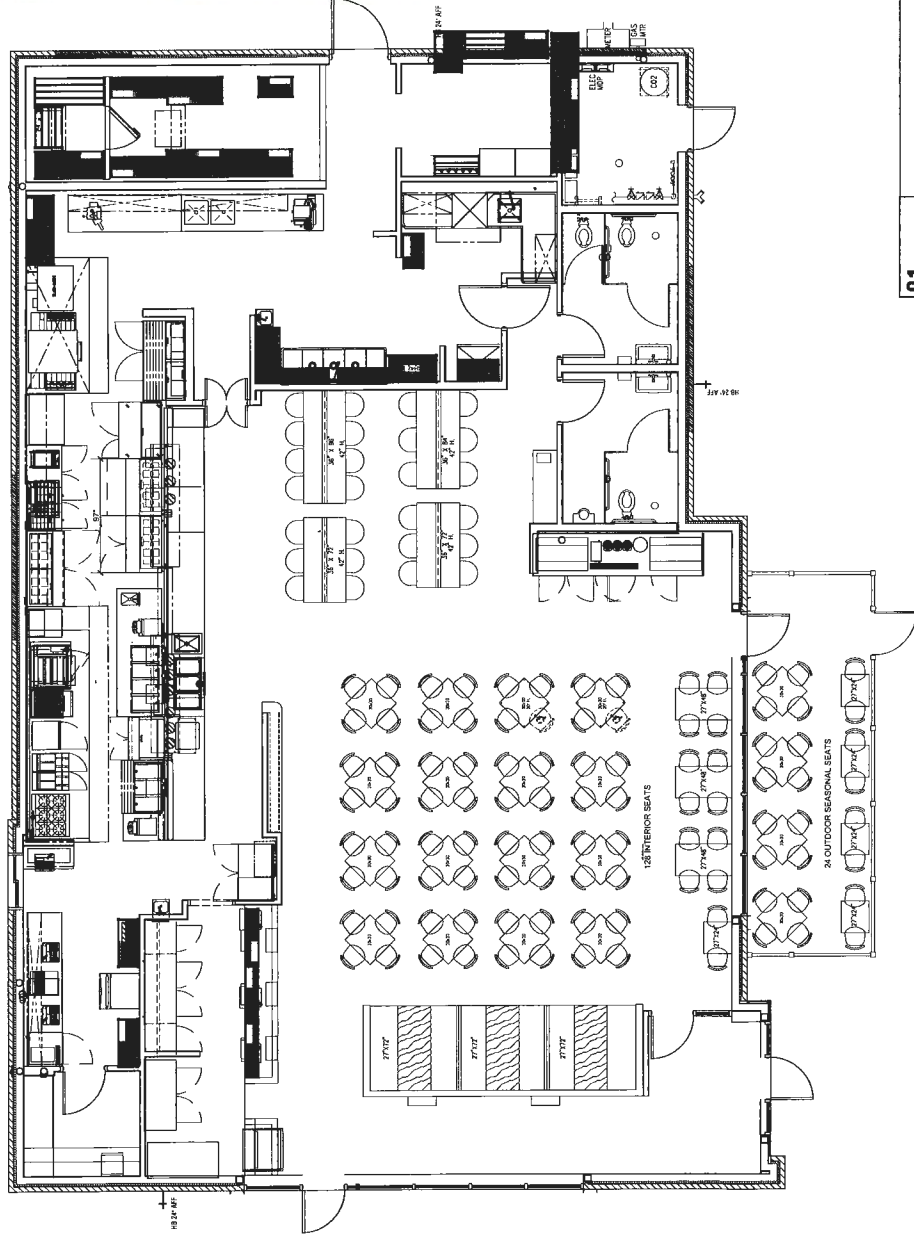










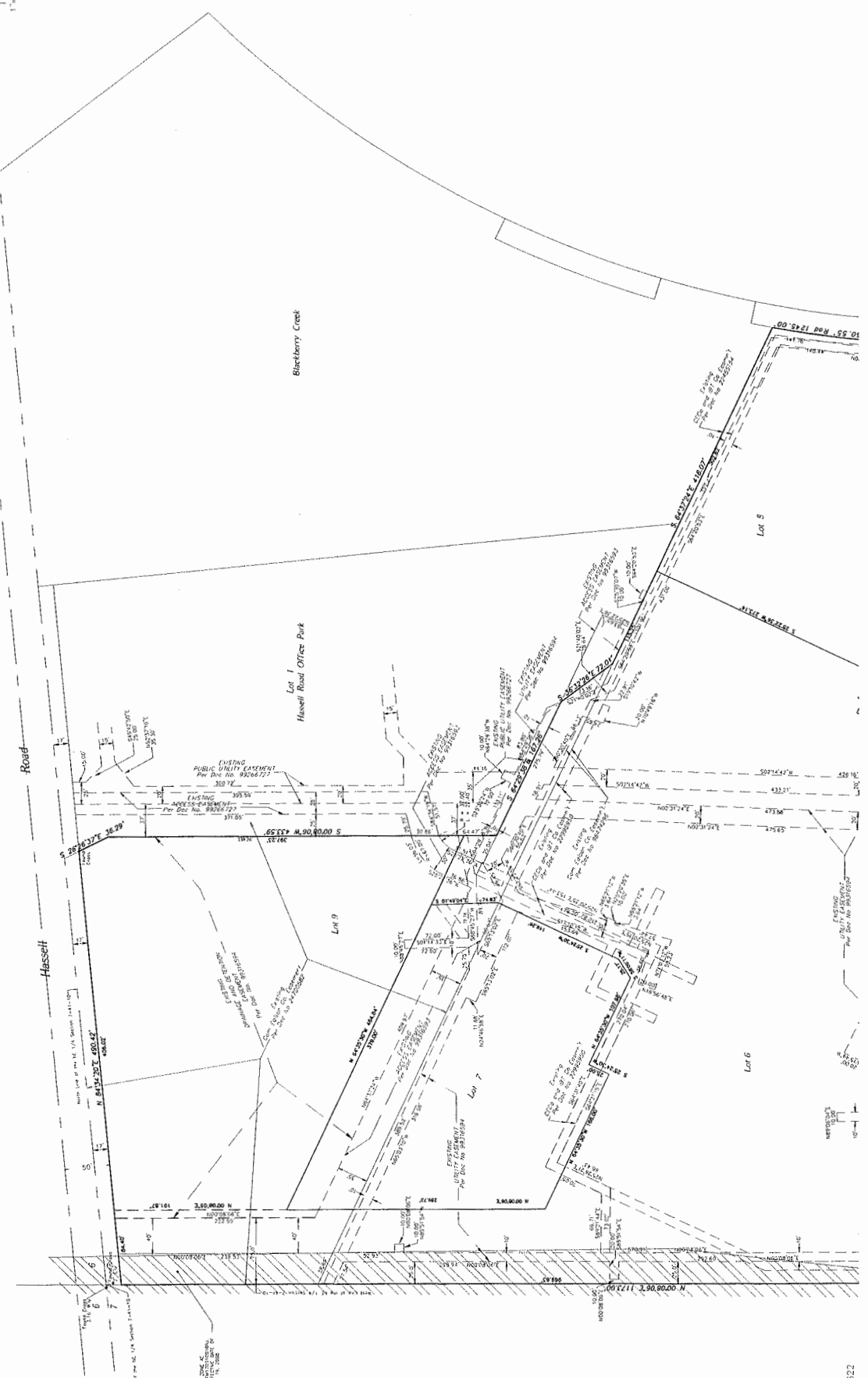


**01** FLOOR PLAN  
 SCALE: 1/8" = 1'-0"  
 PLAN NORTH

**Barrington Square Resubdivision No. 3**

Final Plat of Subdivision

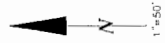
RESUBDIVISION OF LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9 AND 10 OF BARRINGTON SQUARE RESUBDIVISION NO. 2 AND LOT 1 IN BARRINGTON SQUARE RESUBDIVISION NO. 1, ALL IN BARRINGTON SQUARE RESUBDIVISION NO. 1, EAST OF PART OF THE NORTHWEST QUARTER AND PART OF THE NORTHWEST QUARTER OF SECTION 16, T34N, R10E, COOK COUNTY, ILLINOIS.



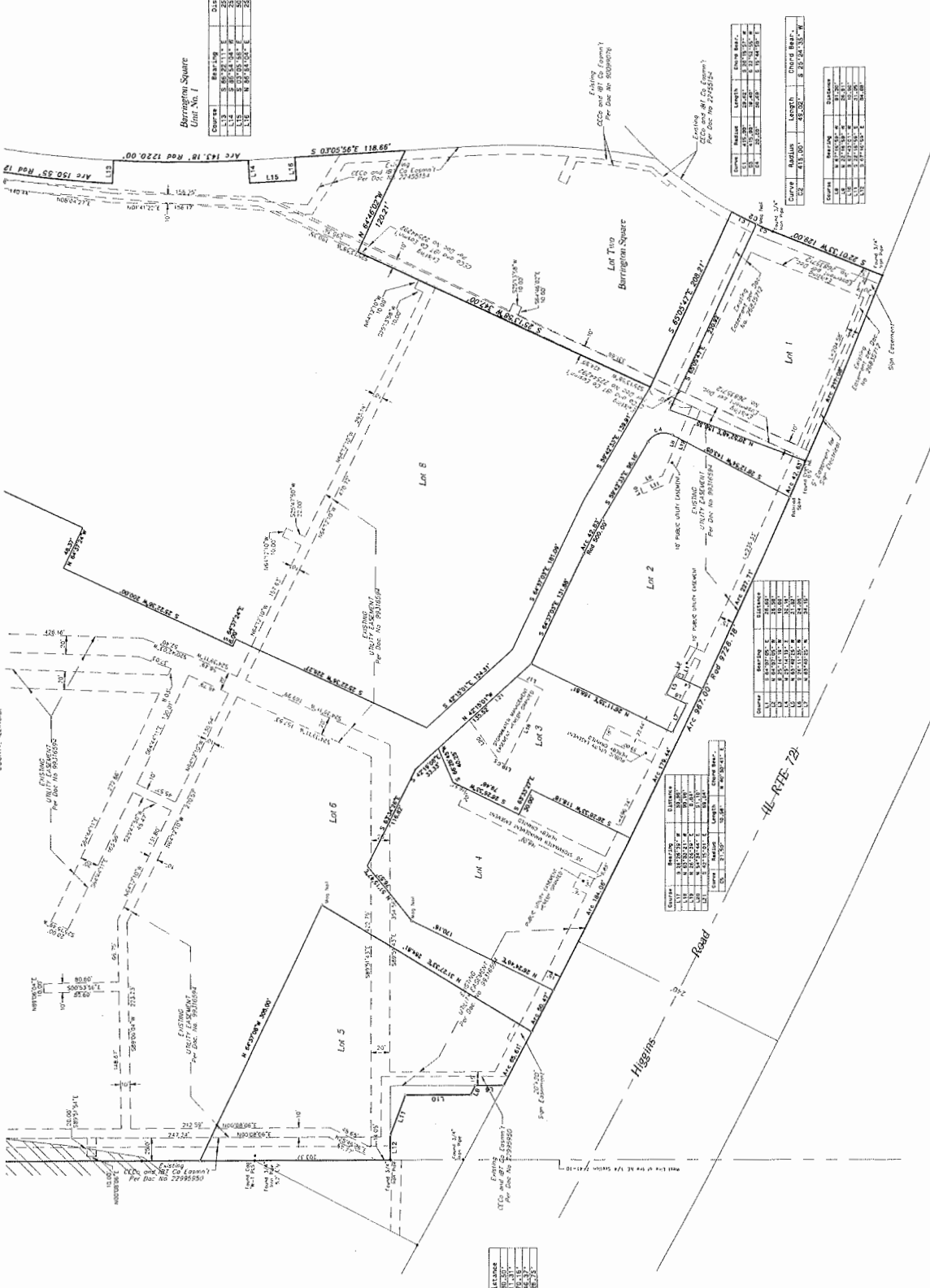
**LEGEND**  
 --- Boundary of interests  
 --- Easement  
 --- Lot Line  
 • Lot Area

JADE SURVEYORS LLC  
 License No. 184,006822  
 2000 North 10th Street  
 Chicago, IL 60641  
 (773) 986-7330

CLIENT: Conus Development Corp



**Final Plat of Subdivision**  
**Barrington Square Resubdivision No. 3**  
 BARRINGTON SQUARE RESUBDIVISION NO. 3 AND  
 BARRINGTON SQUARE RESUBDIVISION NO. 2 AND  
 BARRINGTON SQUARE RESUBDIVISION NO. 1, IN THE  
 CITY OF BARRINGTON, ILLINOIS, BEING PART OF  
 LOT 1 IN THE VILLAGE OF WASHINGTON, ILLINOIS,  
 AND OF PART OF THE NORTHWEST QUARTER,  
 SECTION 16, TOWNSHIP 38 NORTH, RANGE 10 EAST,  
 COUNTY OF DEKALB, ILLINOIS.



**Barrington Square**  
Unit No. 1

Course	Bearing	Distance
L1	S 89°22'11.71" E	25.00'
L2	S 89°22'11.71" E	25.00'
L3	S 89°22'11.71" E	25.00'
L4	S 89°22'11.71" E	25.00'
L5	S 89°22'11.71" E	25.00'
L6	N 89°22'11.71" E	25.00'

Course	Bearing	Distance
L1	S 89°22'11.71" E	25.00'
L2	S 89°22'11.71" E	25.00'
L3	S 89°22'11.71" E	25.00'
L4	S 89°22'11.71" E	25.00'
L5	S 89°22'11.71" E	25.00'
L6	N 89°22'11.71" E	25.00'

Course	Bearing	Distance
L1	S 89°22'11.71" E	25.00'
L2	S 89°22'11.71" E	25.00'
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L6	N 89°22'11.71" E	25.00'

LADE SURVEYORS, LLC  
 License No. 184-006622  
 304 Orchard Ave.  
 Chicago, IL 60604  
 (630) 966-7230



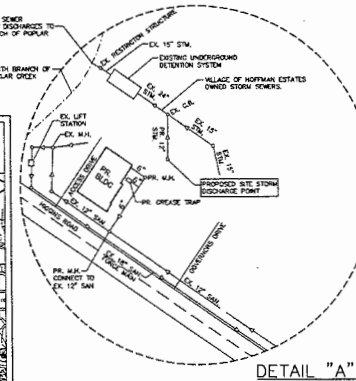
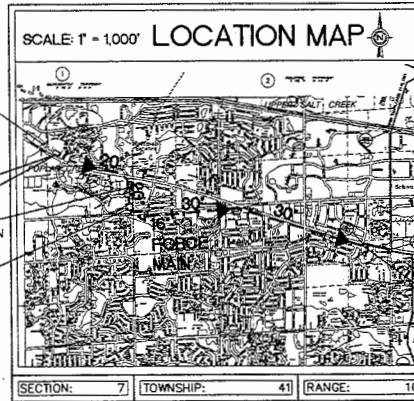


# FINAL ENGINEERING PLANS FOR BUONA BEEF RESTAURANT

AT  
2370 WEST HIGGINS ROAD  
VILLAGE OF HOFFMAN ESTATES  
COOK COUNTY, ILLINOIS

INDEX		REVISIONS						
CIVIL ENGINEERING PLANS		1	2	3	4	5	6	7
C-1	COVER SHEET	X	X	X				
C-11	DEMOLITION PLAN	X						
C-2	GEOMETRIC PLAN	X	X	X				
C-3	GRADING PLAN	X	X	X				
C-4	ACCESSIBLE ROUTE AND GRADES	X	X	X				
C-41	ACCESSIBLE ROUTE DETAILS AND NOTES		X	X				
C-42	ACCESSIBLE ROUTE RAMP CROSS SECTIONS		X	X				
C-5	UTILITY PLAN	X	X	X				
C-6	PHASE 1 SOIL EROSION CONTROL PLAN							
C-7	PHASE 2 SOIL EROSION CONTROL PLAN							
C-8	SOIL EROSION CONTROL DETAILS AND SPECS							
C-9	PROJECT DETAILS #1	X						
C-10	PROJECT DETAILS #2	X						
C-11	PROJECT DETAILS AND SPECIFICATIONS							
C-12	M.W.R.D. PROJECT SPECIFICATIONS							
SUPPORTING DOCUMENTS		REVISIONS						
		1	2	3	4	5	6	7
1 of 1	TOPOGRAPHIC SURVEY							
L-1	LANDSCAPE PLAN	X	X					
1 of 1	FIRE TRUCK CIRCULATION PLAN							
1 of 1	PHOTOMETRIC PLAN							

NOTE: THE DESIGN CONTAINED IN THE ABOVE PLANS AND SUPPORTING DOCUMENTS WERE PREPARED WITH THE UNDERSTANDING THAT THEY WOULD BE USED AS A WHOLE PLAN SET. EACH CONSTRUCTION DISCIPLINE IS TO USE ALL THE PLANS AND SUPPORTING DOCUMENTS TOGETHER AS A WHOLE AND NOT AS SEPARATE DOCUMENTS. EACH CONSTRUCTION IS TO BECOME COMPLETELY FAMILIAR WITH THE WHOLE PLAN SET AND THE EXISTING SITE CONDITIONS. SHOULD ANYTHING WITH ALL THESE PLANS AND SUPPORTING DOCUMENTS BE INCONSISTENT WITH THE SITE CONDITIONS, THEN THE CONTRACTOR IS TO CONTACT THE ENGINEER IMMEDIATELY BEFORE ANY CONSTRUCTION IS STARTED.



LEGEND		
EXISTING	DESCRIPTION	PROPOSED
Ø	CATCH BASIN	Ø
Ø	INLET	Ø
Ø	STORM MANHOLE	Ø
Ø	SANITARY MANHOLE	Ø
Ø	WALK VENTS	Ø
Ø	FREE FLOWING	Ø
Ø	FLARED END SECTION	Ø
Ø	ELECTRICAL POWER HOLE	Ø
Ø	TRAFFIC SIGNAL MANHOLE	Ø
Ø	OVERHEAD ELECTRICAL WIRING	Ø
Ø	TRANSFORMER PAD	Ø
Ø	TELEPHONE HOISTAL	Ø
Ø	TELEPHONE MANHOLE	Ø
Ø	CABLE TELEVISION FIBER OPTICAL	Ø
Ø	COMMONWEALTH EDISON MANHOLE	Ø
Ø	STORM	Ø
Ø	LIGHT POLE	Ø
Ø	BIOLAND POLE	Ø
Ø	GAS MARKER	Ø
Ø	ELECTRIC MARKER	Ø
Ø	TELEPHONE MARKER	Ø
Ø	WATER MARK	Ø
Ø	GAS MAIN	Ø
Ø	ELECTRIC LINE	Ø
Ø	TELEPHONE LINE	Ø
Ø	CABLE TV LINE	Ø
Ø	SANITARY SEWER	Ø
Ø	STORM SEWER	Ø
Ø	STAY-IN PLACE	Ø
Ø	CONCRETE TREE W/BRACKET	Ø
Ø	DESIGNATED TREE W/BRACKET	Ø
Ø	WOOD FENCE	Ø
Ø	CHAIN LINK FENCE	Ø
Ø	METAL GUARDRAIL	Ø
Ø	CONCRETE SURFACE	Ø
Ø	CONTOUR LINE	Ø
Ø	FINISHED FLOOR ELEVATION	Ø
Ø	PAVEMENT ELEVATION	Ø
Ø	WATER EXISTING ELEVATION	Ø
Ø	GROUND ELEVATION	Ø
Ø	TOP OF WALK ELEVATION	Ø
Ø	TOP OF RETAINING WALL ELEVATION	Ø
Ø	FLOW LINE ELEVATION	Ø
Ø	TOP OF CURB ELEVATION	Ø
Ø	SEA ELEVATION	Ø
Ø	COMPONENT LOCATION	Ø
Ø	POTENTIAL AREA SLOPE DIRECTION	Ø
Ø	PAVEMENT SLOPE DIRECTION	Ø
Ø	OVERLAND OVERFLOW DIRECTION	Ø
Ø	INLET PROTECTION	Ø
Ø	INLET BASKET FILTER	Ø

DETAIL "A"  
SITE LOCATION  
SANITARY SEWER VILLAGE OF HOFFMAN ESTATES OWNED  
EX. LIFT STATION

BENCHMARK	
<b>REFERENCE BENCHMARK</b>	
BEARINGS ARE BASED ON GPS OBSERVATION REFERENCED TO ILLINOIS STATE PLANE EAST ZONE, US FEET NAD83. ELEVATIONS SHOWN HEREON WERE ESTABLISHED BY RTK GPS OBSERVATIONS NAVD 1988.	
<b>SITE BENCHMARK</b>	
1. CROSS NOTCH IN SIDEWALK.	ELEVATION = 793.75
2. CROSS NOTCH IN CURB.	ELEVATION = 791.39

ACCORDING TO FLOOD INSURANCE RATE MAP #17031C0167J, NO FLOODPLAIN OR FLOODWAY IS LOCATED ON OR WITHIN 100 FEET OF THIS DEVELOPMENT.



STATE OF ILLINOIS 05  
COUNTY OF KANE

I, JEFFREY C. MILLER, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THESE CIVIL ENGINEERING PLANS, WITH THE SUPPORTING DOCUMENTS, AS LISTED IN THE BACK, HAVE BEEN PREPARED BY WATERMARK ENGINEERING RESOURCES LTD. UNDER MY PERSONAL SUPERVISION. THESE PLANS ARE INTENDED TO BE USED AS AN INTEGRAL PART OF THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

I, JEFFREY C. MILLER, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DISCHARGE OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJACENT PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATE: 1/26/19

ILLINOIS PROFESSIONAL ENGINEER NO. 02-048688  
MY LICENSE EXPIRES ON 11-30-16.

UNLESS THIS DOCUMENT BEARS ORIGINAL SIGNATURE AND EMBOSSED SEAL OF THE DESIGN ENGINEER, IT IS NOT A VALID DOCUMENT.

ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 194-002880

Prepared For:

J & P Properties, LLC  
6801 West Roosevelt Road  
Berwyn, IL, 60402  
BUONA BEEF RESTAURANT  
2352 West Higgins Road  
Hoffman Estates, Illinois

Prepared By:

Watermark Engineering Resources, Ltd.  
1881 Chicago  
Chicago, IL 60612  
Phone: (312) 511-1000 Fax: (312) 511-1000  
www.watermark-engineering.com

CHECKED BY: JAMLER  
DRAWN BY: D.O.SON  
DATE: SEPT. 20, 2016  
SCALE: NONE  
PROJECT NO.: 18-089



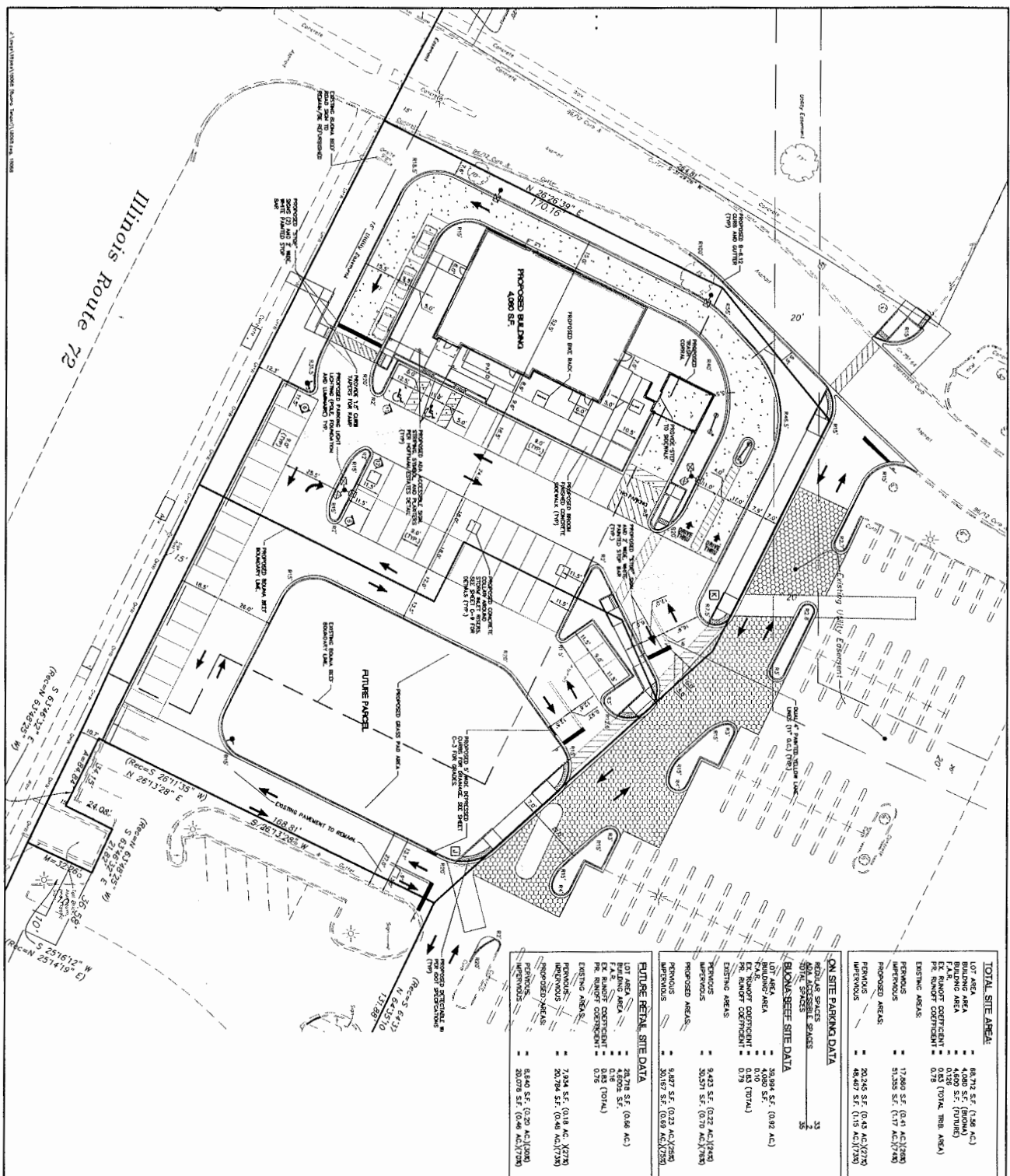
© 2009 US Dept of Commerce (Revised) Temp 01/08/04, Rev. 1/08/09

COVER SHEET

C-1

COVER SHEET





TOTAL SITE AREA	
LOT AREA	66,712 SF. (1.56 AC.)
BUILDING AREA	4,000 SF. (0.091 AC.)
P.A.R. AREA	1,029 SF. (0.023 AC.)
EX. RUNOFF COEFFICIENT	0.53 (TOTAL TRB. AREA)
EXISTING AREAS	0.19
PROPOSED AREAS	11,260 SF. (0.25 AC.) (2,040 P.A.R. AREA)
PROPOSED AREAS	51,320 SF. (1.17 AC.) (700 P.A.R. AREA)
PROPOSED AREAS	20,245 SF. (0.45 AC.) (270 P.A.R. AREA)
PROPOSED AREAS	48,877 SF. (1.11 AC.) (730 P.A.R. AREA)

ON-SITE PARKING DATA	
PROPOSED SPACES	33
EXISTING SPACES	35
BUONA-BEEF SITE DATA	
LOT AREA	35,994 SF. (0.82 AC.)
BUILDING AREA	4,000 SF.
EX. RUNOFF COEFFICIENT	0.53 (TOTAL TRB. AREA)
PROPOSED AREAS	0.73
PROPOSED AREAS	9,433 SF. (0.21 AC.) (1,240 P.A.R. AREA)
PROPOSED AREAS	30,571 SF. (0.70 AC.) (730 P.A.R. AREA)
PROPOSED AREAS	9,827 SF. (0.23 AC.) (1,240 P.A.R. AREA)
PROPOSED AREAS	30,047 SF. (0.69 AC.) (730 P.A.R. AREA)

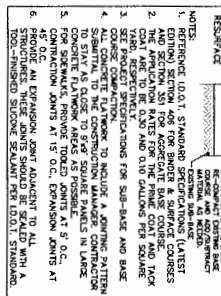
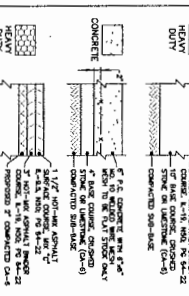
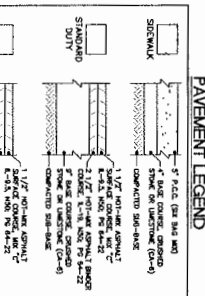
FLUME RETAIL SITE DATA	
LOT AREA	24,718 SF. (0.56 AC.)
BUILDING AREA	7,324 SF. (0.18 AC.) (1,270 P.A.R. AREA)
EX. RUNOFF COEFFICIENT	0.18
PROPOSED AREAS	0.19
PROPOSED AREAS	7,324 SF. (0.18 AC.) (1,270 P.A.R. AREA)
PROPOSED AREAS	20,794 SF. (0.48 AC.) (730 P.A.R. AREA)
PROPOSED AREAS	5,440 SF. (0.12 AC.) (1,240 P.A.R. AREA)
PROPOSED AREAS	20,076 SF. (0.46 AC.) (730 P.A.R. AREA)

**NOTES:**

1. THESE PLANS ARE BASED ON THE TOPOGRAPHIC SURVEY (SHAW) PROJECT #183-23833 DATED 07/29/18.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

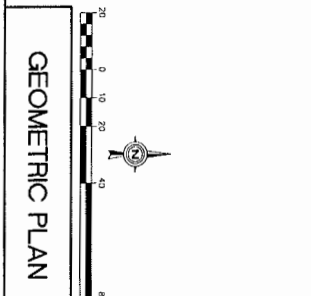
**CONSTRUCTION NOTES:**

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.



**DIMENSION LEGEND**

F	FACE	ENG	ENGINEER
FD	FOUNDATION	B	BACK
B	BACK	C	CENTER
E	EDGE	PL	PROPERTY LINE

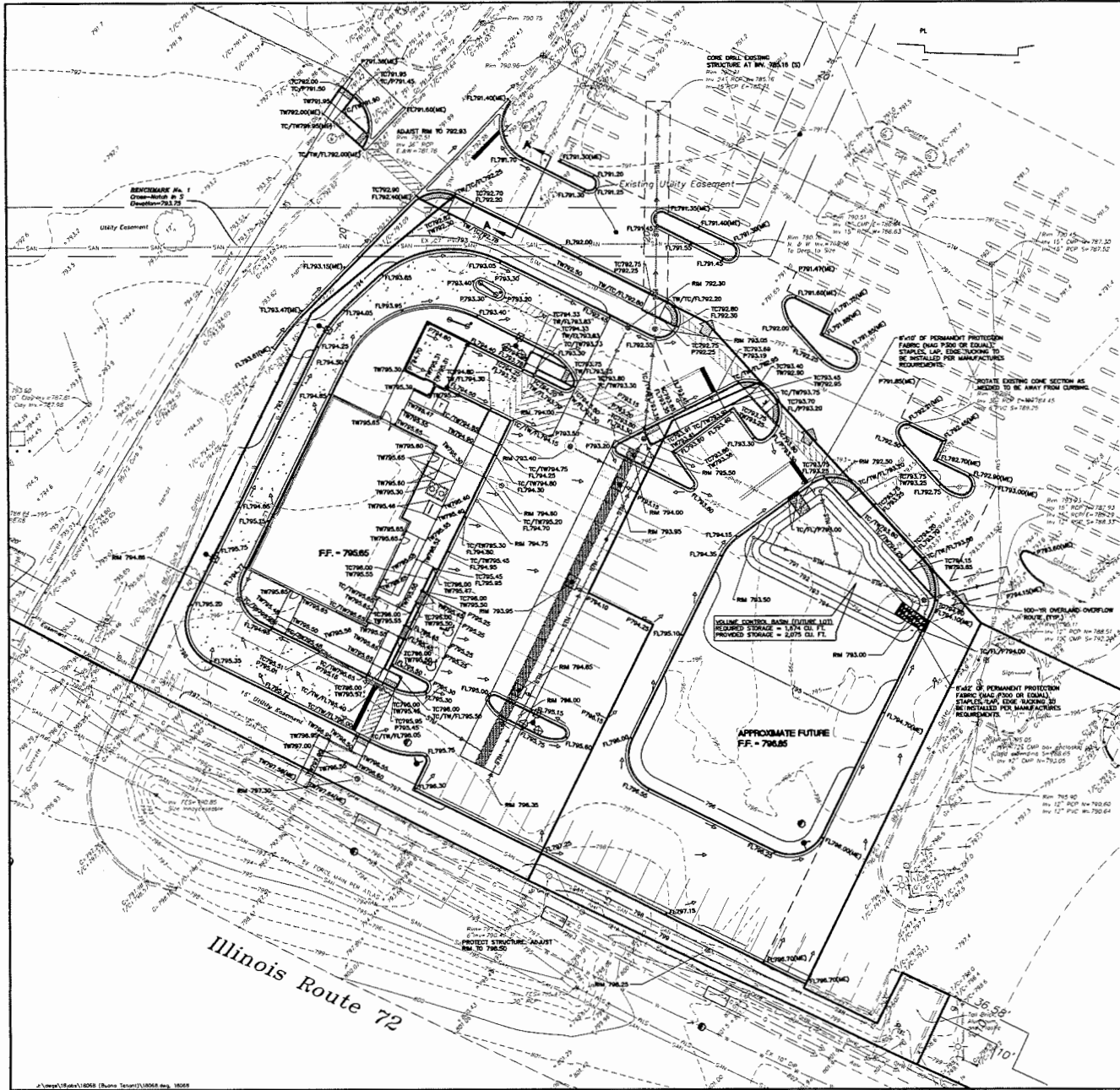


Checked by: J. MILLER  
 Design by: M. HANSEN  
 Drawn by: D. OLSON  
 Date: SEPT. 28, 2018  
 Scale: 1" = 20'  
 Project No.: 18-088

**Watermark Engineering**  
 RESOURCES, LTD.  
 2831 Gilmer Woods Parkway, Suite 100, Aurora, IL 60502  
 Phone: 630-375-1800 Fax: 630-375-8800 www.watermark-engineering.com

Prepared by:  
 J & P Properties, LLC  
 6801 West Roosevelt Road  
 Berwyn, IL, 60402  
**BUONA BEEF RESTAURANT**  
 2352 West Higgins Road  
 Hoffman Estates, Illinois

NO.	REVISION	DATE
1	PER RELEASE REVIEW	11/07/18
2	PER RELEASE REVIEW	11/07/18
3	PER RELEASE REVIEW	1/28/19

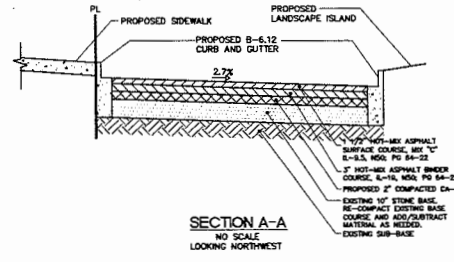


**GENERAL NOTES:**  
 1. THESE PLANS ARE BASED ON THE TOPOGRAPHIC SURVEY (SURVEY PROJECT #183-2349.3 DATED 07/30/10) PREPARED BY: SURVEY SYSTEMS OF AMERICA P.O. BOX 6174, ELGIN, IL 60121-6174 (847) 428-5775  
 2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

**REFERENCE BENCHMARK:**  
 READINGS ARE BASED ON GPS OBSERVATION REFERENCED TO ILLINOIS STATE PLANS EAST ZONE. US FEET HAZED. ELEVATIONS SHOWN HEREON WERE ESTABLISHED BY RTK GPS. OBSERVATIONS MAID 1986.

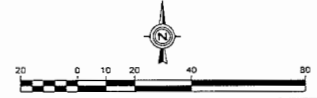
**SITE BENCHMARKS:**  
 1. CROSS-NOTCH IN SIDEWALK. ELEVATION = 793.75  
 2. CROSS-NOTCH IN CURB. ELEVATION = 791.39

**GRADING PLAN NOTES:**  
 1. UNLESS OTHERWISE SPECIFIED, TOP OF CURB (TC) AND/OR TOP OF WALK ELEVATIONS ARE 0.5' HIGHER THAN THE ADJACENT FLOW LINE (FL) OR PAVEMENT (P) ELEVATIONS.  
 2. IN ALL LOCATIONS WHERE ELEVATIONS ARE SHOWN AS I, THE ELEVATION HAS BEEN DETERMINED BASED ON INTERPOLATED GRADES FROM THE SURVEY. CONTRACTOR IS TO VERIFY THESE GRADES PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS WITHIN THE PROBABLY SHOWN AREAS. INTERPOLATED GRADES AND REPORT THEM TO THE DESIGN ENGINEER FOR VERIFICATION OF PROPOSED SLOPES PRIOR TO INSTALLATION OF PROPOSED IMPROVEMENTS. DESIGN ENGINEER IS NOT RESPONSIBLE FOR SLOPES OF PROPOSED IMPROVEMENTS BASED ON THESE GRADES WITHOUT CONFIRMATION OF EXISTING ELEVATIONS AT TIME OF CONSTRUCTION.  
 3. PAVING, SIDEWALK, AND CURBING IS NOT TO BE INSTALLED IN SUCH A WAY THAT IT WILL BLOCK THE FLOW OF WATER AWAY FROM THE BUILDING INCLUDING BUT NOT LIMITED TO WEEP HOLES, WORKS, DRAINAGE SCOURERS OR PIPES, AND LANDSCAPING.



SEE SHEET C-10 FOR VOLUME CONTROL CALCULATIONS FOR BOTH THE BUONA BEEF AND FUTURE PARCEL.

— A.D.A. ACCESSIBLE ROUTE. SEE SHEETS C-4 AND C-41 FOR DETAILS



**GRADING PLAN**

DATE	1/20/19
REVISION	
BY	MR. WALTER
CHECKED	

Prepared For:  
 J & P Properties, LLC  
 6801 West Roosevelt Road  
 Berwyn, IL 60402  
**BUONA BEEF RESTAURANT**  
 2352 West Higgins Road  
 Hoffman Estates, Illinois

Prepared By:

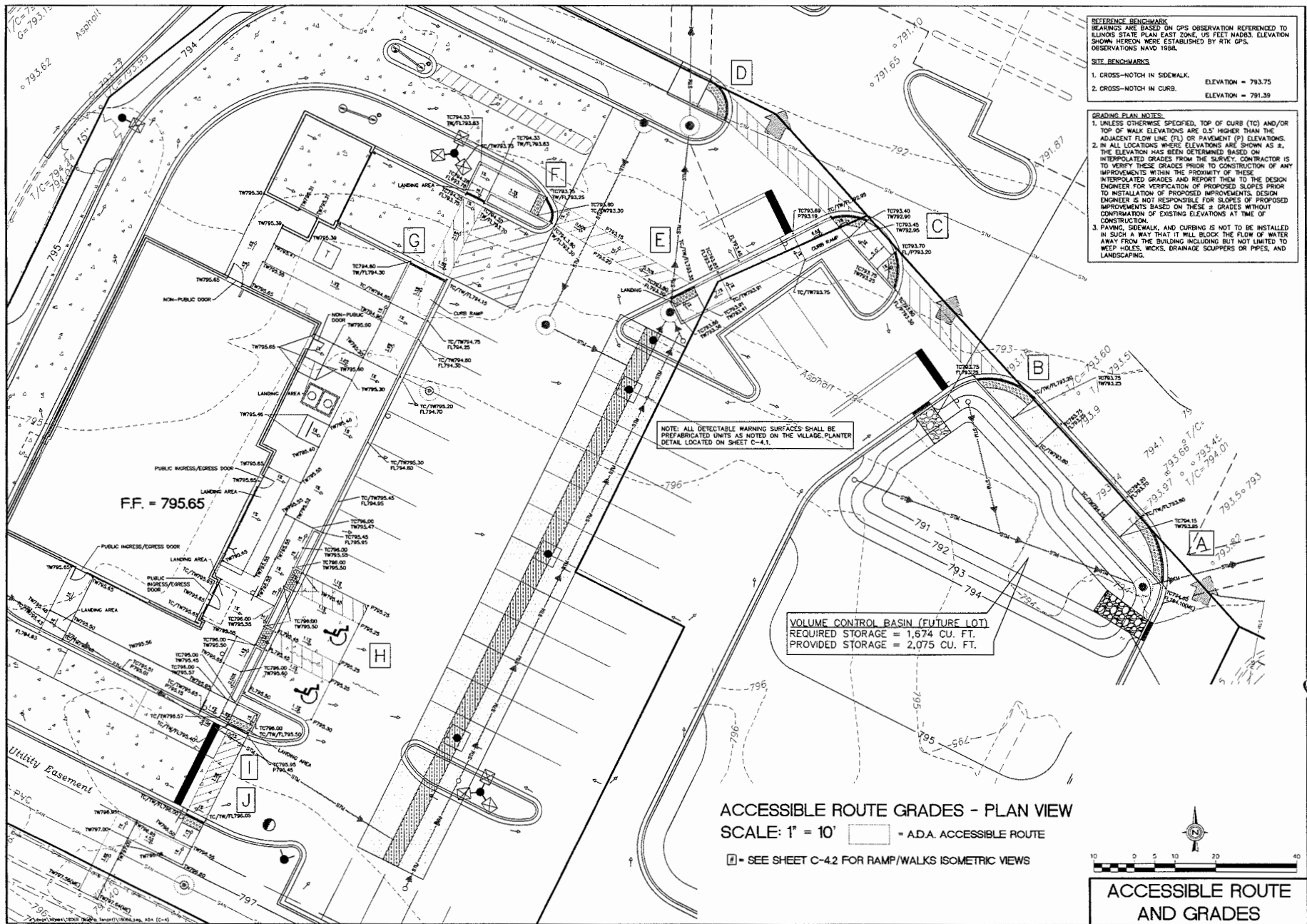
**Waltermark**  
 Engineering  
 & Resources, LLC  
 1411 Elm Street, Suite 100  
 Berwyn, IL 60402  
 Phone: (630) 331-3800 Fax: (630) 331-3800  
 www.waltermark-engineering.com

CHECKED BY: WALTER  
 DESIGN BY: WALTER  
 DRAWN BY: D. OLSON  
 DATE: SEPT. 26, 2018  
 SCALE: 1" = 20'  
 PROJECT NO.: 18-108

**C-3**

GRADING PLAN



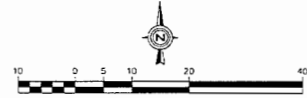


- REFERENCE BENCHMARK**  
 MEASUREMENTS ARE BASED ON GPS OBSERVATION REFERENCED TO ILLINOIS STATE PLAN EAST ZONE, US FEET NAD83. ELEVATION SHOWN HEREIN WERE ESTABLISHED BY RTK GPS. OBSERVATIONS MADE 10/6/18.
- SITE BENCHMARKS**
- CROSS-NOTCH IN SIDEWALK. ELEVATION = 793.75
  - CROSS-NOTCH IN CURB. ELEVATION = 791.39
- GRADING PLAN NOTES**
- UNLESS OTHERWISE SPECIFIED, TOP OF CURB (TC) AND/OR TOP OF WALK ELEVATIONS ARE 0.5' HIGHER THAN THE ADJACENT FLOW LINE (FL) OR PAVEMENT (P) ELEVATIONS.
  - IN ALL LOCATIONS WHERE ELEVATIONS ARE SHOWN AS ±, THE ELEVATION HAS BEEN DETERMINED BASED ON INTERPOLATED GRADES FROM THE SURVEY. CONTRACTOR IS TO VERIFY THESE GRADES PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS WITHIN THE PROXIMITY OF THESE INTERPOLATED GRADES AND REPORT THEM TO THE DESIGN ENGINEER FOR VERIFICATION OF PROPOSED SLOPES PRIOR TO INSTALLATION OF PROPOSED IMPROVEMENTS. DESIGN ENGINEER IS NOT RESPONSIBLE FOR SLOPES OF PROPOSED IMPROVEMENTS BASED ON THESE ± GRADES WITHOUT CONFIRMATION OF EXISTING ELEVATIONS AT TIME OF CONSTRUCTION.
  - PAVING, SIDEWALK, AND CURBING IS NOT TO BE INSTALLED IN SUCH A WAY THAT IT WILL BLOCK THE FLOW OF WATER AWAY FROM THE BUILDING INCLUDING BUT NOT LIMITED TO WEEP HOLES, WICKS, DRAINAGE SCOPERS OR PIPES, AND LANDSCAPING.

NOTE: ALL DETECTABLE WARNING SURFACES SHALL BE PREFABRICATED UNITS AS NOTED ON THE VILLAGE PLANTER DETAIL LOCATED ON SHEET C-4.1.

VOLUME CONTROL BASIN (FUTURE LOT)  
 REQUIRED STORAGE = 1,674 CU. FT.  
 PROVIDED STORAGE = 2,075 CU. FT.

**ACCESSIBLE ROUTE GRADES - PLAN VIEW**  
 SCALE: 1" = 10'  
 [Symbol] = A.D.A. ACCESSIBLE ROUTE  
 [Symbol] = SEE SHEET C-4.2 FOR RAMP/WALKS ISOMETRIC VIEWS



**ACCESSIBLE ROUTE AND GRADES**

DATE	REVISIONS	BY	CHKD
07/20/18	PER VILLAGE PLAN		
07/20/18	PER VILLAGE PLAN		

Prepared For:

J & P Properties, LLC  
 6801 West Roosevelt Road  
 Berwyn, IL 60402  
**BUONA BEEF RESTAURANT**  
 2352 West Higgins Road  
 Hoffman Estates, Illinois

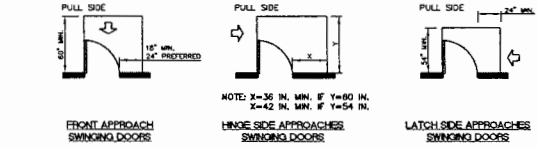
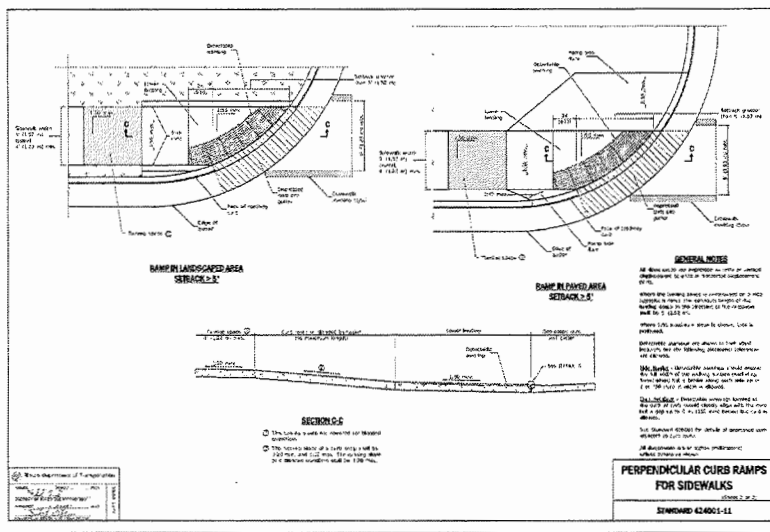
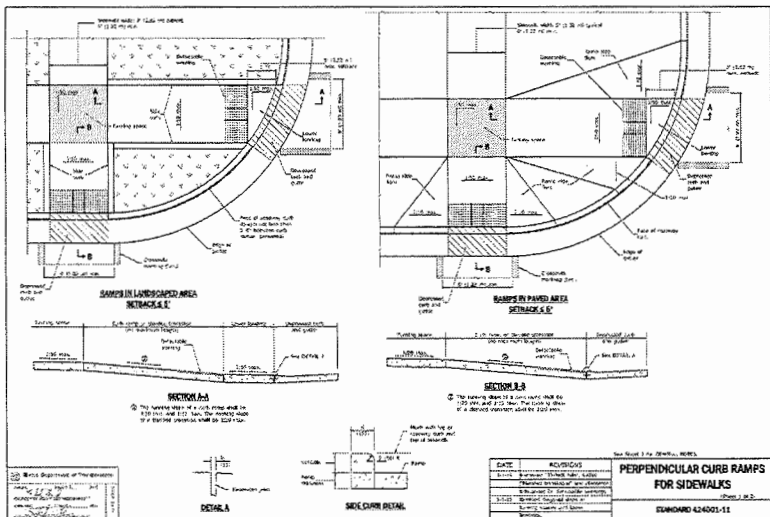
Prepared By:

**Walmark Engineering**  
 ENGINEERING & ARCHITECTURE  
 9311 Chicago Ridge  
 Phone: 815-331-1100 Fax: 815-331-2130  
 www.walmark-engineering.com

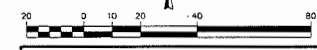
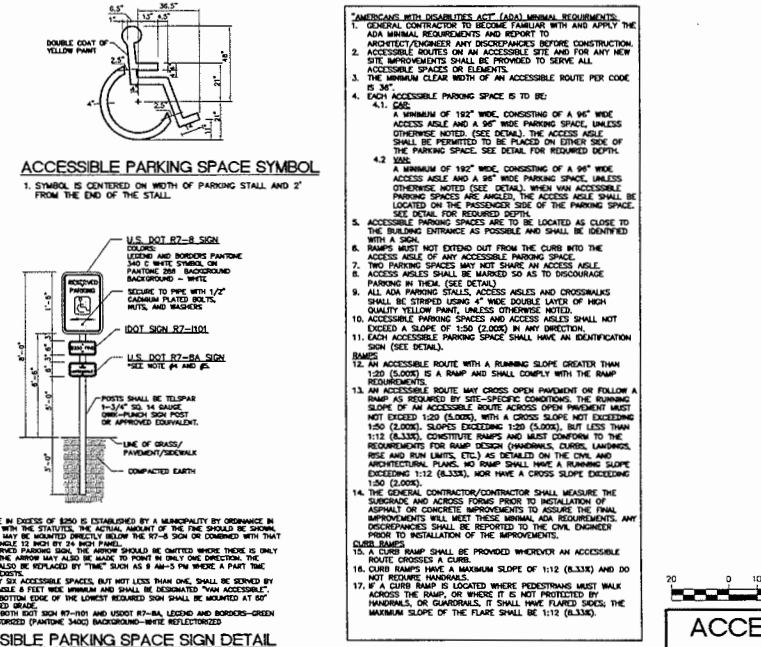
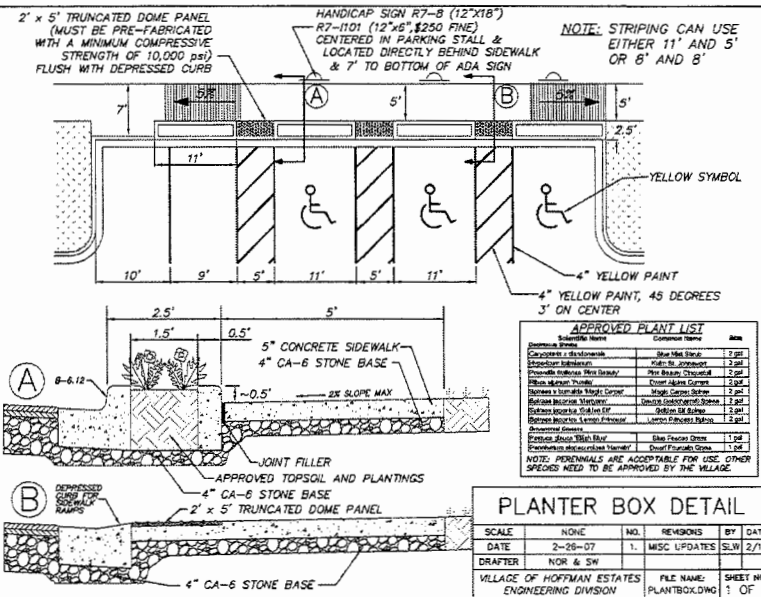
CHECKED BY: JAUJER  
 DESIGN BY: MANJEN  
 DRAWN BY: D. OLSON  
 DATE: SEPT 28, 2018  
 SCALE: 1" = 10'  
 PROJECT NO.: 18-008

**C-4**

ACCESSIBLE ROUTE GRADES AND DETAILS



TYPICAL ACCESSIBLE LANDING AREA DETAIL



ACCESSIBLE ROUTE DETAILS AND NOTES

DATE	BY	REVISION
07/20/18		PER VALLEE REVIEW
07/20/18		PER VALLEE REVIEW

Prepared For:

J & P Properties, LLC  
 6801 West Roosevelt Road  
 Berwyn, IL 60402  
**BUONA BEEF RESTAURANT**  
 2352 West Higgins Road  
 Hoffman Estates, Illinois

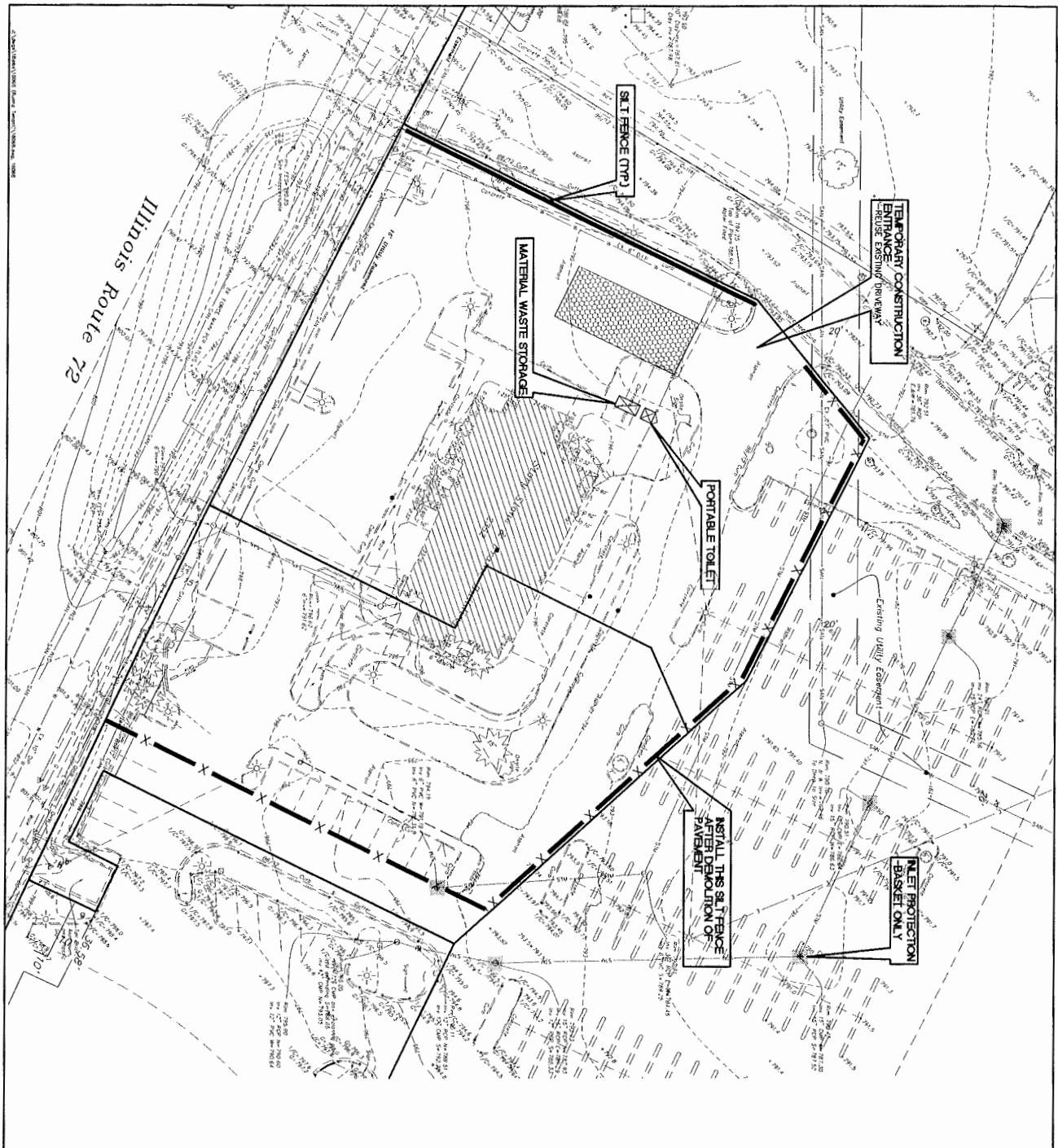
Prepared By:

**Walmark Engineering**  
 INCORPORATED  
 2511 Oberlin Way, Suite 201  
 Roseville, IL 60161  
 Phone: 630-531-1600 Fax: 630-531-2638  
 www.walmark-engineering.com

CHECKED BY: JAMBER  
 DESIGN BY: MANISH  
 DRAWN BY: DAKSON  
 DATE: SEPT. 26, 2018  
 SCALE: 1/8" = 1'-0"  
 PROJECT NO: 18-098







SEE SHEET C-8 FOR SOIL EROSION CONTROL DETAILS AND SPECIFICATIONS

**PHASE I SOIL EROSION CONTROL PLAN**

**LEGEND**

- X — SILT FENCE
- ▨ INLET FILTER BASKET
- ▩ NET PROTECTION

**GENERAL NOTES:**

1. CONCEPT DESIGN BASED ON THE TEMPORARY SURVEY (CONCEPT PROJECT #114-2343 DATED 07/20/18).
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ILLINOIS EROSION CONTROL ACT (1974) 405-2/375.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND AGENCIES.
4. DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE PROVIDING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

CHECKED BY: JAMILLER
DESIGN BY: M.HANSEN
DRAWN BY: D.OLSON
DATE: SEPT. 28, 2018
SCALE: 1" = 20'
PROJECT NO.: 18-088

**Watermark Engineering RESOURCES, LTD.**

2631 Clages Woods Parkway, Suite 100, Aurora, IL 60502  
 phone 630-375-1600 fax 630-236-2620 www.watermark-engineering.com

J & P Properties, LLC  
 6801 West Roosevelt Road  
 Berwyn, IL. 60402  
**BUONA BEEF RESTAURANT**  
 2352 West Higgins Road  
 Hoffman Estates, Illinois

NO.	REVISIONS	DATE
1	NO REVISIONS	11/20/18
2	NO REVISIONS	1/20/19
3	NO REVISIONS	1/28/19

Prepared By: \_\_\_\_\_  
 Drawn By: \_\_\_\_\_  
 Checked By: \_\_\_\_\_



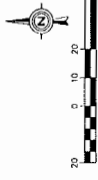
CHECKED BY: J. MILLER  
 DESIGN BY: M. HANSEN  
 DRAWN BY: D. OLSON  
 DATE: SEPT. 28, 2018  
 SCALE: 1" = 20'  
 PROJECT NO.: 18-088

**Watermark**  
 Engineering  
 Resources, LLC  
 2411 Ogden Woods Parkway, Suite 100, Naperville, IL 60563  
 Phone: 630-215-1800 Fax: 630-215-8500 www.watermark-engineering.com

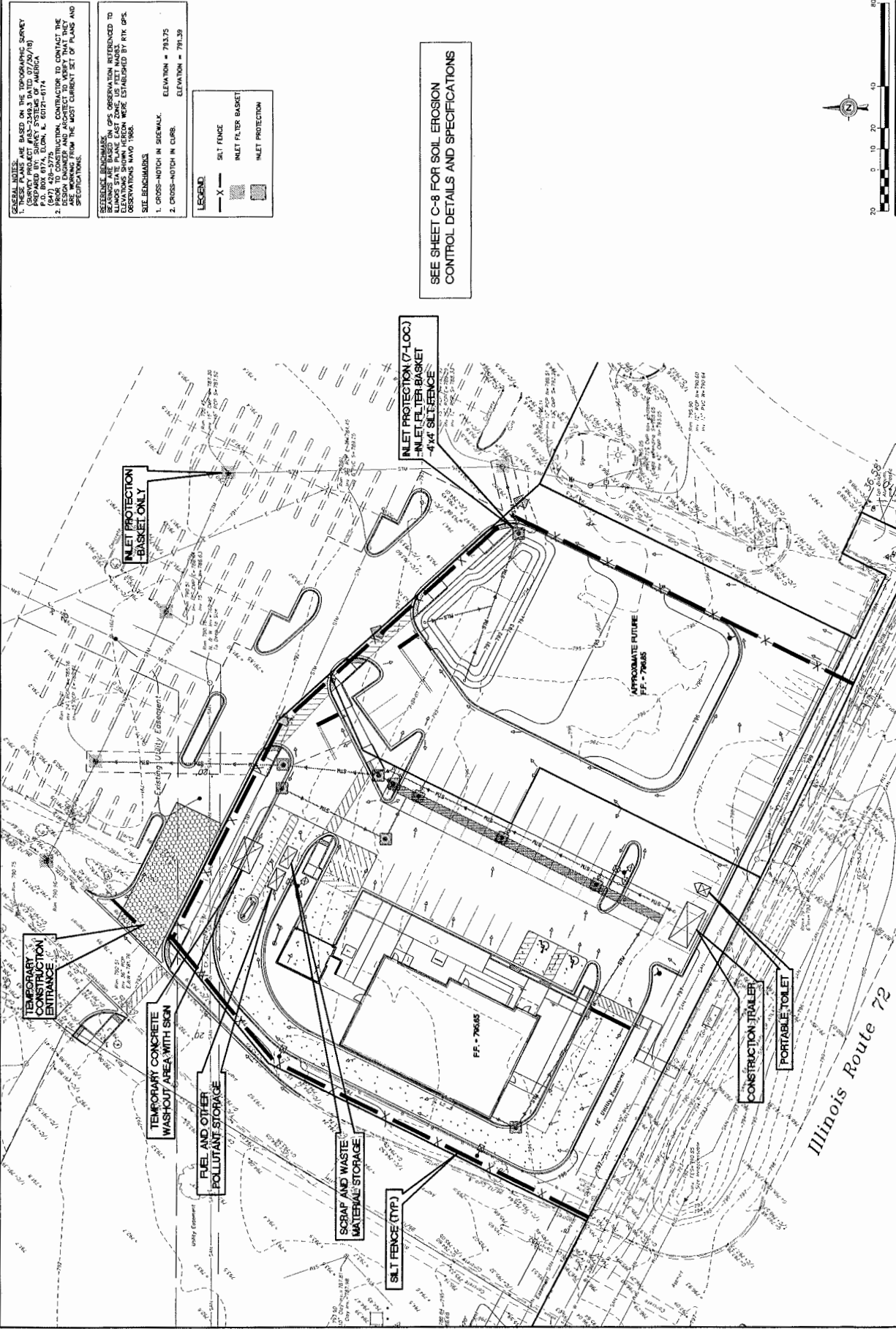
Prepared By:  
 J & P Properties, LLC  
 6801 West Roosevelt Road  
 Beryryn, IL 60402  
**BUONA BEEF RESTAURANT**  
 2352 West Higgins Road  
 Hoffman Estates, Illinois

DATE	REVISIONS
1/20/18	NO REVISIONS
7/26/19	NO REVISIONS
	NO REVISIONS
	NO REVISIONS

**PHASE II SOIL EROSION CONTROL PLAN**



SEE SHEET C-8 FOR SOIL EROSION CONTROL DETAILS AND SPECIFICATIONS



**GENERAL NOTES:**  
 1. THESE PLANS ARE BASED ON THE TOPOGRAPHIC SURVEY (SURVEY PROJECT #83-24983 DATED 07/26/18) CONDUCTED BY J. MILLER, P.E., CIVIL ENGINEER, AMERICA (647) 428-5779. THE DESIGN CONTRACTOR TO CONTACT THE SURVEYOR TO OBTAIN THE SURVEY DATA AND TO VERIFY THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

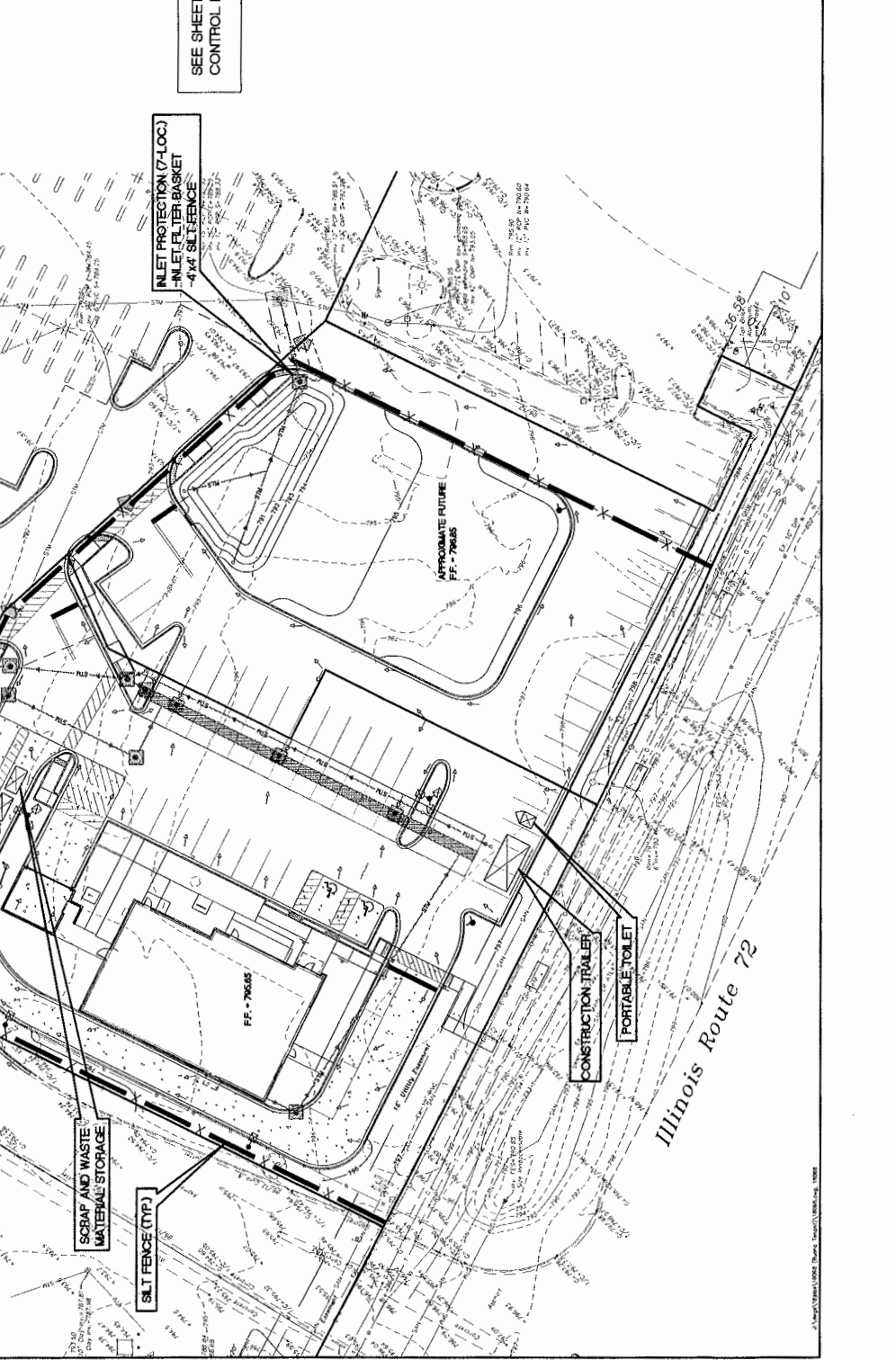
**REVISIONS:**  
 1. CROSS-NOTCH IN SIDEWALK. ELEVATION = 791.75  
 2. CROSS-NOTCH IN CURB. ELEVATION = 791.39

**LEGEND:**  
 -X- SALT FENCE  
 [Hatched Box] INLET FILTER BASKET  
 [Hatched Box] INLET PROTECTION

**GENERAL NOTES:**  
 1. THESE PLANS ARE BASED ON THE TOPOGRAPHIC SURVEY (SURVEY PROJECT #83-24983 DATED 07/26/18) CONDUCTED BY J. MILLER, P.E., CIVIL ENGINEER, AMERICA (647) 428-5779. THE DESIGN CONTRACTOR TO CONTACT THE SURVEYOR TO OBTAIN THE SURVEY DATA AND TO VERIFY THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

**REVISIONS:**  
 1. CROSS-NOTCH IN SIDEWALK. ELEVATION = 791.75  
 2. CROSS-NOTCH IN CURB. ELEVATION = 791.39

**LEGEND:**  
 -X- SALT FENCE  
 [Hatched Box] INLET FILTER BASKET  
 [Hatched Box] INLET PROTECTION



SEE SHEET C-8 FOR SOIL EROSION CONTROL DETAILS AND SPECIFICATIONS

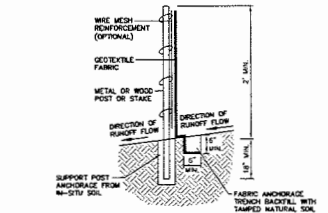
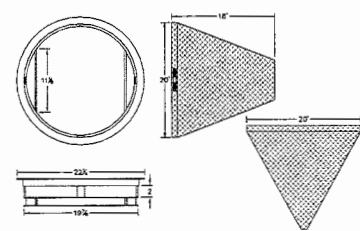
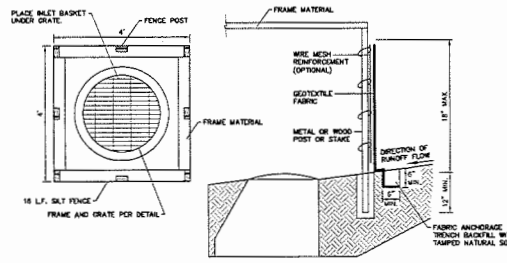
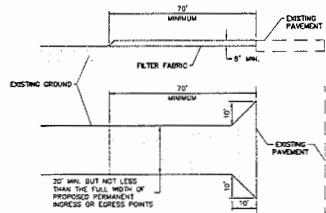
**PHASE II SOIL EROSION CONTROL PLAN**



**GENERAL NOTES:**  
 1. THESE PLANS ARE BASED ON THE TOPOGRAPHIC SURVEY (SURVEY PROJECT #83-24983 DATED 07/26/18) CONDUCTED BY J. MILLER, P.E., CIVIL ENGINEER, AMERICA (647) 428-5779. THE DESIGN CONTRACTOR TO CONTACT THE SURVEYOR TO OBTAIN THE SURVEY DATA AND TO VERIFY THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

**REVISIONS:**  
 1. CROSS-NOTCH IN SIDEWALK. ELEVATION = 791.75  
 2. CROSS-NOTCH IN CURB. ELEVATION = 791.39

**LEGEND:**  
 -X- SALT FENCE  
 [Hatched Box] INLET FILTER BASKET  
 [Hatched Box] INLET PROTECTION



- NOTES:
- STONE SIZE - DOT COARSE AGGREGATE GRADATIONS: CA-1, CA-2, CA-3 OR CA-4.
  - THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
  - FILTER FABRIC - SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. GEOTEXTILE FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL CLASS I, II OR IV IN THE ILLINOIS URBAN MANUAL.
  - STONE PLACEMENT - THE STONES IN THE ENTRANCE SHALL BE PLACED ACCORDING TO ILLINOIS URBAN MANUAL CONSTRUCTION SPECIFICATION 25 (ROCKFILL). PLACEMENT WILL BE BY METHOD 1 AND COMPACTION WILL BE CLASS II.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED FOR SEDIMENT CONTROL. SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
  - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH SOIL AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, WATERCOURSES, OR SURFACE WATERS INCLUDING WETLANDS.
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

- NOTES:
- FENCE POSTS SHALL BE EITHER STANDARD STEEL POST OR WOOD POST WITH A MINIMUM CROSS-SECTIONAL AREA OF 3.0 SQ. IN.
  - STEEL POSTS SHALL BE STANDARD T AND U SECTIONS WEIGHING NOT LESS THAN 1.33 POUNDS PER LINEAR FOOT OR OTHER STEEL POSTS HAVING EQUIVALENT STRENGTH AND BENDING RESISTANCE.
  - GEOTEXTILE FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 (GEOTEXTILES) TABLE 1 OR 2, CLASS I IN THE ILLINOIS URBAN MANUAL, CURRENT EDITION. THE FABRIC SHALL HAVE AN AOS OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN MATERIAL.
  - STAKES ARE TO BE PLACED A MAXIMUM OF 3 FEET APART.
  - JOINTS IN GEOTEXTILE FABRIC ARE TO BE MADE AT STAKES.

- NOTES:
- TOP FLANGE FABRICATED FROM 1 1/2" x 1/2" x 1/8" ANGLE BASE RM FABRICATED FROM 1 1/2" x 1/2" x 1/8" CHANNEL HANDLES AND SUSPENSION BRACKETS FABRICATED FROM 1 1/4" x 1/4" FLAT STOCK
  - ALL DOMESTIC STEEL IS TO CONFORM TO ASTM-A36.
  - SEDIMENT BAG IS TO BE FABRICATED FROM 4 OZ./SQ. YD. NON-WOVEN POLYPROPYLENE GEOTEXTILE REINFORCED WITH POLYESTER MESH WITH A MINIMUM FLOW RATE OF 145 GAL./MIN./SQ. FT. BAG IS TO BE DESIGNED FOR A MINIMUM FLOW RATE OF 2 OUN. FT. BAG IS TO BE SECURED TO BASE RM WITH A STAINLESS STEEL STRAP AND LOCK.

- NOTES:
- TEMPORARY SEDIMENT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING WORK IN THE AREA TO BE PROTECTED. THEY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND REMOVED IN CONJUNCTION WITH THE FINAL GRADING AND SITE STABILIZATION.
  - FENCE POSTS SHALL BE EITHER STANDARD STEEL POST OR WOOD POST WITH A MINIMUM CROSS-SECTIONAL AREA OF 3.0 SQ. IN.
  - STEEL POSTS SHALL BE STANDARD T AND U SECTIONS WEIGHING NOT LESS THAN 1.33 POUNDS PER LINEAR FOOT OR OTHER STEEL POSTS HAVING EQUIVALENT STRENGTH AND BENDING RESISTANCE.
  - WIRE FENCE SHALL BE A MINIMUM 12 GAGE WIRE WITH A 6 INCH MAXIMUM OPENING.
  - GEOTEXTILE FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 (GEOTEXTILES) TABLE 1 OR 2, CLASS I IN THE FABRIC SHALL HAVE AN AOS OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN MATERIAL.

- MAINTENANCE NOTES:
- FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL GREATER THAN 1/2" AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
  - SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
  - SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN THE DEPOSITS REACH APPROXIMATELY HALF THE HEIGHT OF THE BARRIER.
  - ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.
  - AT A MINIMUM, SILT FENCE AND OTHER EROSION CONTROL MEASURES SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE PHASE I AND PHASE II SOIL EROSION CONTROL PLANS. THEY SHALL ALSO BE INSTALLED ANYWHERE THAT ARE NEEDED DURING CONSTRUCTION IN ORDER TO PREVENT EROSION AND SEDIMENT FROM BEING CARRIED DOWN STREAM. THIS IS THE GENERAL CONTRACTOR'S RESPONSIBILITY AND SHALL BE INSTALLED, RELOCATED, MAINTAINED, ETC. AS DIRECTED BY THE APPOINTED SWPPP INSPECTOR. EROSION CONTROL INSTALLATION AND MAINTENANCE IS TO BE A PART OF THE CONTRACT AND IS NOT AN EXTRA TO THE OWNER.

**STABILIZED CONSTRUCTION ENTRANCE**

**INLET PROTECTION**

**INLET BASKET FILTER FOR TYPE 1 INLETS**

**EROSION CONTROL**

- CONTRACTOR IS TO FOLLOW THE REQUIREMENTS OF THE "ILLINOIS PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL" CURRENT EDITION AND THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES).
- SOIL EROSION CONTROL SYSTEMS SHALL BE CONSTRUCTED AS SHOWN ON THE SOIL EROSION CONTROL PLANS AND/OR AS SPECIFIED BY THE DESIGN ENGINEER, VULCAN ENGINEER, APPOINTED SWPPP INSPECTOR, OR MUNICIPAL INSPECTOR.
- PERIMETER EROSION BARRIER SHALL BE PLACED IN A MANNER THAT WILL INTERCEPT WATER BEFORE SILT AND PREVENT IT FROM LEAVING THE AREA OF CONSTRUCTION. ALL SILT FENCES SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE WITH THE DIPS EXTENDING UPSLOPE. THE MAXIMUM SPACING OF POSTS SHALL BE 5 FEET. WHEN WIRE OR OTHER FORM OF APPROVED BANDING IS USED THE MAXIMUM SPACING MAY BE INCREASED TO 6 FEET. SPACING MAY NEED TO BE ADJUSTED SO THAT POSTS ARE LOCATED IN LOW AREAS WHERE WATER MAY POOL. THE FILTER FABRIC AND WIRE SUPPORT, IF USED, MUST BE SECURELY FASTENED TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST ONE INCH LONG OR THE WIRES (10 GAGE MINIMUM). THE FABRIC SHALL NOT BE STAPLED OR WREDED TO THE WIRE SUPPORT OR TO EXISTING TREES. GEOTEXTILE FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 (GEOTEXTILES) TABLE 1 OR 2, CLASS I IN THE ILLINOIS URBAN MANUAL, CURRENT EDITION. THE FABRIC SHALL HAVE AN AOS OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN MATERIAL.
- INLET FILTERS SHALL BE CONSTRUCTED OF A REPLACEABLE REINFORCED FILTER BAG SUSPENDED FROM A RETAINER RING OR FRAME. INLET FILTER SYSTEMS SHALL BE THE CATCH-ALL WITH OVERFLOW, AS FURNISHED BY MARATHON MATERIALS INC. OR PRE-APPROVED EQUAL. CARE SHOULD BE TAKEN WHEN MAINTAINING OR REMOVING THIS FILTER FABRIC BAG TO NOT ALLOW THE PREVIOUSLY TRAPPED DEBRIS TO ENTER THE STORM SEWER SYSTEM.
- THE SED FOR RIP RAP SHALL BE TRIMMED AND SHAPED TO ALLOW THE FINISHED SURFACE TO CONFORM TO THE LINES SPECIFIED AT THE TOE OF THE SLOPE. THE RIP RAP SHALL COMMENCE ON A CONTINUATION OF THE SLOPE AFTER EXCAVATION TO ACCOMMODATE THE FULL DEPTH OF FABRIC, SEDIMENT LAYER, AND RIP RAP SPECIFIED.
- FILTER FABRIC IS SECURED UNDER STONE RIP RAP GRADATION 4, 5, 6 AND 7 FOR ALL USES, AND UNDER CONCRETE BLOCK, BROKEN CONCRETE, AND STONE OR BROKEN CONCRETE DUMPED RIP RAP WHEN USED FOR SOIL EROSION PROTECTION.
- STREETS ARE TO BE CLEANED OF DEBRIS, AND SWEEP CLEAN OF SILT AND MUD DAILY.
- SOIL EROSION CONTROL MEASURES ARE TO BE CHECKED BY QUALIFIED PERSONNEL AT LEAST ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER OR EQUIVALENT SNOWFALL AND REPAIRED IF NECESSARY.
- ALL EROSION CONTROL PROTECTION SHALL BE KEPT IN PLACE UNTIL THE GROUND HAS BEEN STABILIZED AND THE MOVEMENT HAS BEEN INSTALLED.
- ANY DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE STOPPED (PERMANENTLY OR TEMPORARILY) FOR 7 DAYS, MUST BE STABILIZED IN ACCORDANCE WITH NPDES REQUIREMENTS.
- BUILT UP SEDIMENT SHALL BE REMOVED FROM THE SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.
- SILT FENCES SHALL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, ETC., TO SEE IF FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND THAT THE FENCE POSTS ARE SECURELY IN THE GROUND.
- THE SEDIMENT BASIN, IF PRESENT, SHALL BE INSPECTED FOR DEPTH OF SEDIMENT AT LEAST ONCE A YEAR. BUILT UP SEDIMENT SHALL BE REMOVED WHEN IT REACHES 25 PERCENT OF THE DESIGN CAPACITY.
- CONTRACTOR TO COMPLY WITH FINAL STABILIZATION AND TERMINATION REQUIREMENTS OF THE SWPPP.
- AT A MINIMUM, SILT FENCE AND OTHER EROSION CONTROL MEASURES SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE PHASE I AND PHASE II SOIL EROSION CONTROL PLANS. THEY SHALL ALSO BE INSTALLED ANYWHERE THAT THEY ARE NEEDED DURING CONSTRUCTION IN ORDER TO PREVENT EROSION AND SEDIMENT FROM BEING CARRIED DOWN STREAM. THIS IS THE GENERAL CONTRACTOR'S RESPONSIBILITY AND SHALL BE INSTALLED, RELOCATED, MAINTAINED, ETC. AS DIRECTED BY THE APPOINTED SWPPP INSPECTOR. EROSION CONTROL INSTALLATION AND MAINTENANCE IS TO BE A PART OF THE CONTRACT AND IS NOT AN EXTRA TO THE OWNER.

**SOIL PROTECTION CHART**

	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEP	OCT	NOV	DEC
PERMANENT SEEDING												
SEEDING												
TEMPORARY SEEDING												
MULCHING												

- NOTES:
- PERMANENT VEGETATION SHALL BE PLANTED ACCORDING TO THE APPROVED LANDSCAPE PLAN AND SHALL FOLLOW ILLINOIS URBAN MANUAL PRACTICE STANDARD 86D FOR PERMANENT SEEDING AND 92S FOR SOODING AT A MINIMUM.
  - TEMPORARY SEEDING SHALL BE APPLIED ACCORDING TO THE ILLINOIS URBAN MANUAL PRACTICE STANDARD 86S. THIS PRACTICE APPLIES TO ALL CLEARED, UNVEGETATED, OR SPARSELY VEGETATED SOIL SURFACES WHERE VEGETATIVE COVER IS NEEDED FOR LESS THAN 1 YEAR.
    - WHERE THE PH OF THE SOIL IS BELOW 5.5, APPLY ONE AND ONE HALF TO TWO TONS PER ACRE OF FINELY GROUND AGRICULTURAL LIMESTONE. IF THE SEEDING PERIOD IS LESS THAN 30 DAYS, LIMING WILL NOT BE REQUIRED.
    - APPLY 500 POUNDS PER ACRE OF 10-10-10 FERTILIZER OR EQUIVALENT. INCORPORATE LIME AND FERTILIZER INTO THE TOP 2-4 INCHES OF SOIL. IF THE SEEDING PERIOD IS LESS THAN 30 DAYS, FERTILIZER WILL NOT BE REQUIRED.
    - PREPARE A TOPSOIL SEEDBED OF LOOSE SOIL TO A DEPTH OF 3 TO 4 INCHES. IF RECENT TILLAGE OR GRADING OPERATIONS HAVE RESULTED IN A LOOSE SURFACE, ADDITIONAL TILLAGE OR ROUGHENING MAY NOT BE REQUIRED EXCEPT TO BREAK UP LARGE CLODS. IF RAINFALL CAUSED THE SURFACE TO BECOME SEALED OR CRUSTED, LOOSEN IT FIRST PRIOR TO SEEDING BY DISKING, RAKING, HARROWING, OR OTHER SUITABLE METHODS. GROVE OR FURROW SLOPES STEEPER THAN 3:1 ON THE CONTOUR BEFORE SEEDING.
    - SEED SHALL BE EVENLY APPLIED WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER OR HYDROSEEDER. SMALL GRASSES SHALL BE PLANTED NO MORE THAN ONE INCH DEEP. GRASSES SHALL BE PLANTED NO MORE THAN ONE HALF INCH DEEP.
    - COVER BROADCAST SEEDINGS BY CULTIPACKING, DRAGGING, A HARROW, OR RAKING. FOLTS SHALL BE APPLIED AT 90 LBS PER ACRE AND SHALL ONLY BE APPLIED EARLY SPRING TO JULY 1.
    - CERIAL RYE SHALL BE APPLIED AT 90 LBS PER ACRE AND SHALL ONLY BE APPLIED EARLY SPRING TO SEPTEMBER 30.
    - PERENNIAL RYE GRASS SHALL BE APPLIED AT 25 LBS PER ACRE AND SHALL ONLY BE APPLIED EARLY SPRING TO SEPTEMBER 30.
  - TEMPORARY MULCHES ARE TO BE APPLIED TO:
    - AREAS THAT HAVE BEEN SEEDING TO PROVIDE A TEMPORARY OR PERMANENT SEEDING; GRASSES SHALL BE PLANTED NO MORE THAN ONE HALF INCH DEEP.
    - FOR SOIL SURFACE PROTECTION;
    - FOR WIND AND DUST CONTROL;
    - GENERAL PROTECTION DURING PERIODS WHEN CONSTRUCTION OR SEEDING CANNOT BE DONE, AND SHALL BE CONSTRUCTED ACCORDING TO THE ILLINOIS URBAN MANUAL PRACTICE STANDARD 87S.

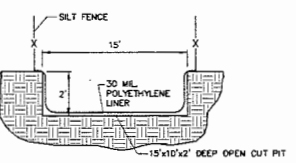
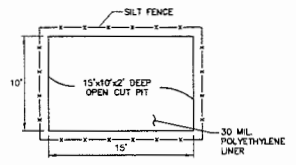
**PHASE I CONSTRUCTION SEQUENCE**

- INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- PREPARE TEMPORARY PARKING AND STORAGE AREA.
- CONSTRUCT THE SILT FENCES ON THE SITE.
- INSTALL INLET PROTECTION AROUND ALL EXISTING STORM SEWER STRUCTURES.
- HOLD PRE-CONSTRUCTION MEETING TO DISCUSS THE STORM WATER POLLUTION PLAN WITH ENGINEER, ALL CONTRACTORS AND JURISDICTIONAL INSPECTION AGENCIES.
- CLEAR AND GRUB THE SITE.
- START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
- BEGIN MASS GRADING OPERATIONS FOR THE SITE.

**PHASE II CONSTRUCTION SEQUENCE**

- TEMPORARILY SEED DEMOLISHED AREAS.
- INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
- INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
- PREPARE SITE FOR PAVING.
- PAVE SITE.
- INSTALL INLET PROTECTION DEVICES.
- COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
- REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).

**SILT FENCE DETAIL**



**CONCRETE WASHOUT AREA DETAIL**

- NOTE: OPTIONAL USE OF A PORTABLE CONCRETE WASHOUT CONTAINER IS ACCEPTABLE WITH 30 MIL POLYETHYLENE LINER.

**SOIL EROSION CONTROL DETAILS AND SPECS**

DATE	10/27/18
DATE	11/17/18
DATE	1/17/19
REVISIONS	
NO. IN REVISIONS	
NO. OF SHEETS	
NO. OF PAGES	

Prepared For:

J & P Properties, L.L.C.  
6801 West Roosevelt Road  
Beverly, IL 60402  
BUONA BEEF RESTAURANT  
2352 West Higgins Road  
Hoffman Estates, Illinois

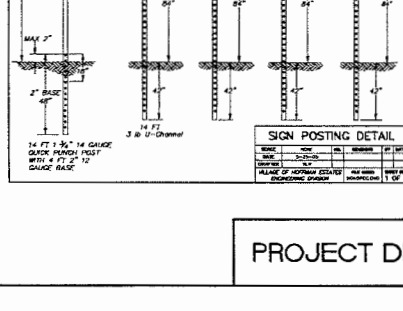
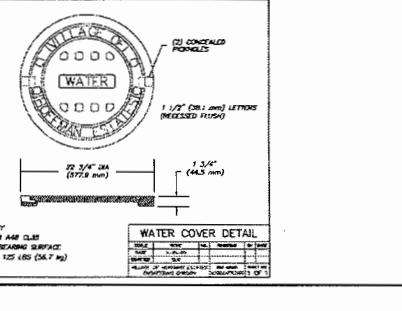
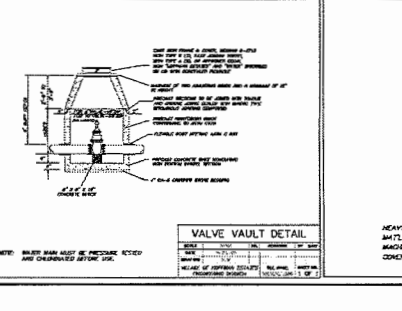
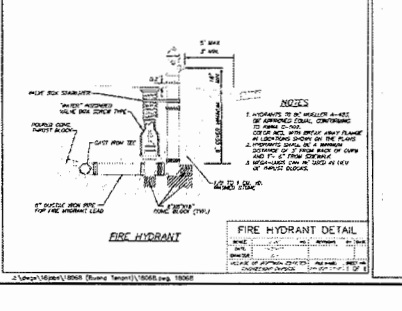
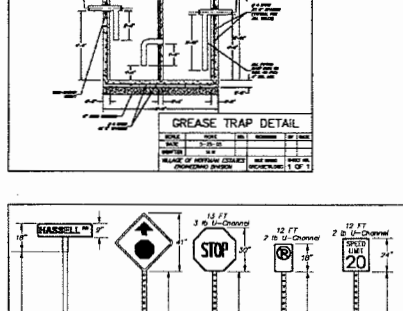
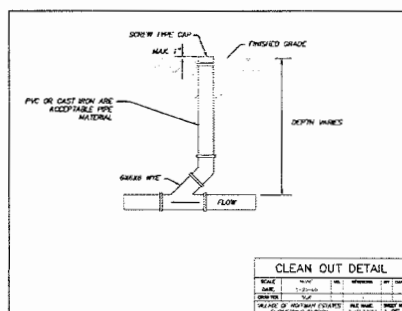
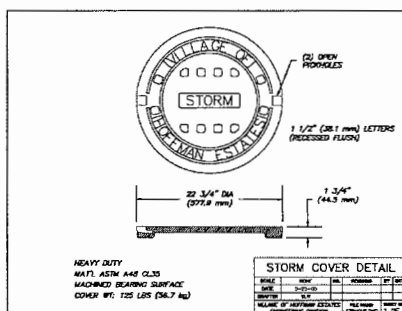
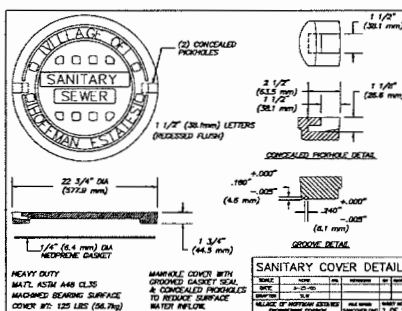
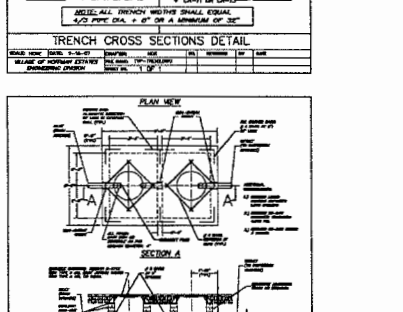
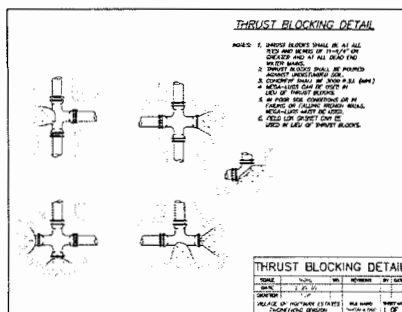
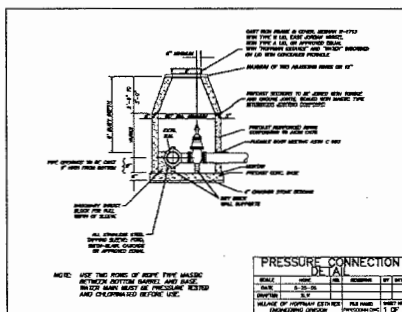
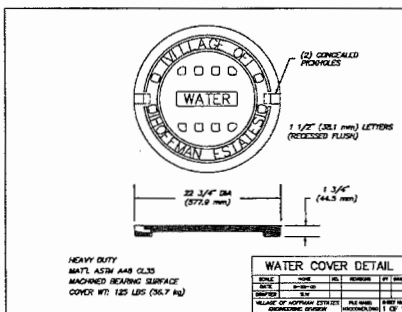
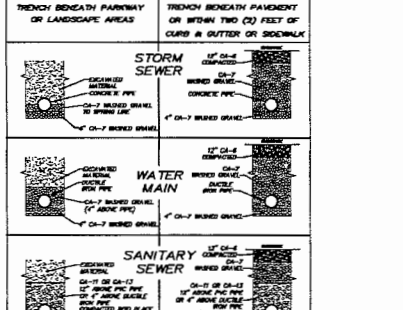
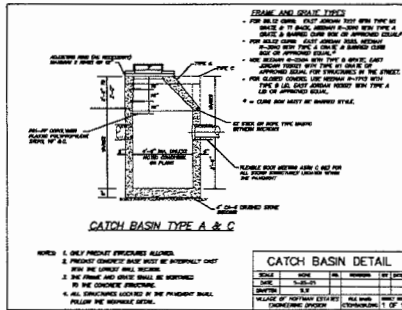
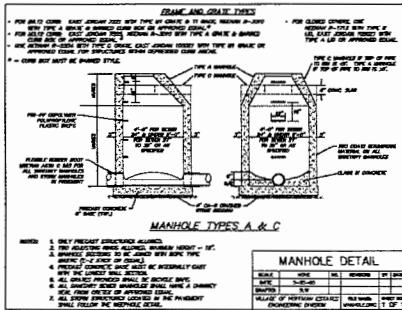
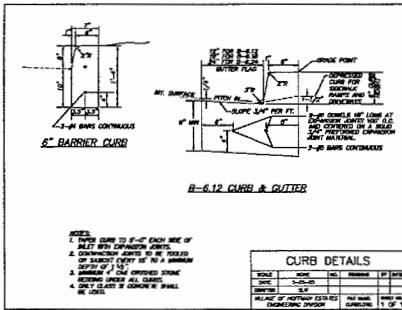
Prepared By:

**Markmark Engineering Resources, Ltd.**  
PHONE: 630.231.1200 FAX: 630.231.2920  
WWW.MARKMARKENGINEERING.COM

DESIGNED BY: JHLLER  
DESIGN BY: HANSON  
DRAWN BY: D.S. SON  
DATE: SEPT. 28, 2018  
SCALE: NONE  
PROJECT NO.: 18-088

C-8

SOIL EROSION CONTROL DETAILS AND SPECS



PROJECT DETAILS #1

DATE: 1/28/19  
 DRAWN BY: J. J. J. J.  
 CHECKED BY: J. J. J. J.  
 NO. REVISIONS: 0  
 PREPARED FOR: J & P Properties, LLC  
 6801 West Roosevelt Road  
 Berwyn, IL 60402  
 BUONA BEEF RESTAURANT  
 2952 West Higgins Road  
 Hoffman Estates, Illinois  
 PREPARED BY: J. J. J. J.  
 WILSON ENGINEERING & CONSULTING, LLC  
 3031 Calumet Ave., Suite 200  
 Chicago, IL 60640  
 PHONE: 800-321-5400 | WWW.WILSONENGINEERING.COM  
 PROJECT NO.: 18-088  
 C-9

### BUONA BEEF PARCEL

#### MWRD REQUIRED VOLUME CONTROL CALCULATIONS:

TOTAL SITE AREA: 39,981 S.F. (0.917 ACRES)  
 TOTAL AREA OF IMPERVIOUS: 30,187 S.F. (0.69 ACRES)  
 TOTAL AREA OF PERVIOUS: 9,794 S.F. (0.22 ACRES)  
 REQUIRED Vc = 30,187 SQ. FT. x 1 IN. x FT/12" = 2,514 FT<sup>3</sup>

PROVIDED VOLUME CONTROL STORAGE WITHIN PFP (48" CMP):  
 VOLUME WITHIN 48" DIA. CMP SOLID PIPE WITH INFILTRATION JOINTS:  
 PIPE LENGTH: 146 LF.  
 PIPE AREA = (3.14)R<sup>2</sup> = (3.14)(4")<sup>2</sup>/4 = 12.50 S.F.  
 INVERT OF PIPE OVERFLOW PIPE: 785.25  
 VOLUME OF PIPE: 1,325 C.F.  
 Vc WITHIN PIPE: 146 LF. x 12.50 x 0.50 CF = 913 C.F.

#### PROVIDED VOLUME CONTROL WITHIN CA-7 PERMEABLE TRENCH SECTION:

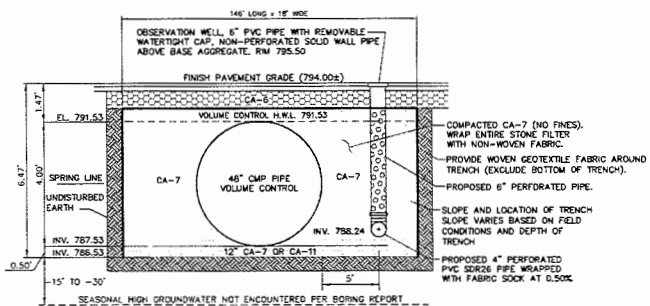
VOLUME OF STONE BELOW OVERFLOW, ELEVATION OF 785.25  
 TRENCH LENGTH = 146 LF.  
 TRENCH WIDTH = 18 LF.  
 TRENCH DEPTH = 4"

STORAGE VOLUME WITHIN STONE:  
 (146' x 18' x 4' = 10,512 C.F.) - 913 C.F. + 0.36 \* 0.50 = 979 C.F.

STORAGE VOLUME WITHIN STONE BELOW UNDERDRAIN: 2,628 C.F. x 0.36 = 946 C.F.  
 (146' x 18' x 1' = 2,828 C.F.)

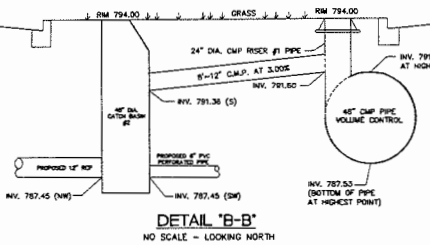
TOTAL PROVIDED = 913 CF + 979 + 946 = 2,838 C.F.

CHECK: 2,838 C.F. Vc PROVIDED > 2,514 C.F. (OK)



#### VOLUME CONTROL TRENCH DETAIL - SECTION "A-A"

NO SCALE - LOOKING NORTHWEST



#### DETAIL "B-B"

NO SCALE - LOOKING NORTH

\*\*\*\* MINIMUM COVER DURING CONSTRUCTION AND IN THE PERMANENT CONDITION MAY VARY, DEPENDING ON LOCAL CONDITIONS. THE CONTRACTOR MUST PROVIDE THE ADDITIONAL COVER REQUIRED DURING CONSTRUCTION TO AVOID DAMAGE TO THE PIPE. MINIMUM COVER IS MEASURED FROM THE TOP OF THE PIPE TO THE TOP OF THE MAINTAINED CONSTRUCTION ROADWAY SURFACE OR BOTTOM OF PAVEMENT MATERIAL. CONTRACTOR SHALL PROVIDE THE MINIMUM AMOUNT OF COVERED COVER REQUIRED PER THE MANUFACTURER'S SPECIFICATIONS AND SHOP DRAWINGS IN BOTH THE TEMPORARY AND PERMANENT CONDITION.

### FUTURE PARCEL

#### MWRD REQUIRED VOLUME CONTROL CALCULATIONS:

TOTAL SITE AREA: 28,699 S.F. (0.66 ACRES)  
 TOTAL AREA OF IMPERVIOUS: 20,078 S.F. (0.46 ACRES)  
 TOTAL AREA OF PERVIOUS: 8,620 S.F. (0.20 ACRES)  
 REQUIRED Vc = 20,078 SQ. FT. x 1 IN. x FT/12" = 1,674 FT<sup>3</sup>

#### PROVIDED VOLUME CONTROL STORAGE (BOLLARD)

elevation (feet)	area (sq. feet)	avg. area (sq. feet)	height (feet)	volume (cubic feet)
791	3252	863	1	863
792	1538	1312	1	1312
793	2096			

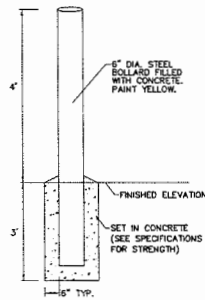
2875 cubic feet

0.047615 acre feet

required volume = 0.03M acre feet

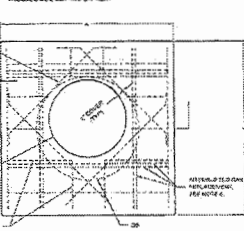
TOTAL PROVIDED = 2,075 C.F.

CHECK: 2,075 C.F. Vc PROVIDED > 1,674 C.F. REQUIRED (OK)

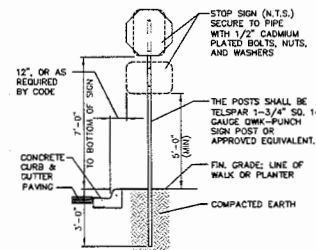


#### BOLLARD

CLIP RISER	A	Ø &	REINFORCING	BEARING PRESSURE (PSI)
30"	Ø 4	Ø 6	Ø 3/4" Ø 30" Ø 30" Ø 30"	1,500
36"	Ø 4	Ø 6	Ø 3/4" Ø 30" Ø 30" Ø 30"	1,500
42"	Ø 4	Ø 6	Ø 3/4" Ø 30" Ø 30" Ø 30"	1,500
48"	Ø 4	Ø 6	Ø 3/4" Ø 30" Ø 30" Ø 30"	1,500
54"	Ø 4	Ø 6	Ø 3/4" Ø 30" Ø 30" Ø 30"	1,500
60"	Ø 4	Ø 6	Ø 3/4" Ø 30" Ø 30" Ø 30"	1,500
66"	Ø 4	Ø 6	Ø 3/4" Ø 30" Ø 30" Ø 30"	1,500
72"	Ø 4	Ø 6	Ø 3/4" Ø 30" Ø 30" Ø 30"	1,500
78"	Ø 4	Ø 6	Ø 3/4" Ø 30" Ø 30" Ø 30"	1,500
84"	Ø 4	Ø 6	Ø 3/4" Ø 30" Ø 30" Ø 30"	1,500
90"	Ø 4	Ø 6	Ø 3/4" Ø 30" Ø 30" Ø 30"	1,500
96"	Ø 4	Ø 6	Ø 3/4" Ø 30" Ø 30" Ø 30"	1,500
102"	Ø 4	Ø 6	Ø 3/4" Ø 30" Ø 30" Ø 30"	1,500
108"	Ø 4	Ø 6	Ø 3/4" Ø 30" Ø 30" Ø 30"	1,500
114"	Ø 4	Ø 6	Ø 3/4" Ø 30" Ø 30" Ø 30"	1,500
120"	Ø 4	Ø 6	Ø 3/4" Ø 30" Ø 30" Ø 30"	1,500
126"	Ø 4	Ø 6	Ø 3/4" Ø 30" Ø 30" Ø 30"	1,500
132"	Ø 4	Ø 6	Ø 3/4" Ø 30" Ø 30" Ø 30"	1,500
138"	Ø 4	Ø 6	Ø 3/4" Ø 30" Ø 30" Ø 30"	1,500
144"	Ø 4	Ø 6	Ø 3/4" Ø 30" Ø 30" Ø 30"	1,500
150"	Ø 4	Ø 6	Ø 3/4" Ø 30" Ø 30" Ø 30"	1,500



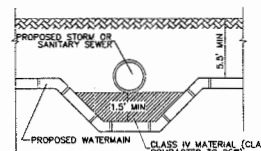
#### SQUARE PLAN VIEW



#### SIGN LEGEND

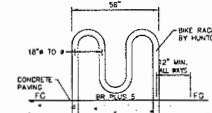
- STOP SIGN 30" x 30"
- STOP SIGN 30" x 30"
- DO NOT ENTER SIGN 30" x 30"
- KEEP RIGHT SIGN 24" x 30"

#### TRAFFIC SIGN DETAIL



#### WATER MAIN CROSSING

NOTE: 1. USE MIN. 21 L.F. OF WATERMAIN CLASS PIPES (MIN. 10' ON EACH SIDE OF THE CROSSING). SEE SPECIFICATIONS FOR PIPE AND JOINT SPECIFICATIONS.



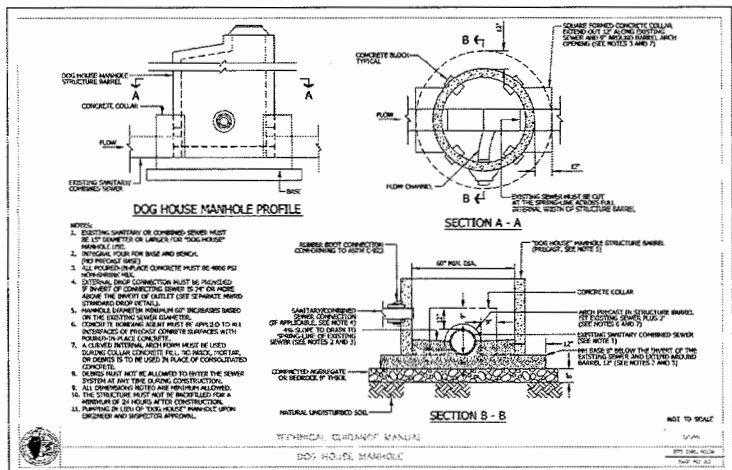
- SEE GEOMETRIC PLAN FOR LAYOUT AND PAVEMENT SECTIONS.
- SEE GEOMETRIC PLAN FOR FINISH ELEVATIONS. ENSURE POSITIVE DRAINAGE.
- CONTRACTOR TO INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR TO VERIFY FOUNDATION WILL NOT INTERFERE WITH UNDERGROUND UTILITIES. VERIFY ANY FIELD ADJUSTMENTS WITH OWNER.

#### FINISH OPTIONS:

- GALVANIZED (CALV)
- POWDER COAT (PC)
- GALV. WITH YELLOW
- GALV. WITH BRIGHT RED
- GALV. WITH MARSHALL
- GALV. WITH BLACK
- GALV. WITH WHITE
- GALV. WITH 1400
- GALV. WITH 2400
- PVC COAT (PVC)

#### BICYCLE RACK - IN GROUND DETAIL

\* AS REQUIRED BY CODE AND TO ACHIEVE ADEQUATE SOIL BEARING AND FROST PROTECTION



#### DOG HOUSE MANHOLE

DESIGNED BY: J. HANSEN  
 DRAWN BY: M. OLSON  
 DATE: SEPT. 28, 2018  
 SCALE:  
 PROJECT NO.: 18-088

#### PROJECT DETAILS #2

DATE: 10/20/18  
 TIME: 10:00 AM  
 PREPARED FOR: J & P Properties, L.L.C.  
 6801 West Roosevelt Road  
 Berwyn, IL 60402  
 BUONA BEEF RESTAURANT  
 2352 West Higgins Road  
 Hoffman Estates, Illinois

Prepared By: **Walmark Engineering Resources, Ltd.**  
 1511 W. 15th Street, Suite 100  
 Peoria, IL 61614  
 Phone: 309.233.7600 Fax: 309.233.7601  
 www.walmarkeng.com

PROJECT DETAILS #2  
 C-10

PROJECT SPECIFICATIONS

- 1. CONTRACTOR IS TO FOLLOW ALL ORDINANCES AND REQUIREMENTS OF THE STATE, COUNTY, LOCAL DISTRICTS AND THE ILLINOIS ACCESSIBILITY CODE (IAC)...

GRADING

- 1. GEOTECHNICAL REPORTS AS PREPARED BY OWNER (OR REPRESENTATIVE) SHALL BE REFERENCED PRIOR TO EARTH MOVING AND/OR UTILITY CONSTRUCTION...

SANITARY SEWER SPECIFICATIONS

- 1. ALL SANITARY SEWER PIPE SHALL BE D.I.P., MIN. CLASS 50, CONFORMING TO ANS...

PAVEMENT

- 1. ALL PAVEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING REFERENCES AS THEY APPLY...

WATER MAIN SPECIFICATIONS

- 1. HORIZONTAL SEPARATION
A. WATER MAINS AND SEWERS: WATER MAINS SHALL BE LAID AT LEAST TEN FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER...

STORM SEWER SPECIFICATIONS

- 1. ALL REINFORCED CONCRETE PIPE SHALL CONFORM TO ASTM C-76 SPECIFICATIONS WITH ASTM C-443 FLAT GASKET JOINTS, OR ASTM C-361 TO-RING JOINTS...

CMP SPECIFICATIONS (ALUMINIZED STEEL TYPE 2 CSP)

- 1. MATERIALS
A. THE COLDS FROM WHICH THE PIPE IS FABRICATED SHALL BE HOT DP COATED IN A BATH OF COMMERCIAL PURE ALUMINUM REFERRED TO AS TYPE 2...

Table with columns: DATE, NO. REVISIONS, REVISIONS, DATE, NO. REVISIONS, REVISIONS

Prepared For:

J & P Properties, LLC
6801 West Roosevelt Road
Berwyn, IL 60402
BUONA BEEF RESTAURANT
2832 West Higgins Road
Hoffman Estates, Illinois

Prepared By:

Watermark Engineering, Inc.
1000 West Roosevelt Road
Berwyn, IL 60402
PHONE: 630.331.2800 FAX: 630.331.2802



DESIGNED BY: JAMES
CHECKED BY: MANISH
ISSUED BY: B.O. SMY
DATE: SEPT. 24, 2018
SCALE: NONE
PROJECT NO. 18-088

PROJECT SPECIFICATIONS

C-11

PROJECT DETAILS AND SPECIFICATIONS



**A. REFERENCED SPECIFICATIONS**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING, EXCEPT AS MODIFIED HEREIN OR ON THE PLANS:
  - STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT SS) FOR ALL IMPROVEMENTS EXCEPT SANITARY SEWER AND WATER MAIN CONSTRUCTION;
  - STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION (SSWS) FOR SANITARY SEWER AND WATER MAIN CONSTRUCTION;
  - VILLAGE OF EVERGREEN PARK MUNICIPAL CODE;
  - THE TOWNSHIP OF WORTH DETAILS & CODE;
  - THE METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO (MWRD) WATERSHED MANAGEMENT ORDINANCE AND TECHNICAL GUIDANCE MANUAL;
  - IN CASE OF CONFLICT BETWEEN THE APPLICABLE ORDINANCES NOTED, THE MORE STRINGENT SHALL TAKE PRECEDENCE AND SHALL CONTROL ALL CONSTRUCTION.

**B. NOTIFICATIONS**

- THE MWRD LOCAL SEWER SYSTEMS SECTION FIELD OFFICE MUST BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OF ANY WORK (CALL 708-588-4055).
- THE VILLAGE OF FRANKLIN PARK ENGINEERING DEPARTMENT AND THE TOWNSHIP OF LEYDEN AND PUBLIC MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO EACH PHASE OF WORK. CONTRACTOR SHALL DETERMINE ITEMS REQUIRING INSPECTION PRIOR TO START OF CONSTRUCTION OR EACH WORK PHASE.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION FOR THE EXACT LOCATIONS OF UTILITIES AND FOR THEIR PROTECTION DURING CONSTRUCTION. IF EXISTING UTILITIES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, IMMEDIATELY NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED. CALL J.U.L.I.E. AT 1-800-892-0123.

**C. GENERAL NOTES**

- ALL ELEVATIONS SHOWN ON PLANS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83).
- MWRD, THE MUNICIPALITY AND THE OWNER OR OWNER'S REPRESENTATIVE SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION IMPROVEMENTS.
- THE CONTRACTOR(S) SHALL INDEMNIFY THE OWNER, ENGINEER, MUNICIPALITY, MWRD, AND THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, OR TESTING OF THIS WORK ON THE PROJECT.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY MWRD AND THE MUNICIPALITY UNLESS CHANGES ARE APPROVED BY MWRD, THE MUNICIPALITY, OR AUTHORIZED AGENT. THE CONSTRUCTION DETAILS, AS PRESENTED ON THE PLANS, MUST BE FOLLOWED. PROPER CONSTRUCTION TECHNIQUES MUST BE FOLLOWED ON THE IMPROVEMENTS INDICATED ON THE PLANS.
- THE LOCATION OF VARIOUS UNDERGROUND UTILITIES WHICH ARE SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND REPRESENT THE BEST KNOWLEDGE OF THE ENGINEER. VERIFY LOCATIONS AND ELEVATIONS PRIOR TO BEGINNING THE CONSTRUCTION OPERATIONS.
- ANY EXISTING PAVEMENT, SIDEWALK, DRIVEWAY, ETC., DAMAGED DURING CONSTRUCTION OPERATIONS AND NOT CALLED FOR TO BE REMOVED SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
- MATERIAL AND COMPACTION TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPALITY, MWRD, AND OWNER.
- THE UNDERGROUND CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS TO NOTIFY ALL INSPECTION AGENCIES.
- ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS DISTURBED DURING CONSTRUCTION SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO FINAL INSPECTION.
- RECORD DRAWINGS SHALL BE KEPT BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER AS SOON AS UNDERGROUND IMPROVEMENTS ARE COMPLETED. FINAL PAYMENTS TO THE CONTRACTOR SHALL BE HELD UNTIL THEY ARE RECEIVED. ANY CHANGES IN LENGTH, LOCATION OR ALIGNMENT SHALL BE SHOWN IN RED. ALL WYES OR BENDS SHALL BE LOCATED FROM THE DOWNSTREAM MANHOLE. ALL VALVES, B-BOXES, TEES OR BENDS SHALL BE TIED TO A FIRE HYDRANT.

**D. SANITARY SEWERS**

- THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT ANY POLLUTED WATER, SUCH AS GROUND AND SURFACE WATER, FROM ENTERING THE EXISTING SANITARY SEWERS.
- A WATER-TIGHT PLUG SHALL BE INSTALLED IN THE DOWNSTREAM SEWER PIPE AT THE POINT OF SEWER CONNECTION PRIOR TO COMMENCING ANY SEWER CONSTRUCTION. THE PLUG SHALL REMAIN IN PLACE UNTIL REMOVAL IS AUTHORIZED BY THE MUNICIPALITY AND/OR MWRD AFTER THE SEWERS HAVE BEEN TESTED AND ACCEPTED.
- DISCHARGING ANY UNPOLLUTED WATER INTO THE SANITARY SEWER SYSTEM FOR THE PURPOSE OF SEWER FLOWING OF LINES FOR THE DEFLECTION TEST SHALL BE PROHIBITED WITHOUT PRIOR APPROVAL FROM THE MUNICIPALITY OR MWRD.
- ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS (LATEST EDITION).
- ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER SYSTEM.
- ALL DOWNSPOUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM.
- ALL SANITARY SEWER PIPE MATERIALS AND JOINTS (AND STORM SEWER PIPE MATERIALS AND JOINTS IN A COMBINED SEWER AREA) SHALL CONFORM TO THE FOLLOWING:

**PIPE MATERIAL**

- VITRIFIED CLAY PIPE
- REINFORCED CONCRETE SEWER PIPE
- CAST IRON SOIL PIPE
- DUCTILE IRON PIPE
- POLYVINYL CHLORIDE (PVC) PIPE
  - 6-INCH TO 15-INCH DIAMETER SDR 26
  - 18-INCH TO 27-INCH DIAMETER F/D<sub>11</sub>=46
- HIGH DENSITY POLYETHYLENE (HDPE)
- WATER MAIN QUALITY PVC
  - 4-INCH TO 36-INCH
  - 4-INCH TO 12-INCH
  - 14-INCH TO 48-INCH

**PIPE SPECIFICATIONS**

- ASTM C-700
- ASTM C-76
- ASTM A-74
- ANSI A21.51
- ASTM D-3034
- ASTM F-279
- ASTM D-3330
- ASTM D-3035
- ASTM D-2241
- AWWA C900
- AWWA C905

**JOINT SPECIFICATIONS**

- ASTM C-425
- ASTM C-443
- ASTM C-564
- ANSI A21.11
- ASTM D-3212
- ASTM D-3213
- ASTM D-3261F-26SD (HEAT FUSED)
- ASTM D-3212F-477 (GASKETED)
- ASTM D-3139
- ASTM D-3139
- ASTM D-3139

THE FOLLOWING MATERIALS ARE ALLOWED ON A QUALIFIED BASIS SUBJECT TO DISTRICT REVIEW AND APPROVAL PRIOR TO PERMIT ISSUANCE. A SPECIAL CONDITION WILL BE ADDED TO THE PERMIT WHEN THE PIPE MATERIAL BELOW IS USED FOR SEWER CONSTRUCTION OR A CONNECTION IS MADE.

**PIPE MATERIAL**

- POLYPROPYLENE (PP) PIPE
- 12-INCH TO 24-INCH DOUBLE WALL
- 30-INCH TO 60-INCH TRIPLE WALL

**PIPE SPECIFICATIONS**

- ASTM F-2736
- ASTM F-2764

**JOINT SPECIFICATIONS**

- D-3212, F-477
- C3212, F-477

- ALL SANITARY SEWER CONSTRUCTION (AND STORM SEWER CONSTRUCTION IN COMBINED SEWER AREAS), REQUIRES STONE BEDDING WITH STONE ¾" TO 1" IN SIZE, WITH MINIMUM BEDDING THICKNESS EQUAL TO ¼ THE OUTSIDE DIAMETER OF THE SEWER PIPE, BUT NOT LESS THAN FORTY (4) INCHES NOR MORE THAN EIGHT (8) INCHES. WATER SHALL BE CA-7, CA-11 OR CA-13 AND SHALL BE EXTENDED AT LEAST 12" ABOVE THE TOP OF THE PIPE WHEN USING PVC.
- NON-SHEAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPES OF DISSIMILAR PIPE MATERIALS.
- ALL MANHOLES SHALL BE PROVIDED WITH BOLTED, WATERTIGHT COVERS. SANITARY LIDS SHALL BE CONSTRUCTED WITH A CONCEALED PICKHOLE AND WATERTIGHT GASKET WITH THE WORD "SANITARY" CAST INTO THE LID.
- WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR AN EXISTING MANHOLE, ONE OF THE FOLLOWING METHODS SHALL BE USED:
  - A CIRCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOLS ("SEWER-TAP" MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HUBBIE SADDLE OR HUB-TEE SADDLE.
  - REMOVE AN ENTIRE SECTION OF PIPE (BREAKING ONLY THE TOP OF ONE BELL) AND REPLACE WITH A WYE OR TEE BRANCH SECTION.
  - WITH PIPE CUTTER, NEATLY AND ACCURATELY CUT OUT DESIRED LENGTH OF PIPE FOR INSERTION OF PROPER FITTING, USING BAND SEAL OR SIMILAR COUPLINGS TO HOLD IT FIRMLY IN PLACE.
- WHENEVER A SANITARY/COMBINED SEWER CROSSES UNDER A WATERMAIN, THE MINIMUM VERTICAL DISTANCE FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATERMAIN SHALL BE 18 INCHES. FURTHERMORE, A MINIMUM HORIZONTAL DISTANCE OF 10 FEET BETWEEN SANITARY/COMBINED SEWERS AND WATERMANS SHALL BE MAINTAINED UNLESS THE SEWER IS LAID IN A SEPARATE TRENCH, KEEPING A MINIMUM 18" VERTICAL SEPARATION. OR THE SEWER IS LAID IN THE SAME TRENCH WITH THE WATERMAIN LOCATED AT THE OPPOSITE SIDE ON A BENCH OF UNDISTURBED EARTH, KEEPING A MINIMUM 18" VERTICAL SEPARATION. IF EITHER THE VERTICAL OR HORIZONTAL DISTANCES DESCRIBED CANNOT BE MAINTAINED, OR THE SEWER CROSSES ABOVE THE WATER MAIN, THE SEWER SHALL BE CONSTRUCTED TO WATER MAIN STANDARDS OR IT SHALL BE ENCASED WITH A WATER MAIN QUALITY CARRIER PIPE WITH THE ENDS SEALED.
- ALL EXISTING SEPTIC SYSTEMS SHALL BE ABANDONED. ABANDONED TANKS SHALL BE FILLED WITH GRANULAR MATERIAL OR REMOVED.
- ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES, AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE.
- ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE PRECAST RUBBER BOOTS THAT CONFORM TO ASTM C-923 FOR ALL PIPE CONNECTIONS. PRECAST SECTIONS SHALL CONSIST OF WOODFIBER GROOVE TONGUE AND RUBBER GASKET TYPE JOINTS.
- ALL ABANDONED SANITARY SEWERS SHALL BE PLUGGED AT BOTH ENDS WITH AT LEAST 2 FEET LONG NON-SHRINK CONCRETE OR MORTAR PLUG.
- EXCEPT FOR FOUNDATION/FOOTING DRAINS PROVIDED TO PROTECT BUILDINGS, OR PERFORATED PIPES ASSOCIATED WITH FLOOD PREVENTION FACILITIES, DRAIN TILES/FIELD TILES AND/OR DRAINS/PERFORATED PIPES ARE NOT ALLOWED TO BE CONNECTED TO OR TRIBUTARY TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS IN COMBINED SEWER AREAS. CONSTRUCTION OF NEW FACILITIES OF THIS TYPE IS PROHIBITED, AND ALL EXISTING DRAIN TILES AND PERFORATED PIPES ENCOUNTERED WITHIN THE PROJECT AREA SHALL BE PLUGGED OR REMOVED, AND SHALL NOT BE CONNECTED TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS.
- A BACKFLOW PREVENTER IS REQUIRED FOR ALL DETENTION BASINS TRIBUTARY TO COMBINED SEWERS. REQUIRED BACKFLOW PREVENTER SHALL BE INSPECTED AND EXAMINED ANNUALLY BY THE PROPERTY OWNER TO ENSURE PROPER OPERATION, AND ANY NECESSARY MAINTENANCES SHALL BE PERFORMED TO ENSURE FUNCTIONALITY. IN THE EVENT OF A SEWER SURCHARGE INTO AN OPEN DETENTION BASIN, TRIBUTARY TO COMBINED SEWERS, THE PERMITTEE SHALL ENSURE THAT CLEAN UP AND WASH OUT OF SEWAGE TAKES PLACE WITHIN 48 HOURS OF THE STORM EVENT.

**F. EROSION AND SEDIMENT CONTROL**

- THE CONTRACTOR SHALL INSTALL THE EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
- EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL PRIOR TO HYDROLOGIC DISTURBANCE OF THE SITE.
- ALL DESIGN CRITERIA, SPECIFICATIONS, AND INSTALLATION OF EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM:
  - UPON COMPLETION OF INITIAL EROSION AND SEDIMENT CONTROL MEASURES, PRIOR TO ANY SOIL DISTURBANCE.
  - ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT WITH GREATER THAN 0.5 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION.
- SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE CO-PERMITTEE SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.
- A STABILIZED MAT OF CRUSHED STONE MEETING THE STANDARDS OF THE ILLINOIS URBAN MANUAL SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE, SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
- CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL AND SHALL BE INSTALLED PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITIES INVOLVING CONCRETE.
- MORTAR WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ADDITION TO CONCRETE WASHOUT FACILITIES FOR ANY BRICK AND MORTAR BUILDING ENVELOPE CONSTRUCTION ACTIVITIES.
- TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN. VOLUME CONTROL FACILITIES SHALL NOT BE USED AS TEMPORARY SEDIMENT BASINS.
- DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) DAYS.
- ALL FLOOD PROTECTION AREAS AND VOLUME CONTROL FACILITIES SHALL AT A MINIMUM, BE PROTECTED WITH A DOUBLE-ROW OF SILT FENCE (OR EQUIVALENT).
- VOLUME CONTROL FACILITIES SHALL NOT BE CONSTRUCTED UNTIL ALL OF THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
- SOIL STOCKPILES SHALL AT A MINIMUM, BE PROTECTED WITH PERIMETER SEDIMENT CONTROLS. SOIL STOCKPILES SHALL NOT BE PLACED IN FLOOD PROTECTION AREAS OR THEIR BUFFERS.
- EARTHEN BANKMOUND SIDE SLOPES SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL BLANKET.
- STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY APPROPRIATE SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR SHALL EITHER REMOVE OR REPLACE ANY EXISTING DRAIN TILES AND INCORPORATE THEM INTO THE DRAINAGE PLAN FOR THE DEVELOPMENT. DRAIN TILES CANNOT BE TRIBUTARY TO A SANITARY OR COMBINED SEWER. DRAIN TILES ALLOWED IN COMBINED SEWER AREA FOR GREEN INFRASTRUCTURE PRACTICES.
- IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DEWATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE SITE INSPECTOR MUST BE PRESENT AT THE COMMENCEMENT OF DEWATERING ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH DEWATERING AND EXCAVATION FOR THE INSTALLATION OF SANITARY SEWERS, STORM SEWERS, WATERMANS AS WELL AS THEIR SERVICES AND OTHER APPURTENANCES. ANY TRENCH DEWATERING, WHICH CONTAINS SEDIMENT SHALL PASS THROUGH A SEDIMENT SETTLING POND OR EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE. ALTERNATIVES MAY INCLUDE DEWATERING INTO A SLUMP PIT, FILTER BAG OR EXISTING VEGETATED UPSLOPE AREA. SEDIMENT LOADED WATERS SHALL NOT BE DISCHARGED TO WATERWAYS, FLOOD PROTECTION AREAS OR THE COMBINED SEWER SYSTEM.
- ALL PERMANENT EROSION CONTROL PRACTICES SHALL BE INITIATED WITHIN SEVEN (7) DAYS FOLLOWING THE COMPLETION OF SOIL DISTURBING ACTIVITIES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED ON A YEAR-ROUND BASIS DURING CONSTRUCTION AND ANY PERIODS OF CONSTRUCTION SHUTDOWN UNTIL PERMANENT STABILIZATION IS ACHIEVED.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER PERMANENT SITE STABILIZATION.
- THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, SITE INSPECTOR, OR MWRD.

DATE	1/17/24
BY	WJW/ML
REVISIONS	
NO. REVISIONS	0
NO. APPROVED	0
NO. REVISIONS	0
NO. APPROVED	0
NO. REVISIONS	0
NO. APPROVED	0

Prepared For:  
 I & P Properties, LLC  
 6801 West Roosevelt Road  
 Berwyn, IL 60402  
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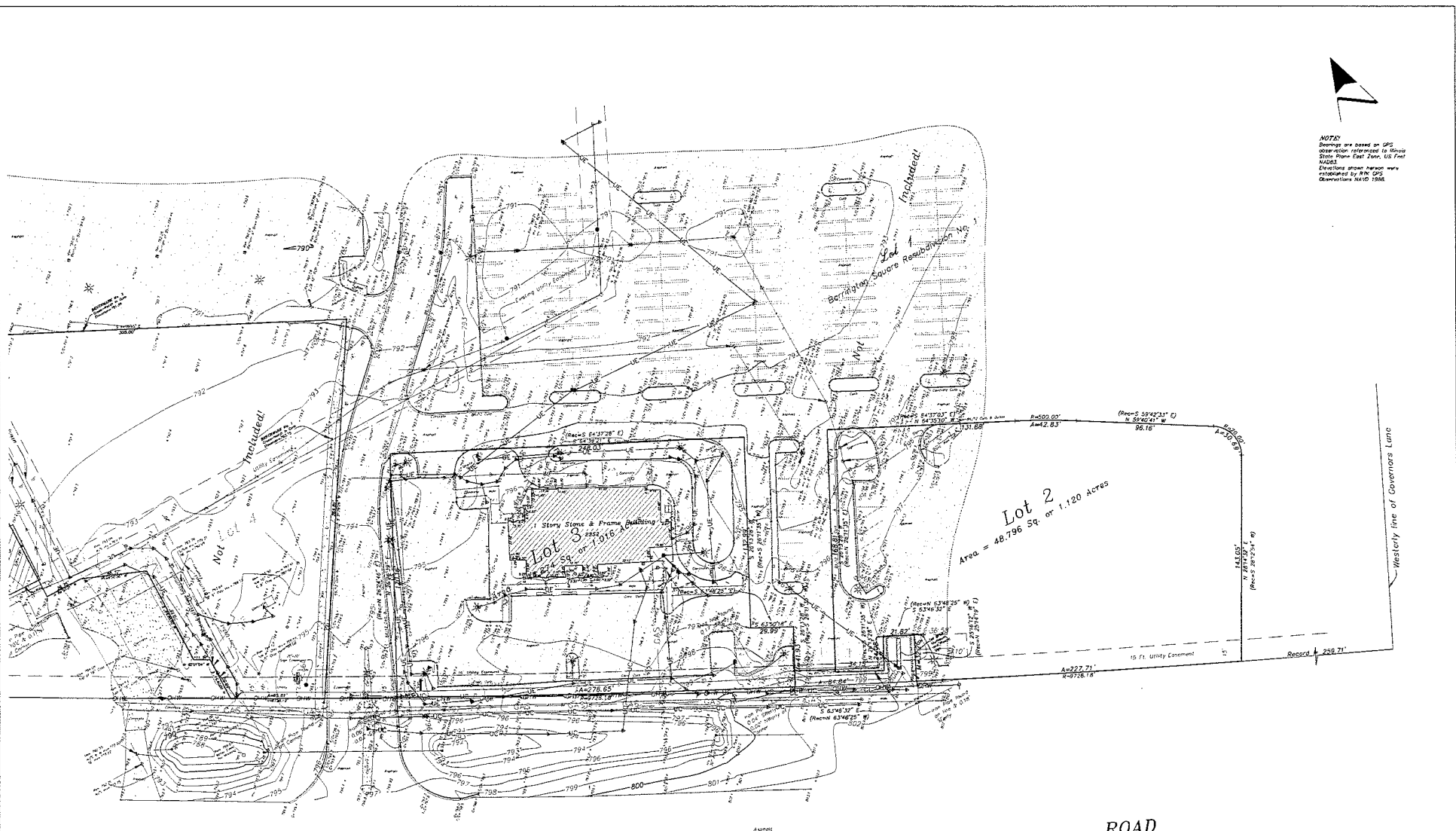
Prepared By:



ENCLOSED BY: VALERIE  
 DESIGN BY: BOB BISHOP  
 DRAWN BY: BOB BISHOP  
 SCALE: AS SHOWN  
 PROJECT NO.: 18-068



**NOTE:**  
 Bearings are based on GPS  
 observation referenced to Illinois  
 State Plane East Zone, US Foot  
 datum.  
 Elevations above person were  
 measured by RTK GPS  
 Observations NAD 1983



HIGGINS

Illinois Route 72

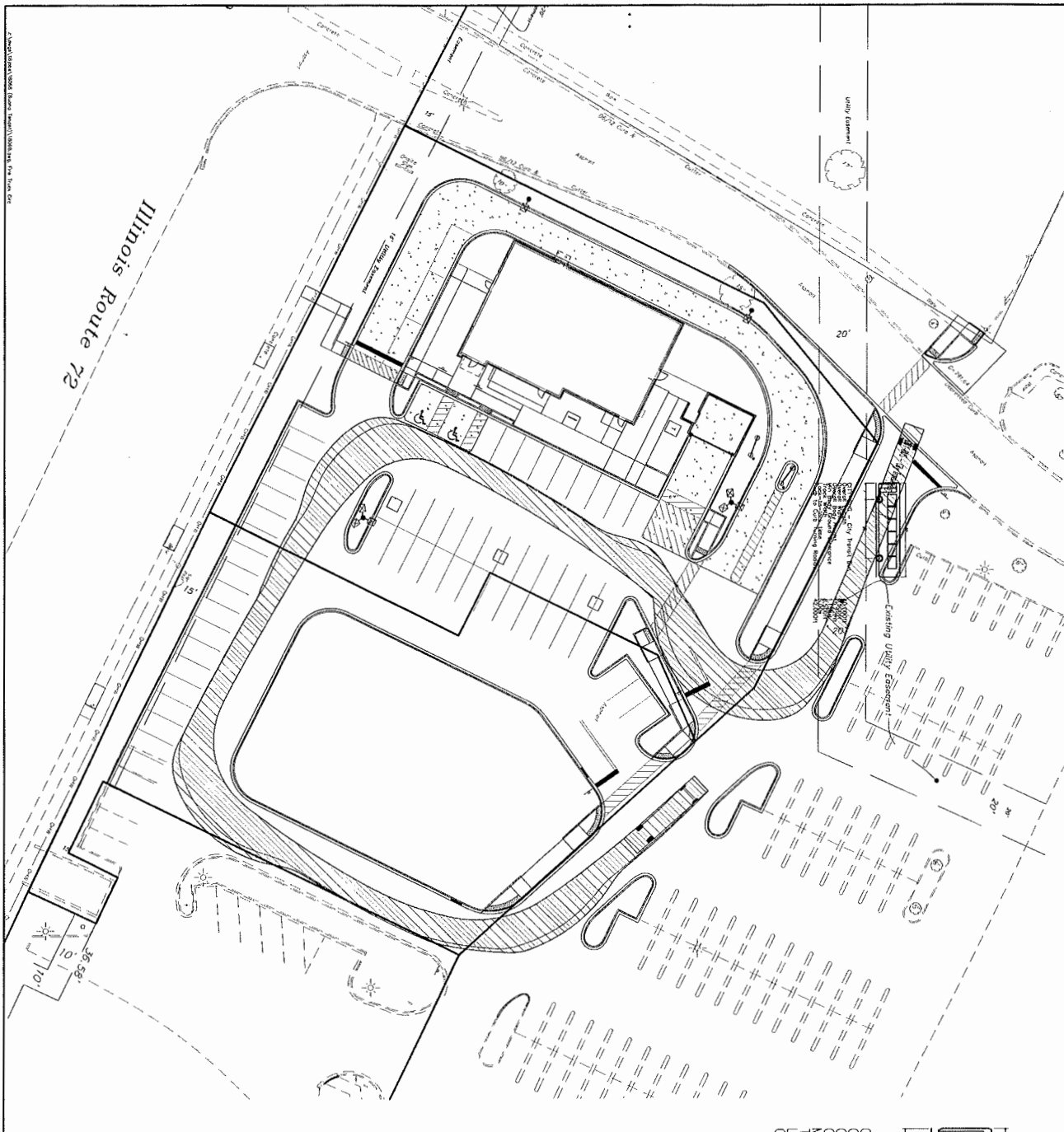
ROAD

<b>Composite Drawing</b>	
Barrington Square Resubdivision No. 2	
HOFFMAN ESTATES, ILLINOIS	
FOR: Watermark Engineering Resources, Ltd. DATE: 8/14/2018	
<b>SURVEY SYSTEMS OF AMERICA, INC.</b>	SCALE: 1" = 30' FT.
Subdivision, Land & Construction Surveys	P.C. CD 1/2" = 1'
ELGIN, ILLINOIS 60120-6174	PHONE: (815) 428-5770
P.O. BOX 6174	183-23487-4 85-IN

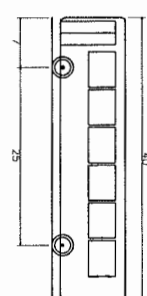
Elevation reference added and  
 Drawing last revised: 8/21/2018

11/15/2018 10:51:30 AM

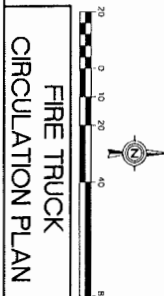




Illinois Route 72



CITY-BUS - City Transit Bus  
 Overall Length 40.000ft  
 Overall Width 25.000ft  
 Overall Body Height 10.500ft  
 Max Ground Clearance 8.500ft  
 Track Width 5.000ft  
 Lock-to-Lock time 42.000ft  
 Curb-to-Curb Turning Radius



**FIRE TRUCK CIRCULATION PLAN**

CHECKED BY: JAMILLER  
 DESIGN BY: M.HANSEN  
 DRAWN BY: D.OLSON  
 DATE: SEPT. 28, 2018  
 SCALE: 1" = 20'  
 PROJECT NO.: 18-068



Prepared By:  
 J & P Properties, LLC  
 6801 West Roosevelt Road  
 Berwyn, IL 60402  
 BUONA BEEF RESTAURANT  
 2352 West Higgins Road  
 Hoffman Estates, Illinois

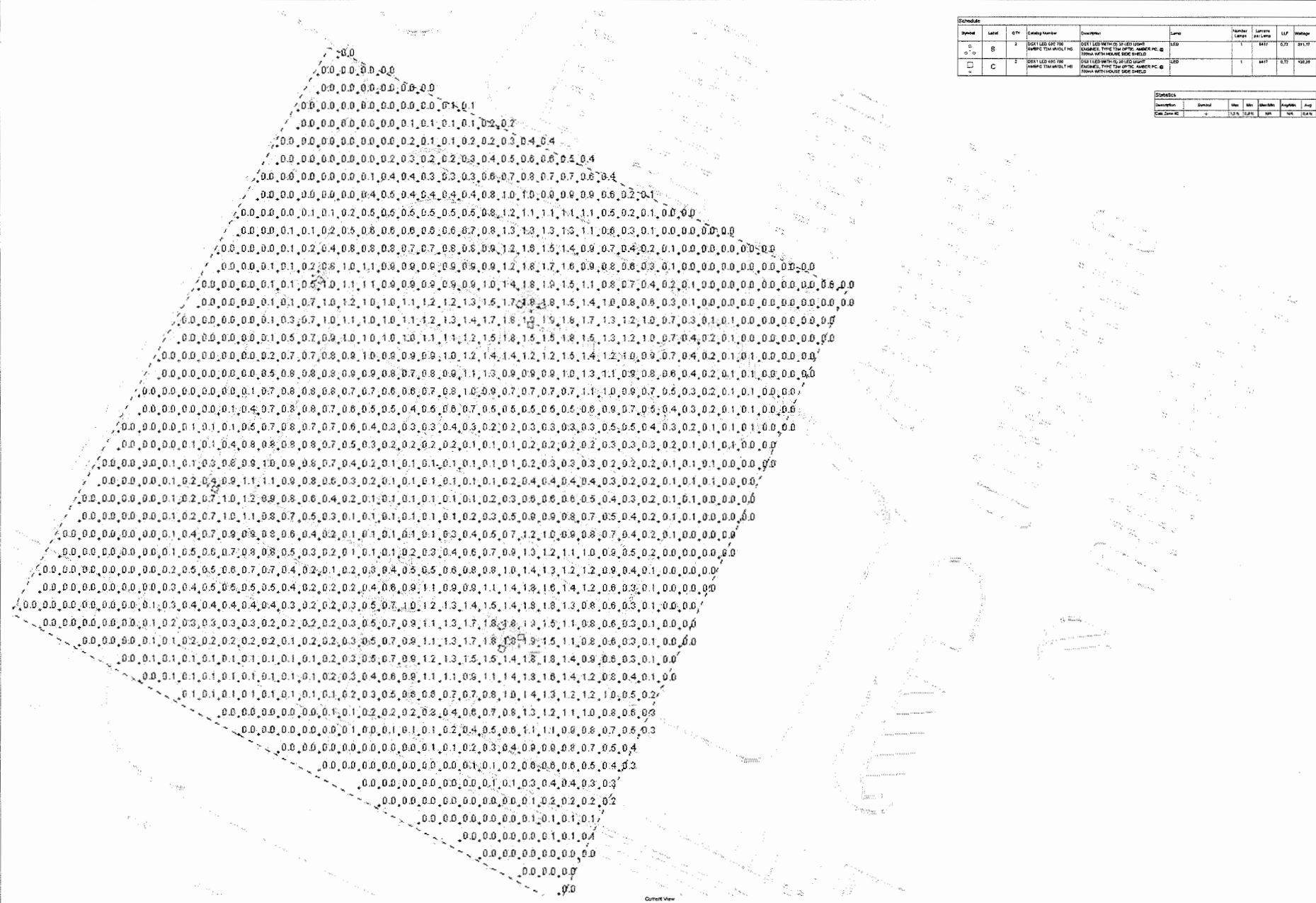
NO.	REVISIONS	DATE
1	NO REVISIONS	11/07/18
2	NO REVISIONS	04/19/18
3	NO REVISIONS	02/25/18



11 2 28 13 48 4

Symbol	Label	QTY	Quantity Number	Description	Unit	Number	Quantity	Unit Price	Weight
□	B	1	1	2501 LED GIP 100 JAMPC T8M BOLT III	LED	1	1	1417	141.7
□	C	1	1	2501 LED GIP 100 JAMPC T8M BOLT III	LED	1	1	1417	141.7

Material	Symbol	Unit	Qty	Material	Symbol	Unit	Qty
2501 LED GIP 100	B	1	1	2501 LED GIP 100	C	1	1



BUONA - HOFFMAN STATES

Designer  
Date  
Scale  
North Scale  
Drawing No.  
Summary