

**AGENDA**  
**SPECIAL PLANNING, BUILDING AND ZONING COMMITTEE**  
**Village of Hoffman Estates**  
**June 19, 2017**

**Immediately Following the Finance Committee Meeting**

<b>Members:</b>	<b>Gary Stanton, Chairman</b>	<b>Anna Newell, Trustee</b>
	<b>Karen Arnet, Vice Chairman</b>	<b>Gary Pilafas, Trustee</b>
	<b>Karen Mills, Trustee</b>	<b>Michael Gaeta, Trustee</b>
		<b>William McLeod, Mayor</b>

**I. Roll Call**

**NEW BUSINESS**

1. Request by Petro Auto LLC for approval of a site plan amendment for site improvements on the property located at 1300 West Higgins Road.

**II. Adjournment**

**COMMITTEE AGENDA ITEM  
VILLAGE OF HOFFMAN ESTATES**

**SUBJECT:** Request by Petro Auto LLC for approval of a site plan amendment for site improvements on the property located at 1300 West Higgins Road

**MEETING DATE:** June 19, 2017

**COMMITTEE:** Special Planning, Building and Zoning

**FROM:** Peter Gugliotta *PG*

**REQUEST:** Request by Petro Auto LLC for approval of a site plan amendment for site improvements on the property located at 1300 West Higgins Road.

**BACKGROUND:** On November 21, 2016, the Village Board approved a site plan amendment to allow the owner of 1300 Higgins Road to make site improvements to operate an auto repair business on the property, however, the petitioner failed to comply with required deadlines and, therefore, the approval has expired.

After purchasing this vacant building/property, the petitioner began talking to staff about site improvement plans in 2014, and eventually first appeared before the Planning and Zoning Commission (PZC) in December 2015, with plans that were substandard. The initial request was deferred and there were several more PZC and Village Board appearances with various plan changes along the way. Ultimately, in November 2016, site plan and signage approvals were granted with several waivers and conditions, including the following deadlines which were intended to expedite correction of several severe and longstanding violations on the property:

- ◆ **February 1, 2017** - Submit complete building permit application (including plans stamped by a licensed architect and all contractor information).
- ◆ **March 1, 2017** - Obtain the building and site permit by this date.
- ◆ **June 30, 2017** - Complete all building and site improvements in accordance with Village code to ensure the violations are resolved. This work was to include installing a fire suppression system in the building to comply with the current Fire code.

The petitioner did not begin preparing the permit plans and submittal package until mid-February and, therefore, did not comply with the February 1 and March 1 deadlines. **Corporation Counsel has confirmed that the Village Board approval is no longer valid due to the expiration of these deadlines,**



**PROPOSAL:**

After the site plan approval expired, the petitioner applied for “re-approval” of the same plans, but asking for longer construction deadlines than those included in the November 2016, Village Board conditions. The attached plans are identical to those approved last year and this memo provides essentially the same recommended conditions that were included with the 2016 approval (with some minor updates relative to dates and clarification items). The prior signage approval has not expired (valid for one year). The previously approved Village resolution supporting a Cook County Class 6 tax incentive (related to the contaminated soil clean up) remains valid, although the petitioner has not yet been able to secure final approval yet.

**DISCUSSION:**

The plan packet for this request has been copied from the November 2016, Village approval since there have been no further changes. Along with the same site plans as were approved in 2016, the petitioner is proposing the following updated timeline for completion of this project:

- ◆ Parking Lot Completion: 180 days from permit issue date.
- ◆ Complete site plan renovation: 1 year from permit issue date.

The owner has indicated he plans to act as General Contractor and he will perform most construction work himself rather than hiring separate contractors to work concurrently on different aspects of the project. As a result, the construction timeline will be much longer than that a typical commercial project.

Beyond the site plans and new construction schedule, staff recommended the petitioner complete the full building permit review process and resolve other related permitting items before Village Committee and Village Board consideration. Staff has verified the building plans are now complete, and the petitioner has obtained IDOT approval and finalized the required performance guarantee cost estimate and, therefore, conditions related to those items have been deleted. If the Village approves the site plan request, staff will verify that all contractors have current licenses, bonds, and insurance, and the permit can be available to be issued within a few days after which work can begin.

**SUMMARY:**

This petitioner has presented many challenges to the Village during the plan preparation and public meeting process and has frequently not followed rules, procedures, or codes, which has resulted in an unusually long review process. However, at this point, the site plans and building permit plans are complete and adequate to allow significant improvements to be made to the property, if the petitioner follows through and performs the construction work properly and in a timely manner. The conditions of approval have been updated to provide extensive details to help facilitate a proper construction process. If this project is approved, staff will monitor the property closely and enforce violations of the conditions of approval diligently to avoid prolonging the existence of violations at this site.



**SUMMARY:** (Continued)

Because the petitioner failed to comply with the approval deadlines, the existing site violations remain and citations were issued. At Adjudication Court, the Hearing Officer granted a continuance to allow the petitioner additional time to seek re-approval of the plans and obtain permits to begin work. If Village Board approval is not granted, the petitioner will be required to repave the property based on the old site layout, and repair any other deteriorated structure, but none of the new site improvements would be allowed to be constructed.

**RECOMMENDATION:**

Approval of a request by Petro Auto LLC for approval of a site plan amendment for site improvements on the property located at 1300 West Higgins Road, subject to the following conditions:

1. This approval is granted based on the petitioner's final application materials submitted for the prior November 21, 2016, Village approval (since expired) for an auto repair business. This approval is also incorporates the Village staff memos and Finding of Fact that were part of the November 2016, prior approval. Any proposed changes to the building or property that substantially differ from the application materials will require prior Village approval and may require a formal amendment to the approved site plan amendment, as determined by the Village. Any proposal in the future to convert the property into a gas station will require a special use and a site plan amendment.
2. The following Subdivision Code landscaping waivers are granted:
  - a. A waiver from Section 10-4-4-D-2-a to not provide foundation plantings along north and west sides of the building.
  - b. A waiver from Section 10-4-4-B-2-a to provide a site perimeter width of 7.5 feet at the west perimeter at the front of a row of parking spaces instead of the minimum required 10 feet.
  - c. A waiver from Section 10-4-4-B-2-a to provide a site perimeter width of 1.5 feet at the east perimeter at the front of a row of parking spaces instead of the minimum required 10 feet.
3. No signs are approved as part of this request. Signs on the property shall require separate permits in accordance with the Zoning Code.
4. Prior to issuance of any permit for work at the site, the petitioner shall provide the required performance guarantee to the Village in the amount of \$42,100 in accordance with Subdivision Code Section 10-7-1.
5. The owner shall obtain the building permit for this project within 30 days of Village Board approval.
6. All curb work and paving on the property shall be completed within 180 days of Village Board approval. Failure to comply with this requirement will result in the issuance of citations, with fines up to \$500 per day.



**RECOMMENDATION:** (Continued)

7. All site work, including building facade, landscaping, canopy changes, site lighting, etc. shall be completed within one year of Village Board approval. Failure to comply with this requirement will result in the issuance of citations, with fines up to \$500 per day.
8. After issuance of the building permit and prior to any work starting, the petitioner shall schedule a Village preconstruction inspection and preconstruction meeting at the building to review work that was previously done without permits and determine any necessary changes that may need to be made, including removal of unpermitted work in order to allow required inspections to be performed.
9. During construction, the Petitioner shall adhere to the following:
  - a. The petitioner shall call the Village a minimum of 24 hours in advance for all required building inspections and make corrections as directed.
  - b. If there are any unforeseen construction changes in the field, plans must be submitted for review and approval prior to the change being constructed.
  - c. No materials, vehicles, equipment, supplies or other items shall be stored or stockpiled outside on the site during construction, except or limited items that are actively being used for construction.
10. In addition to the building and site work permit, the petitioner shall obtain the required Fire Department permits for the new fire suppression system and fire alarm. All work related to these requirements shall be completed prior to issuance of the Certificate of Occupancy for the building.
11. In accordance with Village code, construction hours shall be limited to 7 a.m. to 10 p.m., Monday through Friday; and 8 a.m. to 10 p.m., Saturday and Sunday.
12. The property owner shall comply with all building code requirements necessary to upgrade the building, shall complete all items included on the approved plans (including completion of the work in the IDOT right of way), and shall resolve all property maintenance code violations prior to issuance of any Certificate of Occupancy. No business operations shall occur at this property or within the building until a business license has been issued and the Occupancy permit has been granted.
13. Regarding future business operations:
  - a. Vehicles shall not be parked under the canopy in excess of 30 minutes, and the canopy area shall only be used for customers to drop off or pick up vehicles.
  - b. Parking shall only occur only in legally marked parking spaces. The property owner shall monitor the parking to ensure that illegal parking does not occur. In the event any vehicles are found parked illegally on the property, the owner shall be subject to the issuance of a citation for violation of the approved site plan.
  - c. No outside storage of parts, tires, materials, or any other item (including inoperable or unlicensed vehicles) shall occur on the property, including within the fenced dumpster enclosure. All such items must only be kept inside the building.

## Attachments

Cover letter, application, Finding of Fact dated 11/21/16, P&Z Commission staff reports dated 11/16/16 and 6/15/16

cc: Chris Petrovich

Kathleen Brancato  
Chris Petrovich  
1300 W. Higgins Road  
Hoffman Estates, IL 60169  
04/26/2017



Peter Gugliotta  
Director of Planning, Building and Code Enforcement  
Village of Hoffman Estates  
1900 Hassell Road  
Hoffman Estates, IL 60169

Dear Peter Gugliotta:

Thank you for considering our request for re-approval of the site plan for 1300 W. Higgins Road in Hoffman Estates, IL with amended conditions. The site plan itself is the same as the previous submission which gained approval in November 2016 by Hoffman Estates Village Council. With this submission however, we have supplemented our proposal as you suggested with a complete portfolio of all requested items for the permit stage to demonstrate our preparedness and ability to move forward with this project. We would like to propose the amended deadline schedule below for completion of the project:

Parking lot completion: 180 days from permit issue date  
Complete site plan renovation: 1 year from permit issue date

We believe these deadlines will give us sufficient time to complete all proposed site work. We intend to give priority to the parking lot since we would like to correct the violation as soon as possible and it is also weather dependent. We appreciate your consideration and guidance throughout this process. Please do not hesitate to contact us if there are any questions, concerns, or other documentation needed.

Thank you,  
Kathleen Brancato  
Chris Petrovich





# VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING GENERAL APPLICATION\*

Special Use for \_\_\_\_\_  Rezoning from \_\_\_\_\_ to \_\_\_\_\_

Variation:  Commercial  Residential  Sign

Plat (Subdivision & Others):  Preliminary  Final

Site Plan:  Amendment  Concept  Preliminary  Final

Master Sign Plan:  Amendment

Other: \_\_\_\_\_

\* ADDENDUM MATERIALS ARE REQUIRED FOR SPECIFIC REQUESTS

Posting of Notification Sign(s) may be required.

Specific requirements will be provided when your request is scheduled.

**RECEIVED**  
APR 27 2017  
PLANNING DIVISION

### FOR VILLAGE USE ONLY

Hearing Fee \$500.00 Check No. \_\_\_\_\_ Date Paid 4/27/2017

Project Number: 2015039P

Staff Assigned: P. Bugliotta

Meeting Date: \_\_\_\_\_

Public Hearing: Yes  No

Sign Posting Required: Yes  No

Date Sign Posted NA

### PLEASE PRINT OR TYPE

Date: 4-25-2017

Project Name: 1300 Higgins

Project Description: Site Work / upgrades

Project Address/Location: 1300 West Higgins Road

Property Index No. 07-08-409-014-0000

Acres: 1/2 Zoning District: B-2

**I. Owner of Record**

<u>Chris Petrovich</u>		<u>Petro Auto LLC</u>
Name		Company
<u>1300 West Higgins Road</u>		<u>Hoffman Estates</u>
Street Address		City
<u>IL</u>	<u>60169</u>	<u>630 5144297</u>
State	Zip Code	Telephone Number
		<u>chrispetrovich@ameritech.net</u>
Fax Number		E-Mail Address

**II. Applicant (Contact Person/Project Manager)**

<u>Same as Above</u>		
Name		Company
Street Address		City
State	Zip Code	Telephone Number
Fax Number		E-Mail Address

Applicant's relationship to property: \_\_\_\_\_

**III. Owner Consent for Authorized Representative**

It is required that the property owner or his designated representative be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. **If the owner cannot be present at the meeting, the following statement must be signed by the owner:**

I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize Any Petro Auto Employee to act on my behalf and advise that he/she has full authority to act as my/our representative.



**Owner Signature**

Chris Petrovich

**Print Name**



#### IV. Acknowledgement(s)

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

**The Owner and Applicant**, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature: 

Owner's Name (Please Print): Chris Petrovich

Applicant's Signature: \_\_\_\_\_  
(If other than Owner)

Applicant's Name (Please Print): \_\_\_\_\_

Date: 4/25/2017

**All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.**

Please contact the Planning Division (located in the Municipal Building) with any questions:

Email: planning@hoffmanestates.org  
Address: 1900 Hassell Road  
Hoffman Estates, IL 60169  
Phone: (847) 781-2660  
Fax: (847) 781-2679

Addendums Attached:

- Special Use
- Rezoning
- Variation
- Plat
- Site Plan
- Master Sign Plan
- Other \_\_\_\_\_



VILLAGE OF HOFFMAN ESTATES  
PLANNING AND ZONING COMMISSION

PZC APPROVAL: 11/16/16  
V.B. APPROVAL: 11/21/16

Expired

FINDING OF FACT

COPY

PROJECT NO.: 2015039P

VILLAGE BOARD MEETING DATE: November 21, 2016

PETITIONER(S): Petro Auto, LLC (owner)

PROJECT ADDRESS: 1300 W. Higgins Road

ZONING DISTRICT: B2, Community Business District

REQUEST: Site Plan Amendment & Sign Variation

Does the Planning and Zoning Commission find that this request meets the Standards for a Variation (Section 9-1-15)?  YES  NO

Recommendation: APPROVAL

Vote: 6 Ayes; 5 Absent

PZC MEETING DATE:

STAFF ASSIGNED: Peter Gugliotta

December 16, 2015; January 20, 2016;

May 18, 2016; June 15, 2016, November 16, 2016

A. Request by Petro Auto, LLC (owner) to consider a Site Plan Amendment for site improvements on the property located at 1300 W. Higgins Road.

The following conditions are recommended:

1. This approval is granted based on the petitioner's plans and application materials submitted with this request for the operation of an auto repair business. Any proposed changes to the use, building or property that substantially differ from the application materials will require Village approval. Any proposal in the future to operate a gas station at this property will require Special Use and Site Plan Amendment review and approval.
2. The following Subdivision Code landscaping waivers are granted:
  - a. A waiver from Section 10-4-4-D-2-a to not provide foundation plantings along north and west sides of the building.
  - b. A waiver from Section 10-4-4-B-2-a to provide a site perimeter width of 7.5 feet at the west perimeter at the front of a row of parking spaces instead of the minimum required 10 feet.
  - c. A waiver from Section 10-4-4-B-2-a to provide a site perimeter width of 1.5 feet at the east perimeter at the front of a row of parking spaces instead of the minimum required 10 feet.
3. No signs are approved as part of this request. Signs on the property shall require separate permits in accordance with the Zoning Code.

The following conditions relate to the permitting and construction phases.

4. In accordance with Village Code, the property owner shall submit a detailed itemized cost estimate for all site work to be reviewed by the Village Engineer. Upon approval, this estimate shall be used



**COPY**

to determine the code-required performance guarantee that must be submitted prior to issuance of any permit for work at the site.

5. Prior to issuance of a building permit, the property owner shall submit an authorization letter or permit from IDOT for the work in the Higgins Road right-of-way.
6. In order to ensure the existing site violations will be corrected as early as possible in the next construction season, a complete building permit application (including plans stamped by a licensed architect and all contractor information) shall be submitted for review prior to **February 1, 2017**, and the permit shall be obtained prior to **March 1, 2017**. Failure to meet this deadline shall result in the issuance of citations and/or other legal action.
7. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 10 p.m. Monday through Friday, and 8 a.m. to 10 p.m. Saturday and Sunday.
8. The property owner shall comply with all building code requirements necessary to upgrade the building and shall resolve all property maintenance code violations prior to issuance of any Certificate of Occupancy. No business operations shall occur at this property or within the building until a business license has been issued and the Occupancy permit has been granted.
9. All landscaping shall be installed in accordance with Village Code and the approved plan prior to issuance of any Certificate of Occupancy.
10. All building and site improvement work shall be completed in accordance with Village Code and the approved plans prior to issuance of any Certificate of Occupancy and prior to **June 30, 2017**, to ensure that existing violations are resolved.

The following conditions pertain to the ongoing operations of the auto repair business after occupancy has been granted.

11. Vehicles shall not be parked under the canopy in excess of 30 minutes, and the canopy area shall only be used for customers to drop off or pick up vehicles.
12. Parking shall only occur only in legally marked parking spaces. The property owner shall monitor the parking to ensure that illegal parking does not occur. In the event any vehicles are found parked illegally on the property, the owner shall be subject to the issuance of a citation for violation of the approved site plan.
13. No outside storage of parts, tires, materials, or any other item (including inoperable vehicles) shall occur on the property, including within the fenced dumpster enclosure. All such items must be stored inside the building.

**B. Request by Petro Auto, LLC (owner) to consider a variation under Section 9-3-8-M-10-d-4 of the Zoning Code to permit a ground sign to be located a minimum 3 feet from any property line instead of the minimum required 10 feet on the property located at 1300 W. Higgins Road.**



(No conditions)

## FINDING

This request has appeared at the following public meetings:

- December 16, 2015 - Planning and Zoning Commission (continued)
- January 20, 2016 – Planning and Zoning Commission (recommended denial)
- February 1, 2016 – Village Board (remanded back to Planning and Zoning Commission)
- May 18, 2016 – Planning and Zoning Commission (continued)
- June 15, 2016 – Planning and Zoning Commission (recommended approval)
- June 20, 2016 – Village Board (denied)
- July 6, 2016 – Village Board (approved reconsideration, remanded back to Planning and Zoning Commission)
- November 16, 2016 - Planning and Zoning Commission (recommended approval)

During several meetings, the Commission heard from the petitioners (Mr. Petrovich and Ms. Brancato) regarding their proposal to open an auto repair business using the existing 3-bay garage; other parts of the building interior would include a customer waiting room, employee areas, and utility room. The property would not include a gas station or convenience store. Before a business can re-occupy the vacant building, site improvements are required in accordance with the Subdivision Code and these are addressed as part of the proposed plans.

**Following the Village Board remand in July 2016, the petitioner engaged a licensed engineer and updated the plans to address several major technical deficiencies, including Fire, Transportation, and Engineering items.**

The Commission thoroughly discussed the required site improvements to bring the property closer to compliance with Subdivision Code requirements. After several attempts, the petitioner adequately addressed the Village requirements for site plan revisions. The plans include new perimeter curbing, curbed landscape islands, landscaping areas, sidewalks, building façade improvements, and a dumpster enclosure. The plan includes closure of the existing, western driveway from Higgins Road, which staff recommended to improve safety and traffic flow (the western driveway from Higgins Road is less than the minimum required 125 feet from the street intersection). The Commission questioned the need to allow the canopy to remain on the property, which the petitioner is proposing to retain as a covered area for customers to pick up and drop off vehicles.

Prior Commission meetings involved extensive discussion related to removal of the existing pavement on the north and east sides of the building to provide required landscaping and to remove excess pavement that does not meet Village standards. Initially the petitioner proposed leaving the area open for a drive aisle, which did not meet Village standards. Subsequently the petitioner proposed an oversized enclosure that was excessive given the items proposed to be stored in the enclosure (two dumpsters and a tow truck) and raised concerns that the area would be used to store vehicles, tires, and miscellaneous items related to the auto repair business that should instead be stored inside the building. After the item was continued following much discussion, the petitioner modified the plan based on staff and Commission direction. The plan includes a curbed parking space for a tow truck and a separate fence enclosure with gates on two sides, allowing for pull-through access. The Commission found the cedar fence material to be acceptable in lieu of masonry.



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The petitioner will need to follow through with the standard conditions and requirements of the Village permitting and development process by submitting architectural and fire suppression plans, providing a project guarantee, and providing a copy of the required IDOT permit. The recommended conditions include specific deadlines for applying for a permit, obtaining the permit, and completing the work – these are specifically intended to ensure the project begins and finishes in a timely manner, and most importantly, resolves the extensive outstanding property maintenance violations that exist. **The petitioner agreed to all conditions at the November 16<sup>th</sup> meeting, including the specific deadlines that are included.**

The Commission discussed the proposed sign setback variation, which was found to meet the Standards for a Variation. The request was deemed reasonable given the limited space available to install a ground sign without more substantially reconfiguring the property.

The Commission agreed that the plans were acceptable and voted unanimously to recommend approval of both motions.

#### AUDIENCE COMMENTS

December 16, 2015 – Joseph Scaccianoce, 1546 Glen Lake Road. Mr. Scaccianoce praised the petitioner's efforts to this point to clean up the property and commented on his own experiences with the gas station. He stated that the access driveway from Higgins Road should be removed due to safety concerns.

January 20, 2016 – Thea Petrovich, 254 North Ash Avenue, Wood Dale, Illinois. Ms. Petrovich stated that she is a real estate broker and mother of the petitioner and regrets recommending this property to her son. She voiced her disapproval of the Village plan review process.

No audience comments were made in the May, June, or November meetings.

#### PLANNING AND ZONING COMMISSIONERS

Chairperson Eva Combs	Thomas Krettler
Vice-Chairman Steve Caramelli	Greg Ring
Sharron Boxenbaum	Nancy Trieb
Lon Harner	Steve Wehofer
Lenard Henderson	Denise Wilson
Myrene Iozzo	

#### ROLL CALL VOTE

6 Ayes  
5 Absent (Boxenbaum, Combs, Krettler,  
Wehofer, Wilson)

#### **MOTION PASSED**

The following attachments are hereby incorporated as part of this Finding of Fact:

- Staff Report (November 16, 2016)
- Petitioner's Application & Submittals
- Legal Notice
- Location Map
- Staff Exhibit – Aerial Photo



VILLAGE OF HOFFMAN ESTATES  
PLANNING AND ZONING  
STAFF REPORT

PZC APPROVAL: 11/16/16  
V.B. APPROVAL: 11/21/16

*Expired*

PROJECT NO.: 2015039P

PROJECT NAME: 1300 W. HIGGINS ROAD – SITE  
IMPROVEMENTS & SIGN VARIATION

PROJECT ADDRESS / LOCATION: 1300 W. HIGGINS ROAD

PUBLIC HEARING  YES  NO

REZONING  MASTER SIGN PLAN  SPECIAL USE  VARIATION

SITE PLAN AMENDMENT  PLAT  CONCEPT REVIEW

MEETING DATE: NOVEMBER 16, 2016  
(Remanded from July 6, 2016 Village Board meeting)

STAFF ASSIGNED: PETER GUGLIOTTA *PG*

**COPY**

REQUESTED MOTIONS

- A. Request by Petro Auto, LLC (owner) to consider a Site Plan Amendment for site improvements on the property located at 1300 W. Higgins Road.
- B. Request by Petro Auto, LLC (owner) to consider a variation under Section 9-3-8-M-10-d-4 of the Zoning Code to permit a ground sign to be located a minimum 3 feet from any property line instead of the minimum required 10 feet on the property located at 1300 W. Higgins Road.

INCLUDES RECOMMENDED CONDITIONS  YES  NO

ACRES: 0.49 (Approximate)	ZONING DISTRICT: B-2, Commercial District
ADJACENT NORTH: Multi-tenant building, B-2	SOUTH: Residences across Higgins Road, R-4
PROPERTIES: EAST: Simply Stereo, B-2	WEST: Residences across Glen Lake Road, R-4

BACKGROUND

The petitioner has appeared before the Village formally with this request at several meetings, but due to deficiencies in plans and an extensive number of outstanding conditions he has failed to secure approval. Most recently in July, the Village Board agreed to reconsider a denial and remanded the project back to the Planning and Zoning Commission to allow the applicant another opportunity to submit approved plans.

The subject property is currently in a severely deteriorated state with several outstanding property maintenance violations and the Village has withheld legal action against the owner pending the outcome of this redevelopment proposal which would include correction of all issues.



**COPY**

This request has appeared at the following public meetings:

- December 16, 2015 - Planning and Zoning Commission (continued)
- January 20, 2016 – Planning and Zoning Commission (recommended denial)
- February 1, 2016 – Village Board (remanded back to Planning and Zoning Commission)
- May 18, 2016 – Planning and Zoning Commission (continued)
- June 15, 2016 – Planning and Zoning Commission (recommended approval)
- June 20, 2016 – Village Board (denied)
- July 6, 2016 – Village Board (approved reconsideration, then remanded back to Planning and Zoning Commission)

Since the July 6<sup>th</sup> Village Board meeting, the Petitioner has submitted several plan revisions and finally obtained assistance from an engineering professional to help complete the plans. Village staff has met with the Petitioner and provided extensive guidance in an effort to ensure grading and utility details are accurately shown on the plans.

### **PROPOSAL**

The property owner is seeking to open an auto repair business using the existing 3-bay garage; other parts of the building interior would include a customer waiting room, employee areas, and utility room. The property would not include a gas station or convenience store.

Auto repair is a permitted use in the B-2 Community Business District; however, before a business can re-occupy the vacant building, site improvements are required under Village Subdivision Code Section 10-2-1 to bring the property closer to current Subdivision Code standards. A sign setback variation is also requested to permit a new ground sign.

A copy of the Staff Report and Finding of Fact from the June 15, 2016 meeting are attached.

### **UPDATE**

The current plans have been revised as follows:

- The fenced enclosure has been shifted such that the north edge has at least a six foot setback from the north property line to allow for driver sight visibility.
- The plans show the location of the new water service, including standard Village details. The plans note that the new Fire Department Connection (FDC) for the fire suppression system will be flush mounted (recessed) on the west wall so as to not obstruct the required 5 foot sidewalk width.
- The plans have been revised to include more specific and accurate grading information and sidewalk ramp details as required by the Village's Engineering and Transportation Division.

With the above plan changes, the three most significant conditions of approval (which reflected deficiencies in the plans) have been resolved and those conditions eliminated from the recommendation. The remaining recommended conditions have been updated and are generally typical of most redevelopment projects, with the exception of the construction deadline conditions that are necessary to ensure resolution of the outstanding property violations.

### **RECOMMENDED CONDITIONS**

Staff recommends the following conditions:

#### **A. Request by Petro Auto, LLC (owner) to consider a Site Plan Amendment for site improvements on the property located at 1300 W. Higgins Road.**

The following conditions are recommended:

1. This approval is granted based on the petitioner's plans and application materials submitted with this request for the operation of an auto repair business. Any proposed changes to the use, building or property that substantially differ from the application materials will require Village approval. Any proposal in the future to operate a gas station at this property will require Special Use and Site Plan Amendment review and approval.
2. The following Subdivision Code landscaping waivers are granted:
  - a. A waiver from Section 10-4-4-D-2-a to not provide foundation plantings along north and west sides of the building.
  - b. A waiver from Section 10-4-4-B-2-a to provide a site perimeter width of 7.5 feet at the west perimeter at the front of a row of parking spaces instead of the minimum required 10 feet.
  - c. A waiver from Section 10-4-4-B-2-a to provide a site perimeter width of 1.5 feet at the east perimeter at the front of a row of parking spaces instead of the minimum required 10 feet.
3. No signs are approved as part of this request. Signs on the property shall require separate permits in accordance with the Zoning Code.

The following conditions relate to the permitting and construction phases.

4. In accordance with Village Code, the property owner shall submit a detailed itemized cost estimate for all site work to be reviewed by the Village Engineer. Upon approval, this estimate shall be used to determine the code-required performance guarantee that must be submitted prior to issuance of any permit for work at the site.
5. Prior to issuance of a building permit, the property owner shall submit an authorization letter or permit from IDOT for the work in the Higgins Road right-of-way.
6. In order to ensure the existing site violations will be corrected as early as possible in the next construction season, a complete building permit application (including plans stamped by a licensed



architect and all contractor information) shall be submitted for review prior to **February 1, 2017**, and the permit shall be obtained prior to **March 1, 2017**. Failure to meet this deadline shall result in the issuance of citations and/or other legal action.

7. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 10 p.m. Monday through Friday, and 8 a.m. to 10 p.m. Saturday and Sunday.
8. The property owner shall comply with all building code requirements necessary to upgrade the building and shall resolve all property maintenance code violations prior to issuance of any Certificate of Occupancy. No business operations shall occur at this property or within the building until a business license has been issued and the Occupancy permit has been granted.
9. All landscaping shall be installed in accordance with Village Code and the approved plan prior to issuance of any Certificate of Occupancy.
10. All building and site improvement work shall be completed in accordance with Village Code and the approved plans prior to issuance of any Certificate of Occupancy and prior to **June 30, 2017**, to ensure that existing violations are resolved.

The following conditions pertain to the ongoing operations of the auto repair business after occupancy has been granted.

11. Vehicles shall not be parked under the canopy in excess of 30 minutes, and the canopy area shall only be used for customers to drop off or pick up vehicles.
12. Parking shall only occur only in legally marked parking spaces. The property owner shall monitor the parking to ensure that illegal parking does not occur. In the event any vehicles are found parked illegally on the property, the owner shall be subject to the issuance of a citation for violation of the approved site plan.
13. No outside storage of parts, tires, materials, or any other item (including inoperable vehicles) shall occur on the property, including within the fenced dumpster enclosure. All such items must be stored inside the building.

**B. Request by Petro Auto, LLC (owner) to consider a variation under Section 9-3-8-M-10-d-4 of the Zoning Code to permit a ground sign to be located a minimum 3 feet from any property line instead of the minimum required 10 feet on the property located at 1300 W. Higgins Road.**

(No conditions)

Attachments:

June 15, 2016, Staff Report  
Petitioner's Application and Submittals  
Legal Notice

June 15, 2016, Finding of Fact  
Private Cross-Access Easement Agreement  
Location Map & Aerial Photo



VILLAGE OF HOFFMAN ESTATES  
PLANNING AND ZONING  
STAFF

PZC APPROVAL: 11/16/16  
V.B. APPROVAL: 11/21/16

*Expired*

PROJECT NO.: 2015039P

PROJECT NAME: 1300 W. HIGGINS ROAD – SITE  
IMPROVEMENTS & SIGN VARIATION

PROJECT ADDRESS / LOCATION: 1300 W. HIGGINS ROAD

PUBLIC HEARING  YES  NO

REZONING  MASTER SIGN PLAN  SPECIAL USE  VARIATION   
SITE PLAN AMENDMENT  PLAT  CONCEPT REVIEW

**COPY**

MEETING DATE: JUNE 15, 2016 (Remanded from February 1, 2016 Village Board meeting; continued from May 18, 2016) STAFF ASSIGNED: JOSH EDWARDS *JAE*

**REQUESTED MOTIONS**

- A. Request by Petro Auto, LLC (owner) to consider a Site Plan Amendment for site improvements on the property located at 1300 W. Higgins Road.
- B. Request by Petro Auto, LLC (owner) to consider a variation under Section 9-3-8-M-10-d-4 of the Zoning Code to permit a ground sign to be located a minimum 3 feet from any property line instead of the minimum required 10 feet on the property located at 1300 W. Higgins Road.

INCLUDES RECOMMENDED CONDITIONS  YES  NO

ACRES: 0.49 (Approximate)	ZONING DISTRICT: B-2, Commercial District
ADJACENT NORTH: Multi-tenant building, B-2	SOUTH: Residences across Higgins Road, R-4
PROPERTIES: EAST: Simply Stereo, B-2	WEST: Residences across Glen Lake Road, R-4

**BACKGROUND – PUBLIC MEETINGS**

On December 16, 2015, the Planning & Zoning Commission considered the petitioner’s request, which included numerous conditions of approval for submittal items that were missing and further plan revisions recommended by staff to comply with Subdivision Code standards. The Commission voted unanimously to continue the item with the direction that the petitioner revise the plans to address the many conditions of approval included in the staff report. The necessary revisions to the site plan included closing a driveway from Higgins Road, adding landscaping on the rear and side of the building, and numerous other technical details.



COPY

At the January 20, 2016 meeting of the Planning & Zoning Commission, the petitioner returned with the same plans and disputed addressing some of the conditions of approval. The Commission recommended that the request be denied. On February 1, 2016, the Village Board voted to remand the project back to the Planning & Zoning Commission with the direction to fully address all items in the staff report prior to the Planning & Zoning Commission. The petitioner revised the plans to address most of the concerns, and also added a few other changes.

At the May 18, 2016 meeting of the Planning & Zoning Commission, the petitioner presented the revised plans which included closure of the west driveway from Higgins Road as well as a proposed fenced enclosure on the east side of the building. The Commission discussed the proposal, primarily focused on the proposed enclosure, and voted to continue the request to allow the petitioner to revise the plans to address the concerns raised in both the staff report and the meeting.

### **BACKGROUND – PROPERTY**

The property was subdivided in the late 1960s and was developed into a service station in 1969. For most of the subsequent years the property was a Marathon gas station that included auto repair. The property became vacant during the Great Recession and went into foreclosure and was owned by Charter Bank and re-opened again as a Marathon gas station with auto repair. The gas station then closed again and ownership transferred from Charter Bank to Wintrust Bank. In 2014, the petitioner, Petro Auto, LLC, purchased the property.

The property includes several property maintenance violations, and the property owner is aware of the violations. By Village Ordinance, a public hearing typically should not occur until all existing violations are corrected. However, the proposed site and building improvements will resolve the existing violations. For example, much of the pavement was removed as part of an EPA soil clean-up project, but it has not been repaved. However, proposed site work will include new landscape islands and pavement. The building is also in disrepair, which will be addressed with the proposed building upgrades. In an effort to accommodate the owner's proposal, the Village has agreed to move forward with the Site Plan Amendment process with the requirement that all violations be resolved as part of any approved site work.

### **PROPOSAL**

The property owner is seeking to open an auto repair business using the existing 3-bay garage; other parts of the building interior would include a customer waiting room, employee areas, and utility room. The property would not include a gas station or convenience store. The application indicates that the property could be converted back to a gas station in the future. However, such a proposal would require a new review for a Special Use and Site Plan Amendment and is not being considered at this time.

Auto repair is a permitted use in the B-2 Community Business District; however, before a business can re-occupy the vacant building, site improvements are required under Village Subdivision Code Section 10-2-1 to bring the property closer to current Subdivision Code standards. The property owner is proposing some site and building façade improvements, but certain items will require further revision as detailed in this staff report. A sign setback variation is also requested to permit a new ground sign.



COPY

The petitioner was informed of the Subdivision Code requirements and was provided with a staff concept plan of reasonable site improvements. Meetings and other correspondence between staff and the petitioner occurred over the past 18 months. The proposed Site Plan included in the packet includes several improvements to the property that will resolve existing parking, landscaping, and other site deficiencies. The revised plans address most of the Subdivision Code standards raised in the previous reviews.

### **RECOMMENDED PLAN REVISIONS**

The existing aisle along the east side of the building is inadequate as a two-way drive aisle or as a one-way drive aisle. The width and layout of the pavement is inadequate for vehicle access and also cannot be used as excess pavement as it has existed previously. Also, the Subdivision Code requires a landscape perimeter except where it is crossed by a driveway. During the prior public hearings staff had recommended that the pavement on the east side of the building be removed and replaced with landscaping in accordance with the Subdivision Code. A dumpster enclosure large enough to contain a dumpster could be located facing the north perimeter. The petitioner has cited a private cross access easement in objecting to these revisions.

Following the project being remanded by the Village Board, the petitioner submitted plans that included a fenced outdoor storage area. Staff provided comments and an alternative proposal that would provide a curbed parking space for the tow truck, a separate dumpster enclosure, and the remaining area would be landscaped. Staff raised concerns that the proposed enclosure would be used to store vehicles, tires, and miscellaneous items related to the auto repair business that should instead be stored inside the building. On May 18, 2016, the Commission generally agreed with the concerns about the enclosure and voted to continue the request to allow further plan revisions.

The petitioner has revised the plan for the northeast corner of the property to include a fenced enclosure with gates on two sides and a separate curbed area where a tow truck could be parked. The plan addresses some of the concerns raised in the prior Commission meeting. If the Commission concurs that the proposed change is adequate, staff recommends the following condition of approval to improve the safety and functionality of the pull-through enclosure.

**Prior to issuance of a building permit, the plan shall be revised to reduce the fenced enclosure such that the north edge of the enclosure is a minimum six (6) feet from the north property line to allow adequate driver visibility and turning radius for a vehicle exiting the property onto the shared drive aisle.**

Staff has recommended that the enclosure be constructed of masonry to match the building with solid panel gates. This has been a standard enforced by the Village Board for many enclosures in commercial areas. If the Commission concurs with this requirement, a condition of approval may be added, but has not been included as currently written.

### **SITE PLAN AMENDMENT**

The site plan amendment review considers the Subdivision Code items including vehicular and pedestrian access, parking, engineering, landscaping, architecture, exterior lighting, miscellaneous site items, and Fire Department accessibility.



COPY

***Access and Circulation – Subdivision Code Section 10-5***

The site is accessed by one driveway on Glen Lake Road and two driveways from Higgins Road. The existing parking lot configuration includes a non-compliant access aisle on the east side of the building. The proposal includes removing one of the driveways from Higgins Road, as discussed in the previous Commission meetings. The non-compliant access aisle on the east side of the building will be closed.

Parking spaces on the northwest corner of the property block vehicular access along the west side of the property; these spaces are not designed following current design standards. The proposed Site Plan includes a standard-width drive aisle and two rows of parking spaces. These changes would significantly improve internal circulation. It would also re-open access to the adjacent property to the north.

***Parking and Sidewalks – Subdivision Code Section 10-5-2***

The existing property includes 19 parking spaces; however, none of these spaces are code compliant. The site lacks a handicapped accessible parking space.

The proposed Site Plan includes 15 parking spaces including one handicapped accessible parking space. The parking ratio with 15 parking spaces is approximately 8.4 spaces per 1,000 square feet of building area, which is more than adequate for an auto repair business with 3 service bays, provided the spaces are only used for daily parking demand and not storage of inoperable vehicles. An acceptable parking ratio for this business would be 4 spaces per 1,000 square feet.

The Site Plan indicates that space exists under the canopy for additional parking; however, no parking spaces are shown or recommended. The petitioner has indicated that the canopy area would be used briefly as a valet area for customers. Two signs would be installed on the canopy columns indicating that parking is limited to 30 minutes. Staff recommends a Condition of Approval that vehicles not be parked or stored under the canopy longer than 30 minutes, and that the canopy area can only be used before and after vehicles are serviced. Similarly, staff recommends a Condition that all vehicle parking beyond the 30 minute parking occur in legally marked spaces. These conditions will require that vehicles for customers who are not on site be parked in a parking space and not left under the canopy.

***Engineering – Subdivision Code Section 10-3***

The Engineering Division has reviewed the proposed site plan, and has noted that prior to any permit issuance, a more specific grading plan will be needed. The reduction in impervious parking lot area and installation of additional landscaping as proposed, and further revisions noted previously, would improve storm water infiltration and water quality. No changes are proposed to the storm or sanitary sewers. Staff recommends small openings in the west curb line to further improve storm water drainage. No additional storm water detention measures are required.

The provision of sprinklers inside the building will require the addition of a private water service line from the nearest public water main, as well as abandonment of the existing water service line. The plan includes limited information on this upgrade, and additional information will be required prior to issuance of a permit.

A performance guarantee will be required with this project prior to issuance of a building permit.



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***Landscaping – Subdivision Code Section 10-4***

The existing property includes very minimal landscaping including a tree near the east property line, a row of evergreen shrubs along the south perimeter between the two driveways, and a shrub at the southeast corner of the property. Several areas of the property are deficient relative to current Subdivision Code requirements and the petitioner is proposing to remove pavement and add landscaping in some areas of the property. Landscaping is proposed in new landscape islands and perimeter areas, including shade trees, shrubs, and sod.

A Subdivision Code waiver is requested for the width of the landscaping perimeter adjacent to rows of parking on the east and west sides of the property. Another waiver is requested to not provide foundation plantings between the sidewalk and building on the north and west sides of the building.

Landscaping must be installed prior to issuance of a Certificate of Occupancy. If contaminated soils would require changes to the Landscape Plan, then the owner must provide adequate technical documentation from the EPA for Village staff review.

***Building Design – Subdivision Code Section 10-5-3-H***

The petitioner is proposing to update the building façade. The existing building elevations include brick with wooden accents and a pitched roof. Much of the building exterior is deteriorated. The proposal includes the addition of stone and metal accents on the front, south elevation. Windows would also be added above the garage doors. The east and west sides of the building would be re-faced with stone. Two existing doors on the west elevation would be removed. Two existing windows on the east elevation would be replaced. The existing brick on the north elevation would be painted. A new door would be added on the north elevation to the sprinkler / mechanical room. Customer access would be maintained via the south door. The petitioner is currently replacing the roof, which is leaking, under a separate permit. The proposed façade upgrades will substantially improve the appearance of the building. The petitioner has provided color and material samples for review.

The petitioner proposed to keep the existing gas station canopy as a covered drop-off area. The petitioner is proposing to re-face the metal support columns with stone matching the proposed stone on the building. The canopy is obsolete and the Village can choose to require its removal as part of this Site Plan Amendment since the site will no longer contain gas pumps.

An oversized enclosure for the dumpsters has been proposed as previously discussed. A condition of approval is included that reinforces the restriction against outside storage beyond the dumpsters. Similarly, a condition prohibits inoperable vehicles being stored on the property.

***Exterior Lighting – Subdivision Code Section 10-5-3-G***

The property includes three existing light poles; two at the entrance from Glen Lake Road and one at the eastern entrance from Higgins Road. With the reduction in the width of the Glen Lake Road entrance, one light pole will be removed. New light fixtures would be installed on the two remaining light poles. New soffit lighting is also proposed as well as new canopy lighting.



COPY

### ***Fire Prevention***

The Fire Department has reviewed the proposed plans and has no concerns with the proposed site layout changes. Adequate access will be maintained with an entrance from each roadway and an improved north-south access with the adjacent retail property.

Sprinklers will need to be installed in the building as part of this project in accordance with Code. A fire department connection (FDC) will be located on the west elevation of the building. An existing fire hydrant is located within 100 feet of the new FDC, per the Municipal Code requirement.

### ***Signs***

A ground sign is proposed near the southwest corner of the property. The sign would include a quartzite stone base and sides with limestone accent caps on the base and sides. The sign would meet the size requirements of the Zoning Code. The petitioner is requesting a sign variation for the location of the sign, which is described in more detail later in this staff report.

The proposed Site Plan indicates the addition of landscape bed around the base of the new ground sign. A Condition of Approval is included that the Landscape Plan be revised to indicate the quantity, size, and species of proposed plantings.

A freestanding sign was previously located near the southwest corner of the property. The sign was removed in recent years, but the concrete base remains and will be removed with this project.

A wall sign is proposed on the south elevation, which would be permitted per the Zoning Code. Existing signs on the south elevation would be painted over or removed.

### **SIGN VARIATION**

Section 9-3-8-M-10-d(4) of the Zoning Code allows one freestanding ground to be located a minimum 10 feet from any property line and a minimum 5 feet from any paved surface. The petitioner is requesting a variation to permit a new sign to be located 3 feet from the south and west property lines, near the southwest corner of the property. The sign would meet the pavement setback requirement.

Staff review the sign location relative to sight angle concerns and has no concerns regarding the proposed sign placement. The sign would be located an adequate distance from the road intersection, due to the width of the Higgins Road right-of-way. The sign would also be an adequate distance from the Glen Lake Road driveway. Due to limited landscaping space on the property, a ground sign could not be accommodated meeting the required setbacks without more substantial removal of pavement.

The proposed removal of the Higgins Road west driveway would allow the sign to be moved farther east, though it would still not be possible to meet all required setbacks without also moving the Glen Lake Road driveway farther north or substantially shrinking the sign. The sign location as proposed is acceptable.

COPY

## VARIATION STANDARDS

Section 9-1-15 of the Zoning Code – *Standards for a Variation* - states that the Planning and Zoning Commission shall not recommend the adoption of a proposed variation unless it finds that the variation meets the Standards for Variations as set forth in the Zoning Code.

1. The Planning and Zoning Commission shall not recommend the variation of the regulations of the Code unless it shall first make a finding based upon the evidence presented to it in each specific case that:
  - a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located;
  - b. The plight of the owner is due to unique circumstances;
  - c. The variation, if granted, will not alter the essential character of the locality.
  
2. For the purpose of implementing the above rules, the Planning and Zoning Commission shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the applicant have been established by the evidence;
  - a. The particular physical surroundings, shape of topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;
  - b. The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning classification;
  - c. The purpose of the variation is not based exclusively upon a desire to increase the value of the property;
  - d. The alleged difficulty or hardship has not been based exclusively upon a desire to increase the value of property;
  - e. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
  - f. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood.
  
3. The Planning and Zoning Commission may recommend to the Village Board that such conditions and restrictions be imposed upon the premises benefited by a variation as may be necessary to comply with the standards set forth in this section to reduce or minimize the injurious effect of such variation upon other property in the neighborhood, and better to carry out the general intent of this Code.

If this request is approved, the variation ordinance would be granted to the property to allow a ground sign to be set back a minimum 3 feet from any property line, in perpetuity or until otherwise amended or dissolved by a future ordinance.

## NOTIFICATION

Standard notification letters have been sent to surrounding properties within 300 feet and as of this writing no comments have been received.



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**RECOMMENDED CONDITIONS**

Staff recommends the following conditions:

**A. Request by Petro Auto, LLC (owner) to consider a Site Plan Amendment for site improvements on the property located at 1300 W. Higgins Road.**

The following conditions relate to the Site Plan Amendment approval, generally.

1. This approval is granted based on the petitioner's application materials submitted with this request for an auto repair business, with the exception of the required revisions as noted in the prior, above conditions. Any proposed changes to the building or property that substantially differ from the application materials will require prior Village approval and may require a formal amendment to the approved Site Plan Amendment, as determined by the Village. Any proposal in the future to convert the property into a gas station will require a Special Use and a Site Plan Amendment.
2. The following Subdivision Code landscaping waivers are granted:
  - a. A waiver from Section 10-4-4-D-2-a to not provide foundation plantings along north and west sides of the building.
  - b. A waiver from Section 10-4-4-B-2-a to provide a site perimeter width of 7.5 feet at the west perimeter at the front of a row of parking spaces instead of the minimum required 10 feet.
  - c. A waiver from Section 10-4-4-B-2-a to provide a site perimeter width of 1.5 feet at the east perimeter at the front of a row of parking spaces instead of the minimum required 10 feet.
3. No signs are approved as part of this request. Signs on the property shall require separate permits in accordance with the Zoning Code.

The following conditions relate to the permitting and construction phases.

4. Prior to issuance of a building permit, the Site Plan shall be revised to reduce the fenced enclosure such that the north edge of the enclosure is a minimum six (6) feet from the north property line to allow adequate driver visibility and turning radius for a vehicle exiting the property onto the shared drive aisle.
5. Prior to issuance of a building permit, the Site Plan shall be revised to show the details and location of a new private water service line and valve from the water main on Glen Lake Road to a sprinkler room inside the building. The existing private water service line must also be shown.
6. Prior to issuance of a building permit, due to the lack of a grading plan or spot elevations, the petitioner shall provide pavement construction details and grading information as determined by the Village Engineer.
7. Prior to issuance of a building permit, the property owner shall submit a site work performance guarantee in accordance with the Subdivision Code.

COPY

8. Prior to issuance of a building permit, the property owner shall submit an authorization letter from the IDOT for the work in the Higgins Road right-of-way.
9. The building permit shall be obtained prior to August 1, 2016.
10. In accordance with Village Code, construction hours shall be limited to 7 a.m. to 10 p.m. Monday through Friday, and 8 a.m. to 10 p.m. Saturday and Sunday.
11. The property owner shall comply with all building code requirements necessary to upgrade the building prior to issuance of a Certificate of Occupancy.
12. Landscaping shall be installed prior to issuance of a Certificate of Occupancy. If contaminated soils are present that would require changes to the Landscape Plan, then the petitioner shall provide technical documentation from the EPA for staff review.
13. Pavement work shall be completed prior to September 30, 2016. All approved building and site improvements shall be completed prior to issuance of a Certificate of Occupancy or prior to October 31, 2016, whichever is earlier.

The following conditions pertain to the ongoing operations of the auto repair business.

14. Vehicles shall not be parked or stored under the canopy in excess of 30 minutes, and the canopy area shall only be used for customer vehicles immediately before and after vehicles are serviced.
  15. Parking shall occur only in legally marked parking spaces. The property owner shall monitor the parking to ensure that illegal parking does not occur. Failure to properly manage the parking will result in further action by the Village.
  16. No outside storage shall occur on the property. All items must be stored inside the building.
  17. Inoperable vehicles shall not be located outside of the building on the property.
- B. Request by Petro Auto, LLC (owner) to consider a variation under Section 9-3-8-M-10-d-4 of the Zoning Code to permit a ground sign to be located a minimum 3 feet from any property line instead of the minimum required 10 feet on the property located at 1300 W. Higgins Road.**

(No conditions.)

Attachments:   Petitioner's Application and Submittals  
                  Private Cross-Access Easement Agreement  
                  Legal Notice  
                  Location Map  
                  Staff Exhibit – Aerial Photo





# Color Chart

## Mined Coal PPU18-18

- Bottom Fascia
- Heavy Timber Roof
- North Brick Wall
- Upper Canopy Columns
- Fence Trim

## Ultra Pure White

- Soffit
- Garage Doors
- Upper Fascia
- Canopy Column Trim
- Canopy Soffit
- Main Fence
- North Rear Door

**e-cono**

Date: 29 Jul 2016

Title: Petro Auto Canopy lights

Desc: Enter the description here.

For: Client's name or company...

By: Your name or company...

## Luminaire

IES Filename: E-CC5L03C.ies

Description: E-CC5L03CZ

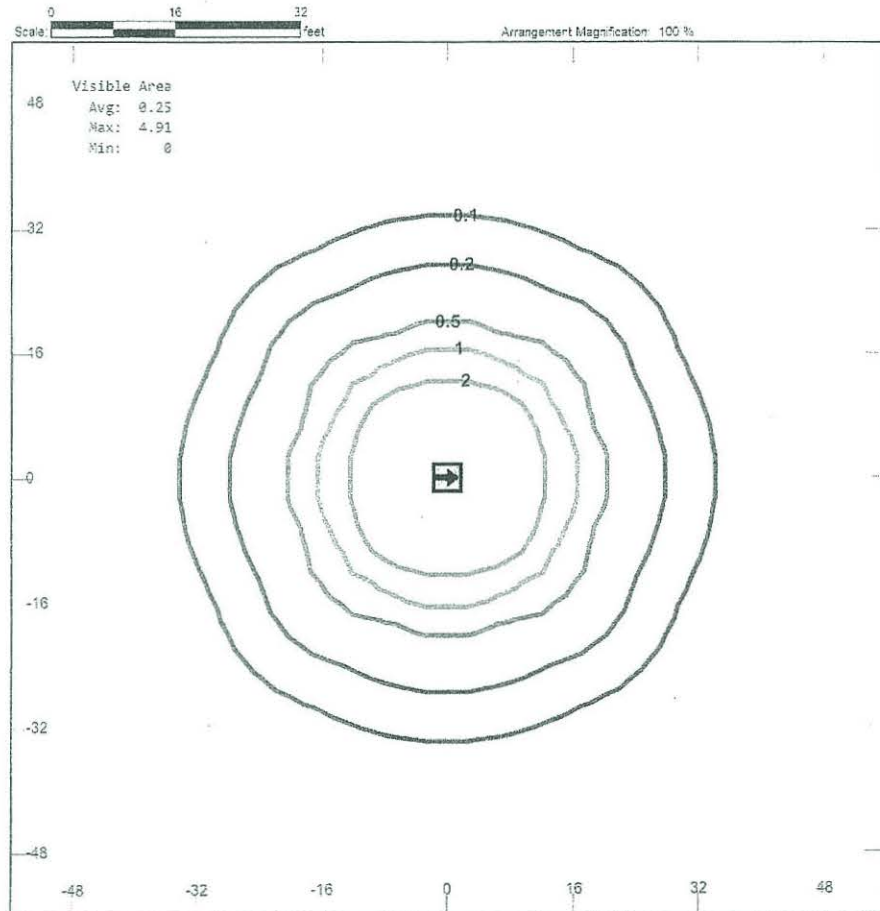
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One type CXA LED array

Light Loss Factor: 1.00

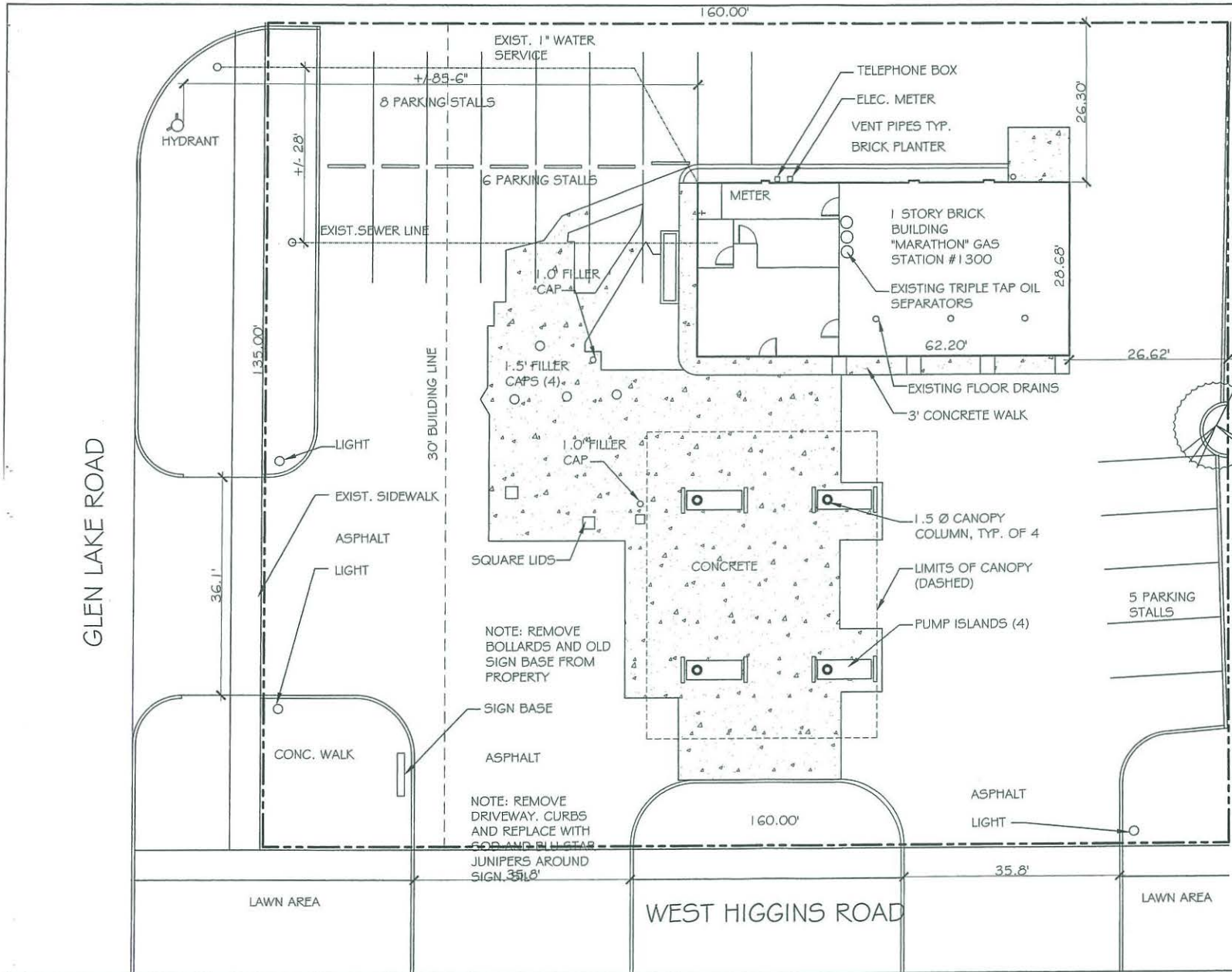
Number of Lamps: 1

Lamp Lumens: -1 lms

Luminaire Watts: 36 W







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# SITE ANALYSIS

ZONED: B2  
 LOT SIZE: 21600 SF  
 LOT COVERAGE EXIST: BLDG: 1780 SF. CANOPY: ±1-1950  
 PARKING EXISTING: 19 STALLS

PZC APPROVAL: 11/16/16  
 V.B. APPROVAL: 11/21/16

EXISTING SITE PLAN  
 NORTH  
 1 SKI SCALE: 1/16" = 1'-0"

BARNES ARCHITECTS, LTD.  
 800 WEST LAKE STREET  
 ELMHURST, ILLINOIS 60126  
 T. 630.634.5727  
 F. 630.634.5669

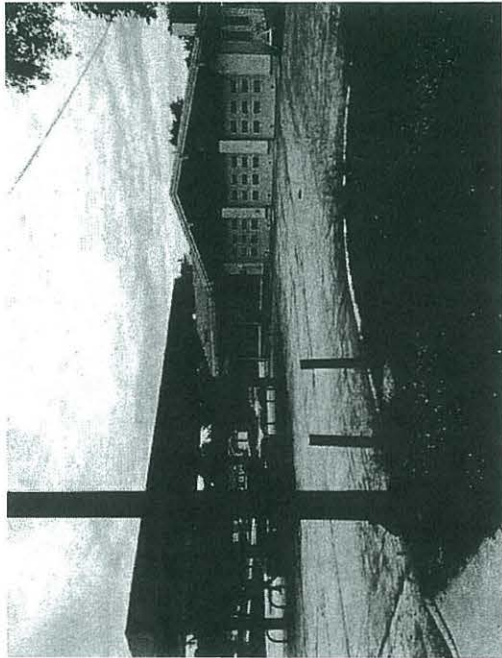
SITE DEVELOPMENT  
 1300 WEST HIGGINS ROAD  
 HOFFMAN ESTATES, ILLINOIS

9-1-16  
 REVIEW 9-22-15

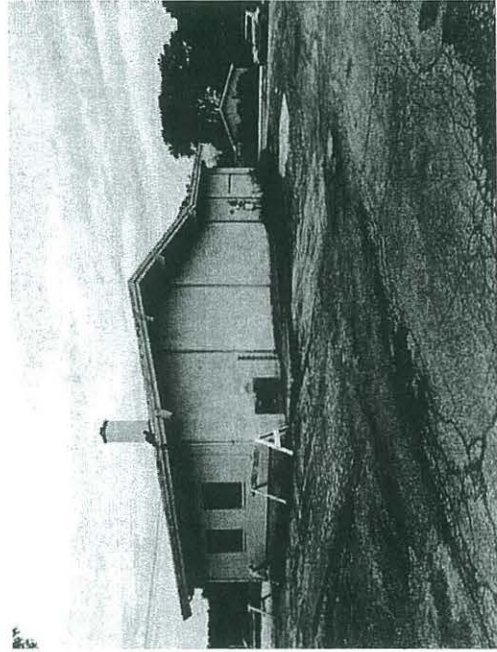
SKI  
 SHEET 1 OF 10

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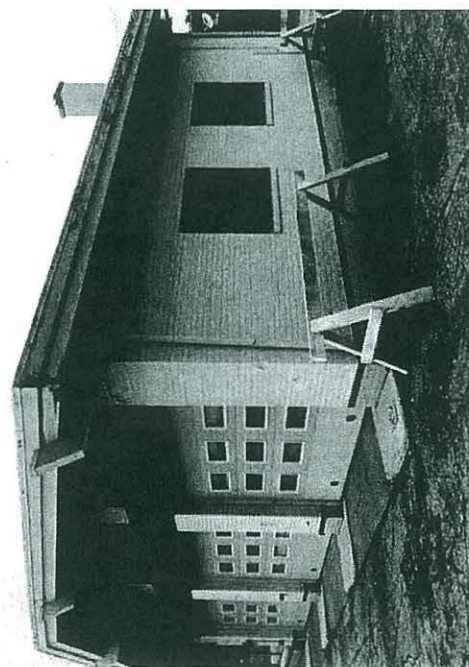
VIEW OF SOUTH SIDE



VIEW OF NORTHEAST CORNER



VIEW OF WEST SIDE



VIEW OF SOUTHEAST CORNER

BARNES ARCHITECTS, LTD.  
300A WESTLARK STREET  
ELMHURST ILLINOIS 60120  
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F. 630. 634. 0629

SITE DEVELOPMENT  
1300 WEST HIGGINS ROAD  
HOFFMAN ESTATES, ILLINOIS

EXISTING SITE PHOTOS

9-1-16  
SCALE: 3/8"=1'-0"

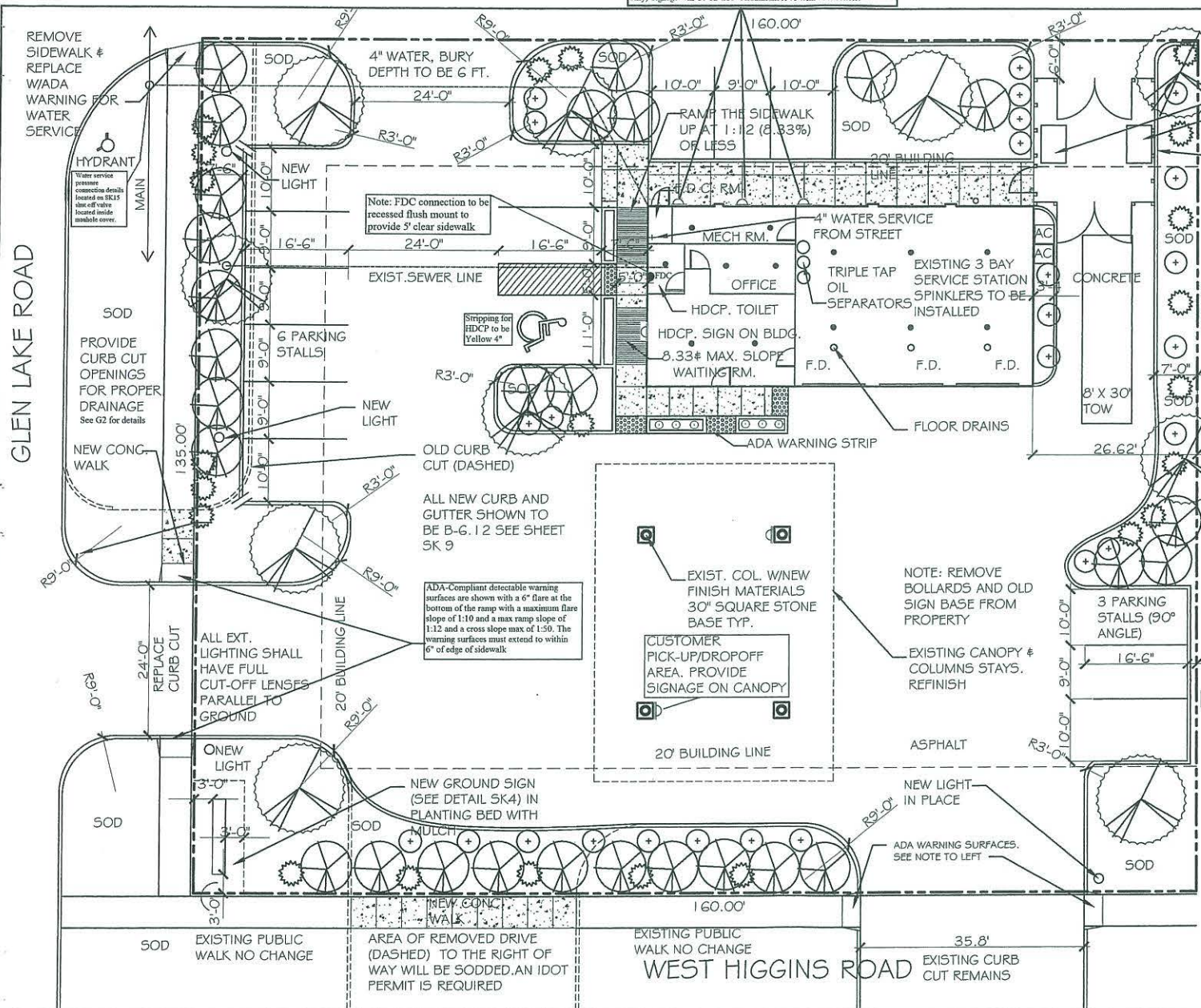
SK2

SHEET 2 OF 16



Note: Add sign to building north side. (Delivery and Employee parking only) Signage will be 12"x18" Aluminum .040 with blue letters.

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# SITE ANALYSIS

ZONED: B2  
 LOT SIZE: 21 600 SF  
 LOT COVERAGE EXIST: BLDG: 1780 SF. CANOPY: +/- 1950  
 LOT COVERAGE PROPOSED: NO CHANGE

PROPOSED PARKING STALLS: 15 PLUS SPACE UNDER CANOPY

NOTE: 1 INCH WATER LINE WILL BE PROPERLY CAPPED AND ABANDONED

Note: Marking on parking stripping to be White in color and 4" wide.



BARNES ARCHITECTS, LTD.  
 300 WEST LAKESIDE STREET  
 ELMHURST ILLINOIS 60126  
 T. 630 - 534 - 5727  
 F. 630 - 534 - 2059

SITE DEVELOPMENT  
 1300 WEST HIGGINS ROAD  
 HOFFMAN ESTATES, ILLINOIS

PROPOSED SITE PLAN OPTION A

11-4-2016

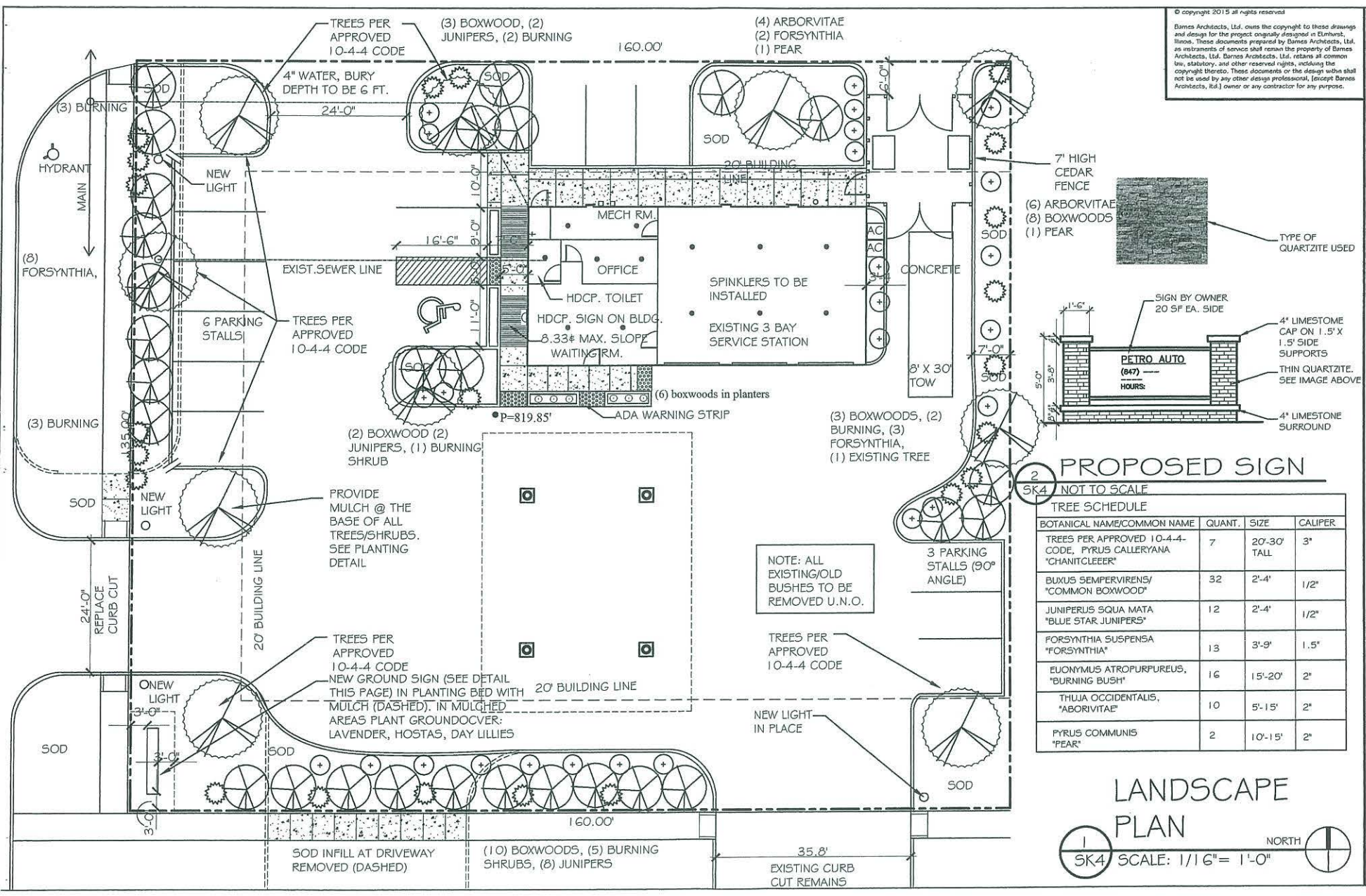
REVIEW

SK3

SHEET 3 OF 16



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SITE DEVELOPMENT  
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 HOFFMAN ESTATES, ILLINOIS

LANDSCAPE PLAN

11-4-2014  
 SK4  
 SHEET 4 OF 12



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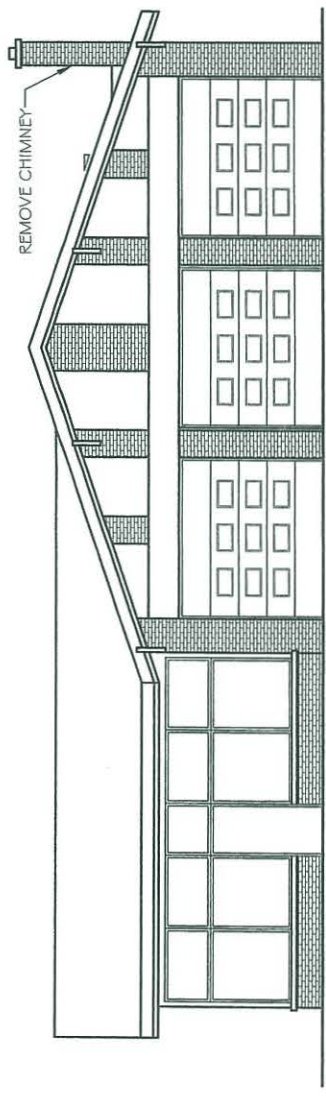
SITE DEVELOPMENT  
1300 WEST HIGGINS ROAD  
HOFFMAN ESTATES, ILLINOIS

EXISTING ELEVATIONS

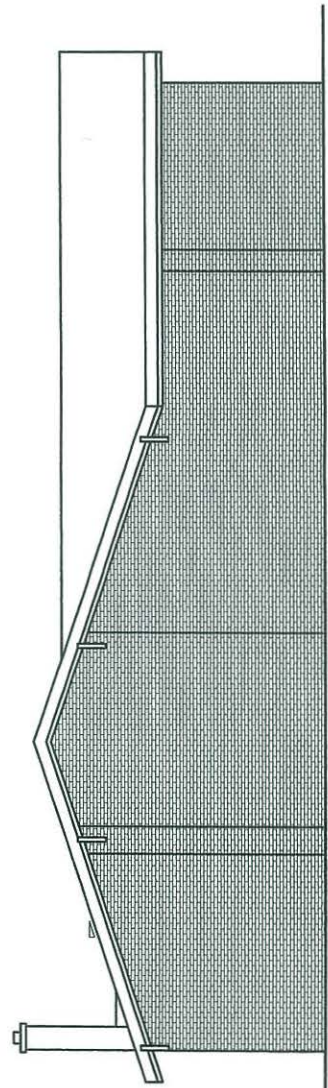
9-1-16  
DRAWN: 9-20-15

SK5

SHEET 5 OF 16



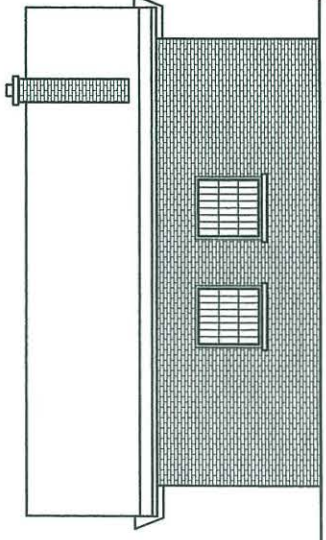
1  
SK5  
EXIST. SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



2  
SK5  
EXIST. NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

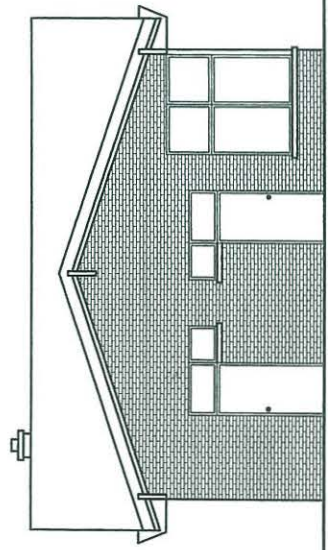
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1 EXIST. EAST ELEVATION

SKG SCALE: 1/8" = 1'-0"



2 EXIST. WEST ELEVATION

SKG SCALE: 1/8" = 1'-0"

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EXISTING ELEVATIONS

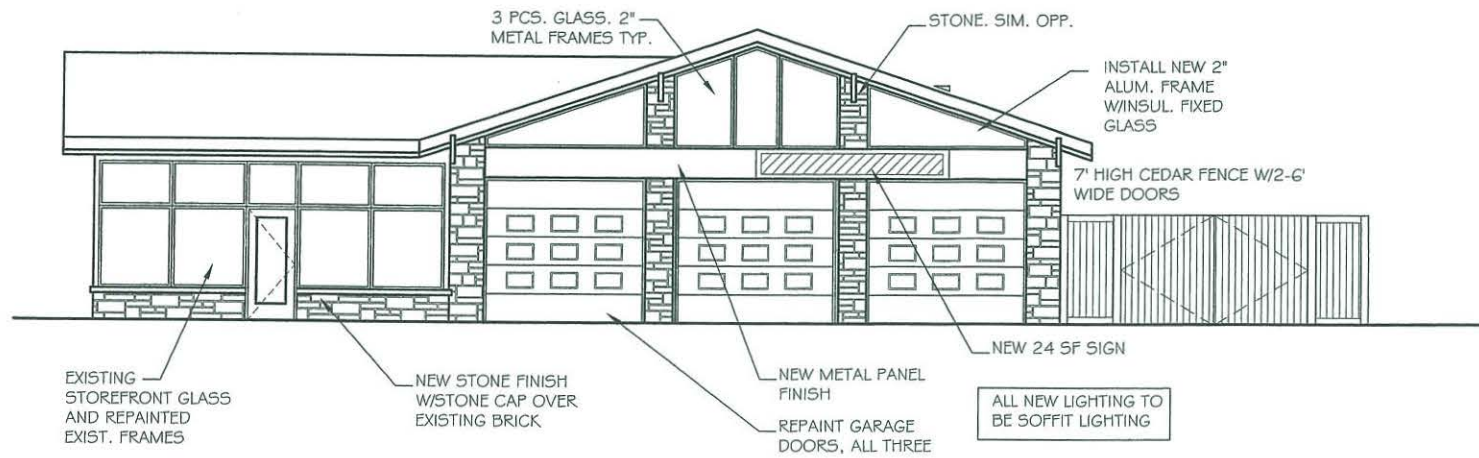
9-1-16  
REVISED 9-29-15

SKG

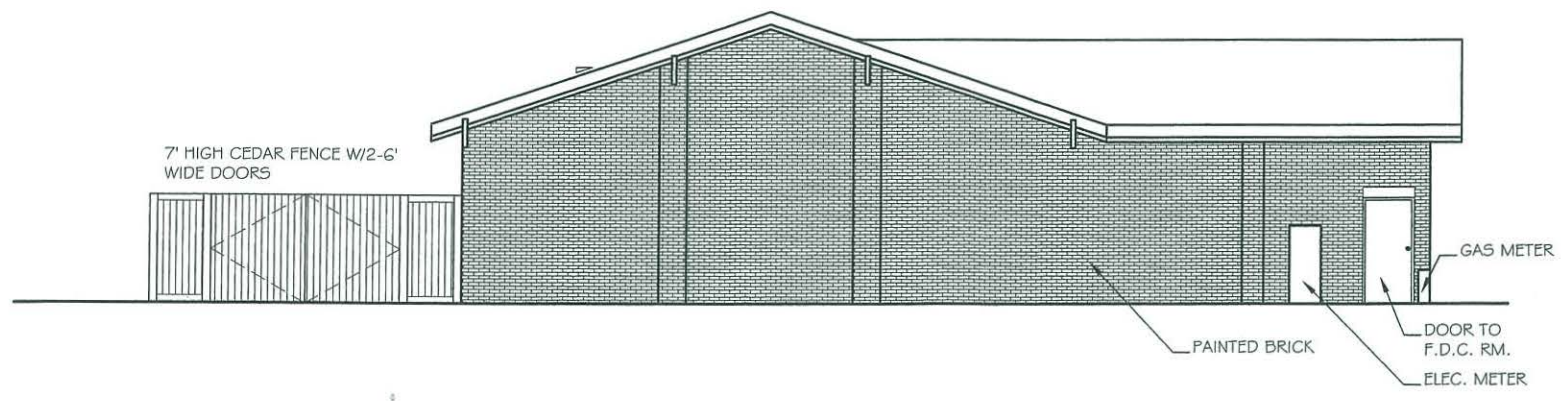
SHEET C OF 16



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**1** PROPOSED SOUTH ELEVATION  
 SK7 SCALE: 1/8" = 1'-0"



**2** PROPOSED NORTH ELEVATION  
 SK7 SCALE: 1/8" = 1'-0"

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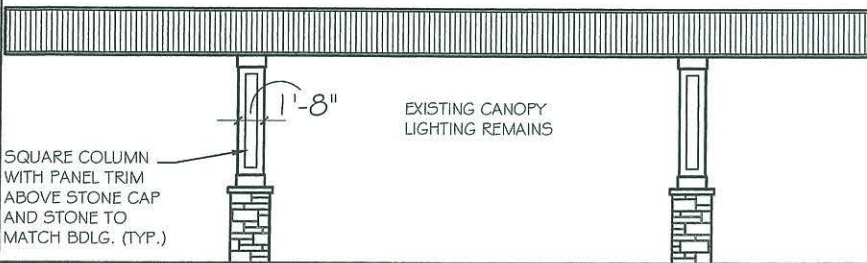
PROPOSED ELEVATIONS

9-1-16  
 REVIEW 9-20-16

SK7

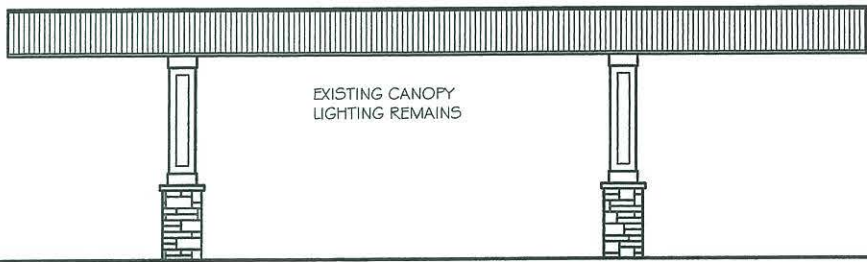
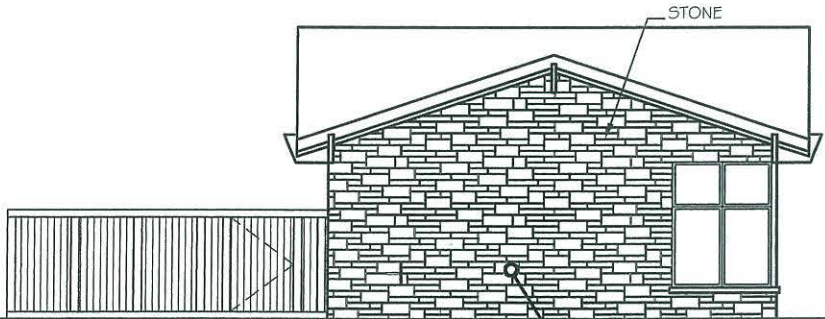
SHEET 7 OF 16

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2'-6"

1 PROPOSED EAST ELEVATION  
 SK8 SCALE: 1/8" = 1'-0"



2 PROPOSED WEST ELEVATION  
 SK8 SCALE: 1/8" = 1'-0"

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PROPOSED ELEVATIONS

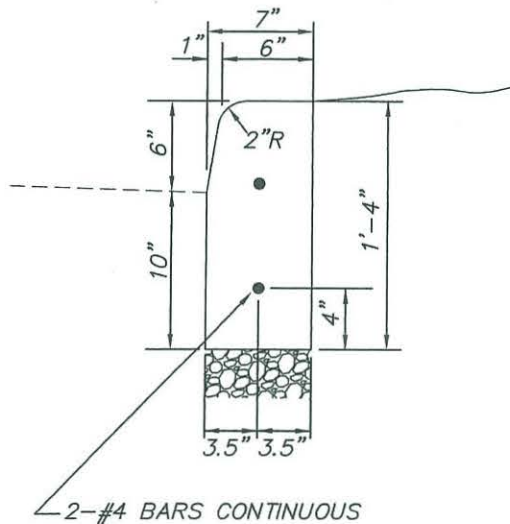
10-12-16

REVIEW

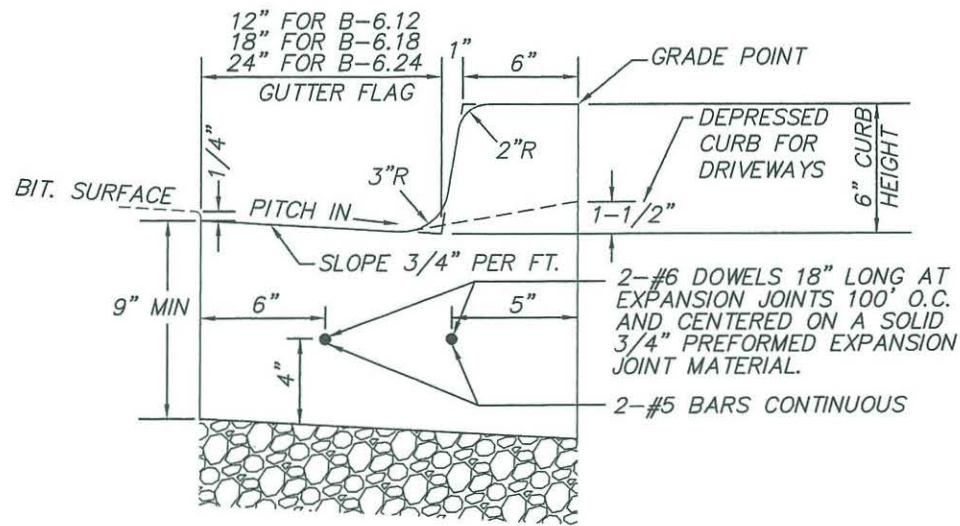
SK8

SHEET 6 OF 16





**6" BARRIER CURB**



**B-6.12 CURB & GUTTER**

**NOTES:**

1. TAPER CURB TO 5'-0" EACH SIDE OF INLET WITH EXPANSION JOINTS.
2. CONTRACTION JOINTS TO BE TOOLED OR SAWCUT EVERY 15' TO A MINIMUM DEPTH OF 1 1/2".
3. MINIMUM 4" CA6 CRUSHED STONE BEDDING UNDER ALL CURBS.
4. ONLY CLASS SI CONCRETE SHALL BE USED.
5. DEPRESSED CURB FOR SIDEWALK RAMPS SHALL BE 0.5 INCHES IN HEIGHT.

**CURB DETAILS**

SCALE	NONE	NO.	REVISIONS	BY	DATE
DATE	5-25-05	1.	MISC UPDATES	SW	2/10
DRAFTER	SLW				
VILLAGE OF HOFFMAN ESTATES TRANSPORTATION & ENGINEERING DIVISION			FILE NAME: CURBS.DWG	SHEET NO. 1 OF 1	

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CURB DETAILS

9-1-16

REVIEW 9-20-15

SK9

SHEET 9 OF 16

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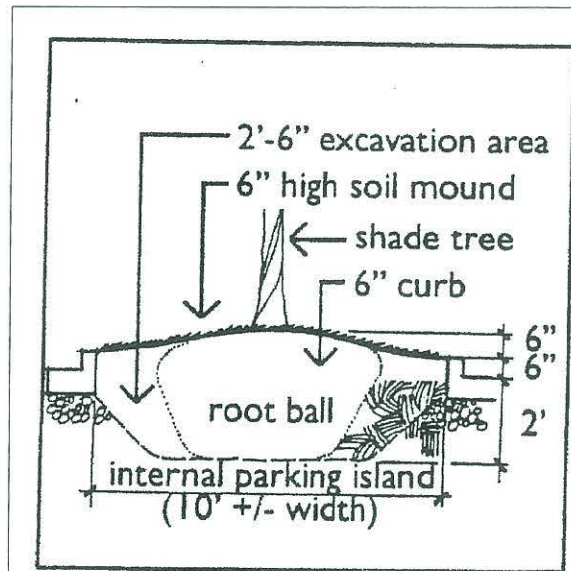
SITE DEVELOPMENT  
1300 WEST HIGGINS ROAD  
HOFFMAN ESTATES, ILLINOIS

PARKING ISLAND DETAILS

9-1-16  
REVIEW 9-23-16

SKIO

SHEET 10 OF 16

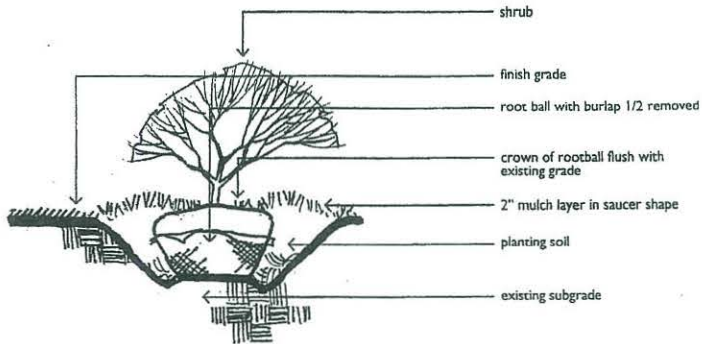


- A minimum excavation of 2 feet be
- Topsoil backfill should be level with
- Topsoil should be mounded up an a internal islands

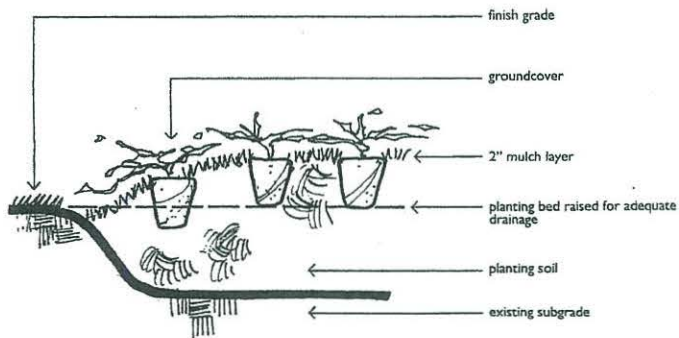


## Planting details

Shrub planting  
see "tree planting standards," page 51 for additional similar requirements

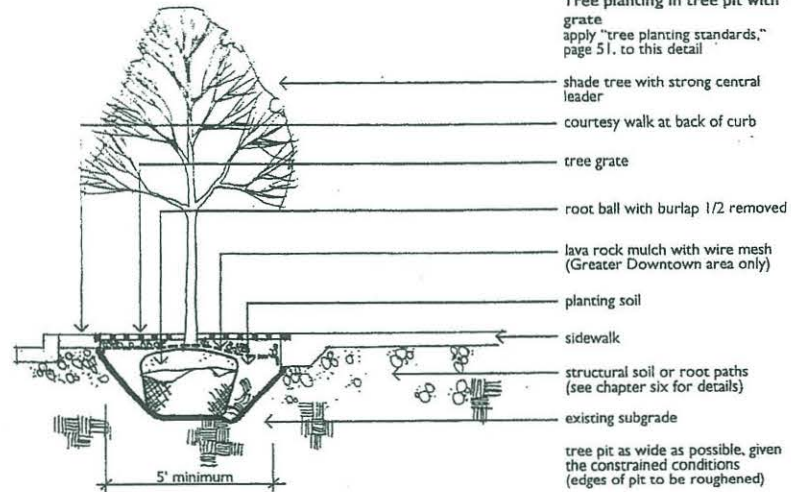


Groundcover planting

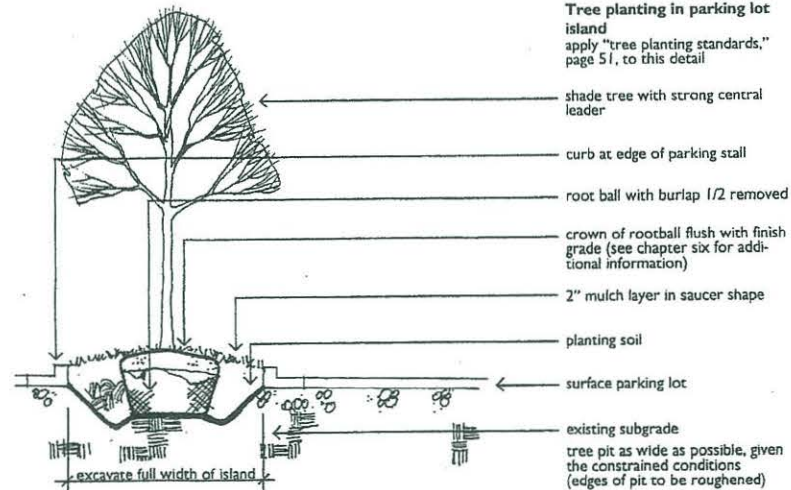


## Planting details

Tree planting in tree pit with grate  
apply "tree planting standards," page 51, to this detail



Tree planting in parking lot island  
apply "tree planting standards," page 51, to this detail



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1300 WEST HIGGINS ROAD  
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PLANTING DETAILS

9-1-16

REVIEW 8-28-15

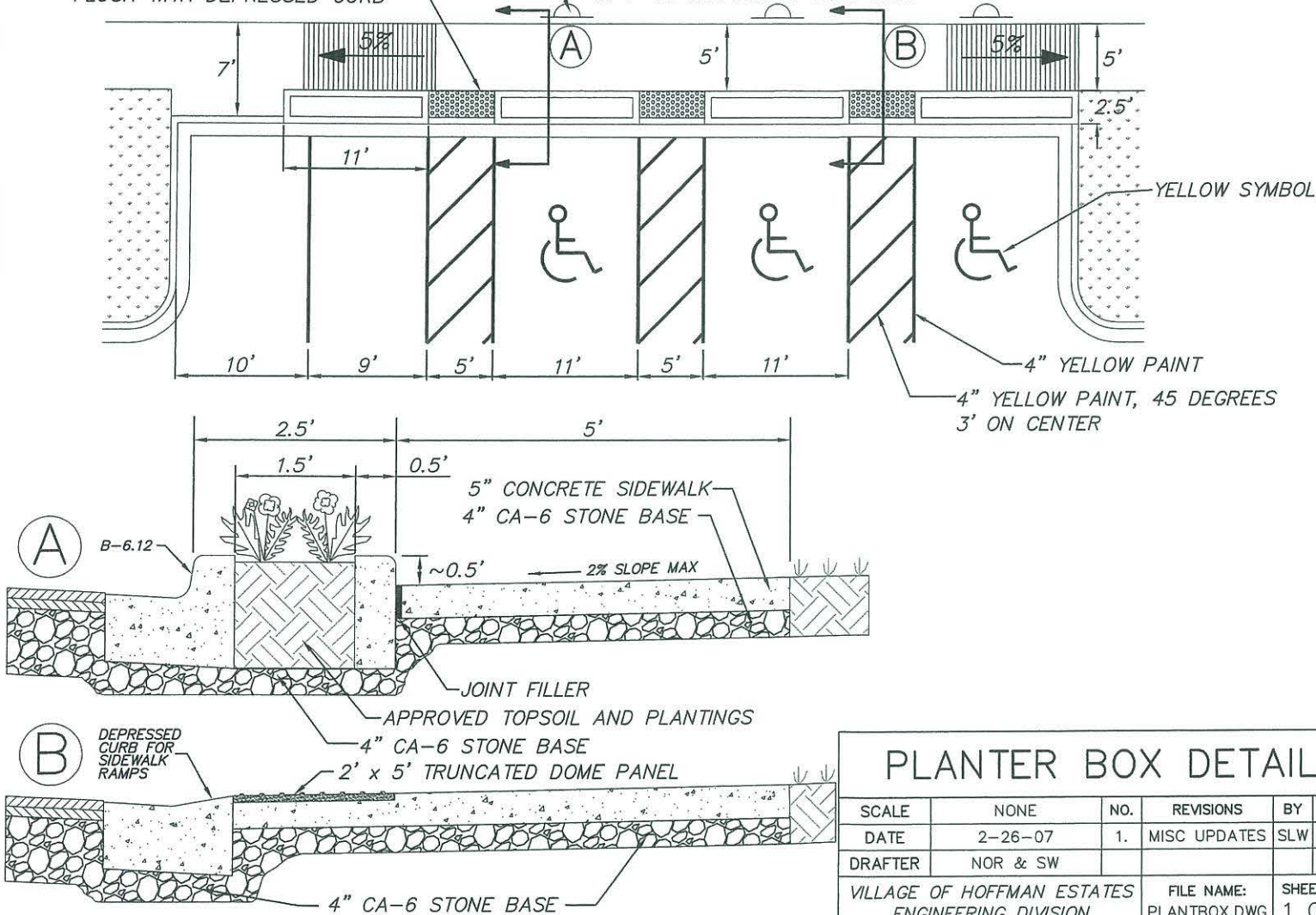
SKII

SHEET 11 OF 16

2' x 5' TRUNCATED DOME PANEL  
(MUST BE PRE-FABRICATED  
WITH A MINIMUM COMPRESSIVE  
STRENGTH OF 10,000 psi)  
FLUSH WITH DEPRESSED CURB

HANDICAP SIGN R7-8 (12"x18")  
R7-1101 (12"x6", \$250 FINE)  
CENTERED IN PARKING STALL &  
LOCATED DIRECTLY BEHIND SIDEWALK  
& 7' TO BOTTOM OF ADA SIGN

NOTE: STRIPING CAN USE  
EITHER 11' AND 5'  
OR 8' AND 8'



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HOOP CURB DETAIL

### PLANTER BOX DETAIL

SCALE	NONE	NO.	REVISIONS	BY	DATE
DATE	2-26-07	1.	MISC UPDATES	SLW	2/10
DRAFTER	NOR & SW				
VILLAGE OF HOFFMAN ESTATES ENGINEERING DIVISION			FILE NAME: PLANTBOX.DWG	SHEET NO. 1 OF 1	

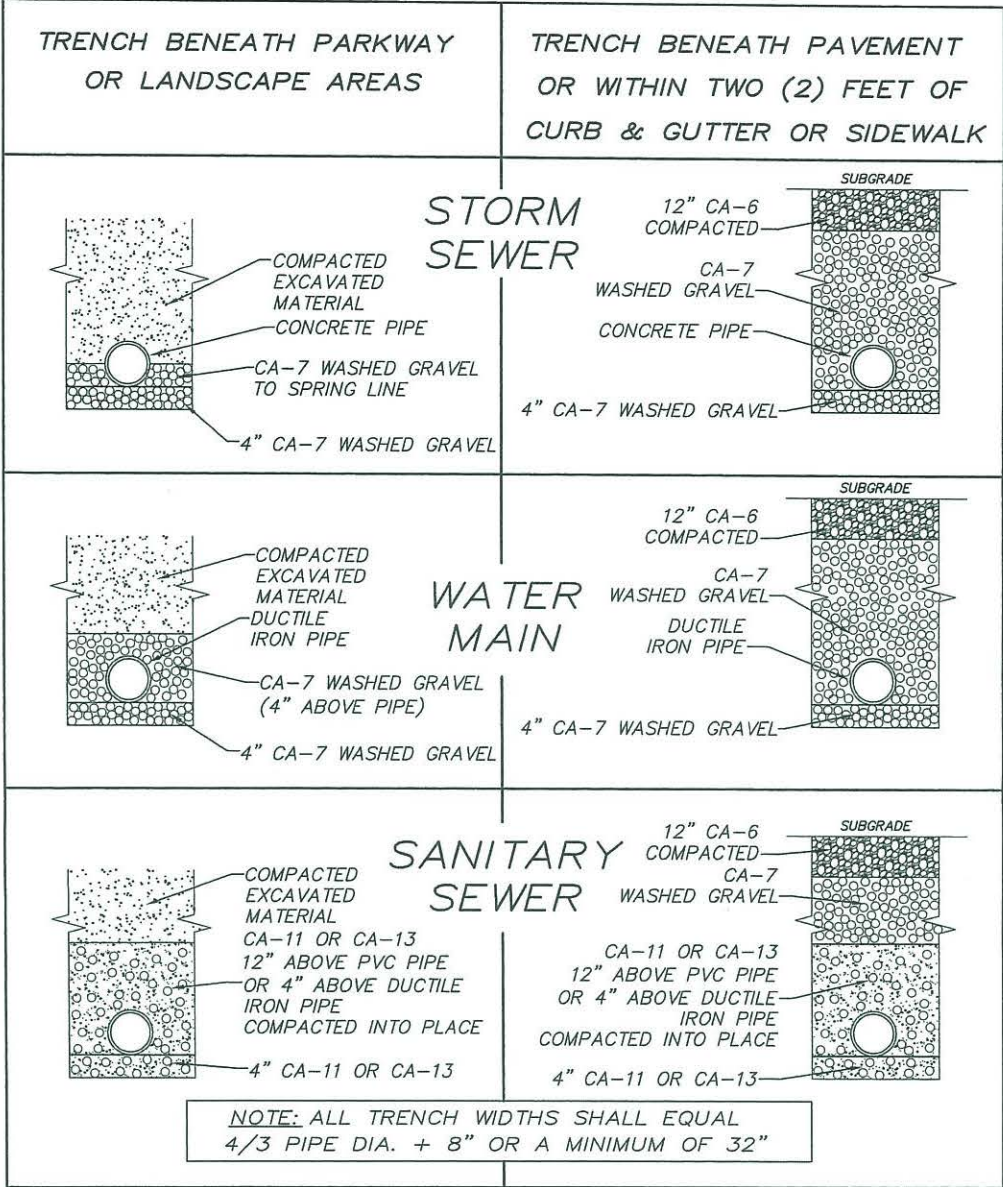
9-1-16

REVIEW 9-20-15

SK12

SHEET 12 OF 12





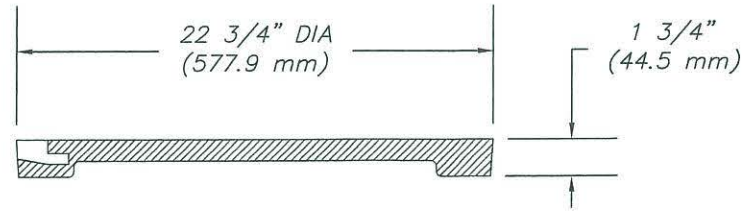
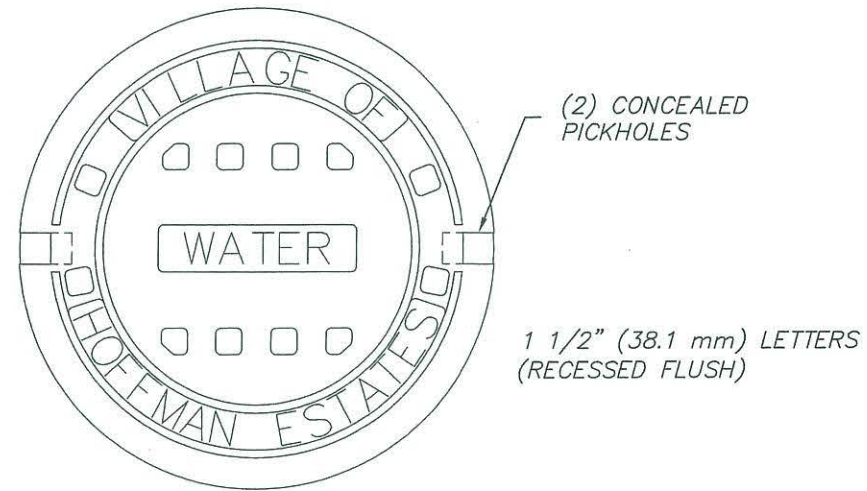
**TRENCH BACKFILL DETAIL**

SCALE: NONE	DATE: 2-16-07	DRAFTER: NOR	NO.	REVISIONS	BY	DATE
VILLAGE OF HOFFMAN ESTATES TRANSPORTATION & ENGINEERING DIVISION	FILE NAME: TYP-TREN2.DWG	SHEET NO. 1 OF 1	1.	MISC UPDATES	SW	2/10

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NOTE:  
 PRIVATE SYSTEMS OR SERVICES SHALL NOT INCLUDE "VILLAGE OF HOFFMAN ESTATES" ON THE WATER COVER.



HEAVY DUTY  
 MAT'L ASTM A48 CL35  
 MACHINED BEARING SURFACE  
 COVER WT: 125 LBS (56.7 kg)

WATER COVER DETAIL				
SCALE	NONE	NO.	REVISIONS	BY DATE
DATE	5-25-05	1.	MISC UPDATES	SW 2/10
DRAFTER	SLW			
VILLAGE OF HOFFMAN ESTATES TRANSPORTATION & ENGINEERING DIVISION		FILE NAME:	SHEET NO.	
		H20COVER.DWG	1 OF 1	

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WATER COVER DETAIL

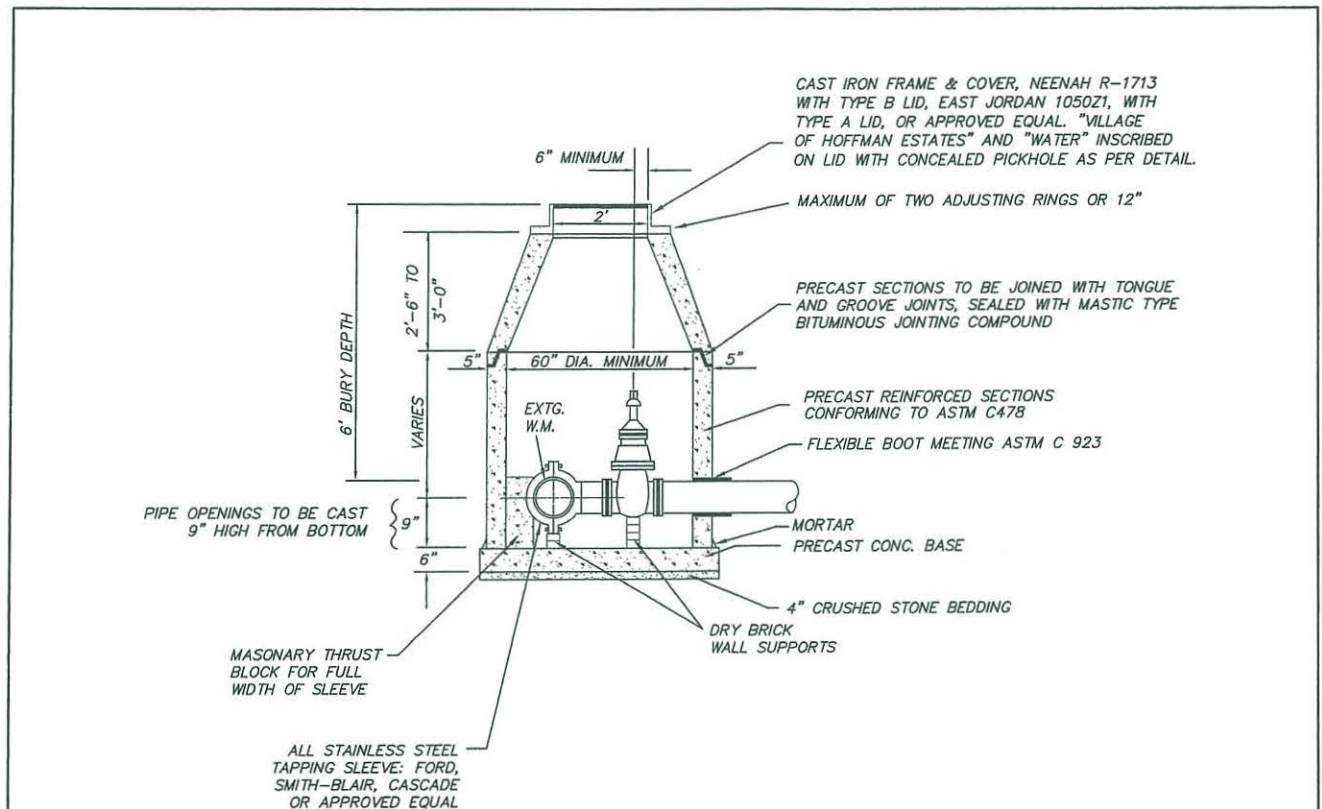
9-1-16  
 REVIEW 9-20-15

SKI4

SHEET 14 OF 16



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NOTE: USE TWO ROWS OF ROPE TYPE MASTIC BETWEEN BOTTOM BARREL AND BASE. WATER MAIN MUST BE PRESSURE TESTED AND CHLORINATED BEFORE USE.

PRESSURE CONNECTION DETAIL			
SCALE	NONE	NO.	BY DATE
DATE	5-25-05	1.	MISC UPDATES SW 2/10
DRAFTER	SLW		
VILLAGE OF HOFFMAN ESTATES TRANSPORTATION & ENGINEERING DIVISION		FILE NAME: PRSSCONN.DWG	SHEET NO. 1 OF 1

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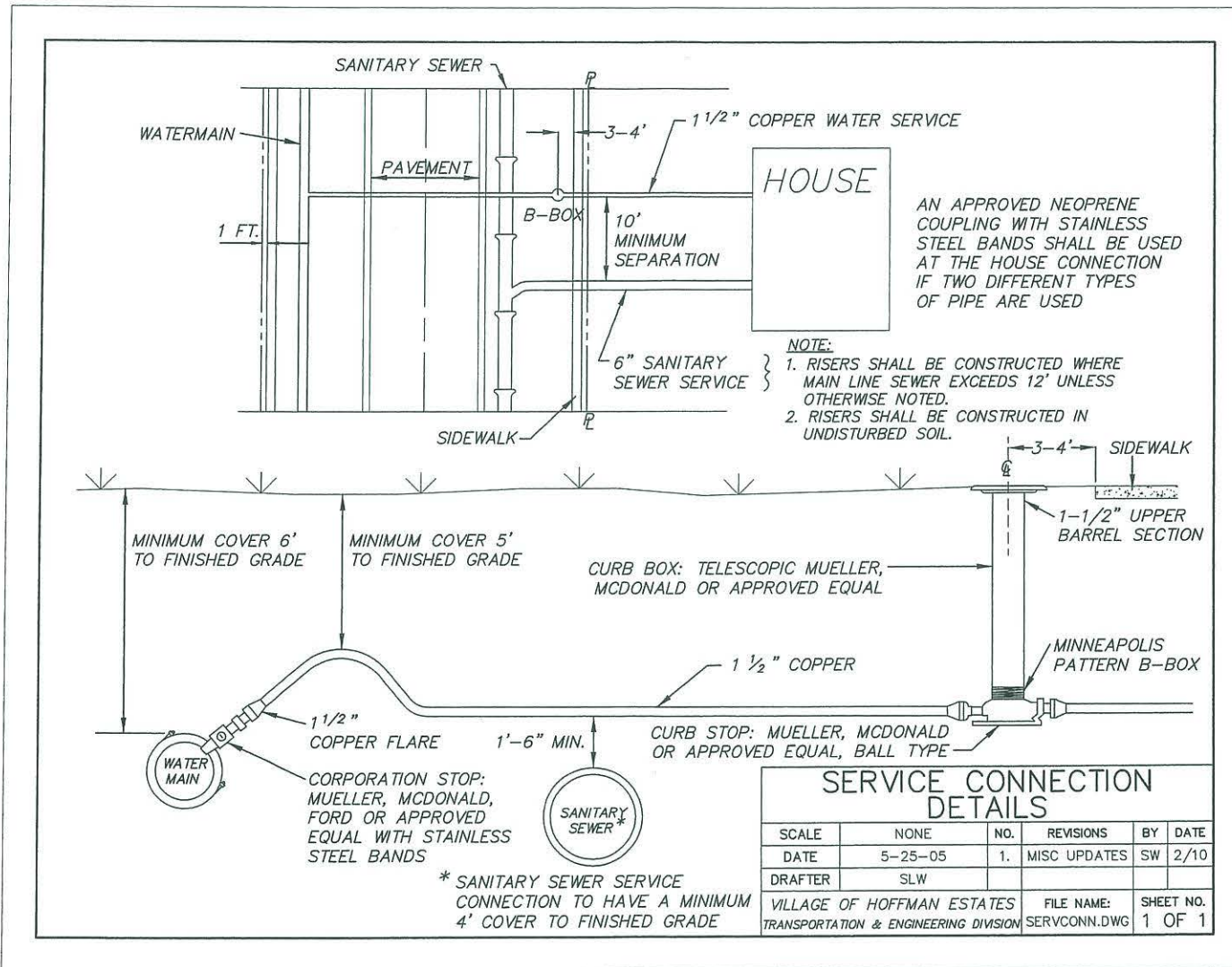
PRESSURE CONNECTION DETAIL

9-1-16  
 REVIEW 9-28-15

SK15  
 SHEET 15 OF 16

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SERVICE CONNECTION DETAILS

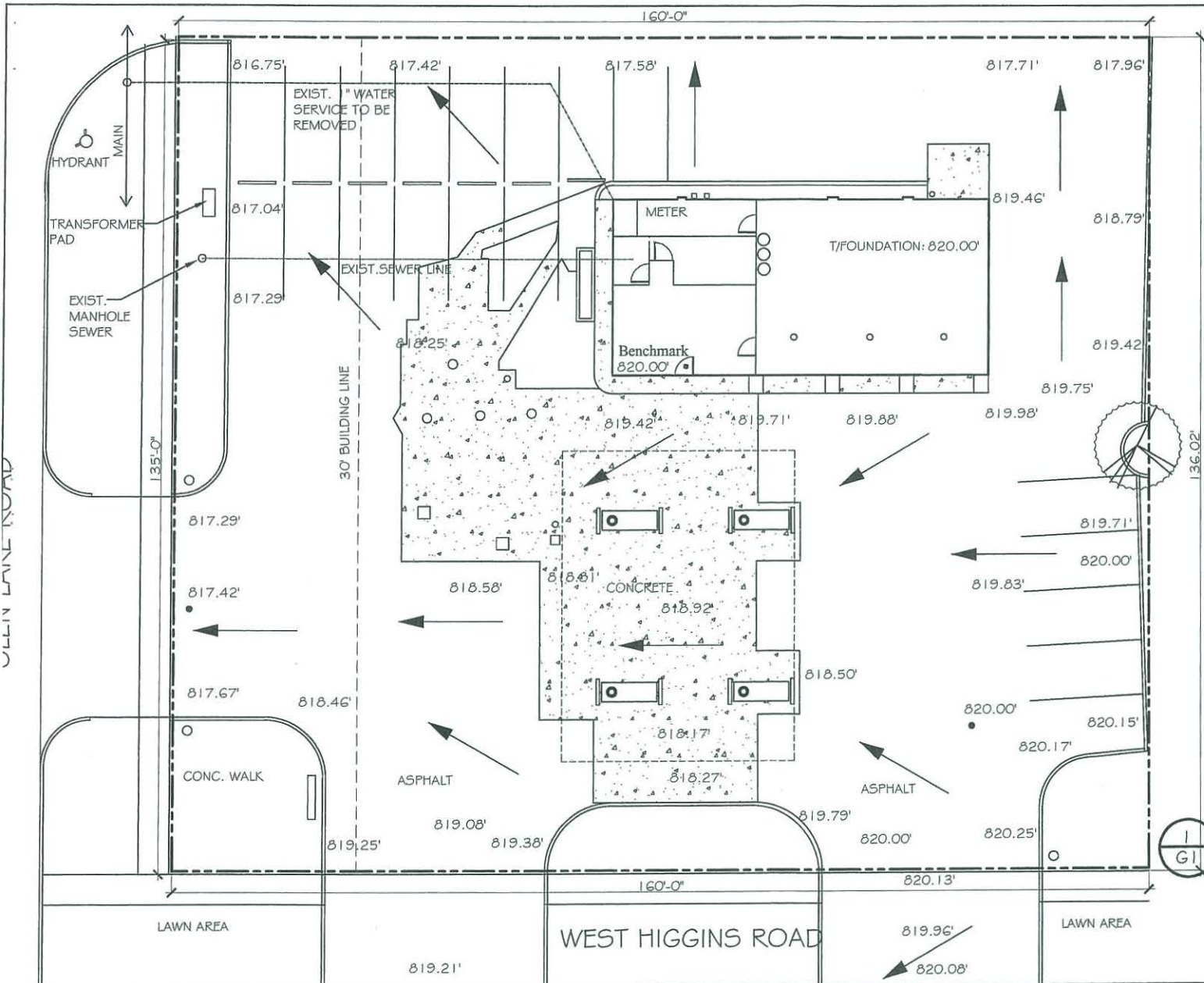
9-2-16  
REVIEW 9-20-15

SK16  
SHEET 16 OF 16



Note: Elevations on northern property line are approximate due to extensive pavement disrepair on adjoining property.

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EXISTING GRADING  
 SCALE: 1/16" = 1'-0"  
 NORTH

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EXISTING GRADING PLAN

10-12-16  
 REVIEW

GI

SHEET 1 OF 3

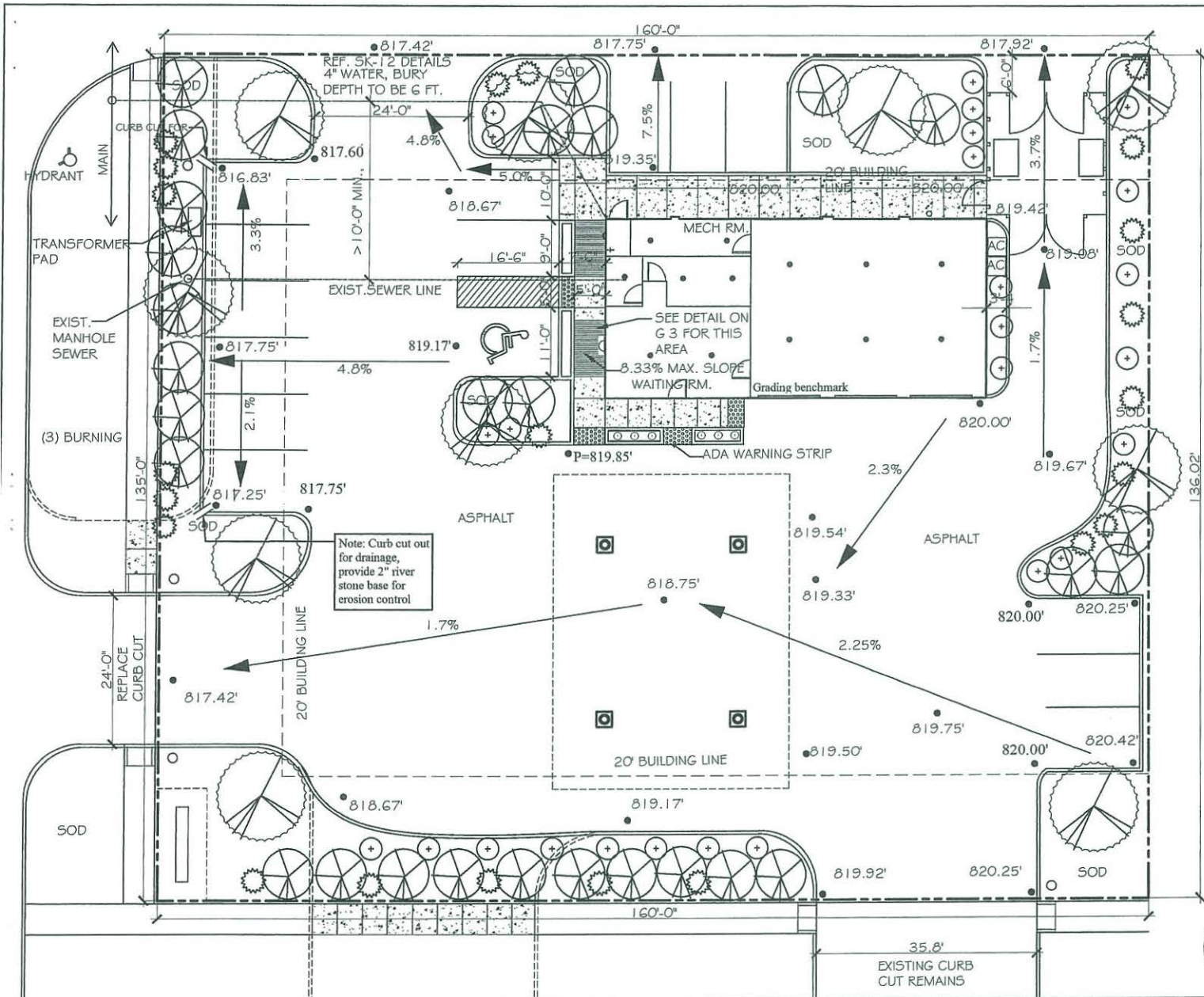
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PROPOSED GRADING PLAN

11-4-2016  
 review  
 G2  
 SHEET 2 OF 3



TYPICAL BENCHMARKS USED:  
 USGS, BAR, SRTM, SAT

GRADING PLAN NOTES:  
 ADA PARKING MAX SLOPE 2%  
 IN ANY DIRECTION.  
 RAMP SLOPE MAX 8.33%  
 CROSS SLOPE MAX: 2%PARK  
 LOT SLOPE 2%-8.3%

GRADING PLAN  
 SCALE: 1/16" = 1'-0"  
 NORTH



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GRADING DETAIL

11-2-2016

REVIEW

G3

SHEET 3 OF 3

