

MEETING NOTICE

AGENDA

VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION

May 17, 2017

The Planning and Zoning Commission of the Village of Hoffman Estates will hold a meeting in the Helen Wozniak Council Chambers of the Municipal Building, 1900 Hassell Road, Hoffman Estates, Illinois, at 7:00 p.m., **Wednesday, May 17, 2017.**

1. Call to Order/Roll Call

2. Approval of Minutes

May 3, 2017

3. Chairperson's Report

4. Old Business

5. New Business

PUBLIC HEARING – Request by Monika Tulodziecka-Kulak (owner) for a 5 foot side yard setback variation from section 9-5-2-D-5 of the Zoning Code to permit a 10 foot setback instead of the minimum 15 feet for an attached garage addition at 415 Azalea Lane.

6. Staff Report

7. Adjournment

The next regular Planning and Zoning Commission meeting is scheduled for **Wednesday, June 7, 2017 at 7:00 p.m.**



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT NO.: 2017018R PROJECT NAME: 415 AZALEA LN – SIDEYARD SETBACK VARIATION

PROJECT ADDRESS/LOCATION: 415 AZALEA LANE

PUBLIC HEARING YES NO

REZONING MASTER SIGN PLAN SPECIAL USE VARIATION

SITE PLAN PLAT

MEETING DATE: MAY 17, 2017

STAFF ASSIGNED: DANIEL RITTER *DR*

REQUESTED MOTION

Request by Monika Tulodziecka-Kulak (owner) for a 5 foot side yard setback variation from section 9-5-2-D-5 of the Zoning Code to permit a 10 foot setback instead of the minimum 15 feet for an attached garage addition at 415 Azalea Lane.

INCLUDES RECOMMENDED CONDITION(S) YES NO

ZONING DISTRICT: R-2, ONE-FAMILY RESIDENTIAL

ADJACENT PROPERTIES:	NORTH: R-2, ONE-FAMILY RESIDENTIAL	SOUTH: R-2, ONE-FAMILY RESIDENTIAL
	EAST: R-2, BIRCH PARK ENTRANCE	WEST: R-2, ONE-FAMILY RESIDENTIAL

APPLICABLE ZONING CODE SECTIONS

Section 9-5-2-D-5 of the Zoning Code states that the side yard setback of the principal structure (including an attached garage) shall be 15 feet.

PROPOSAL

The property currently includes a one-story house and detached garage. The house was originally constructed with a one-car attached garage. The attached garage was converted to living space and the detached garage was constructed around 1985. The petitioner is now proposing to demolish the existing detached garage and construct a new 750 square foot attached garage and home addition to the existing structure.

The attached garage addition would encroach 5 feet into the property's required sideyard setback. The other part of the addition to the house would meet all applicable zoning code requirements. The variation is

being requested so that a traditionally sized two-car attached garage can be added to the home without losing floor space in the existing home.

The petitioner has noted that the neighboring property that the garage would be encroaching toward, is a park district entrance without any structures and is not a typical residential property. In addition, they have noted similar setback variation approvals for other properties in the area, including their immediate neighbor to the west (405 Azalea Ln) who received approval for a 5 foot setback variation for a garage in 2011.

VARIATION STANDARDS

Section 9-1-15 of the Zoning Code – *Standards for a Variation* - states that the Planning and Zoning Commission shall not recommend the adoption of a proposed variation unless it finds that the variation meets the Standards for Variations as set forth in the Zoning Code.

1. The Planning and Zoning Commission shall not recommend the variation of the regulations of the Code unless it shall first make a finding based upon the evidence presented to it in each specific case that:
 - a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located;
 - b. The plight of the owner is due to unique circumstances;
 - c. The variation, if granted, will not alter the essential character of the locality.

2. For the purpose of implementing the above rules, the Planning and Zoning Commission shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the applicant have been established by the evidence;
 - a. The particular physical surroundings, shape of topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;
 - b. The conditions upon which the petition for a variation is based would not be applicable, generally, to other property within the same zoning classification;
 - c. The purpose of the variation is not based exclusively upon a desire to increase the value of the property;
 - d. The alleged difficulty or hardship has not been based exclusively upon a desire to increase the value of property;
 - e. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
 - f. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fires, or endanger the public safety, or substantially diminish or impair property values in the neighborhood.

3. The Planning and Zoning Commission may recommend to the Village Board that such conditions and restrictions be imposed upon the premises benefited by a variation as may be necessary to comply with the standards set forth in this section to reduce or minimize the injurious effect of such variation upon other property in the neighborhood, and better to carry out the general intent of this Code.

If this request is approved, the variation ordinance would be granted to the property in perpetuity or until otherwise amended or dissolved by a future ordinance.

NOTIFICATION

Standard notification letters have been sent to surrounding properties within 150 feet and no comments have been received.

STAFF SUMMARY

The proposed variation would allow for a 750 square foot attached garage addition to encroach into the interior side yard setback by 5 feet. The petitioner is seeking to retain the existing home's footprint, and add a traditional two car attached garage. Because the setback encroachment is only in the interior side yard, it would not alter the streetscape along Azalea Lane. The neighboring property that the garage would be encroaching towards is void of any structures and is a park entrance with a path and trees. This situation would negate most potential effects of an encroachment on a neighboring residential property.

Two alternative options exist to the variation request and allow for an attached garage. The first would be to reconvert the part of the home that was previously a garage, back into garage space and add additional garage space on to that without encroaching into the side yard. While possible this option would require extensive changes to the existing structure and reduce the homes floor space. The second option would be to design a smaller and longer attached garage that doesn't encroach into the setback. This is also possible to accomplish, but would not be as easy to function in and out of, is not a typical architectural design and is not likely to be aesthetically pleasing to the owner of neighboring properties.

RECOMMENDED CONDITIONS

If the Planning & Zoning Commission finds that the standards for a variation have been met, staff recommends the following conditions:

1. The house and attached garage addition shall be constructed per the size and location included in the petitioner's application materials submitted with this request. The attached garage must remain garage space and shall not be converted into living space.
2. Completed building and engineering plans are required to be submitted and all staff-level review comments shall be addressed prior to issuance of a building permit.

Attachments: Petitioner Application & Submittals
 Legal Notice
 Location Map
 Staff Exhibit – Aerial Photo



VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING GENERAL APPLICATION*

Special Use for _____ Rezoning from _____ to _____

Variation: Commercial Residential Sign

Plat (Subdivision & Others): Preliminary Final

Site Plan: Amendment Concept Preliminary Final

Master Sign Plan: Amendment

Other: _____

*** ADDENDUM MATERIALS ARE REQUIRED FOR SPECIFIC REQUESTS**

Posting of Notification Sign(s) may be required.

Specific requirements will be provided when your request is scheduled.

RECEIVED
APR 21 2017
PLANNING DIVISION

FOR VILLAGE USE ONLY

Hearing Fee 175.00 Check No. 416 Date Paid 4/21/17

Project Number: 2017018

Staff Assigned: R: Her

Meeting Date: 5/17/17

Public Hearing: Yes No

Sign Posting Required: Yes No

Date Sign Posted N/A

PLEASE PRINT OR TYPE

Date: April 21st, 2017

Project Name: 415 Azalea LN Addition

Project Description: House addition

Project Address/Location: 415 Azalea LN

Property Index No. 07-14-107-004

Acres: .46 Zoning District: R2

I. Owner of Record

Monika Tulodziecka - Kulak		
Name	Company	
415 Azalea LN		Hoffman Estates
Street Address	City	
IL	60169	630 - 205 - 3324
State	Zip Code	Telephone Number
		MONICZKA PL 1986@GMAIL.COM
Fax Number	E-Mail Address	

II. Applicant (Contact Person/Project Manager)

Monika Tulodziecka - Kulak		
Name	Company	
415 Azalea LN		Hoffman Estates
Street Address	City	
IL	60169	630 - 205 - 3324
State	Zip Code	Telephone Number
		MONICZKA PL 1986@GMAIL.COM
Fax Number	E-Mail Address	

Applicant's relationship to property: OWNER

III. Owner Consent for Authorized Representative

It is required that the property owner or his designated representative be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. **If the owner cannot be present at the meeting, the following statement must be signed by the owner:**

I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize Monika Tulodziecka - Kulak to act on my behalf and advise that he/she has full authority to act as my/our representative.



Owner Signature

Monika Tulodziecka - Kulak
Print Name

IV. Acknowledgement(s)

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

The Owner and Applicant, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature: _____ 

Owner's Name (Please Print): Monika Tulodziecka - Kulak

Applicant's Signature: _____
(If other than Owner)

Applicant's Name (Please Print): _____

Date: _____

All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.

Please contact the Planning Division (located in the Municipal Building) with any questions:

Email: planning@hoffmanestates.org
Address: 1900 Hassell Road
Hoffman Estates, IL 60169
Phone: (847) 781-2660
Fax: (847) 781-2679

Addendums Attached:

- | | |
|--------------------------------------|---|
| <input type="checkbox"/> Special Use | <input type="checkbox"/> Master Sign Plan |
| <input type="checkbox"/> Rezoning | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Variation | |
| <input type="checkbox"/> Plat | |
| <input type="checkbox"/> Site Plan | |

415 Azalea Lane Setback Variation Project Description

I am asking for a variance for the garage because currently I have a detached garage which is in really bad condition and needs to be torn down. I would like to have an attached garage as it is more convenient for me. I have three cars and I do not want to park them outside. The garage should not be an issue for anybody including my neighbors and others walking near my property. I do not have a neighbor close to my property as there is a park. It shouldn't interfere with walking path as there is still a good piece of landscape. It also will not collide with any piping, electric cables, gas. It will also improve the appearance of the house.

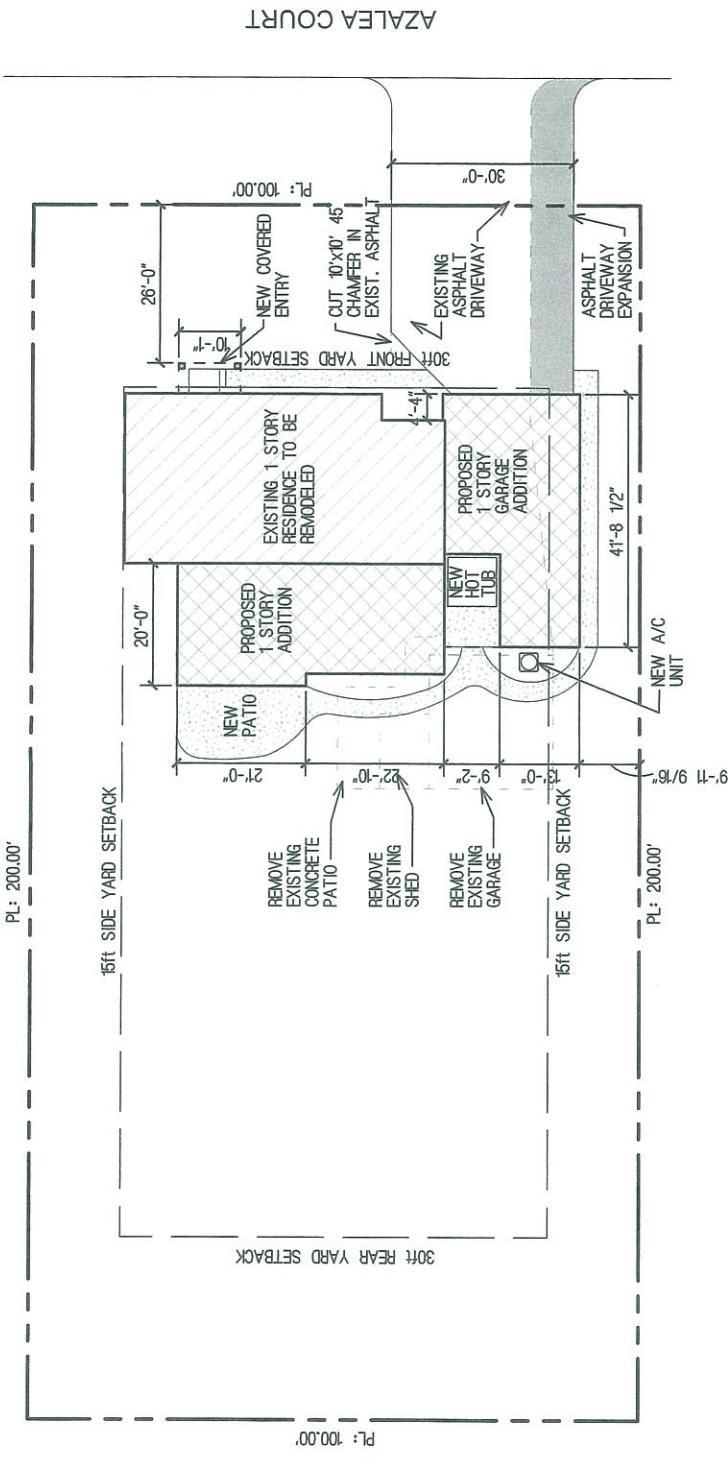
-Monika Tulodziecka-Kulak

DATE	MAY 08, 2017
REVISIONS	

PROPOSED ADDITION TO:
 Tulodziecka / Kulak Residence
 415 AZALEA LANE
 HOFFMAN ESTATES, ILLINOIS

Reitan Architects, LLC.
 1225 Wilmy Road - Suite 803 - Schaumburg, Illinois 60193
 PH: 817-519-2277 - FAX: 817-519-0317
 Accounted Name No. 184-000083

PROJECT NO. 1828
SHEET SK1
OF 1
 PRELIMINARY SITE PLAN



AZALEA COURT

Site Plan
 NORTH

SCALE: 1" = 20'-0"

Proposed Single Family Home Addition Located At: 415 Azalea Lane Hoffman Estates, Illinois 60169

PROJECT DIRECTORY

OWNER: MONIKA TULDZIECKA - KULAK
415 AZALEA LANE
HOFFMAN ESTATES, ILLINOIS 60169

ARCHITECT: RETAN ARCHITECTS, LLC.
1325 WILEY ROAD
SUITE 106
SCHAMBURG, ILLINOIS 60773
847-519-0227
FAX 847-519-0347

PROJECT DATA

BUILDING SUMMARY BASED ON:
HOFFMAN ESTATES ZONING ORDINANCE
2009 INTERNATIONAL BUILDING CODE
2009 INTERNATIONAL RESIDENTIAL CODE
2009 INTERNATIONAL MECHANICAL CODE
2009 INTERNATIONAL PLUMBING CODE
2015 NATIONAL PLUMBING CODE
2011 NATIONAL ELECTRICAL CODE

STORES/BUILDINGS HT.: ACTUAL 1/8"-2'-1/4"
EXISTING BUILDING AREA 1,590 S.F. (GARAGE & SHED INCLUDED - TO BE DEMOLISHED)
PROPOSED BUILDING AREA 3,058 S.F. (GARAGE INCLUDED)
TOTAL LOT AREA 20,000 S.F.

FLOOR LIVE LOAD DESIGN = 40 PSF
FLOOR DEAD LOAD = 25 PSF
ROOF LIVE LOAD DESIGN = 30 PSF
ROOF DEAD LOAD = 20 PSF

LOCATION MAP



SHEET INDEX

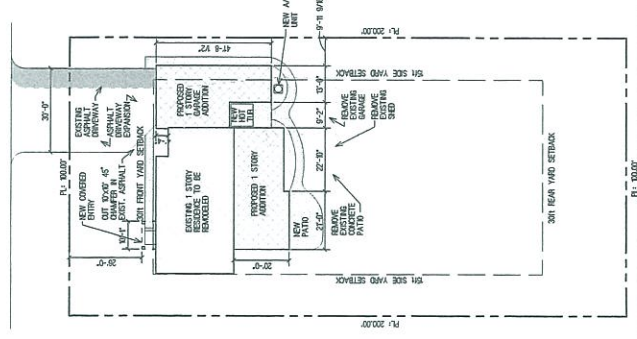
- SK1 TITLE SHEET, PRELIMINARY SITE PLAN
- SK2 PRELIMINARY FLOOR PLAN
- SK3 PRELIMINARY EXTERIOR ELEVATIONS

SITE PLAN

SCALE: 1"=20'-0"
AZALEA COURT

ABBREVIATIONS.

A	ANCHOR BOLT	C	CONTINUED	F	FRESH AIR	G	OUT TO OUT	I	INSER UNCLAS. WIRE	R	ROOF DRAIN	S	SOAKAWAY	T	TREAD	W	WALL
AA	ACQUISITION PANEL	CA	CONCRETE	FA	FACE OF FINISH	GA	OVERALL	IA	REINFORCED CONCRETE PIPE	RA	ROUGH RAIN	SA	SLASH BLOCK	TA	TOP AND BOTTOM	WA	WORKING AREA
AB	ALUMINUM BRACKET	CB	CONCRETE BLOCK	FB	FACE OF BRICK	GB	GRASS	IB	INSULATED CONCRETE	RB	ROUGH RAIN	SB	SLASH BLOCK	TB	TERRAZZO	WB	WORKING AREA
AC	ALUMINUM CLAMP	CC	CONCRETE CURB	FC	FLOOR FINISH	GC	GRASS	IC	INSULATED CONCRETE	RC	ROUGH RAIN	SC	SLASH BLOCK	TC	TERRAZZO	WC	WORKING AREA
AD	ALUMINUM DRAIN	CD	CONCRETE DRAIN	FD	FLOOR DRAIN	GD	GRASS	ID	INSULATED CONCRETE	RD	ROUGH RAIN	SD	SLASH BLOCK	TD	TERRAZZO	WD	WORKING AREA
AE	ALUMINUM END BRACKET	CE	CONCRETE END	FE	FACE OF END	GE	GRASS	IE	INSULATED CONCRETE	RE	ROUGH RAIN	SE	SLASH BLOCK	TE	TERRAZZO	WE	WORKING AREA
AF	ALUMINUM FLOOR	CF	CONCRETE FLOOR	FF	FACE OF FLOOR	GF	GRASS	IF	INSULATED CONCRETE	RF	ROUGH RAIN	SF	SLASH BLOCK	TF	TERRAZZO	WF	WORKING AREA
AG	ALUMINUM GROUND	CG	CONCRETE GROUND	FG	FACE OF GROUND	GG	GRASS	IG	INSULATED CONCRETE	RG	ROUGH RAIN	SG	SLASH BLOCK	TG	TERRAZZO	WG	WORKING AREA
AH	ALUMINUM HANGAR	CH	CONCRETE HANGAR	FH	FACE OF HANGAR	GH	GRASS	IH	INSULATED CONCRETE	RH	ROUGH RAIN	SH	SLASH BLOCK	TH	TERRAZZO	WH	WORKING AREA
AI	ALUMINUM INSULATION	CI	CONCRETE INSULATION	FI	FACE OF INSULATION	GI	GRASS	II	INSULATED CONCRETE	RI	ROUGH RAIN	SI	SLASH BLOCK	TI	TERRAZZO	WI	WORKING AREA
AJ	ALUMINUM JOINT	CJ	CONCRETE JOINT	FJ	FACE OF JOINT	GJ	GRASS	IJ	INSULATED CONCRETE	RJ	ROUGH RAIN	SJ	SLASH BLOCK	TJ	TERRAZZO	WJ	WORKING AREA
AK	ALUMINUM KEY	CK	CONCRETE KEY	FK	FACE OF KEY	GK	GRASS	IK	INSULATED CONCRETE	RK	ROUGH RAIN	SK	SLASH BLOCK	TK	TERRAZZO	WK	WORKING AREA
AL	ALUMINUM LAMP	CL	CONCRETE LAMP	FL	FACE OF LAMP	GL	GRASS	IL	INSULATED CONCRETE	RL	ROUGH RAIN	SL	SLASH BLOCK	TL	TERRAZZO	WL	WORKING AREA
AM	ALUMINUM MOUNTING	CM	CONCRETE MOUNTING	FM	FACE OF MOUNTING	GM	GRASS	IM	INSULATED CONCRETE	RM	ROUGH RAIN	SM	SLASH BLOCK	TM	TERRAZZO	WM	WORKING AREA
AN	ALUMINUM NAIL	CN	CONCRETE NAIL	FN	FACE OF NAIL	GN	GRASS	IN	INSULATED CONCRETE	RN	ROUGH RAIN	SN	SLASH BLOCK	TN	TERRAZZO	WN	WORKING AREA
AO	ALUMINUM OILING	CO	CONCRETE OILING	FO	FACE OF OILING	GO	GRASS	IO	INSULATED CONCRETE	RO	ROUGH RAIN	SO	SLASH BLOCK	TO	TERRAZZO	WO	WORKING AREA
AP	ALUMINUM PANEL	CP	CONCRETE PANEL	FP	FACE OF PANEL	GP	GRASS	IP	INSULATED CONCRETE	RP	ROUGH RAIN	SP	SLASH BLOCK	TP	TERRAZZO	WP	WORKING AREA
AQ	ALUMINUM QUARTZ	CQ	CONCRETE QUARTZ	FQ	FACE OF QUARTZ	GQ	GRASS	IQ	INSULATED CONCRETE	RQ	ROUGH RAIN	SQ	SLASH BLOCK	TQ	TERRAZZO	WQ	WORKING AREA
AR	ALUMINUM RAIL	CR	CONCRETE RAIL	FR	FACE OF RAIL	GR	GRASS	IR	INSULATED CONCRETE	RR	ROUGH RAIN	SR	SLASH BLOCK	TR	TERRAZZO	WR	WORKING AREA
AS	ALUMINUM SILL	CS	CONCRETE SILL	FS	FACE OF SILL	GS	GRASS	IS	INSULATED CONCRETE	RS	ROUGH RAIN	SS	SLASH BLOCK	TS	TERRAZZO	WS	WORKING AREA
AT	ALUMINUM TIE	CT	CONCRETE TIE	FT	FACE OF TIE	GT	GRASS	IT	INSULATED CONCRETE	RT	ROUGH RAIN	ST	SLASH BLOCK	TT	TERRAZZO	WT	WORKING AREA
AU	ALUMINUM UNDER	CU	CONCRETE UNDER	FU	FACE OF UNDER	GU	GRASS	IU	INSULATED CONCRETE	RU	ROUGH RAIN	SU	SLASH BLOCK	TU	TERRAZZO	WU	WORKING AREA
AV	ALUMINUM VALVE	CV	CONCRETE VALVE	FV	FACE OF VALVE	GV	GRASS	IV	INSULATED CONCRETE	RV	ROUGH RAIN	SV	SLASH BLOCK	TV	TERRAZZO	WV	WORKING AREA
AW	ALUMINUM WALL	CW	CONCRETE WALL	FW	FACE OF WALL	GW	GRASS	IW	INSULATED CONCRETE	RW	ROUGH RAIN	SW	SLASH BLOCK	TW	TERRAZZO	WW	WORKING AREA
AX	ALUMINUM X-RAY	CX	CONCRETE X-RAY	FX	FACE OF X-RAY	GX	GRASS	IX	INSULATED CONCRETE	RX	ROUGH RAIN	SX	SLASH BLOCK	TX	TERRAZZO	WX	WORKING AREA
AY	ALUMINUM YIELD	CY	CONCRETE YIELD	FY	FACE OF YIELD	GY	GRASS	IY	INSULATED CONCRETE	RY	ROUGH RAIN	SY	SLASH BLOCK	TY	TERRAZZO	WY	WORKING AREA
AZ	ALUMINUM ZINC	CZ	CONCRETE ZINC	FZ	FACE OF ZINC	GZ	GRASS	IZ	INSULATED CONCRETE	RZ	ROUGH RAIN	SZ	SLASH BLOCK	TZ	TERRAZZO	WZ	WORKING AREA

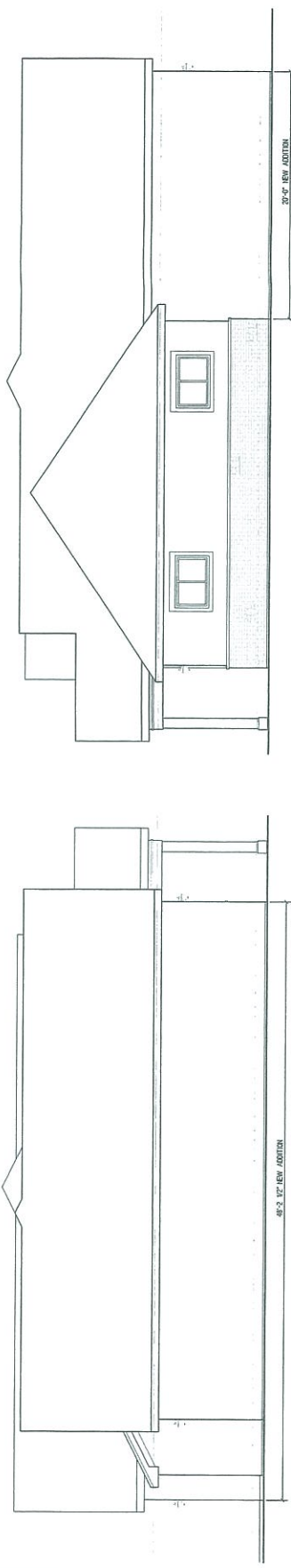


DATE	JULY 8, 2016
REVISIONS	REV. R. 2016
	APRIL 22, 2017
	APRIL 18, 2017
	APRIL 20, 2017
	APRIL 21, 2017

PROPOSED ADDITION TO:
Tulodziecka / Kuzyak Residence
 415 AZALEA LANE
 HOFFMAN ESTATES, ILLINOIS

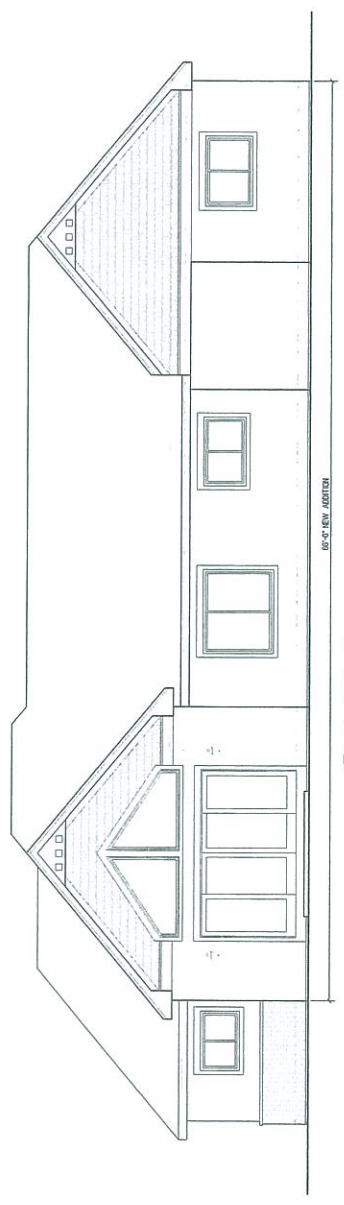
Relian Architects, LLC.
 1325 Wavy Road - Suite 905 - Schaumburg, Illinois 60193
 PH: 847-59-2277 - FAX: 847-59-0347
 Assured Firm No. 184-004083

PROJECT NAME	PRELIMINARY EXTERIOR ELEVATIONS
SHEET	SK3 OF 3
PRODUCT NO.	828

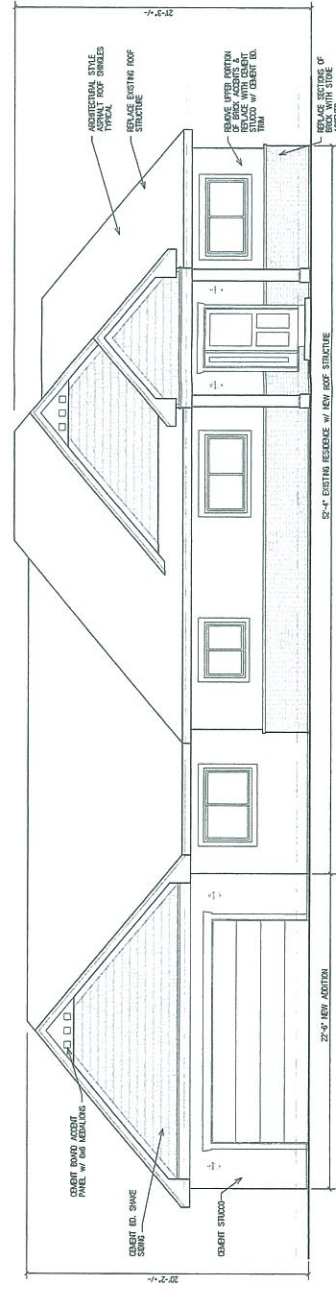


1 East Elevation
 SK3 SCALE: 1/4"=1'-0"

2 West Elevation
 SK3 SCALE: 1/4"=1'-0"



3 South Elevation
 SK3 SCALE: 1/4"=1'-0"



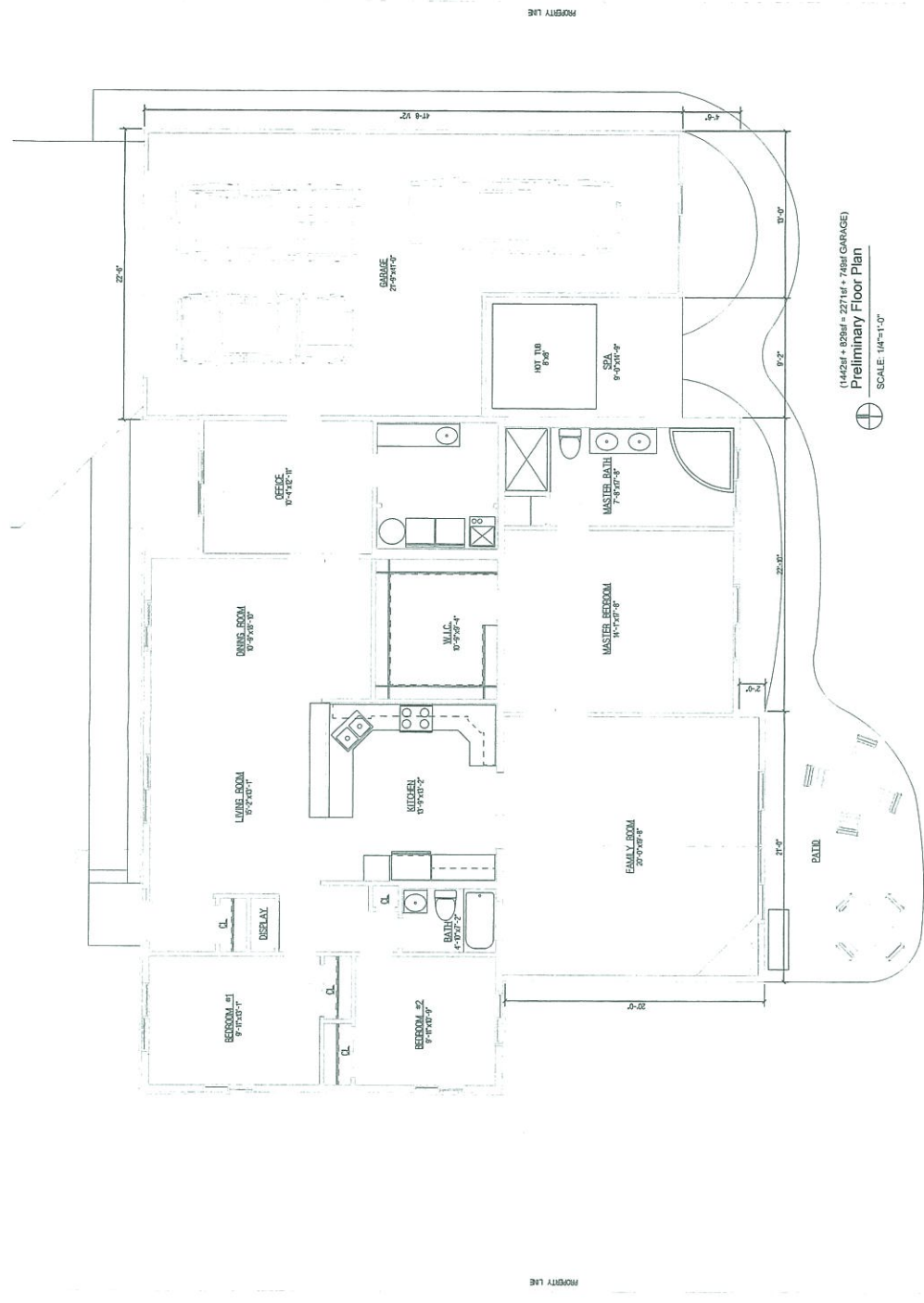
4 North Elevation
 SK3 SCALE: 1/4"=1'-0"

DATE	JULY 22, 2006
REVISIONS	
05/07/07	
04/07/07	
02/07/06	
02/07/06	

PROPOSED ADDITION TO:
Tudziecka / Kułak Residence
 415 AZALEA LANE
 HOFFMAN ESTATES, ILLINOIS

Reitan Architects, LLC.
 Assured Name No. 184-004083
 1325 Willy Road - Suite 205 - Schaumburg, Illinois 60193
 PH: 847-519-2277 - FAX: 847-519-0347

PROJECT NAME	PRELIMINARY FLOOR PLAN
SHEET	SK2 OF 3
PROJECT NO.	103



(1442sf + 828sf = 2271sf + 745sf GARAGE)
Preliminary Floor Plan
 SCALE: 1/4"=1'-0"



Existing

PLAT OF SURVEY



Residential
Commercial
ALTA

Studnicka and Associates, Ltd.

studnicka2000@gmail.com

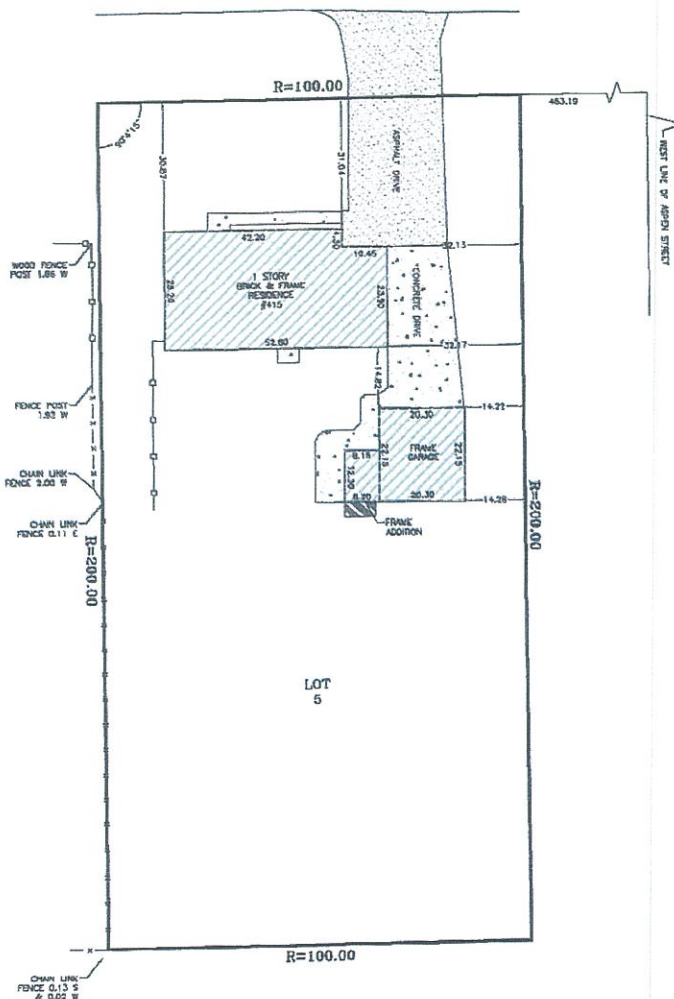
Topographical
Condominium
Site Plans

Tel. 815 485-0445
Fax 815 485-0528

17901 Haas Road
Mokena, Illinois 60448

LOT 5 IN BLOCK 8 IN HOFFMAN ESTATES NUMBER 1, BEING A SUBDIVISION OF THAT PART OF THE WEST 1/2 OF THE NORTHWEST 1/4 AND THAT PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 14, TOWNSHIP 41 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF HIGGINS ROAD, TOGETHER WITH THAT PART OF THE NORTHEAST 1/4 OF SECTION 15, TOWNSHIP 41 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF HIGGINS ROAD, IN COOK COUNTY, ILLINOIS.

AZALEA COURT



LOT 5

Scale: 1" = 30 feet

Distances are marked in feet and decimals.

Ordered by: Danuta Wolny

Order No.: 16-4-136

Compare all points before building by same and at once report any difference.

For building lines, restrictions, or easements not shown hereon, refer to abstract, deed or ordinance.

Field work completed: 4/20/16

Drawn by: J.G.S.

Proofed by: T.S.

Design Firm Registration # 184-002791

STATE OF ILLINOIS }
COUNTY OF WILL } ss



Studnicka and Associates, Ltd., an Illinois Land Surveying Corporation does hereby certify that this professional service conforms to the current Illinois standards for boundary survey.

Mokena, IL, April 20, A.D. 2016

by

License No. 3304 Expires 11/30/18

415 Azalea Lane

P.I.N. 07-14-107-004-0000



April 2017
Village of Hoffman Estates
Planning Division



NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning and Zoning Commission of the Village of Hoffman Estates will hold a public hearing at the request of Monika Tulodziecka-Kulak (Owner) to consider a variation under the Zoning Code to permit the expansion of a house and attached garage on the property located at 415 Azalea Lane.

P.I.N.: 07-14-107-004-0000
The hearing will be held on Wednesday, May 17, 2017 at 7:00 p.m. in the Hoffman Estates Municipal Building, 1900 Hassell Road, Hoffman Estates, IL.
Eva Combs, Chairperson
Planning and Zoning Commission
Published in Daily Herald
May 2, 2017 (4471038)

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **DAILY HERALD**. That said **DAILY HERALD** is a secular newspaper and has been circulated daily in the Village(s) of Algonquin, Antioch, Arlington Heights, Aurora, Barrington, Barrington Hills, Lake Barrington, North Barrington, South Barrington, Bartlett, Batavia, Buffalo Grove, Burlington, Campton Hills, Carpentersville, Cary, Deer Park, Des Plaines, South Elgin, East Dundee, Elburn, Elgin, Elk Grove Village, Fox Lake, Fox River Grove, Geneva, Gilberts, Grayslake, Green Oaks, Gurnee, Hainesville, Hampshire, Hanover Park, Hawthorn Woods, Hoffman Estates, Huntley, Inverness, Island Lake, Kildeer, Lake Villa, Lake in the Hills, Lake Zurich, Libertyville, Lincolnshire, Lindenhurst, Long Grove, Mt. Prospect, Mundelein, Palatine, Prospect Heights, Rolling Meadows, Round Lake, Round Lake Beach, Round Lake Heights, Round Lake park, Schaumburg, Sleepy Hollow, St. Charles, Streamwood, Tower Lakes, Vernon Hills, Volo, Wauconda, Wheeling, West Dundee, Wildwood, Sugar Grove, North Aurora, Glenview

County(ies) of Cook, Kane, Lake, McHenry and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the DAILY HERALD is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published May 2, 2017 in said DAILY HERALD.

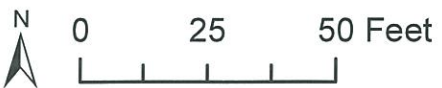
IN WITNESS WHEREOF, the undersigned, the said PADDOCK PUBLICATIONS, Inc., has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

PADDOCK PUBLICATIONS, INC.
DAILY HERALD NEWSPAPERS

BY *Daula Baltog*
Authorized Agent

Control # 4471038

415 Azalea Lane



Planning Division
Village of Hoffman Estates
April 2017