

# AGENDA

*Village of Hoffman Estates  
First Meeting of the Month  
Village Board of Trustees*

*1900 Hassell Road  
Hoffman Estates, IL 60169  
847/882-9100*

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**Board Room**

**7:00 p.m.**

**October 5, 2015**

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1. **CALL TO ORDER/ROLL CALL**
2. **PLEDGE OF ALLEGIANCE TO THE FLAG**
3. **RECOGNITION OF AUDIENCE**
4. **APPROVAL OF MINUTES** – September 21 & Special Meeting September 28, 2015
5. **CONSENT AGENDA/OMNIBUS VOTE (Roll Call Vote)**  
*(All items under the Consent Agenda are considered to be routine in nature and will be enacted by one motion. There will be no separate discussion of these items unless a Trustee so requests. In that event, the discussion will be the first item of business after approval of the Consent Agenda.)*
  - A. Approval of Agenda
  - B. Approval of the schedule of bills for October 5, 2015 - \$2,746,557.59
  - C. Request Board authorization to:
    - 1) waive formal bidding; and
    - 2) award contract for purchase of a 2016 Ferrara Inferno Aerial Platform to Ferrara Fire Apparatus, Holden, LA, in an amount not to exceed \$1,200,000.
  - D. Request Board approval of an Ordinance authorizing amendments to the 2015 Budget Ordinance (purchase of a 2016 Ferrara Inferno Aerial Platform).
  - E. Request Board approval for police officers to carry and administer the life-saving drug Naloxone (Narcan) to reverse the effects of an Opioid overdose.
  - F. Request Board authorization to award contract for 2015 holiday tree lighting event fireworks display to Melrose Pyrotechnics, Kingsbury, IN, in an amount not to exceed \$3,800.
  - G. Request Board authorization to award contract for State of Illinois joint purchase of 2015-2016 winter road salt to Cargill Incorporated Salt Division, North Olmsted, OH, at a unit price of \$65.08 per ton, in an amount not to exceed \$273,336.
  - H. Request Board approval of:
    - 1) an Intergovernmental Agreement with Pace Suburban Bus for design engineering services of a pedestrian overpass of I-90 for the Pace Park & Ride; and
    - 2) Supplement #2 to the contract with Crawford, Murphy and Tilly, Inc., Aurora, IL, for design engineering services of the pedestrian overpass in an amount not to exceed \$653,556.31.

**6. REPORTS****A. President's Report**

... Proclamation(s)

-- Pregnancy and Infant Loss Remembrance Day

-- Mental Illness Awareness Week

-- National Fire Prevention Week

**B. Trustee Comments****C. Village Manager's Report****D. Village Clerk's Report****E. Committee Reports**

1) General Administration & Personnel

2) Transportation & Road Improvement

3) Planning, Building & Zoning

**7. PLANNING & ZONING COMMISSION REPORT**

A. Request by UNBEL LLC (owner) and Baum Revision LLC (contract purchaser) for a preliminary and final plat of resubdivision of Lot 4A5D1 in Prairie Stone – Duluth Trading Company Subdivision located at the northeast corner of Hoffman Boulevard and Pratum Avenue, with 3 conditions (see packets). *(Deferral requested)*

Voting: 9 Ayes, 2 Absent

Motion carried.

B. Request by UNBEL LLC (owner) and Baum Revision LLC (contract purchaser) for a preliminary and final site plan for Duluth Trading Company retail store on the newly proposed Lot 4A5D1 in Duluth Trading Company Subdivision located at the northeast corner of Hoffman Boulevard and Pratum Avenue, with 5 conditions (see packets). *(Deferral requested)*

Voting: 9 Ayes, 2 Absent

Motion carried.

C. Request by UNBEL LLC (owner) and Baum Revision LLC (contract Purchaser) for a Master Sign Plan dated September 30, 2015 for the property located at the northeast corner of Hoffman Boulevard and Pratum Avenue. *(Deferral requested)*

Voting: 9 Ayes, 2 Absent

Motion carried.

**8. ADDITIONAL BUSINESS** *(All other new business; those items not recommended unanimously by the Committee)*

**9. ADJOURNMENT – Executive Session – Personnel-Employment (5 ILCS 120/2-(c)-(1))**

**MEETING:**                               **HOFFMAN ESTATES VILLAGE BOARD**  
**DATE:**                                   **SEPTEMBER 21, 2015**  
**PLACE:**                                 **COUNCIL CHAMBERS**  
  **MUNICIPAL BUILDING COMPLEX**  
  **1900 HASSELL ROAD**  
  **HOFFMAN ESTATES, ILLINOIS**

**1. CALL TO ORDER:**

Village President William McLeod called the meeting to order at 8:29 p.m. The Village Clerk called the roll. Trustees present: Karen Mills, Anna Newell, Gary Pilafas, Gary Stanton, Michael Gaeta, Gayle Vandenberg.

A quorum was present.

**ADMINISTRATIVE PERSONNEL PRESENT:**

D. O'Malley, Deputy Village Manager  
A. Janura, Corporation Counsel  
P. Cross, Asst. Corporation Counsel  
M. Koplin, Asst. Village Manager-Development Services  
J. Jorian, Fire Chief  
T. Bos, Police Chief  
J. Nebel, Public Works Director  
R. Musiala, Finance Director  
P. Seger, HRM Director  
F. Besenhoffer, IS Director  
M. Saaverda-Kulousek, Asst. H&HS Director  
P. Gugliotta, Planning, Building Code Director  
B. Anderson, CATV Coordinator  
K. Kramer, Economic Development Director  
A. Monroe, Asst. to the Village Manager  
A. Pollack, GG Intern

**2. PLEDGE OF ALLEGIANCE TO THE FLAG:**

The Pledge was led by Trustee Mills.

**3. RECOGNITION OF AUDIENCE:**

No one wished to be recognized.

**4. APPROVAL OF MINUTES:**

Motion by Trustee Gaeta, seconded by Trustee Pilafas, to approve Item 4. Voice vote taken. Mills Abstained, the rest All Ayes. Motion carried.

Approval of Minutes  
Minutes from September 8, 2015.

**5. CONSENT AGENDA/OMNIBUS VOTE:**

Motion by Trustee Gaeta, seconded by Trustee Pilafas, to approve Item 5.A.

**5.A. Approval of Agenda**

Roll Call:

Aye: Mills, Newell, Pilafas, Stanton, Gaeta, Vandenberg

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Pilafas, to approve Item 5.B.

**5.B. Approval of the schedule of bills for September 20, 2015: \$3,760,886.81.**

Roll Call:

Aye: Mills, Newell, Pilafas, Stanton, Gaeta, Vandenberg

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Pilafas, to approve Item 5.C.

**5.C. Request Board approval of Ordinance No. 4504-2015 approving a Master Sign Plan Amendment in accordance with Section 9-3-8-M-13 of the Zoning Code for the property located at 701-725 W. Golf Road (India House).**

Roll Call:

Aye: Mills, Newell, Pilafas, Stanton, Gaeta, Vandenberg

Nay:

Mayor McLeod voted aye.

Motion carried.

**6. REPORTS**

**6.A. President's Report**

**Proclamation(s)**

These proclamations were read during the Planning, Building & Zoning Committee meeting.

Breast Cancer Awareness Month  
Childhood Cancer Awareness Month  
Domestic Violence Awareness Month  
Down Syndrome Awareness Month  
Bullying Prevention Month

Trustee Vandenberg read the following proclamation.

Motion by Trustee Gaeta, seconded by Trustee Pilafas, to concur with the proclamation proclaiming October 2015 as Community Planning Month. Voice vote taken. All ayes. Motion carried.

The proclamation was accepted by Mr. Koplin.

Trustee Mills read the following proclamation.

Motion by Trustee Gaeta, seconded by Trustee Pilafas, to concur with the proclamation October 2, 2015 as National Manufacturing Day. Voice vote taken. All ayes. Motion carried.

The proclamation was accepted by Mr. Kramer.

Mayor McLeod showed off an award that the Village won from the NWMC for having the best basket that was raffled off at their annual dinner. The Mayor stated that he attended Finance Director Rachel Musiala's 20<sup>th</sup> anniversary celebration, the ribbon cutting for Exit Reality, a Chamber Government Relations meeting, the Brookdale Local Heroes program, our September 11<sup>th</sup> program, the Platzkonzert, block parties, that he went to Washington DC with Dr. Garner as part of Mrs. Obama's Let's Move program and the Chamber Legislative Luncheon.

#### **6.B. Trustee Comments**

Trustee Pilafas thanked the Platzkonzert commission members, HEHS principal Jim Britton, the volunteers, Hoffman United, Joe Nebel and public works, Rachel Musiala and Clayton Black all for their work on the Platzkonzert, he also thanked Mike Hankey for the improvement on our roads and bike paths.

Trustee Mills thanked the Celebrations Commission for the September 11<sup>th</sup> program and the Platzkonzert Commission for the Platzkonzert, she stated that she attended block parties, a Transit Task Force meeting, the Legislative Luncheon and wished the Cougar hockey team good luck.

Trustee Stanton thank the Platzkonzert Commission for the event, he stated that he attended block parties, the Transit Task Force meeting and the Legislative Luncheon.

Trustee Vandenberg also thanked everyone associated with the Platzkonzert that Trustee Pilafas had thanked, she stated that she attended the IML Convention and wished the Cougars good luck.

Trustee Gaeta stated that he attended the Brookdale Local Heroes program, our September 11<sup>th</sup> program, the Platzkonzert, the Naturalization Ceremony and block parties.

Trustee Newell stated that she attended the September 11<sup>th</sup> program and thanked the Celebrations Commission, the Platzkonzert and thanked their volunteers, attended parties, she congratulated and welcomed the Cougars and thanked Public Works for their work and clean up after the recent storms.

#### **6. C. Village Manager's Report**

Mr. O'Malley had no report.

#### **6. D. Village Clerk's Report**

The Village Clerk reported that her son won a silver medal at the Special Olympics golf tournament.

#### **6.E. Treasurer's Report**

Motion by Trustee Pilafas, seconded by Trustee Gaeta, to approve Item 6.E.

Mrs. Musiala stated that during the month of July 2015 cash receipts and transfers-in exceeded cash disbursements and transfers-out for the operating funds by \$2,245,029. After including these receipts and disbursements, the balance of cash and investments for the operating funds is \$28.7 million. For all of the Village funds, cash receipts and transfers-in exceeded cash disbursements and transfers-out by \$4,303,913, primarily due to property tax receipts. Overall, the total for cash and investments for all funds increased to \$178.8 million.

Roll Call:

Aye: Mills, Newell, Pilafas, Stanton, Gaeta, Vandenberg

Nay:

Mayor McLeod voted aye.

Motion carried.

**6.F. Committee Reports**

**Public Works & Utilities**

Trustee Newell stated that they would be meeting to request authorization to award contract for State of Illinois joint purchase of 2015-2016 winter road salt to Cargill Incorporated Salt Division, North Olmsted, OH at a unit price of \$65.08 per ton, in an amount not to exceed \$273,336; request acceptance of the Department of Public Works and Department of Development Services for the Transportation and Engineering Division Monthly Reports.

**Public Health & Safety**

Trustee Gaeta stated that they would be meeting to request authorization for Police Officers to carry and administer the life-saving drug Naloxone (Narcan) to reverse the effects of an Opioid overdose; request approval to waive formal bidding and award the contract for purchase of a 2016 Ferrara Inferno Aerial Platform to Ferrara Fire Apparatus, Holden, Louisiana in an amount not to exceed \$1,200,000.00; request acceptance of the Police Department, Health & Human Services, Emergency Management Coordinator and Fire Department Monthly Reports.

**Finance**

Trustee Pilafas stated that they would be meeting to request authorization to award contract for the 2015 Holiday Tree Lighting Event fireworks display to Melrose Pyrotechnics, Kingsbury, Indiana, in an amount not to exceed \$3,800; request acceptance of the Finance Department, Information Systems Department and Sears Centre Arena Monthly Reports.

**7. PLANNING & ZONING COMMISSION REPORT (Chairperson Combs):**

Motion by Trustee Gaeta, seconded by Trustee Pilafas, to concur with the Planning & Zoning Commission's recommendation and approve the petitioners' request.

**7.A.** Approval of a request by BBCN Bank (owner) and McDonald's USA, LLC (applicant) of a Preliminary and Final Plat of Subdivision of McDonald's Roselle Road Subdivision located at 1070 N. Roselle Road, subject to the following conditions:

1. The plat of resubdivision shall be recorded within 90 days of Village Board approval and prior to the issuance of the building permit.
2. The plat shall be signed by the current legal owners of the property, subject to verification by the Village's Corporation Counsel, prior to recording.

**Discussion**

Trustee Stanton asked if the bank would continue to own the land.  
Jim Olguin replied that the developer would be the land owner.

Roll Call:

Aye: Mills, Newell, Pilafas, Stanton, Gaeta, Vandenberg

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Stanton, to concur with the Planning & Zoning Commission's recommendation and approve the petitioners' request.

**7.B.** Approval of a request by BBCN Bank (owner) and McDonald's USA, LLC (applicant) of a Preliminary and Final Site Plan for a restaurant to be located at 1070 N. Roselle Road, subject to the following conditions:

1. The following waivers from the Subdivision Code relate to landscaping:

a. A waiver from Section 10-4-4-B-2-a to allow a setback of 3' instead of the 10' required by the Subdivision Code for the north side yard setback.

b. A waiver from Section 10-4-4-B-2-a to allow a setback of 4.5' instead of the 10' required by the Subdivision Code for the west side yard setback.

2. All rooftop mechanicals shall be screened through the use of parapet walls, as approved by the Village. At time of building permit submittal, the building plans shall show compliance with this requirement. Upon final occupancy inspection, if the Village determines that the roof top units are visible from the adjacent properties; they will be required to be screened from view as approved by the Village.

3. Village staff is completing a final technical review of minor site plan grading items relating to the grading for the accessible paths around the site. Prior to issuance of the building permit, the final plans shall be modified to address any final technical review comments identified through the final staff review.

4. The petitioner agrees to coordinate their site development with the adjacent traffic signal installation being managed by the Village and will cooperate with the Village as it relates to synchronizing the projects together.

**Discussion**

Trustee Mills asked if they were going to be open 24 hours and if an existing store was going to relocate. Mr. Olguin replied that they would like to have the option to be open 24 hours and that no, another store would not be relocating.

Roll Call:

Aye: Mills, Newell, Pilafas, Stanton, Gaeta, Vandenberg

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Stanton, seconded by Trustee Gaeta, to concur with the Planning & Zoning Commission's recommendation and approve the petitioners' request.

**7.C.** Approval of a request by BBCN Bank (owner) and McDonald's USA, LLC (applicant) of a Master Sign Plan for the property located at 1070 N. Roselle Road, subject to the following condition:

Approval is based on the Master Sign Plan authored by Village Staff dated 08/19/15.

Roll Call:

Aye: Mills, Newell, Pilafas, Stanton, Gaeta, Vandenberg

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Gaeta, seconded by Trustee Pilafas, to concur with the Planning & Zoning Commission's recommendation and approve the petitioners' request.

7.D. Request by McShane Hoffman Estates LLC to consider a preliminary and final plat of subdivision for H90 Business Park located near the northwest corner of Central Road and Huntington Boulevard.

Roll Call:

Aye: Mills, Newell, Pilafas, Stanton, Gaeta, Vandenberg

Nay:

Mayor McLeod voted aye.

Motion carried.

**ADDITIONAL BUSINESS:**

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Additional Business items 8.A. through 8.E. by omnibus vote.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 8.A.

8.A. Request Board approval of Ordinance 4505-2015 amending Section 8-3-22, Number of Licenses of the Hoffman Estates Municipal Code (increase in number of Class "B" licenses, BIPA Inc., d/b/a B&R Liquors, Hoffman Estates).

Roll Call:

Aye: Mills, Newell, Pilafas, Stanton, Gaeta, Vandenberg

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 8.B.

8.B. Board approval of Ordinance No. 4506-2015 granting a Master Sign Plan under Section 9-3-8-M-13 of the Zoning Code for the property located at 1070 N. Roselle Road. (McDonald's).

Roll Call:

Aye: Mills, Newell, Pilafas, Stanton, Gaeta, Vandenberg

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 8.C.

8.C. Request Board approval of Ordinance No. 4507-2015 amending Section 8-2-1 and creating Section 8-5-12, Food Manufacturer and distributor (Commercial), of the Hoffman Estates municipal Code.

Roll Call:

Aye: Mills, Newell, Pilafas, Stanton, Gaeta, Vandenberg

Nay:

Mayor McLeod voted aye.



Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 8.D. as amended.

**8.D.** Request Board approval of Resolution No. 1599-2015 appropriating funds for Surface Transportation Program resurfacing projects eligible for funding through the Northwest Municipal Conference.

Roll Call:

Aye: Mills, Newell, Pilafas, Stanton, Gaeta, Vandenberg

Nay:

Mayor McLeod voted aye.

Motion carried.

Motion by Trustee Mills, seconded by Trustee Pilafas, to approve Item 8.E.

**8.E.** Request Board approval of request by McShane Hoffman Estates, LLC for mass grading of a lot in the Huntington 90 Business Park for a future building.

Roll Call:

Aye: Mills, Newell, Pilafas, Stanton, Gaeta, Vandenberg

Nay:

Mayor McLeod voted aye.

Motion carried.

**9. ADJOURNMENT:**

Motion by Trustee Gaeta, seconded by Trustee Pilafas, to adjourn the meeting. Voice vote taken. All ayes.  
Motion carried. Time: 8:55 p.m.

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Bev Romanoff  
Village Clerk

Date Approved

The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.

**MEETING:** SPECIAL HOFFMAN ESTATES VILLAGE BOARD  
**DATE:** SEPTEMBER 28, 2015  
**PLACE:** COUNCIL CHAMBERS  
MUNICIPAL BUILDING COMPLEX  
1900 HASSELL ROAD  
HOFFMAN ESTATES, ILLINOIS

**1. CALL TO ORDER:**

Village President William McLeod called the meeting to order at 7:00 p.m. The Village Clerk called the roll. Trustees present: Anna Newell, Gary Pilafas, Gary Stanton, Michael Gaeta, Gayle Vandenberg, Karen Mills  
A quorum was present.

**ADMINISTRATIVE PERSONNEL PRESENT:**

J. Norris, Village Manager  
A. Janura, Corporation Counsel  
J. Jorian, Fire Chief  
T. Bos, Police Chief  
G. Poulos, Asst. Police Chief  
R. Musiala, Finance Director  
J. Nebel, PW Director  
B. Anderson, CATV Coordinator  
P. Seger, HRM Director  
G. Salavitch, Engineering Director  
F. Besenhoffer, Acting IS Director  
M. Hankey, Transportation & Engineering Director  
A. Monroe, Asst. to the Village Manager  
A. Pollack, GG Intern  
J. Djordjevic, Director of Operations-Mayor & Board  
B. Gibbs, GM Sears Centre Arena

**2. PLEDGE OF ALLEGIANCE TO THE FLAG:**

The Pledge was led by Trustee Newell.

**3. REPORTS:**

**A. President's Report**

**Swearing-In**

Mayor McLeod swore in Peter Theoharis into the office of Probationary Police Officer. Probationary Police Officer Theoharis introduced his family and was congratulated by the Board.

Mayor McLeod swore in Matthew Park into the office of Probationary Police Officer. Probationary Police Officer Park introduced his family and was congratulated by the Board.

Mayor McLeod swore in Matthew Gallik into the office of Probationary Police Officer. Probationary Police Officer Gallik introduced his family and was congratulated by the Board.

Mayor McLeod swore in Armando Lopez into the office of Probationary Police Officer. Probationary Police Officer Lopez introduced his family and was congratulated by the Board.

**4. ADJOURNMENT**

Motion by Trustee Gaeta, seconded by Trustee Pilafas, to adjourn the meeting. Voice vote taken. All ayes. Motion carried. Time 7:18 p.m.

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Bev Romanoff  
Village Clerk

Date Approved

The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.



## BILL LIST SUMMARY

<b>BILL LIST AS OF 10/05/2015</b>	<b>1,515,249.38</b>
<b>MANUAL CHECK REGISTER</b>	<b>17,286.60</b>
<b>PAYROLL AS OF 10/02/2015</b>	<b><u>1,214,021.61</u></b>
<b>TOTAL</b>	<b>\$ 2,746,557.59</b>

# VILLAGE OF HOFFMAN ESTATES

October 5, 2015

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
01 0302	15	ACME TRUCK BRAKE & SUPPLY CO.	REPAIR PARTS	\$77.13
01 0302	15	BOB ROHRMAN'S SCHAUMBURG FORD	REPAIR PARTS	\$48.08
01 0302	15	BRETT EQUIPMENT CORP.	LIGHT BULBS	\$45.06
01 0302	15	BRISTOL HOSE & FITTING	REPAIR PARTS	\$1,146.15
01 0302	15	CARQUEST AUTO PARTS	REPAIR PARTS	\$767.85
01 0302	15	CHICAGO PARTS & SOUND LLC	BRAKE LINING	\$143.92
01 0302	15	FEDERAL SIGNAL CORP.	STOCK REPAIR PARTS	\$113.18
01 0302	15	FIRESTONE TRUCK & SERVICE CENTER	VEHICLE TIRES	\$809.86
01 0302	15	GLOBAL EMERGENCY PRODUCTS	REPAIR PARTS	\$62.94
01 0302	15	LEACH ENTERPRISES INC	REPAIR PARTS	\$81.28
01 0302	15	MCMASTER CARR SUPPLY CO	REPAIR PARTS	\$176.37
01 0302	15	MENARDS - HNVR PARK	VARIOUS SUPPLIES	\$19.96
01 0302	15	O'REILLY AUTO PARTS	REPAIR PARTS	\$3.49
01 0302	15	O'REILLY AUTO PARTS	RETURN REPAIR PARTS	(\$19.92)
01 0302	15	RUSH TRUCK CENTER OF ILLINOIS, INC	REPAIR PARTS	\$155.49
01 0303	15	XEROX CORP.	STAPLES & CARTRIDGE SUPPL	\$163.00
01 1222	15	AFLAC	DED:1027 AFLAC-INS	\$4,315.50
01 1223	15	AFLAC	DED:2027 AFL-AF TAX	\$797.78
01 1432	15	CARUSO DEVELOPMENT CORPORATION	REFUND PROJECT GUARANTEE	\$39,857.00
01 1445	15	JIM ESTRADA	OVER PYMT CITATION RFD	\$5.00
01 1445	15	PATRICIA ASSOCIATES INC.	RFD BACKFLOW 5790 PROVIDE	\$45.00
01 1466	15	SCHOOL DISTRICT U-46	PAYOUT RECAP ORD	\$347.33
01 1466.15	15	SCHOOL DISTRICT #15	CASH DONATIONS CONSTRUCTI	\$22,515.07
01 1466.211	15	TOWNSHIP H.S.DISTRICT 211	CASH DONATIONS	\$9,789.17
01 1476.15	15	SCHOOL DISTRICT #15	PAYOUT LAND CONTIBUTIONS	\$121,401.42
01 1476.211	15	TOWNSHIP H.S.DISTRICT 211	PAYOUT LAND CONTRIBUTIONS	\$56,831.74
<b>TOTAL GENERAL ASSETS &amp; LIABILITIES</b>				<b>\$259,698.85</b>
01000011 3202	15	INCONTRO A TAVOLA	HANGE IN LICENSE RFD	\$20.00
01000011 3202	15	JENNIE & VERA'S COOKIES INC	CHANGE IN LICENSE RFD	\$20.00
01000011 3202	15	PURPLE ZONE CONSTRUCTION	OVER PYMT BUS LICENSE	\$15.00
01000011 3202	15	VILLEGAS LANDSCAPING	REFUND OF LICENSE FEE	\$40.00
01000011 3202	15	ZAZA'S TAVOLA ITALIANA	HANGE IN LICENSE RFD	\$20.00
01000011 3203	15	ILLINOIS STATE POLICE	LIQUOR CONTROL # 4365	\$30.10
01000013 3411	15	ALDI INC	REFUND FALSE ALARM	\$100.00
01000013 3411	15	GOODWILL RETAIL SERVICES INC.	FALSE ALARM REFUNDS	\$200.00
<b>TOTAL GENERAL REVENUE ACCOUNTS</b>				<b>\$445.10</b>
01101123 4402	15	WAREHOUSE DIRECT	OFFICE SUPPLIES	\$16.65
01101123 4404	15	DAILY HERALD	SERVICE 8/30/15-8/27/16	\$190.80
01101123 4414	15	SUPERIOR NUT & CANDY	PARADE CANDY	\$793.78
<b>TOTAL LEGISLATIVE</b>				<b>\$1,001.23</b>
01101223 4402	15	WAREHOUSE DIRECT	OFFICE SUPPLIES	\$19.40

# VILLAGE OF HOFFMAN ESTATES

October 5, 2015

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
<b>TOTAL ADMINISTRATIVE</b>				<b>\$19.40</b>
01101324 4547	15	THOMSON REUTERS-WEST	WEST INFORMATION CHARGE	\$973.16
01101324 4567	15	CHERYL AXLEY	HEARING ADJUDICATION	\$700.00
01101324 4567	15	RICHARD A KAVITT ATTORNEY AT LAW	LEGAL ADMIN SERVICES	\$1,800.00
<b>TOTAL LEGAL</b>				<b>\$3,473.16</b>
01101422 4301	15	MUSIALA RACHEL	TRAVEL TO SPRINGFIELD IGF	\$239.20
01101423 4401	15	FEDERAL EXPRESS CORP	SHIPPING	\$25.57
01101423 4402	15	WAREHOUSE DIRECT	OFFICE SUPPLIES	\$5.98
01101423 4403	15	DEDICATED GRAPHICS, INC	1,000 REAL ESTATE TRANSFE	\$277.62
01101423 4403	15	OFFICE DEPOT	OFFICE SUPPLIES	\$224.85
01101423 4403	15	WAREHOUSE DIRECT	BINDERS	\$1,168.26
<b>TOTAL FINANCE</b>				<b>\$1,941.48</b>
01101523 4403	15	HASCO TAG COMPANY	PET TAGS	\$241.01
01101523 4404	15	DAILY HERALD	SERVICE 7/19/15-07/16/16	\$189.80
01101524 4548	15	ARC DOCUMENT SOLUTIONS	DOCUMENT FOLDING SCAN/PRI	\$111.15
<b>TOTAL VILLAGE CLERK</b>				<b>\$541.96</b>
<b>GENERAL GOVERNMENT</b>				<b>\$6,977.23</b>
01201223 4417	15	MCDONALDS BEAR ESTATES #1, LLC	INMATE MEALS	\$221.61
01201223 4422	15	CAMIC JOHNSON	LEGAL ADMIN SERVICES	\$350.00
01201223 4422	15	CLASS PRINTING	LIABLE FINDING, SEIZURE,	\$549.00
01201224 4507	15	CHERYL AXLEY	SEP 15 LEGAL ADMIN SERVIC	\$900.00
01201224 4510	15	LEAF	COPYSTAR COPIER SYSTEM	\$301.49
<b>TOTAL ADMINISTRATIVE</b>				<b>\$2,322.10</b>
01202122 4301	15	NORTH EAST MULTI-REGIONAL TRAINING	ARREST, SEIZURE UPDATE SER	\$50.00
01202122 4301	15	NORTH EAST MULTI-REGIONAL TRAINING	FIELD TRAINING	\$255.00
01202123 4408	15	B.S. KAMENEAR	CASE OF GIBBS PRICING	\$120.00
<b>TOTAL PATROL &amp; RESPONSE</b>				<b>\$425.00</b>
01202224 4542	15	AMERICAN TRAFFIC SOLUTIONS	RED LIGHT CAMERA	\$40,260.69
<b>TOTAL TRAFFIC CONTROL</b>				<b>\$40,260.69</b>
01202324 4509	15	WAREHOUSE DIRECT	OFFICE SUPPLIES	\$677.40
<b>TOTAL INVESTIGATIONS</b>				<b>\$677.40</b>
01202624 4507	15	GOLF ROSE ANIMAL HOSPITAL	CANINE CARE	\$217.23
<b>TOTAL CANINE</b>				<b>\$217.23</b>
01202922 4304	15	J.G. UNIFORMS, INC.	UNIFORM	\$162.00
<b>TOTAL ADMINISTRATIVE SERVICES</b>				<b>\$162.00</b>
<b>POLICE</b>				<b>\$44,064.42</b>
01301223 4414	15	LOCAL 2061	REIM FOR WATER REHAB	\$47.84
<b>TOTAL ADMINISTRATIVE</b>				<b>\$47.84</b>
01303023 4403	15	CAD TECH	FIRE ACADEMY WEAR	\$373.50
01303023 4414	15	RDJ SPECIALTIES, INC.	BADGE STICKERS	\$623.31
<b>TOTAL PUBLIC EDUCATION</b>				<b>\$996.81</b>
01303122 4301.19	15	ROMEVILLE FIRE ACADEMY	TRAINING	\$1,150.00
01303122 4304	15	MUNICIPAL EMERGENCY SERVICES	GLOBE G XTREME COAT	\$1,357.00
01303122 4304.16	15	MUNICIPAL EMERGENCY SERVICES	SAFETY WEAR	\$22,494.00

# VILLAGE OF HOFFMAN ESTATES

October 5, 2015

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
01303123 4414.19	15	MICHAEL BUCKEL	REIM FOR SUPPLIES	\$161.22
01303124 4510.13	15	AIR ONE EQUIPMENT INC	REPAIR PARTS	\$874.60
01303124 4510.13	15	AIR ONE EQUIPMENT INC	VARIOUS SUPPLIES	\$180.00
01303124 4515.10	15	ERLA INC	EMERGENCY VEHICLE REPAIRS	\$1,565.51
01303124 4542	15	LEAF	COPIER LEASING	\$229.97
01303124 4542	15	WAREHOUSE DIRECT	OFFICE SUPPLIES	\$565.00
<b>TOTAL SUPPRESSION</b>				<b>\$28,577.30</b>
01303222 4301	15	NORTHWEST COMMUNITY HEALTHCARE	INSTRUCTOR RENEWAL	\$100.00
01303224 4510	15	ERLA INC	EMERGENCY VEHICLE REPAIRS	\$1,565.51
<b>TOTAL EMERGENCY MEDICAL SERVICES</b>				<b>\$1,665.51</b>
01303324 4507	15	AT & T	LANDLINES	\$94.89
01303324 4507	15	FIRE SAFETY CONSULTANTS INC	SPRINKLER SYSTEM REVIEW	\$1,110.00
<b>TOTAL PREVENTION</b>				<b>\$1,204.89</b>
<b>FIRE</b>				<b>\$32,492.35</b>
01404122 4301	15	MCHENRY COUNTY	8 EMPLOYEES MCHENRY CO	\$200.00
01404123 4408	15	MENARDS - HNVR PARK	REPAIR PARTS	\$69.96
<b>TOTAL SNOW &amp; ICE REMOVAL</b>				<b>\$269.96</b>
01404224 4521	15	HEALY ASPHALT CO., LLC.	SURFACE	\$492.37
01404224 4521	15	HEALY ASPHALT CO., LLC.	SURFACE MATERIALS	\$368.35
01404224 4521	15	UNIQUE PAVING MATERIALS	VARIOUS SUPPLIES	\$60.64
<b>TOTAL PAVEMENT MAINTENANCE</b>				<b>\$921.36</b>
01404323 4408	15	A.M. LEONARD, INC.	VERIOUS SUPPLIES	\$156.29
01404323 4414	15	MENARDS - HNVR PARK	VARIOUS SUPPLIES	\$45.21
01404324 4507	15	SPRING-GREEN LAWN-TREE CARE	LANDSCAPING SERVICES	\$3,590.75
01404324 4507	15	TNT LANDSCAPE CONSTRUCTION	STUMP RESTORATION	\$5,930.23
01404324 4537	15	MIDWEST INTERGRATED COMPANIES LLC	MULCH	\$780.00
01404325 4628	15	PULLTARPS	FREIGHT CHARGES TO BE ADD	\$124.32
01404325 4628	15	PULLTARPS	UNIVERSAL SUPER SHIELD PU	\$1,235.10
<b>TOTAL FORESTRY</b>				<b>\$11,861.90</b>
01404423 4412	15	CASE LOTS	2PLY TOILET PAPER AE4G	\$289.50
01404423 4412	15	CASE LOTS	33X39 HD LINERS I331	\$343.50
01404423 4412	15	CASE LOTS	40X46 BLACK LINERS I4013	\$189.00
01404423 4412	15	CASE LOTS	6 INCH STYROFOAM PLATE PL	\$113.70
01404423 4412	15	CASE LOTS	ANTIBAC FOAM SOAP 3/120ML	\$344.00
01404423 4412	15	CASE LOTS	BROWN MULTIFOLD TOWEL A58	\$320.00
01404423 4412	15	CASE LOTS	BROWN ROLL TOWEL 6/800/ C	\$336.75
01404423 4412	15	CASE LOTS	C-LINK MW KNIVES 1000/CS	\$39.60
01404423 4412	15	CASE LOTS	KITCHEN ROLL TOWEL A2	\$230.00
01404423 4412	15	CASE LOTS	PROSOURCE M/W FORKS 1/ M	\$98.00
01404424 4501	15	AT & T	LANDLINE	\$44.13
01404424 4501	15	COMCAST CABLE	INTERNET SERVICES	\$94.11
01404424 4503	15	NICOR GAS	411 W HIGGINS RD	\$2,575.13

# VILLAGE OF HOFFMAN ESTATES

October 5, 2015

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
01404424 4507	15	CERTAPRO PAINTERS	PAINT ENTRANCE DOORS AT H	\$855.00
01404424 4507	15	MC CLOUD SERVICES	INTEGRATED PEST 1900 HASS	\$98.66
01404424 4507	15	MC CLOUD SERVICES	PEST 411 W HIGGINS	\$96.54
01404424 4509	15	CINTAS #22	FLOOR MATS PER WEEK	\$83.52
01404424 4510	15	ADVANTAGE MECHANICAL INC.	INSTALL SUPPLY FAN	\$390.00
01404424 4510	15	ADVANTAGE MECHANICAL INC.	SUCTION DRIER & PIPING	\$1,127.00
01404424 4510	15	ANDERSON LOCK	CYLINDER CHANGE MASTER KE	\$121.32
01404424 4510	15	BATTERIES PLUS	BATTERIES	\$43.20
01404424 4510	15	CHARLES EQUIPMENT ENERGY SYSTEMS	ANNUAL GENERATOR PREVENTA	\$2,750.00
01404424 4510	15	H-O-H WATER TECHNOLOGY INC	30 GALLON DRUM	\$1,181.25
01404424 4510	15	NORTHERN LIGHTS DISPLAY	CUSTOM BANNERS	\$2,249.00
01404424 4510	15	VIAKOO	INTRANSALBRAND SUPPORT	\$293.33
01404424 4510	15	WEBMARC DOORS	DOOR REPAIR	\$846.55
01404424 4516	15	TOTAL FACILITY MAINTENANCE, INC.	VILLAGE HALL - \$2896.00	\$2,840.00
01404424 4517	15	TOTAL FACILITY MAINTENANCE, INC.	POLICE DEPARTMENT - 1071.	\$1,050.00
01404424 4518	15	CHARLES EQUIPMENT ENERGY SYSTEMS	ANNUAL GENERATOR PREVENTA	\$2,036.00
01404424 4518	15	PALATINE HEATING & COOLING	REPAIRS	\$236.97
01404424 4518	15	SUPPLYWORKS	SPRY LUBRICANT INDUSTRIAL	\$161.76
01404424 4518	15	TEMPERATURE EQUIP. CORP.	CARTRIDGE FILTER	\$74.00
01404424 4520	15	TOTAL FACILITY MAINTENANCE, INC.	PUBLIC WORKS CENTER AND V	\$1,300.00
01404424 4542	15	ACTION LOCK & KEY, INC	STEEL DOOR BOLT	\$18.40
01404425 4604	15	OZINGA READY MIX, CONCRETE INC	CONCRETE FOR PWC	\$1,156.00
<b>TOTAL FACILITIES</b>				<b>\$24,025.92</b>
01404522 4304	15	CINTAS #22	UNIFORMS PER WEEK	\$62.50
01404523 4411	15	MANSFIELD OIL COMPANY	FUEL	\$19,077.32
01404523 4414	15	MENARDS - HNVR PARK	VARIOUS SUPPLIES	\$17.58
01404523 4414	15	MYERS TIRE SUPPLY	REPAIR PARTS	\$335.23
01404523 4414	15	O'REILLY AUTO PARTS	REPAIR PARTS	\$15.98
01404524 4513	15	BOB ROHRMAN'S SCHAUMBURG FORD	REPAIR PARTS	\$114.09
01404524 4513	15	CARQUEST AUTO PARTS	REPAIR PARTS	\$20.69
01404524 4513	15	FIRESTONE TRUCK & SERVICE CENTER	VEHICLE ALIGNMENT	\$55.00
01404524 4513	15	MORTON GROVE AUTOMOTIVE WEST	REPAIR PARTS	\$135.00
01404524 4513	15	O'REILLY AUTO PARTS	RETURN REPAIR PARTS	(\$48.44)
01404524 4514	15	CARQUEST AUTO PARTS	REPAIR PARTS	\$33.00
01404524 4514	15	FERRARA FIRE APPARATUS INC.	REPAIR PARTS	\$112.60
01404524 4514	15	FOSTER COACH SALES INC	EXHAUST FAN	\$35.29
01404524 4514	15	FOSTER COACH SALES INC	WHELEN COMP LIGHTS	\$124.88
01404524 4514	15	GLOBAL EMERGENCY PRODUCTS	REPAIR PARTS	\$46.52
01404524 4514	15	GRAINGER INC	VARIOUS SUPPLIES	\$147.66
01404524 4514	15	INTERSTATE BATTERY SYSTEMS	VEHICLE BATTERIES	\$309.00
01404524 4514	15	MENARDS - HNVR PARK	VARIOUS SUPPLIES	\$60.22
01404524 4514	15	O'REILLY AUTO PARTS	RETURN REPAIR PARTS	(\$116.81)
01404524 4514	15	RUSH TRUCK CENTER OF ILLINOIS, INC	VEHICLE REPAIRS	\$637.14



# VILLAGE OF HOFFMAN ESTATES

October 5, 2015

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
01404524 4534	15	ACME TRUCK BRAKE & SUPPLY CO.	REPAIR PARTS	\$359.86
01404524 4534	15	CARQUEST AUTO PARTS	REPAIR PARTS	\$107.08
01404524 4534	15	CASEY EQUIPMENT	REPAIR PARTS	\$1,202.21
01404524 4534	15	FIRESTONE TRUCK & SERVICE CENTER	VEHICLE TIRES	\$270.64
01404524 4534	15	INTERSTATE BATTERY SYSTEMS	VEHICLE BATTERIES	\$206.00
01404524 4534	15	LEACH ENTERPRISES INC	REPAIR PARTS	\$121.93
01404524 4534	15	MCALLISTER EQUIPMENT CO.	BULB	\$46.60
01404524 4534	15	MCALLISTER EQUIPMENT CO.	HEADLAMP	\$623.66
01404524 4534	15	O'REILLY AUTO PARTS	REPAIR PARTS	\$172.69
01404524 4534	15	O'REILLY AUTO PARTS	RETURN REPAIR PARTS	(\$202.54)
01404524 4534	15	RUSH TRUCK CENTER OF ILLINOIS, INC	REPAIR PARTS	\$106.57
01404524 4535	15	BOB ROHRMAN'S SCHAUMBURG FORD	REPAIR PARTS	\$53.98
01404524 4535	15	O'REILLY AUTO PARTS	REPAIR PARTS	\$50.11
01404524 4536	15	BOB ROHRMAN'S SCHAUMBURG FORD	REPAIR PARTS	\$92.68
01404524 4536	15	CARQUEST AUTO PARTS	REPAIR PARTS	\$14.99
01404524 4536	15	FIRESTONE TRUCK & SERVICE CENTER	VEHICLE TIRES	\$248.60
01404524 4536	15	O'REILLY AUTO PARTS	REPAIR PARTS	\$66.27
<b>TOTAL FLEET SERVICES</b>				<b>\$24,715.78</b>
01404623 4414	15	O'REILLY AUTO PARTS	REPAIR PARTS	\$24.98
01404624 4509	15	TAYLOR RENTAL	CEMENT MIXER	\$39.60
01404624 4509	15	TAYLOR RENTAL	CONCRETE RENTAL	\$30.80
<b>TOTAL F.A.S.T.</b>				<b>\$95.38</b>
01404823 4414	15	3M HAK0206	MARKETING MATERIAL	\$270.00
01404823 4414	15	3M HAK0206	MARKETING MATERIALS	\$182.40
01404823 4414	15	MENARDS - HNVR PARK	VARIOUS SUPPLIES	\$70.81
01404824 4502	15	COMMONWEALTH EDISON	RED LIGHT CAMERA	\$31.60
01404824 4502	15	COMMONWEALTH EDISON	TRAFFIC SIGNALS	\$227.52
01404824 4502	15	CONSTELLATION NEW ENERGY INC	O SEDGE LITE RT/25	\$7,152.06
01404824 4544	15	3M HAK0206	MARKETING MATERIALS	\$1,431.99
<b>TOTAL TRAFFIC CONTROL</b>				<b>\$9,366.38</b>
<b>PUBLIC WORKS</b>				<b>\$71,256.68</b>
01501223 4402	15	OFFICE DEPOT	OFFICE SUPPLIES	\$133.67
<b>TOTAL ADMINISTRATIVE</b>				<b>\$133.67</b>
01505123 4403	15	B & L BLUEPRINT, INC	COPIES	\$15.00
01505123 4403	15	P F PETTIBONE & CO	CODE ENFORCEMENT TICKETS	\$1,059.45
01505123 4403	15	PLUM GROVE PRINTERS INC	BUSINESS CARDS	\$32.50
01505124 4507	15	ABC HUMANE WILDLIFE CONTROL	HORNET NEST	\$250.00
01505124 4507	15	ABC HUMANE WILDLIFE CONTROL	TREATMENT OF HORNET NEST	\$250.00
01505124 4507	15	ABC HUMANE WILDLIFE CONTROL	TREATMENT VALD HORNET NES	\$250.00
01505124 4507	15	EIS ELEVATOR INSPECTION SERVICES	INSPECTIONS	\$140.00
01505124 4507	15	EIS ELEVATOR INSPECTION SERVICES	RE INSPECTIONS	\$100.00
01505124 4507	15	EIS ELEVATOR INSPECTION SERVICES	RE-INSPECTION 09/16/15	\$360.00
01505124 4507	15	GILIO LANDSCAPE CONTRACTORS	MOWING	\$65.00
<b>TOTAL CODE ENFORCEMENT</b>				<b>\$2,521.95</b>

# VILLAGE OF HOFFMAN ESTATES

October 5, 2015

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
01505222 4301	15	MICHAEL HANKEY	ITE, TRB, IDOT CONF REIM	\$809.83
01505223 4414	15	KARA COMPANY INC	HEAVY FOLDING RULE	\$129.74
01505224 4542	15	303 TAXI/FLASH CAB	COUPON	\$5.00
<b>TOTAL TRANSPORTATION AND ENGINEERING</b>				<b>\$944.57</b>
01505922 4301	15	KEVIN KRAMER	TRAVEL REIM	\$312.00
01505924 4546	15	DUE NORTH CONSULTING	RESOURCE GUIDE	\$250.00
<b>TOTAL ECONOMIC DEVELOPMENT</b>				<b>\$562.00</b>
<b>DEVELOPMENT SERVICES</b>				<b>\$4,162.19</b>
01556523 4402	15	OFFICE DEPOT	OFFICE SUPPLIES	\$172.91
01556523 4413	15	OFFICE DEPOT	OFFICE SUPPLIES	\$125.97
01556523 4413	15	PLUM GROVE PRINTERS INC	BUS FORMS VACCINATION	\$525.04
01556523 4413	15	SANOFI PASTEUR	5 ML VIALS FLUZONE QUADRI	\$2,743.71
01556523 4413	15	SANOFI PASTEUR	FLUZONE HD	\$634.18
<b>HEALTH &amp; HUMAN SERVICES</b>				<b>\$4,201.81</b>
01605824 4555	15	KEN CAMPBELL	SISTER CITIES FOOTBALL EX	\$1,307.50
01605824 4573	15	JOSE VERDUZCO	ENTERTAINMENT HISPANIC HE	\$250.00
01605824 4593	15	NORTHERN LIGHTS DISPLAY	30" X 60" (3 INK)- SCREEN	\$1,043.00
01605824 4593	15	NORTHERN LIGHTS DISPLAY	30" X 8-" (3 INK)- SCREEN	\$2,832.00
01605824 4593	15	NORTHERN LIGHTS DISPLAY	SHIPPING (ALL PER BANNER	\$125.00
01605824 5502	15	DIVINE SIGNS	PRINTING SERVICES	\$181.22
01605824 5502	15	HI FI EVENTS INC	SOUND & LIGHTING SERVICES	\$4,100.00
01605824 5502	15	INDESTRUCTO RENTAL CO., INC.	RENTAL ONE FOOT TENT FOR	\$3,710.00
01605824 5502	15	THE FINER LINE	MASKING FOR ETCHING	\$46.00
<b>TOTAL MISCELLANEOUS B &amp; C</b>				<b>\$13,594.72</b>
<b>BOARDS &amp; COMMISSIONS</b>				<b>\$13,594.72</b>
<b>TOTAL GENERAL FUND</b>				<b>\$436,893.35</b>
03400024 4512	15	MEADE ELECTRIC CO., INC.	TRAFFIC SIGNAL DETECTOR	\$1,125.00
<b>TOTAL MFT FUND</b>				<b>\$1,125.00</b>
04000024 4542	15	NORTH WEST HOUSING PARTNERSHIP	ADMIN SINGLE REHAB Q3	\$23,519.68
<b>TOTAL COMMUNITY DEVELOPMENT BLOCK GRANT FUND</b>				<b>\$23,519.68</b>
08200824 4542	15	INTEGRITY FITNESS	PREVENTATIVE MAINTENANCE	\$220.00
<b>TOTAL FEDERAL ASSET SEIZURE</b>				<b>\$220.00</b>
<b>TOTAL ASSET SEIZURE FUND</b>				<b>\$220.00</b>
29000025 4606	15	ALAMP CONCRETE CONTRACTORS, INC.	SEGMENTAL BLOCK RETAINING	\$817,149.78
29000025 4606	15	APPLIED GEOSCIENCE INC.	ST REVIT TESTING SERVICES	\$16,594.00
<b>TOTAL ROAD IMPROVEMENT FUND</b>				<b>\$833,743.78</b>
40 1445	15	HYDROVISION TECHNOLOGY	METER DEPOSIT,	\$750.00
40 1465	15	PASQUINELLI	PAYOUT RECAPTURE	\$480.17
40 1482	15	RYLAND HOMES	RECAP ORDINANCE 4359	\$1,774.51

# VILLAGE OF HOFFMAN ESTATES

October 5, 2015

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
<b>TOTAL WATER MISCELLANEOUS PAYMENT</b>				<b>\$6,002.68</b>
40400013 3425	15	AFRIM IMERI	RFD OVER PYMT WATER	\$100.83
40400013 3425	15	CORNERSTONE REALTY	WTR BILL RFD 605 MOHAVE	\$34.19
40400013 3425	15	CRAIG CHRISTOFIDIS	REFUND 0106153450-01	\$347.58
40400013 3425	15	DROST, KIVLAHAN, MCMAHON & OCONNOR	OVER PYMT WATER BILL	\$47.03
40400013 3425	15	MANLEY DEAS KOCHALSKI	RFD OVER PYMT WATER	\$50.00
40400013 3425	15	MOHAMMED IQBAL BAGASRAWALA	OVER PYMT WATER BILL	\$30.00
40400013 3425	15	SARAH PARKER	RFD OVER PYMT WATER	\$32.71
40400013 3425	15	STEVE NICHOLAS	OVER PYMT WATER BILL	\$35.20
40400013 3425	15	TANIS GROUP LLC	RFD OVER PYMT WATER	\$18.22
40400013 3425	15	URBAN INVESTMENTS	REFUND UB 0228100350-02	\$47.56
40400013 3425	15	ZELMA CHATMAN	OVER PYMT WATER BILL	\$249.57
<b>TOTAL WATER REFUND</b>				<b>\$902.39</b>
40406723 4403	15	PLUM GROVE PRINTERS INC	BUSINESS CARDS	\$32.50
40406724 4501	15	AT & T	LANDLINE	\$18.91
40406724 4501	15	COMCAST CABLE	INTERNET SERVICES	\$40.32
40406724 4503	15	NICOR GAS	720 CHARLESTON LN	\$90.18
40406724 4507	15	SPRING-GREEN LAWN-TREE CARE	LANDSCAPING SERVICES	\$424.80
40406724 4526	15	MENARDS - HNVR PARK	VARIOUS SUPPLIES	\$47.47
40406724 4529	15	HEALY ASPHALT CO., LLC.	SURFACE MATERIALS	\$169.07
40406724 4531	15	AUTOMATIC CONTROL SERVICES	CALAMP RADIO CONFIGURATIO	\$1,989.00
40406724 4585	15	CARQUEST AUTO PARTS	RTN REPAIR PARTS	(\$446.03)
40406724 4585	15	CHICAGO PARTS & SOUND LLC	REPAIR PARTS	\$175.00
40406724 4585	15	O'REILLY AUTO PARTS	REPAIR PARTS	\$62.99
40406724 4585	15	STANDARD EQUIPMENT CO	EQUIPMENT	\$1,657.48
<b>TOTAL WATER DIVISION</b>				<b>\$4,281.69</b>
40406824 4502	15	CONSTELLATION NEW ENERGY INC	ELECTRIC 5400 W GOLF	\$1,674.60
40406824 4510	15	CHARLES EQUIPMENT ENERGY SYSTEMS	ANNUAL MAINTENANCE PROGRA	\$6,357.00
40406824 4530	15	BEVERLY MATERIALS, L.L.C.	GRAVEL	\$76.60
<b>TOTAL SEWER DIVISION</b>				<b>\$8,108.20</b>
40407023 4414	15	BURROUGHS PAYMENT SYSTEMS INC.	INK FOR CHECK SCANNER	\$56.58
<b>TOTAL BILLING DIVISION</b>				<b>\$56.58</b>
<b>TOTAL WATERWORKS AND SEWERAGE FUND</b>				<b>\$16,424.04</b>
42000025 4613	15	CITY CONSTRUCTION CO INC	SEWER UP GRADES	\$164,503.51
<b>TOTAL STORMWATER MANAGEMENT</b>				<b>\$164,503.51</b>
46 1101	15	STEVEN W ANDERSON	REIM FROM SICK INCENTIVE	\$196.59
<b>TOTAL RISK RETENTION</b>				<b>\$196.59</b>
46700024 4551	15	CANNON COCHRAN MGMT. SERVICES, INC.	CLAIMS & AMIN FEE 4TH QTR	\$3,453.75
46700024 4552	15	DUNDEE COLLISION INC	REPAIR VEHICLE	\$250.09

# VILLAGE OF HOFFMAN ESTATES

October 5, 2015

ACCOUNT	YEAR	VENDOR	DESCRIPTION	AMOUNT
<b>TOTAL RISK RETENTION</b>				<b>\$3,703.84</b>
<b>TOTAL INSURANCE FUND</b>				<b>\$3,900.43</b>
47001223 4402	15	OFFICE DEPOT	OFFICE SUPPLIES	\$55.20
<b>TOTAL ADMINISTRATIVE</b>				<b>\$55.20</b>
47008524 4507	15	CDW-GOVERNMENT INC	FORTINET ADD ON CHARGE ON	\$554.99
47008524 4507	15	CDW-GOVERNMENT INC	FORTINET ONSITE RESOURCE	\$4,699.98
47008524 4510	15	SENTINEL TECHNOLOGIES INC	FATPIPE RENEWAL COOK COUN	\$2,259.00
47008525 4602	15	CDW-GOVERNMENT INC	FORTINET FORTIGATE 300D H	\$6,699.99
47008525 4602	15	CDW-GOVERNMENT INC	FORTINET FORTIGATE 300D W	\$7,599.99
47008525 4602	15	CDW-GOVERNMENT INC	RETURN CISCO CATALYST	(\$49.99)
47008525 4619	15	US DIGITAL DESIGNS	GATEWAY AUDIO SERIAL INTE	\$1,296.00
47008525 4619	15	US DIGITAL DESIGNS	GATEWAY CONFIGURATION & M	\$2,016.00
47008525 4619	15	US DIGITAL DESIGNS	SHIPPING	\$13.00
<b>TOTAL OPERATIONS</b>				<b>\$25,088.96</b>
47008625 4602	15	DELL MARKETING L.P.	DELL MOBILE PRECISION	\$3,491.31
47008625 4602	15	DELL MARKETING L.P.	PNY NVIDIA GEFORCE GT	\$120.12
<b>TOTAL CAPITAL ASSETS</b>				<b>\$3,611.43</b>
<b>TOTAL INFORMATION SYSTEMS FUND</b>				<b>\$28,755.59</b>
50000022 4301	15	DARIN FELGENHAUER	IPPFA PENSION REGISTRATIO	\$450.00
<b>TOTAL POLICE PENSION FUND</b>				<b>\$450.00</b>
51000024 4542	15	MESIROW INSURANCE SERVICES	LIABILITY INSURANCE RENEW	\$5,714.00
<b>TOTAL FIREFIGHTERS PENSION FUND</b>				<b>\$5,714.00</b>
<b>BILL LIST TOTAL</b>				<b>\$1,515,249.38</b>

SUNGARD PUBLIC SECTOR  
 DATE: 10/01/2015  
 TIME: 11:05:16

VILLAGE OF HOFFMAN ESTATES  
 CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 1  
 ACCTPA21

SELECTION CRITERIA: transact.t\_c='20' and transact.ck\_date between '20150918 00:00:00. 0' and '20151001 00:00:00. 0'  
 ACCOUNTING PERIOD: 10/15

FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	BUDGET UNIT	DESCRIPTION	SALES TAX	AMOUNT
0102	96887	09/18/15	9470 EARL J. ROLOFF	40	REPLACE 96511 DOVINGT	0.00	41.66
0102	96888	09/18/15	9888 PURCHASE ADVANTAGE CARD	01101122	VARIOUS SUPPLIES	0.00	86.51
0102	96889	09/18/15	4065 THE HOME DEPOT #1904	01404424	VARIOUS SUPPLIES	0.00	45.99
0102	96889	09/18/15	4065 THE HOME DEPOT #1904	01404424	VARIOUS SUPPLIES	0.00	357.15
0102	96889	09/18/15	4065 THE HOME DEPOT #1904	01404425	VARIOUS SUPPLIES	0.00	232.48
0102	96889	09/18/15	4065 THE HOME DEPOT #1904	01404623	VARIOUS SUPPLIES	0.00	150.58
0102	96889	09/18/15	4065 THE HOME DEPOT #1904	01404823	VARIOUS SUPPLIES	0.00	395.01
0102	96889	09/18/15	4065 THE HOME DEPOT #1904	01404823	VARIOUS SUPPLIES	0.00	86.83
0102	96889	09/18/15	4065 THE HOME DEPOT #1904	01404824	VARIOUS SUPPLIES	0.00	111.92
0102	96889	09/18/15	4065 THE HOME DEPOT #1904	40406724	VARIOUS SUPPLIES	0.00	599.93
0102	96889	09/18/15	4065 THE HOME DEPOT #1904	40406823	VARIOUS SUPPLIES	0.00	80.93
0102	96889	09/18/15	4065 THE HOME DEPOT #1904	40406824	VARIOUS SUPPLIES	0.00	97.88
TOTAL CHECK						0.00	2,158.70
0102	96890	09/18/15	8561 LILLIAN CLINTON	01605824	SENIOR LUNCHEON REIM	0.00	50.14
0102	96891	09/18/15	1231 LILLIAN MOSIER	01605824	REIM SISTER CITY	0.00	37.00
0102	96892	09/21/15	17473 RAJAN BEDI	40400013	REFUND WATER BILL	0.00	171.13
0102	96893	09/25/15	17478 PRIME CONSULTING GROUP L	01	OVER PYMT SOL LICENSE	0.00	25.00
0102	96894	09/28/15	4496 VERIZON WIRELESS	01101124	WIRELESS SERVICES	0.00	785.93
0102	96894	09/28/15	4496 VERIZON WIRELESS	01101224	WIRELESS SERVICES	0.00	190.57
0102	96894	09/28/15	4496 VERIZON WIRELESS	07000024	WIRELESS SERVICES	0.00	2,215.49
0102	96894	09/28/15	4496 VERIZON WIRELESS	01101324	WIRELESS SERVICES	0.00	60.74
0102	96894	09/28/15	4496 VERIZON WIRELESS	01101424	WIRELESS SERVICES	0.00	121.45
0102	96894	09/28/15	4496 VERIZON WIRELESS	01101524	WIRELESS SERVICES	0.00	60.74
0102	96894	09/28/15	4496 VERIZON WIRELESS	01101624	WIRELESS SERVICES	0.00	121.47
0102	96894	09/28/15	4496 VERIZON WIRELESS	01102524	WIRELESS SERVICES	0.00	126.35
0102	96894	09/28/15	4496 VERIZON WIRELESS	01106224	WIRELESS SERVICES	0.00	60.74
0102	96894	09/28/15	4496 VERIZON WIRELESS	01207124	WIRELESS SERVICES	0.00	60.74
0102	96894	09/28/15	4496 VERIZON WIRELESS	01201224	WIRELESS SERVICES	0.00	804.17
0102	96894	09/28/15	4496 VERIZON WIRELESS	01301224	WIRELESS SERVICES	0.00	138.74
0102	96894	09/28/15	4496 VERIZON WIRELESS	01303124	WIRELESS SERVICES	0.00	182.21
0102	96894	09/28/15	4496 VERIZON WIRELESS	01303124	WIRELESS SERVICES	0.00	122.01
0102	96894	09/28/15	4496 VERIZON WIRELESS	01303224	WIRELESS SERVICES	0.00	205.49
0102	96894	09/28/15	4496 VERIZON WIRELESS	01303324	WIRELESS SERVICES	0.00	60.74
0102	96894	09/28/15	4496 VERIZON WIRELESS	01401224	WIRELESS SERVICES	0.00	187.61
0102	96894	09/28/15	4496 VERIZON WIRELESS	01404124	WIRELESS SERVICES	0.00	199.48
0102	96894	09/28/15	4496 VERIZON WIRELESS	01404224	WIRELESS SERVICES	0.00	17.27
0102	96894	09/28/15	4496 VERIZON WIRELESS	01404324	WIRELESS SERVICES	0.00	82.89
0102	96894	09/28/15	4496 VERIZON WIRELESS	01404424	WIRELESS SERVICES	0.00	229.84
0102	96894	09/28/15	4496 VERIZON WIRELESS	01404524	WIRELESS SERVICES	0.00	60.74
0102	96894	09/28/15	4496 VERIZON WIRELESS	01404824	WIRELESS SERVICES	0.00	17.27
0102	96894	09/28/15	4496 VERIZON WIRELESS	01501224	WIRELESS SERVICES	0.00	155.75
0102	96894	09/28/15	4496 VERIZON WIRELESS	01505024	WIRELESS SERVICES	0.00	60.74
0102	96894	09/28/15	4496 VERIZON WIRELESS	01505124	WIRELESS SERVICES	0.00	287.33
0102	96894	09/28/15	4496 VERIZON WIRELESS	01505224	WIRELESS SERVICES	0.00	398.02
0102	96894	09/28/15	4496 VERIZON WIRELESS	01505924	WIRELESS SERVICES	0.00	162.50

SUNGARD PUBLIC SECTOR  
 DATE: 10/01/2015  
 TIME: 11:05:16

VILLAGE OF HOFFMAN ESTATES  
 CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 2  
 ACCTPA21

SELECTION CRITERIA: transact.t\_c='20' and transact.ck\_date between '20150918 00:00:00. 0' and '20151001 00:00:00. 0'  
 ACCOUNTING PERIOD: 10/15

FUND - 01 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	BUDGET UNIT	DESCRIPTION	SALES TAX	AMOUNT
0102	96894	09/28/15 4496	VERIZON WIRELESS	01556524	WIRELESS SERVICES	0.00	121.47
0102	96894	09/28/15 4496	VERIZON WIRELESS	40406724	WIRELESS SERVICES	0.00	808.19
0102	96894	09/28/15 4496	VERIZON WIRELESS	47008524	WIRELESS SERVICES	0.00	82.05
0102	96894	09/28/15 4496	VERIZON WIRELESS	47001224	WIRELESS SERVICES	0.00	618.59
0102	96894	09/28/15 4496	VERIZON WIRELESS	47001224	EQUIPMENT PURCHASE	0.00	399.98
TOTAL CHECK						0.00	9,207.30
0102	96895	09/28/15 12346	SPRINT	40406724	EQUIPMENT PURCHASE	0.00	39.99
0102	96896	09/29/15 11261	WEX BANK	01404523	FUEL CARD	0.00	6.00
0102	96897	09/29/15 17485	ADENA SCIANNA	71000014	TOW FEE REFUND	0.00	500.00
0102	96930	09/30/15 14550	CALL ONE	01404424	LANDLINES	0.00	478.17
0102	96930	09/30/15 14550	CALL ONE	40406724	LANDLINES	0.00	25.86
0102	96930	09/30/15 14550	CALL ONE	01201224	LANDLINES	0.00	25.80
0102	96930	09/30/15 14550	CALL ONE	01556524	LANDLINES	0.00	25.80
0102	96930	09/30/15 14550	CALL ONE	01404424	LANDLINES	0.00	2,746.37
0102	96930	09/30/15 14550	CALL ONE	40406724	LANDLINES	0.00	1,231.59
0102	96930	09/30/15 14550	CALL ONE	40406824	LANDLINES	0.00	28.78
0102	96930	09/30/15 14550	CALL ONE	01303324	LANDLINES	0.00	100.80
TOTAL CHECK						0.00	4,663.17
0102	96931	10/01/15 2226	PETTY CASH	01	PETTY CASH	0.00	300.00
TOTAL CASH ACCOUNT						0.00	17,286.60
TOTAL FUND						0.00	17,286.60
TOTAL REPORT						0.00	17,286.60

ORDINANCE NO. \_\_\_\_\_ - 2015

VILLAGE OF HOFFMAN ESTATES

AN ORDINANCE AUTHORIZING  
AMENDMENTS TO THE 2015 BUDGET ORDINANCE

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hoffman Estates, Cook and Kane Counties, Illinois, as follows:

Section 1: That pursuant to authority granted by the statutes of the State of Illinois, there is hereby an amendment to the budget ordinance in an amount not in excess of the aggregate of additional revenues or fund reserves available to the Village. The sums of money hereinafter itemized for each of the respective corporate objects specified hereby increase or decrease the amounts included in the original budget ordinance, Ordinance No. 4458 dated December 1, 2014. The appropriate sums shall be received from sources other than the tax levy. The respective sums of money, together with the resulting adjustments and changes in the budget are set out in Section 2 of this Ordinance.

Section 2:

		Current Budget	Change	Revised Budget
<u>Revenues</u>				
64000017-3803	Bond Proceeds	0	1,200,000	1,200,000
<u>Expenditures</u>				
64000025-4612	Fire Apparatus	0	1,200,000	1,200,000

Section 3: That the Village Clerk is hereby authorized to publish this ordinance in pamphlet form.

Section 4: That this ordinance shall be in full force and effect immediately from and after its passage and approval.

PASSED THIS \_\_\_\_\_ day of \_\_\_\_\_, 2015

VOTE	AYE	NAY	ABSENT	ABSTAIN
Trustee Karen V. Mills	_____	_____	_____	_____
Trustee Anna Newell	_____	_____	_____	_____
Trustee Gary J. Pilafas	_____	_____	_____	_____
Trustee Gary G. Stanton	_____	_____	_____	_____
Trustee Michael Gaeta	_____	_____	_____	_____
Trustee Gayle Vandenberg	_____	_____	_____	_____
Mayor William D. McLeod	_____	_____	_____	_____

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015

\_\_\_\_\_  
 Village President

ATTEST:

\_\_\_\_\_  
 Village Clerk

Published in pamphlet form this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

**AGENDA**  
**GENERAL ADMINISTRATION & PERSONNEL COMMITTEE**  
**VILLAGE OF HOFFMAN ESTATES**  
**October 12, 2015**

**DRAFT**

**7:00 p.m. – Board Room**

---

**Members: Gayle Vandenberg, Chairman**  
**Gary Stanton, Vice-Chairman**  
**Karen Mills, Trustee**  
**Anna Newell, Trustee**  
**Gary Pilafas, Trustee**  
**Michael Gaeta, Trustee**  
**Mayor William McLeod**

**I. Roll Call**

**II. Approval of Minutes – September 21, 2015**

**OLD BUSINESS**

1. Discussion regarding sale of packaged liquor at gas stations.

**NEW BUSINESS**

1. Discussion regarding Village Clerk compensation.
2. Request acceptance of Cable TV Monthly Report.
3. Request acceptance of Human Resources Management Monthly Report.

**III. President's Report**

**IV. Other**

**V. Items in Review**

**VI. Adjournment**

*The Village of Hoffman Estates complies with the Americans with Disabilities Act (ADA). For accessibility assistance, call the ADA Coordinator at 847/882-9100.*



**AGENDA**  
**TRANSPORTATION AND ROAD IMPROVEMENT COMMITTEE**  
**Village of Hoffman Estates**  
**October 12, 2015**

**DRAFT**

**Immediately Following General Administration and Personnel**

<b>Members:</b>	<b>Gary Stanton, Chairperson</b>	<b>Anna Newell, Trustee</b>
	<b>Karen Mills, Vice Chairperson</b>	<b>Gary Pilafas, Trustee</b>
	<b>Gayle Vandenberg, Trustee</b>	<b>Michael Gaeta, Trustee</b>
		<b>William McLeod, Mayor</b>

**I. Roll Call**

**II. Approval of Minutes – September 21, 2015**  
September 28, 2015 (Special Meeting)

**NEW BUSINESS**

1. Request approval of Supplement #2 to the design engineering services contract with Civiltech Engineering, Inc. of Itasca, Illinois for the Shoe Factory Road project.  
(*Tentative*)
2. Request acceptance of Transportation Division Monthly Report.

**III. President's Report**

**IV. Other**

**V. Items in Review**

1. Status of Transit Improvement Task Force recommendations.

**VI. Adjournment**

**AGENDA  
PLANNING, BUILDING AND ZONING COMMITTEE  
Village of Hoffman Estates  
October 12, 2015**

**Immediately Following the Transportation & Road Improvement Committee**

**Members:**     **Karen Mills, Chairperson**                             **Anna Newell, Trustee**  
                  **Gayle Vandenberg, Vice Chairperson**             **Gary Pilafas, Trustee**  
                  **Gary Stanton, Trustee**                                 **Michael Gaeta, Trustee**  
  **William McLeod, Mayor**

**I. Roll Call**

**II. Approval of Minutes - September 21, 2015**

**NEW BUSINESS**

1. Request approval of amendments to Chapter 11 of the Municipal Code regarding plumbing requirements.
2. Request acceptance of Department of Development Services monthly report for Planning Division.
3. Request acceptance of Department of Development Services monthly report for Code Enforcement Division.
4. Request acceptance of Department of Development Services monthly report for Economic Development and Tourism.

**III. President's Report**

**IV. Other**

**V. Items in Review**

**VI. Adjournment**



Shaw Fishman Glantz & Towbin LLC

October 1, 2015

Mayor William D. McLeod and  
Members of the Board of Trustees  
Village of Hoffman Estates  
1900 Hassell Road  
Hoffman Estates, IL 60169

Re: Duluth Trading Company  
Plan Commission Recommendation  
of September 30, 2015

Dear Mayor McLeod and Trustees;

The undersigned represents Baum Revision LLC, Applicant in the above referenced matter, which is currently on the agenda for your consideration at the Village Board meeting to be held on October 5, 2015.

At this time, the Applicant has encountered substantial cost issues relating to the project site development and, therefore, respectfully requests that the Board defer any action on this matter until its regularly scheduled meeting to be held on October 19, 2015. The Applicant anticipates that it will be in a position to proceed on that date.

Thank you for your consideration.

Very truly yours,

A handwritten signature in blue ink, appearing to read 'D. Shaw', with a long horizontal flourish extending to the right.

David L. Shaw

cc: Pete Gugliotta  
Jim Donahue  
Kevin Kramer  
Mark Koplin  
Scott Goldman  
Lee Winter



VILLAGE OF HOFFMAN ESTATES  
PLANNING AND ZONING COMMISSION  
**FINDING OF FACT**

PROJECT NO.: 2014040P

VILLAGE BOARD MEETING DATE: October 5, 2015

PETITIONER(S): UNBEL LLC (owner) and Baum Revision LLC (Contract Purchaser)

PROJECT ADDRESS: NEC of Hoffman Blvd. & Pratum Ave.

ZONING DISTRICT: B3 – Business District

Does the Planning and Zoning Commission find that this request meets the Standards for a Master Sign Plan (Section 9-3-8-M-13)?

YES       NO

Recommendation: **APPROVAL (All Motions)**

Vote: **9 Ayes, 2 Absent (All Motions)**

PZC MEETING DATE: September 30, 2015

STAFF ASSIGNED: JAMES DONAHUE

**MOTION #1**

Approval of a request by UNBEL LLC (owner) and Baum Revision LLC (Contract Purchaser) of a Preliminary and Final Plat of Subdivision of Lot 4A5D1 in Prairie Stone – Duluth Trading Company Subdivision located at the northeast corner of Hoffman Blvd. & Pratum Ave., subject to the following conditions:

1. The plat of resubdivision shall be recorded within 90 days of Village Board approval.
2. The plat shall be signed by the current legal owners of the property, subject to verification by the Village's Corporation Counsel, prior to recording.
3. As described in the Declaration of Easements and Restrictive Covenants for the property; maintenance for the all access drives and common areas that are part of Duluth Trading Company Subdivision shall be the responsibility of the owners of Lots 4A5D1A and 4A5D1B. The approval is contingent on the Declaration of Easements and Restrictive Covenants remaining in place in perpetuity.

**MOTION #2**

Approval of a request by UNBEL LLC (owner) and Baum Revision LLC (Contract Purchaser) of a Preliminary and Final Site Plan for a Duluth Trading Company retail store on the newly proposed Lot 4A5D1 in Duluth Trading Company Subdivision located at the northeast corner of Hoffman Blvd. & Pratum Ave. subject to the following conditions:

1. The following exceptions/waivers are granted:
  - a. A waiver from *Section 10-4-4 B.* to allow a 0' landscape setback instead of the required 20' setback on the north property line that abut proposed Lot 4A5D1A.
  - b. A waiver from *Section 10-4-4 D.* to not provide foundation landscape on the east and west sides of the building.

2. A building permit shall be obtained within nine months of Village Board action on the request.
3. The petitioner acknowledges that an impact fee will be due in accordance with the Village's Road Improvement Impact Fee Program. The fee is due prior to any certificate of occupancy being issued for the building. The petitioner may opt to do a post occupancy study to determine the fee based on actual traffic counts.
4. No formal Site Plan approvals are granted for Lot 4A5D1A. At time of development of said lot, the lot shall meet all village codes and access shall be limited the full access as shown.
5. At such time as the adjacent lot to the north is developed, if the proposed layout of that site requires changes to the shared access to reduce traffic conflicts; the petitioner agrees to make changes to the site configuration on Lot 4A5D1B as required by the Village to facilitate better development of the adjacent lot.

### **MOTION #3**

**Approval of a request by UNBEL LLC (owner) and Baum Revision LLC (Contract Purchaser) of a Master Sign Plan dated 9/30/15 for the property located at the northeast corner of Hoffman Blvd. & Pratum Ave.**

### **FINDING**

The property, known as Parcel 16 in the Prairie Stone Business Park, is located on the northeast corner of Pratum Avenue and Hoffman Boulevard. The site received final site plan approval for two restaurant buildings and four building pads for future restaurants in 2008. The site was mass graded, but for various reasons, including the economic downturn, the project was never built.

The petitioner is proposing to resubdivide the property into 2 lots and an outlot and build a Duluth Trading Company retail store on the southern lot. The remaining parcel would be available for a complimentary use like a restaurant. The 14,500 square foot Duluth Trading Company retail store would sit on the hard corner of Pratum Ave & Hoffman Blvd. The petitioner explained that Duluth Trading Company was founded in 1989 and is headquartered in Belleville, Wisconsin. They design and sell work wear and clothing. The company sells its products primarily through its catalogs, website, and stores, and it currently has store locations in Belleville, Mount Horeb, and Port Washington, Wisconsin and in Bloomington, Fridley and Duluth, Minnesota

The site plans shows a retail building located on the hard corner of the southern lot with access via both Hoffman Boulevard and Pratum Avenue, with the Hoffman Boulevard access being right-in-right-out only. The petitioner is proposing 124 parking spaces, which is greater than the recommended 58 spaces for a retail building of this size. Due to the expected drawing power of the store, the petitioner is proposing the additional spaces to ensure the expected parking is contained on site.

The building is planned to look like an old machine shed and is proposed to be red in color and constructed of cement fiberboard with a metal roof. A 4' tall stone veneer is proposed on the base of all elevations. Cloth awnings are proposed on the front (south) elevation. Downcast angled lighting is proposed on over the awnings. Due to the unique architecture of the building, the HVAC units will on the ground and screened within a masonry screened area on the north side of the building.

In order to accomplish the proposed plan, the petitioner is asking for waivers from the Subdivision Code for the landscape setbacks. These seemed reasonable to accommodate the plan and should not negatively impact the development.

The petitioner presented a Master Sign Plan for consideration, which includes monument signs and wall signage for the Duluth Trading site. The Commission considered the standards for a Master Sign Plan listed in Section 9-3-8.M.13 and listed below and found the standards were met.

The Zoning Code lists the goals that a Master Sign Plan should achieve as follows:

- Result in architecture and graphics of a scale appropriate for the subject development and the surrounding area;
- Provide signage consistent with the site plan and architecture of the project;
- Avoid visual clutter;
- Allow visitors, employees, and consumers to readily identify the business entrances, while addressing the community's need for attractive, unobtrusive architecture and commercial graphics; and
- Result in a unified theme of signage for the project.

The Commission questions were geared to signage, hours of operation, snow removal, recycling efforts and the construction timeline. The petitioner answered the Commission's questions satisfactorily.

#### AUDIENCE COMMENTS

None.

#### PLANNING AND ZONING COMMISSIONERS

Chairperson Eva Combs	Thomas Krettler
Vice-Chairman Steve Caramelli	Greg Ring
Sharron Boxenbaum	Nancy Trieb
Lenard Henderson	Steve Wehofer
Myrene Iozzo	Denise Wilson
Diane Lawrence	

#### ROLL CALL VOTE (All Motions)

9 Ayes  
2 Absent (Boxenbaum, Wehofer)

#### **MOTIONS PASSED**

The following attachments are hereby incorporated as part of this Finding of Fact:

Project Narrative  
Applications  
Engineering Plans  
Landscape Plan  
Preliminary & Final Plat  
Master Sign Plan



# VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT NO.: 2014040P

PROJECT NAME: DULUTH TRADING COMPANY

PROJECT ADDRESS/LOCATION: NORTHEAST CORNER HOFFMAN BLVD & PRATUM AVE

PUBLIC HEARING  YES  NO

REZONING  MASTER SIGN PLAN  SPECIAL USE  VARIATION

PRELIMINARY & FINAL SITE PLAN  PRELIMINARY & FINAL PLAT

MEETING DATE: SEPTEMBER 30, 2015

STAFF ASSIGNED: JIM DONAHUE

## REQUESTED MOTIONS

- A. Approval of a request by UNBEL LLC (owner) and Baum Revision LLC (Contract Purchaser) for a preliminary and final plat of resubdivision of Lot 4A5D1 in Prairie Stone – Duluth Trading Company Subdivision located at the northeast corner of Hoffman Blvd. & Pratum Ave.
- B. Approval of a request by UNBEL LLC (owner) and Baum Revision LLC (Contract Purchaser) for preliminary and final site plan for Duluth Trading Company retail store on the newly proposed Lot 4A5D1 in Duluth Trading Company Subdivision located at the northeast corner of Hoffman Blvd. & Pratum Ave.
- C. Approval of a request by UNBEL LLC (owner) and Baum Revision LLC (Contract Purchaser) for a Master Sign Plan dated 9/30/15 for the property located at the northeast corner of Hoffman Blvd. & Pratum Ave.

INCLUDES RECOMMENDED CONDITIONS

YES  NO

ACRES: 6.9 (APPROXIMATE)	ZONING DISTRICT: B-3, Business District
ADJACENT PROPERTIES:	NORTH: Saddle Room, Zoned B-3 EAST: Central Wetlands, Zoned B-3 SOUTH: Jane Addams Tollway (I-90) WEST: Sears Centre Arena, Zoned B-3

## BACKGROUND

The property, known as Parcel 16 in the Prairie Stone Business Park, is located on the northeast corner of Pratum Avenue and Hoffman Boulevard. The site received final site plan approval for two restaurant buildings and four building pads for future restaurants in 2008. The site was mass graded, but for various reasons, including the economic downturn, the project was never built.

Meeting Date: September 30, 2015

Since the establishment of the Poplar Creek at 59/90 Entertainment District within Prairie Stone Business Park, the Village has been looking for uses that will draw people to the area especially restaurant, retail and entertainment uses. This use fits perfectly within that vision.

## **PROPOSAL**

The petitioner is proposing to resubdivide the property into 2 lots and an outlot and build a Duluth Trading Company retail on the southern lot. The remaining parcel would be available for a complimentary use like a restaurant.

The approximately 14,500 square foot Duluth Trading Company retail store would sit on the hard corner of Pratum Ave & Hoffman Blvd. Duluth Trading Company was founded in 1989 and is headquartered in Belleville, Wisconsin. They design and sell work wear and clothing. The company sells its products primarily through its catalogs, website, and stores, and it currently has store locations in Belleville, Mount Horeb, and Port Washington, Wisconsin and in Bloomington, Fridley and Duluth, Minnesota.

## **PRELIMINARY AND FINAL PLAT OF RESUBDIVISION**

The existing property was created as part of a resubdivision done in 1996. The petitioner is proposing to resubdivide the property into two new lots and an outlot to accommodate their proposal. Lot 4A5D1B which will be the site of the proposed Duluth Trading Company store would be approximately 2.6 acres. Lot 4A5D1A would be approximately 3.1 acres and would be available for another use at a future date like a restaurant. Outlot A is unbuildable and would be approximately 1.2 acres.

Blanket cross access easements are proposed on the plat as well as easements for the new water main are included as part of the plat. The cross access is noted on the plat and further defined in the Declaration of Easements and Restrictive Covenants. A condition of approval for the plat is included requiring that this document remain in place to ensure the site functions as cohesive center.

## **PRELIMINARY AND FINAL SITE PLAN**

### ***Site Access and Circulation***

The overall site is situated on the hard corner of Pratum Avenue and Hoffman Blvd. Currently access to the site via Hoffman Boulevard and Pratum Avenue would be limited to a right-in-right-outs. A median break on Pratum Avenue for full access to the site is proposed as part of the plans and access via Hoffman Boulevard would be right-in-right-out due to site line issues.

The configuration of the building on the lot in relation to the remaining parcel has the potential to create traffic issues once the adjacent lot is developed. The proposed site layout by Duluth Trading Company has the service area and delivery area at the back of the store adjacent to the shared access aisle. Depending on how the adjacent parcel develops, there may be conflicts with delivery vehicles and users of that parcel. As currently designed, there shouldn't be any issues; but a condition of approval has been added requiring Duluth Trading Company to make changes to the site configuration as required by the Village to facilitate better development of the adjacent lot.



Additionally, as part of the overall site design, a 10 foot wide path along both Hoffman Boulevard and Pratum Avenue as part of the Village's bike plan linkage to the proposed bile path under I-90 via the CN railroad right of way.

### ***Engineering – Subdivision Code Section 10-3***

Existing utilities are located nearby and are being extended to serve the site. The Engineering Division has reviewed the proposal and found it meets code.

Stormwater detention for the site was already accounted for when the Prairie Stone Business Park was developed, but with recent changes to MWRD code; the petitioner is being required to incorporate Best Management Practices (BMPs) into the site design to improve stormwater quality. This being accomplished through the use of a bio retention area immediately adjacent to the site on Outlot A to help filter the stormwater before it enters the storm system via the adjacent wetlands.

### ***Landscaping – Subdivision Code Section 10-4***

The proposed landscape plan incorporates a variety of trees, shrubs and perennials into the site design. The site meets all required landscaping requirements except for the setback on the north side.

The petitioner is requesting a reduced landscape setback for the north property line. Due to the site configuration relative to odd shape of the existing lot, a shared full access is proposed off Pratum Avenue. The petitioner is proposing a 0' landscape setback on the north side of their lot instead of the required 20'. This reduced setback request has been recommended as a condition of approval.

In addition to the setback waiver above, the following landscape waiver is requested:

- 1) A waiver from *Section 10-4-4 D.* to not provide foundation landscape on the east and west sides of the building. This areas are designed as sidewalks to convey pedestrians to the singular entrance facing Hoffman Boulevard.

### ***Building Design – Subdivision Code Section 10-5-3-H***

The building is planned to look like an old machine shed and is proposed to be red in color and constructed of cement fiberboard with a metal roof. A 4' tall stone veneer is proposed on the base of all elevations. Cloth awnings are proposed on the front (south) elevation. Downcast angled lighting is proposed on over the awnings. Due to the unique architecture of the building, the HVAC units will on the ground and screened within a masonry screened area on the north side of the building. The materials and architectural design meets the requirements of the Subdivision Code.

### ***Exterior Lighting – Subdivision Code Section 10-5-3-G***

The parking lot lighting meets the standards set forth in Section 10-5-3-G of the Subdivision Code. Lighting is designed to adequately illuminate the site and light fixtures are downcast to prevent glare onto adjacent roadways and properties.

### ***Parking Analysis – Subdivision Code Section 10-5-2***

Typically a retail facility is recommended to be parked at a ratio of 4 spaces per 1000 square feet of building area. For this sized store that would equate to approximately 58 spaces. The petitioner is proposing 124 parking spaces. Due to the expected drawing power of the store, the petitioner is proposing the additional spaces to ensure the expected parking is contained on site.

The Village's Traffic Division has reviewed the parking and see any issues with including the additional spaces.

### **MASTER SIGN PLAN**

#### ***Master Sign Plan Standards***

Section 9-3-8-M-12 of the Zoning Code requires that in instances where the Zoning Code cannot be strictly followed, that the owner may propose a Master Sign Plan to accommodate the signs on the property and to set standards and restrictions on the signs. The Village requires a Master Sign Plan in lieu of sign variations except where a Master Sign Plan is not feasible or warranted (for a very minor request where a variation is deemed acceptable to request). The Zoning Code lists the goals that a Master Sign Plan should achieve as follows:

- Result in architecture and graphics of a scale appropriate for the subject development and the surrounding area;
- Provide signage consistent with the site plan and architecture of the project;
- Avoid visual clutter;
- Allow visitors, employees, and consumers to readily identify the business entrances, while addressing the community's need for attractive, unobtrusive architecture and commercial graphics; and
- Result in a unified theme of signage for the project.

Petitioners are encouraged to take a comprehensive approach to each master sign plan proposal because the plan will provide guidelines for signs that are desired both today, and into the future. The Plan functions as a "mini-sign code" for the property.

The creation of a Master Sign Plan involves merging and considering several perspectives, including:

- Current Code requirements.
- Prior variation history on the subject property, as well as similar properties.
- Existing signage on the property.
- Specific current signage requests by the property owner.
- Likely possible signage requests in the future (consider the type use of the property and its location).
- Unique characteristics of the subject property.

### **MASTER SIGN PLAN DESCRIPTION**

The petitioner is requesting approval of a Master Sign Plan to accommodate wall signs on the north elevation of the building as well a new ground sign and miscellaneous signs. Please reference the attached document for specific language and allowances. Highlights of the plan include:

- The ground sign would be up to 60 square feet per side and no taller than 15' in height.
- Primary wall signs will be allowed on the north and south sides and shall not exceed 150 square feet. Primary signage on the south elevation shall not exceed 250 square feet and primary signage on the north elevation shall not exceed 150 square feet.
- Secondary wall signs are allowed on the north and south elevations and shall not exceed 75 square feet.
- Miscellaneous directional, building entrance and light pole banner signs will be allowed as per the plan.

### **RECOMMENDATIONS**

**A. Approval of a request by UNBEL LLC (owner) and Baum Revision LLC (Contract Purchaser) for a preliminary and final plat of resubdivision of Lot 4A5D1 in Prairie Stone – Duluth Trading Company Subdivision located at the northeast corner of Hoffman Blvd. & Pratum Ave, subject to the following conditions:**

1. The plat of resubdivision shall be recorded within 90 days of Village Board approval.
2. The plat shall be signed by the current legal owners of the property, subject to verification by the Village's Corporation Counsel, prior to recording.
3. As described in the Declaration of Easements and Restrictive Covenants for the property; maintenance for the all access drives and common areas that are part of Duluth Trading Company Subdivision shall be the responsibility of the owners of Lots 4A5D1A and 4A5D1B. The approval is contingent on the Declaration of Easements and Restrictive Covenants remaining in place in perpetuity.

**B. Approval of a request by UNBEL LLC (owner) and Baum Revision LLC (Contract Purchaser) for preliminary and final site plan for Duluth Trading Company retail store on the newly proposed Lot 4A5D1 in Duluth Trading Company Subdivision located at the northeast corner of Hoffman Blvd. & Pratum Ave., subject to the following conditions:**

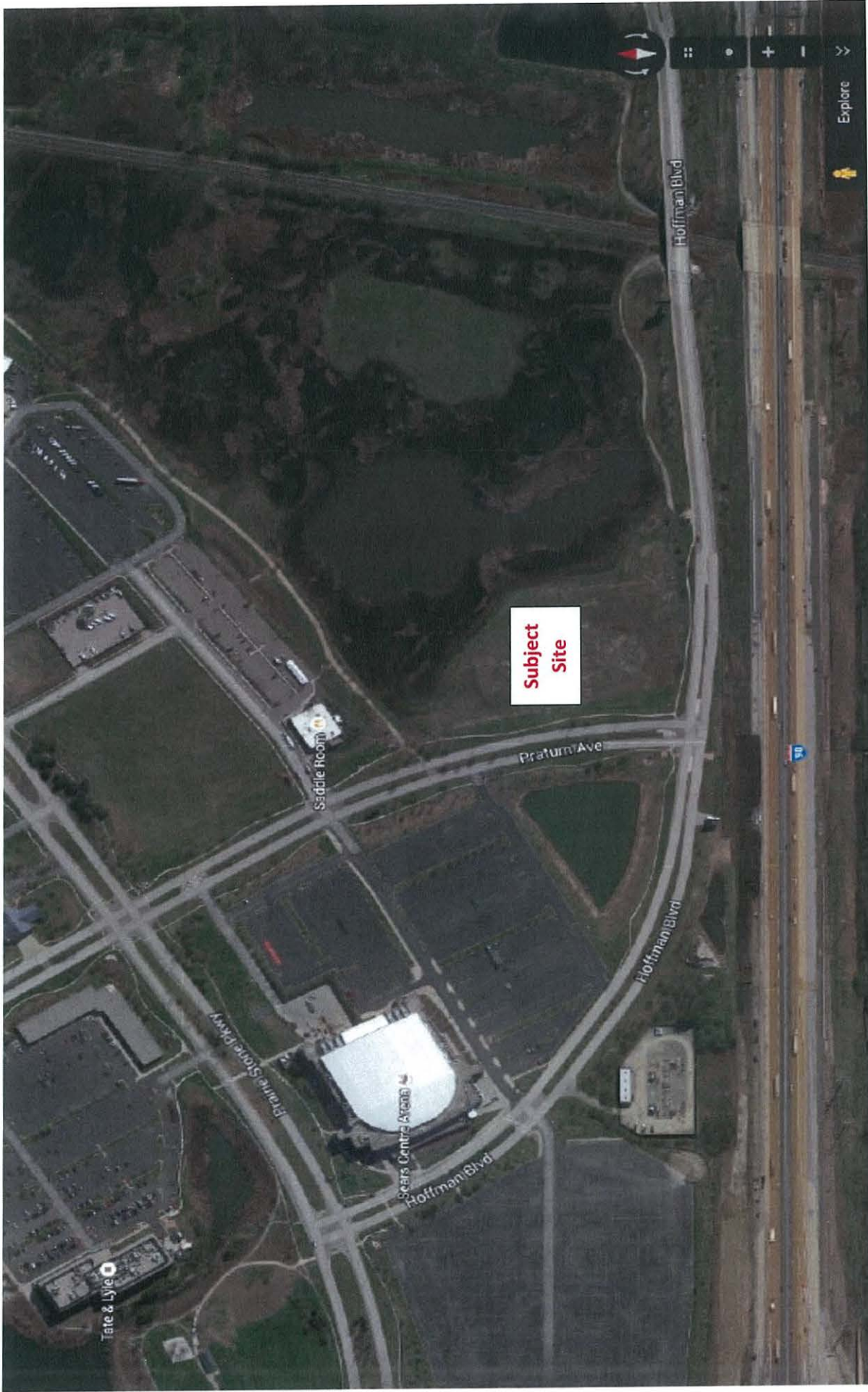
1. The following exceptions/waivers are granted:
  - a. A waiver from *Section 10-4-4 B.* to allow a 0' landscape setback instead of the required 20' setback on the north property line that abut proposed Lot 4A5D1A.
  - b. A waiver from *Section 10-4-4 D.* to not provide foundation landscape on the east and west sides of the building.
2. A building permit shall be obtained within nine months of Village Board action on the request.

3. The petitioner acknowledges that an impact fee will be due in accordance with the Village's Road Improvement Impact Fee Program. The fee is due prior to any certificate of occupancy being issued for the building. The petitioner may opt to do a post occupancy study to determine the fee based on actual traffic counts.
4. No formal Site Plan approvals are granted for Lot 4A5D1A. At time of development of said lot, the lot shall meet all village codes and access shall be limited the full access as shown.
5. At such time as the adjacent lot to the north is developed, if the proposed layout of that site requires changes to the shared access to reduce traffic conflicts; the petitioner agrees to make changes to the site configuration on Lot 4A5D1B as required by the Village to facilitate better development of the adjacent lot.

**C. Approval of a request by UNBEL LLC (owner) and Baum Revision LLC (Contract Purchaser) for a Master Sign Plan dated 9/30/15 for the property located at the northeast corner of Hoffman Blvd. & Pratum Ave.**

Attachments:           Project Narrative  
                              General Application  
                              Site Plan Application  
                              Master Sign Plan Application  
                              Final Engineering, landscape, lighting  
                              Final Plat  
                              Aerial Location Map

# DULUTH TRADING COMPANY





VILLAGE OF HOFFMAN ESTATES  
PLANNING AND ZONING  
GENERAL APPLICATION\*

Special Use for \_\_\_\_\_  Rezoning from \_\_\_\_\_ to \_\_\_\_\_

Variation:  Commercial  Residential  Sign

Plat (Subdivision & Others):  Preliminary  Final

Site Plan:  Amendment  Concept  Preliminary  Final

Master Sign Plan:  Amendment

Other: \_\_\_\_\_

\* ADDENDUM MATERIALS ARE REQUIRED FOR SPECIFIC REQUESTS

Posting of Notification Sign(s) may be required.

Specific requirements will be provided when your request is scheduled.

FOR VILLAGE USE ONLY

Hearing Fee \_\_\_\_\_ Check No. \_\_\_\_\_ Date Paid \_\_\_\_\_

Project Number: \_\_\_\_\_

Staff Assigned: \_\_\_\_\_

Meeting Date: \_\_\_\_\_

Public Hearing: Yes  No

Sign Posting Required: Yes  No

Date Sign Posted \_\_\_\_\_

PLEASE PRINT OR TYPE

Date: June 15, 2015

Project Name: DULUTH TRADING COMPANY

Project Description: 2 LOT RESUBDIVISION / 14,500 SF RETAIL STORE  
(SEE NARRATIVE)

Project Address/Location: NEC HOFFMAN BLVD + PRATON AVE

Property Index No. 01-32-302-040-0000; 01-32-400-020-0000

Acres: 6.98 Zoning District: B-3

I. Owner of Record

UNBEL LLC ATTN: FRED SHAW  
 Name Company  
C/O UNION NATIONAL BANK OF ELGIN, 100 E. CHICAGO ST  
 Street Address City  
ELGIN, IL 60120 847.888-7500  
 State Zip Code Telephone Number  
 Fax Number FLSHAW@UNBELGIN.COM  
 E-Mail Address

II. Applicant (Contact Person/Project Manager)

BAUM REVISION LLC ATTN: SCOTT GOLDMAN  
 Name Company  
1030 W. CHICAGO AVE STE 300 CHICAGO  
 Street Address City  
IL 60642 312.212-5400  
 State Zip Code Telephone Number  
 Fax Number SG@REVISIONGRP.COM  
 E-Mail Address

Applicant's relationship to property: CONTRACT PURCHASER

III. Owner Consent for Authorized Representative

It is required that the property owner or his designated representative be at all requests before the Planning and Zoning Commission (PZC). During the course of the meeting, questions may arise regarding the overall site, site improvements, special conditions to be included in a PZC recommendation, etc. The representative present must have knowledge of the property and have the authority to make commitments to comply with any and all conditions included in the PZC recommendations. Failure to have the owner or designated representative present at the meeting can lead to substantial delays in the hearing process. If the owner cannot be present at the meeting, the following statement must be signed by the owner:

I understand the requirement for the owner or an authorized representative to be present at the meeting with full authority to commit to requests, conditions and make decisions on behalf of the owner. I hereby authorize BAUM REVISION LLC\* to act on my behalf and advise that he/she has full authority to act as my/our representative. UNBEL LLC, by: UNION NATIONAL BANK OF ELGIN AM

[Signature]  
 \* Owner Signature

by FRED L. SHAW, PICS.  
 \* Print Name

\* AND ITS ATTORNEYS

**IV. Acknowledgement(s)**

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable or otherwise.
- Planning and Zoning Commission members and Village Staff often conduct inspections of subject site(s) as part of the pre-hearing review of requests. These individuals will be carrying official Village identification cards that can be shown upon request.

The Owner and Applicant, by signing this Application, certify to the correctness of the application and all submittals.

Owner's Signature: [Signature] x

Owner's Name (Please Print): UNBEL LLC

Applicant's Signature: [Signature] >  
(If other than Owner)

Applicant's Name (Please Print): BAUM REVISION LLC

Date: 6/15/2015

All requests must be accompanied by the items required and all fees must be paid before the Planning and Zoning Commission can hear any case.

Please contact the Planning Division (located in the Municipal Building) with any questions:

Email: planning@hoffmanestates.org  
Address: 1900 Hassell Road  
Hoffman Estates, IL 60169  
Phone: (847) 781-2660  
Fax: (847) 781-2679

**Addendums Attached:**

- Special Use
- Master Sign Plan
- Rezoning
- Other \_\_\_\_\_
- Variation
- Plat
- Site Plan



## PROJECT NARRATIVE

The proposed Project consists of a two lot subdivision (with an additional outlot) containing a total of 6.9 acres adjacent to wetlands in an over-all prairie like environment. One lot will be developed with a Duluth Trading Company retail store with adjacent parking. There is no current proposed use for the second lot and the outlot consists of wetland areas which are unbuildable. A recorded REA/Declaration will create cross easements, use restrictions and maintenance responsibilities for the entire site.

The store is a free standing 14,500 square foot building designed to look like an historic "old mill" one might come across in rural areas of the upper Midwest. That concept will be accentuated by a stone base, wood look cement board siding and a metal roof. All of which will complement the prairie concept of the Park itself. Although the building itself is unique in its design, this commercial facility is compatible with the surrounding uses.



# VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION SITE PLAN ADDENDUM – NON-RESIDENTIAL

Amendment  Concept  Preliminary  Final

## I. DESCRIPTION OF PROJECT:

### A. ATTACH A NARRATIVE FOR THE PROPOSED PROJECT ON A SEPARATE SHEET

✓ Article 10-6 of the Subdivision Code details the application process and required submittal documents. For relevant items, provide detailed information as part of the project narrative.

B. Total Number of Buildings: 1

C. Total Gross Floor Area: 14,500 square feet

D. Height of tallest building (including antennas, hvac, etc.): 45.5 feet (TOP OF ROOF)

E. With respect to this project's compatibility with adjacent land uses, address the following in the Project Narrative: Building Scale, architectural Materials, Coordinated Color Scheme, Existing and Planned Areas of Visual Interest, Design Concept and Relationship of Building Materials to one another.

F. Estimated start of construction: 10/1/2015

G. Estimated time to complete development: 8/1/2016  
Attach a phasing schedule, if applicable.

H. Does the property contain flood plain lands or wetlands? Yes  No   
If yes, please address as part of the narrative.

I. Is there any historical or archeological significance to the existing structures or features of this site or the surrounding sites? Yes  No   
If yes, please address as part of the narrative.

J. Are there any endangered, threatened, or unique plants or animals located in or near the area? Yes  No   
If yes, please address as part of the narrative.

## II. OPERATIONAL CONSIDERATIONS

A. Anticipated hours of operation: M-SAT; 9AM-8PM  
SUN; 11AM-5PM.

- B. Anticipated number of employees: 50<sup>\*</sup> total 10 per shift 2 number of shifts
- C. Estimated number of customers: 600 daily 200 peak hour \* FULL AND PARTTIME.
- D. If there is any additional information about the proposed development or its operation that may affect the site development, address as part of the narrative.

### III. FINANCIAL CONSIDERATIONS

- A. Estimated annual gross sales of general merchandise subject to sales tax for this project (includes 1% local share of state tax and 1% home rule tax):

Gross Sales (General)		Tax Rate		General Sales Tax
\$ 7,000,000	X	2%	=	\$ 140,000

- B. Estimated annual gross sales subject to food and beverage (F & B) tax for this project (food prepared on premises and alcoholic beverages consumed on premises). See article 13-7 of the Hoffman Estates Municipal Code for detailed definition:

Gross Sales (F & B)		Tax Rate		F & B Tax
	X	2%	=	\$ -0-

- C. Estimated Annual Hotel Tax: 365 Days X

Estimated Average Room Rate		Number of rooms		Occupancy Percentage		365 Days		Tax Rate		Hotel Tax
	X		X		X		X	6%	=	\$ -0-

- D. Other tax/revenue:  
(Entertainment tax = 6%, etc.)

		Rate		Tax
	X		=	\$ -0-

- E. Estimated Annual Telecommunications (TC) Tax:

Estimated Yearly Phone Bill		Tax Rate		TC tax
\$ 9,650	X	6%	=	\$ 516

- F. Current assessment of the property: \$ 74,639

- G. Estimated value of Construction: \$ 1,500,000

H. Will this project result in any unusual expenditure of public funds or requirements for public services in anyway?  Yes  No

If yes, please address as part of the narrative.

#### IV. TRAFFIC CONSIDERATIONS

##### A. Parking

1. Total number of parking spaces to be provided:

Employees: \_\_\_\_\_ Customers/  
Visitors: \_\_\_\_\_ Handicapped: 5 Total: 128

2. When is the peak parking period for this project?

11 AM - 6 PM

3. Will this project share parking spaces with other businesses?  Yes  No

If yes, please address as part of the narrative.

##### B. Traffic

1. Estimated number of vehicles entering and exiting this site during the peak one hour period between 4:00 p.m. and 6:00 p.m. 50

2. Will there be any other peak traffic times for this project?  Yes  No

If yes, give the time(s) of day and traffic volume: \_\_\_\_\_

3. Will this project contain a drive through?  Yes  No

If yes, the project narrative should address order processing time, projected stacking demand, and other details to explain the operation.

##### C. Deliveries

1. The project plan submittal should include turning templates to show all routes to be used for making deliveries to and from site. Is this plan included?  Yes  No

2. How often will deliveries be made on site? 2 per week

2. What is the frequency and time period expected for deliveries? 1 hr per delivery

3. What is the largest delivery vehicle to be used and its size?

Vehicle Type	Size	check	
Single Unit truck	30 ft.	<input type="checkbox"/>	<input type="checkbox"/>
Intermediate Semitrailer	50 ft.	<input type="checkbox"/>	<input type="checkbox"/>
Large Semitrailer	55 ft.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other		<input type="checkbox"/>	<input type="checkbox"/>

If the delivery truck used fits into the "Other" category, please specify type, size and turning radius: \_\_\_\_\_  
 \_\_\_\_\_

- D. Any additional site related traffic information not covered above?  Yes  No  
 If yes, please address as part of the narrative.

**V. RECYCLING AND GREEN INITIATIVES**

- A. Article 9 of The Municipal Code of the Village of Hoffman Estates requires that businesses maintain an effective recycling program. Address any unique recycling plans as part of the project narrative.
- B. The Village supports and promotes sustainability. Please address any planned green or sustainability initiatives as part of the narrative.
- C. Do you anticipate submitting this project for LEED certification (or any other similar certifications)?  Yes  No  
 If yes, please address as part of the narrative.

**VI. GENERAL CONSIDERATIONS**

- A. Please list examples of similar uses (including name and location) in the area that can be used for comparison by the Village:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

- B. Will this project contain any noise generators that will adversely affect surrounding areas?  
 Yes  No   
 If yes, please address as part of the narrative.

C. Is there anything included in this project that may be sensitive to surrounding noise generators?

Yes  No

If yes, please address as part of the narrative.

D. Do you intend to apply for a liquor license?  Yes  No

If yes, please contact the Village Clerk's Office at 847.781.2625

E. Will this project contain a cafeteria or food service area (in order to determine applicability of a sewer and water surcharge)? Yes  No

If yes, please address as part of the narrative.

F. In the project narrative, please list and explain anything involved in this project that is not covered in this application that should be brought to the Village's attention. Also address any rare or unusual circumstances or needs related to this project.

Please contact the Planning Division with any questions:

Email: [planning@hoffmanestates.org](mailto:planning@hoffmanestates.org)

Address: 1900 Hassell Road  
Hoffman Estates, IL 60169

Phone: 847.781.2660

Fax: 847.781.2679



## VILLAGE OF HOFFMAN ESTATES PLANNING AND ZONING COMMISSION MASTER SIGN PLAN ADDENDUM

*Amendment (Check if amending an Master Sign Plan)*

### **REQUIRED SUBMITTALS:**

- General Application
- The hearing fee of \$500.00 plus \$250.00 per sign type (Checks should be made payable to the Village of Hoffman Estates)
- Legal Description (Typically found on a tax bill, survey, mortgage documents or deed)
- Plat of Survey drawn to scale: ALL signs should be shown and labeled on the plat. Also show all existing improvements, e.g. buildings, etc., and distance between the property line, interior roadway(s) and the proposed sign(s).
- A narrative and graphic explanation of the following:
  - ✓ Number, location, type and placement of signs on the property;
  - ✓ Sign materials and methods of illumination; and
  - ✓ Height and size of signs and sign band areas.
- A written response addressing the following Standards for a Master Sign Plan:

The Village Board of Trustees is authorized to approve the Master Sign Plan if it is determined that implementation of the Master Sign Plan will:

  1. Result in architecture and graphics of a scale appropriate for the subject development and the surrounding area;
  2. Provide signage consistent with the site plan and architecture of the project;
  3. Avoid visual clutter;
  4. Allow visitors, employees, and consumers to readily identify the business entrances, while addressing the community's need for attractive, unobtrusive architecture and commercial graphics; and
  5. Result in a unified theme of signage for the project.

## **Master Sign Plan Narrative for Duluth Trading Building in Hoffman Estates**

The building design for the new Duluth Trading Co. store is a seamless expression of the Duluth brand. It is authentic, rugged and unique. It is conceived as a Monitor gabled building that references a Feed Store, Industrial building or an Agricultural building. Duluth's hard working customers will understand and identify with the reference.

The building shape and rooflines create intuitive entry points and terrific signing opportunities. Orientated on the parcel in a North-South direction the main entrance and primary identifying sign will be visible from I-90. A smaller sign situated on the upper part of the rear elevation will identify the building from the north on Pratum Avenue. A 10' tall monument sign located just east of the project entrance drive on Hoffman Blvd, will identify the building from the South, East and West.

The branded building design, site orientation and signing work seamlessly to identify the brand and point of entry.

The Master Sign Plan does;

- Provide architecture and graphics of a scale consistent with the proposed project and surrounding areas;

- Constitute signage that is consistent with both the Site Plan and the unique "period" architecture of the project;

- Avoid visual clutter; the graphics are clean and concise;

- Present visitors and employees with clear identification and directions, and provides attractive and unobtrusive architecture and graphics;

- Create a unified theme for signage in a theme oriented project.



**LEGAL DESCRIPTION**

**LOT 4A5D1 IN THE RESUBDIVISION OF LOT 45D IN PRAIRIE STONE, BEING A RESUBDIVISION OF THE SOUTH ½ OF SECTION 32, TOWNSHIP 42 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 2 2005 AS DOCUMENT NUMBERR 0530634052, IN COOK COUNTY, ILLINOIS**

**DRAFT FOR REVIEW AND DISCUSSION**

(Revised 9/22/15)

**DECLARATION OF EASEMENTS AND RESTRICTIVE COVENANTS**

THIS DECLARATION (the "Declaration") is made as of the \_\_ day of \_\_\_\_\_, 2015, by **BR HOFFMAN, LLC**, an Illinois limited liability company ("Declarant").

**RECITALS**

A. Declarant is the owner of certain real; property located in the Village of Hoffman Estates, Illinois, which property is legally described on Exhibit "A" attached hereto (the "Retail Center"). The retail Center currently consists of three (3) lots (each, a "Lot") designated as Lots 4A5D1A, 4A5D1B and Outlot A, all as depicted on the Site Plan attached hereto as Exhibit "B".

B. Declarant desires to impose certain easements and restrictions upon the Lots, for the mutual and reciprocal benefit and complement of said Lots and the present and future owners thereof, on the terms and conditions hereinafter set forth.

Prepared by and after recording  
return to:

PIN:

David L. Shaw  
Shaw Fishman Glantz & Towbin LLC  
321 N. Clark Street, Suite 800  
Chicago, Illinois 60654



NOW, THEREFORE, in consideration of the above premises and of the covenants herein contained, the Declarant covenants and declares as follows:

1. For purposes hereof:

- (a) The term Owner or Owners shall mean the Declarant and any and all of its successors or assigns as the owner or owners of fee simple title to all or any portion of the Retail Center. In the event that any portion of the Retail Center is ground leased to a tenant, the ground lessee shall be deemed the Owner of the portion of the Retail Center so leased for purposes of this agreement.
- (b) The term Permittees shall mean Owners and the tenant(s) or occupant(s) of a Lot, and the respective employees, agents, contractors, customers, invitees and licensees of such Owners, tenants or occupants.

2. Easements.

2.1 Grant of Access Easements. Declarant grants to each Owner of a Lot and their respective Permittees a nonexclusive, perpetual reciprocal easement for access, ingress and egress over all paved driveways, roadways and walkways as presently or hereafter constructed and constituting a part of the Common Areas of the Retail Center, so as to provide for the passage of motor vehicles and pedestrians between all portions of the Common Areas of such Lots intended for such purposes, and to and from all abutting streets or rights of way furnishing access to such Lots. The foregoing shall not restrict an Owner from reconfiguring or redeveloping its Lot provided that reasonable access is maintained in such manner as to be consistent with the mutual rights and easements established hereunder with respect to access.

2.2 Parking Restriction: Parking areas constructed on a Lot shall be for the sole use and benefit of such Lot and no cross or reciprocal easement relating to parking shall be deemed created hereunder or granted hereby.

2.3 Utility Easements. To the extent that any utilities are located on an Owner's Lot (a "Servient Lot") which serve not only said Owner's Lot, but serve other Owners' Lots as well (a "Dominant Lot"), then the Owners of each Dominant Lot shall have an easement over the common areas of each such Servient Lot for the use, maintenance and repair of such utilities. To the extent that such utilities are not maintained by the public utility to whom easements have been granted in connection therewith, then the Owners of the Servient Lot shall maintain same, subject to the right of the Owners of the Dominant Lot to enter upon a Servient Lot to cause such maintenance or repairs as shall be required in connection with the use of such utilities by the Dominant Lot, provided, however, that such easement shall be limited to those portions of the Servient Lot as shall be reasonably necessary to accomplish such maintenance or repair. Any Owner of a Dominant Lot entering upon a Servient Lot to accomplish such maintenance or repairs shall give the Owner of the Servient Lot reasonable notice thereof (except in the event of an emergency, in which event notice shall be that which is reasonable under the circumstances),

shall accomplish such maintenance and repairs where possible during weekdays and non-peak business hours in order to avoid disrupting the business of the Servient Lot; shall not unreasonably interfere with access to the Servient Lot and shall restore the Common Areas of the Servient Lot to the same condition as existed immediately prior to the performance of such maintenance and repairs. The cost of any such maintenance and repairs and restoration of the Servient Lots to its prior condition shall be borne equally by the owners served by said utilities. Any change in location of utilities after the initial installation thereof shall be done with the prior written consent of the affected Owners, which consent shall not be unreasonably withheld or delayed.

All utilities shall be underground except:

- (i) ground mounted electrical transformers;
- (ii) as may be necessary during periods of construction, reconstruction, repair or temporary service;
- (iii) as may be required by governmental agencies having jurisdiction over the Retail Center;
- (iv) as may be required by the provider of such service; and
- (v) fire hydrants.

No above ground utility shall interfere with the flow of vehicular or pedestrian traffic over the Lots.

2.5 Temporary Construction Easement. (i) In connection with any construction work to be performed in the initial development of the Retail Center, each Owner is hereby granted temporary easements for incidental encroachments upon another Owner's Lot or part hereof that may occur as a result of construction, so long as such encroachments are kept within the reasonable requirements of construction work expeditiously pursued, customary insurance is maintained by the Owner performing the construction protecting the other Owners against the risks associated with such construction, and so long as no construction activity prevents or impedes access through any sidewalks, driveways or access roads for the Lots or interferes with the business of another Owner. The temporary construction easement granted hereunder shall terminate at such time as a business is open and operating on any Lot.

(ii) All construction shall be conducted in a manner which will limit to the maximum extent practicable any interference with the operation of the balance of the Retail Center. Under no circumstances shall any portion of a Lot be used as a construction staging or storage area by the Owner of another Lot unless agreed to in writing by the affected Owner. Under no circumstances shall any portion of a Lot constituting an ingress and egress easement for the benefit of another Lot, be used as a construction staging or storage area. Declarant reserves the right to establish reasonable rules and regulations governing hours and means of access to the Retail Center by construction personnel and vehicles serving the Retail Center so as to minimize (a) interference with concurrent construction activities, (b) disruption of neighboring homeowners and/or businesses, and (c) labor problems.

2.6 Indemnification. Each Owner having rights with respect to an easement granted hereunder shall indemnify and hold the Owner whose Lot is subject to the easement harmless from and against all claims, liabilities and expenses (including reasonable attorneys' fees) relating to accidents, injuries, loss, or damage of or to any person or property arising from or in any manner relating to the use by the indemnifying Owner or its Permittees of any easement granted hereunder except as may result from the negligence or intentional misconduct of the Owner or its Permittees whose Lot is subject to the easement.

2.7 Liens. Each Owner having rights with respect to the utility and temporary construction easements granted hereunder shall use their best efforts to ensure that no liens are recorded against the Lots subject to the easements granted hereunder. In the event any such liens are so recorded, then the Owner causing said lien shall within then (10) business days after same has been recorded either (i) cause said lien to be released of record, or (ii) deposit with the title company insuring the affected Owner's title to its Lot an amount necessary to cause said title company to insure said Owner's title against said lien until said lien is released of record, or (iii) deliver to said Owner such other form of security as shall be reasonably acceptable to satisfy said Owner that said lien shall be satisfied and released. In all events, the Owner causing said lien shall diligently pursue causing said lien to be released.

### 3. Installation/Maintenance.

3.1 General Maintenance Requirements. Until such time as buildings and/or common area improvements are constructed on a Lot, the Owner thereof shall maintain the same in a clean, neat and safe condition and shall take such measures as are necessary to control grass, weeds, blowing dust, dirt, litter or debris.

3.2 Maintenance of Buildings. Each Owner covenants to keep and maintain, at its sole cost and expense, the building(s) located from time to time on its respective Lot in good order, condition and repair. Once constructed, in the event of any damage to or destruction of a building on any Lot, the Owner of such Lot shall, at its sole cost and expense, with due diligence either (a) repair, restore and rebuild such building to its condition prior to such damage or destruction (or with such changes as shall not conflict with this Declaration), or (b) tear down and remove all portions of such damaged or destroyed building then remaining, including the debris resulting therefrom, and otherwise clean and restore the area affected by such casualty to a level, graded condition. Nothing contained herein shall be deemed to allow an Owner or Permittee to avoid a more stringent obligation for repair, restoration and rebuilding contained in a lease or other written agreement between an Owner and such Owner's Permittee.

3.3 Signage. Each Owner shall be responsible for the maintenance repair and replacement of signage erected on its Lot. No signage shall be place on a Lot unless such is in compliance with all applicable ordinances and any recorded standards and/or restrictions relating thereto.

3.4 Common Areas. For purposes hereof, "Common Area" shall mean all surface improvements, other than a Building, located on a Lot including all parking, drive isles and other paved areas, driveways, walkways, landscaping and lighting. The owner of each Lot shall maintain the Common Areas located and constructed on its respective Lot in good condition and repair. Maintenance of the Common Areas shall include, without limitation, maintaining, repairing, replacing and reconstructing all walkways and the surface of the parking and roadway areas, removing all snow, papers, debris and other refuse from and periodically sweeping all parkway and road areas to the extent necessary to maintain the same in a clean, safe and orderly condition, maintaining appropriate lighting fixtures for the parking areas and roadways, maintaining markups, directional signs, lines and striping as needed, maintaining landscaping, and performing any and all such other duties are all necessary to maintain the Common Areas in a clean, safe and sightly condition. Each Owner reserves the right to alter, modify, reconfigure, relocate and/or remove the Common Areas or building areas on its Lot (collectively, an "Alteration"), subject to the following conditions: (i) the reciprocal easements between the Lots pursuant to Paragraph 2 shall not be permanently obstructed or unreasonably impaired; (ii) said Alteration shall not change the points of ingress and egress to Pratum Avenue and Hoffman Blvd. shown on the Site Plan without the express written consent of Owner of the other Lot, (iii) any such Alteration shall otherwise comply with the provisions hereof, and (iv) all such Alterations shall comply with applicable municipal codes and with all plans for the Retail Center approved by the Village.

3.5 Center Drive and Outlot A Anything herein to the contrary notwithstanding, for maintenance purposes only, the Center Drive so designated on Exhibit "B" and Outlot A , shall be deemed to be Common Area, and shall be maintained as such by the Lot 4A5D1B Owner, provided, however, that (i)the maintenance of Outlot A shall be subject to all applicable ordinances, rules and regulations of any governmental agency having jurisdiction thereover, and (ii) The cost of such maintenance for the Center Drive and Outlot A shall be shared equally by the Owners of both Lots 4A5D1A and 4A5D1B. In that regard, on or about each January 31 and July 31 following the date of the recording of this Declaration, the Lot 4A5D1B Owner shall deliver to the Lot 4A5D1A Owner, an invoice for the cost of maintenance, replacement and repair of Outlot A and the Common Drive for the 6 month period ending on the immediately preceding December 31 and June 30. Such amount shall be based upon a reasonable allocation of such costs and shall be supported by copies of actual paid invoices relating thereto. Such invoice shall be paid by the Lot 4A5D1A Owner within 21 days after its receipt, unless such Owner shall object to such invoice by written notice to the Lot 4A5D1B Owner within 15 days after its receipt. In the event of such an objection, such two Owners shall use all reasonable good faith efforts to resolve such matter, and if no resolution can be reached, the Owners shall appoint a mutually acceptable qualified third party to determine the appropriate allocation, and the decision of such third party shall be binding upon the Owners.

4. Restrictions.

4.1 General. Each Lot shall be used for lawful purposes in compliance with all restrictions imposed by all applicable governmental laws, ordinances, codes, and regulations and any recorded covenants, conditions or restrictions.

4.2 Outlot A Restrictions. No improvements of any kind shall be constructed or installed on any portion of Outlot A except as may be otherwise required by a governmental agency having jurisdiction over such Lot, or if such is approved by all governmental authorities having jurisdiction over such Lot

4.3 Lot 4A5D1A Restrictions: So long as Lot 4A5D1B is subject to a Lease in favor of, or is otherwise occupied by a Duluth Trading Company retail store, then no portion of Lot 4A5D1A shall be used for a commercial enterprise, the primary business of which is the sale of work wear, sportswear, sporting goods or athletic or sports apparel.

5. Insurance. Throughout the term of this Declaration, each Owner shall procure and maintain comprehensive public liability and property damage insurance against claims for personal injury, death, or property damage occurring upon such Owner's Lot, with single limit coverage of not less than an aggregate of Two Million Dollars (\$2,000,000.00) including umbrella coverage, if any, or such greater amount as may from time to time be reasonable and prudent under the circumstances, and naming each other Owner (provided the Owner obtaining such insurance has been supplied with the name of such other Owner in the event of a change therein) as additional insureds. This insurance is to insure against potential liability for losses or damages that might occur on or to any Lot, including, without limitation, the easement areas thereof.

6. Taxes and Assessments. Each Owner shall pay all taxes, assessments, or charges of any type levied or made by any governmental body or agency with respect to its Lot.

7. No Rights in Public; No Implied Easements. Nothing contained in this Declaration shall be construed as creating any rights in the general public or as dedicating for public use any portion of the Retail Center. No easements, except those expressly set forth in Paragraph 2 shall be implied by this Declaration.

8. Remedies and Enforcement.

8.1 All Legal and Equitable Remedies Available. In the event of a breach or threatened breach by any Owner or its Permittees of any of the terms, covenants, restrictions or conditions hereof, the other Owner(s) shall be entitled forthwith to full and adequate relief by injunction and/or all such other available legal and equitable remedies from the consequences of such breach, including payment of any amounts due and/or specific performance.

8.2 Self-Help. In addition to all other remedies available at law or in equity, upon the failure of a defaulting Owner to cure a breach of this Declaration within thirty (30) days following written notice thereof by an Owner (unless, with respect to any such breach the nature of which cannot reasonably be cured within such 30-day period, the defaulting Owner commences such cure within such 30-day period, and thereafter diligently prosecutes such cure to completion), any Owner shall have the right to perform such obligation contained in this Declaration on behalf of such defaulting Owner and be reimbursed by such defaulting Owner upon demand for the reasonable costs thereof together with interest at the prime rate of Chase Bank (its successors or assigns), plus two percent (2%) (not to exceed the maximum rate of interest allowed by law). Notwithstanding the foregoing, in the event of (i) an emergency or (ii) blockage or material impairment of the easement rights granted hereunder and/or an Owner may immediately cure the same and be reimbursed by the defaulting Owner upon demand for the reasonable cost thereof together with interest at the prime rate, plus two percent (2%), as above described.

8.3 Lien Rights. Any claim for reimbursement, including interest as aforesaid, and all costs and expenses including reasonable attorneys' fees awarded to any Owner in enforcing any payment in any suit or proceeding under this Declaration shall be assessed against the defaulting Owner in favor of the prevailing party and shall constitute a lien (the "Assessment Lien") against the Lot of the defaulting Owner until paid, effective upon the recording of a notice of lien priority with respect thereto in the Office of the County Recorder of Cook County, Illinois; provided, however, that any such Assessment Lien shall be subject and subordinate to (i) liens for taxes and other public charges which by applicable law are expressly made superior, (ii) all liens recorded in the Office of the County Recorder of Cook County, Illinois prior to the date of recordation of said notice of lien priority, and (iii) all leases entered into, whether or not recorded, prior to the date of recordation of said notice of lien priority. All liens recorded subsequent to the recordation of the notice of lien priority described herein shall be junior and subordinate to the Assessment Lien. Upon the timely curing by the defaulting Owner of any default for which a notice of lien priority was recorded, the party recording same shall record an appropriate release of such notice of lien priority and Assessment Lien.

8.4 Remedies Cumulative. The remedies specified herein shall be cumulative and in addition to all other remedies permitted at law or in equity.

8.5 No Termination For Breach. Notwithstanding the foregoing to the contrary, no breach hereunder shall entitle any Owner to cancel, rescind, or otherwise terminate this Declaration, but this limitation will not affect in any manner all other rights and remedies which the Owners may have by reason of any breach of this Declaration. No breach hereunder shall defeat or render invalid the lien of any mortgage or deed of trust upon any Lot made in good faith for value, but the easements, covenants, conditions and restrictions hereof shall be binding upon and effective against any Owner of such Lot covered hereby whose title thereto is acquired by foreclosure, trustee's sale, or otherwise.



8.6 Irreparable Harm. In the event of a violation or threat thereof of any of the provisions of Paragraphs 2 and/or 4 of this Agreement, each Owner agrees that such violation or threat thereof shall cause the nondefaulting Owner and/or its Permittees to suffer irreparable harm and such nondefaulting Owner and its Permittees shall have no adequate remedy at law. As a result, in the event of a violation or threat thereof of any of the provisions of Paragraphs 2 and/or 4 of this Agreement, the nondefaulting Owner, in addition to all remedies available at law or otherwise under this Agreement shall be entitled to injunctive or other equitable relief to enjoin a violation or threat thereof of Paragraphs 2 and/or 4 of this Agreement.

9. Term. The covenants, conditions and restrictions contained in this Declaration shall be effective commencing on the date of recordation of this Declaration in the office of the Cook County Recorder and shall remain in full force and effect for a period of sixty (60) years from and after said date of recordation, and the easements granted herein shall continue in perpetuity, unless this Declaration is modified, amended, canceled or terminated by the written consent of all then record Owners of the Retail Center in accordance with paragraph 10.2 hereof.

10. Miscellaneous.

10.1 Attorneys' Fees. In the event a party institutes any legal action or proceeding for the enforcement of any right or obligation herein contained, the prevailing party shall be entitled to recover its costs and reasonable attorneys' fees and consultants' fees incurred in the preparation and prosecution of such action or proceeding.

10.2 Amendment. The provisions of this Declaration may be modified or amended, in whole or in part, or terminated, only by the written consent of all record Owners, evidenced by a document that has been fully executed and acknowledged by all such record Owners and recorded in the official records of the County Recorder of Cook County, Illinois

10.3 Consents. Wherever in this Declaration the consent or approval of an Owner is required, unless otherwise expressly provided herein, such consent or approval shall not be unreasonably withheld or delayed. If any Owner having the right of consent or approval hereunder fails to give such consent or approval, or specific grounds for disapproval, within the applicable time period (or if no time period is provided, with thirty (30) days of receipt of the request therefor), the Owner shall be deemed to have given its approval or consent. Any request for consent or approval shall: (a) be in writing; (b) specify the paragraph hereof which requires that such notice be given or that such consent or approval be obtained; (c) clearly and conspicuously state that the failure to respond to the notice or request within the stated time period shall be deemed the equivalent of the recipient's approval or consent to the subject matter of the notice or request for approval or consent; and (d) be accompanied by such background data as is reasonably necessary to make an informed decision thereon.

10.4 No Waiver. No waiver of any default of any obligation by any party hereto shall be implied from any omission by the other party to take any action with respect to such default.

10.5 Covenants to Run with Land. Except as otherwise provided in Paragraph 9 hereof, it is intended that each of the easements, covenants, conditions, restrictions, rights and obligations set forth herein shall run with the land and create equitable servitudes in favor of the real property benefited thereby, shall bind every person having any fee, leasehold or other interest therein and shall inure to the benefit of the respective parties and their successors, assigns, heirs, and personal representatives.

10.6 Grantee's Acceptance. The grantee of any Lot or any portion thereof, by acceptance of a deed conveying title thereto or the execution of a contract for the purchase thereof, whether from an original Owner or from a subsequent owner of such Lot, shall accept such deed or contract upon and subject to each and all of the easements, covenants, conditions, restrictions and obligations contained herein. By such acceptance, any such grantee shall for itself and its successors, assigns, heirs, and personal representatives, covenant, consent, and agree to and with the other Owners, to keep, observe, comply with, and perform the obligations and agreements set forth herein with respect to the Lot so acquired by such grantee.

10.7 Severability. Each provision of this Declaration and the application thereof to the Retail Center are hereby declared to be independent of and severable from the remainder of this Declaration. If any provision contained herein shall be held to be invalid or to be unenforceable or not to run with the land, such holding shall not affect the validity or enforceability of the remainder of this Declaration. In the event the validity or enforceability of any provision of this Declaration is held to be dependent upon the existence of a specific legal description, the parties agree to promptly cause such legal description to be prepared. Ownership of all of the Lots by the same person or entity shall not terminate this Declaration nor in any manner affect or impair the validity or enforceability of this Declaration.

10.8 Time of Essence. Time is of the essence of this Declaration.

10.9 Notices. Notices or other communication hereunder shall be in writing and shall be sent certified or registered mail, return receipt requested, or by other national overnight courier company, or personal delivery. Notice shall be deemed given upon receipt or refusal to accept delivery. Each Owner shall notify the other Owner of its mailing address within ten (10) business days of its acquisition of its Lot. Each Owner may change from time to time their respective address for notice hereunder by like notice to the other Owner:

10.12 Governing Law. The laws of the State of Illinois shall govern the interpretation, validity, performance, and enforcement of this Declaration.

10.13 Estoppel. Upon the reasonable request of an Owner, another Owner shall deliver an estoppel certificate stating that no default exists hereunder. If an Owner does not respond to a request for an estoppel within thirty (30) days after receipt of a request therefore, then said non-responding Owner shall be deemed to have delivered an estoppel stating that no default exists, provided that the request notice states that a non-response will be so construed.

10.14. Most Restrictive If any of the terms or conditions of this Declaration shall conflict with the terms of any applicable law, ordinance or other document of record, then the more restrictive of such terms and/or conditions shall govern the use and occupancy of the Lots.

IN WITNESS WHEREOF, Declarant has executed this Declaration as of the date first written above.

BR HOFFMAN LLC

By: \_\_\_\_\_

Its: \_\_\_\_\_

STATE OF ILLINOIS        )  
  ) SS  
COUNTY OF COOK        )

I, \_\_\_\_\_, a notary public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that \_\_\_\_\_, personally known to me to be the Manager of Declarant and personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person, and signed and delivered the said instrument as his free and voluntary act.

GIVEN under my hand and official seal this \_\_\_\_ day of \_\_\_\_\_, 2015

\_\_\_\_\_  
Notary Public

Commission expires:

\_\_\_\_\_

**CONSENT OF LENDER**

The undersigned, being the holder of the first mortgage lien of record on the Property described in the foregoing Declaration, hereby consents to the execution and recording of such Declaration.

\_\_\_\_\_  
By:

\_\_\_\_\_  
Its

\_\_\_\_\_

STATE OF ILLINOIS        )  
  ) SS  
COUNTY OF COOK        )

I, \_\_\_\_\_, a notary public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that \_\_\_\_\_, personally known to me to be the \_\_\_\_\_ of the \_\_\_\_\_ and personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person, and signed and delivered the said instrument as his free and voluntary act.

GIVEN under my hand and official seal this \_\_\_\_\_ day of \_\_\_\_\_, 2015

\_\_\_\_\_  
Notary Public

Commission expires:

\_\_\_\_\_



# Duluth Trading Company

(Northeast Corner of Pratum Ave. & Hoffman Blvd.)

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## Master Sign Plan

September 30, 2015

# *Duluth Trading Company*

## Master Sign Plan

September 30, 2015

### ***Introduction***

This Master Sign Plan applies to the two lots on the northeast corner of Pratum Avenue & Hoffman Boulevard. The development of the property will include a Duluth Trading Company retail store and a future stand-alone building.

The Master Sign Plan requirements have been developed based on the signage that is unique to the Duluth Trading Retail store and adjacent lot. The Duluth Trading lot is approximately 2.6 acres with a building having an approximate square footage of 14,500. The adjacent lot is approximately 3.1 acres and will be developed at a later date. This plan has been designed with signage for this development that maintains consistency with other similar developments, yet takes into account certain unique characteristics of this development.

### ***A. Area Included in Master Sign Plan***

This Master Sign Plan applies to the proposed lots 4A5D1A & 4A5D1B in Duluth Trading Company Subdivision.

### ***B. General Provisions***

1. Definition. For the purposes of this Master Sign Plan, "Property" shall mean the lots on the northeast corner of Pratum Avenue & Hoffman Boulevard and shall apply any building constructed on the lot(s).
2. Driver Sight Visibility. No sign shall be placed in a manner that will obstruct driver or pedestrian sight lines and create an unsafe condition based on analysis by the Village Transportation Division.
3. Landscaping. Landscaping shall be provided at the base of the ground sign, unless determined to be unsafe or not feasible by the Village Department of Development Services.
4. Illumination. All signs permitted by this Master Sign Plan may be illuminated in accordance with Section 9-3-8-F of the Zoning Code unless otherwise indicated in the approved Master Sign Plan documents.
5. Sign Design. Colors and letter graphic styles on the signs shall be determined by the owners of the property; however, signs that are of a similar type shall be of a consistent color and graphic style.
6. Calculation of Sign Area. Such signs shall meet the requirements of Section 9-3-8-D, except that the architectural base and support structure of a ground sign shall not be included in the total sign area if these areas do not contain text, logos or any other graphics.

# Duluth Trading Company

## Master Sign Plan

September 30, 2015

7. Permits. Sign permits shall be required in accordance with Section 9-3-8-A of the Zoning Code.
8. Coordination with Village Sign Code. All regulations of the Zoning Code shall apply unless specifically stated otherwise in this master sign plan. In the event of a conflict between this Master Sign Plan and the Zoning Code, the Master Sign Plan regulations shall apply.
9. Master Sign Plan. This document and the attached exhibits represent the entire Master Sign Plan.

### C. Ground Signs

#### Lot 4A5D1B (Duluth Trading Company)

##### 1. Ground Sign

- a. Type. The design of a sign shall be limited to a ground or monument style of sign and shall not be allowed as a freestanding or pole style sign with exposed sign supports.
- b. Number and Size. One ground sign shall be permitted on the property. The sign shall be a maximum of 15 feet in height. The sign shall be a maximum of 150 square feet per side. A future tenant panel for the undeveloped lot shall be allowed within the allotted square footage. The architectural elements including rock outcroppings shall not count towards the square footage.
- c. Location. The ground sign shall be located on the southeast corner of the lot and shall be a minimum of 5 feet from any property line and a minimum 5 feet from any pavement or curb.
- d. Sign Design. The sign shall be designed in accordance with exhibit ES4 included in the Duluth Trading Co. Exterior Package (revised date 9/22/15).

#### Lot 4A5D1A (Undeveloped Lot)

##### 1. Ground Sign

- a. Type. The design of a sign shall be limited to a ground or monument style of sign and shall not be allowed as a freestanding or pole style sign with exposed sign supports.

# Duluth Trading Company

## Master Sign Plan

September 30, 2015

- b. Number and Size. One ground sign shall be permitted on the property. The sign shall be a maximum of 15 feet in height. The sign shall be a maximum of 150 square feet per side.
- c. Location. The Ground Sign shall be located on the Pratum Avenue side of the lot and shall be a minimum of 5 feet from any property line and a minimum 5 feet from any pavement or curb.
- d. Sign Design. The sign shall be designed in a similar architectural manner as those shown in the Duluth Trading Co. Exterior Package (revised date 9/22/15).

### D. Wall Signs

#### Lot 4A5D1B (Duluth Trading Company)

1. All Wall Signs shall be in accordance with the following:

- a. Type. Tenant wall signs shall be internally lit channel letters or logos individually set on a sign board. The sign board shall be mounted directly to the building wall surface. Wall signs and sign board are not to extend more than 12" from the wall on which it is mounted.
- b. Number and Size.

**Primary Wall Signs** - One primary wall sign shall be permitted on the north and south elevation. The north elevation shall be allowed a maximum square footage of 150 square feet and the south elevation shall be allowed a maximum square footage of 250 square feet.

**Secondary Wall/Awning Signs** – Secondary signs shall be permitted on all elevations and may be either wall mounted signs or awnings. Any awning sign shall not exceed 60 square feet (maximum of 2 per elevation) and any wall sign shall not exceed 100 square feet (maximum 1 per side). Only one sign type will be permitted per elevation.

- c. Location. Each wall sign shall be centered within the façade of the portion of the building on which it is mounted so that the signs are visually symmetrical in relation to the architectural features of the building.

#### Lot 4A5D1A (Undeveloped Lot)

1. All Wall Signs shall be in accordance with the following:



# Duluth Trading Company

## Master Sign Plan

September 30, 2015

- a. Type. Tenant wall signs shall be internally lit channel letters or logos individually set on a raceway. The raceway shall be mounted directly to the building wall surface and shall be painted to match the façade color where it is to be mounted. Wall signs and raceway are not to extend more than 12" from the wall on which it is mounted.
- b. Number and Size. One wall sign shall be permitted on each elevation of a maximum of 150 square feet per sign.
- c. Location. Each wall sign shall be centered horizontally within the façade of the portion of the building on which it is mounted so that the signs are visually symmetrical in relation to the architectural features of the building.

### **E. Miscellaneous Signs**

1. Directional Signs. Directional signs shall be permitted on the property to direct drivers to different portions of the site. Such signs shall be a maximum of six (6) square feet in size and four (4) feet in height. Directional signs may contain the names of tenants on the property and may contain logos. All directional signs shall be of a consistent design and shall be separate from traffic control signs. The signs may be illuminated and shall be located a minimum of 5 feet from any property line.
2. Entrance/Exit Signs. Entrance/Exit signs shall be permitted at each entrance/exit to the property as provided in the Zoning Code (Section 9-3-8-L-2), except that such signs shall be setback a minimum of 5 feet from any property line.

### **G. Temporary Signs**

1. Coming Soon Signs. One temporary "Coming Soon" sign shall be permitted on the property during construction not exceeding 32 square feet in size. "Coming Soon" signs may be freestanding or mounted to a building wall. The "Coming Soon" sign shall be removed when a certificate of occupancy has been issued for the building.
2. Special Event Signs. Special event signs shall be permitted as provided in the Zoning Code (Section 9-3-8-K).

### **H. Amendments**

1. Changes. Changes to the text, colors, or graphic style of the signs shall not require a formal amendment to this plan, provided the size and all other requirements of this plan are met and all signs of each type have identical design and colors.

# *Duluth Trading Company*

## **Master Sign Plan**

September 30, 2015

2. Interpretations. Signs that are not explicitly addressed in the provisions of this plan, but that meet the intent of the plan may be permitted through administrative approval.
  
3. New Signs. The addition of new signs or relocation of existing signs shall not require a formal amendment to this plan, provided the signs meet all requirements of this plan. Any amendment to add additional signs or make substantial changes to the approved signs in this plan shall be subject to review by the Planning & Zoning Commission and approval by the Village Board through the process outlined in the Zoning Code for variations.



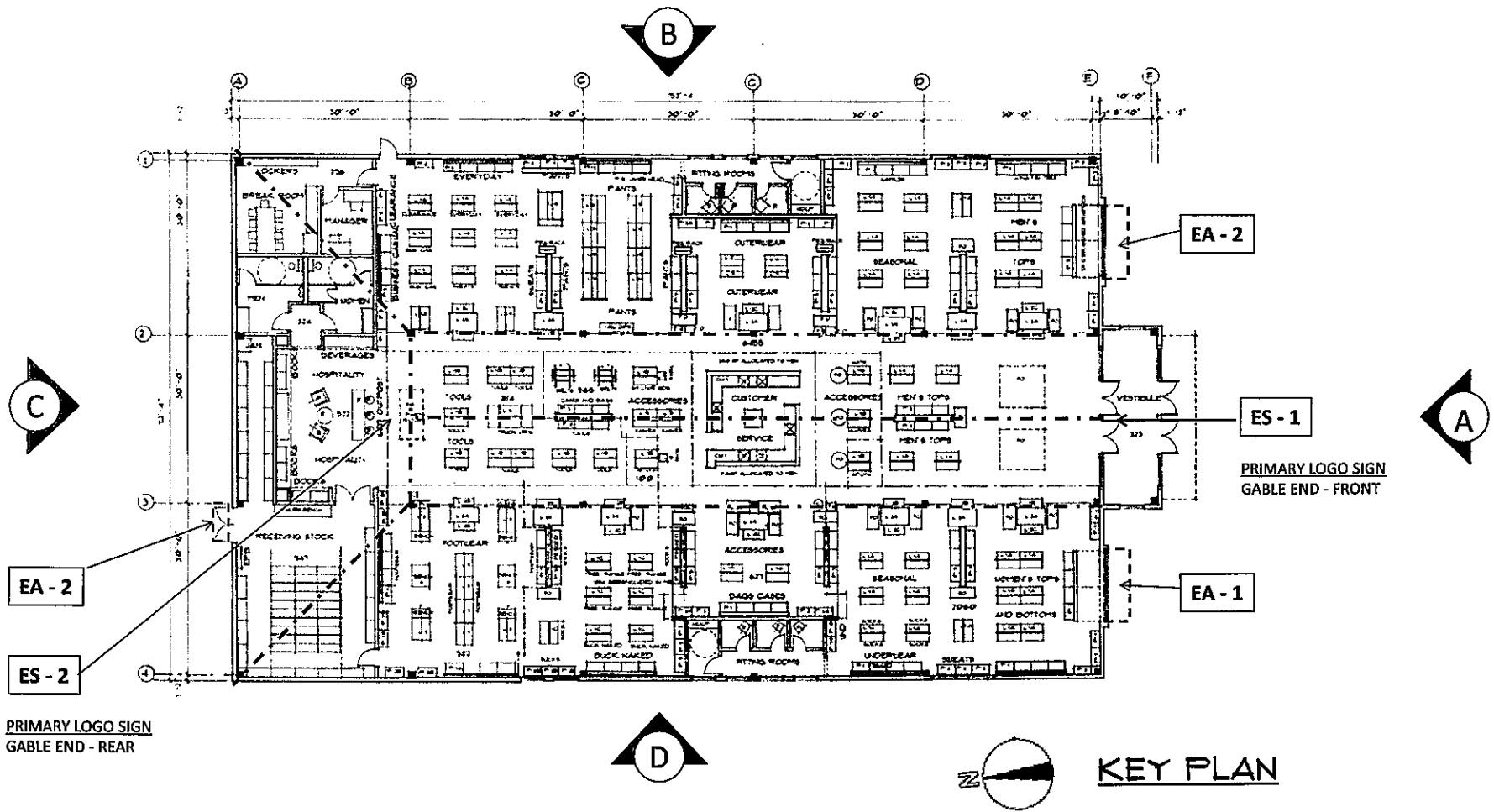
DULUTH TRADING CO.  
STORE @ HOFFMAN ESTATES, IL

EXTERIOR PACKAGE :  
SIGNAGE / LIGHTING /  
AWNINGS  
5/4/15

- REVISED 9/22/15:
1. DELETED ROOF TOP  
SECONDARY SIGN
  2. 2. ADDED MONUMENT SIGN

RETAIL [ BRAND ] SOLUTIONS

PRESENTED BY:



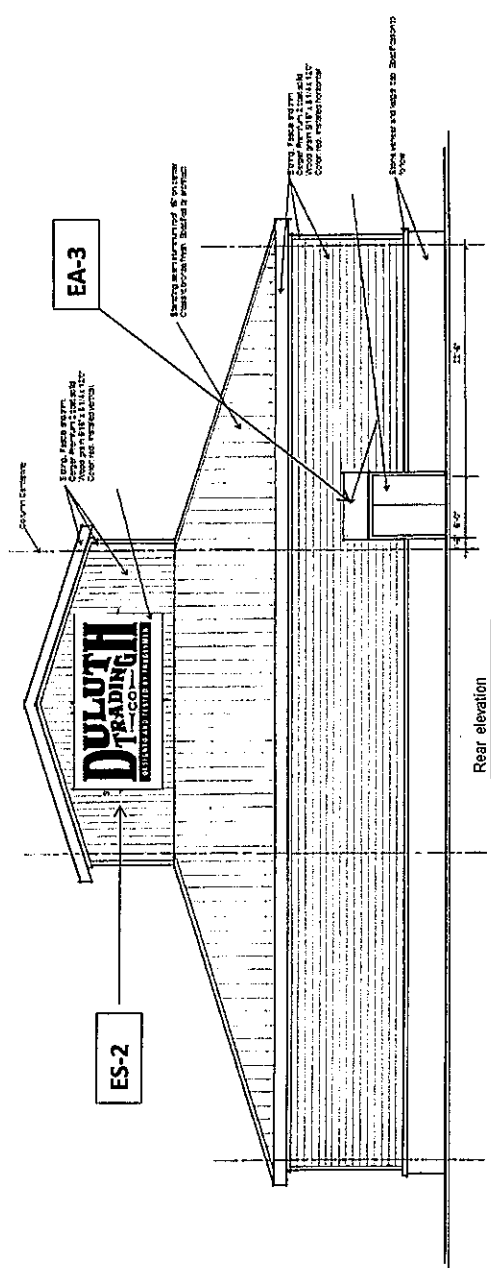
PRIMARY LOGO SIGN  
GABLE END - REAR

PRIMARY LOGO SIGN  
GABLE END - FRONT

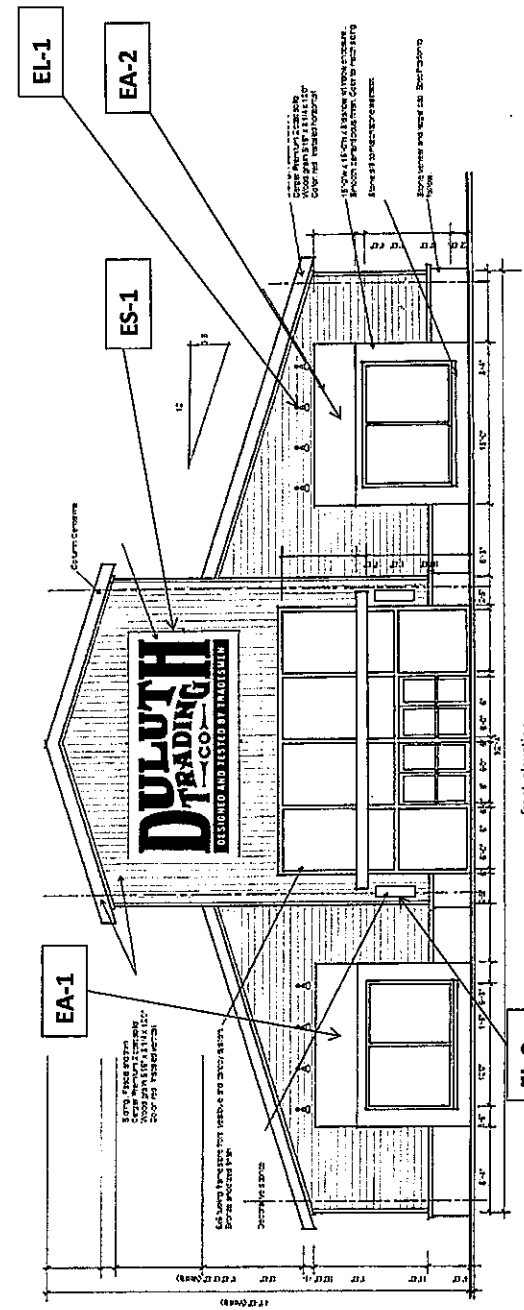


DTC- BUILDING EXTERIOR PKG.-  
HOFFMAN ESTATES. IL

RETAIL [ BRAND ] SOLUTIONS

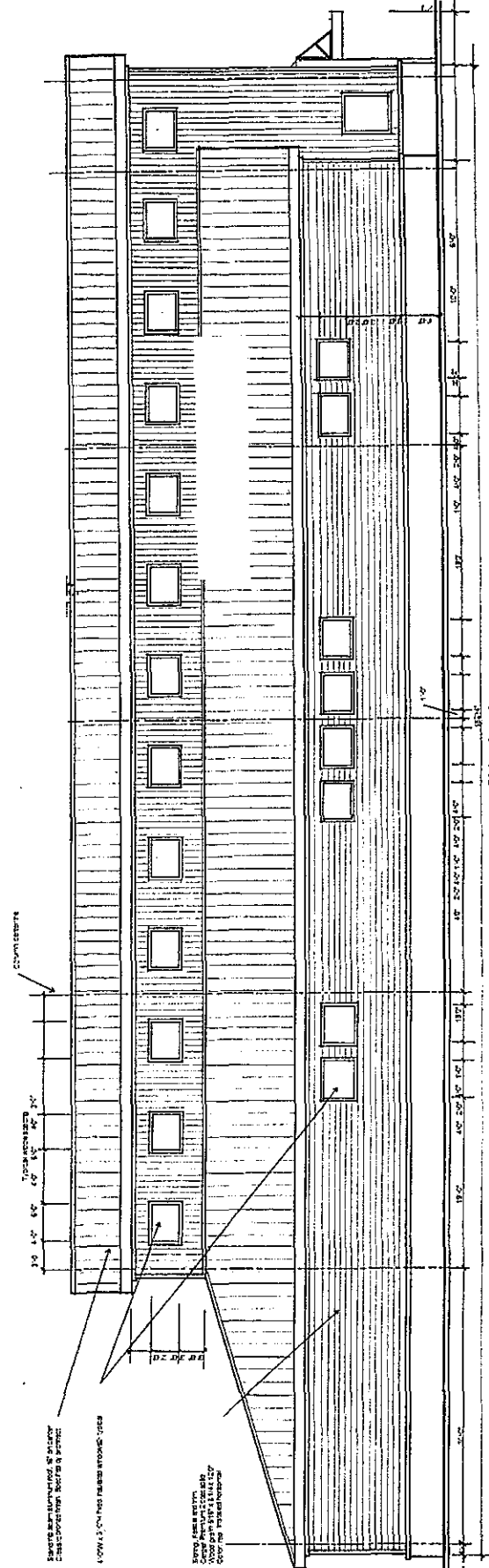
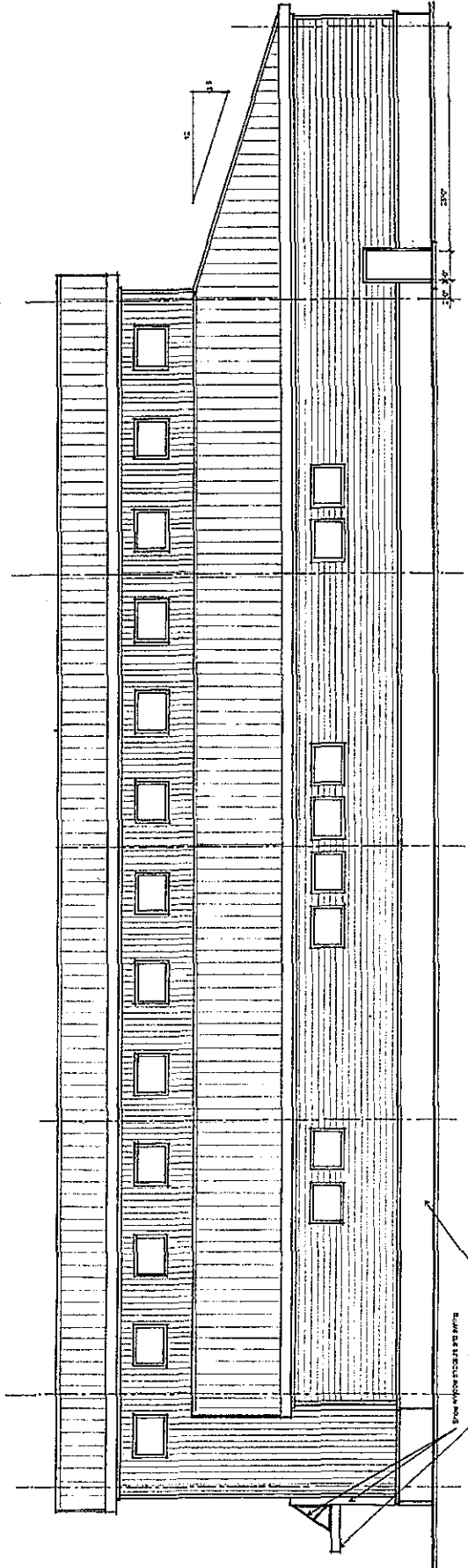


Rear elevation  
3/16" = 1'0"



front elevation  
3/16" = 1'0"

EL-2



3/16" scale elevations

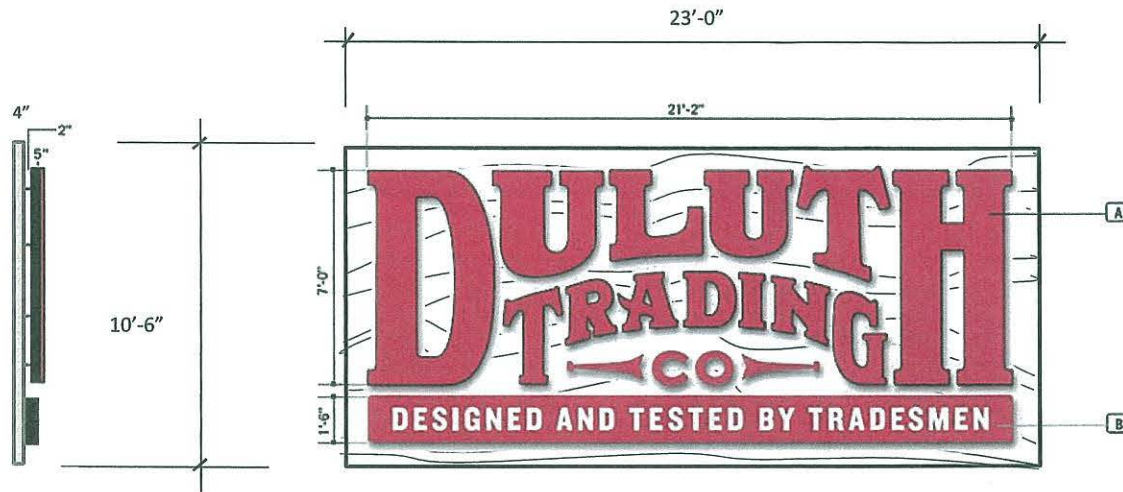
Side elevation  
SHE-1102

DOOR AND WINDOW FINISHES TO BE DETERMINED BY ARCHITECT

ROOF FINISH TO BE DETERMINED BY ARCHITECT

ROOF FINISH TO BE DETERMINED BY ARCHITECT

ROOF FINISH TO BE DETERMINED BY ARCHITECT



ES-1 EXTERIOR SIGN DETAIL

1/4" = 1'

**LOGOTYPE**  
**DESCRIPTION**

- A** - FACE LIT / HALO LIT CHANNEL LETTERS
  - WHITE LEXAN FACES WITH RED TRANS VINYL
  - 5" STOCK BLACK ALUM. RETURNS
  - 1" STOCK RED TRIM CAP
  - CLEAR LEXAN BACK(S)
  - WHITE LED ILLUMINATION (RED FACE ILLUMINATION WITH WHITE HALO)
- B** - FACE LIT TAGLINE CAPSULE
  - WHITE LEXAN FACES WITH RED TRANS. VINYL - WHITE COPY
  - 5" STOCK BLACK ALUM. RETURNS
  - 1" STOCK RED TRIM CAP
  - WHITE LED ILLUMINATION
  - FLUSH MOUNT TO WALL

**FINISH SCHEDULE**



CARDINAL RED 230-53

**BACK PANEL**

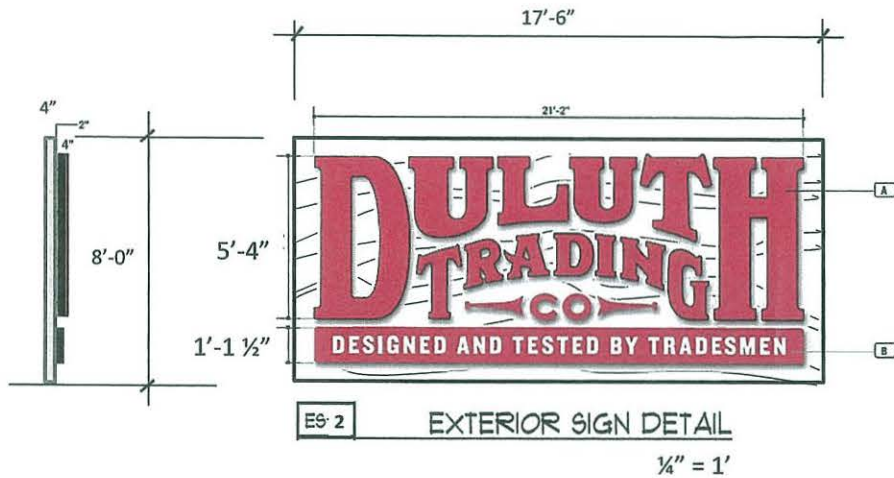
23'-0" l. X 10'-6" h. X 4" THICK  
HIGH DENSITY EXTERIOR GRADE  
URETHANE SIGN BOARD  
SANDBLASTED ON FACE AND RETURN SIDES TO  
TO HAVE A CARVED WOOD LOOK TEXTURE.  
PAINTED P-8.

ES-1



DTC- BUILDING EXTERIOR PKG.-  
HOFFMAN ESTATES, IL

RETAIL [ BRAND ] SOLUTIONS



**DESCRIPTION**

- A** — FACE LIT / HALO LIT CHANNEL LETTERS
- WHITE LEXAN FACES WITH RED TRANS VINYL
  - 4" STOCK BLACK ALUM. RETURNS
  - 1" STOCK RED TRIM CAP
  - CLEAR LEXAN BACK(S)
  - WHITE LED ILLUMINATION (RED FACE ILLUMINATION WITH WHITE HALO)
- B** — FACE LIT TAGLINE CAPSULE
- WHITE LEXAN FACES WITH RED TRANS. VINYL - WHITE COPY
  - 4" STOCK BLACK ALUM. RETURNS
  - 1" STOCK RED TRIM CAP
  - WHITE LED ILLUMINATION
  - FLUSH MOUNT TO WALL

**FINISH SCHEDULE**



**BACK PANEL**

17'-6" l. X 8'-0" h. X 4" THICK  
 HIGH DENSITY EXTERIOR GRADE  
 URETHANE SIGN BOARD  
 SANDBLASTED ON FACE AND RETURN SIDES TO  
 TO HAVE A CARVED WOOD LOOK TEXTURE.  
 PAINTED P-8.

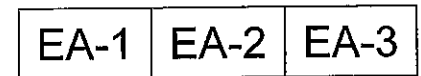
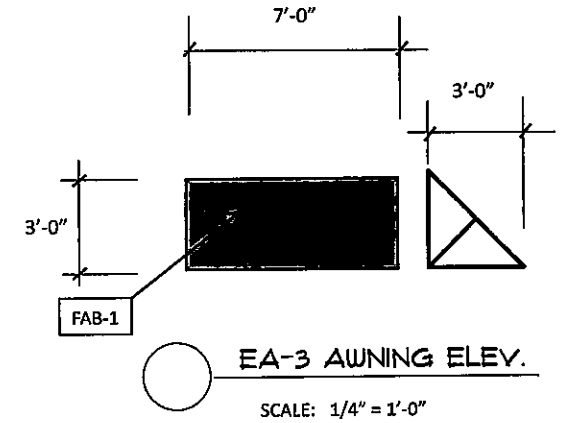
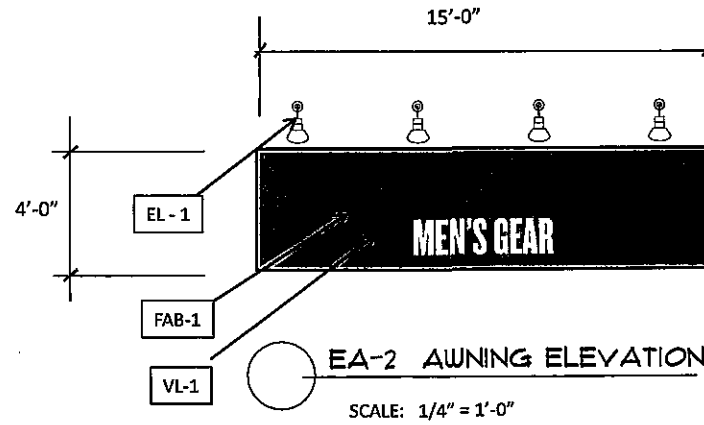
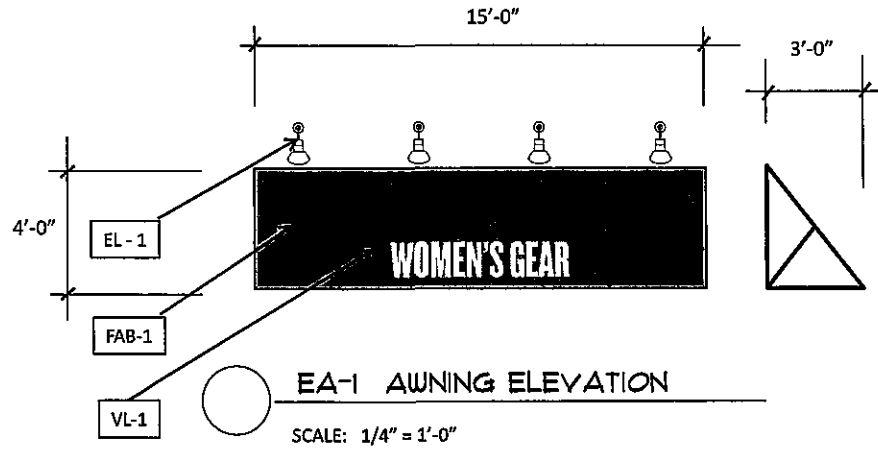
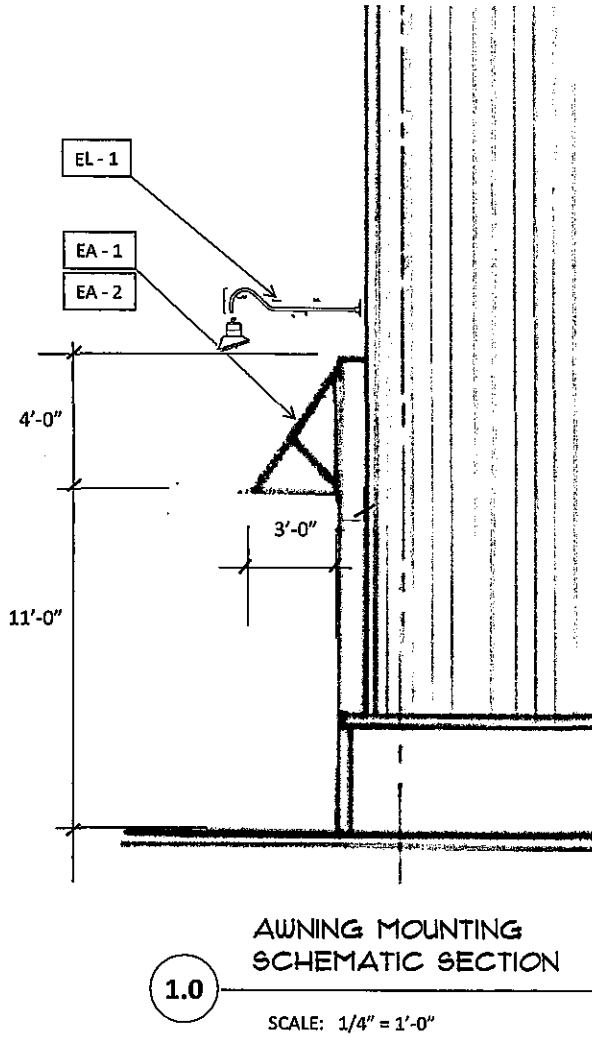


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ES-2





RETAIL [ BRAND ] SOLUTIONS





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Sample	Code	Description	Color/Item#	Contact Info	Notes
	P-5	Paint Finish: Semi-gloss	COUNTRY REDWOOD EXT.RM.	Benjamin Moore & Co. 800-642-5678 Ext. 2220 Mary Hoffman	In stock
	P-6	Paint Finish: SEMIGLOSS	HAMILTON BLUE EXT.RM.	Benjamin Moore & Co. 800-642-5678 Ext. 2220 Mary Hoffman	
	P-7	Paint Finish: SEMI-GLOSS	HC-10 STUART GOLD	Benjamin Moore & Co. 800-642-5678 Ext. 2220 Mary Hoffman	
	P-8	Paint Finish: SEMI-GLOSS	HC-98 PROVIDENCE OLIVE	Benjamin Moore & Co. 800-642-5678 Ext. 2220 Mary Hoffman	

Sample	Code	Description	Color/Item#	Contact Info	Notes
	FAB-1	SUNBRELLA AWNING FABRIC	4684-0000 SLATE	<a href="http://www.sunbrella.com/showroom/#!submit=thumbnail&amp;screen=detail&amp;style=4684-0000">http://www.sunbrella.com/showroom/#!submit=thumbnail&amp;screen=detail&amp;style=4684-0000</a>	GLEN RAVEN CUSTOM FABRICS, LLC 1831 North Park Ave Glen Raven, NC 27217-1100 336.221.2211
	VL-1	SOLID VINYL	7125-99 FAWN	3M SCOTCHCAL 7125 VINYL	<a href="http://multimedia.3m.com/mws/media/126510/7125-scotchcal-electrocut-ec-sp.pdf">http://multimedia.3m.com/mws/media/126510/7125-scotchcal-electrocut-ec-sp.pdf</a>



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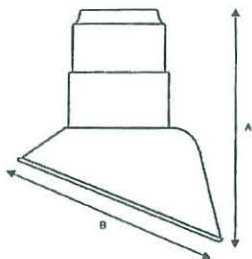
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Submitted by Enterprise Lighting, LTD.	Job Name: Duluth Contractor: Specialized Electric (Verona)	Catalog Number: A810/62/INC/B15/62	Type:
	Notes:	ELL13-33640	

### ANGLE SHADES

PREPARED BY: \_\_\_\_\_  
 TYPE: \_\_\_\_\_  
 JOB NAME: \_\_\_\_\_  
 CERTIFICATION: UL LISTED WET LOCATION

MODEL#	A (Height in Inches)	B (Diameter in Inches)
A807	7 3/4	7
A810	10	10
A812	12	12
A814	14	14



**FINISH**-Five stage pretreatment process, coated with a lead free TGI C polyester powder coat finish. White is standard inside reflectors. Except #49-Galvanized, #62-Anodized Bronze and #63-Iron Rust. Unless specified. Custom colors and Marine are available upon request.

**LAMP HOLDERS**- Accommodates Incandescent medium base porcelain socket, copper shell with nicked plate, rated 250V, 660W. Compact Fluorescent 4 pin heat resistant thermoplastic socket accommodates 26/32W (Gx24q-3 base) and 42W (Gx24q-4 base). Twist lock design provides for vibration and earthquake resistance, rated 75W, 600V. High Intensity Discharge (H.I.D.) medium base, 4kV pulse start socket, rated 660W/600V.

**MOUNTING**- 1/2" or 3/4" tapped hub is supplied. Top or side mount available. Fixtures are pre-wired with 48" or 96" leads. Available with cord or stem sets.

**REFLECTOR**- Spun from heavy gauge 1100-0 aluminum, ranging in thickness from .050 to .125. Galvanized is from 20 gauge sheets. Copper is spun from .040 gauge and 110 soft alloy.

MODEL#	FINISH	LIGHT SOURCE		
		INC	CF	HID (MH & HPS)
A807	Arch. Bronze	100W	26W*	35 OR 50W*
A810		150W	26,32, OR 42*	35,50,70 CR 100W*
A812		200W	26,32, OR 42*	35,50,70 CR 100W*
A814		200W	26,32, OR 42*	35,50,70 CR 100W*

\*FOR REMOTE BALLAST SEE MOUNTING SOURCE

GLASS OPTIONS

MOUNTING SOURCE: ARM EXTENSIONS **B15**

ACCESSORIES: GUARDS, WIRE GRILLS

w/LED A-lamp



PHONE: 877-999-1990  
 FAX: 877-999-1955

12260 EAST END AVE. CHINO, CA 91710

wet location

### BASELITE ANGLE SHADE

## GEN2 EnhanceLite® A19 LED

Omnidirectional Warm White A19 LED  
 Preliminary Data sheet



### Specification Data

or equal (must be same location rated)

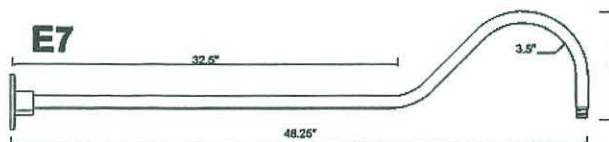
CCT (K)	Voltage	Wattage (W)	Lumen Output (lm)	Efficacy (lm/W)	CRI	R9	Power Factor	Form Factor/ Base Type	Rated Life (hrs)	Weight	Dimmable	Model No.
2700K Warm White	90-135 VAC, 60Hz	9.4 W	810	86	94	85	>0.97	A19 / E26 base (US)	50,000	88 g	YES	LEDH-A19-60-1-27D-ID
2700K Warm White	90-135 VAC, 60Hz	13.7W	1150	84	>90	>90	>0.90	A19 / E26 base (US)	50,000	88 g	YES	LEDH-A19-75-1-27D-ID

LEDnovation lamp models are tested for photometric performance in accredited third-party labs according to IES LM-79 requirements, with reports available online at [www.lednovation.com](http://www.lednovation.com)

### LAMP SPECIFICATION

#### NOTE:

- SEE ARCHITECTURAL DWG'S & SUBMITTALS FOR ADDITIONAL DETAILS



### BASELITE GOOSENECK ARM

EL-1



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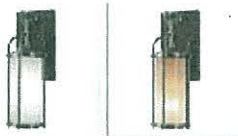
PORCELAIN FLM BARN LIGHTING COMMERCIAL LED INDUSTRIAL DECOR FANS ACCESSORIES VINTAGE

Home > Outdoor Lighting > Outdoor Sconces > The Craftsman Wall Sconce

### The Craftsman Wall Sconce



Click to enlarge



Compare prices

\$318.00

(hover over images to learn more)

Shade Size: Large Shade - OL/602 ( \$180.00)

Finish/Glass:

**Large Shade Size: W 9 1/2" x H 24 3/4" ; Canopy: W 12 1/2" x H 4 1/2"**

**Additional Information:**

**Mounting Proc.:** Double Cap Nuts

**Connection:** Mounted to Box

**Finish:** Espresso with Opal Etched Glass or Heritage Bronze with Aged Oak Glass

**Max Wattage Per Socket:** 100W Standard Incandescent (Bulbs Not Included)

**Number of Sockets:** 1 (Medium A-Line)

- See more at: <http://www.barnlightelectric.com/outdoor-decor/barn-post-lights/the-craftsman-wall-sconce.html#sthash.abTZVfzO.dpuf>

Decorative Sconce Fixture

EL-2

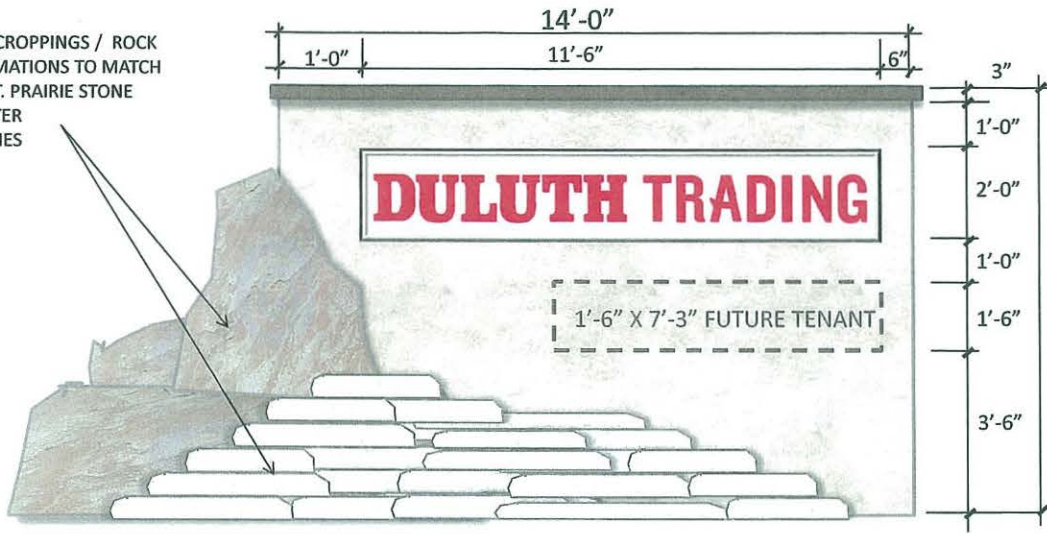
4



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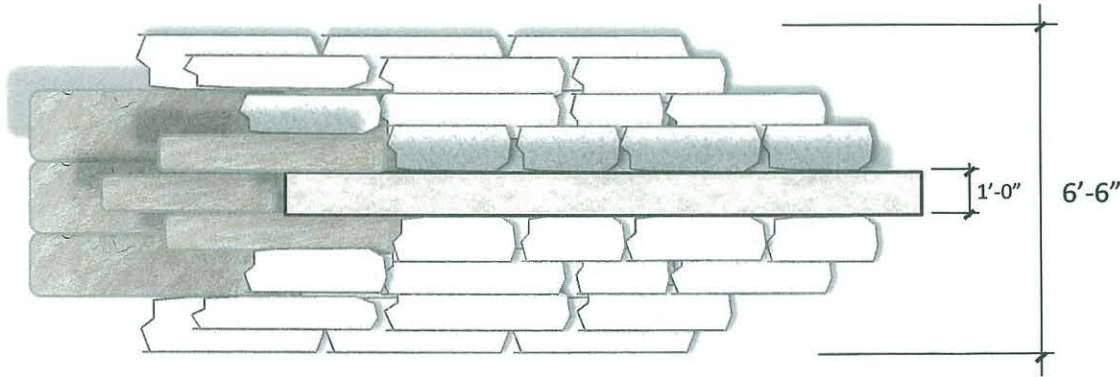
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OUTCROPPINGS / ROCK FORMATIONS TO MATCH EXIST. PRAIRIE STONE CENTER SPECIES



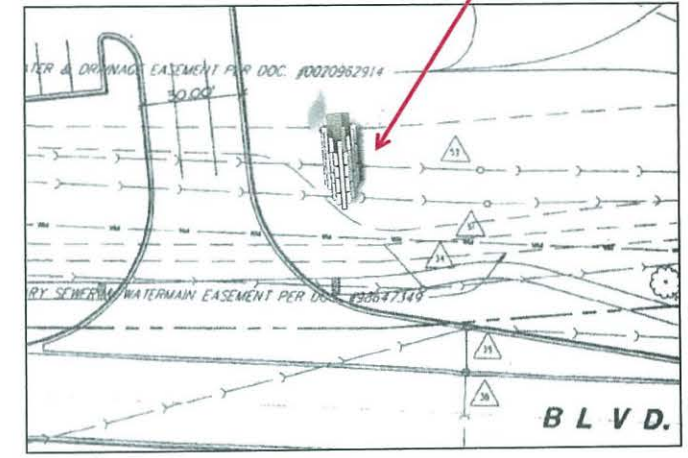
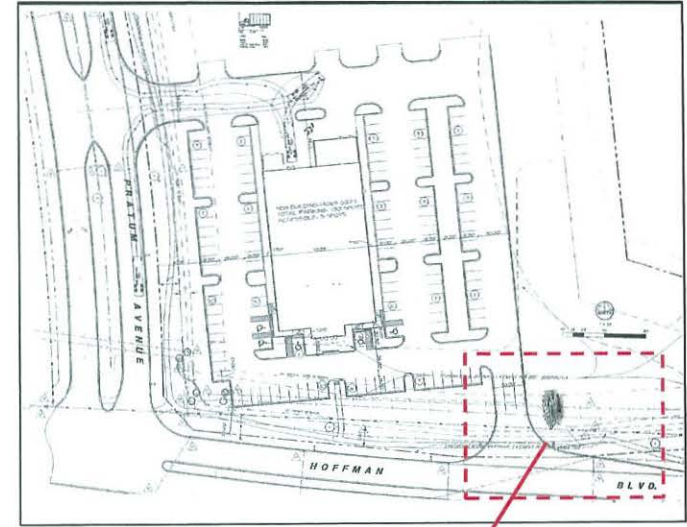
ES-4 MONUMENT SIGN - ELEVATION

SCALE: 1/4" = 1'-0"



ES-4 MONUMENT SIGN - PLAN

SCALE: 1/4" = 1'-0"



ES-4 LOCATION PLAN



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RETAIL [ BRAND ] SOLUTIONS

Full-size Plats & Plans  
are available at the  
Hoffman Estates Village  
Hall (1900 Hassell  
Road).